6220 ROOSEVELT

PHOENIX PROPERTY CO

WEBER THOMPSON
Architecture + Interior Design

SiteWorkshop
LANDSCAPE ARCHITECTURE

RECOMMENDATION MEETING

NORTHEAST DESIGN REVIEW BOARD MEETING ON 01/27/2025

6220 ROOSEVELT WAY NE | SDCI #3041518-LU

CONTENTS

PROJECT & ZONING INFORMATION

REVIEW OF EDG & ADJUSTMENTS

DESIGN EVOLUTION

LANDSCAPE

APPENDIX

PHOENIX PROPERTY CO | WEBER THOMPSON

PROJECT DESCRIPTION & VISION

This is a neighborhood in transition, with recent upzoning and completion of the new Light Rail Station at NE 65th Street and 12th Avenue NE. The project site bridges the more urban, and dense mixed-use projects to the north, and the lower scale commercial and low rise multi-family to the south. Even with the densification of the neighborhood, strong ties to the neighborhood history and its connectivity to nearby schools, parks, and amenities remain. The site sits within a strong urban hub; responding to new and existing conditions will be important.

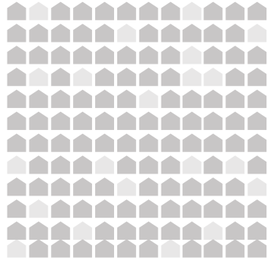
This project aims to enhance the connectivity with its surroundings while also responding to the residential and commercial character of the neighborhood. A primary goal of the project is to provide a timeless residential project that brings much needed housing to an already robust and evolving commercial / residential corridor.

total site area
24,020sf

gross building area (above and below grade)
+/-150,500sf

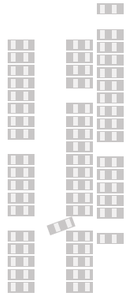
building height
75ft
7–stories

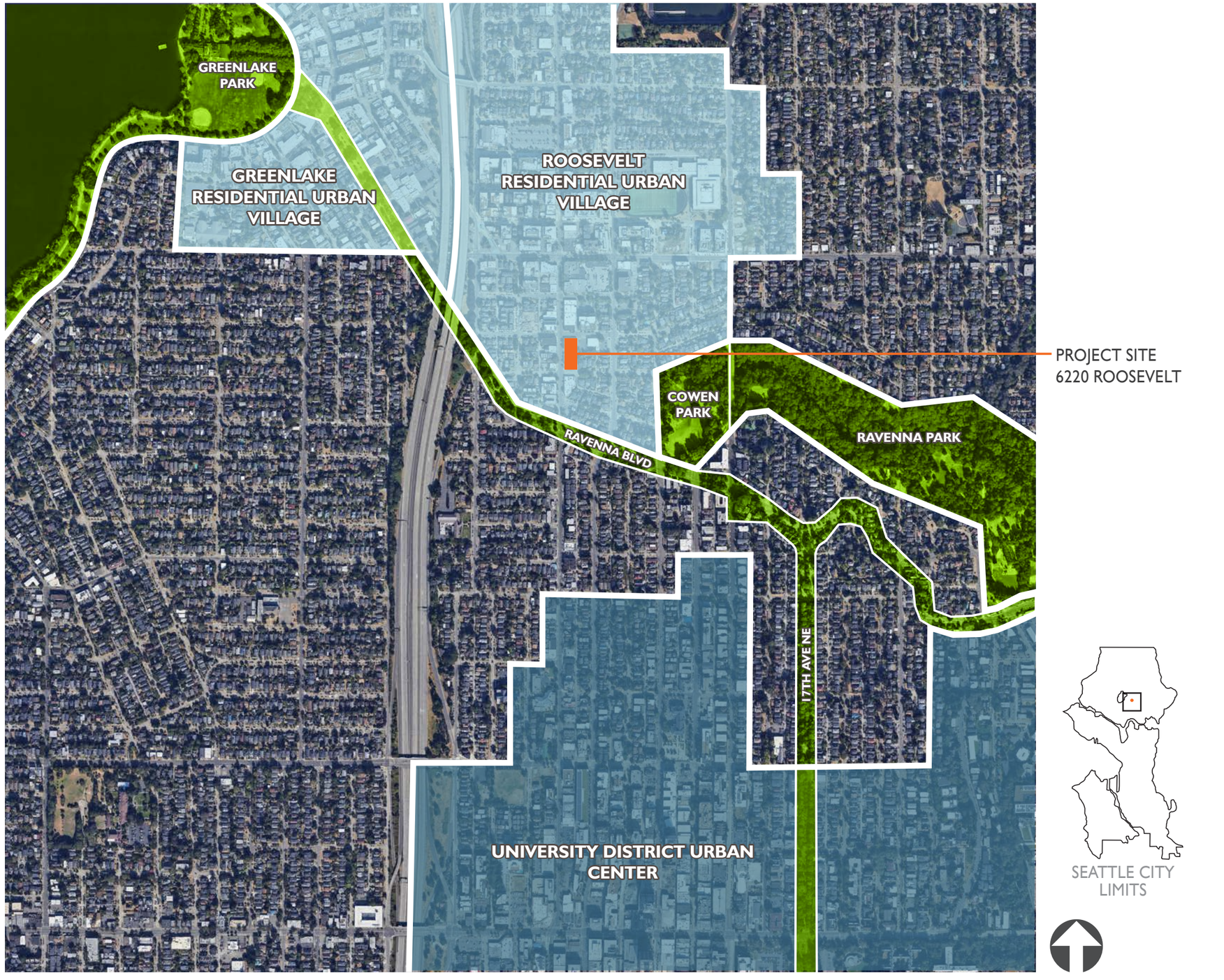
estimated total residential units
147 units*



*includes a mix of studios, open 1 bedrooms, one–bedrooms, and two–bedroom units

below grade parking
69 stalls





PHOENIX PROPERTY CO | WEBER THOMPSON

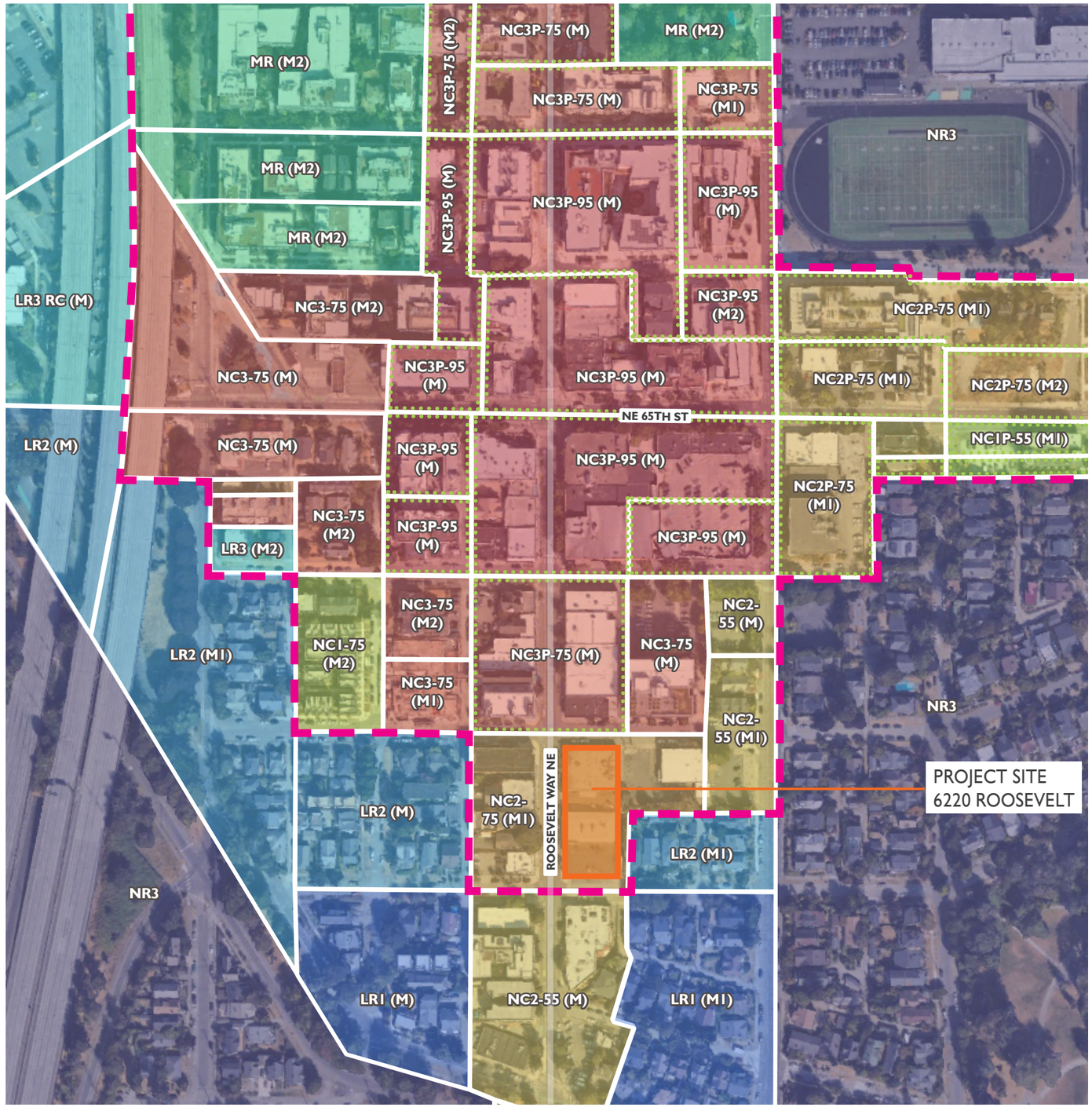
ROOSEVELT ZONING MAP

NC: Neighborhood Commercial
55'-95' Allowable Structure Height

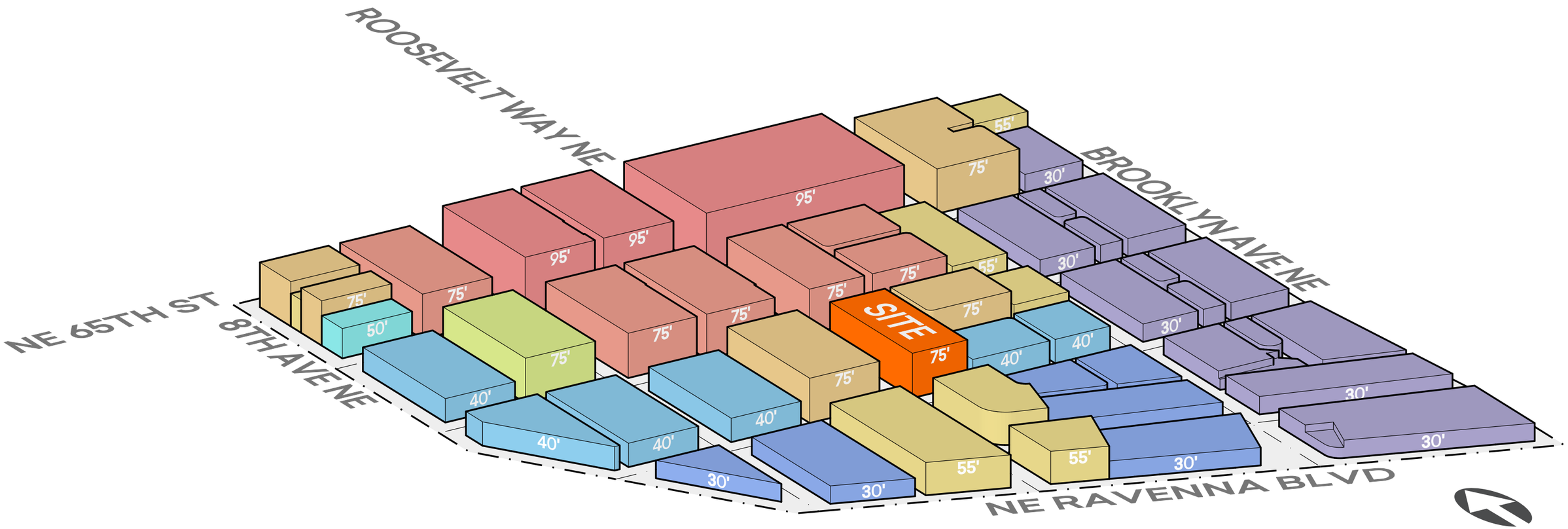
MR: Mid Rise Multifamily
80' Allowable Structure Height

LR: Low Rise Multifamily
22'-50' Allowable Structure Height

NR: Neighborhood Residential
18'-30' Allowable Structure Height

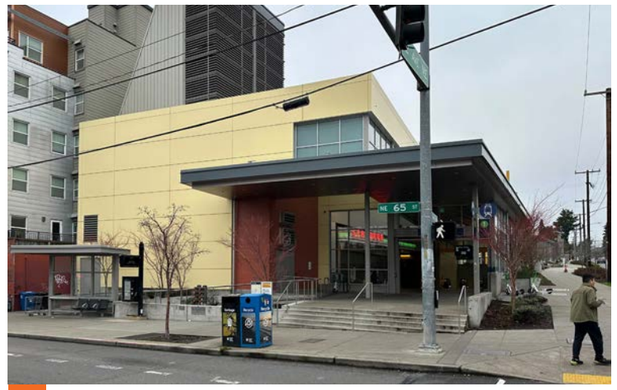


NEIGHBORHOOD DEVELOPMENT POTENTIAL



NEIGHBORHOOD CONTEXT

1 ROOSEVELT HIGH SCHOOL



2 ROOSEVELT STATION

3 WHOLE FOODS

4 SQUARE ONE APARTMENTS

5 NOVO SEATTLE

6 CORNER 63

7 6215 ROOSEVELT (PROPOSED)
Photo from Pubic 47 Architects

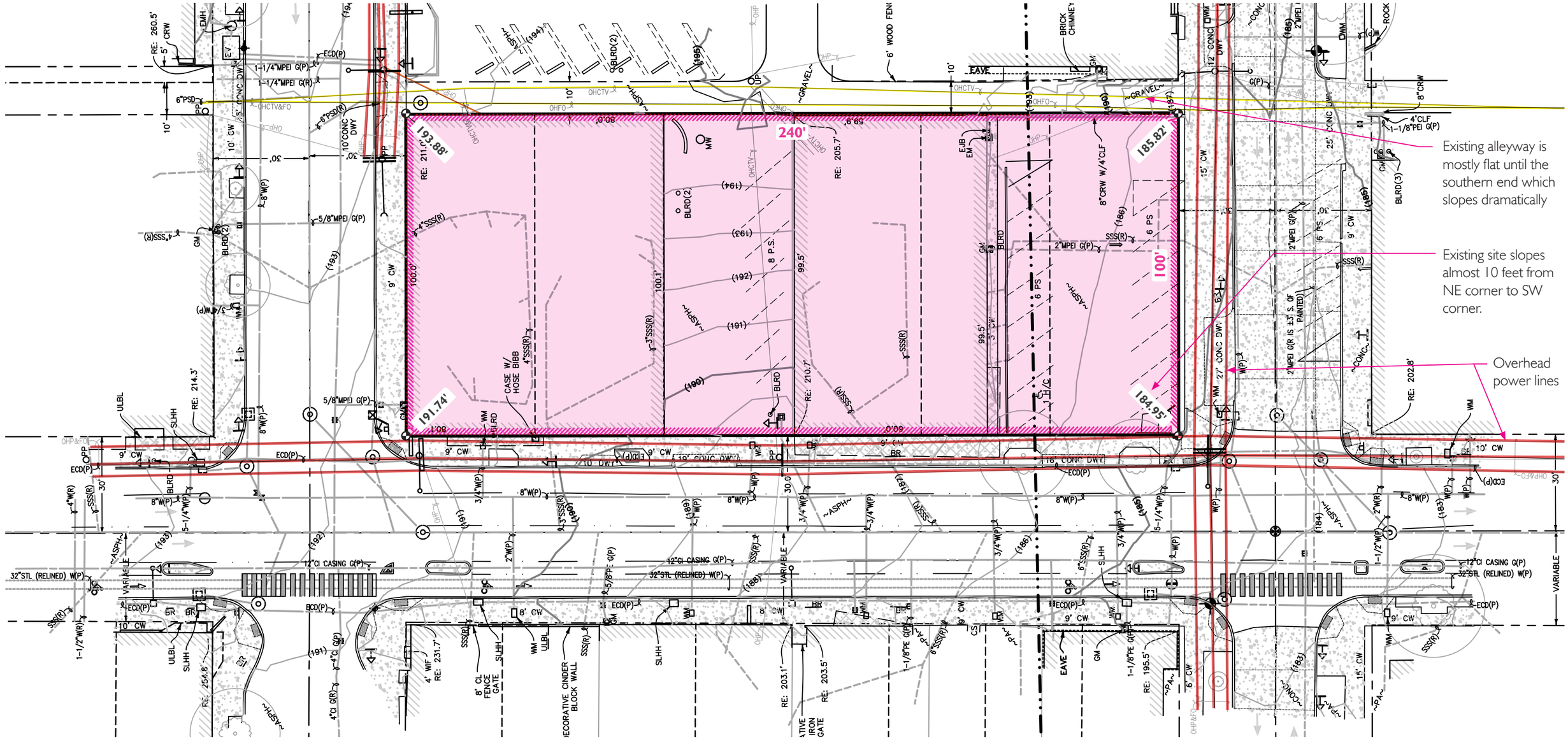
8 NEIGHBORHOOD TO THE EAST

9 ROOSEVELT SMALL SCALE COMMERCIAL

10 ROOSEVELT BRICK COMMERCIAL

11 ROOSEVELT BRICK COMMERCIAL

SURVEY



LEGAL DESCRIPTION:

FATCO NO. NCS-1195997-WA1

(6206 ROOSEVELT WAY NE)

LOTS 11, 12 AND 13. BLOCK 10, COWEN'S UNIVERSITY PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 13 OF PLATS, PAGE 53, IN KING COUNTY, WASHINGTON.

FATCO NO. NCS-119491 8-WA1

(6220 ROOSEVELT WAY NE)

LOTS 14, 15 AND 16, BLOCK 10, COWEN'S UNIVERSITY PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 13 OF PLATS, PAGE 53, IN KING COUNTY, WASHINGTON.

PHOENIX PROPERTY CO | WEBER THOMPSON

REVIEW OF EDG & ADJUSTMENTS

COMMENTS FROM EDG REPORT 7/10/24

REFERENCE	COMMENT	RESPONSE	
PAGE 12	1a. The Board discussed all massing options provided by the applicant, considered the responsiveness to the existing context, the zone transition with the lower residential scale to the east, and agreed with the applicant's preferred architectural massing Option 3. The Board appreciated Option C for its strong upper-level massing, central recessed lower-level modulation, stepped top-level with amenity room at the southern end of the building, and defined two-story corner articulations at the intersections of NE 63rd St and Ne 62nd St that helped break down the perceived height, bulk, and scale along Roosevelt Way NE. (CS1-C, CS1-III, CS2-C, CS2-D, CS2-III-iii, DC2-A)	The overall massing remains the same from EDG with only minor adjustments based on further Board comment.	
PAGES **14-15, 20-21, 25, 33**	1b. The Board strongly supported the recessed balconies shown on all sides of the building on massing Option 3. The Board specifically noted that the corner balconies successfully mitigated the perceived bulk of the building in relation to the adjacent low-scaled residential structures to the east. The Board gave guidance for the applicant to retain these elements moving forward and to ensure that the depth of all balconies will be deep enough to be used and provide activation along each façade. (DC2-C, DC2-D, DC3-B-1)	The proposed design maintains recessed balconies around the building, each of which is adequate for resident use. The balconies range in size which is primarily dictated by the restrictions of the adjacent overhead power lines. Whenever possible, the deck is made to meet the requirements for qualifying as outdoor amenity space. The proposed design has revisited the placement of decks at 3 of the 4 corners. The NW corner does not abut a smaller zone and replacing the deck with large glazing allows for a stronger architectural statement at the corner enhancing prominence of the NW corner near the lobby entrance per Board guidance 1c. For consistency, the decks at the SE and SW corners were shifted to the south facade. After much study of the interior apartment layout this position was determined to provide the most usable deck for residents and to enhance privacy of the neighboring structure to the east. The corner design focuses on providing large corner windows in place of the decks to maintain transparency and lightness. The design also maintains the top floor stepback to reduce building scale across the alley from the low rise zone.	
PAGES **16-17, 34-35**	1c. Although the Board supported the overall massing approach in Option C, the Board was concerned that the main residential entry at the corner of NE 63rd St and Roosevelt Way NE lacked transparency, prominence, and potential for interaction with the right-of-way when compared to massing Option 1. Moving forward, the Board gave guidance to study ways to increase the identifiability of the main residential entry through increased transparency, operable windows with usable exterior space at grade, or other means to create a visually prominent and physically engaging main residential entry. (PL2-D, PL3-A, PL3-B, DC2-E-1)	The adjusted design includes a long stretch of continuous glazing at the lobby along Roosevelt for increased transparency and visual connection. The glazing is capped by a continuous canopy and signage emphasizing the lobby entry. The canopy wraps the northeast corner onto NE 63rd to engage pedestrians approaching from the east. Above the pronounced masonry base which houses the lobby, the upper mass has a strong fenestration element which creates more emphasis and distinction at the corner (DC2-E). At grade, the landscape design opens the sidewalk on Roosevelt to welcome pedestrians naturally towards the entrance (PL2-D). The entry is flanked on both sides by seating. Low signage wrapping the corner is specifically placed to catch pedestrians eyes helping draw attention to the building entry.	

COMMENTS FROM EDG REPORT 7/10/24

REFERENCE	COMMENT	RESPONSE	
PAGES **13, 24, 38-41, 66**	2a. The Board supported the overall ground level uses as proposed in Option 3 with its solid waste storage room accessed from NE 63rd St, corner lobby/amenity space at the corner of NE 63rd St and Rosevelt Way NE, clearly articulated fitness room along NE 62nd St, and building services accessed from the alley. However, the Board was concerned that the proposed continuous residential use and landscape buffer between the building and sidewalk along the Roosevelt Way NE street frontage minimized the potential for activation of the sidewalk, contrary to the pattern of activation that retail spaces provide along the Roosevelt Way NE street frontage to the north. The Board gave guidance for the applicant to study ways to increase the activation of the sidewalk along Roosevelt Way NE using stoops at the residential units, layered landscaping with potential seating areas, integration of a secondary residential entry, or other means to enhance the ground level and pedestrian environment. (CS2-II-i, CS2-II-ii, PL1-B-3, PL3-B-1, PL3-B-2, PL3-II-ii, DC1-A-1, DC3-B, DC3-II-ii,DC3-III)	The updated design relocates the fitness and bike entry from NE 62nd to fronting on Roosevelt Way NE to better activate Roosevelt's streetscape (DC1-A-1). The team envisions an eye-catching art and light installation within the double height portion of this entry to make it visually as well as functionally engaging. The design team studied adding exterior access to the apartment homes facing Roosevelt, but grade differences created challenges and the required stairs and landings ate up quite a bit of landscaping as well as usable patio space (CS2-II-i). The team feels strongly that the addition of lush landscaping is a priority for softening the streetscape along Roosevelt (CS2-II-ii, PL3-II-ii, DC3-II-ii). We also find that residents are more likely to use exterior patios when they are large (like currently planned) and secured, with eyes on the street vs. direct access. It gives residents peace of mind for keeping tables and chairs on their patios when they aren't accessible from the street (PL3-B-1, PL3-B-2). When residents use their patios, it adds to the activity of the streetscape and provides a better sense of community for the neighborhood (PL3-B). The landscape design along Roosevelt adds a midblock seating area adjacent to the sidewalk where pedestrians can pause and generally find respite along the bustling Roosevelt thoroughfare (PL1-B-3). This area creates a point of activation mid block between the building lobby and secondary entry.	 
PAGES **18-19, 42-46**	2b. Although the Board supported the overall ground level uses proposed, the Board discussed whether the above-grade fitness room and semi below-grade bike amenity room with residential use above were to best uses to animate and engage with the corner of Roosevelt Way NE and NE 62nd St frontage. The Board gave guidance for the applicant to study alternative uses at this location, such as co-working or lounge spaces, and consider their relationship to grade. The resulting design should provide more active uses along both street frontages and help activate the sidewalk at this intersection. (DC1-A-1, DC3-B, DC3-II-ii, DC3-III	The updated design relocates the fitness and bike entry from NE 62nd to the corner of NE 62nd and Roosevelt Way NE to better activate both streetscapes (DC1-A-1). Bike and fitness are the best uses for engaging the neighborhood at the south end of the development site. The intersection of 62nd and Roosevelt (the southwest corner of the site) provides easy access to Ravenna Park to the east, and Ravenna Boulevard to the southwest which links to Green Lake. Building residents will enjoy using the south fitness amenity and entry to link their biking and exercise routines to the neighborhood's greenspace amenities (DC3-B). Furthermore, because this is the low end of the site, it creates an easier entry for cyclists, helping to promote cycling (PL4-B). The convenience of the southern access ensures it will be regularly used by residents, while other uses are less likely to provide the desired ebb and flow of pedestrians or engagement between public and private space outlined by the guidance. As an amenity to both residents and the public, the streetscape includes seating and etched boulders which depict simple exercises and / or biking and walking maps for the neighborhood. These further link the interior exercise functions to the exterior sidewalk and neighborhood engaging the streetscape.	 

COMMENTS FROM EDG REPORT 7/10/24

REFERENCE	COMMENT	RESPONSE	
PAGES **18-19, 43-45**	2c. The Board noted that access to the semi below-grade bike amenity space, adjacent to the vehicle access ramp on NE 62nd St, posed a safety risk to cyclists. The Board gave guidance for the applicant to study alternative locations for the bike amenity room and/or access points, including from Roosevelt Way NE, to help minimize potential conflicts between cyclists and vehicles. (PL4-B-1, PL4-B-2, DC1-B-1)	The updated design relocates the bike and fitness entry at the southwest corner of the site at the corner of NE 62nd and Roosevelt Way NE, away from the garage vehicle entry (PL4-B-1, DC1-B-1). Because this is the low end of the site, it creates an easier entry for cyclists, helping to promote cycling (PL4-B-2).	
PAGES **16-17, 36-37**	2d. The Board acknowledged Seattle Department of Transportation feedback that the alley would remain unimproved and unable to support all vehicle access to the site. The Board gave guidance for the applicant to thoughtfully incorporate the design of the solid waste storage room access doors and blank walls along NE 63rd St and the vehicle access on NE 63rd St into the over façade concept and composition. (DC1-C-2, DC1-C-4, DC2-B)	Both waste room and garage entry are located directly adjacent to the unimproved alley, where they would be anticipated by pedestrians (DC1-C-4). By splitting up the waste area from the garage vehicle access to separate facades, the design avoids large frontages of service uses that can lead to blank facades (DC2-B). Both the waste room fronting NE 63rd, and the garage entry fronting NE 62nd are clad with the same higher quality exterior material as the primary at grade residential facade fronting Roosevelt to seamlessly fit into the overall composition. At the south end of the site, the garage vehicle entry is pulled back from the sidewalk to maintain appropriate sight triangles for safety. The revised massing along the south façade de-emphasizes the vehicle entry and gives stronger presence to both the residential frontage and the bike and fitness entry at the corner (DC1-C-2).	
PAGES **13, 24, 48-52**	3a. The Board gave guidance for the applicant to carefully consider the design of building and its relationship to the alley and the lower-scale residential to the east. The Board noted that careful consideration should be given to the relationship of residential patios to grade, garage door design, large expanses of transparency and lighting to promote interaction and visual connection with the alley, increasing safety for residents and pedestrians. The Board also noted that a secondary residential access from the alley could also help support activity along the alley. (PL3-B, DC1-B, DC4-C)	Although this alleyway is not being improved at this time, the proposed building does setback the required area at grade for future improvement. As context around the site continues to develop, the alley's purpose will be reinforced as a service corridor for adjacent buildings in keeping with Seattle's Right-of-Way Improvement Manual. Even today the alley is used by smaller vehicles. With this in mind, the project team sees adding pedestrian access connecting to the alley as a safety hazard, especially when safer access is readily available on the adjacent streets (DC1-B). The building design provides apartment homes with large glazing fronting the alley to provide eyes on the alley for security (PL2-B-01). The frontage is set back from the alleyway and the setback area is landscaped to appropriately buffer residents from the vehicles and noise (PL3-B). Minimal lighting is planned for safety but designed to avoid glare into neighboring properties (DC4-C).	

COMMENTS FROM EDG REPORT 7/10/24

REFERENCE	COMMENT	RESPONSE	
PAGES **12, 27-32**	4a. The Board supported the overall architectural concept, 'Ravine Hierarchy, described on page 50 of the EDG packet, with its reference to the tall trees and lush undergrowth in nearby Ravenna Park. Moving forward, the Board gave guidance for the applicant to continue to develop the architectural concept and consider the application of high-quality materials with depth, texture, and richness in a way that compliments the overall architectural concept and enhances the various massing elements. The Board noted that the recessed balconies begin to successfully reinforce a verticality and therefore gave guidance to retain this aspect of the design moving forward. (DC2-B, DC2-C-1, DC2-D, DC2-II-ii, DC4-A-1, DC4-D-1)	The proposed material palette focuses on high quality materials with texture in locations where it can be appreciated. The design maintains the deep recesses with inset balconies presented at EDG (DC2-B, DC2-C-1). Within these recesses the design provides a wood-look material that adds warmth to the overall façade and detail in a location that can be appreciated by residents using their decks. The expressed masses at grade at the southwest and northwest corners are primarily clad in brick which helps them relate to the existing smaller scale commercial buildings in the area. These masses encompass both the primary residential lobby entrance and the fitness and bike amenity entrance. In these locations the modularity and texture of brick adds depth and interest to these areas of high engagement (DC2-D, DC4-A-1). The design includes canopies over all exterior doors at grade. The primary entry canopies are larger, helping to emphasize these important locations for pedestrians. At residential patios the canopies over the exterior doors are smaller but still provide weather protection and scale (DC2-C-1, DC2-D-1). The landscape design around the base of the building pulls inspiration from Ravenna Park. The plant palette embraces species found in the park and includes large boulders, like those found in the park (DC2-II-ii, DC4-D-1).	

MASSING OPTION 3 (PREFERRED)

EDG Report Comment 1a:

The board unanimously supported moving forward with the preferred option, option 3.

(See pages 8-11 for more information)

EDG Report Comment 4a:

The board liked the massing concept and wants to see high quality materials and fenestration developed in line with the concept.

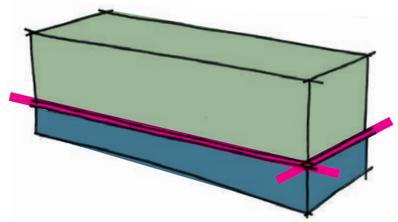
(See pages 8-11 for more information)

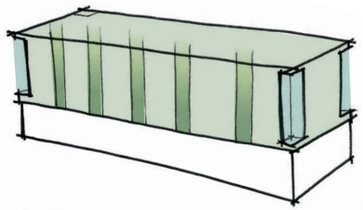
STATS

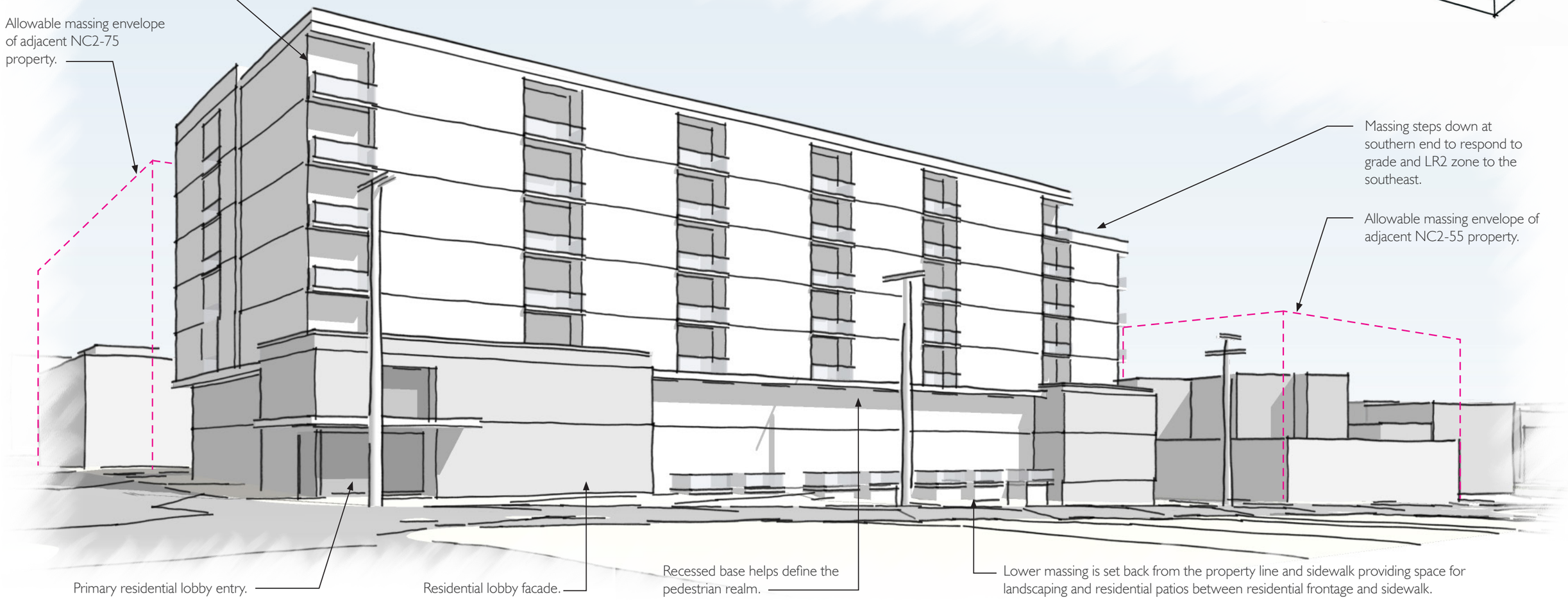
- +/- 149,300 GROSS SQUARE FEET
- 146 APARTMENT HOMES
- 69 PARKING STALLS
- Waste pick up located on 63rd. The garage vehicle entry located on 62nd.

CONCEPT: RAVINE HIERARCHY

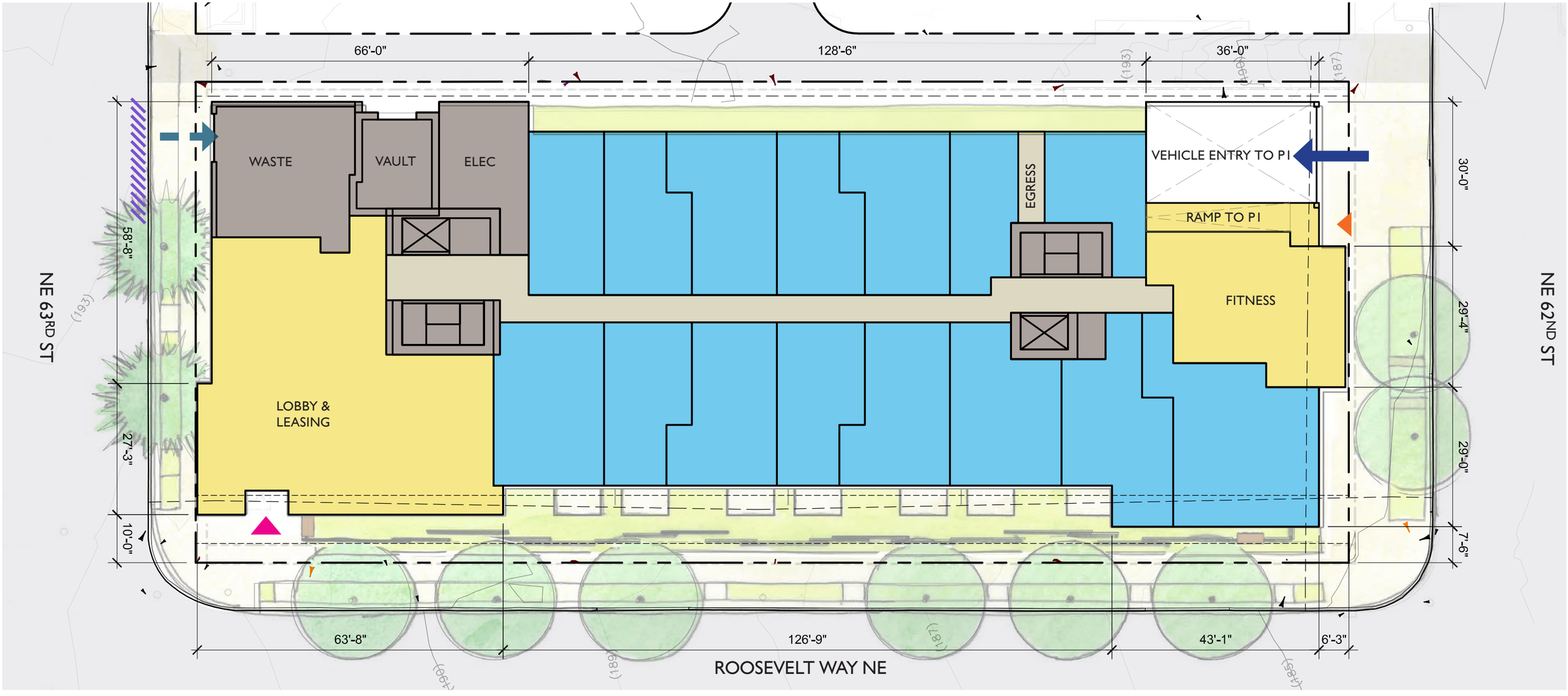
Massing Option 3 pulls inspiration from the tall trees and lush undergrowth in nearby Ravenna Park. Using a strong datum to define the pedestrian realm, the design recesses the lower massing to maximize space at grade, while a columnar rhythm of recessed bays reminiscent of tree trunks modulates the upper massing. At the main residential lobby entry and at the southern amenity space, the lower massing extends out towards the sidewalk to better engage and activate the pedestrian realm.







MASSING OPTION 3 – **SITE PLAN**



PRIMARY LOBBY ENTRY

RESIDENT AMENITY ENTRY

GARAGE VEHICLE ENTRY

WASTE ACCESS

WASTE STAGING

RESIDENTIAL LOBBY & AMENITY

CIRCULATION

BACK OF HOUSE / MECHANICAL / CORE

PARKING

RESIDENTIAL

EDG Report Comment 3:

The board asked that the design evolution create an appropriate response to the alley that takes into account safety and promotes connectivity

(See pages 8-11 for more information)

EDG Report Comment 2a:

The board supported the ground level uses, but wanted to study increasing activation on Roosevelt.

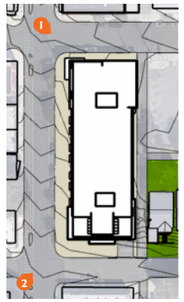
(See pages 8-11 for more information)

0 10' 20' 40'

SCALE: 1" = 20'

PHOENIX PROPERTY CO | WEBER THOMPSON

EDG: MASSING

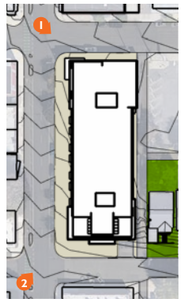


EDG Report Comment 1b:

The board strongly supported the recessed balconies on option 3 and asked these elements be retained. They requested the balconies be deep enough for use. They also specifically noted how the corner balconies reduce the appearance of scale.

(See pages 8-11 for more information)

MASSING ADJUSTMENTS



EDG Report Comment 1b:

The board strongly supported the recessed balconies on option 3 and asked these elements be retained. They requested the balconies be deep enough for use. They also specifically noted how the corner balconies reduce the appearance of scale.

(See pages 8-11 for more information)

This corner did not contain a balcony at EDG.

The darker graphic overlay indicates where the recessed balconies noted by the board have been maintained.

CS2.III.iii.e: Modulating recesses break down the length of the massing. Providing a different expression at the corners allows them to be more distinguished.

CS2.D.1: This corner abuts zones with the same allowable mass. The upper mass is stepped back and relates to the scale of newer structures while the lower, protruding mass relates to older structures.

The revised massing maintains the recessed balconies noted by the board.

CS1.C: The stepped massing at the south end of the building follows the sloping topography of the site.

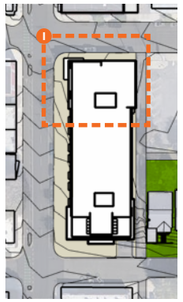
For consistency and consideration of the neighboring property, the corner balconies were relocated to the center of the southern massing. Here the exterior space does not look directly down on the neighbor.

CS2.III.iii: The stepped massing at the top of the building and again at level 3 help transition the massing in the NC3-75 zone to that of the neighboring site, mitigating the bulk and scale of the building adjacent to smaller context.

CS2.D.1: This corner abuts zones with similar allowable mass. The upper mass is stepped back and relates to the scale of newer structures while the lower, protruding mass relates to older structures.

CS2.D.5: To further mitigate potential perceived bulk at the corners, the interior layouts were rearranged to allow for larger corner windows that mimic the porosity provided by the balconies.

EDG: RESIDENTIAL LOBBY & NE 63RD ST FRONTAGE



- RESIDENTIAL LOBBY & AMENITY
- CIRCULATION
- BACK OF HOUSE / MECHANICAL / CORE
- PARKING
- RESIDENTIAL

- WASTE ACCESS
- WASTE STAGING
- GARAGE VEHICLE ENTRY
- PRIMARY LOBBY ENTRY
- RESIDENT AMENITY ENTRY

EDG Report Comment 1c:

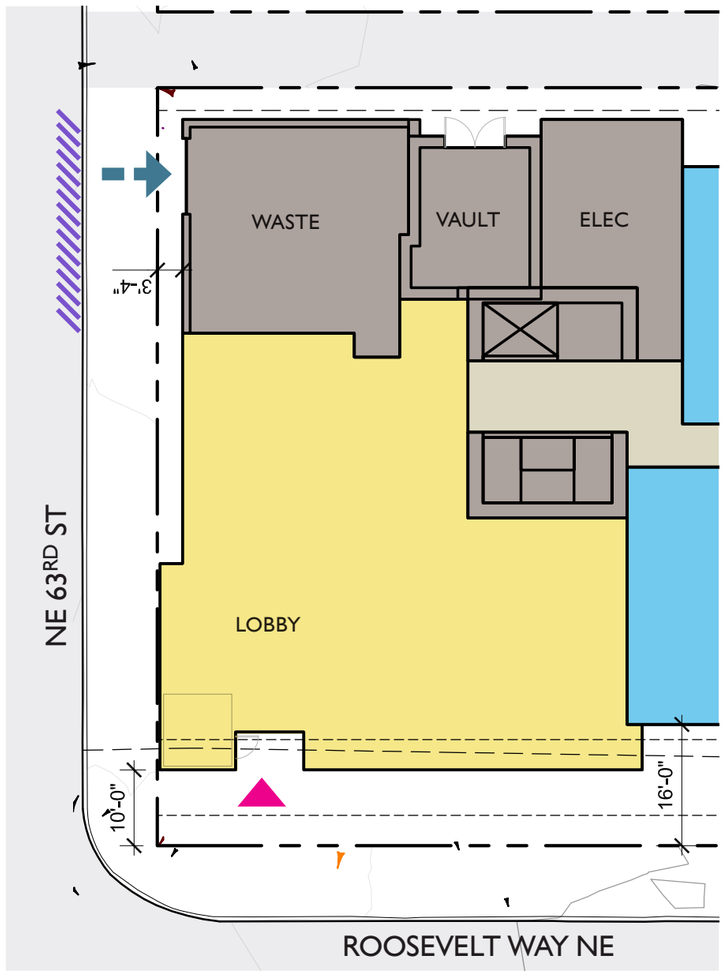
The board wanted to see more transparency and prominence at the residential lobby to better engage the street.

(See pages 8-11 for more information)

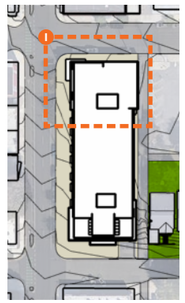
EDG Report Comment 2d:

The board wanted to ensure the necessary utility frontages are nicely incorporated into the street facades.

(See pages 8-11 for more information)



REVISED ENTRY MASSING



- RESIDENTIAL LOBBY & AMENITY
- CIRCULATION
- BACK OF HOUSE / MECHANICAL / CORE
- PARKING
- RESIDENTIAL

- WASTE ACCESS
- WASTE STAGING
- GARAGE VEHICLE ENTRY
- PRIMARY LOBBY ENTRY
- RESIDENT AMENITY ENTRY

EDG Report Comment 1c:

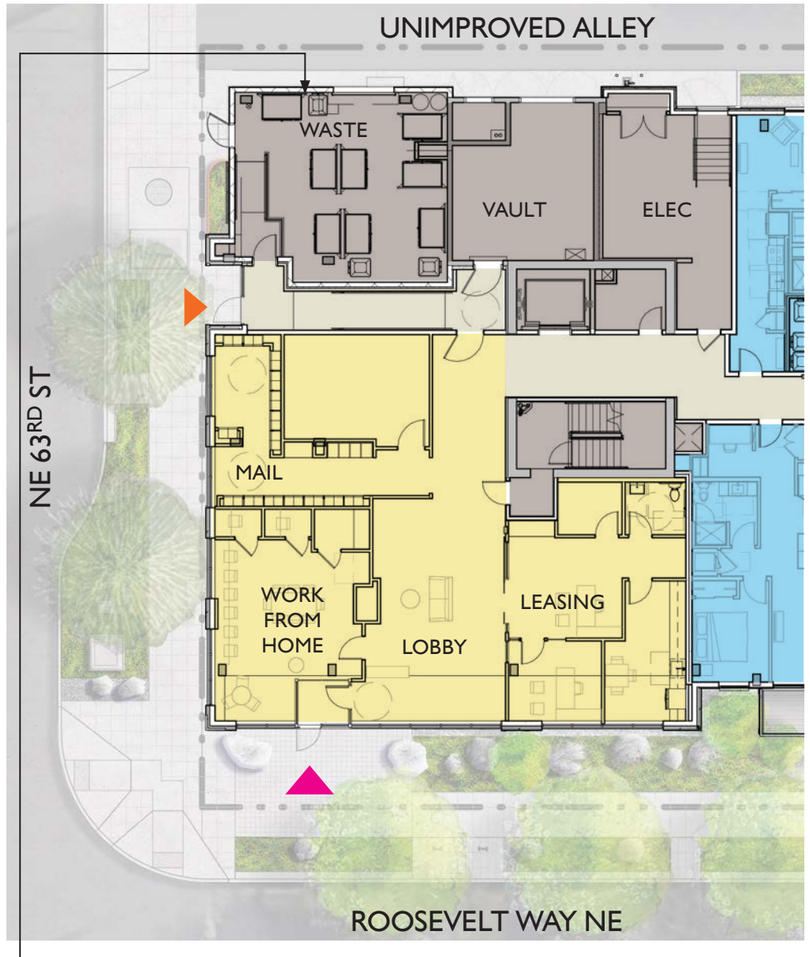
The board wanted to see more transparency and prominence at the residential lobby to better engage the street.

(See pages 8-11 for more information)

EDG Report Comment 2d:

The board wanted to ensure the necessary utility frontages are nicely incorporated into the street facades.

(See pages 8-11 for more information)



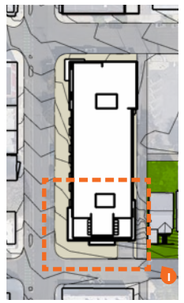
DC1.B.1 / DC1.C.4: Although the alley will remain unimproved after much negotiation with SPU, waste pick up will occur just inside the alley, removing the waste room roll up door from the street facing facade and allowing for a more pedestrian friendly streetscape.

CS2.B.2: An additional secondary entry at the eastern end of the lobby provides better access for residents and more engagement with the street.

CS2.B.2: The revised, extended massing places more lobby glazing directly adjacent to the 63rd Street sidewalk. The revised massing also downplays the utilitarian frontage.

The entry design provides more glazing both directly at the entry itself, as well as in other areas of the lobby. The glazing is also less interrupted by pilasters for more continuous transparency.

EDG: SOUTHERN ACTIVATION & USES



- RESIDENTIAL LOBBY & AMENITY
- CIRCULATION
- BACK OF HOUSE / MECHANICAL / CORE
- PARKING
- RESIDENTIAL

- WASTE ACCESS
- WASTE STAGING
- GARAGE VEHICLE ENTRY
- PRIMARY LOBBY ENTRY
- RESIDENT AMENITY ENTRY

EDG Report Comment 2b:

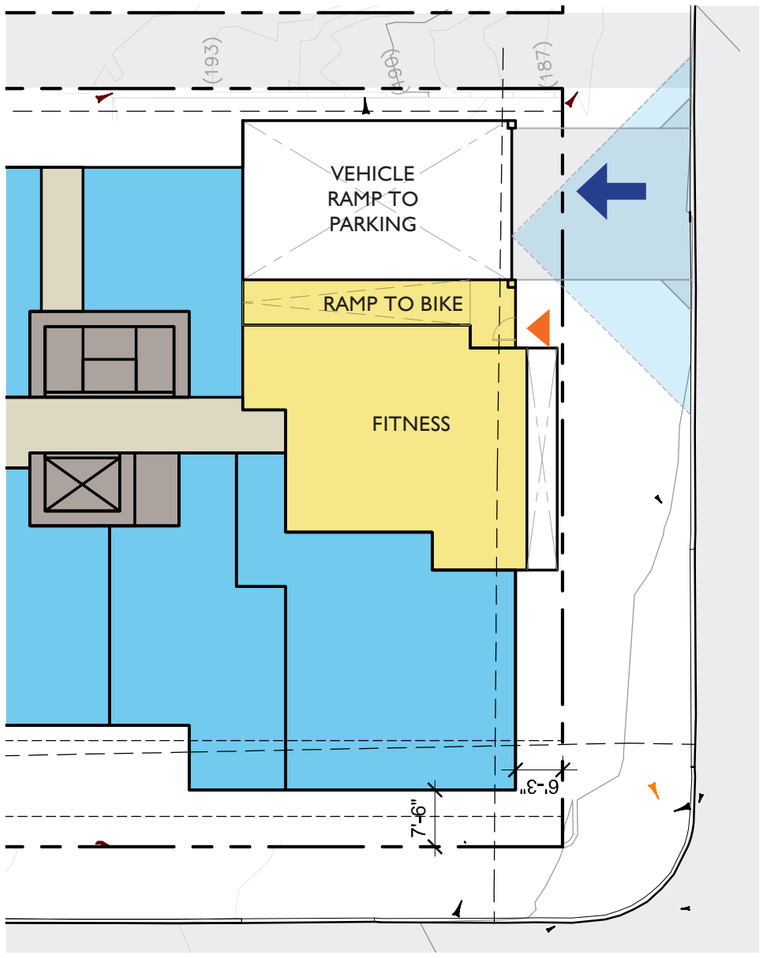
The board wanted to ensure the building animates and engages Roosevelt and 63rd.

(See pages 8-11 for more information)

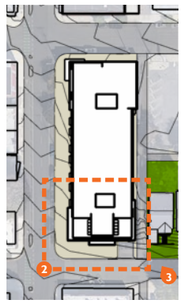
EDG Report Comment 2c:

The board was concerned about the proximity of the bike room and pedestrian entrance to the garage vehicle entry.

(See pages 8-11 for more information)



REVISED SOUTHERN ACTIVATION & USES



- RESIDENTIAL LOBBY & AMENITY
- CIRCULATION
- BACK OF HOUSE / MECHANICAL / CORE
- PARKING
- RESIDENTIAL

- WASTE ACCESS
- WASTE STAGING
- GARAGE VEHICLE ENTRY
- PRIMARY LOBBY ENTRY
- RESIDENT AMENITY ENTRY

EDG Report Comment 2b:

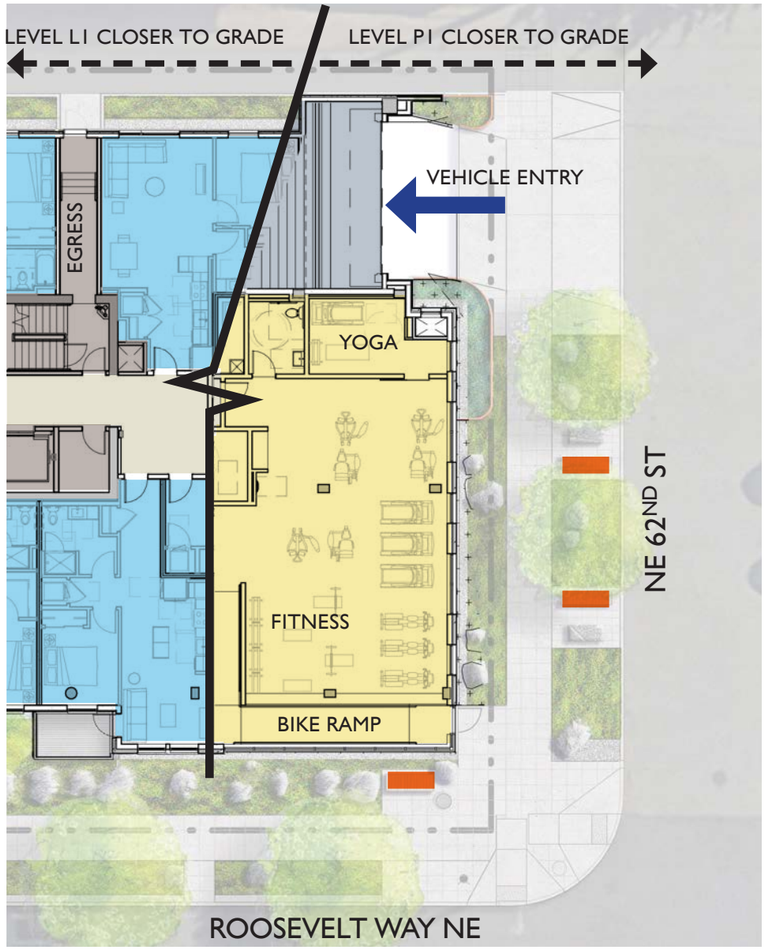
The board wanted to ensure the building animates and engages Roosevelt and 63rd.

(See pages 8-11 for more information)

EDG Report Comment 2c:

The board was concerned about the proximity of the bike room and pedestrian entrance to the garage vehicle entry.

(See pages 8-11 for more information)



The revised design better engages both Roosevelt and 62nd by relocating the amenity entry here. Double height glazing, a canopy, and internal art installation add interest to the streetscape and connect interior activities to the streetscape.

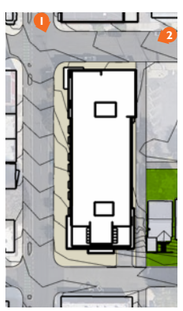
PL2.I.v: The amenity and bike entry has been relocated to the corner of Roosevelt and 62nd eliminating conflict between cars and pedestrians or cyclists.

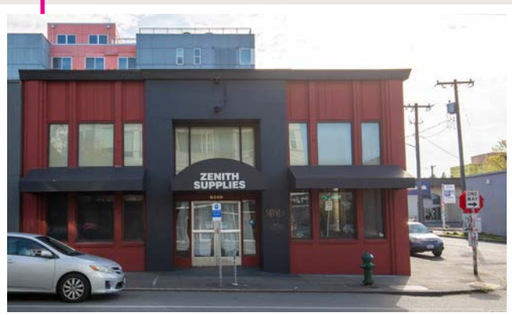
Glazing directly into the fitness amenity provides a visual connection between interior and exterior. Although the interior floor height is lower than adjacent grade, the windows extend over 5 feet above grade putting them well within pedestrians sight lines for connection.

REVISED MASSING IN CONTEXT

Allowable massing envelope of adjacent NC2-75 property.

Allowable massing envelope of adjacent NC2-55 property.





Above: Zenith Supplies – permanently closed

Right: 917 NE 63RD ST – Approved and awaiting construction
Courtesy of: https://www.seattleinprogress.com/project/3039964

Allowable massing envelope of adjacent NC2-75 property.

Above: US Bank Building

Right: Square One Apartments

REVISED MASSING IN CONTEXT

Allowable massing envelope of adjacent NC2-75 property.

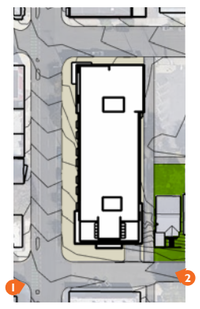
Allowable massing envelope of adjacent LR2 property.

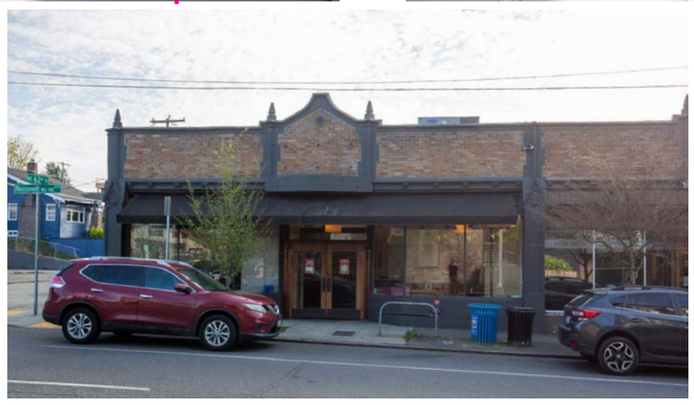
Allowable massing envelope of adjacent NC2-55 property.

Allowable massing envelope of adjacent NC2-75 property.

CS2.III.iii: The stepped massing at the top of the building and again at level 3 help transition the massing in the NC3-75 zone to that of the neighboring site

Allowable massing envelope of adjacent LR2 property.





Above: Lockhart-Suver LLC

Right: Community Fitness Building

Right: Single-family Structure

Intentionally Blank

DESIGN EVOLUTION

GRADE RELATED PLAN

PRIMARY LOBBY ENTRY

AMENITY ENTRY

GARAGE VEHICLE ENTRY

WASTE ACCESS

PUBLIC BENCHES/SEATING

RESIDENTIAL LOBBY & AMENITY

CIRCULATION

BACK OF HOUSE / MECHANICAL / CORE

PARKING

RESIDENTIAL

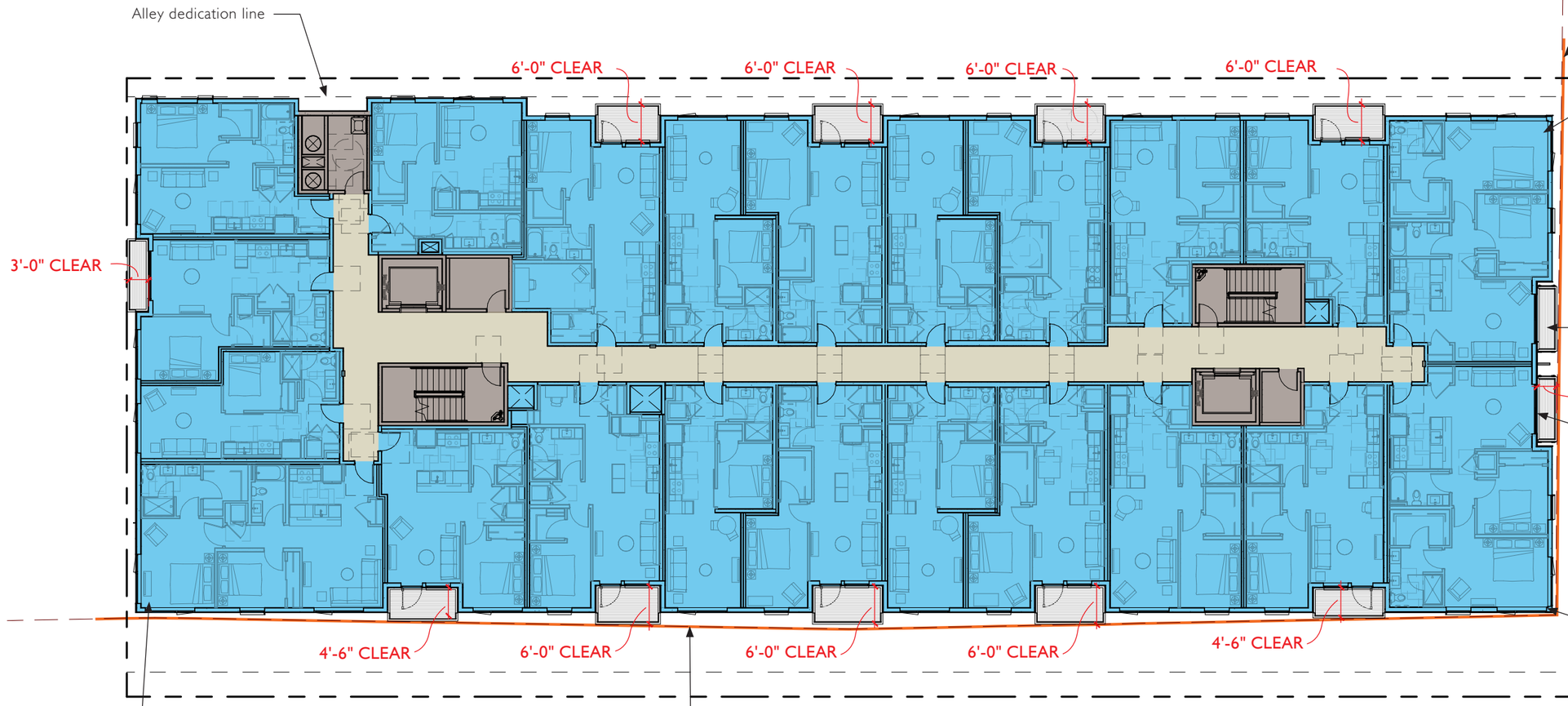
To increase the activation for both Roosevelt and 63rd, the revised design relocates the fitness and bike entry to the corner. Increased glazing at the entry fronting Roosevelt engages and enlivens the streetscape.

0 10' 20' 40'

SCALE: 1" = 20'

PHOENIX PROPERTY CO | WEBER THOMPSON

TYPICAL RESIDENTIAL FLOOR



Setback line for overhead power lines. All building features must be clear of this boundary for safety.

Balcony is relocated from corner to living room for functionality of both balcony and apartment home. To best respond to the massing change, the design employs corner windows to reduce the perceived bulk of massing at the corner (*DC2.A.2*) This change also improves privacy for the adjacent small scale structure. This adjustment also creates a more cohesive design with the northern corners.

Balconies facing south best capture sun and potential views per design guidelines CS1.III & DC1.A.4,

3'-0" CLEAR

Large glazed doors at balconies allow for balconies to act as extensions of the apartment living rooms increasing functionality and activation.

Balcony is relocated from the corner bedroom to the living room for functionality of both balcony and apartment home. To best respond to the massing change, the design employs corner windows to reduce the perceived bulk of massing at the corner (*DC2.A.2*) This adjustment also creates a more cohesive design with the northern corners.

The northwest corner has been squared off in order to create a stronger presence at this important corner above the lobby entry as part of responding to board guidance. To best respond to the massing change, the design adds large corner windows to reduce the perceived bulk of massing at the corner (*DC2.A.2*) This also creates a more cohesive design with the northeast corner which has not changed from EDG.

Setback line for overhead power lines. All building features must be clear of this boundary for safety.

- RESIDENTIAL LOBBY & AMENITY
- CIRCULATION
- BACK OF HOUSE / MECHANICAL / CORE
- PARKING
- RESIDENTIAL
- SHARED EXTERIOR AMENITY

EDG Report Comment 1b:

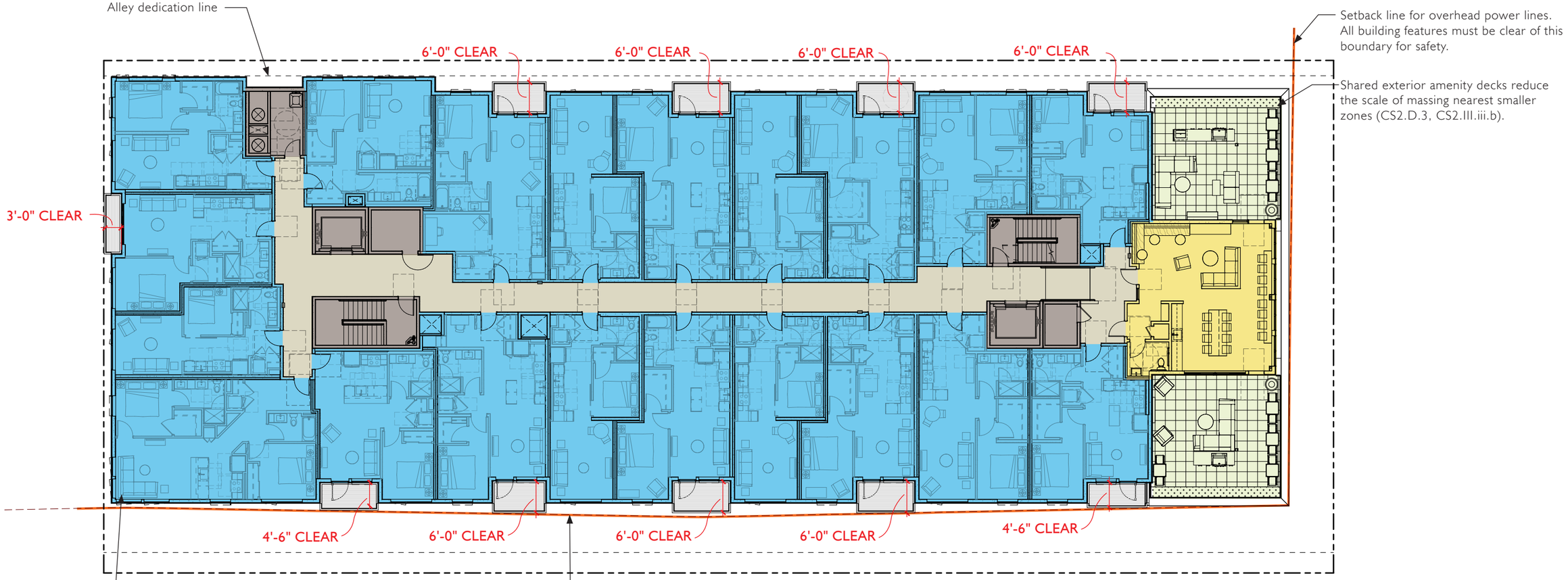
The board strongly supported the recessed balconies on option 3 and asked these elements be retained. They requested the balconies be deep enough for use. They also specifically noted how the corner balconies reduce the appearance of scale.

(See pages 8-11 for more information)

0 10' 20' 40'

SCALE: 1" = 20'

LEVEL 7 FLOOR PLAN



Setback line for overhead power lines. All building features must be clear of this boundary for safety.

Shared exterior amenity decks reduce the scale of massing nearest smaller zones (CS2.D.3, CS2.III.iii.b).

The northwest corner has been squared off in order to create a stronger presence at this important corner above the lobby entry as part of responding to board guidance. To best respond to the massing change, the design adds large corner windows to reduce the perceived bulk of massing at the corner (*DC2.A.2*)

Setback line for overhead power lines. All building features must be clear of this boundary for safety.

- RESIDENTIAL LOBBY & AMENITY
- CIRCULATION
- BACK OF HOUSE / MECHANICAL / CORE
- PARKING
- RESIDENTIAL
- SHARED EXTERIOR AMENITY

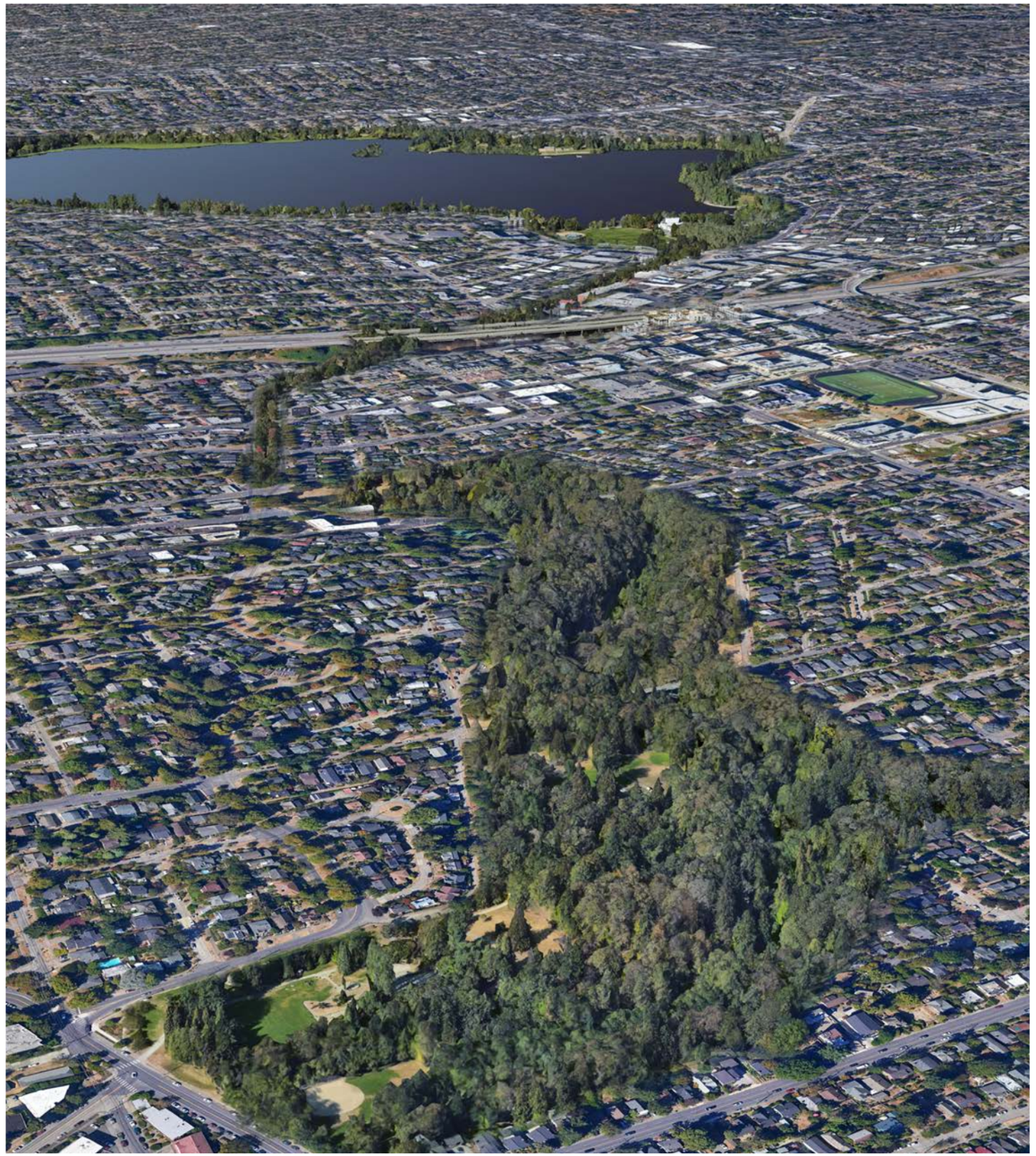
0 10' 20' 40'

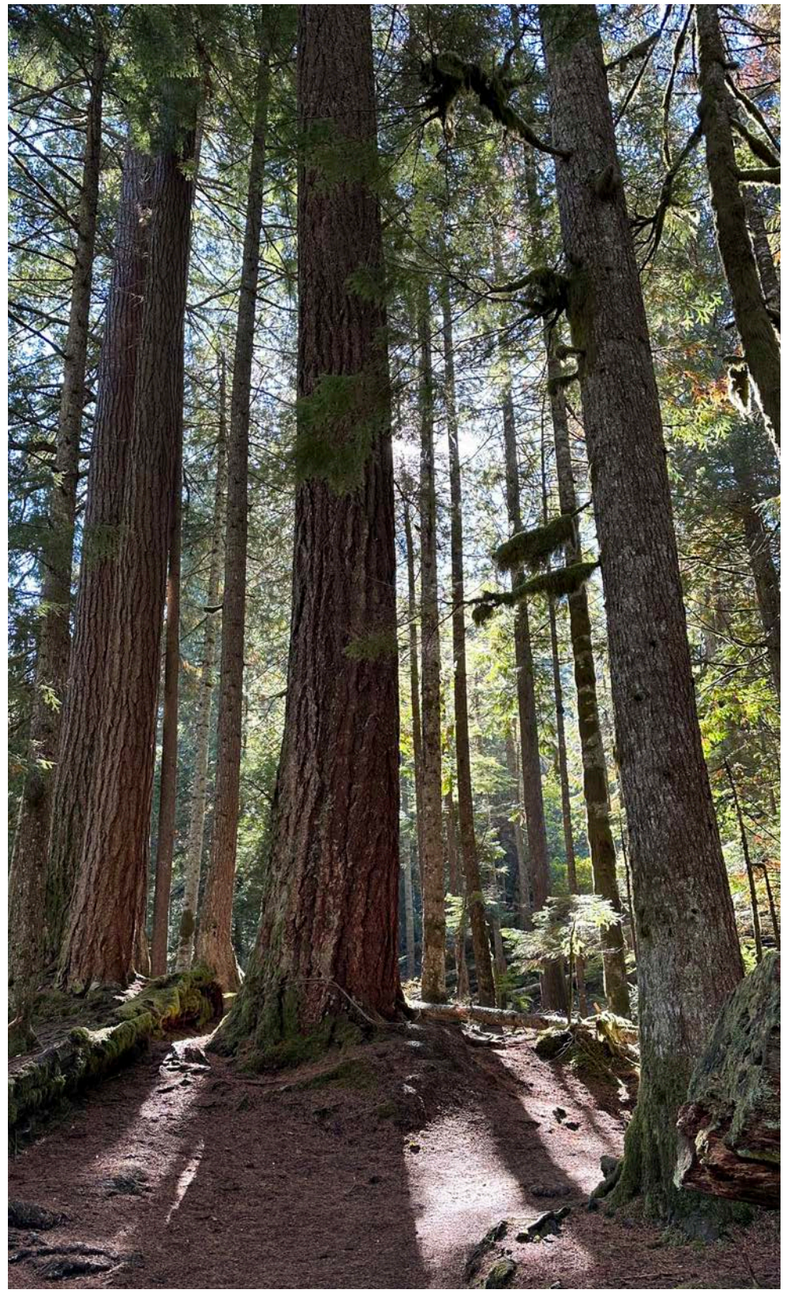
SCALE: 1" = 20'

PHOENIX PROPERTY CO | WEBER THOMPSON

RAVENNA PARK: NATURE SLICING THROUGH THE CITY

Disrupting the bustle and order of the city, a dense forest seeps out of Ravenna ravine. Towering trees rise from the ravine floor like massive pillars supporting the sky above. At their feet, nature creates a cozy ecosystem of lush greens, delicate flowers, and mossy boulders.

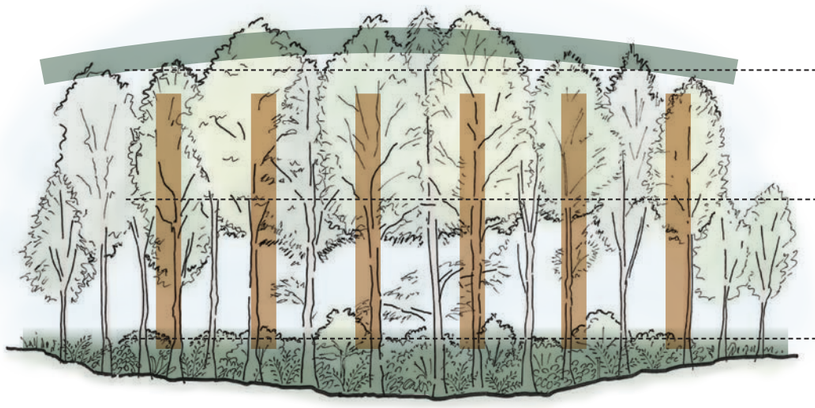




REVITALIZING THE BLOCK'S BLEAKNESS WITH CONCEPTS FROM RAVENNA

The building design seeks to mimic Ravenna's rhythmic wood pillars and lush understory, revitalizing the austerity of this stretch of Roosevelt Way.

FOREST STRATA



FACADE DELINEATION

CONCEPT EXPRESSION

EDG Report Comment 4a:

The board liked the massing concept and wants to see high quality materials and fenestration developed in line with the concept.

(See pages 8-11 for more information)

DEFINITIVE HORIZONTAL DATUM AT TOP OF CANOPY

The retained step in the massing per board guidance follows topography and reduces building scale closest to shorter zone. *(CS1.C, CS2.D.3)*

STRONG RHYTHMIC VERTICALS OF RAVINE TRUNKS *(DC2.C.1&2)*

The rhythm of the symbolic trunks (the recessed modulation at balconies) breaks down the length of the massing. *(CS2.C.3, CS2.III.iii.e)*

DENSE, LUSHNESS OF UNDERSTORY *(CS1.D.1, CS2.A.1)*

The landscaping and grade change along sidewalk creates an appropriate buffer between private residential uses and the right of way sidewalk. *(PL3.B.1, CS2.II.i&ii)*

The continual landscaping along the Roosevelt frontage takes queues from other robust landscaping in the neighborhood and provides support for natural ecosystems in the area. *(DC3.C.3)*

PRONOUNCED MASONRY MASSES TRANSITION TO CONTEXT *(CS2.D.1)*

The expressed masonry masses at each corner relate to many of the older, more historic structures fronting Roosevelt. *(CS3.A.1, DC4.A.1)*

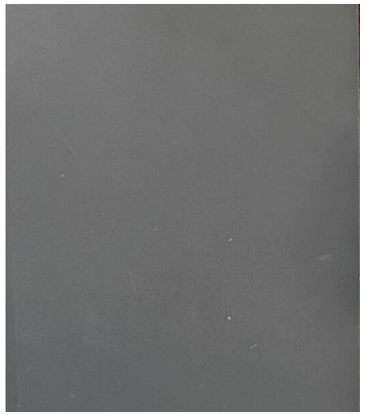
MATERIAL PALETTE

EDG Report Comment 4a:

The board liked the massing concept and wants to see high quality materials and fenestration developed in line with the concept.

(See pages 8-11 for more information)

DC2.II.ii.b: Masonry that relates to the historic brick structures in the neighborhood, and a high quality ceramic clad cementitious panel compose the ground level street-facing facades.



Painted Fiber Cement Panel: Grey

Painted Fiber Cement Panel: White

Wood-Look Siding: Phenolic Panels

Painted Fiber Cement Panel: Black

Vinyl Window: White

Vinyl Window: Black

Black Storefront

Brick: Varied Medium Grey

Textured, Ceramic-Clad Fiber Cement Panel: Dark Grey

Cast In Place Concrete Base

MATERIAL APPLICATION

ROOSEVELT (WEST) ELEVATION

NE 63RD STREET (NORTH) ELEVATION

- B1 Brick: Varied Medium Grey
- B2 B3 Coordinating Brick Soldier Course
- C1 Cast In Place Concrete Base
- C2 Masonry Lintel or Sill
- W1 Wood-Look Siding: Phenolic Panels
- FC1 Painted Fiber Cement Panel: White
- FC2 Painted Fiber Cement Panel: Grey
- FC3 Painted Fiber Cement Panel: Black
- FC4 Textured, Ceramic-Clad Fiber Cement Panel: Dark Grey
- DW1 Vinyl Window: White
- DW2 Vinyl Window: Black
- DW3 Black Storefront

PHOENIX PROPERTY CO | WEBER THOMPSON

MATERIAL APPLICATION

UNIMPROVED ALLEY (EAST) ELEVATION

NE 62ND STREET (SOUTH) ELEVATION

- B1 — Brick: Varied Medium Grey
- B2 B3 — Coordinating Brick Soldier Course
- C1 — Cast In Place Concrete Base
- C2 — Masonry Lintel or Sill
- W1 — Wood-Look Siding: Phenolic Panels
- FC1 — Painted Fiber Cement Panel: White
- FC2 — Painted Fiber Cement Panel: Grey
- FC3 — Painted Fiber Cement Panel: Black
- FC4 — Textured, Ceramic-Clad Fiber Cement Panel: Dark Grey
- DW1 — Vinyl Window: White
- DW2 — Vinyl Window: Black
- DW3 — Black Storefront

APPROACH ON ROOSEVELT

RESIDENTIAL LOBBY

EDG Report Comment 1c:

The board wanted to see more transparency and prominence at the residential lobby to better engage the street.

(See pages 8-11 for more information)

CS3.A.1 / DC2.C3: In keeping with the detailing on nearby older structures, the corner brick podium masses include details like brick soldier courses and expressed masonry lintels above windows.

PL2.C: A large canopy provides coverage at the main lobby entry. It provides weather protection over the entry call box and adjacent seating as well.

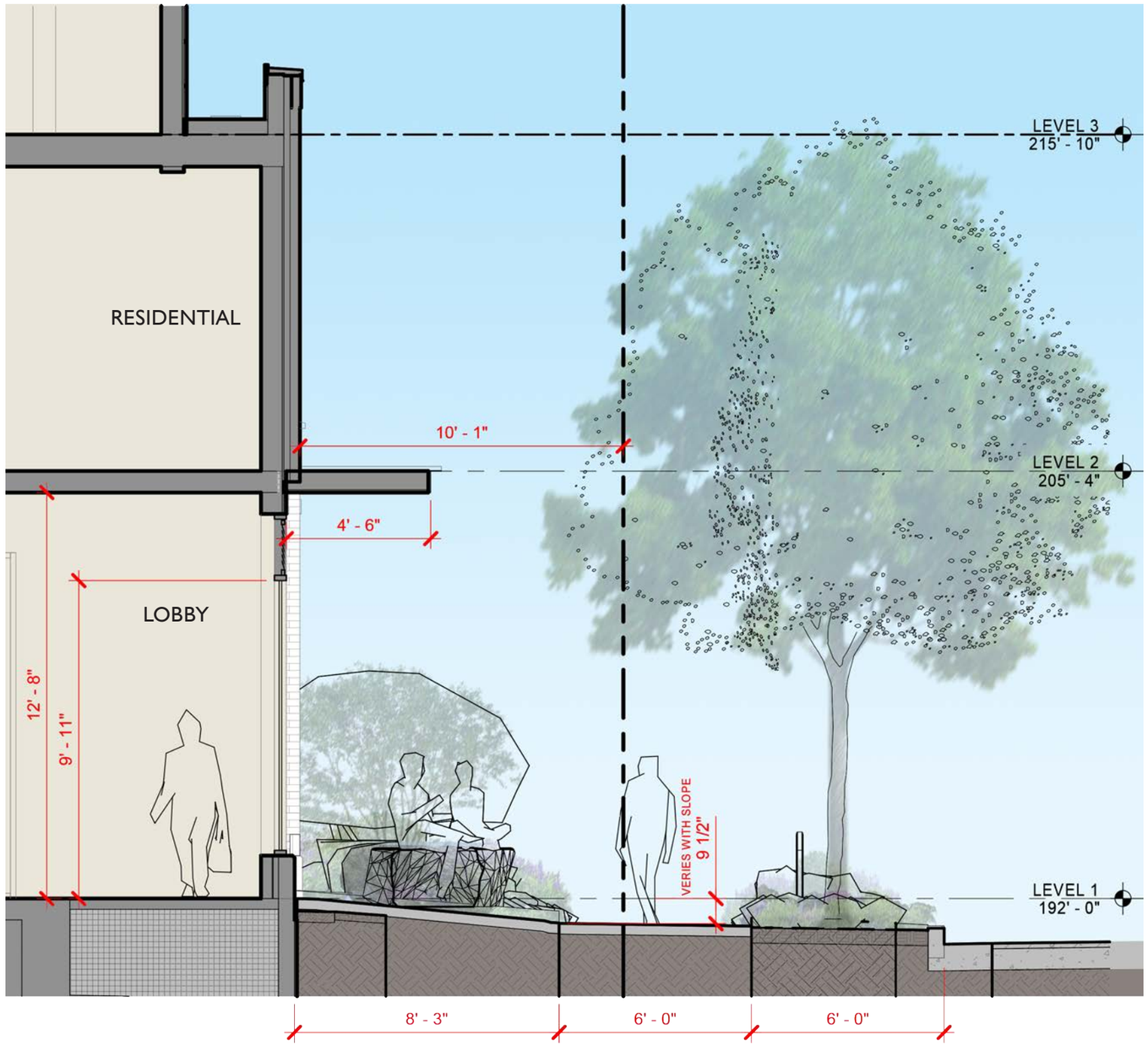
DC2.C.1 / DC4.A: The facade around the primary entry is clad in a variegated brick atop a low concrete base enhancing durability, texture, and scale within the pedestrian realm

PL2.D / PL3.A: Significant glazing, bench seating, and the flow of the sidewalk leading to the front door provide natural wayfinding to the main lobby entry. Signage and the canopy further emphasize the entry.

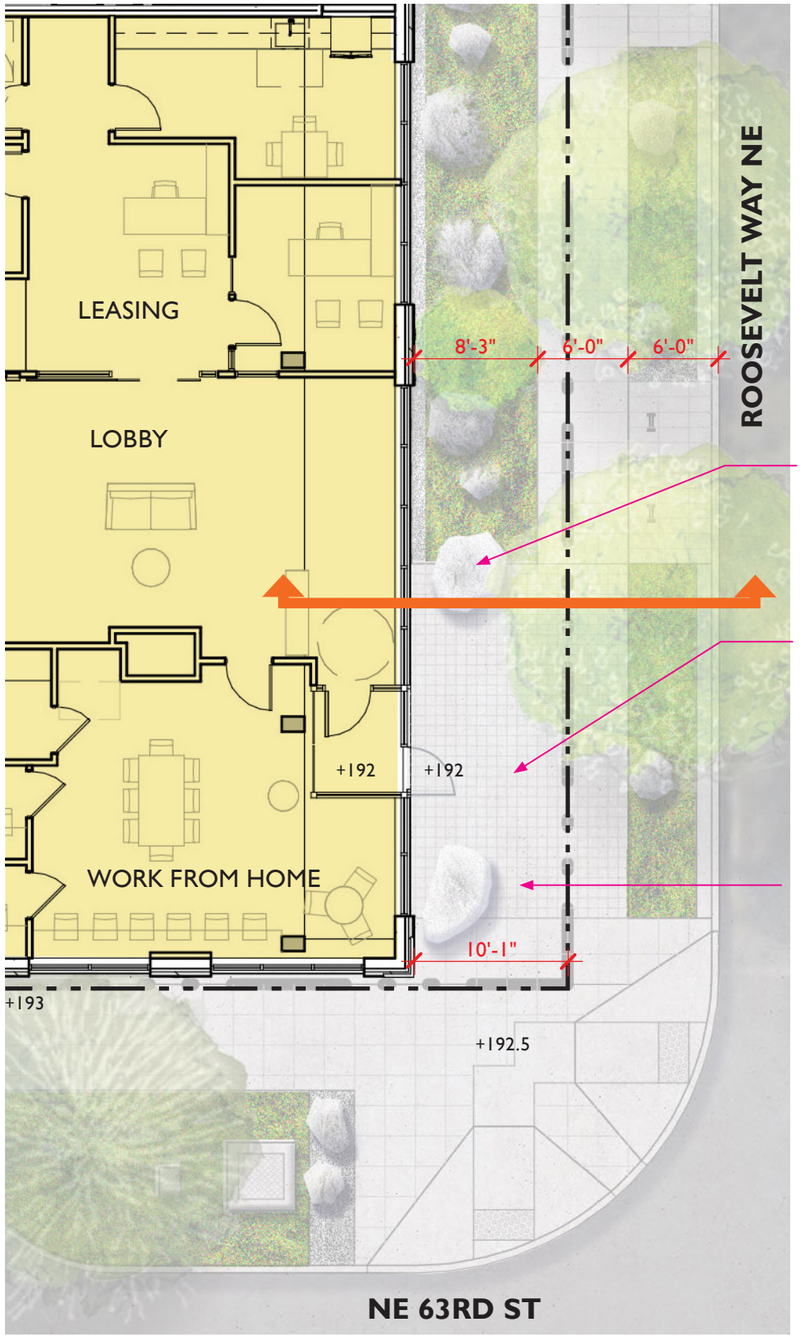
DC4.II.i: Building identification and entry signage wrap the brick corner at Roosevelt and 63rd. The low placement of this signage is easily identifiable for pedestrians.

PL1.A.2 / PL1.B.3: The widened sidewalk leading to the main lobby entry with benches, canopy coverage, and landscaping creates spaces that foster interaction.

RESIDENTIAL LOBBY



PEDESTRIAN SECTION AT LOBBY ENTRY



PARTIAL SITE PLAN

Halved boulders with smooth top provides seating in keeping with the natural aesthetic of the landscaping.

PL2.D / PL3.A: Significant glazing, bench seating, and the flow of the sidewalk leading to the front door provide natural wayfinding to the main lobby entry.

PL1.A.2 / PL1.B.3: The widened sidewalk leading to the main lobby entry with benches, canopy coverage, and landscaping create spaces that foster interaction.

NE 63RD ST FRONTAGE

EDG Report Comment 2d:

The board wanted to ensure the necessary utility frontages are nicely incorporated into the street facades.

(See pages 8-11 for more information)

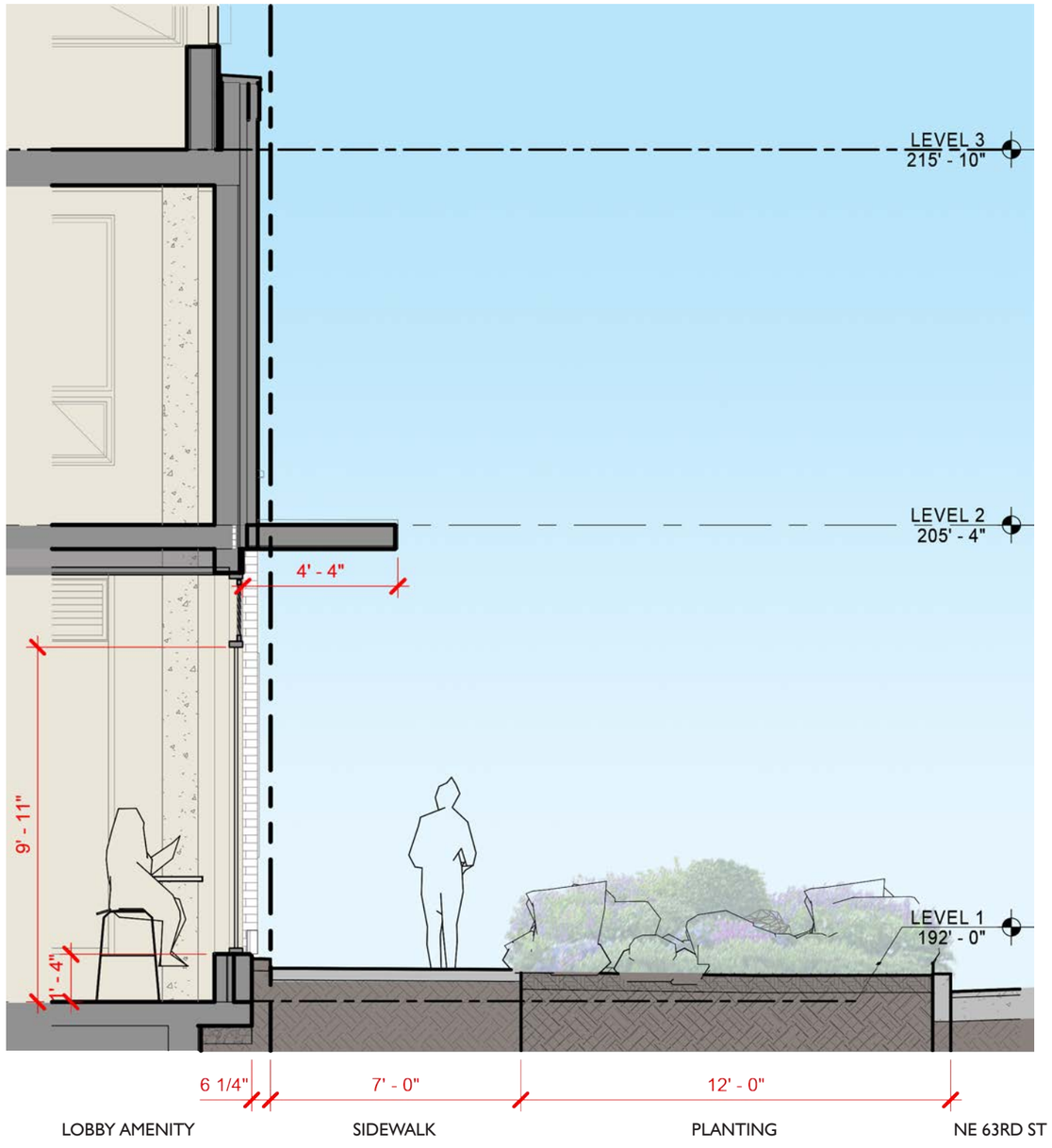
DC2.II.ii.b: Masonry that relates to the historic brick structures in the neighborhood, and a high quality ceramic clad cementitious panel compose the ground level street-facing facades.

PL4.C.3: Adding a secondary entrance at the northeast end of the site provides a convenient entry for residents arriving from the Roosevelt Light Rail Station or arriving from the grocery just two blocks away.

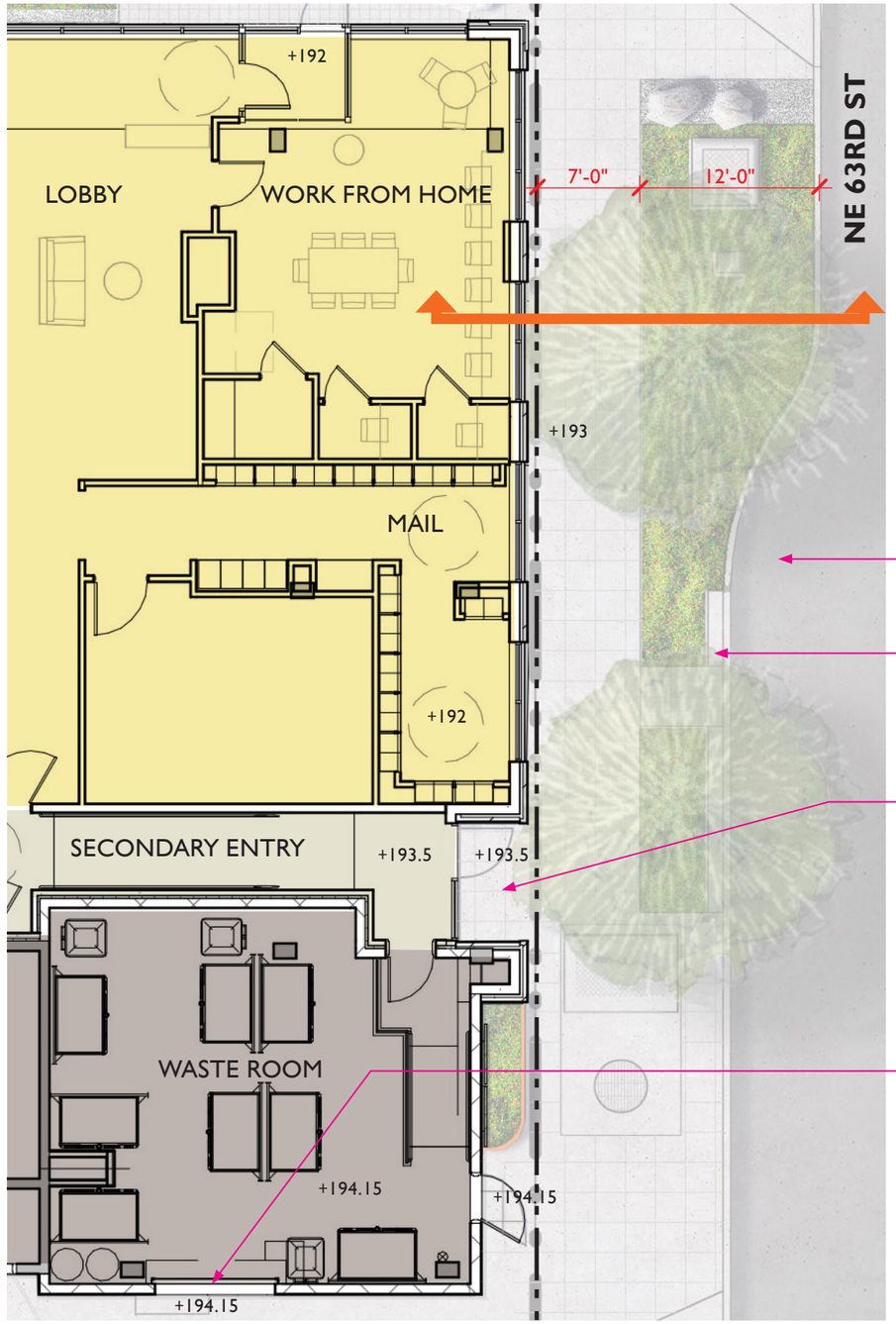
CS2.III.iii.g / DC2.B.2: The wall mounted trellis and landscaping seamlessly incorporate the necessary utility frontage into the 63rd Street facade.

DC1.B.1 / DC1.C.4: Although the alley will remain unimproved after much negotiation with SPU, waste pick up will occur just inside the alley, removing the waste room roll up door from the street facing facade and allowing for a more pedestrian friendly streetscape.

NE 63RD ST FRONTAGE



PEDESTRIAN SECTION AT LOBBY AMENITY



PARTIAL SITE PLAN

Street parking provided on NE 63rd Street.

18" wide paved edge allows for easy access to parked cars

PL4.C.3: Adding a secondary entrance at the northeast end of the site provides a convenient entry for residents arriving from the Roosevelt Light Rail Station or arriving from the grocery just two blocks away.

DC1.B.1 / DC1.C.4: Although the alley will remain unimproved after much negotiation with SPU, waste pick up will occur just inside the alley.

ROOSEVELT RESIDENTIAL FRONTAGE

DC2.C.1 & 2: Laser cut, railings at grade add texture, pattern and detail to the facades.

CS2.A.1: The pattern chosen has a vertical expression that filters light similarly to sunlight filtering through leaves in keeping with the building concept.

PERFORATED BALCONY RAILING

CS1.IV: Expressed rain leaders pouring into bioretention planters add rhythm to the facade and also express the historic drainage patterns through the neighborhood towards the ravine.

Rain leader with exposed front showcases the movement of water as it trickles down the trough.

Weathering steel bioretention planter between balconies

EXPOSED RAIN LEADER & BIORETENTION PLANTER

DC2.C & D: Laser cut, weathering steel metal panels between close balconies create privacy between residents and vertically integrates plants into the facade. The laser cut pattern is the same as the railings at all balconies helping tie these elements together.

PRIVACY SCREENS BETWEEN PATIOS

DESIGN PRIORITIZING LANDSCAPING & USABILITY FOR ACTIVATION

This site is not within the pedestrian designated zones. Commercial uses are not required and these apartment homes are not to be used as live / work units.

EDG Report Comment 2a:

The board supported the ground level uses, but wanted to study increasing activation on Roosevelt.

(See pages 8-11 for more information)

DC2.C.2: Canopies over doors facing Roosevelt add depth and human scale to the facade while also serving the functional purpose of weather protection and shading these west facing glass doors.

DC2.D.2: The addition of bands of wood-look facade, and patterned railings and privacy screens between balconies adds rhythm, detail, and visual interest to the facade near grade, enhancing the pedestrian experience.

CS1.IV: Expressed rain leaders pouring into bioretention planters echo the historic drainage patterns in Ravenna towards the ravine and provide engaging movement on the facade.

PL3.B.1: Elevating the private exterior spaces both meets the zoning requirements and also helps meet the security concerns outlined in the design guidelines. The lush landscaping provides an appropriate buffer between public and private spaces.

PL2.I.iii: Seating is provided mid-block along the Roosevelt frontage as a pedestrian amenity.

CS2.II.i: Private open spaces are included between the building and street frontage in keeping with design guidelines. These are intentionally large and are secured from the sidewalk so that residents are more likely to use them. When patios provide ample space for furniture and are secured the increased activity from residents adds activation along the street frontage.

CS2.II.ii: Landscaping is incorporated between the sidewalk and this multifamily structure.

ROOSEVELT RESIDENTIAL FRONTAGE

DC2.D.2: The addition of bands of wood-look facade, and patterned railings and privacy screens between balconies adds rhythm, detail, and visual interest to the facade near grade, enhancing the pedestrian experience.

DC2.C.1 / DC4.A: The high-quality, ceramic-clad facade material facing Roosevelt has a pronounced three dimensional texture and durable finish adding detail to the pedestrian realm.

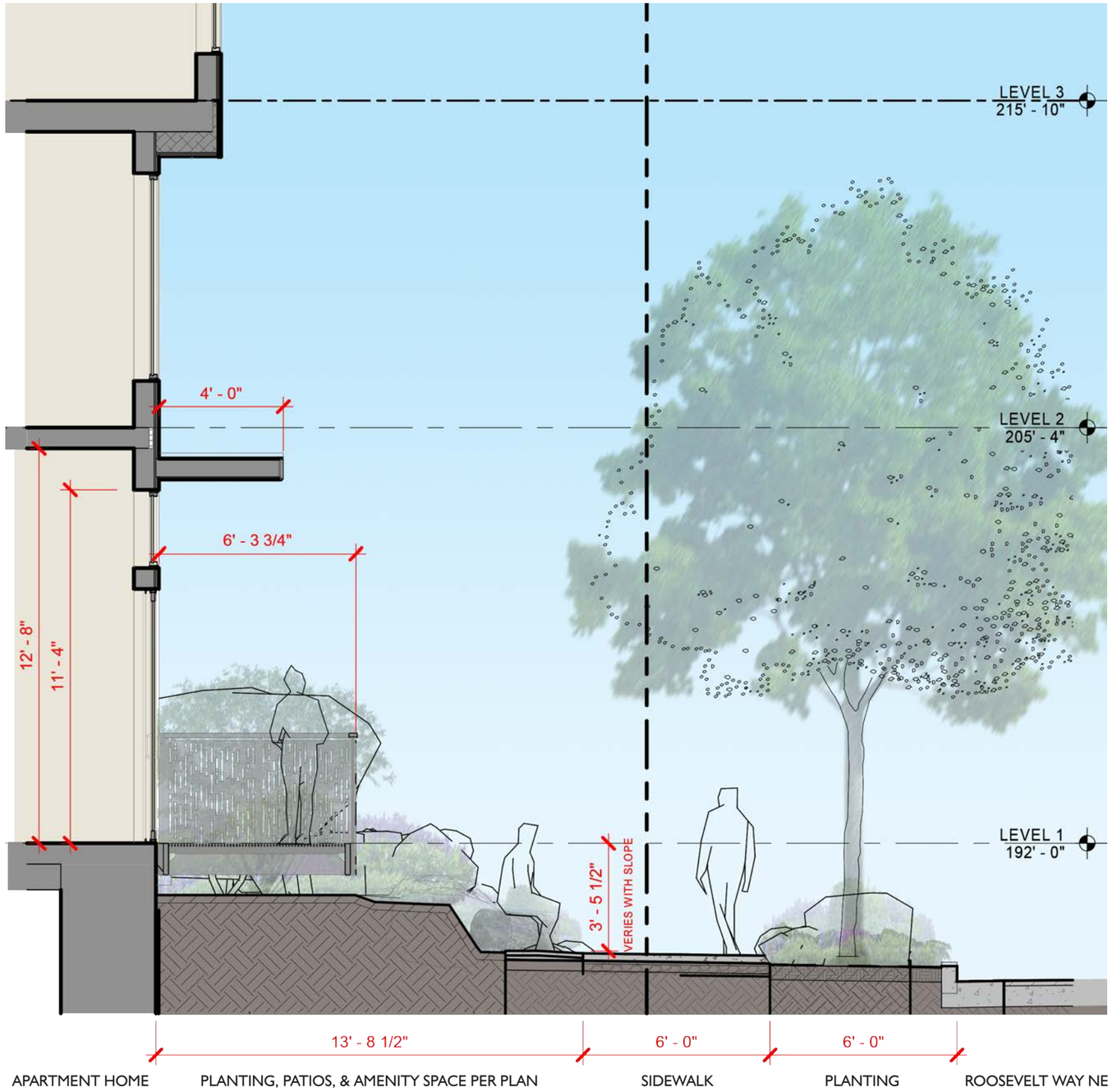
PL2.B.1: Residential apartment homes, and their private balconies, provide excellent opportunity for visual surveillance of the sidewalk and streetscape.

CS2.II.i / PL3.II.ii: Private open spaces are included between the building and street frontage in keeping with design guidelines.

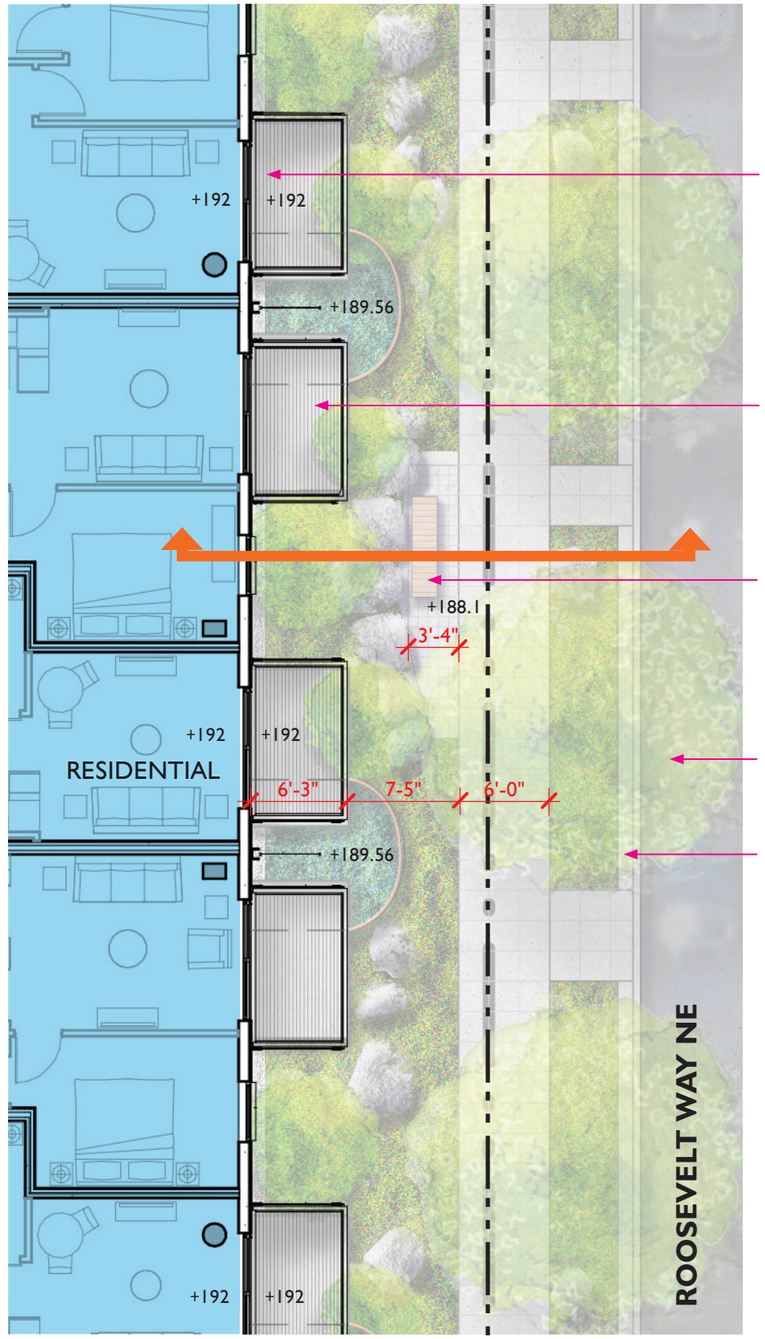
CS1.D / DC3.C.3: The significant vegetation provided along Roosevelt extends natural habitats for plants and animals in this previously exclusively hardscaped city block.

CS1.IV / DC2.C.2 / DC3.I.ii: Expressed rain leaders pouring into bioretention planters add rhythm to the facade and echo the historic drainage patterns through the neighborhood towards the ravine.

ROOSEVELT RESIDENTIAL FRONTAGE



PEDESTRIAN SECTION AT ROOSEVELT MIDBLOCK



PL2.B.1: Residential apartment homes, and their private balconies provide excellent opportunity for visual surveillance of the sidewalk and streetscape.

CS2.II.i / PL3.II.ii: Private open spaces are included between the building and street frontage in keeping with design guidelines.

PL2.I.iii: Seating is provided mid-block along the Roosevelt frontage as a pedestrian amenity.

Street parking provided on NE 63rd Street.

18" wide paved edge allows for easy access to parked cars.

PARTIAL SITE PLAN

PHOENIX PROPERTY CO | WEBER THOMPSON

APPROACH FROM SOUTHWEST

THREE-DIMENSIONAL EYE-CATCHING ENTRY ART

CS2.A.1: The proposed art installation / light fixture incorporates natural vegetation themes in keeping with the overall building concept.

Dramatically lit from above, the installation catches light and reflects it in a myriad of directions in a sparkling effect. This is further highlighted by the surrounding walls' wood-textured coverings, engaging pedestrians.

ETCHED BOULDER FITNESS STATIONS

Located just outside the fitness amenity and bike entry, etched boulders depict fitness strategies or neighborhood running / biking maps. These enhance resident life and connect residents to the neighborhood and public.

PL3.B.4: These dual-purpose installations create natural points of interest on the sidewalk that draw attention of pedestrians and residents alike, encouraging interaction.

SOUTHERN AMENITY ENTRY

EDG Report Comment 2b:

The board wanted to ensure the building animates and engages Roosevelt and 63rd.

(See pages 8-11 for more information)

DC2.C.1 / DC4.A: The facade at the corner of Roosevelt and 62nd is clad in a variegated brick atop a low concrete base enhancing durability, texture, and scale within the pedestrian realm

CS3.A.1 / DC2.C.3: In keeping with the detailing on nearby older structures, the corner brick podium masses include details like brick soldier courses and expressed masonry lintels above windows.

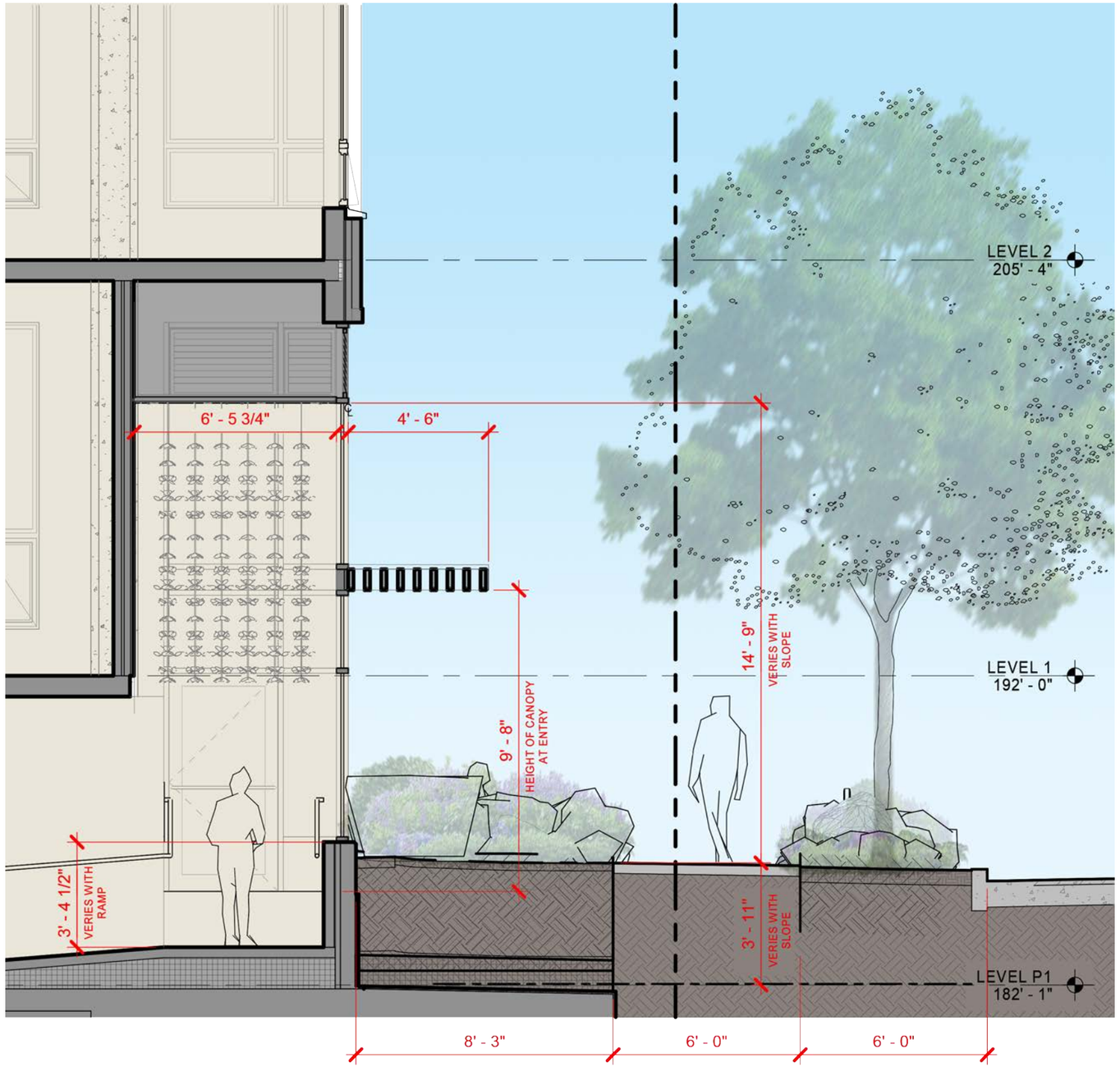
PL2.C: A large canopy provides weather protection at the amenity entry. Its unique slatted end over the planting allows for rain watering landscaping while keeping the pedestrian and seating area dry.

DC3.B.3: The southern resident entry provides the most convenient access to Ravenna Park and Ravenna Boulevard which also leads to Green Lake,

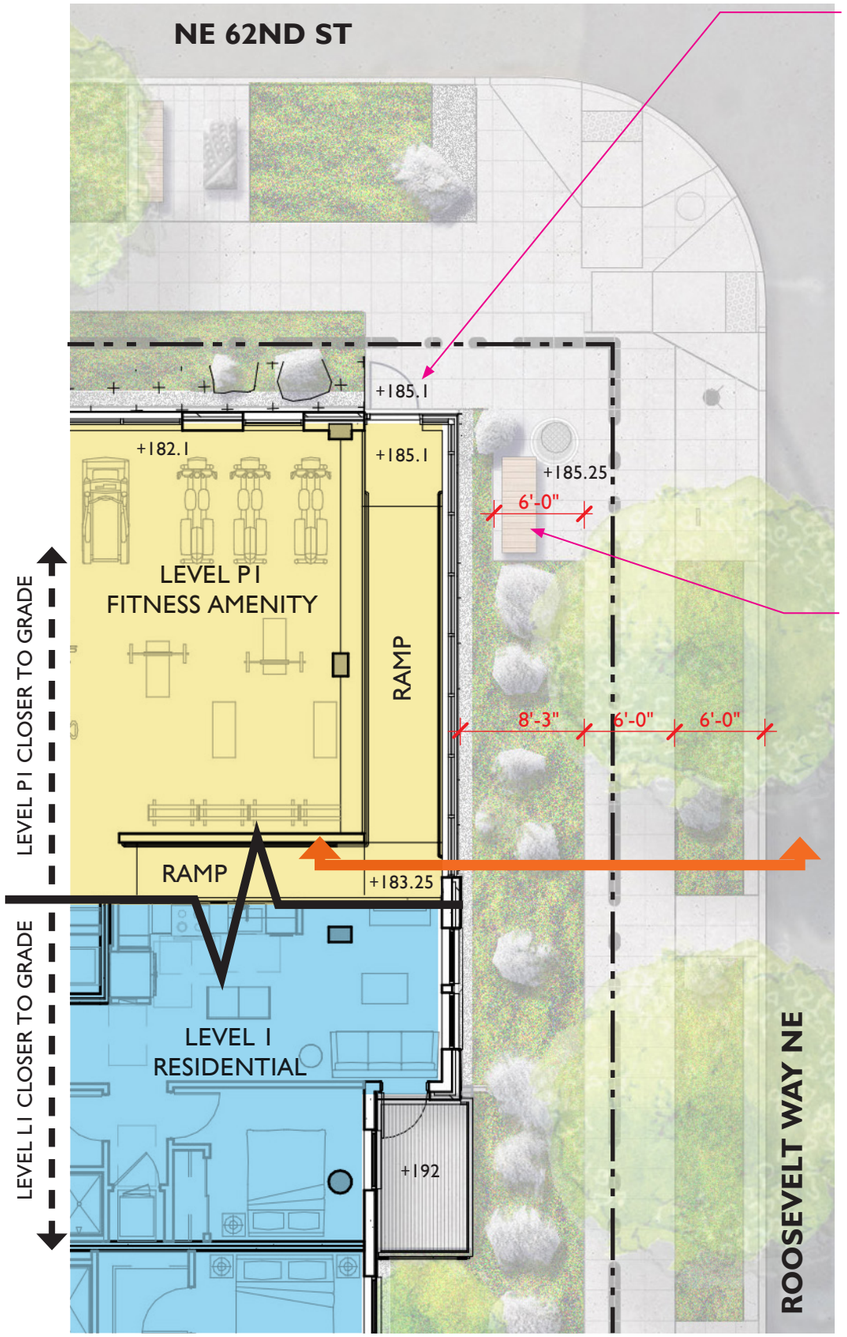
PL4.I / PL4.B: Cycling is likely to be a common and preferred method of transportation considering the nearby Light Rail, bicycle lanes, and parks. Providing a convenient, dedicated bicycle entry will be a lively and active part of the building program.

PL2.I.iii: Adjacent to this building's fitness and bicycle amenity spaces, the streetscape design includes amenities to aid in exercise.

SOUTHERN AMENITY FRONTING ROOSEVELT



PEDESTRIAN SECTION AT FITNESS ENTRY (WEST FACADE)



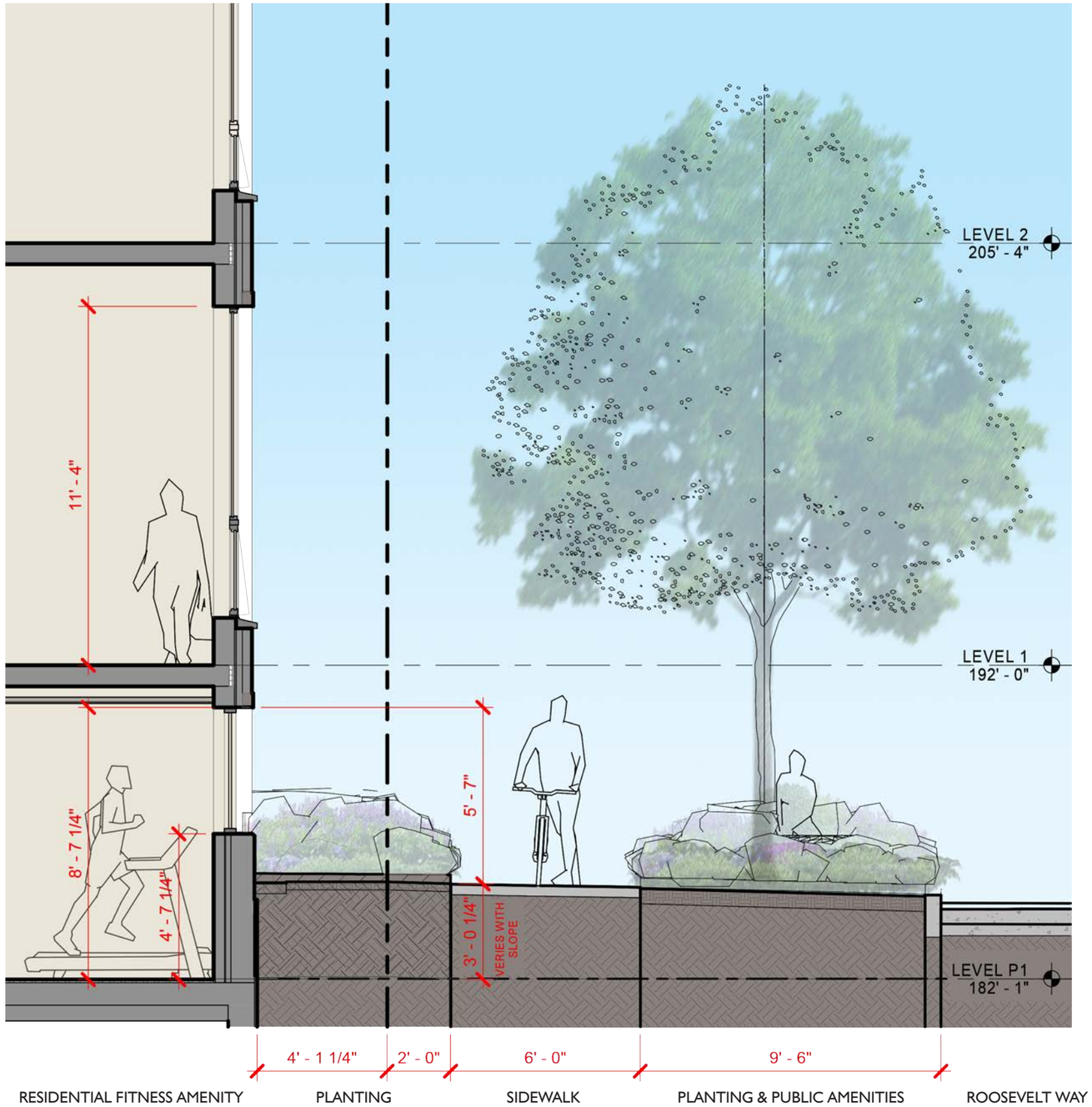
PARTIAL SITE PLAN

DC3.B.3: The southern resident entry provides the most convenient access to Ravenna Park and Ravenna boulevard which also leads to Green Lake.

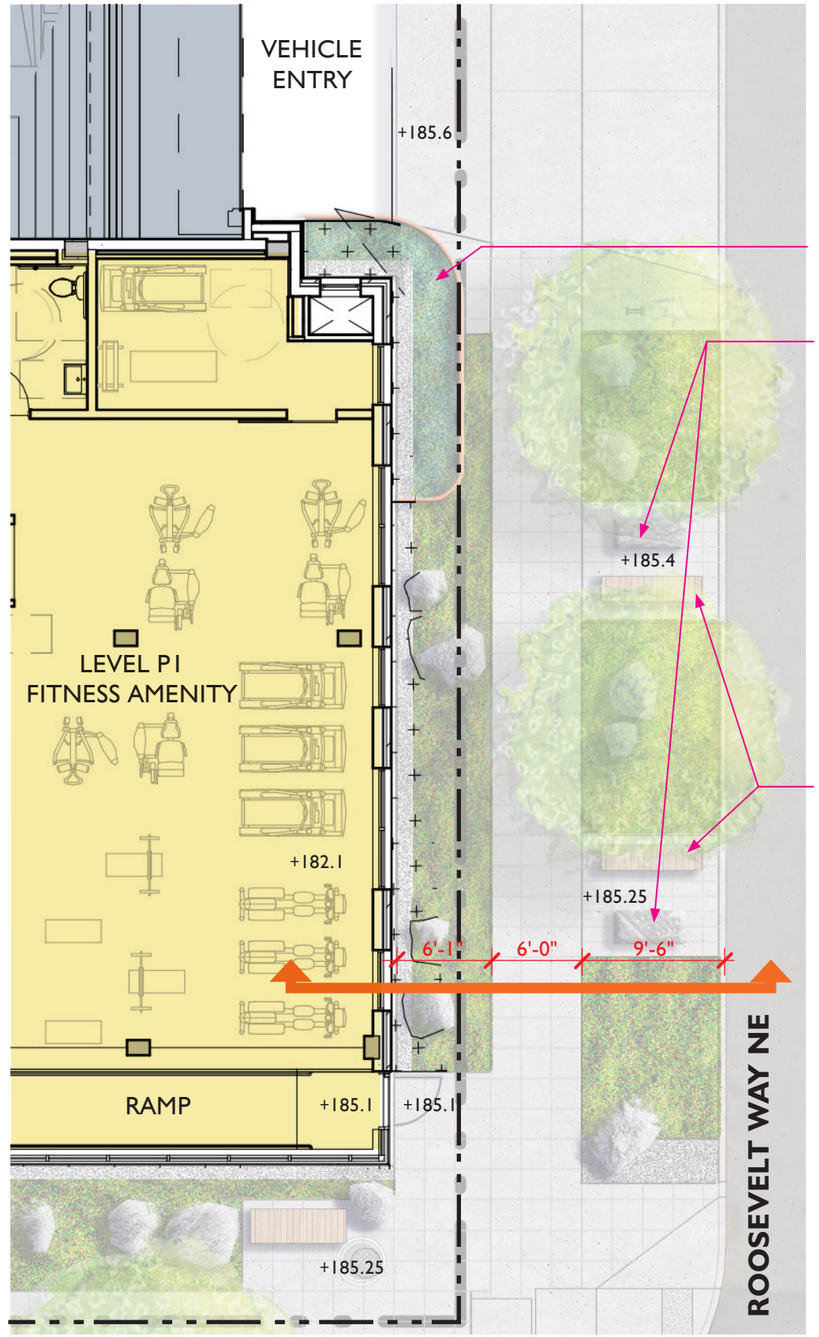
PL4.I / PL4.B: Cycling is likely to be a common and preferred method of transportation considering the nearby Light Rail, bicycle lanes, and parks. Providing a convenient, dedicated bicycle entry will be a lively and active part of the building program.

PL2.I.iii: Seating is provided mid-block along the Roosevelt frontage as a pedestrian amenity.

SOUTHERN AMENITY FRONTING 62ND



PEDESTRIAN SECTION AT SOUTH FACADE OF FITNESS



Minimally raised weathering steel planter.

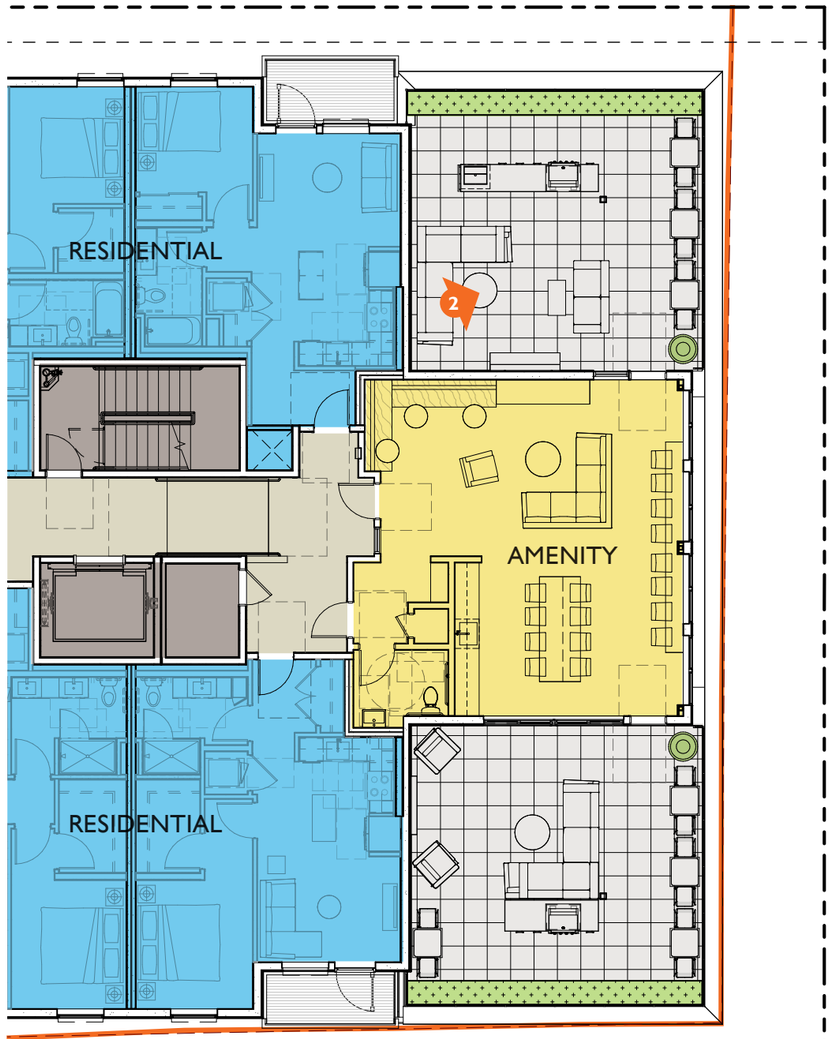
PL3.B.4: Etched boulders depict fitness strategies or neighborhood running / biking maps. These dual-purpose installations create natural points of interest on the sidewalk that draw attention of pedestrians and residents alike, encouraging interaction.

PL2.I.iii: Seating is provided mid-block along the Roosevelt frontage as a pedestrian amenity.

PARTIAL SITE PLAN

SOUTHEAST AERIAL

LEVEL 7 RESIDENT AMENITY SPACE



PARTIAL LEVEL 7 PLAN

1 SW AERIAL VIEW

2 VIEW FROM THE EXTERIOR AMENITY SPACE

The exterior amenity space does more than just provide gathering spaces for residents.

CS2.III.iii: The stepped massing at the top of the building and again at level 3 help transition the massing in the NC3-75 zone to that of the neighboring site, mitigating the bulk and scale of the building adjacent to smaller context.

CS1.C: The stepped massing at the south end of the building follows the sloping topography of the site.

DC1.A.4 Placing both the interior and exterior common amenity areas for the building at the south end of the building allow these communal spaces to capitalize on views of downtown and Rainier.

PHOENIX PROPERTY CO | WEBER THOMPSON

APPROACH FROM SOUTHEAST

DC1.A.4 Placing both the interior and exterior common amenity areas for the building at the south end of the building allow these communal spaces to capitalize on views of downtown and Rainier.

CS2.III.iii: The stepped massing at the top of the building and again at level 3 help transition the massing in the NC3-75 zone to that of the neighboring site.

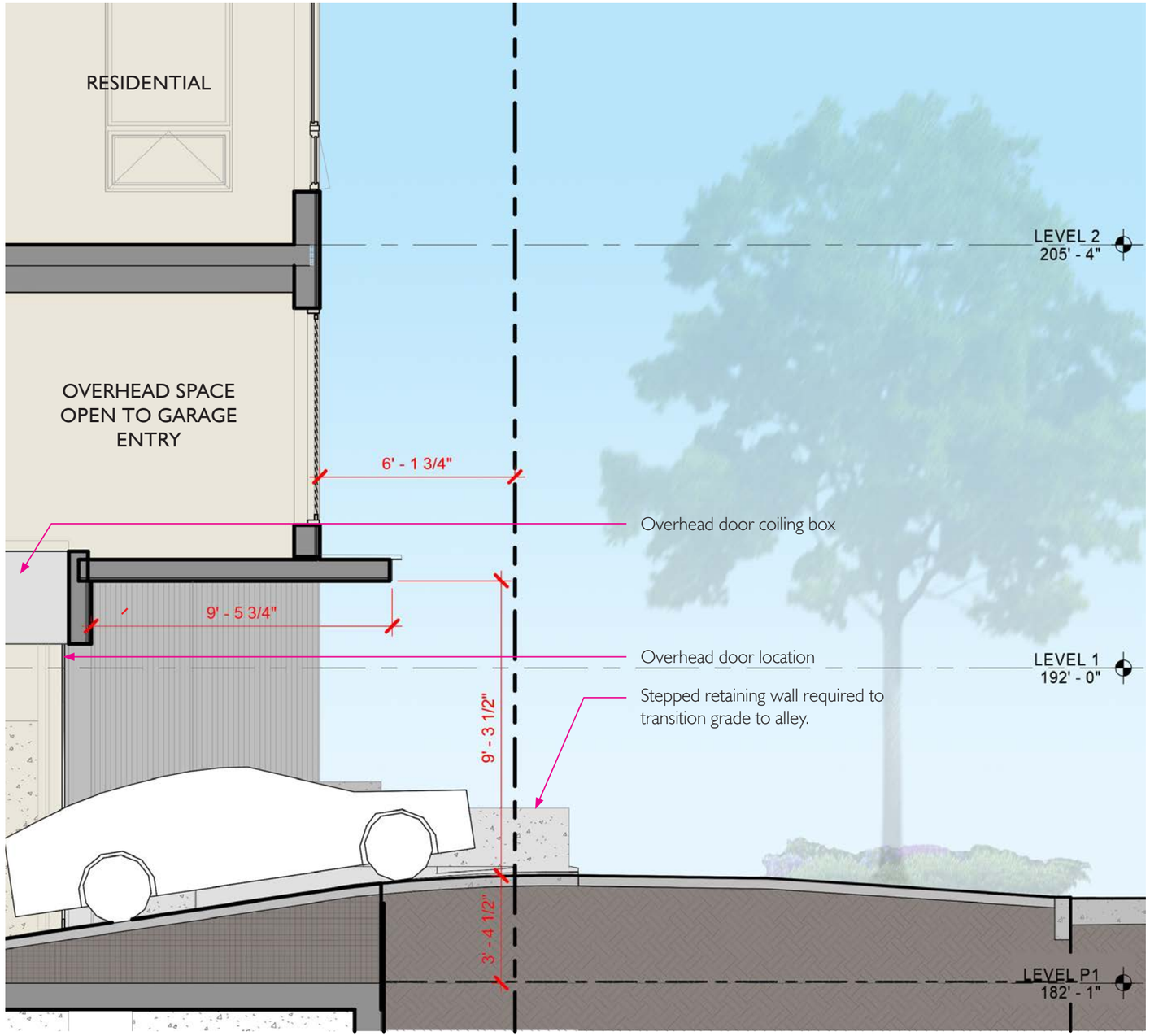
DC2.B.1: The design team uses the same modulating features fronting the alley as Roosevelt in order to maintain a cohesive design around all parts of the building.

CS2.III.iii.e: Modulating recesses break down the length of the massing. At EDG the board appreciated that the alley facade was treated so similarly to that of the Roosevelt facade.

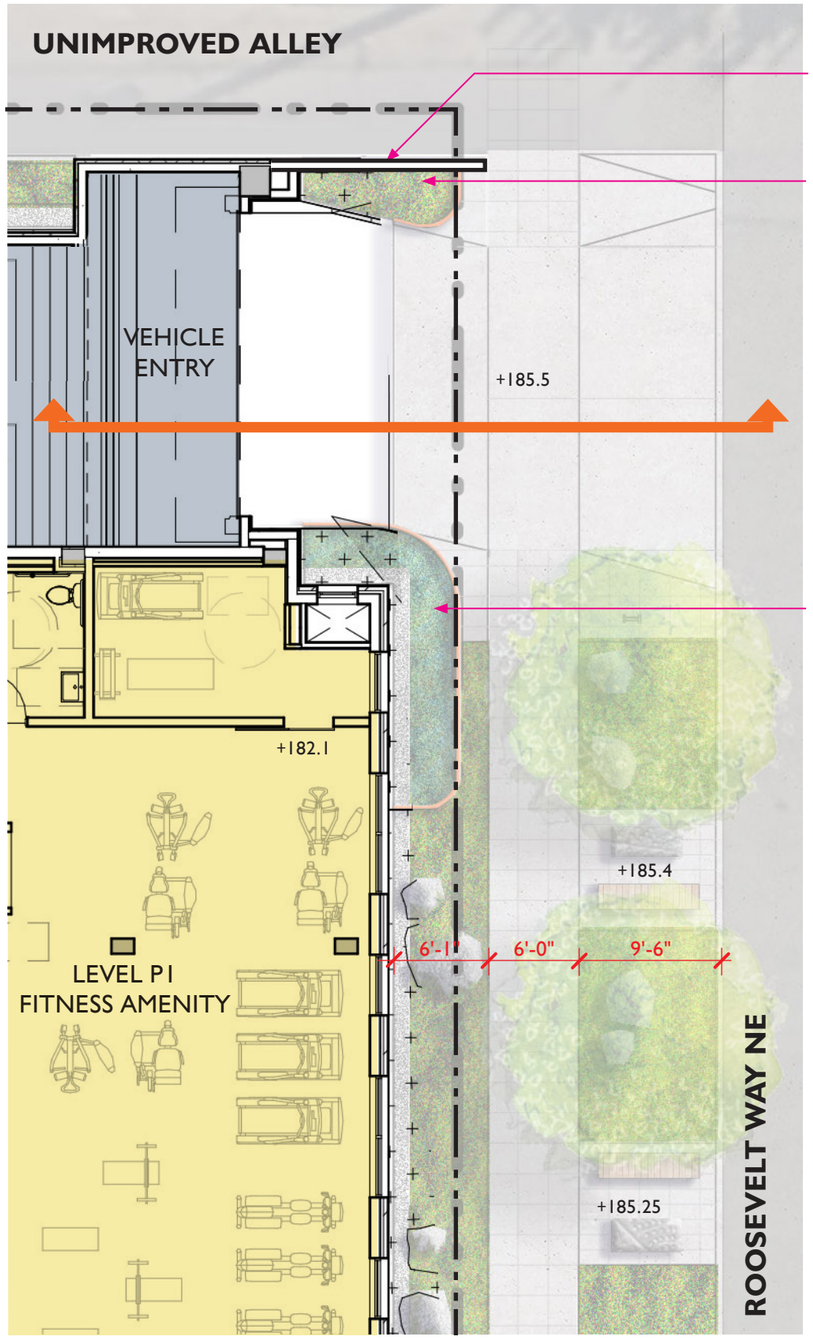
DC2.B.1: The high-quality ceramic-clad cementitious panel used on the primary facade wraps onto the alley facade to improve the view walking down the public sidewalk.

DC1.B.1: Although the alley will remain unimproved and not viable for vehicle entry, the project has placed the vehicle access adjacent to the alley where drivers and pedestrians anticipate cars. This is also the low end of the site helping to minimize the impact of the entry on the facade.

GARAGE ENTRY ON 62ND



SECTION AT GARAGE DRIVEWAY ENTRY



Stepped retaining wall required to transition grade to alley.

Minimally raised weathering steel planter. The height is low enough to avoid blocking views.

Minimally raised weathering steel planter. The height is low enough to avoid blocking views.

PARTIAL SITE PLAN

PHOENIX PROPERTY CO | WEBER THOMPSON

ALLEYWAY

EDG Report Comment 3:

The board asked that the design evolution create an appropriate response to the alley that takes into account safety and promotes connectivity.

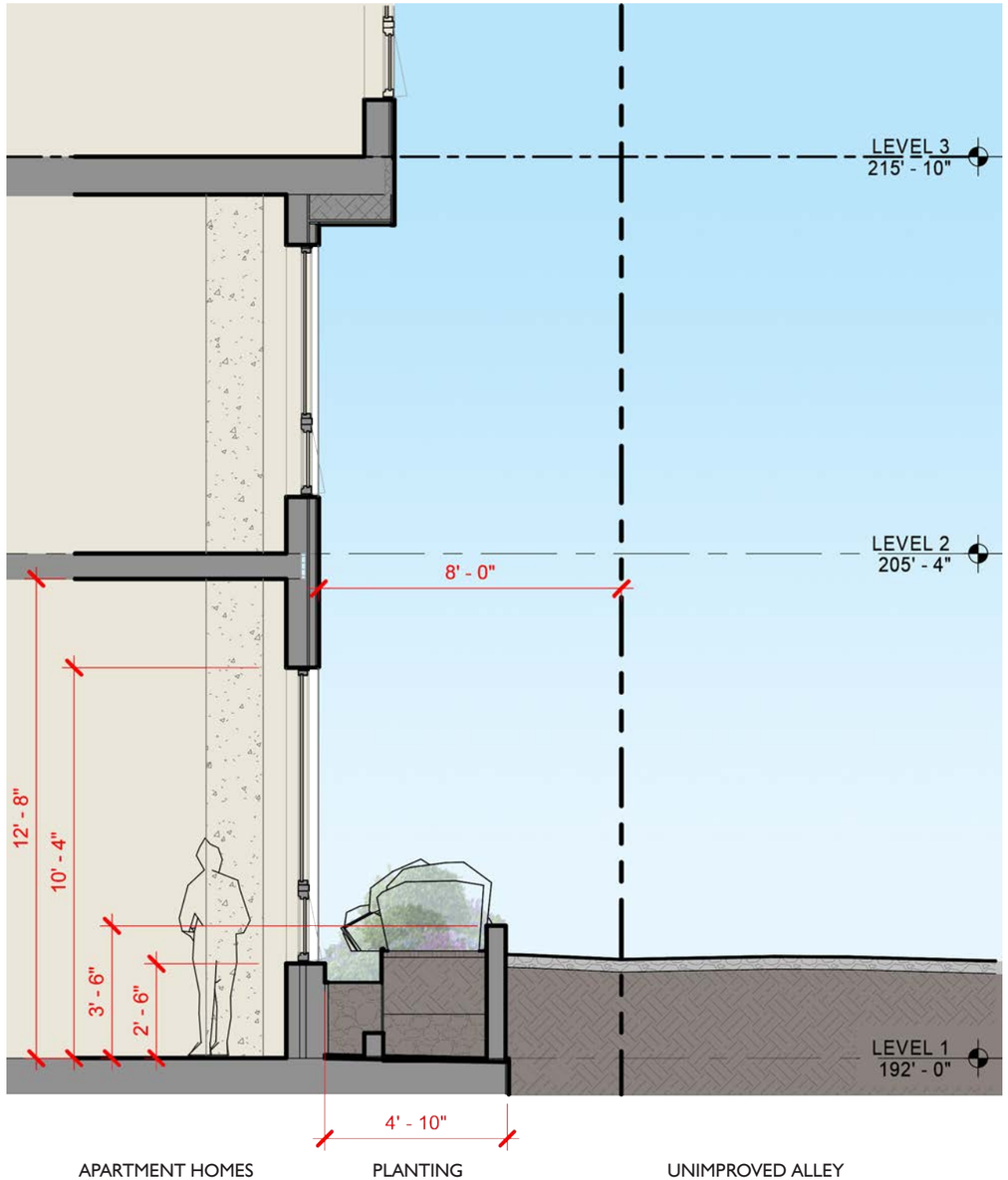
(See pages 8-11 for more information)

DC2.B.1: The design team uses similar patterns and modulations fronting the alley as Roosevelt in order to maintain a cohesive design around all parts of the building.

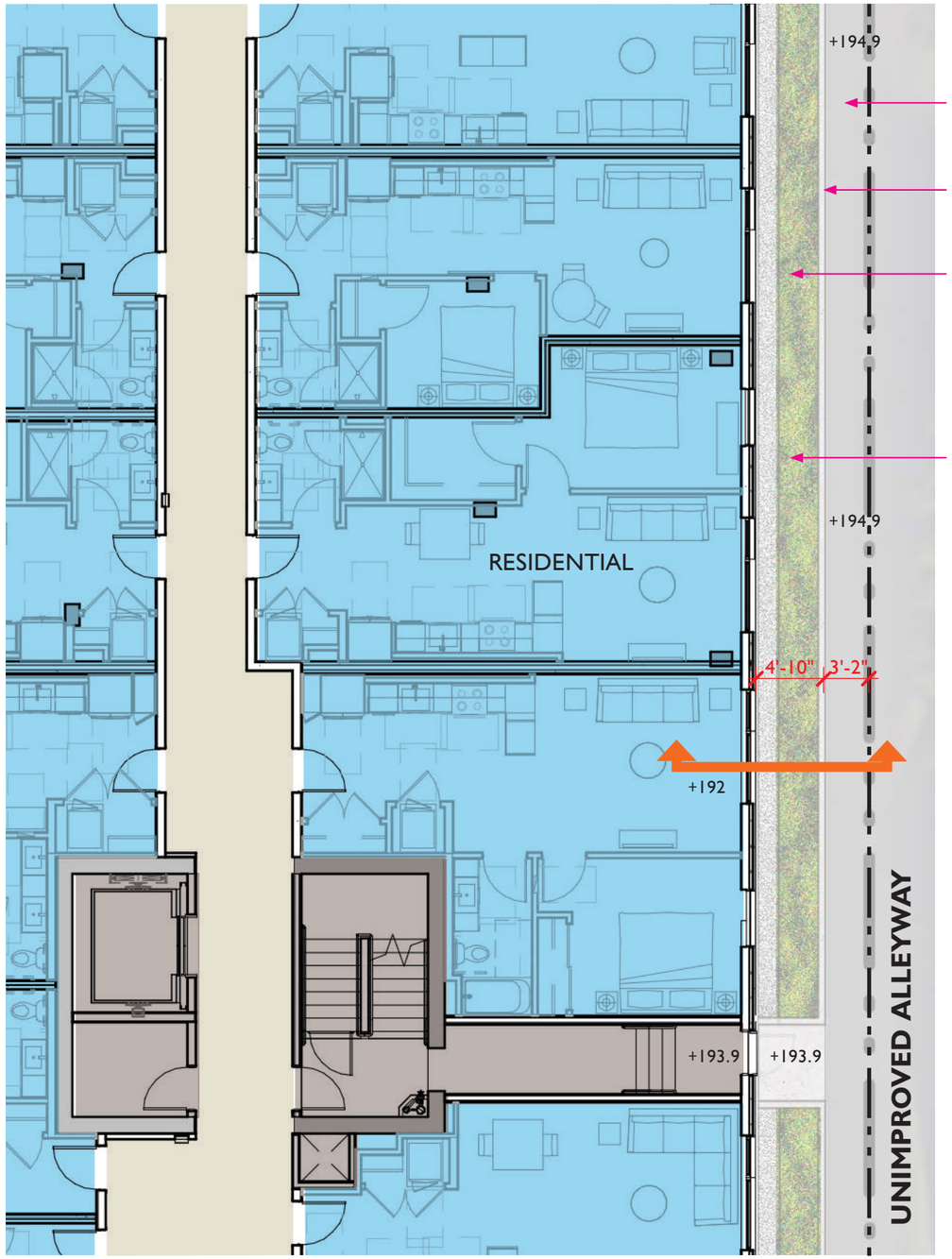
DC2.D.2: The addition of bands of wood-look facade adds rhythm, detail, and visual interest to the facade near grade.

PL2.B.1: Residential apartment homes, buffered with landscaping, provide excellent opportunity for visual surveillance of the alleyway.

ALLEYWAY



PEDESTRIAN SECTION AT ALLEYWAY



PARTIAL SITE PLAN

Required 3 foot alley dedication

Curb for vehicle protection

Stepping landscaping minimizes sunlight and view blocking for interiors while maintaining privacy for residents.

PL2.B.1: Residential apartment homes, buffered with landscaping, provide excellent opportunity for visual surveillance of the alleyway.

APPROACH FROM NORTHEAST

*Allowable massing envelope of adjacent NC2-75 property.

DC2.B.1: The high-quality ceramic-clad cementitious panel used on the primary facade wraps onto the alley facade to improve the view walking down the public sidewalk. Additionally a band of wood-look material extends from the roll up door adding interest to the corner facade

DC1.B.1 / DC1.C.4: Although the alley will remain unimproved after much negotiation with SPU, waste pick up will occur just inside the alley, removing the waste room roll up door from the street facing facade and allowing for a more pedestrian friendly streetscape.

CONCEPTUAL LIGHTING PLANS

Site Plan

Level 7 Exterior Plan

Lighting Key

- CANOPY SOFFIT DOWN LIGHTS
- CANOPY SOFFIT DOWN LIGHTS (SWITCHED TO INDIVIDUAL APARTMENT HOME)
- WALL SCONCE
- CATENARY LIGHT AT CANOPY

Conceptual Fixtures

Canopy Down Lights (both)

Wall Sconce

Catenary Lights

PHOENIX PROPERTY CO | WEBER THOMPSON

CONCEPTUAL SIGNAGE PLAN

Signage Key

- CANOPY BUILDING IDENTIFICATION SIGN
- BUILDING MOUNTED PEDESTRIAN BUILDING IDENTIFICATION SIGN
- BICYCLE / FITNESS ENTRY SIGN HANGING BLADE SIGN
- WALL MOUNTED PARKING ENTRY BLADE SIGN

Conceptual Signage Examples

Canopy Building Identification

Pedestrian Building Identification

Blade Signs (wall mounted and hanging)

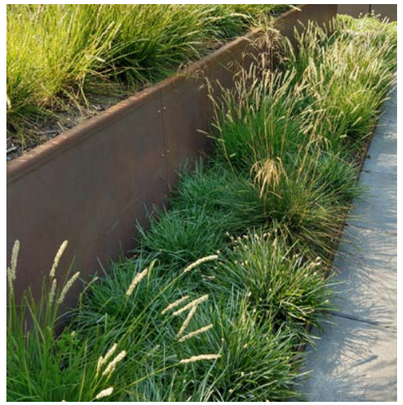
LANDSCAPE

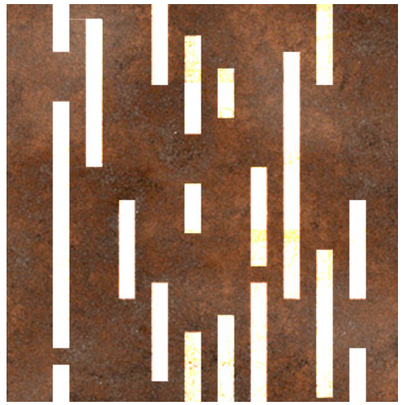
LANDSCAPE

OVERALL SITE PLAN

PHOENIX PROPERTY CO | WEBER THOMPSON | SiteWorkshop LANDSCAPE ARCHITECTURE

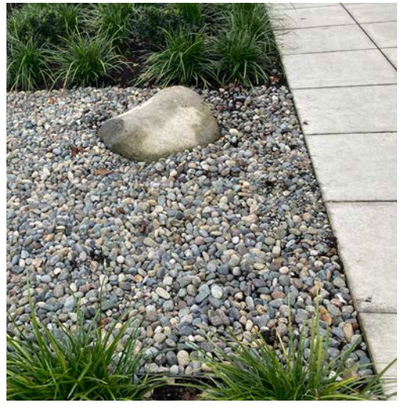
NE 63RD ST





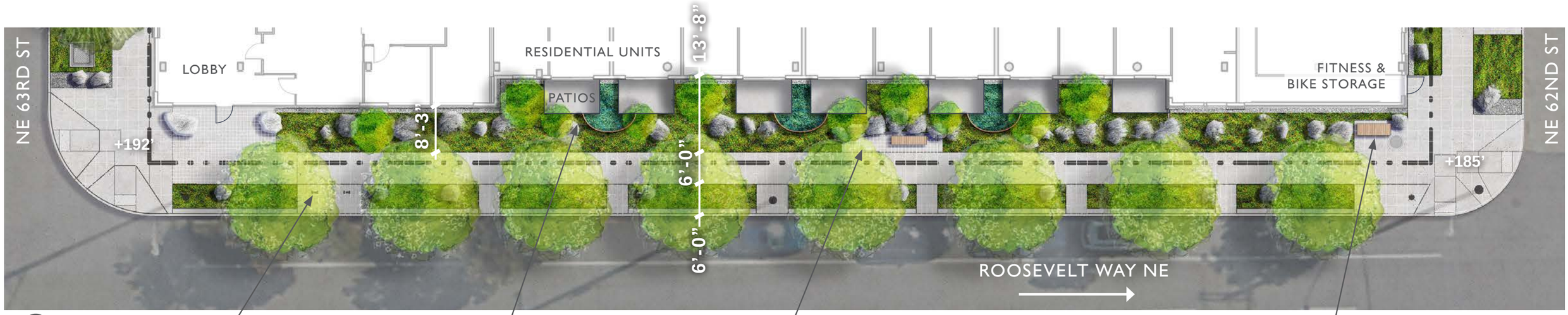
WEATHERING STEEL PLANTER & VINE PLANT SCREEN

CUT BOULDER SEATS & SPECIALTY UNIT PAVERS

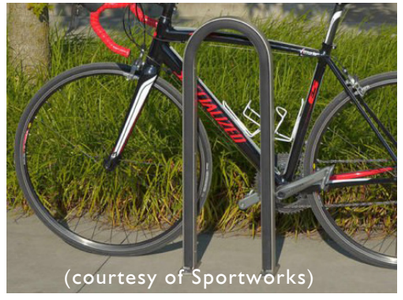


PET RELIEF AREA

ROOSEVELT WAY NE



(4) BICYCLE RACK



(courtesy of Sportworks)

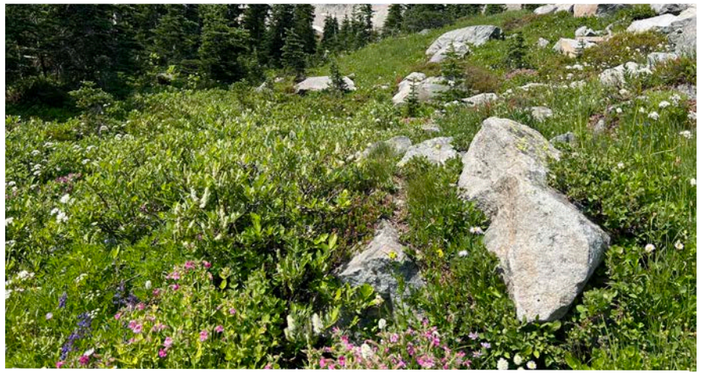
(3) BIORETENTION PLANTERS
WEATHERING STEEL

SPECIALTY UNIT PAVERS

WOOD BENCH SEATING

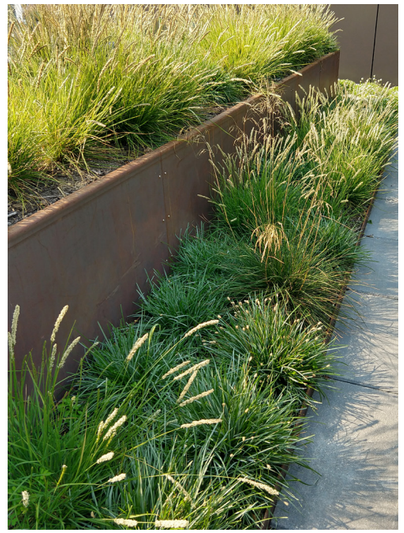
(Photo Courtesy of Landscape Forms)

BOULDER LANDSCAPE



PHOENIX PROPERTY CO | WEBER THOMPSON | SiteWorkshop LANDSCAPE ARCHITECTURE

NE 62ND ST



WEATHERING STEEL PLANTER

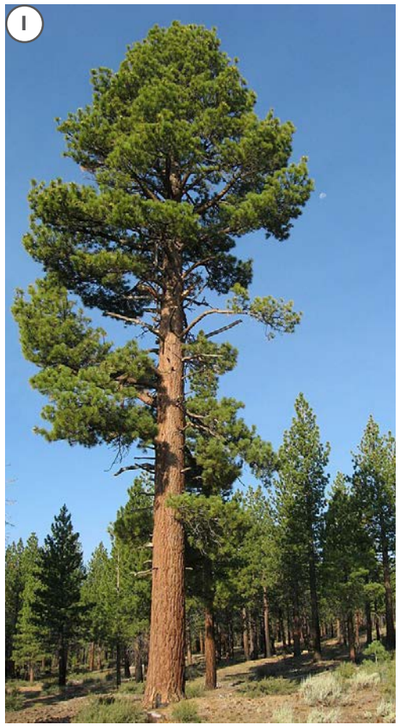
(2) WOOD BENCH SEATING

(Photo Courtesy of Landscape Forms)

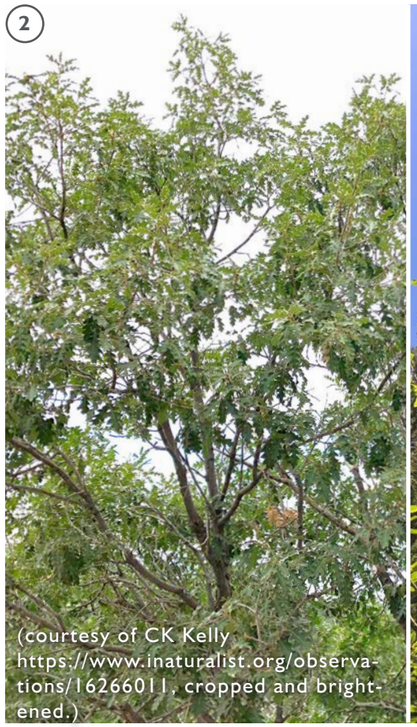
& CUT BOULDER PLINTH WITH ENGRAVED MAP OF NEIGHBORHOOD TRAILS

L7 ROOF AMENITY

STREET TREES

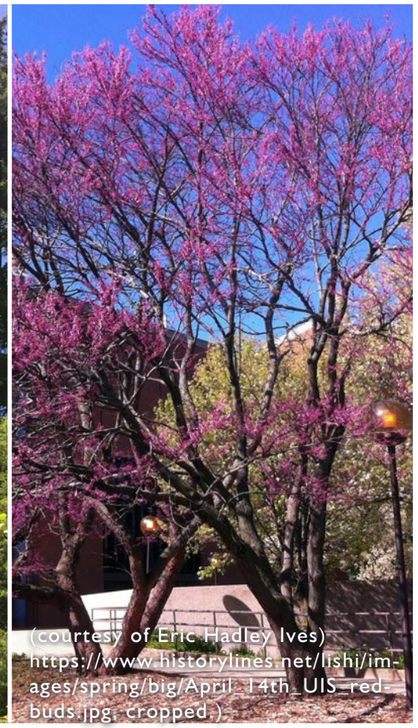


Pinus Jefferyi
Jeffrey Pine

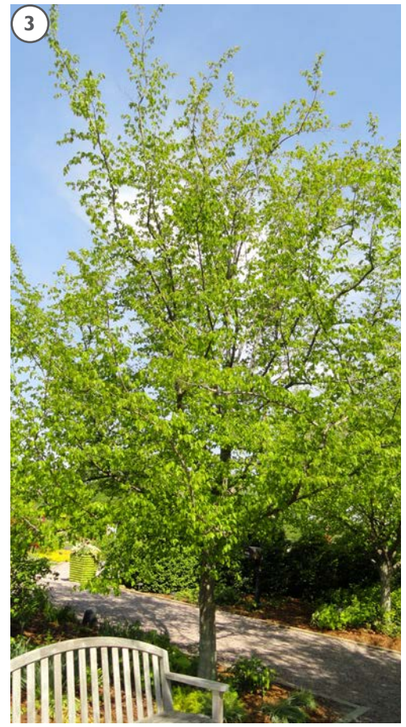


Quercus x undulata
Wavyleaf Oak

Rhamnus purshiana
Cascara Buckthorn



Cercis occidentalis
Western Redbud



Carpinus caroliniana
American Hornbeam

PHOENIX PROPERTY CO | WEBER THOMPSON | SiteWorkshop LANDSCAPE ARCHITECTURE

ON-SITE

Arctostaphylos spp.
Manzanita varieties: St. Helen's, Blue Point, Austin Griffiths, Wayside

Rhamnus californica 'Eve Case'
Eve Case Coffeeberry

Ceanothus 'Victoria'
California Lilac 'Victoria'

Notholithocarpus densiflora var. echinoides
Shrub Tan Oak

Sidalcea malviflora ssp. virgata
Rose Checker Mallow

Polemonium carneum
Royal Jacob's Ladder

Achillea millefolium
Yarrow 'Salmon Beauty'

Eriophyllum lanatum
Wooly Sunflower

Penstemon heterophyllus
'Electric Blue' Beardtongue

Carex pansa
California Meadow Sedge

Spirea betulifolia var. lucida
Birchleaf Spirea

Monardella villosa 'Russian River'
Showy Coyote Mint

BIORETENTION

Camassia leichtlinii
Great Camas

Geranium oreganum
Oregon Geranium

Tellima grandifolia
Fringecup

Ranunculus occidentalis
Western Buttercup

Sidalcea malviflora ssp. virgata
Rose Checker Mallow

Iris douglasiana
Douglas Iris

Potentilla gracilis
Slender cinquefoil

Aquilegia formosa
Western Red Columbine

Carex pansa
California Meadow Sedge

RIGHT OF WAY

Camassia leichtlinii
Great Camas

Achillea millefolium
Yarrow 'Salmon Beauty'

Erigeron 'WR'
Wayne Roderick Daisy

Balsamorhiza deltoidea
Deltoid Balsamroot

Allium amplectens
Narrowleaf Onion

Frittilaria affinis
Checker Lily

Achillea millefolium
Yarrow 'Salmon Beauty'

Potentilla gracilis
Slender cinquefoil

Castilleja miniata
Meadow Paintbrush

Carex pansa
California Meadow Sedge

Brodiaea elegans
Harvest Brodiaea

Epilobium 'Bowman'
Bowman's California Fuschia

APPENDIX

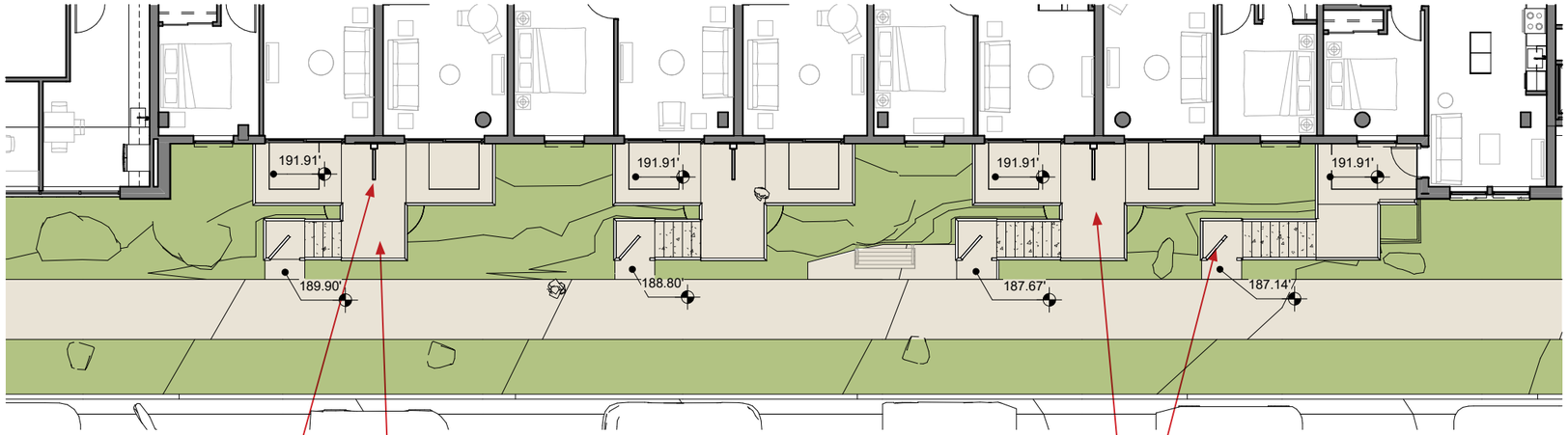
BOARD REQUESTED RESIDENT STOOP ACCESS STUDY

EDG Report Comment 2a:

The board supported the ground level uses, but wanted to study increasing activation on Roosevelt and requested studying direct unit access from the street.

(See pages 8-11 for more information)

Narrative: Providing direct access to the sidewalk from the patios fronting Roosevelt creates an undesirable condition for pedestrians. The team hoped to provide straight stairs and walkways perpendicular to the sidewalk, but the length required to accommodate grade and gates prevented straight runs. For constructibility, significant concrete is required to support the walkways and stairs creating a harsh, wall-like condition abutting the sidewalk. The lush understory atmosphere inspired by the concept is overrun with railings, and concrete.



Providing direct access from the sidewalk to the residential units at grade does little to support the intent of Design Guidelines DC3-11 Landscape to Enhance the Site, DC4-D-4 Place Making, PL2-B Safety and Security, and PL3-B Residential Edges, for the following reasons:

- Due to the gradual, yet significant grade change along Roosevelt, providing street-level access forces an indirect route, that is circuitous and uninviting - DC4-D-4. Straight stairs are not feasible due to the grades and ROW setback limitations.
- Providing stoops/stairs creates a wall of concrete along Roosevelt (the most viable design solution to work with constructibility/site constraints), which does little to activate the streetscape and limits landscape options - DC4-D-4 / PL2-B / PL3-B
- To provide security, gates would be required, creating another unwelcoming barrier - DC4-D-4 / PL3-B.
- Stoops used only for circulation and access, do not provide "Eyes on the Street" and may rarely be used considering residents will likely be entering the building through the main lobby or parking garage (to park and/or pick up mail on a daily basis) - DC4-D-4.

Our proposed design better supports the Design Guidelines for the following reasons:

- Per SMC 23.47A.008, dwelling units at street level shall be located either 4'-0" above sidewalk grade or set back at least 10'-0". Based on the significant slope along Roosevelt, the units are setback 10'-0" to allow for a privacy buffer and ample landscaping per PL2-B / PL3-B / DC3-11 / DC4-D-4.
- Large/usable stoops will provide more activation as the stoops will be used on a more regular basis (because they are protected and off the street) - PL2-B / PL3-B.
- There is precedent in the neighborhood for the proposed design solution and the proposed design better supports the concept of providing residential respite amongst a lush landscape, which better aligns with our block that resides within a transition zone.

PLANNER REQUESTED DESIGN STUDIES

During design evolution, the project team adjusted the massing at the corners as described earlier in this booklet to better align with the design guidelines and adjacent context, and to create a more cohesive project on all 4 sides. As part of this process, the planner suggested studying multiple options for the northwest corner. The design team studied several options and ultimately landed on the design illustrated throughout the book because it best responded to the large scale civic context at the northwest corner and provided the largest glazing in a lantern-like feature above the primary entry, while still feeling cohesive with the building as a whole. We have included these studies to show our homework and the additional effort extended to arrive at the best solution.

STUDY 1

Removed dark band at base of white mass

Rearranged interior layout for more glazing at corner like other corners

Projecting fin detail at the material transition adds depth and shadow lines on the facade.

STUDY 2

Recessed both north and west facades at corner to allow for balcony and to create distinction

Removed dark band at base of white mass

STUDY 3

Recessed north facade to allow for narrow balcony facing north

Added wood-look material similar to where other balconies occur

STUDY 4

Added wood-look material similar to where other balconies occur

Recessed both north and west facades at corner to allow for balcony and create to distinction

STUDY 1

Reduced height of cornice

Continuous band at base of bays also broken to emphasize the massing pieces.

STUDY 2

Same cornice at all white masses

Cornice is broken at recessed bays.

Continuous band at base of bays also broken to emphasize the massing pieces.

STUDY 3

Cornice is broken at recessed bays.

Projecting roof features at non-corner masses

Continuous band at base of bays also broken to emphasize the massing pieces.

STREET & TRANSPORTATION

- Bus Stop
- Light Rail Station
- Principal Arterial (Heavy Vehicular Traffic)
- Minor Arterial (Moderate Vehicular Traffic)
- Light Rail Transit Line (Below-Grade)
- Bike Lanes

- Primary Pedestrian Walking Routes (Per SDOT Pedestrian Program Walking Map, North)
- Proposed Neighborhood Greenways

PHOENIX PROPERTY CO | WEBER THOMPSON

ZONING SUMMARY – NC2-75 (M1)

PARCELS	**179750-0905/ 179750-0925**
SITE AREA PER SURVEY	**24,020 SF / 0.5514 Acres**
CURRENT ZONING	**NC2-75 (M1)**
OVERLAY DISTRICT	**Station Overlay District / Roosevelt Residential Urban Village**
PERMITTED USES **23.47A.004**	All permitted uses allowed as principal or an accessory use Permitted uses = retail sales and service, offices, live/work, parks and open space, institutions, & residential uses
STREET LEVEL USES **23.47A.005**	N/A - project site is not within a pedestrian designated zone & does not fall within the requirements outlined in 23.47A.005.C
STREET LEVEL DEVELOPMENT STANDARDS **23.47A.008**	Blank façade segments between 2 feet & 8 feet above the sidewalk may not exceed 20 feet in width & total of all blank facades may not exceed 40% of the width along the street Street-level, street-facing facades shall be located within 10 ft of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided Non-residential use at street level requires 60% of street facing façade to be transparent between 2 feet & 8 feet, driveways up to 22 feet may be subtracted Where residential uses are located along a street-level street-facing façade, at least one of the facades shall have a visually prominent pedestrian entry and the floor of a dwelling unit shall be at least 4 feet above or 4 feet below sidewalk grade or be set back at least 10 feet from the sidewalk.
STRUCTURE HEIGHT **23.47A.012**	Open railings, planters, skylights, clerestories, parapets, and firewalls may extend as high as the highest ridge of a pitched roof permitted by subsection 23.47A.012.B or up to 4 feet above the otherwise applicable height limit, whichever is higher. Insulation material or soil for landscaping located above the structural roof surface may exceed the maximum height limit by up to 2 feet if enclosed by parapets or walls that comply with this subsection 23.47A.012.C.2. Rooftop decks and other similar features may exceed the maximum height limit by up to 2 feet, and open railings or parapets required by the Building Code around the perimeter of rooftop decks or other similar features may exceed the maximum height limit by the minimum necessary to meet Building Code requirements. 7 feet increase for solar collectors in zones of 75 feet 15 feet increase for mechanical equipment, penthouses, etc. at 03% of total roof area or 35% if total area includes stair or elevator penthouses or screened mechanical equipment 16 feet increase for stair/elevator penthouses Solar collectors, planters, clerestories and green houses must be located 10 feet from the north lot line unless a shadow diagram is provided to prove no negative impacts on the north property
FLOOR AREA RATIO (FAR) **23.47A.013**	Within the Station Overlay District per Table B = 6 Exempt FAR: All stories, or portions of stories, that are underground All portions of a story that extend no more than 4 ft above existing or finished grade, whichever is lower, excluding access Floor area of required bicycle parking for small efficiency dwelling units, if the bicycle parking is located within the structure containing the SEDUs
SETBACK REQUIREMENTS **23.47A.014** **23.53.030**	23.47A.014.B.2 = NA Upper-level Setbacks. For street-facing facades, for zones with a height limit of 75 feet, portions of structures above 65 feet must be setback from the front lot line by an average depth of 8 feet. 23.47A.014.D = NA 3 foot alley dedication required 4 foot R.O.W. Setback required
LANDSCAPE REQUIREMENTS **23.47A.016**	Green factor of 0.3 or greater required / Street trees required
MHA IN NC ZONES **23.47A.017**	Subject to provisions of 23.58C / Medium Area fee requirements per GIS
LIGHT AND GLARE STANDARDS **23.47A.022**	Exterior lighting must be shielded and directed away from adjacent uses. Interior lighting in parking garages must be shielded to minimize nighttime glare affecting nearby uses.
AMENITY AREA **23.47A.024**	5% of total gross floor area in residential use All residents shall have access to at least one common or private amenity area Amenity areas shall not be enclosed Minimum horizontal dimension of 10 feet and minimum of 250 SF Private balconies 60 SF min. and horizontal dimension of 6 feet Rooftop areas excluded if within proximity to communication utilities

ZONING SUMMARY – NC2-75 (M1)

PARKING REQUIREMENTS

23.47A.030 / 23.47A.032

23.54.015

23.54.030

23.54.035

Access to parking shall be from the alley if the lot abuts an alley improved to the standards of 23.53.030.C, or if the Director determines that alley access is feasible and desirable to mitigate parking access impacts. If alley access is infeasible, the Director may allow street access.

Alley Access has been determined infeasible, per the Preliminary Zoning Analysis Letter (Record Number 3041676-AN) - access to be provided from one of the side lot lines, 62nd or 63rd

For each permitted curb cut, street-facing facades may contain one garage door, not to exceed the maximum width allowed for curb cuts

No min. parking requirement for residential uses within urban centers

Residential Driveway widths shall be 20 feet minimum for two-way traffic, 15% slope max

Parking aisle slope = 17%

2 curb cuts permitted on single frontage up to 160 feet per Table A

Curb cut = as wide as the required width of the driveway

Site Triangle = For two way driveways or easements 22 feet wide or more, a sight triangle on the side of the driveway used as an exit shall be provided, and shall be kept clear of any obstruction for a distance of 10 feet from the intersection of the driveway or easement with a driveway, easement, sidewalk, or curb intersection if there is no sidewalk. The entrance and exit lanes shall be clearly identified.

EV parking is required

Loading = NA

BICYCLE PARKING REQUIREMENTS

23.54.015.K AND TABLE D

Residential = 1 per dwelling unit long-term and 1 per 20 dwelling units short-term

Per footnote #3, for residential use, after the first 50 spaces are provided, additional spaces are required at 3/4 the ratio shown in Table D

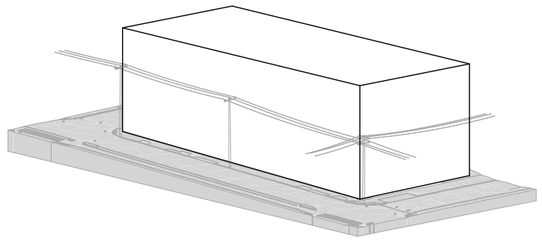
TRASH/RECYCLING STORAGE REQUIREMENTS

23.54.040 / 23.54.040 TABLE A

Residential = 100+ dwelling units = 575 SF + 4 SF for each unit above 100

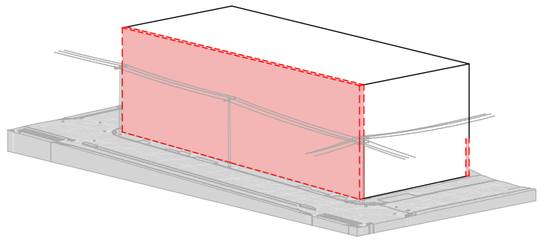
For development with more than 100 dwelling units, the required minimum area for storage space may be reduced by 15 percent, if the area provided as storage space has a minimum horizontal dimension of 20 feet.

ALLOWABLE BUILDABLE ENVELOPE DIAGRAMS



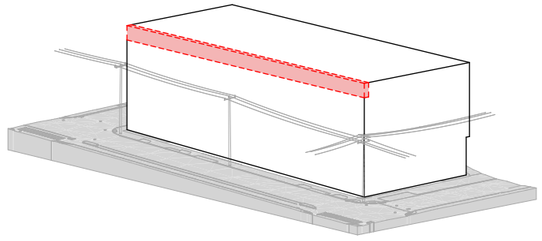
1 - FULL SITE BUILD-OUT

75' Height limit



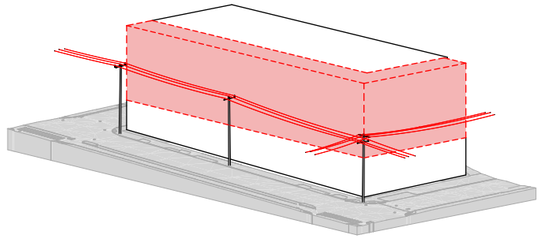
2 - RIGHT-OF-WAY SETBACKS

4' Setback along NE Roosevelt Way
3' Alley setback up to 26' above finished grade



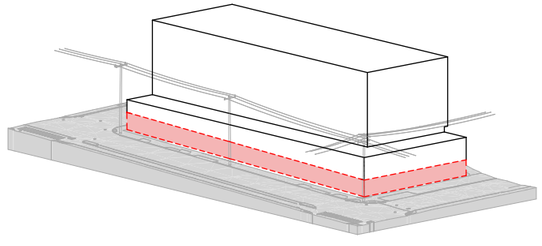
3 - UPPER-LEVEL SETBACK

8' Average setback required from lot line along NE Roosevelt Way



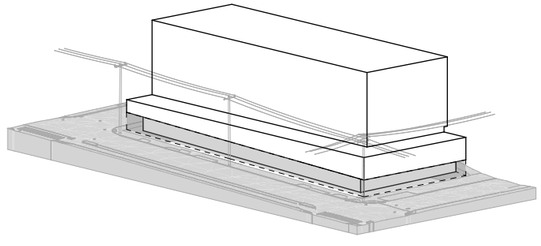
4 - POWERLINE SETBACKS

14' Required setbacks from powerlines



5 - STREET-LEVEL RESIDENTIAL SETBACKS

10' Required setback from lot line for any dwelling units within 4' of grade on any street-facing facade



6 - FINAL BUILDABLE ENVELOPE

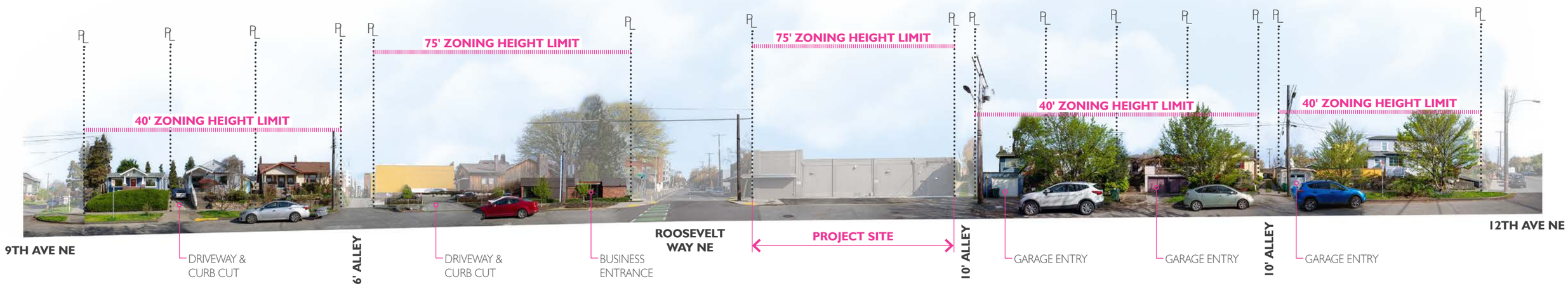
Actual maximum extent available for building massing

EXISTING STREETSCAPE – NE 63RD ST

PHOENIX PROPERTY CO | WEBER THOMPSON

EXISTING STREETSCAPE – ROOSEVELT WAY NE

EXISTING STREETSCAPE – NE 62ND ST



PHOENIX PROPERTY CO | WEBER THOMPSON

SITE PHOTOS

View from Roosevelt & 62nd, Looking NE

View from Roosevelt & 63rd, Looking SE

View from 63rd & alley, Looking SW

View from 62nd & alley, Looking NW

PUBLIC OUTREACH

PRINTED OUTREACH

- Choice: DIRECT MAILING, HIGH IMPACT
- Requirement: Direct mailing to all residences and businesses within approximately 500-foot radius of the proposed site.
- What we did: Posters were mailed to 452 residences and businesses and shared with four neighborhood community groups. Poster, details on distribution and list of community groups who received the poster via email are in Appendix A.
- Date completed: January 2, 2024

ELECTRONIC/DIGITAL OUTREACH

- Choice: PROJECT WEBSITE, HIGH IMPACT
- Requirement: Interactive project website with public commenting function.
- What we did: Project website established and publicized via poster. Monitored daily for comments from the Website. Developed an interactive project website with project information and a public commenting function. Website included in Appendix A.
- Date completed: January 2, 2024

ELECTRONIC/DIGITAL OUTREACH

- Choice: SURVEY, HIGH IMPACT
- Requirement: Create an online survey to allow for feedback on the proposed project.
- What we did: Online survey established and publicized via poster with link to survey featured on project website. Survey text and results included in Appendix A.
- Date completed: January 2, 2024

DESIGN-RELATED COMMENTS

- **Design.** When asked what is most important about the design of a new building on this property, 40 percent of survey respondents said environmentally friendly features; 40 percent said parking; 33 percent said interesting and unique design; 33 percent said relationship to neighborhood character; and 20 percent said attractive materials. Several respondents encouraged community-oriented outdoor spaces, interesting landscaping including trees on a roof deck to blend with the horizon, a welcoming and attractive entry on Roosevelt, community space and a pedestrian experience.
- **Exterior.** When asked what the most important consideration is for the exterior space on this property, 53 percent of survey respondents said lighting and safety features; 53 percent said landscaping; 33 percent said seating options and places to congregate; and 13 percent said bike parking. Several respondents encouraged nice, well-crafted design and high-quality construction, and encouraged avoiding cheap cement board cladding. One respondent encouraged community-oriented spaces for connection and compassion.
- **Sustainability.** Several respondents encouraged a sustainable, low-carbon footprint project built with a green mind set.
- **Safety & Security.** A couple of respondents expressed the importance of safety and security and one noted that thieves often get into secure garages to target vehicles.
- **Height & Scale.** One respondent encouraged keeping the building tall.

NON-DESIGN-RELATED COMMENTS

- **Retail.** Several respondents encouraged active ground floor uses like commercial and dining options and encouraged affordable spaces for retail such as a hardware store, restaurant, bakery or climbing gym. One respondent expressed concern that the small business companies have to leave.
- **Affordability.** Several respondents expressed support for affordable housing and providing a mix of affordability options.
- **Units.** Several respondents encouraged having family-sized units and expressed support for density while others encouraged building efficient units.
- **Impacts.** Several respondents encouraged construction that causes minimal disruption to street parking and access while others encouraged courtesy and respect for the existing neighbors including by future residents.
- **Amenities.** Several respondents encouraged having a bike parking room and pet-friendly amenities including a dog run.

NON-DESIGN-RELATED COMMENTS, CONTINUED

- **Parking & Traffic.** Several respondents encouraged having less space for parking and lowering car dependency that puts less carbon into the environment and cares for future generations. Another suggested the project team should stop building parking as this is located four blocks from light rail.
- **Alleys.** One respondent suggested that all alleys on this block should be paved.
- **Inclusion.** One respondent encouraged inclusivity.
- **Interior.** One respondent encouraged a dog-friendly design.
- **Location.** One respondent encouraged locating the project on the corner of two arterials.
- **Management.** One respondent encouraged good, understanding building management.
- **Residents.** One respondent encouraged opportunities for young people to stay in Seattle.

MISCELLANEOUS COMMENTS

- **Support.** One respondent noted that this stretch of Roosevelt would welcome better development instead of current empty store fronts. Another expressed support for building more housing.
- **Outreach.** One respondent thanked the project team for outreach.

DESIGN TEAM RESPONSE

The public outreach responses highlight a desire for environmentally friendly design. The project team will look for ways to incorporate sustainable features and practices into the design and construction of the development. One such way to have a positive impact on the surrounding environment is to minimize the extent and depth of below grade parking. Studies show that the excavation and concrete required to build below grade parking has significant negative impacts on global warming. The project team will also pay close attention to the handling of storm water on site, knowing there is a high water table and nearby aquifers.

Public outreach also shows neighbors care about the pedestrian and landscape experience on site. The development intends to create a safe and lush pedestrian environment with wider sidewalks, appropriate lighting and amenities, and ample landscaping.

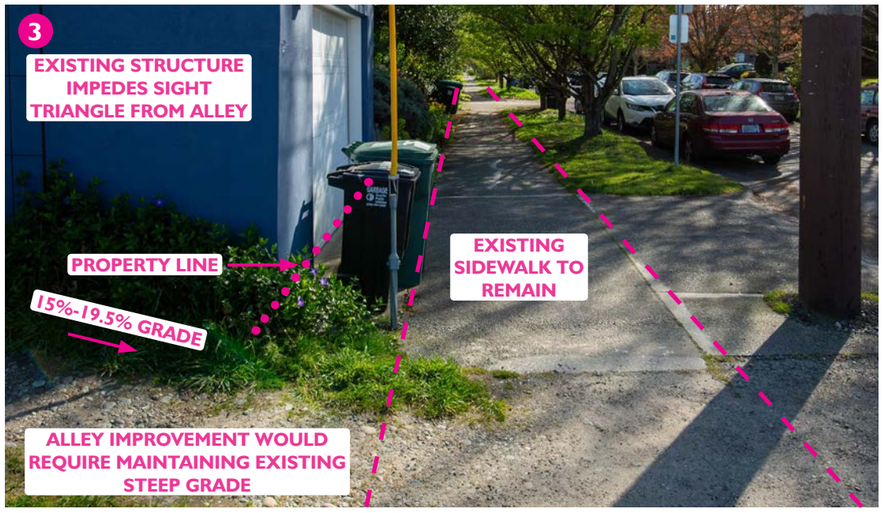
The development will provide a mix of unit types in an effort to provide housing for a mix of needs. The owner is also considering pursuing MFTE in order to provide some affordable units.

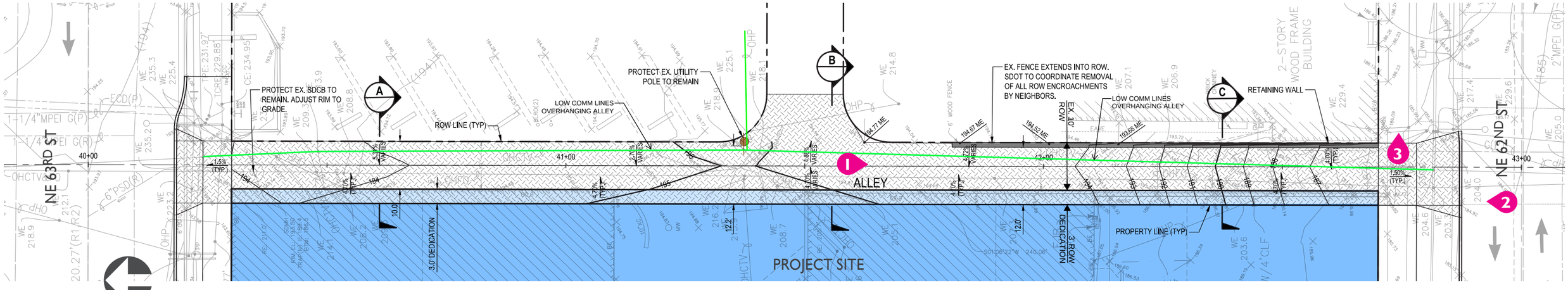
ALLEY ACCESS INFEASIBILITY

During Pre-Design, the project team underwent significant analysis of the existing alley and its viability for improvement / project access – which is typically required by zoning when a site abuts an alley, unless alley access is determined infeasible. Based on the team's analysis, it became apparent that alley access would be infeasible, for some of the reasons noted below and portrayed in the images on the following pages:

- The current alley grades are non-compliant. In order to construct a compliant alleyway, the south end of the alley must be made steeper (at 17% slope) to provide the required transition between alleyway and NE 62nd.
- Where the steep slope occurs, a retaining wall will be required along the eastern edge to support and maintain the abutting property. This wall will need structural design and geotechnical input and there is also constructability risk to the adjacent single-family residence, which directly abuts the alley/property line.
- The retaining wall will need to come above grade and will reduce the required width of the alley to 12' or less, negating the improvements required by SMC 23.53.030.F.
- Improvements are required to work with existing grades and once improved, the new grades/slopes do not create easier passage or safer conditions (see the attached exhibit).
- The current alley width is 10'-0" wide and will only be increased to 13'-0" with the alley dedication. The limited width will inhibit maneuverability and will prohibit two-way traffic options (the existing narrow alley offshoot to the east is also unimproved). If garage access is from the alley most vehicles will enter and exit the garage headed north towards NE 63rd St. However, due to the limited width, vehicles will not be able to pass one another within the alley. It is likely cars would be forced to back up into the garage ramp, in the alley, or onto NE 63rd St.

Based on the above, the project team worked with SDCI to determine infeasibility and received the opinion shown in the following pages.

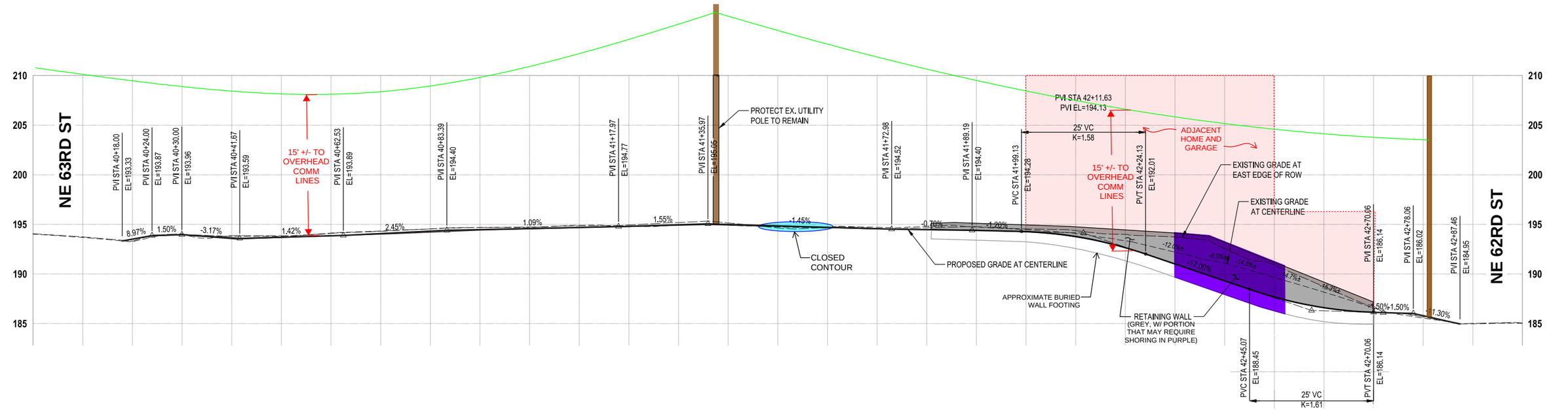


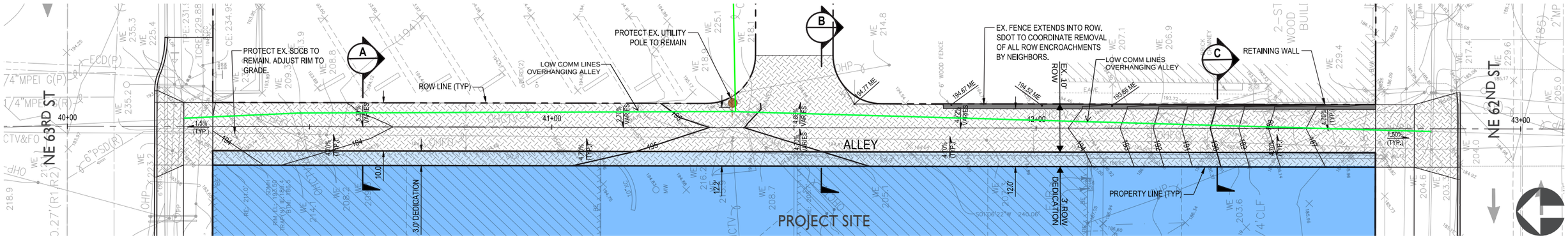


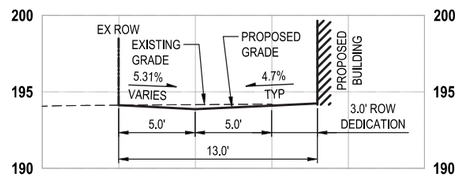
ALLEY PLAN

ALLEY ACCESS INFEASIBILITY

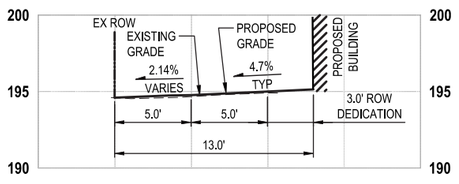
Diagrams provided by KPFF Civil Engineers



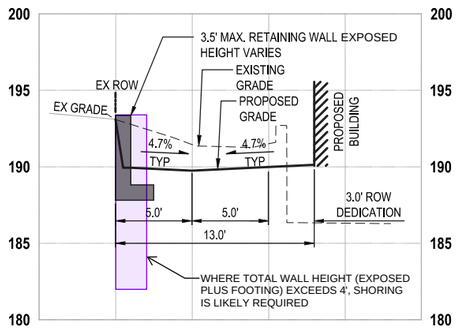




ALLEY SECTION A (NTS)



ALLEY SECTION B (NTS)



ALLEY SECTION C (NTS)

Seattle Department of Construction & Inspections

March 13, 2024

Jodi Patterson-O'Hare
17479 7th Avenue SW
Normandy Park, WA 98166

RE: 6220 Roosevelt Way NE: Preliminary Zoning Analysis Letter (Record Number 3041676-AN)

Dear Jodi Patterson-O'Hare,

We received your request for a Preliminary Zoning Analysis letter regarding the property addressed as 6220 Roosevelt Way NE on February 27, 2024. This site is zoned Neighborhood Commercial 2 – 75 (NC2 – 75) Mandatory Housing Affordability (M)1 and is in the Roosevelt Residential Urban Village and the Roosevelt Station Area Overlay District. The zoning to the southeast half of the center line of the alley is Lowrise (LR)2 (M1).

The north of the property is bounded by NE 63rd Street. While the required right-of-way (ROW) width is 52 feet, the existing ROW is 60 feet. The south side of the property is bounded by NE 62nd Street, a non-arterial ROW. While the required ROW width is 40 feet, the existing ROW is 60 feet. The west of the property is bounded by Roosevelt Way NE, a Principal Arterial, with a required ROW width of 68 feet. The existing ROW of Roosevelt Way NE is approximately 60 feet. An alley is on the east edge of the property which is improved with gravel. The required ROW width of the alley is 16 feet while the existing ROW is 10 feet.

You are proposing to build a new multifamily building with an underground parking garage. You have requested confirmation of three questions, which I shall address in order:

- Can the new development access the street and not the alley?

  The Director of Seattle Department of Construction and Inspections (SDCI) must determine if access to parking from the alley is infeasible and may allow street access per SMC 23.47A.032.A.1.a. If the alley does not meet the standards of improvement per SMC 23.53.030.C, 12 feet wide and paved, then street access may be allowed. Since the existing alley is 10 feet wide and unpaved it does not meet the standards of improved. Therefore, alley access is infeasible and street access is acceptable for this proposal.

- If street access is allowed, which street may the proposal take access?

  Since street access is acceptable and this lot fronts on three streets, NE 62nd Street, Roosevelt Way NE, and NE 63rd Street, the SDCI Director must determine the front lot line per SMC 23.47A.032.C for which no access shall be taken. The Director considers the following criteria to determine the front lot line:

  1. *The extent to which each street's pedestrian-oriented character or commercial continuity would be disrupted by curb cuts, driveways or parking adjacent to the street;*
  2. *The potential for pedestrian and automobile conflicts; and*
  3. *The relative traffic capacity of each street as an indicator of the street's role as a principal commercial street.*

  Roosevelt Way NE, a one-way principal arterial with designated bike lane, includes commercial businesses, has potential for pedestrian and automobile conflicts and has the most ROW for the traffic capacity. NE 62nd and NE 63rd Streets have less commercial business, have less traffic capacity, and were previously used as the access point to this property. Roosevelt Way NE should be considered the front lot line for this property and access may cross the side street lot lines on either NE 62nd or NE 63rd Street per SMC 23.47A.032.A.1.c.

- Will alley improvements including dedication be required?

  The existing alley ROW is 10 feet wide and does not meet the minimum width of 16 feet per SMC 23.53.030.D. When existing alleys do not meet the minimum width and are not used for access to parking spaces, they must meet the requirements found in SMC 23.53.030.F.2. A setback equal to half the distance between the current alley right-of-way width and the minimum ROW width established (6 feet) is needed, so a 3 feet setback will be required. All structures shall be designed to accommodate the grade of the future alley ROW and a no-protest agreement to future street improvements shall also be required.

This letter reflects a preliminary opinion, based on information currently available to us, about how SDCI intends to apply the above referenced standards(s) in the case of the development that you have described. This is a Preliminary Opinion only. It is not a final decision. The opinion is subject to change based on subsequent detailed project review that will occur after the complete project application is submitted for review. Additional facts or concerns that arise in the course of our review of a project application can result in SDCI taking a different position relative to this project and this code standard. After a final decision is made on the proposal, some Title 23 or Title 25 standards addressed by this opinion letter may be challenged through the Land Use Code Interpretation or other appeal process.

If I may be of any further assistance, please contact me at emily.lofstedt@seattle.gov or 206-386-0097.

Sincerely,

Emily Lofstedt
Land Use Policy and Technical Planner

700 Fifth Avenue, Suite 2000 | PO Box 34019 | Seattle, WA 98124-4019 | 206-684-8600 | seattle.gov/sdci