



VULCAN PHASE 3.3



505 Fifth Avenue S, Suite 900  
Seattle, WA 98104  
206-342-2000

### **Perkins&Will**

Architect:  
1301 Fifth Avenue, Suite 2300  
Seattle, WA 98101  
206-381-6000

### **HEWITT**

Landscape Architect:  
101 Stewart Street, Suite 200  
Seattle, WA 98101  
206-624-8154

### **PROJECT ADDRESS:**

535 8th Ave North  
Seattle, WA 98109

### **PROJECT #: #3039270-LU**

### **ZONE:**

SM-SLU 175/85-280

### **SITE AREA:**

30,166 SF



00/

Project Information

01/

Design Response/ MASSING

02/

Design Response/ GROUND LEVEL USES AND OPEN SPACES

03/

Design Response/ MASSING ARTICULATION, SECONDARY ARCHITECTURAL FEATURES AND MATERIAL APPLICATION

04/

Departures

05/

Plans and Sections

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# **00.** **PROJECT INFORMATION**

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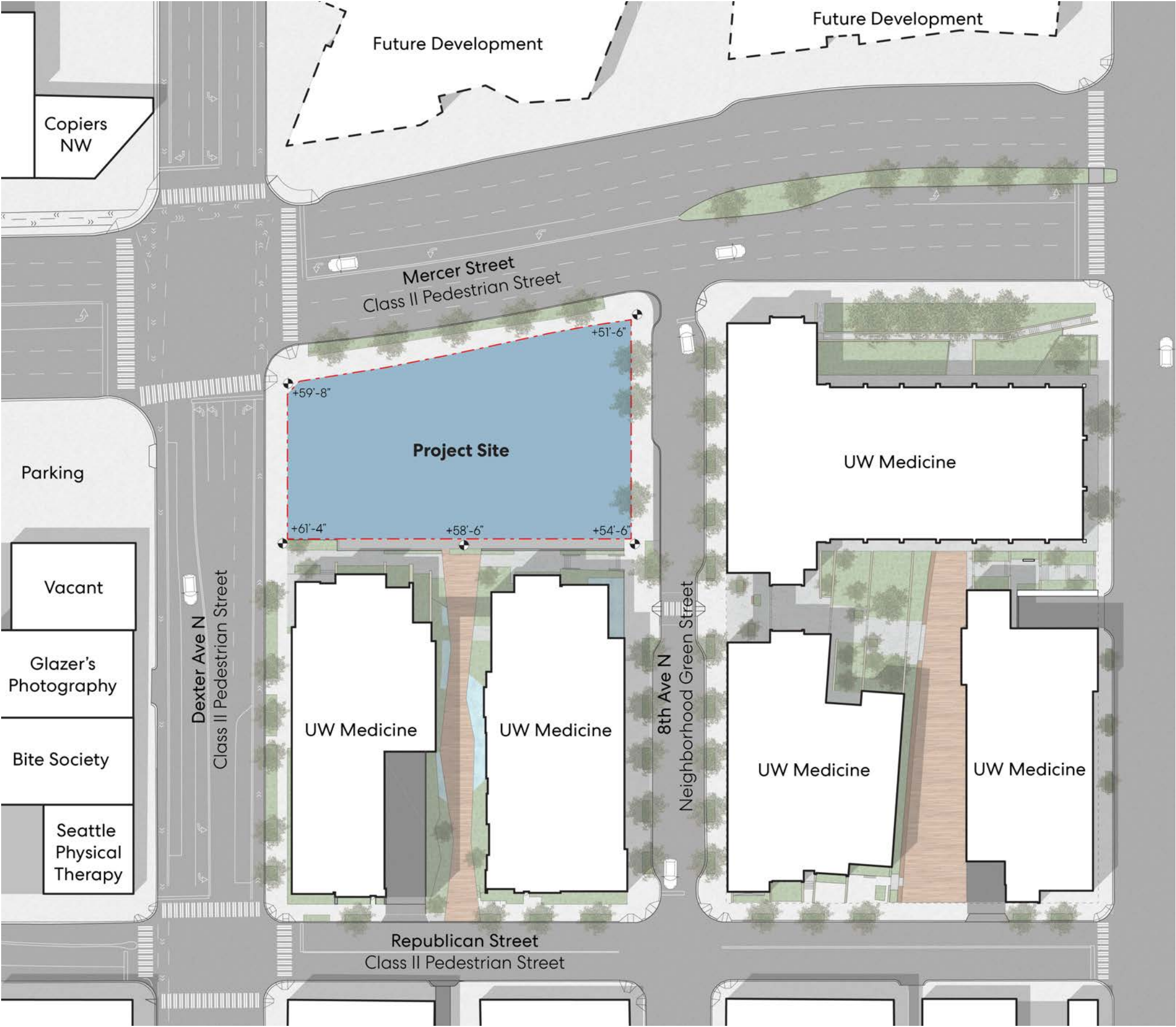


**Description:**  
This project proposes a new 11-story above-grade building north of existing Phase 3.1 and Phase 3.2 buildings, with 4 levels of below-grade structure. Approximately 361,797 square feet of above grade shell and core construction for a research lab and around 124,041 square feet of underground parking and services.

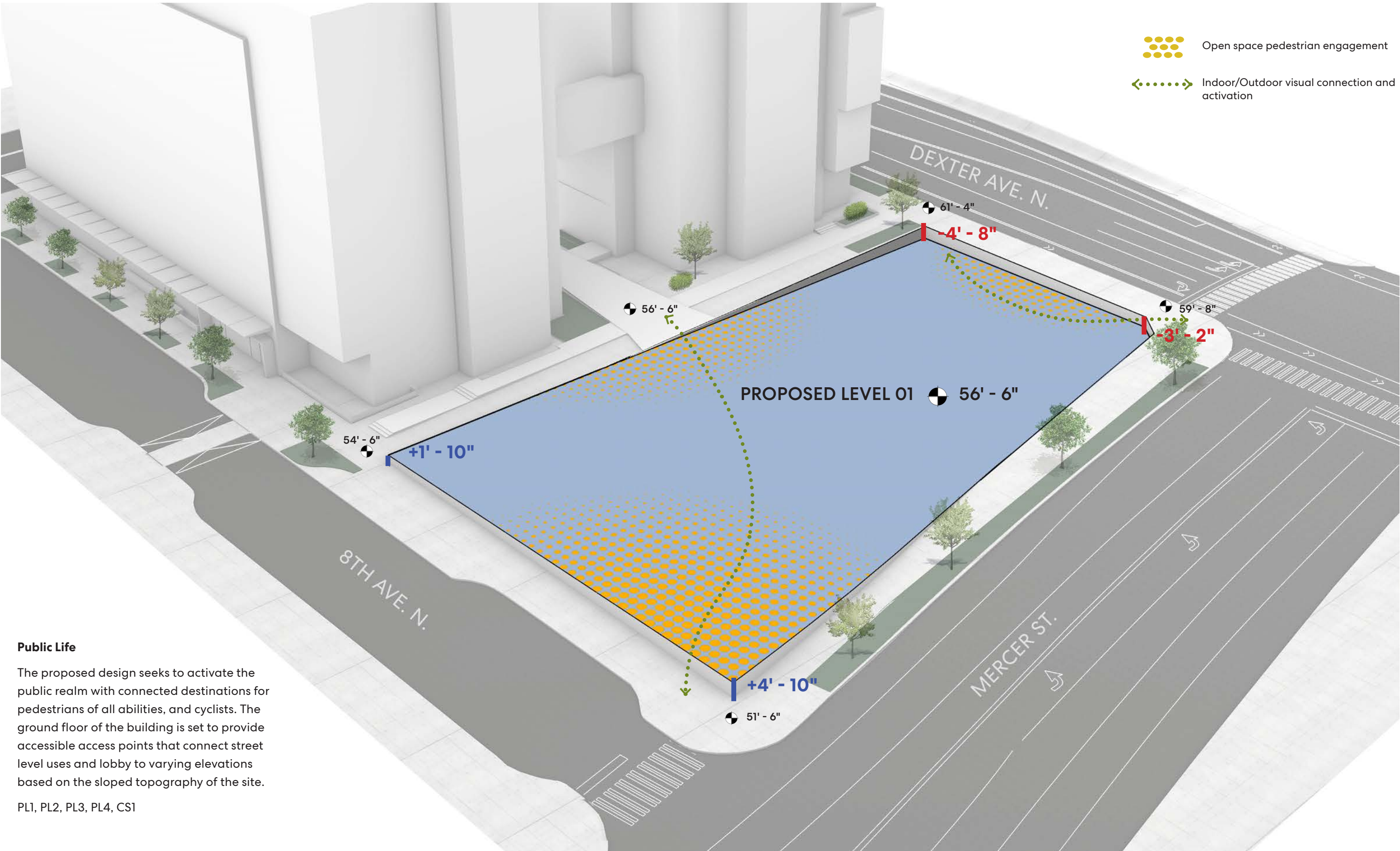
- Existing Conditions**
- Vehicular access to the site is from 8th Ave. N. on the Southeast portion of the site
  - Protected bike lane along Dexter Ave N
  - Site sits north of adjacent buildings, terminating pedestrian courtyard, reinforcing the Courtyard Facade
  - Eastern edge of site directly adjacent to neighborhood Green Street (8th Ave. N.)
  - Intersection of Mercer Street and Dexter Ave N. designated South Lake Union Gateway

Address: 535 8th Ave North, Seattle, WA 98109  
Parcel Number: 198820-1410  
Site Area: 30,166 SF  
Zoning: SM-SLU 175/85-280  
Max. FAR: 8.0  
Max. Height: 175'

Number of Residential Units: 0  
Total Commercial SF: 361,797 sf  
Total Gross Floor Area: 361,797 sf  
Above Grade Floor Area: 237,756 sf  
Below Grade Floor Area: 124,041 sf  
Below Grade Parking: 227 stalls





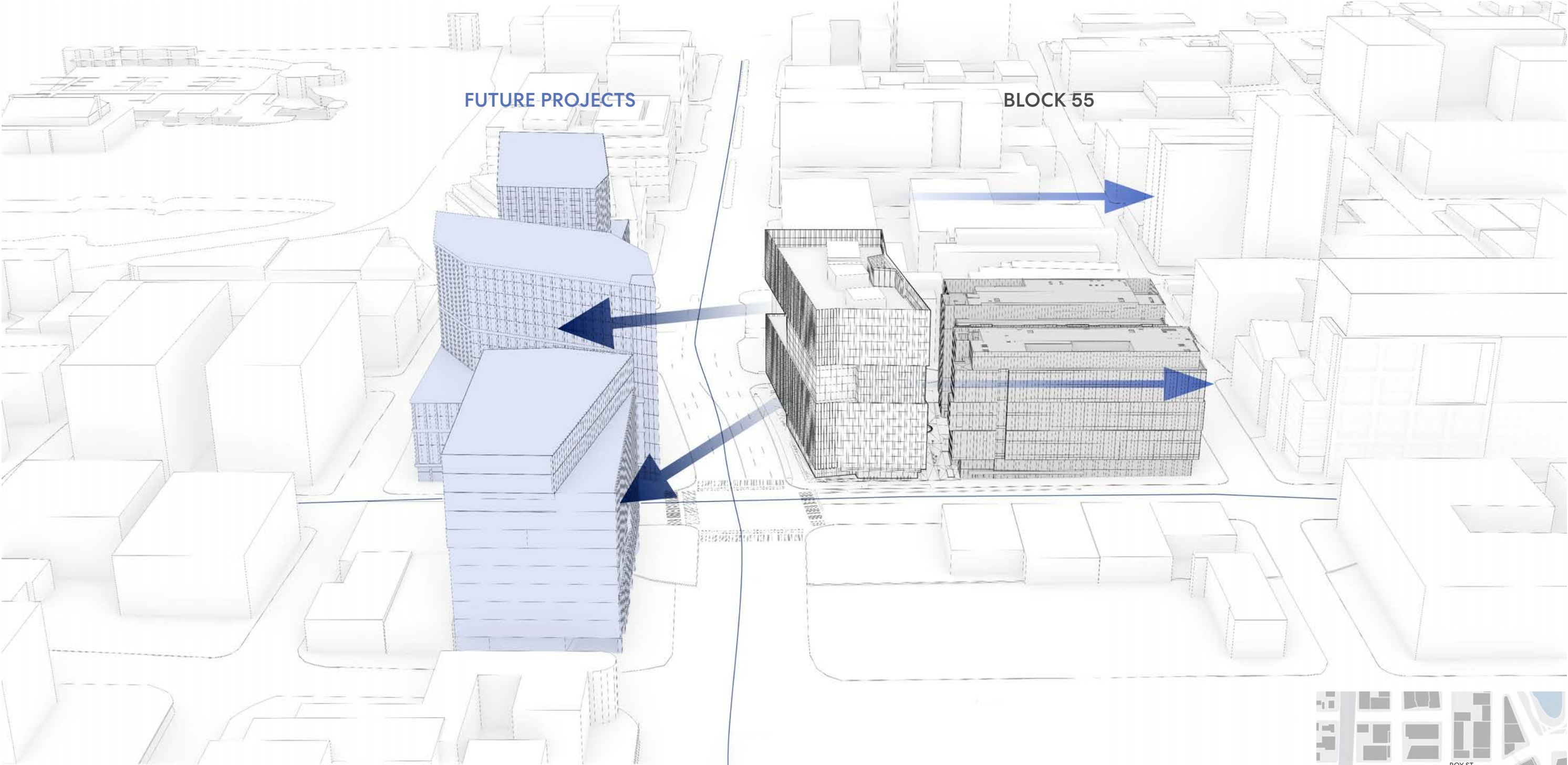


Public Life

The proposed design seeks to activate the public realm with connected destinations for pedestrians of all abilities, and cyclists. The ground floor of the building is set to provide accessible access points that connect street level uses and lobby to varying elevations based on the sloped topography of the site.

PL1, PL2, PL3, PL4, CS1

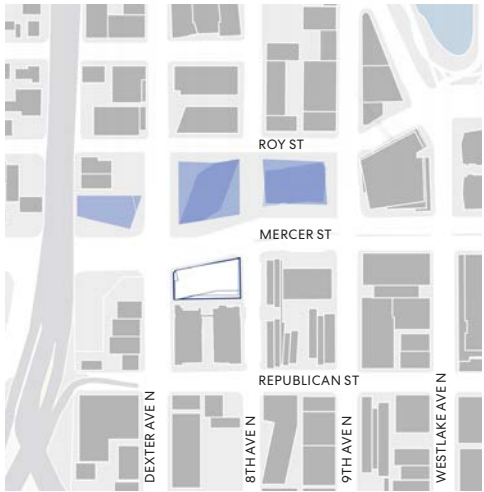




**Gateway & Edge**

The building is uniquely situated as both an identified gateway and an urban edge. The design mediates and responds to influences of present and future development through massing, planning, and material expression to articulate this unique urban condition.

CS2, CS3



Urban Pattern and Form





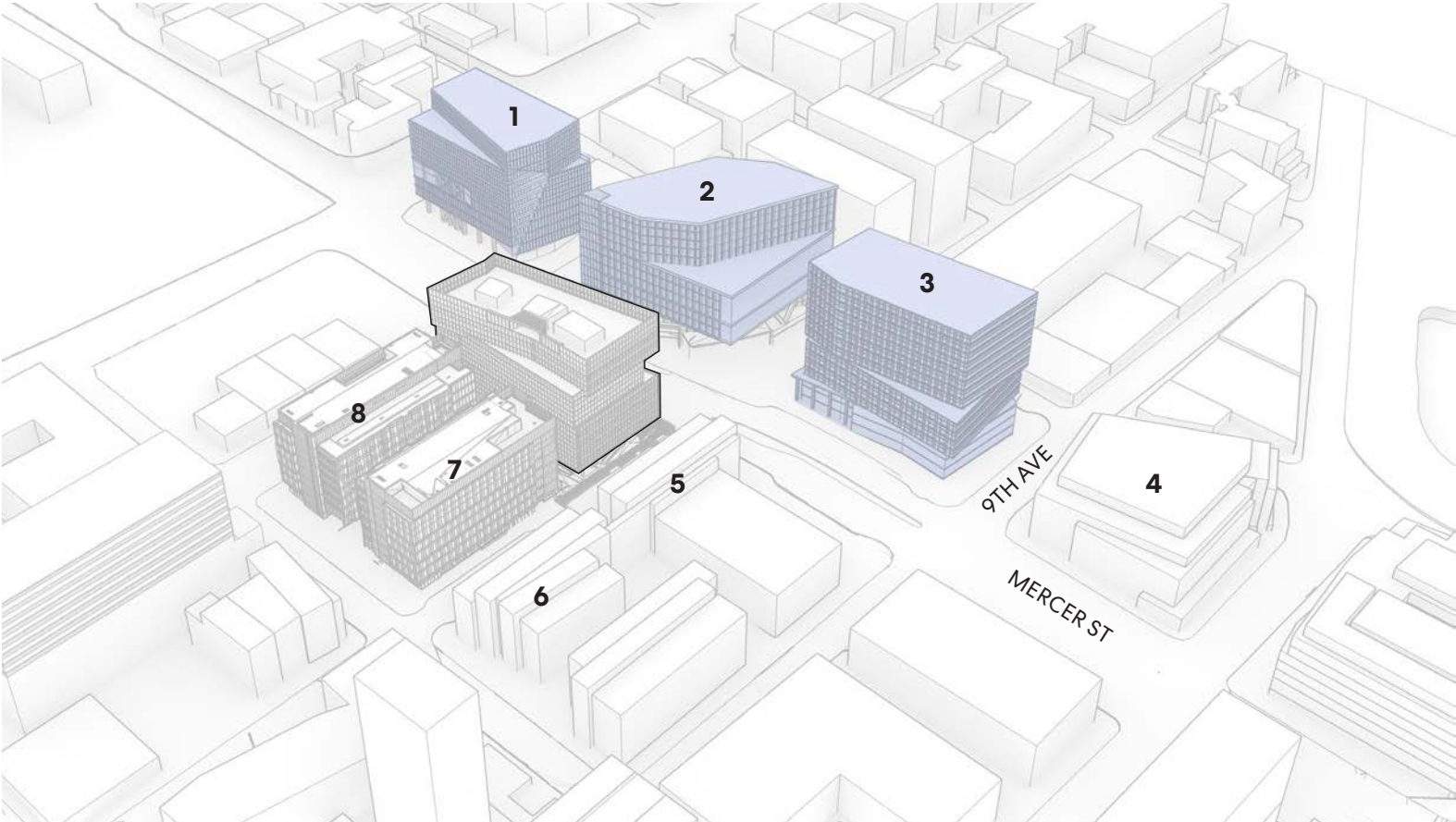
1. 601 DEXTER  
SDCI #3035471-LU



2. MERCER BLOCKS (WEST)  
SDCI #3035865-LU



3. MERCER BLOCKS (EAST)  
SDCI #3035865-LU



**Fenestration Design**

"Fenestration design should respond to context and the size and character of glazed areas. Well-articulated fenestration with a break in the facade plane is strongly encouraged." - DC4-5-a-2



4. ALLEN INSTITUTE



5. 850 REPUBLICAN STREET



6. 439 8TH AVENUE N.  
(UW MEDICINE PH 2)



7. 750 REPUBLICAN STREET  
(UW MEDICINE PH 3.1)



8. 750 REPUBLICAN STREET  
(UW MEDICINE PH 3.2)

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# 01. DESIGN RESPONSE/ MASSING



**REC1 Guidance 1.a / Massing:**

The Board reiterated their support of the overall architectural massing concept and the large scaled dynamic gateway gesture at the east end of the building proposed at Early Design Guidance. However, in agreement with public comment, the Board was concerned that the slight shift in angle of the massing proposed along Dexter Ave N did not go far enough to reinforce the gateway architectural concept when viewed from the west. The Board was also concerned that when compared to previously approved projects on the other corners of Dexter Ave N and Dexter St, the proposed massing lacked the same strong statement made by those buildings through major massing modulation or larger compositional elements. The Board directed further study of the mass at the west end of the building to include more visually evident interventions that better relate to the projects across the street that mark the same gateway location. CS2-1, CS2-3, CS2-4, DC1-1, DC2-A, DC2-



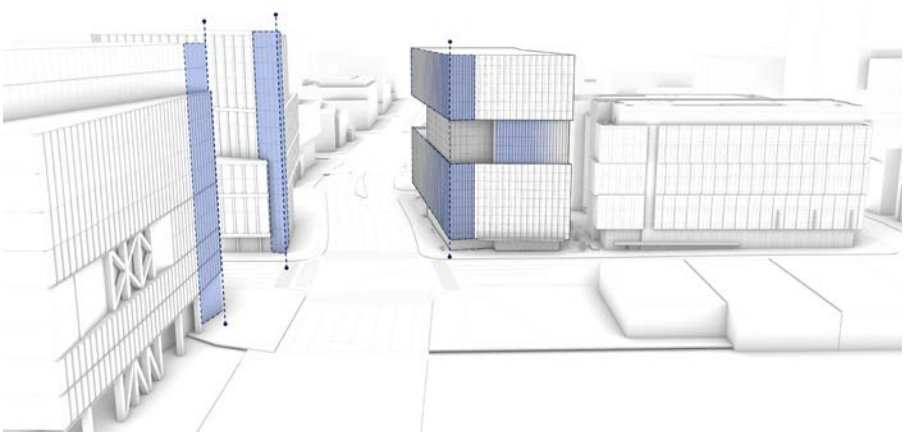
REC 1



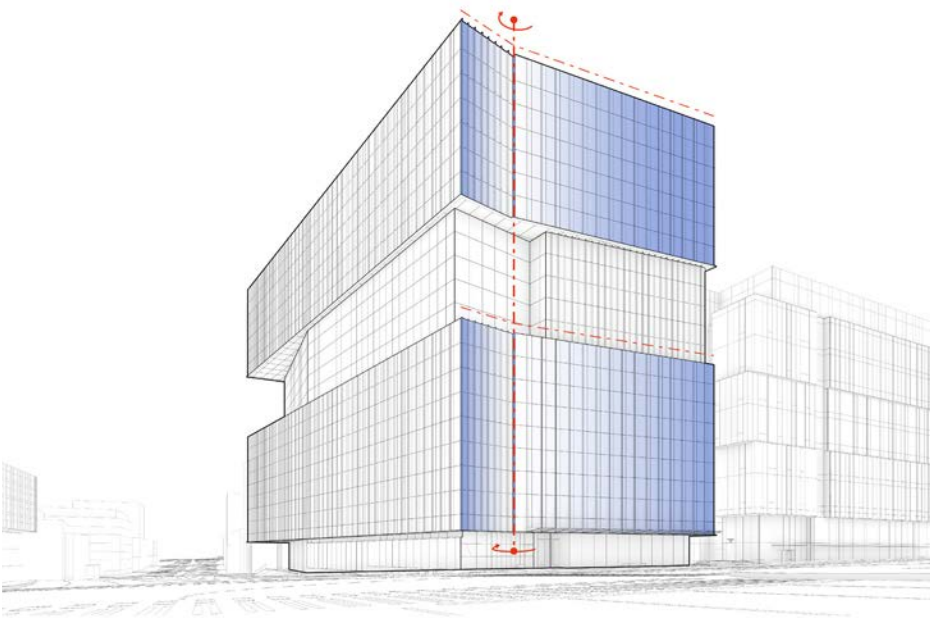
REC 2

**REC2 Design Response:**

The design of the massing along Dexter has been revised to introduce bold gateway moves that emphasize the west face and northwest corner while establishing strong relationships to context. The west faces of each of the four primary volumes have been fractured, inflected, and offset to create a strong vertical reading oriented towards the northwest corner. The revised massing moves relate directly to neighboring context and are enhanced and complimented by additional secondary and tertiary treatments of materials, textures, colors, and composition.

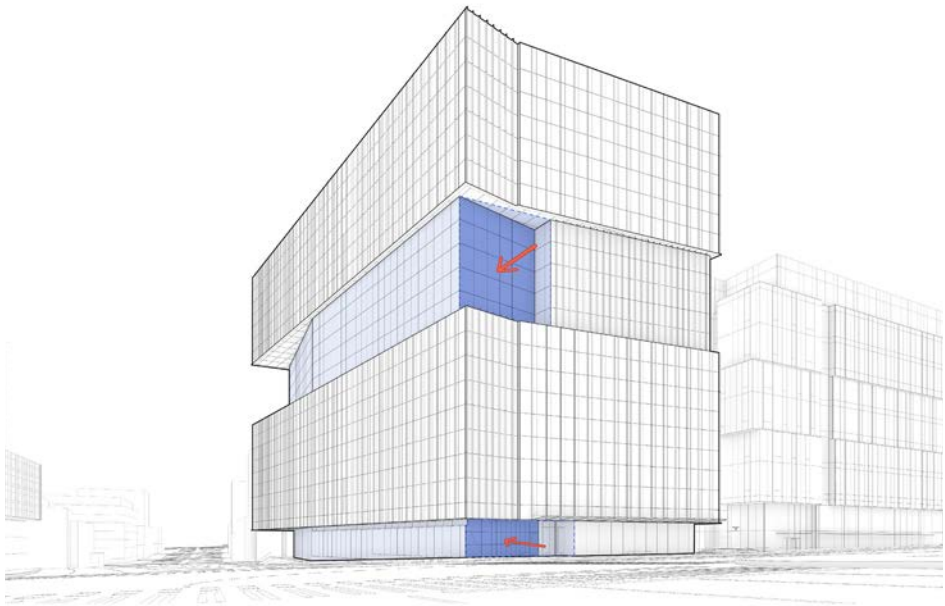






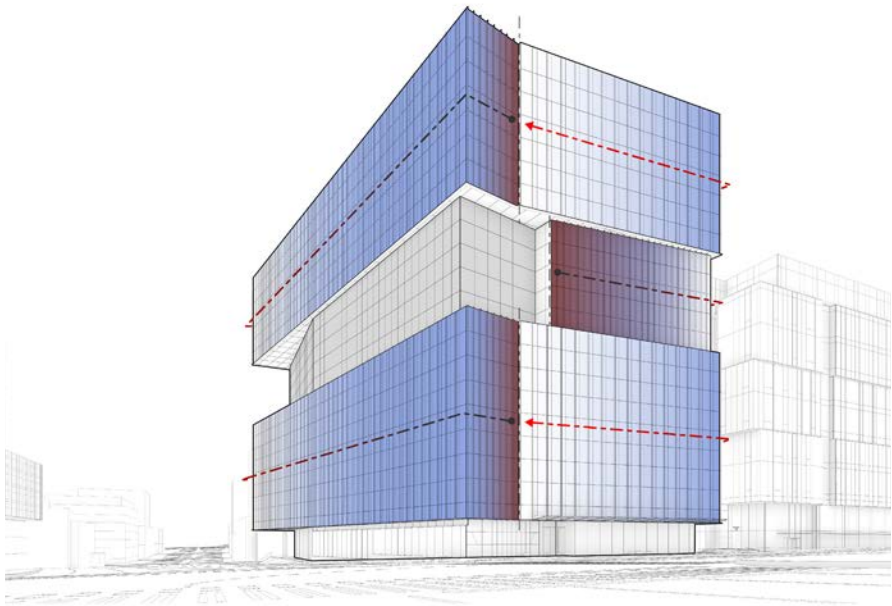
**1. Fracture**

To create vertical emphasis and secondary scales.



**2. Offset**

to add depth, scale and hierarchy at multiple scales.



**3. Inflect**

To reinforce corner.



REC 1



REC 2





REC 1



REC 2





REC 1



REC 2





REC 1



REC 2

**02.**  
**DESIGN RESPONSE:**  
**GROUND LEVEL USES AND OPEN SPACE**



Ground Floor Plan

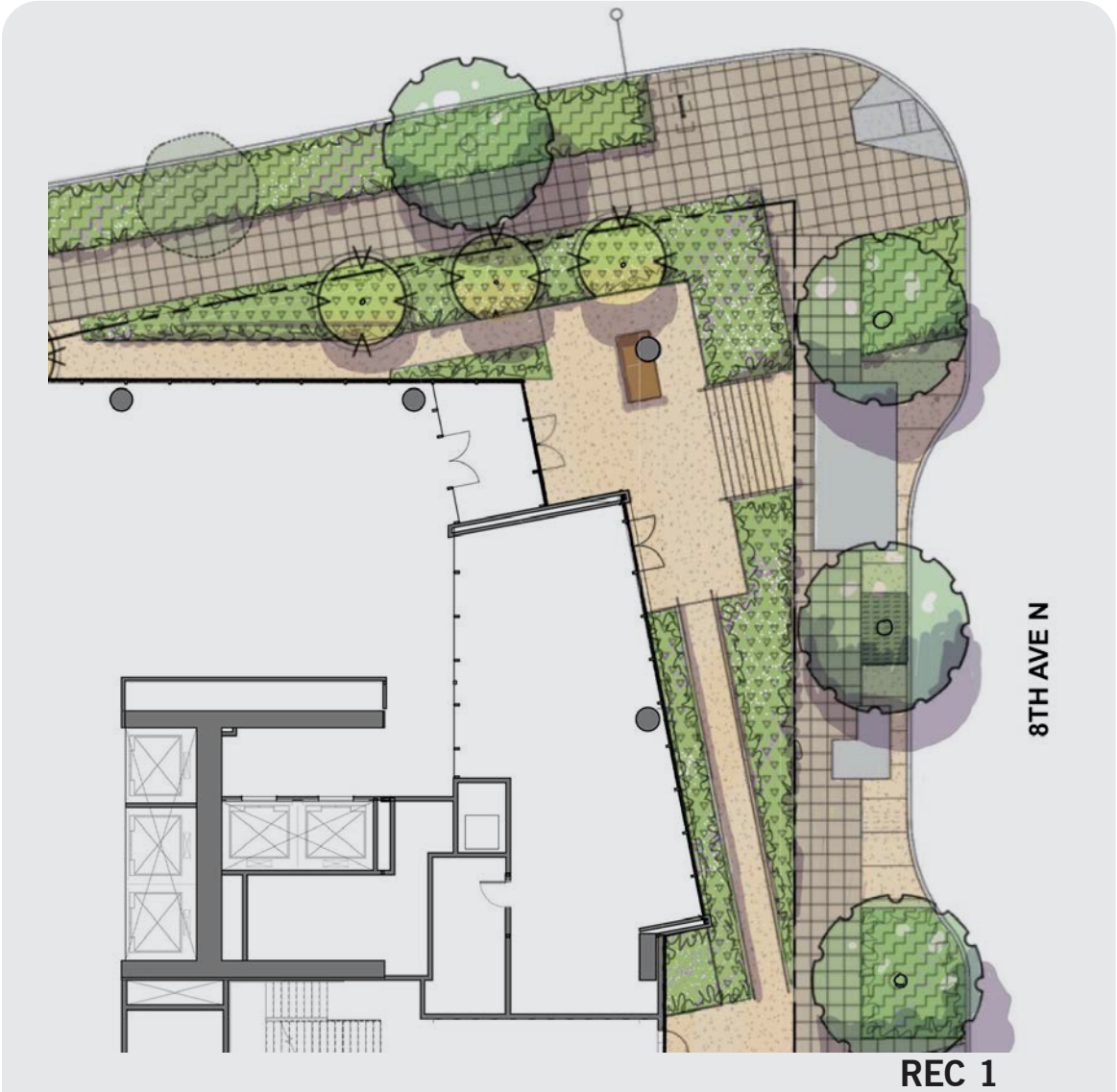
-  Pedestrian Entry
-  Cyclist Entry
-  Vehicle Entry/Exit
-  Retail Entry

- 1. Lobby
- 2. Retail
- 3. Tenant



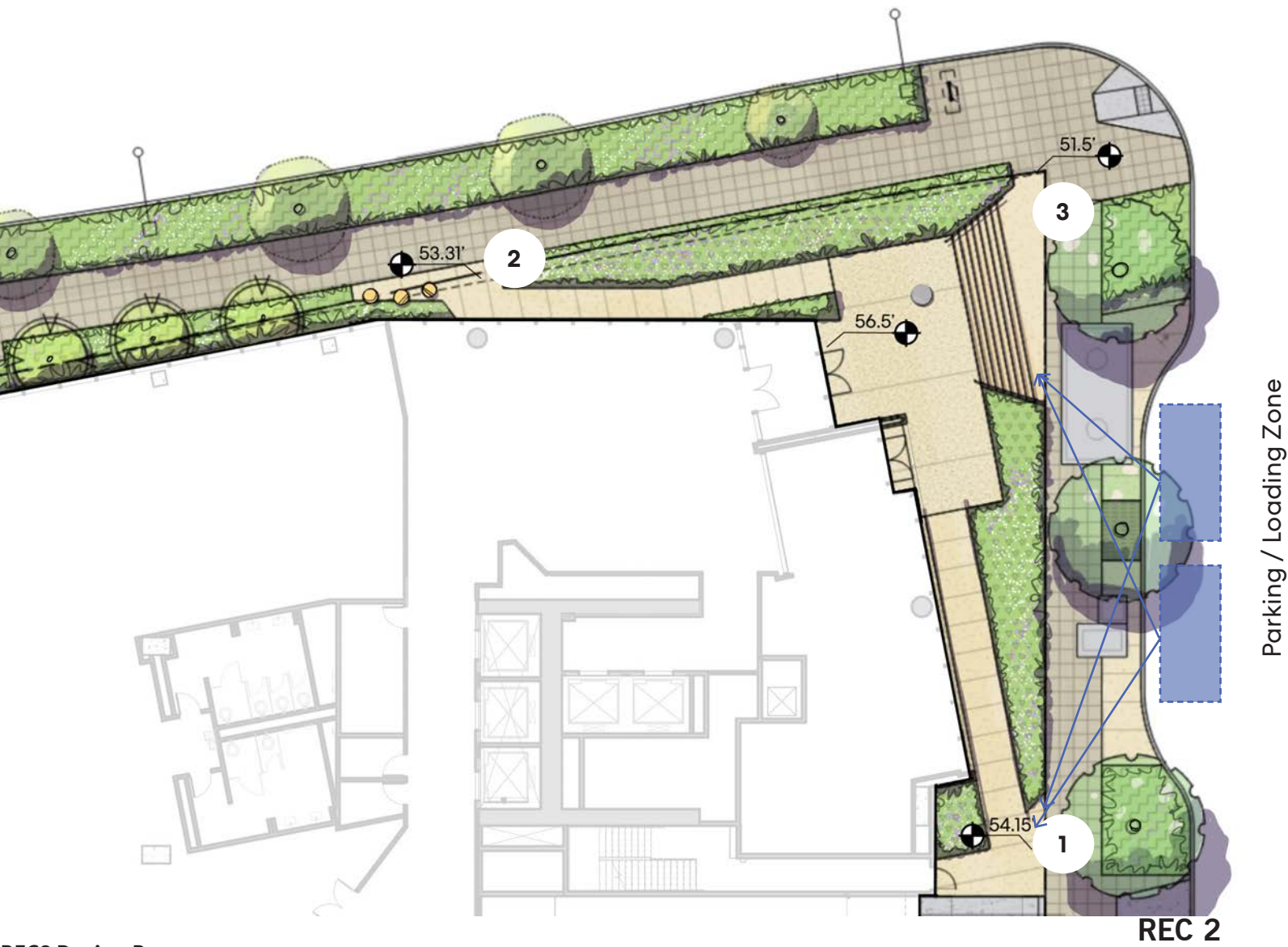
REC 2





**REC1 Guidance / 2.a**

The Board acknowledged that the topographic change along the Mercer St and 8th Ave N sidewalk edges and interior programing are design constraints affecting access to the lobby and retail spaces; however, they were concerned that the integration of the accessible ramp and the overall interaction with the right-of-way had not been adequately studied per guidance given at EDG. The Board directed further study of the overall design of the entry sequence to incorporate more generously sized accessible ramps that provide more equitable access between the public right of way and building entries, including landings located closer to the main entry stair and the intersection. CS1-C-2, CS1-3-a, PL2-A



**REC2 Design Response:**

The design along 8th has been revised to better integrate accessible approaches. Several alternative strategies have been explored, and are illustrated on the following pages. The preferred/proposed option (shown above) on 8th includes the following enhancements and revisions:

1. Widened approach and pathway on 8th, to be more prominent as well as gracious. This maintains equitable approach from the south along 8th and the balanced approach to access from the parking/loading zone, where the southern vehicle is closer to the ramp than the stairs and the northern vehicle is closer to the stairs than the ramp.
2. Simplified and widened approach and pathway on Mercer. The widening of the approach coupled with wayfinding signage visible from the intersection of 8th and Mercer better identify the building entry and retail.
3. Expanded main entry stair, engaging the corner. This adjustment brings the stair up to the scale of the architectural moves it sits within, while also providing clearer access from the corner of 8th and Mercer.





REC 2

View of Northeast Entry from 8th Ave.





REC 2

View of Northeast Entry from Mercer Street



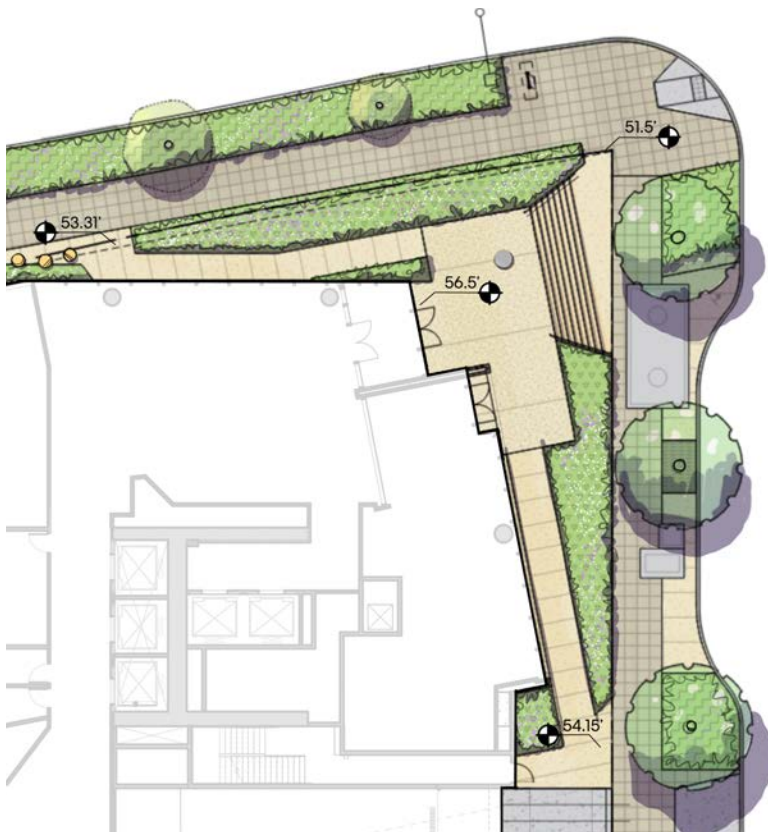


REC 2

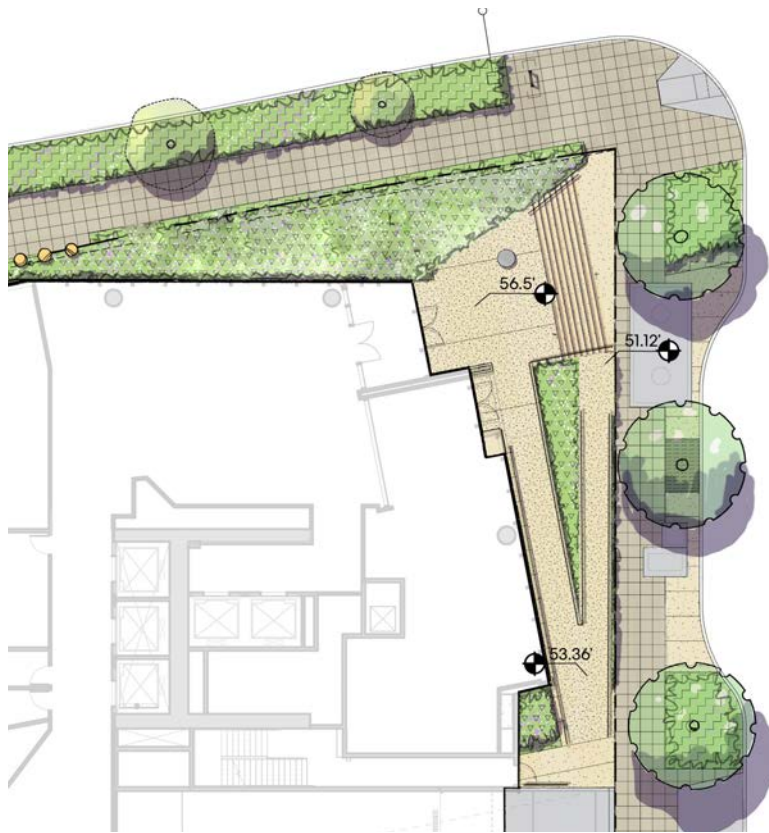
View of Northeast Entry from 8th Ave.



NE ACCESS STUDIES



STUDY 1 - EQUAL ACCESS



STUDY 2 - PROTECTIVE GREEN BARRIER



STUDY 3 - ENHANCED RETAIL



Proposed  
Access from Mercer and 8th Ave.



Visible ramp on 8th Ave.  
Remove Ramp on Mercer St.



Visible Ramp on Mercer  
Outdoor Retail Space on 8th



NE ACCESS STUDIES

STUDY 1 - EQUAL ACCESS



Parking / Loading Zone

Proposed.

- Provides equitable access and protection from Mercer Street
- Provides balanced green space along Mercer and 8th Ave.
- Use of sidewalks to connect to corner minimizes redundant hardscape circulation
- Equitable access from drop-off



View of Northeast Entry from 8th Ave.

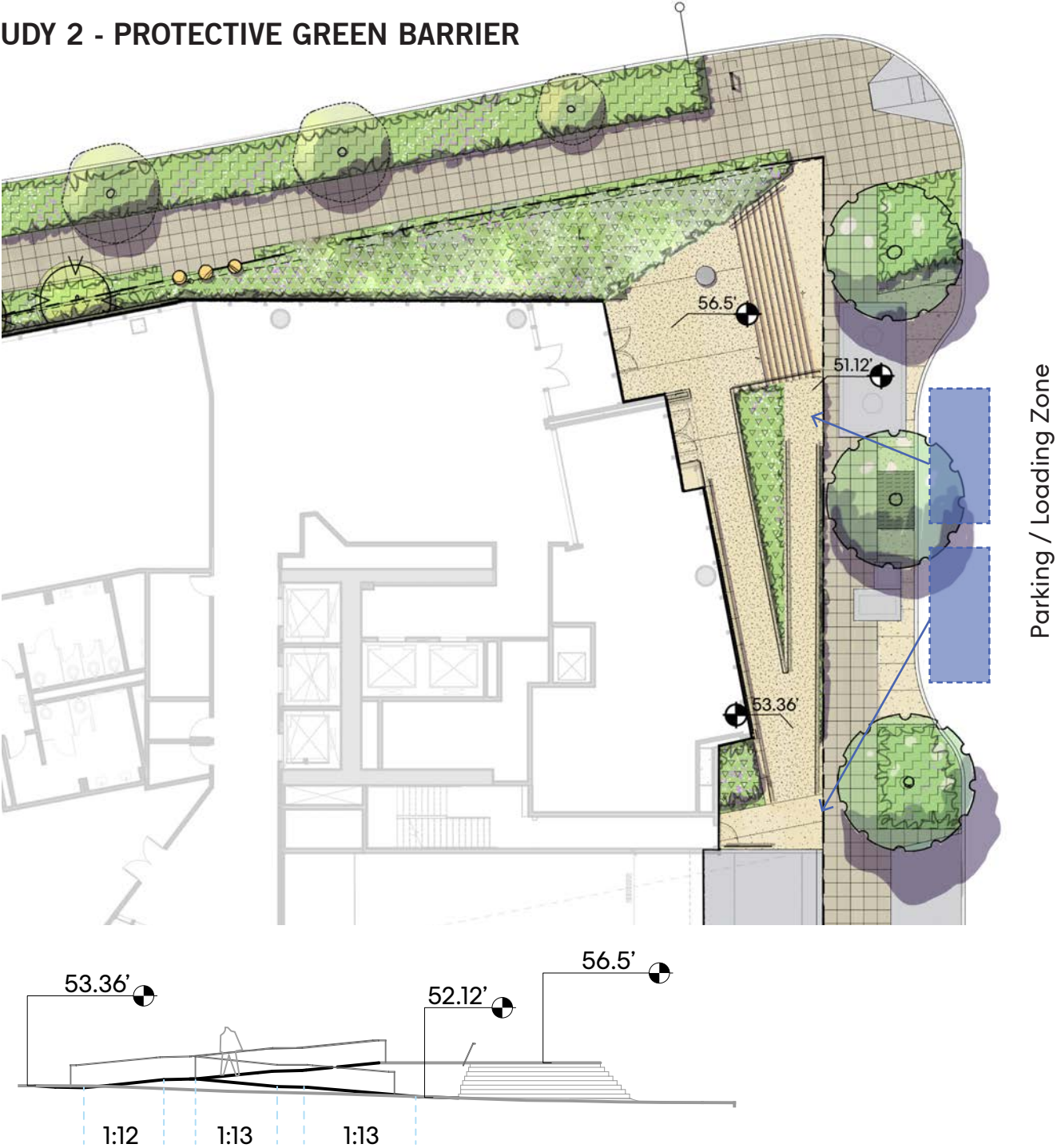


View of Northeast Entry from Mercer and 8th Ave. corner



NE ACCESS STUDIES

STUDY 2 - PROTECTIVE GREEN BARRIER



Parking / Loading Zone

Visible ramp on 8th Ave. / Remove ramp on Mercer Street

- Provides a protective green barrier on Mercer
- Provides equitable ramp connection to corner
- Limits green space to support 8th Ave. Green Street



View of Northeast Entry from 8th Ave.



View of Northeast Entry from Mercer and 8th Ave. corner



NE ACCESS STUDIES

STUDY 3 - ENHANCED RETAIL



8th Ave. N.

Visible ramp on Mercer Street / Outdoor Retail Space on 8th Ave.

- Provides a continuity of public spaces
- Enhances spill-out retail opportunities
- Pedestrian connection to corner reads as expanded sidewalk
- Wall and guardrail along Mercer further separates pedestrians along Mercer
- Mercer Frontage loses green softening
- Misses equitable access from the south and drop off



View of Northeast Entry from 8th Ave.



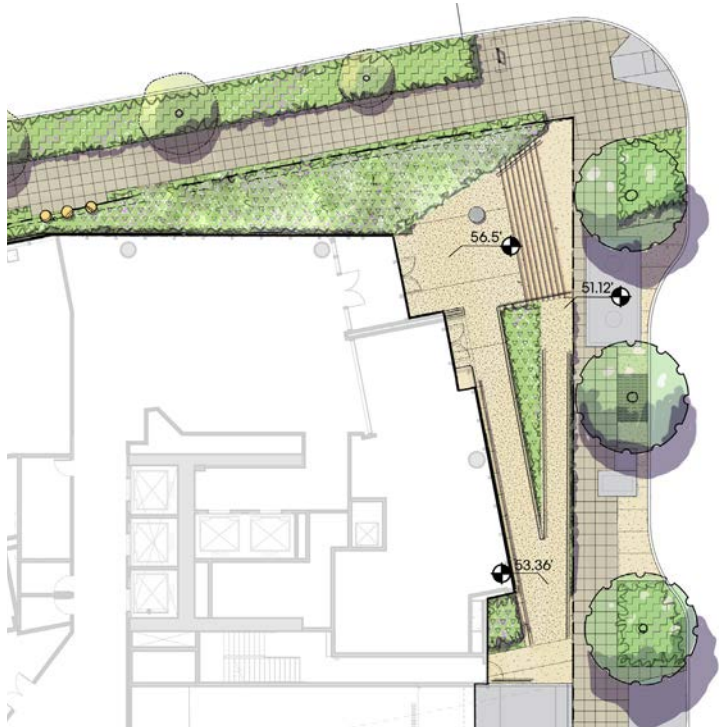
View of Northeast Entry from Mercer and 8th Ave. corner



NE ACCESS STUDIES



STUDY 1



STUDY 2



STUDY 3

Access Equity

Best ●●●

Better ●●

Good ●

Expresses Start of 8th Ave.  
Green Street

Best ●●●

Good ●

Better ●●

Supports Larger  
Architectural Expression

Best ●●●

Good ●

Better ●●

Promotes Retail Spillout

Better ●●

Good ●

Best ●●●





REC 1

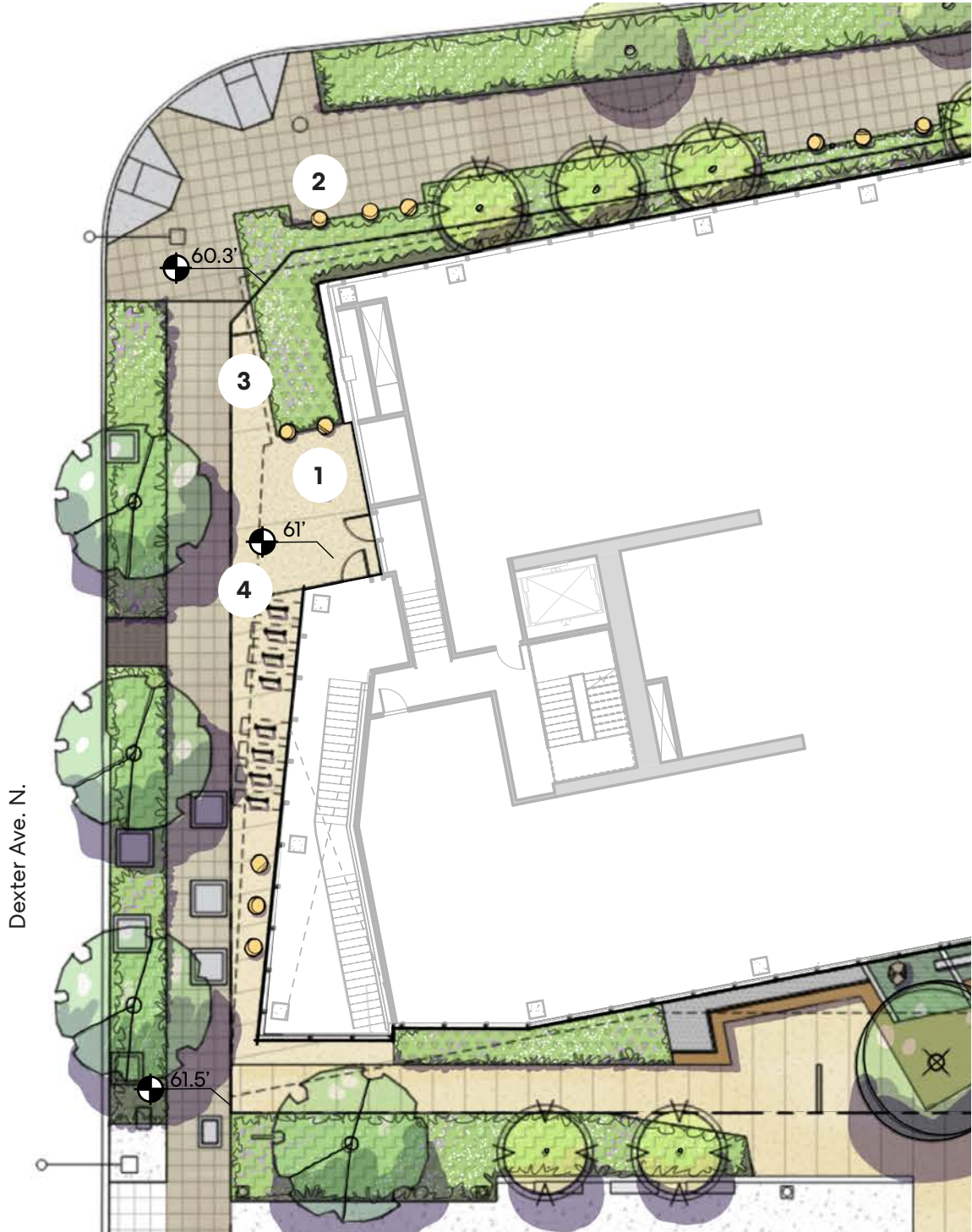
**REC1 Guidance / 2.b**

The Board discussed whether the lone bench element proposed at the corner of Dexter Ave N and Mercer St successfully created a sense of place at the prominent gateway corner, as described by the applicant in the Recommendation presentation. The Board ultimately directed the applicant to further study the overall design of this prominent corner to ensure that right-of-way and landscape elements appear integrated with the architecture and enhance the overall pedestrian realm. CS2-B, CS2-4-c, PL1-1, DC3-B, DC3-C, DC4-2

**REC2 Design Response:**

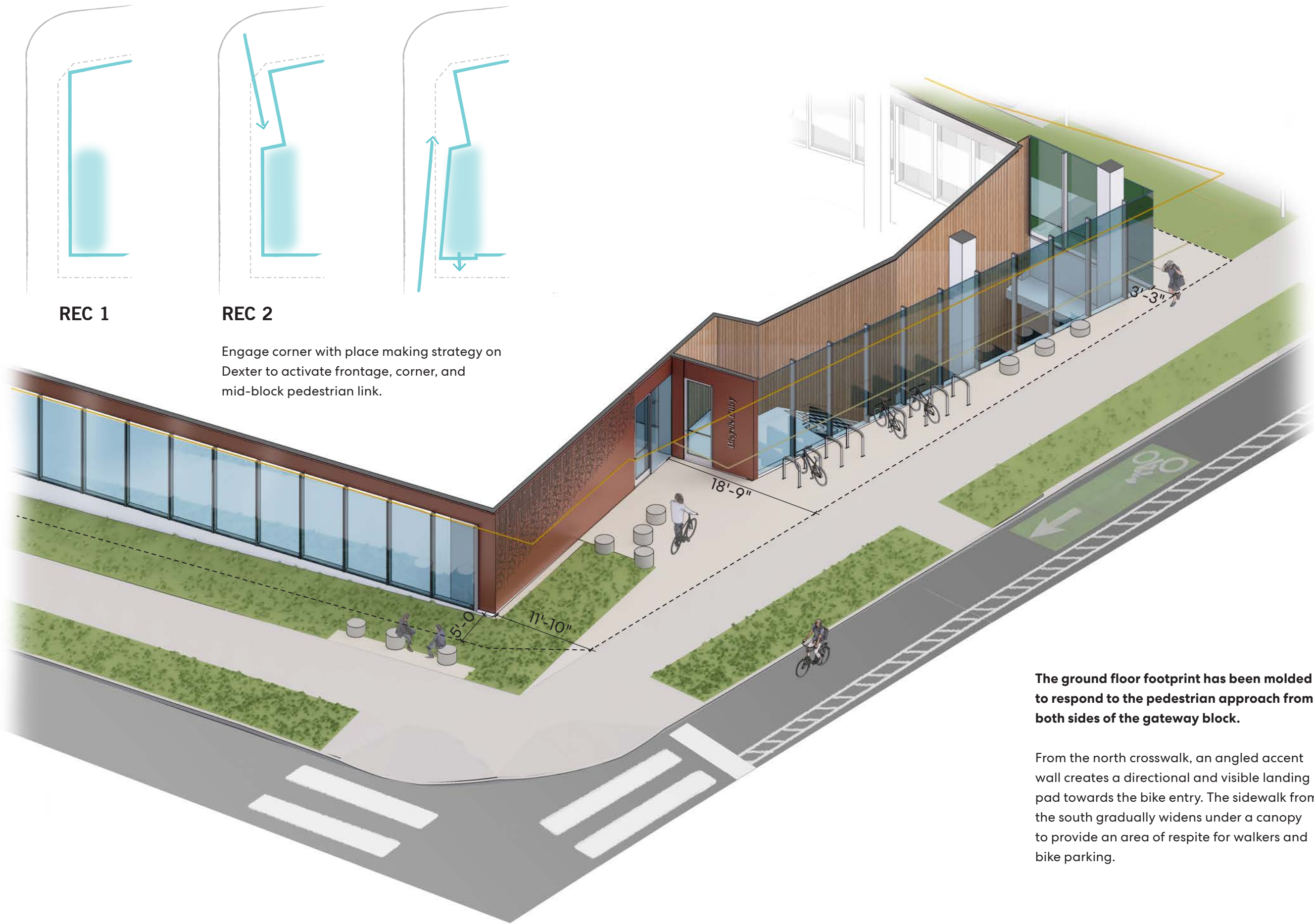
The design at NW corner has been revised to improve the pedestrian experience and better respond to the gateway corner with a placemaking strategy.

- 1. Additional setback and covered open space have been added to expand cyclist mount/dismount zone of arrival and departure.
- 2. Enhanced planting and site furnishings have been provided - continues along Mercer.
- 3. Space is activated with cyclist entry facing corner while preserving access to bike amenities farther south along Dexter and opening access to the mid-block.
- 4. Expression and identity of the cyclist entry and space is enhanced by plan/form revisions.



REC 2





REC 2

Engage corner with place making strategy on Dexter to activate frontage, corner, and mid-block pedestrian link.

The ground floor footprint has been molded to respond to the pedestrian approach from both sides of the gateway block.

From the north crosswalk, an angled accent wall creates a directional and visible landing pad towards the bike entry. The sidewalk from the south gradually widens under a canopy to provide an area of respite for walkers and bike parking.

REC 2





REC 2

View of northwest Bike Entry looking East

Walkways and Pedestrian Interest

" Visually engaging pedestrian walkways reinforce the pedestrian network and are an important element in project design. The pattern of near-by features, spatial changes, and points of interest define the pedestrian experience." - **PL2-2**





REC 2

View of Bike Entry looking north on Dexter Ave.





REC 1

**REC1 Guidance / 2.c**

The Board appreciated the applicant's consideration of existing bicycle traffic to and through the site and supported the bike to the below-grade parking, which was relocated to the Dexter Ave N side of the building to better respond to access from the dedicated bike lanes. PL4-A, PL4-B, PL4-1



REC 2

**REC2 Design Response:**

The supported location for cyclists entry has been developed and enhanced with additional open space, canopy, site furnishings, plantings, and detailing to maximize the quality of the public realm experience, further activating the gateway at street level.



REC1 Guidance / 2.d

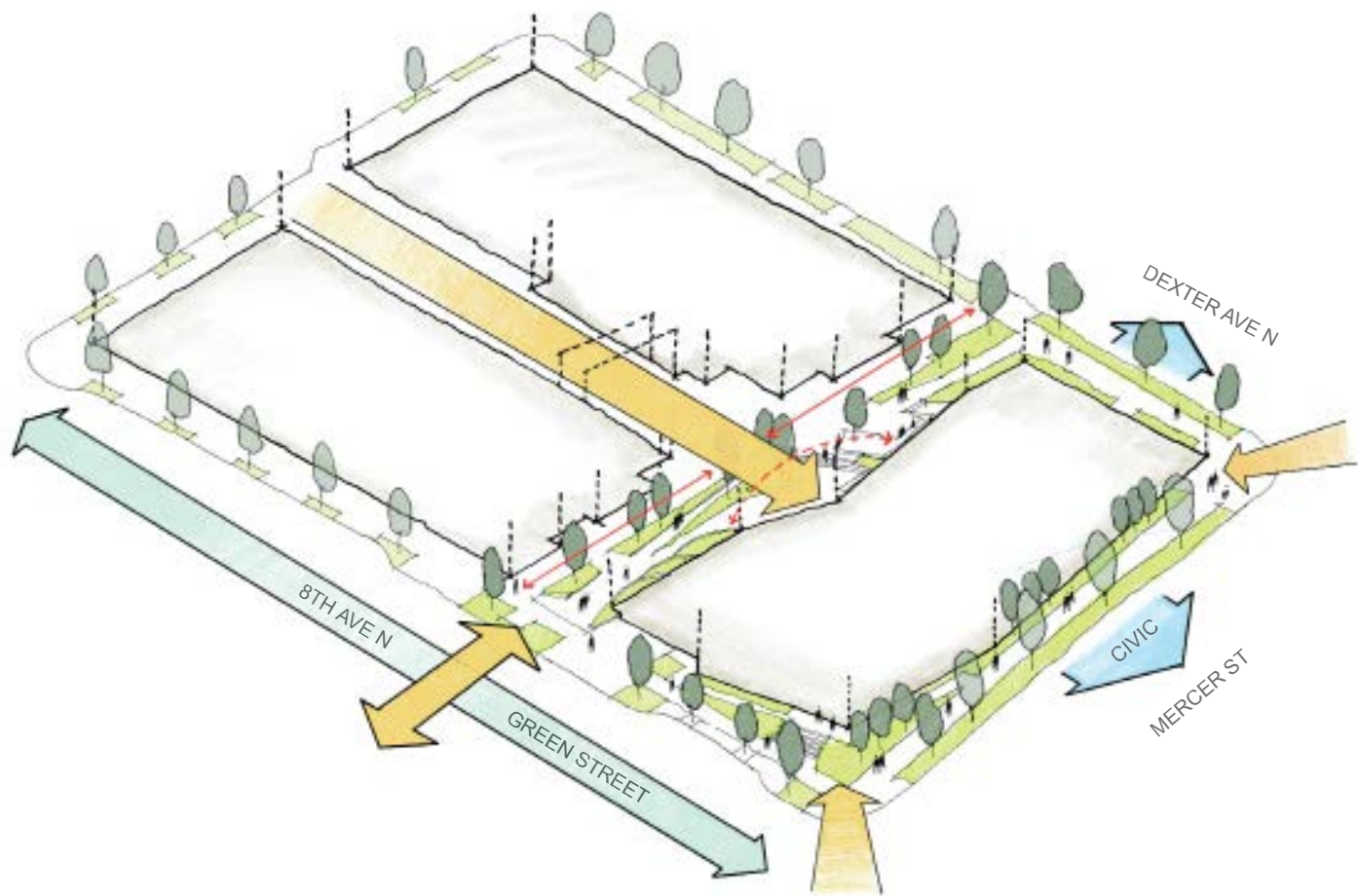
The Board supported the overall intentionally composed landscape and lighting design of the plaza at the north end of the courtyard between the two UW Medicine buildings that enhanced the pedestrian experience and successfully contributed to the network of mid-block connectors in the neighborhood. The Board specifically noted that the landscape under the large building overhangs would not receive adequate water to survive unless proper irrigation was provided. The Board directed the applicant to include irrigation information in the next Recommendation packet. CS2-B, CS2-4-c, PL1-1, DC3-B, DC3-C, DC4-2

REC2 Design Response:

The design intent is to provide separate irrigation zones for those areas that are under cover to allow them to get the year-round water they need to thrive in these conditions. Similar strategies have been employed and successfully maintained by this development team across the South Lake Union neighborhood. Refer to irrigation plan on following page.







INTENT:

A COHESIVE AND WELCOMING PLANTING DESIGN COMPLEMENTS THE SURROUNDING AREA AND SERVES AS A GATEWAY BETWEEN THE SITE AND THE GREATER NEIGHBORHOOD. THE SELECTION OF HARDY, DROUGHT-TOLERANT PLANTS PROVIDES HABITAT FOR LOCAL WILDLIFE AND CREATES AN INVITING EXPERIENCE FOR PEDESTRIANS, CYCLISTS, AND TENANTS. CAREFUL PLACEMENT OF THE PLANTING CREATES A SENSE OF MOVEMENT AND FLOW, GUIDING VISITORS THROUGH THE SPACE AND ENHANCING CONNECTIVITY WITH THE SURROUNDING AREA. PLANTS SELECTED PROVIDE YEAR-ROUND INTEREST WITH A MIX OF EVERGREEN AND DECIDUOUS SPECIES THAT OFFER A RANGE OF TEXTURES AND COLORS THROUGHOUT THE YEAR.

THE NORTH AND WEST FRONTAGES FEATURE A MORE CIVIC CHARACTER, WHILE THE EAST EDGE REINFORCES THE EXISTING GREEN STREET AND COMPLEMENTS THE MIDBLOCK DESIGN. THE MODERN SHADE GARDEN ON THE SOUTHERN EDGE OF THE SITE FEATURES A DIVERSE RANGE OF PLANTS WITH CONTRASTING FOLIAGE TEXTURES AND COLORS THAT THRIVE IN PARTIAL SHADE, PROVIDING A SERENE AND TRANQUIL LANDSCAPE THAT CREATES A COHESIVE CONNECTION WITH THE EXISTING PLANTINGS TO THE SOUTH.











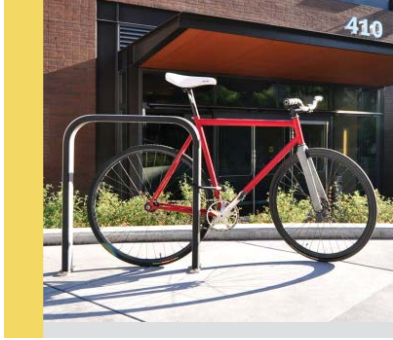
CONCRETE 'CLOUD' SEATS



MULTI-LEVEL CIRCULAR BENCH



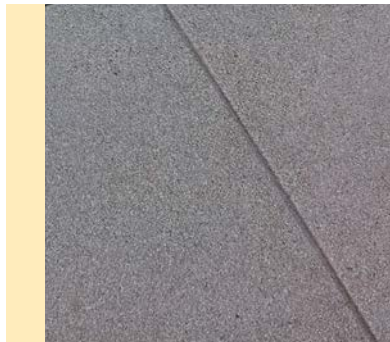
WOOD FEATURE SEAT ELEMENT



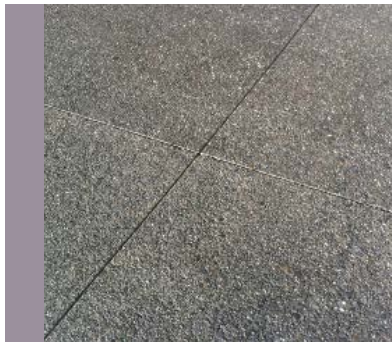
BIKE RACKS



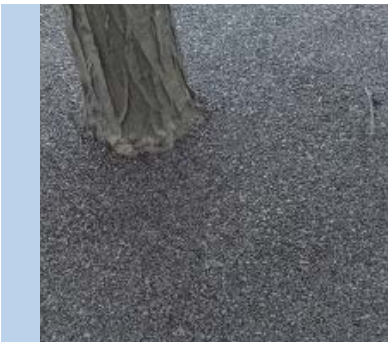
CONCRETE 2'X 2' SIDEWALK,  
NO SHINERS



SPECIALTY CONCRETE PAVING -  
4' SAW CUT JOINTS



SPECIALTY CONCRETE PAVING -  
EXPOSED AGGREGATE FINISH  
12' SAW CUT JOINTS



FLEXIBLE POROUS PAVEMENT



METAL PLANTER WALL

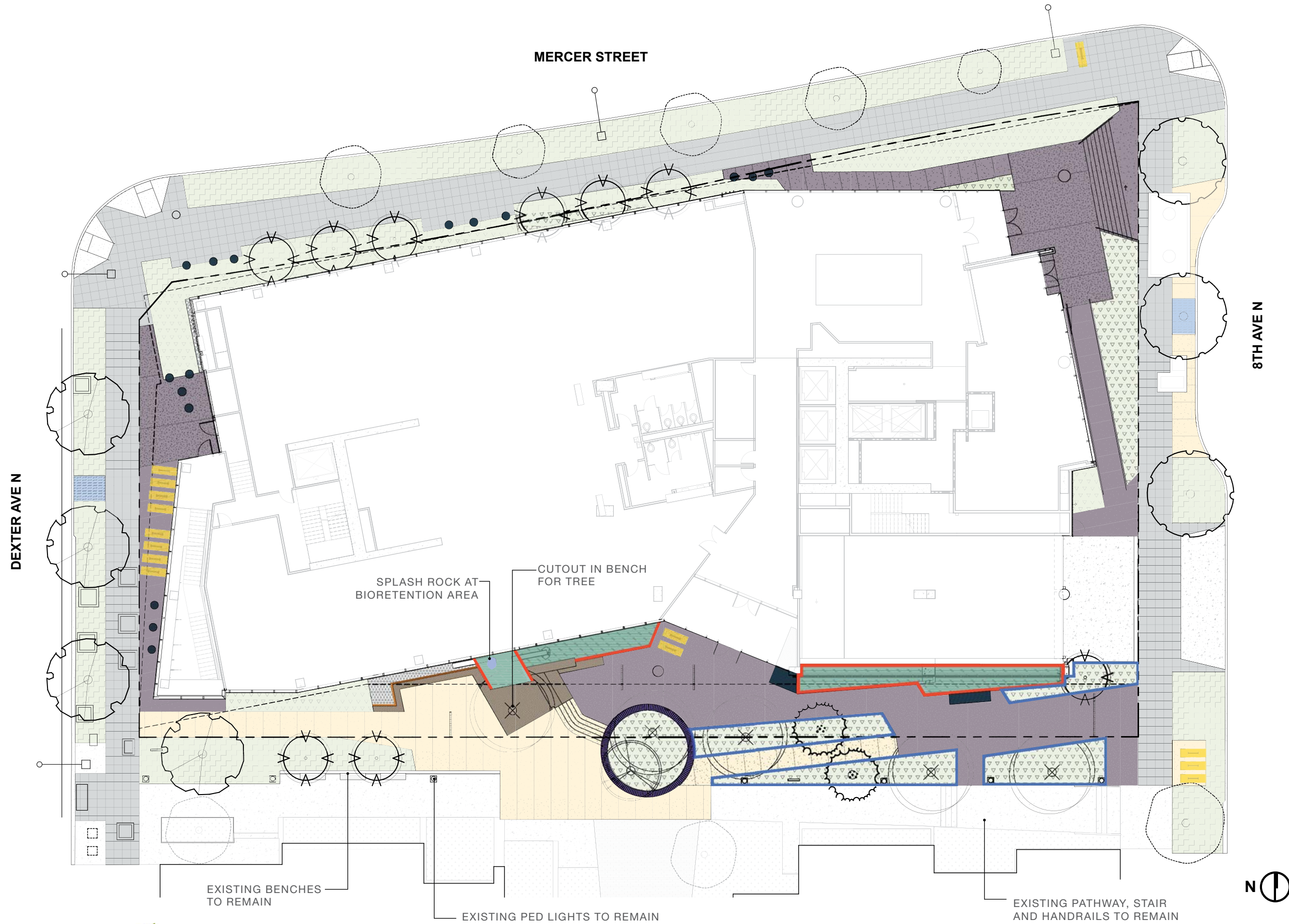


CONCRETE WALL



BIORETENTION PLANTER

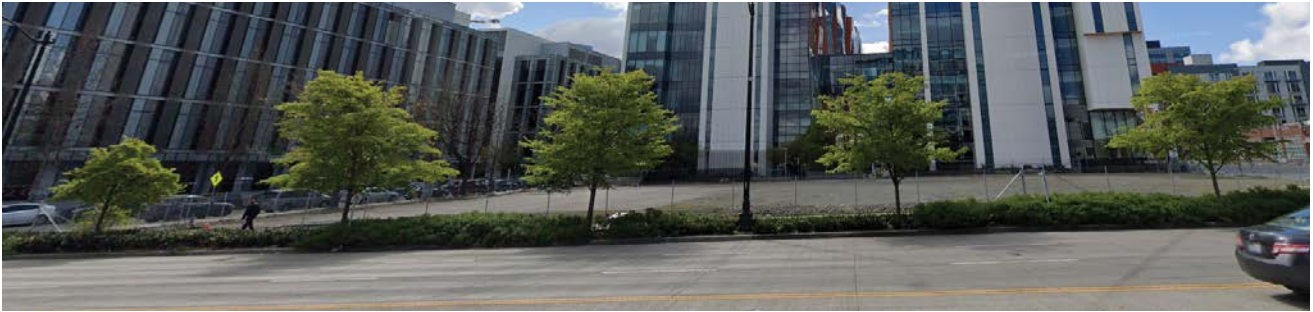








Ulmus 'Morton Glossy' - Triumph elm  
[Existing trees to remain - Mercer Street]



Liquidambar styraciflua - Sweet gum  
[Existing trees to remain - 8th Ave N]



Quercus Frainetto 'Schmidt'  
Hungarian oak



Cornus 'Eddie's White Wonder'  
Hybrid White Flowering Dogwood



Liquidambar styraciflua  
Sweet gum



Acer Palmatum 'Sango-kaku'  
Coral bark Japanese maple



Acer circinatum 'Monroe'  
Monroe vine maple



Ginkgo biloba 'Magyar'  
Magyar ginkgo







ENTRY | WELCOMING PLANTING

TEXTURAL, FERNS AND GRASSES, VARIED, MIXED, SEASONAL / COLORFUL



Blechnum spicant



Gaultheria shallon



Liriope muscari 'Big Blue'



Liriope muscari



Dryopteris erythrosora



Polystichum setiferum



Helleborus x hybridus



Aquilegia formosa

GREEN STREE | MIDBLOCK PLANTING

TEXTURAL, FERNS AND GRASSES, GREEN STREET CHARACTER



Mianthemum racemosum



Spiraea lucida



Pachysandra terminalis



Asarum caudatum



Adiantum pedatum



Blechnum spicant



Dryopteris arguta



Smilacina racemosa

CIVIC | GATEWAY PLANTING

EVERGREEN WITH PERENNIAL ACCENTS, SEASONAL/COLORFUL, LOW HEIGHT



Cistus x obtusifolius



Rosa x 'Noaschnee'



Fragaria chiloensis



Anemone 'Honorine Jobert'



Ceanothus gloriosus 'Pt. Reyes'



Arctostaphylos uva-ursi



Lonicera pileata



Prunus laurocerasus 'Mt Vernon'

BIO-RETENTION | HABITAT PLANTING

TEXTURAL, FERNS AND GRASSES, VARIED AND SEASONAL



Berberis aquifolium



Adiantum pedatum



Camassia quamash



Carex obnupta



Ribes sanguineum



Iris douglasiana



Cornus unalaschkensis



Juncus ensifolius







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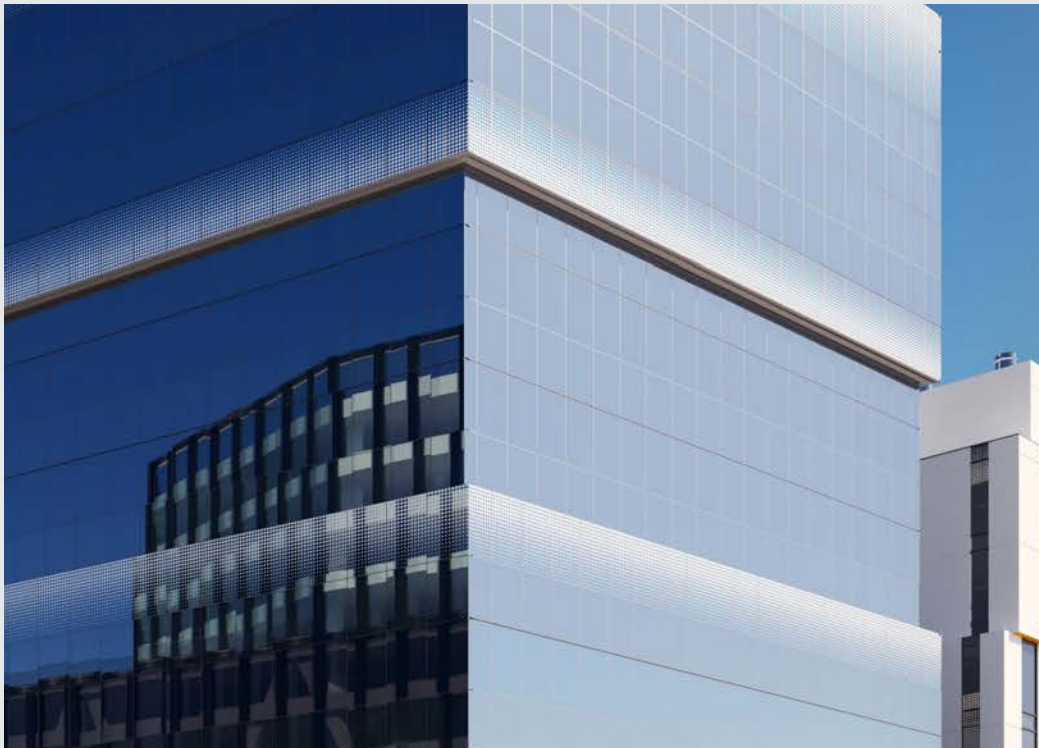


**03.**  
**DESIGN RESPONSE:**  
**MASSING ARTICULATION,**  
**SECONDARY ARCHITECTURAL FEATURES, AND**  
**MATERIAL APPLICATION**



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REC 1

**REC1 Guidance / 3.a**  
**Massing Articulation, Secondary Architectural Features and Material Application:**

In agreement with public comment, the Board was concerned with the lack of façade articulation, secondary architectural features, and noticeable differentiation in material application to enhance the legibility of the overall ‘Slipped Hinge’ architectural concept supported at EDG. The Board noted that although the clean glass stacked boxes expressed a clear architectural concept and form, when compared to the level of visual interest applied to the adjacent buildings and the projects across the street, the proposed design appeared to exacerbate the perceived height, bulk, and scale of the proposal, rather than complement the existing neighborhood context. Moving forward, the Board directed the applicant to explore ways to provide a secondary level of visual interest and depth in the facades through the weaving of changes in window types, varying mullion spacing, frit patterning, color accents, material inserts, projections, or other elements to reinforce the overall architectural concept and response to context. CS2-1-c, DC2-A-2, DC2-B-1, DC2-C-1, DC2-D, DC2-I, DC2-5, DC2-6, DC4-



REC 2

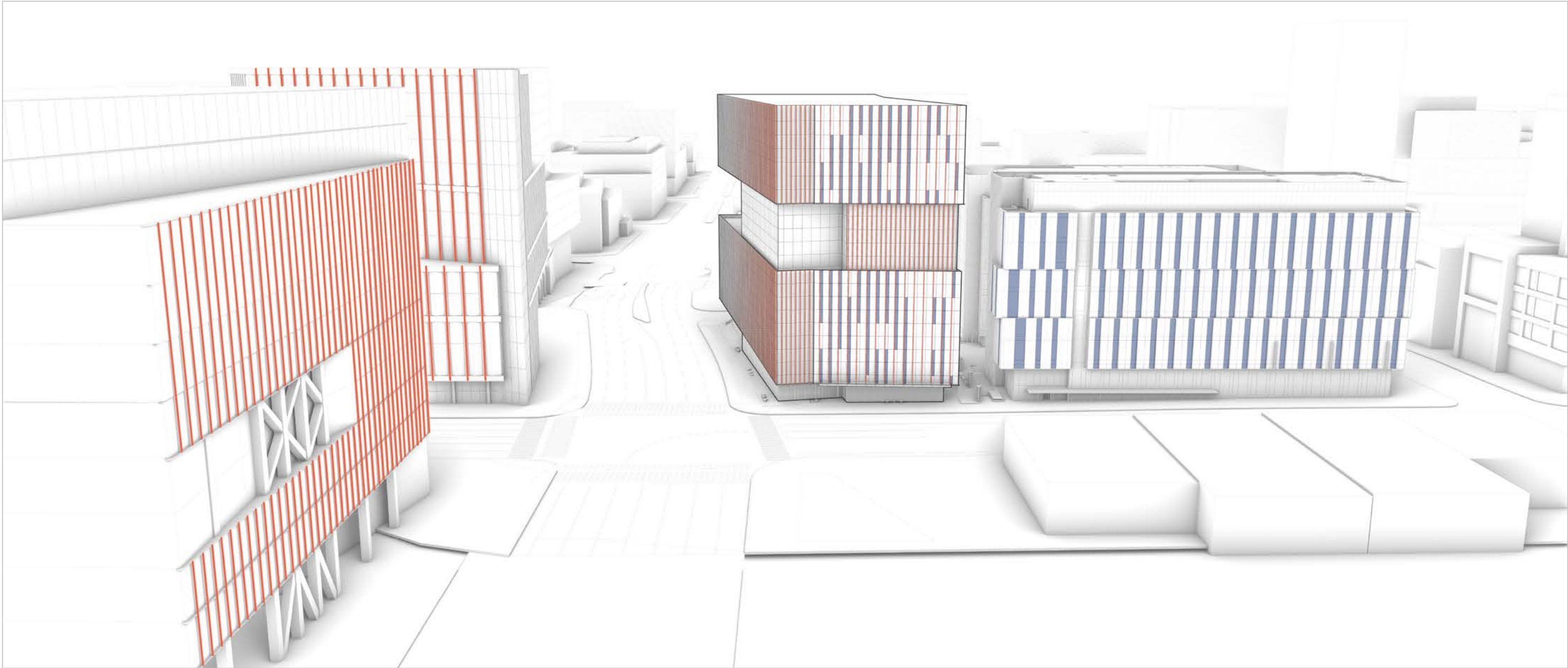
**REC2 Design Response:**

The design has been substantially revised to incorporate further facade articulation, secondary architectural features, texture, depth, and variations in the materials and details to enhance the legibility of the "Slipped Hinge" concept. The elements incorporated include varying mullion spacing, frit patterning, materials, and projections.

The architectural composition and details have been carefully considered to create continuity, variation, and emphasis with hierarchy and scale to impart visual interest in response to the context and architectural concept.

As detailed and described on the following pages, a comprehensive re-design strategy for the exterior expression of the building is proposed to respond to REC1 guidance. The design response employs the following massing articulation, secondary architectural features, and material application revisions from REC1; composed according to a design logic grounded in the context, guidelines, and guidance.





Texture influences from adjacent buildings meld together to create transition within context.



1. 601 DEXTER  
SDCI #3035471-LU



2. MERCER BLOCKS (WEST)  
SDCI #3035865-LU



3. MERCER BLOCKS (EAST)  
SDCI #3035865-LU

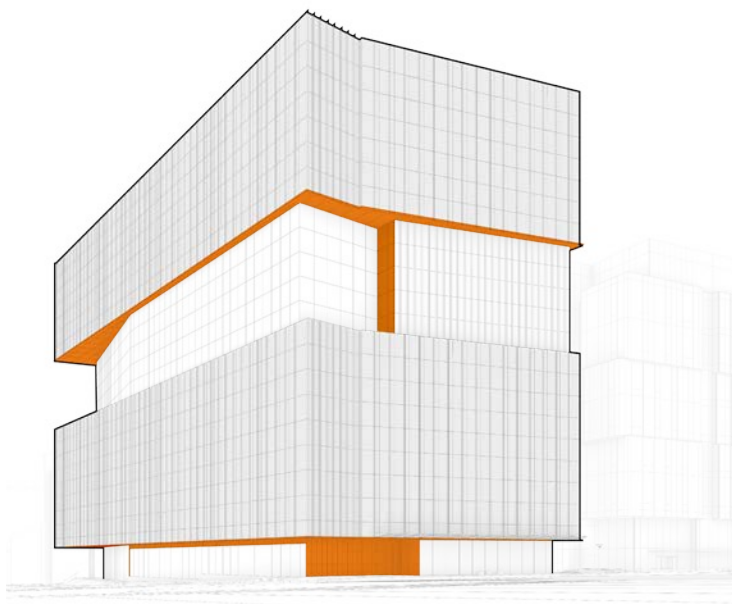


7. 750 REPUBLICAN STREET  
(UW MEDICINE PH 3.1)



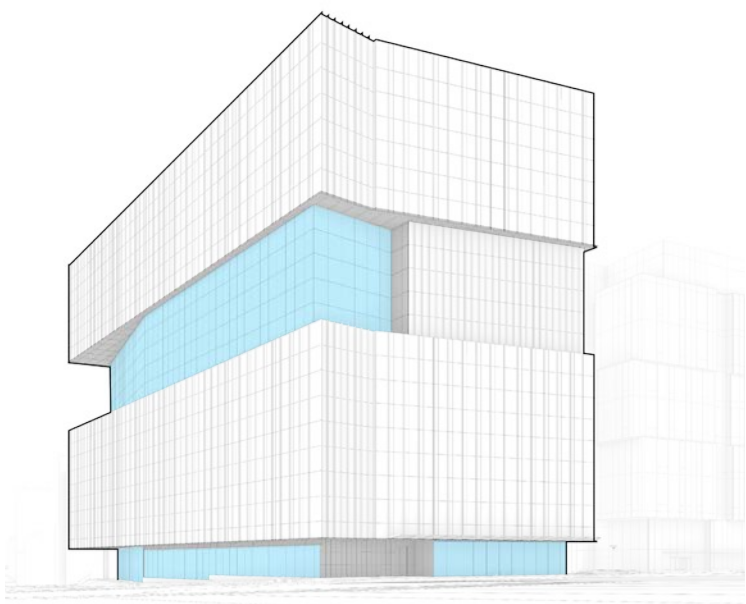
8. 750 REPUBLICAN STREET  
(UW MEDICINE PH 3.2)





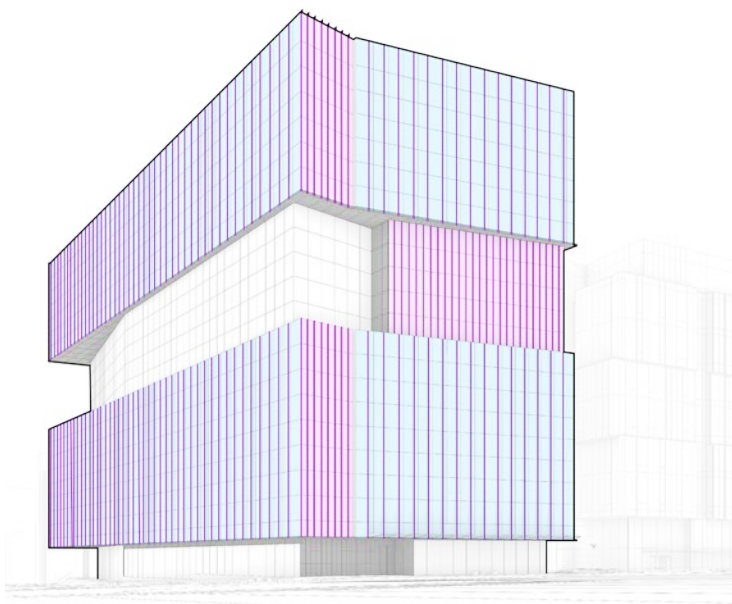
COLOR

To define place-making and a create welcoming tone.



TRANSPARENCY

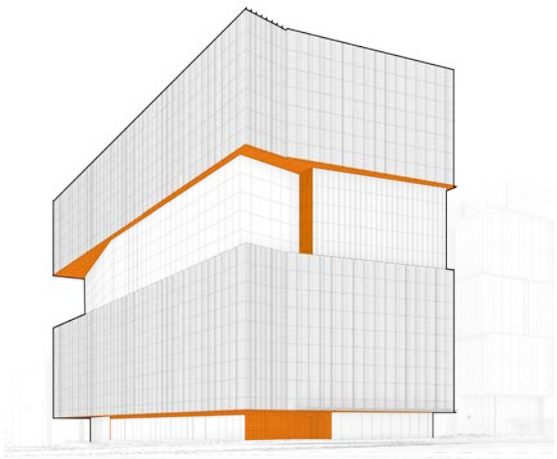
To reinforce key massing and programmatic elements.



TEXTURE

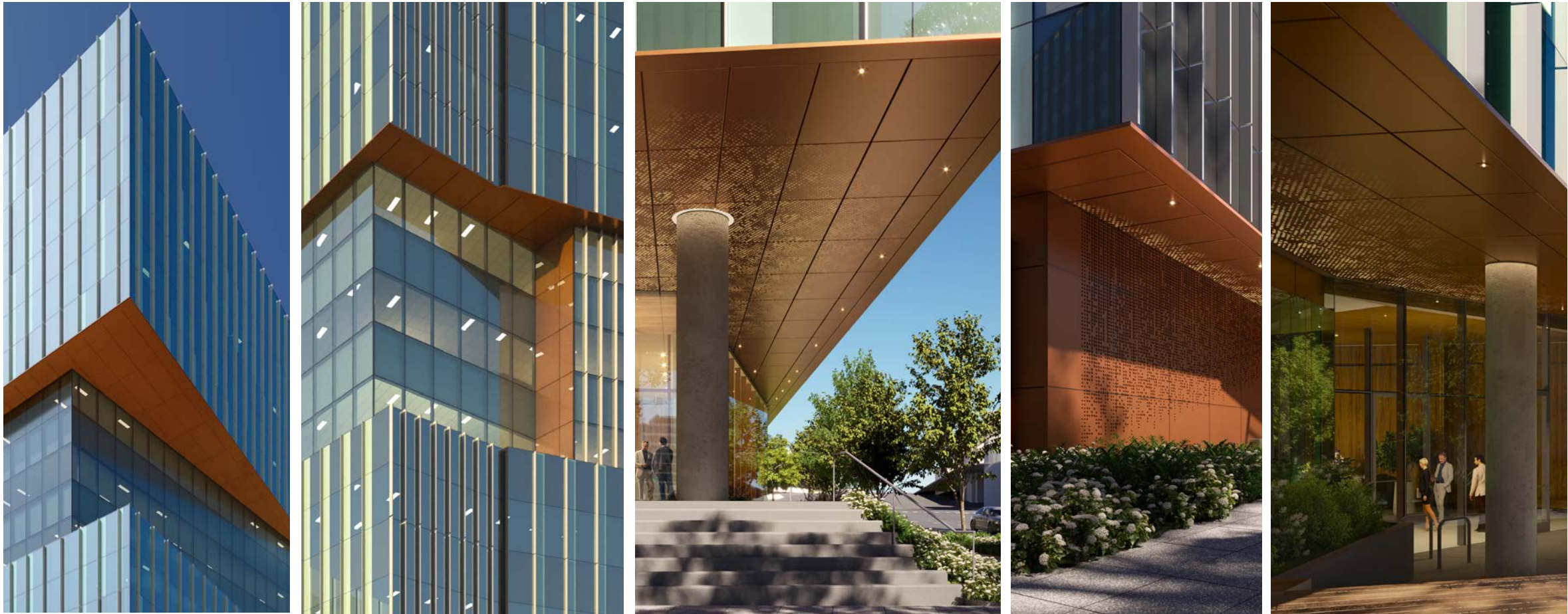
To add visual interest and react with light and movement.



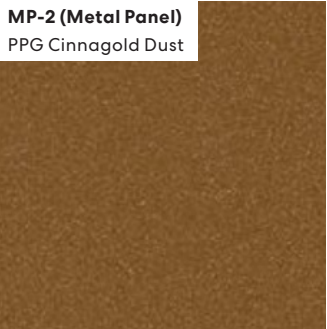


COLOR

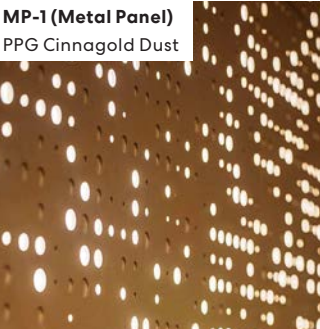
A metal panel finished in a warm metallic tone is applied to all exterior soffits, as well as exterior walls at main entry, retail, bike center, and the west recessed walls at Dexter. Perforated back-lighted screen is integrated at entry locations.



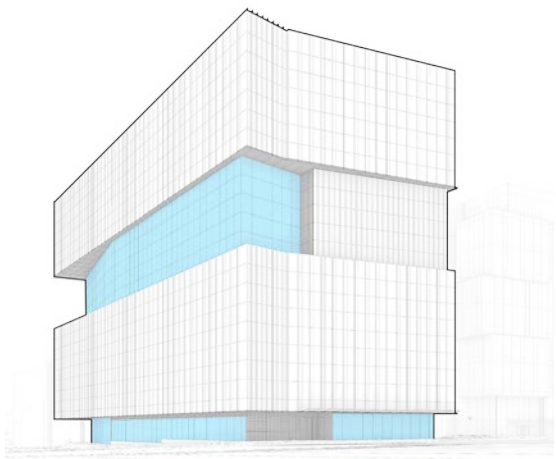
MP-2 (Metal Panel)  
PPG Cinnagold Dust



MP-1 (Metal Panel)  
PPG Cinnagold Dust

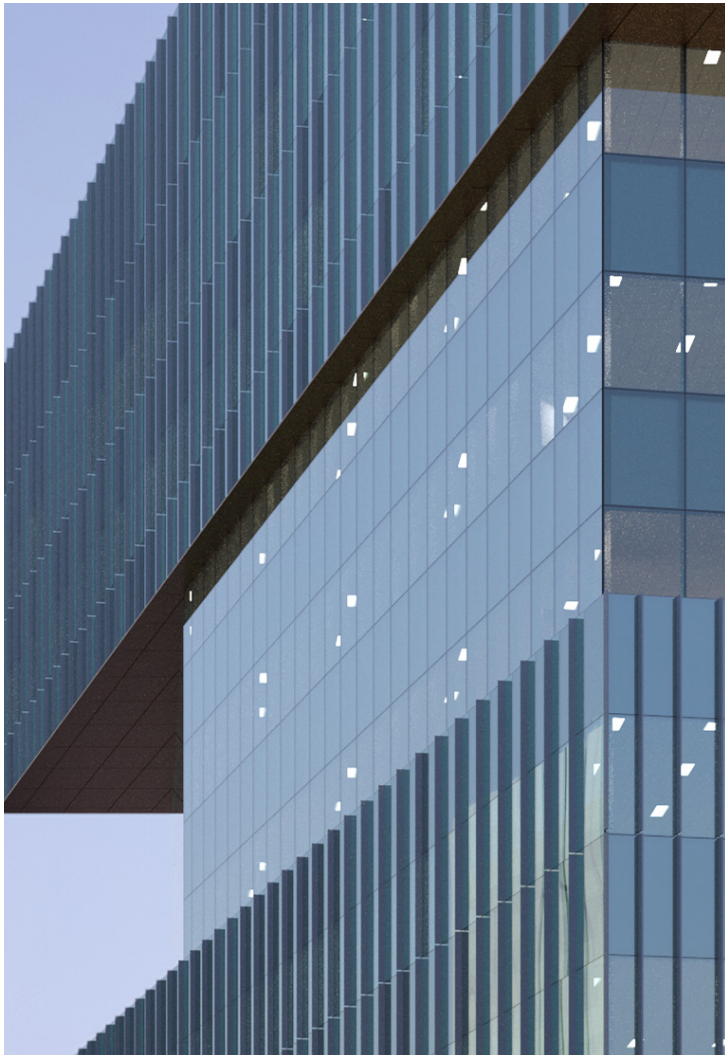




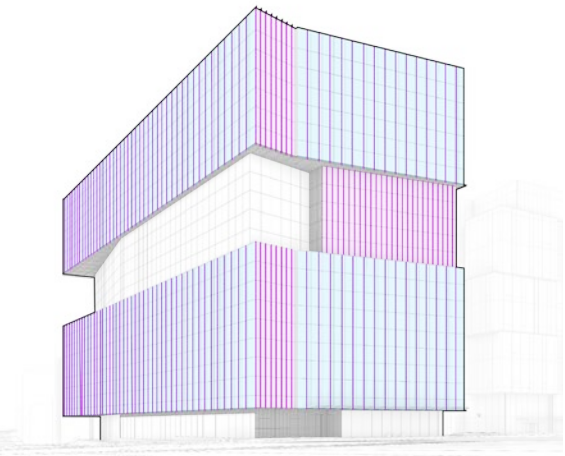


TRANSPARENCY

Transparency that varies in appearance is achieved through a diverse glass types, assembly details, and expressions, as detailed in this submittal. At ground level, transparency creates strong visual connections to public spaces. At the upper levels, transparency maximizes daylight and views for occupants, and the use of glass on the exterior creates a light expression for the building.

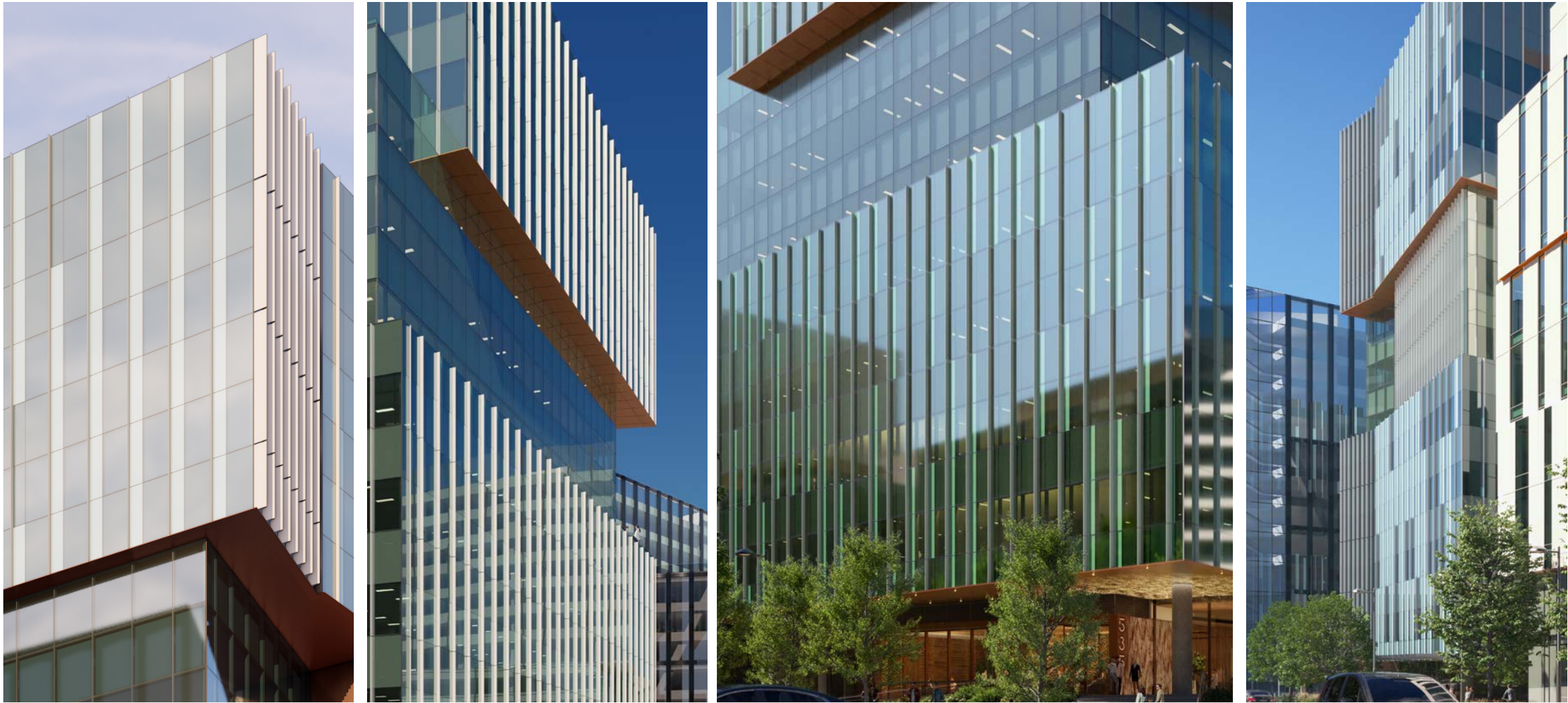




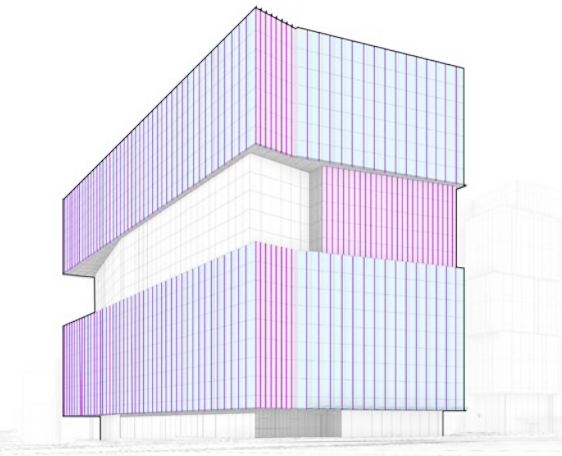


Texture

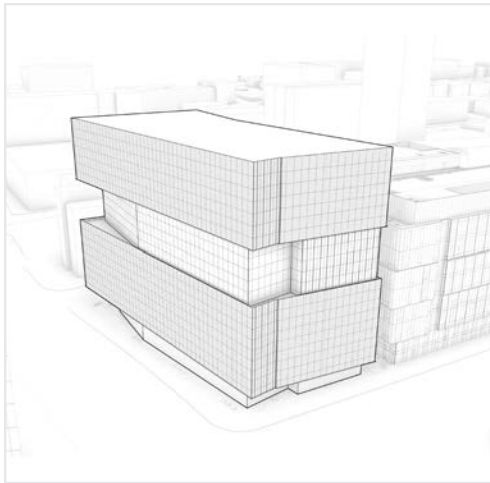
The building reacts to changes in light and atmosphere as well as to movement and point of view. The textural treatments differentiate the volumes of the massing composition and create human scale elements that work in harmony with other details of the architecture to provide scale, depth, rhythm, and hierarchy and allow the building to be read at multiple scales.





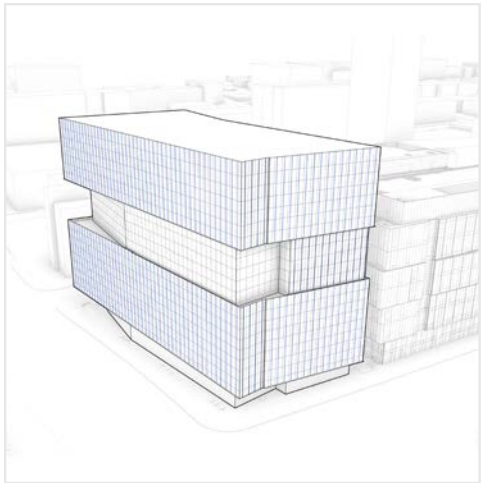


TEXTURE/ elements



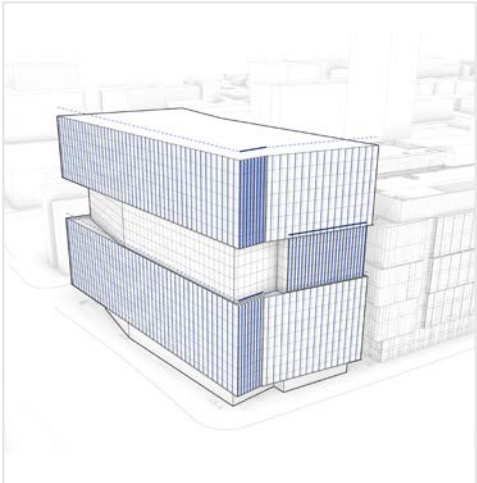
baseline curtain wall (REC1)

5'-3" module four-sided structural silicon glazed curtain wall.



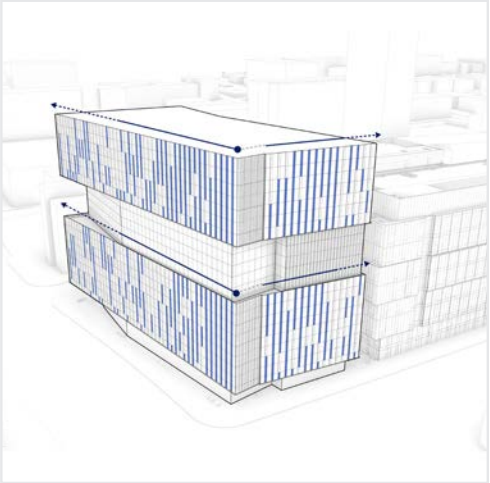
REC 2/ sub-division mullion

A secondary vertical mullion spacing has been incorporated to the upper and lower volumes to strengthen the slipped hinge reading and to create scale and variation in the facades. The vertical mullion spacing varies in intervals of 1/2 and 1/3 to create a dynamic composition emphasizing the corner and differentiating secondary scales and proportions. The regular and interleaved intervals respond to context.



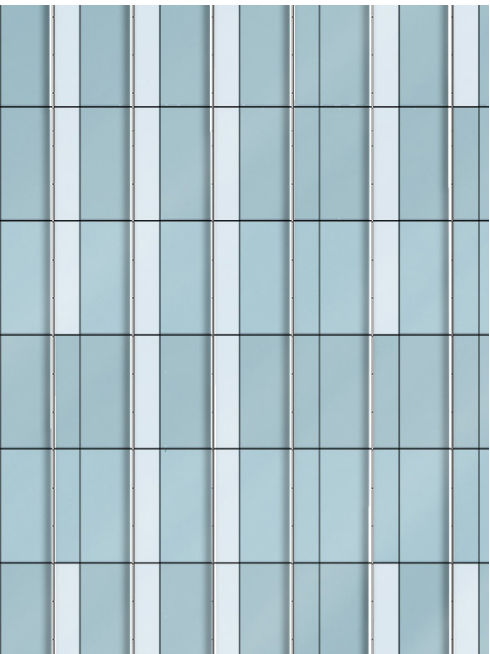
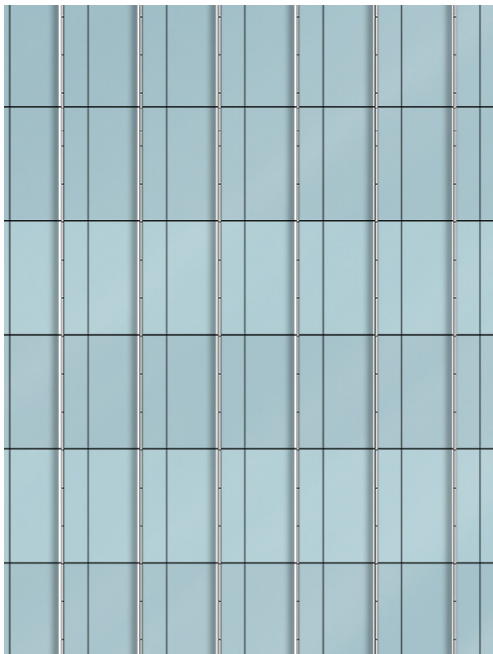
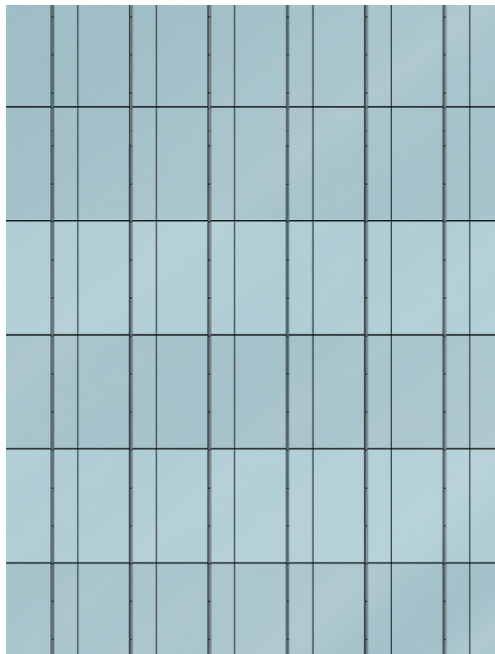
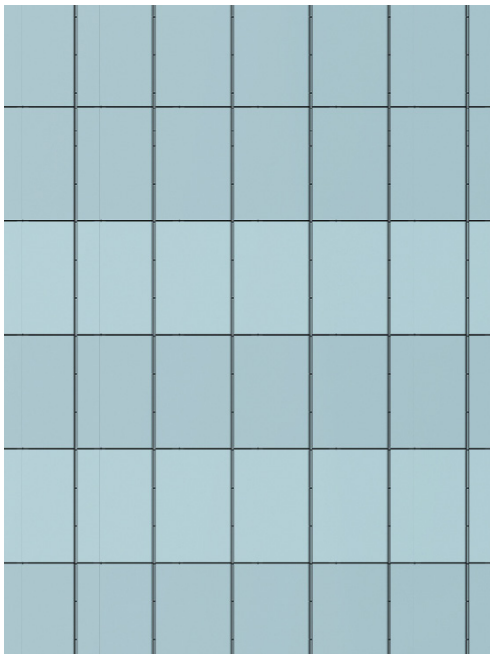
REC 2/ vertical fin

Vertical fins (6") have been incorporated at primary vertical mullions on the upper and lower volumes to create depth, texture, shadow, to reflect light and to create additional implied depth in glass reflections. Fins are a prevalent device in the neighborhood for creating depth and texture and maintain an impression of lightness and the ability to react to light and weather in an ephemeral way.



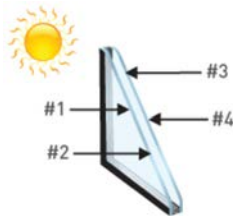
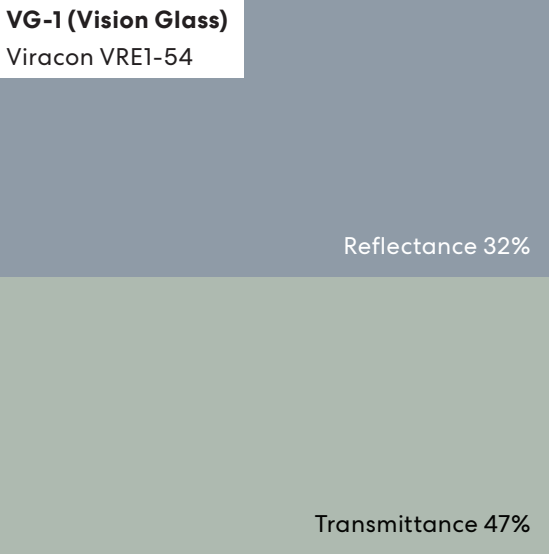
REC2/ fritted glass

The frit has been re-composed as a series of modulated vertical bands that vary in spacing interval and length to create a myriad of expressed and implied proportions and scales and to create a sense of motion and emphasis at the corner. The sheared and modulated rhythm respond to context and create an interleaved and feathered transition among adjacent buildings.





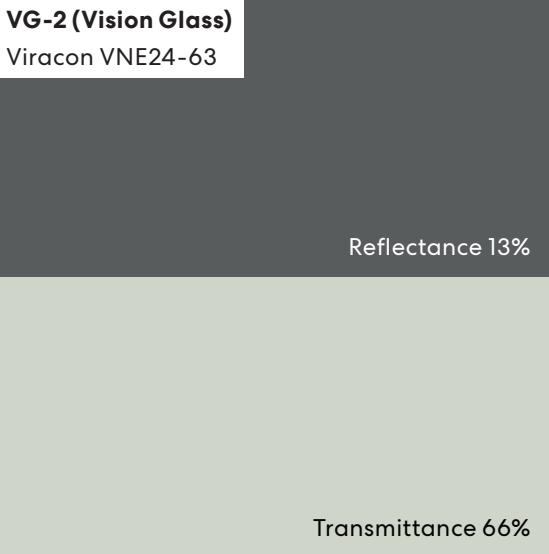
**VG-1 (Vision Glass)**  
Viracon VRE1-54



**WHITE FRIT**  
80% coverage, on #2



**VG-2 (Vision Glass)**  
Viracon VNE24-63



**FIN**  
PPG Silver



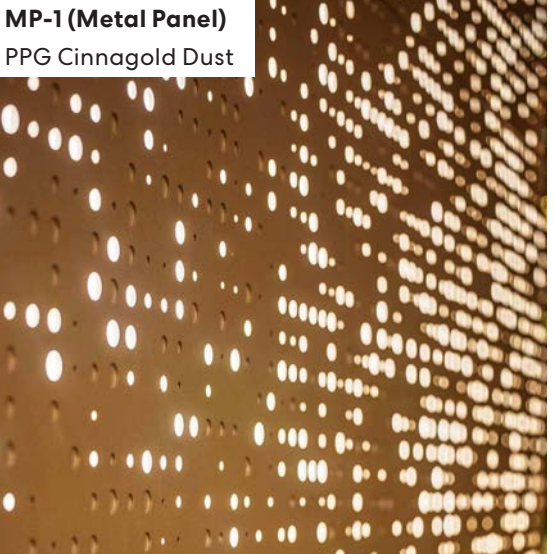
**SG-1 (Spandrel)**  
Viracon V953 Medium Gray on #4



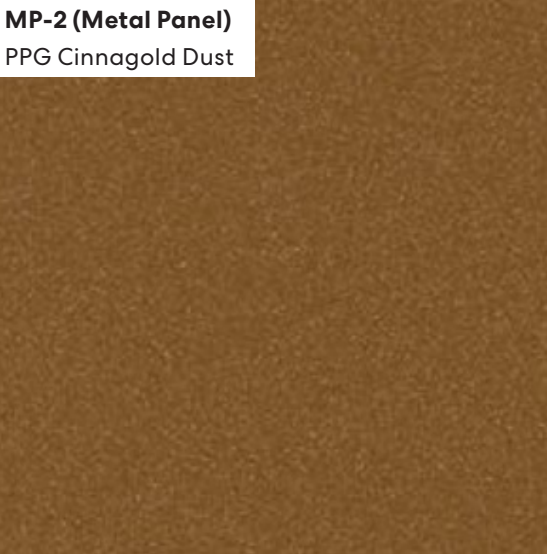
**SB-1 (Shadow Box)**  
PPG Medium Gray



**MP-1 (Metal Panel)**  
PPG Cinnagold Dust



**MP-2 (Metal Panel)**  
PPG Cinnagold Dust



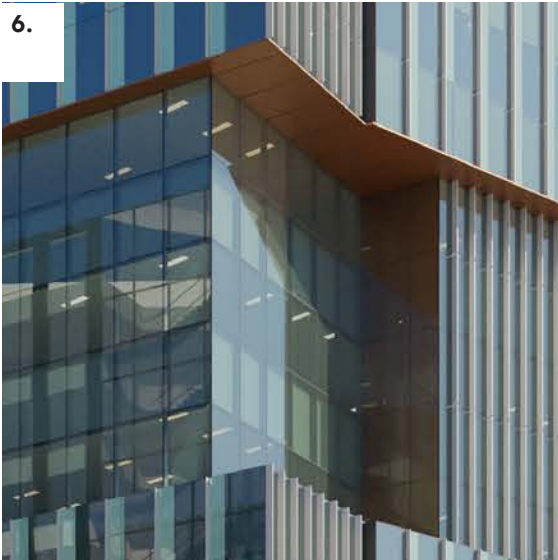
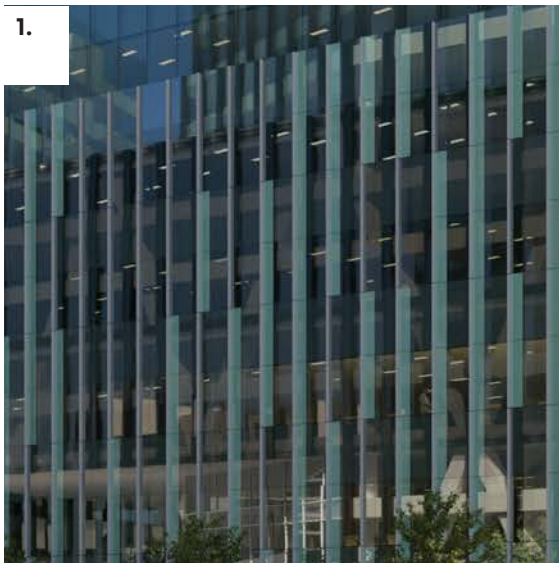
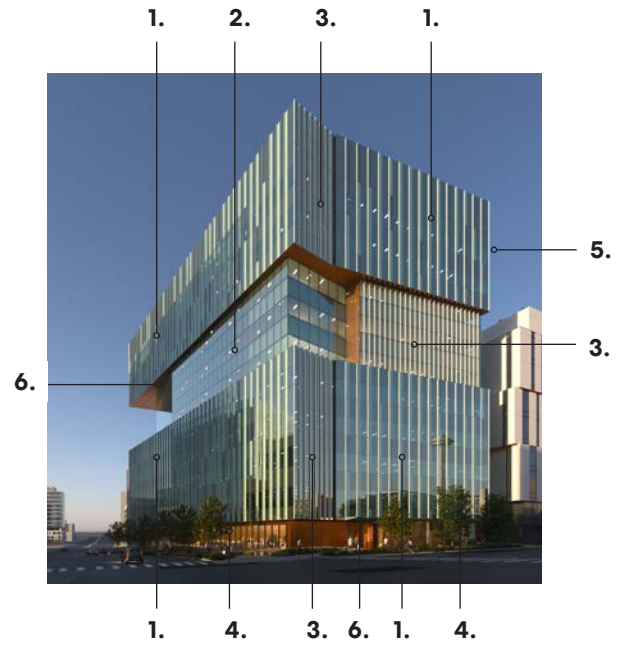
**SC-1 (Screen)**  
B+N Fortina





Details, Composition, and Assemblies

- 1. VG-1/SG-1, A/B mullion, SSG w/ 6" fin 5'-3" OC + frit
- 2. VG-2/SB-1, SSG w/ no fin + no frit
- 3. VG-2/SB-1, SSG w/ 8" fin 2'-7 1/2" OC + no frit
- 4. VG-2, SSG w/ no fin + no frit
- 5. VG-1/SG-1, SSG w/ 6" fin 5'-3" OC + no frit
- 6. MP-1 and MP-2
- 7. SC-1





Vision glass and spandrel details have been modified to increase distinction between primary volumes and to reinforce secondary moves at Dexter and gateway faces. Color has been introduced at the soffit and feature walls created through the sculptural push/pull at the gateway corner. These moves visually tie together the composition and create an additional dynamic reading.



REC 2

- VG-1 (Vision Glass)**  
Viracon VRE1-54
- SG-1 (Spandrel)**  
Viracon V953 Medium Gray on #4
- VG-2 (Vision Glass)**  
Viracon VNE24-63
- SB-1 (Shadow Box)**  
PPG
- VG-1 (Vision Glass)**  
Viracon VRE1-54
- SG-1 (Spandrel)**  
Viracon V953 Medium Gray on #4
- VG-2 (Vision Glass)**  
Viracon VNE24-63  
(Retail, Lobby, Bike, Tenant Space)

**Viracon VNE24-63**  
Built example: MIT Nano (Boston)



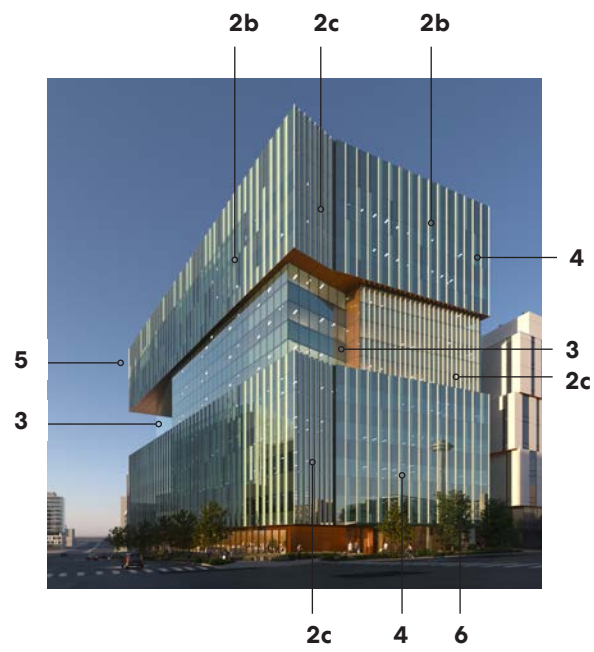
**Viracon VRE1-54**  
Built example: The Mark (Seattle)



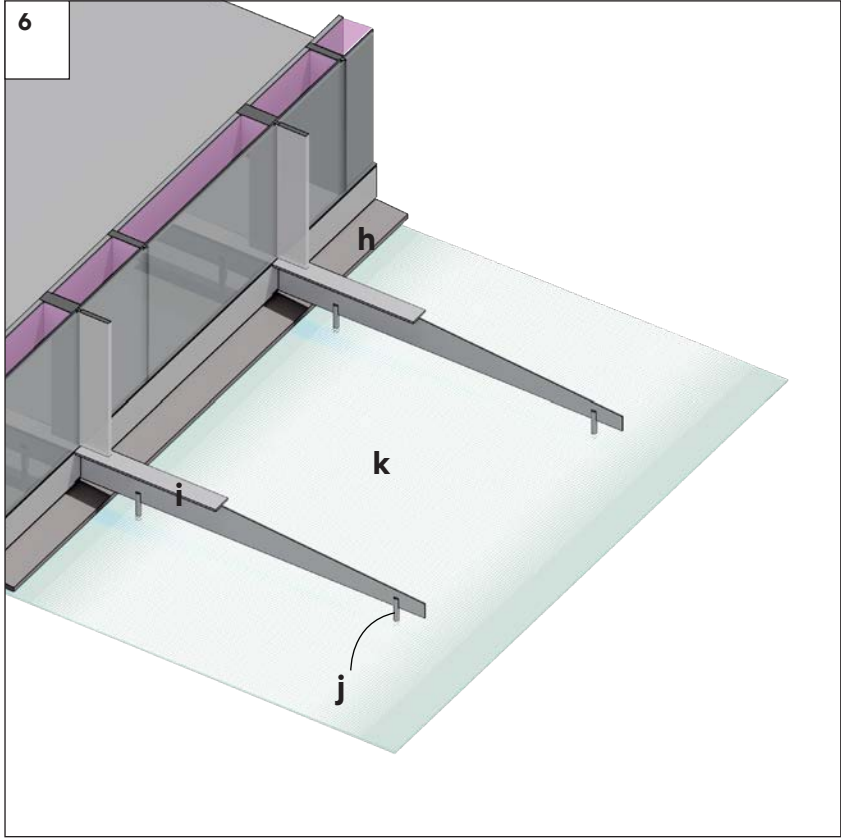
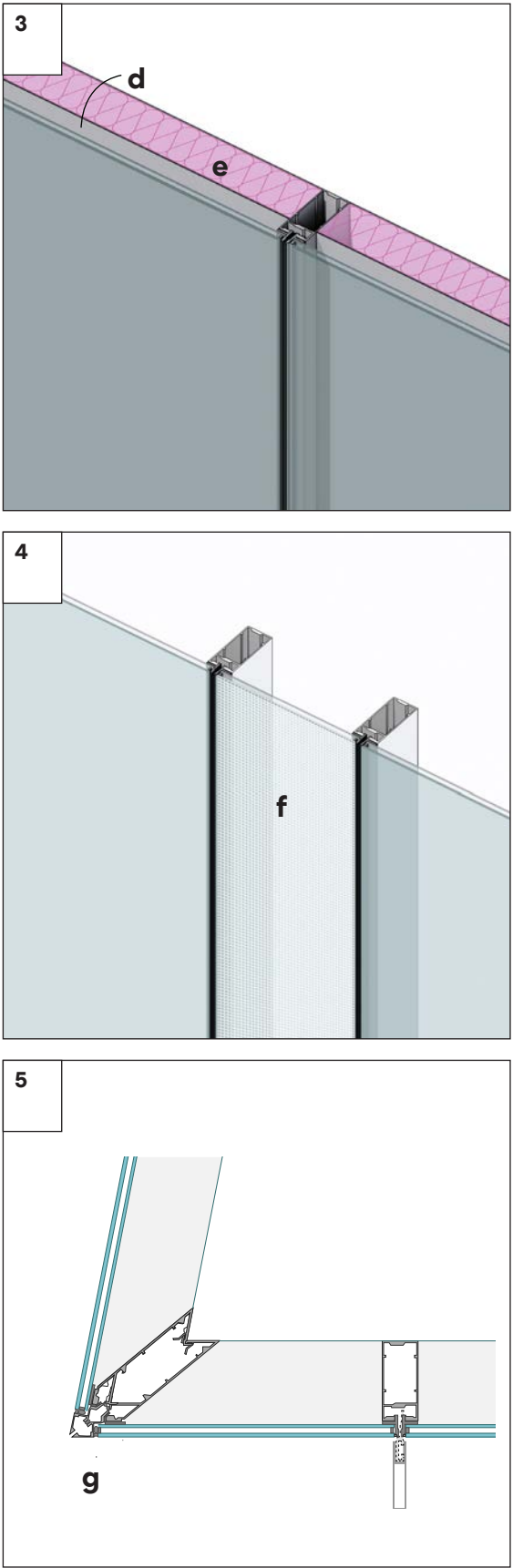
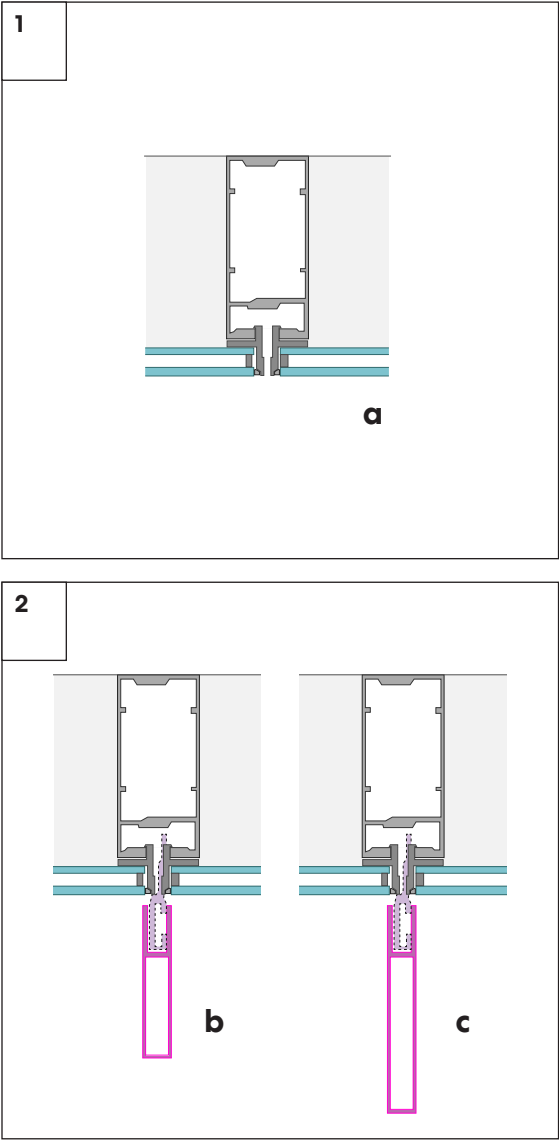


Details, Composition, and Assemblies

- 1. 4 sided structural silicon glazing - default CW
- 2. 1"x6", 1"x8" extruded aluminum fin
- 3. shadow box
- 4. fritted glass @ vision panel
- 5. curtain wall at NE corner
- 6. west canopy



1. Default curtain wall



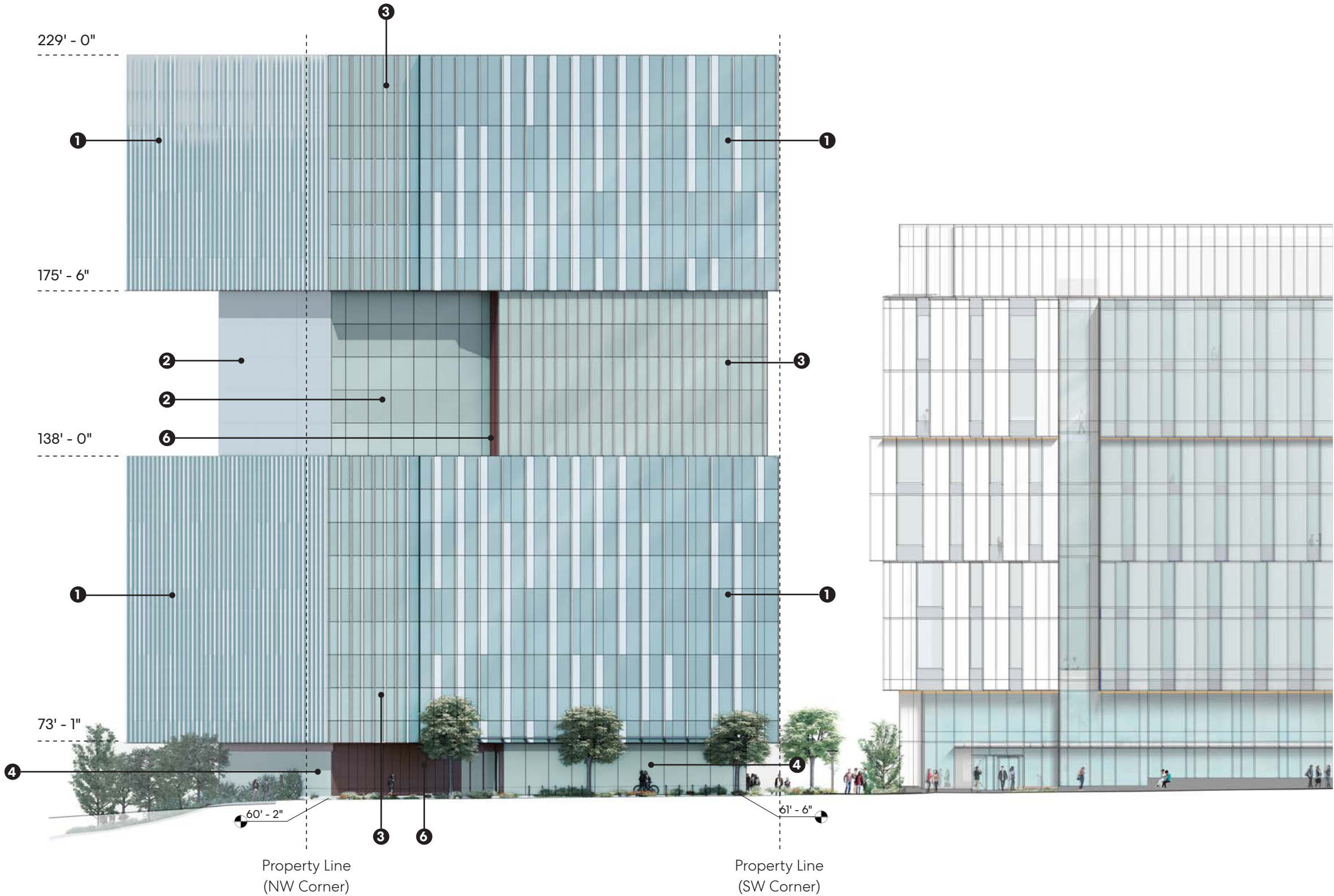
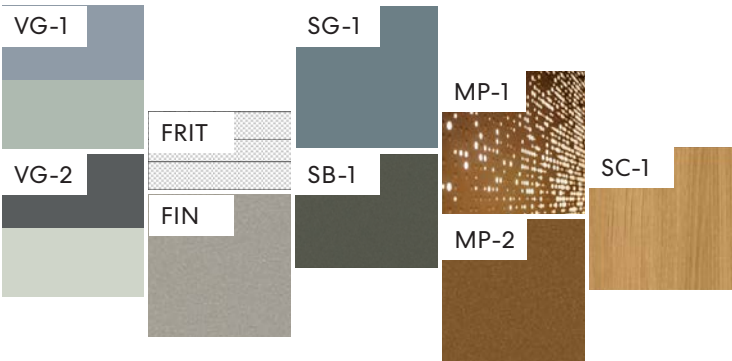
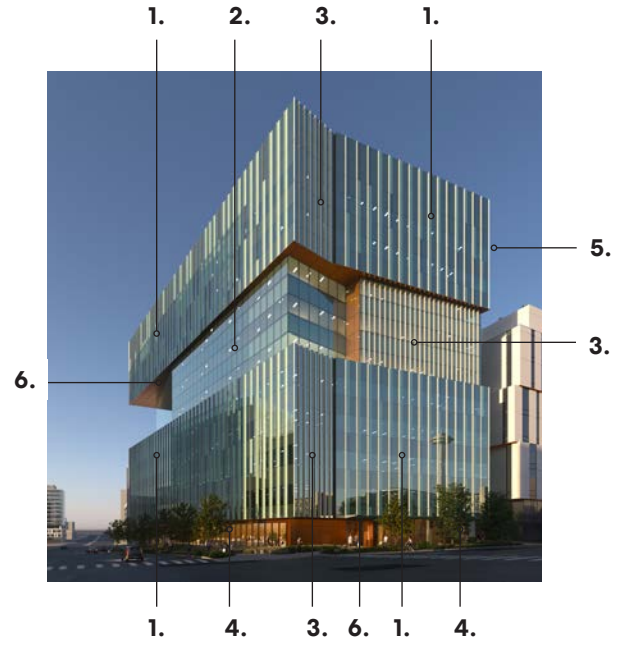
Detail Components

- a. Default alum mullion section-unitized
- b. 6" deep alum fin
- c. 8" deep alum fin
- d. Shadow box back panel
- e. Insulation
- f. 80% coverage white frit on surface #2
- g. Corner mullion with alum corner cap
- h. Soffit extension profile
- i. T section canopy outrigger
- j. Button glass mount
- k. Laminated/tempered glass w/ 30% coverage frit in center



Details, Composition, and Assemblies

- 1. VG-1/SG-1, A/B mullion, SSG w/ 6" fin 5'-3" OC + frit
- 2. VG-2/SB-1, SSG w/ no fin + no frit
- 3. VG-2/SB-1, SSG w/ 8" fin 2'-7 1/2" OC + no frit
- 4. VG-2, SSG w/ no fin + no frit
- 5. VG-1/SG-1, SSG w/ 6" fin 5'-3" OC + no frit
- 6. MP-1 and MP-2
- 7. SC-1

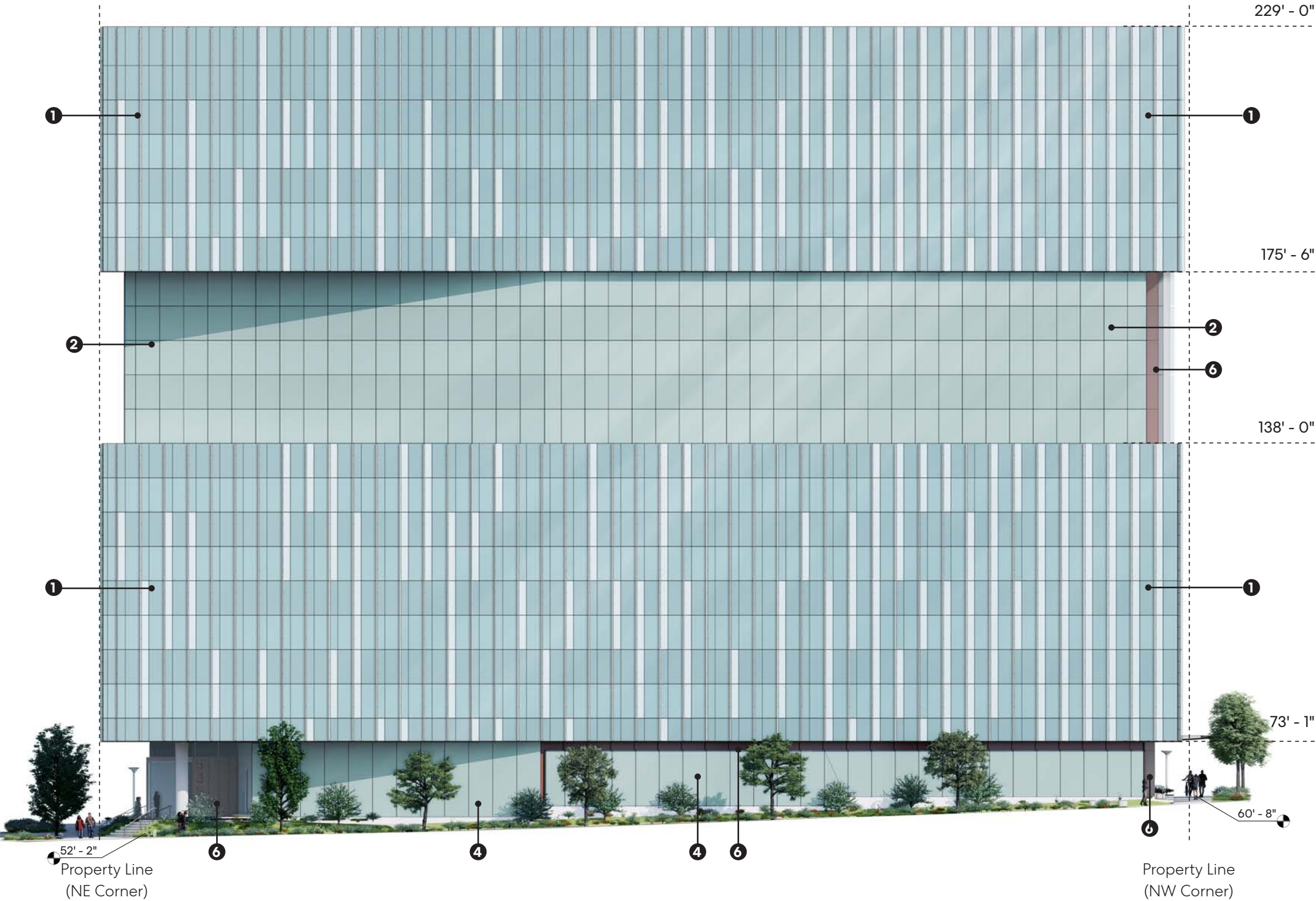
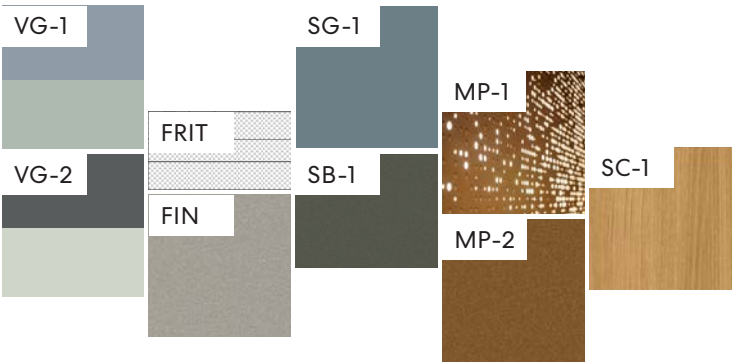
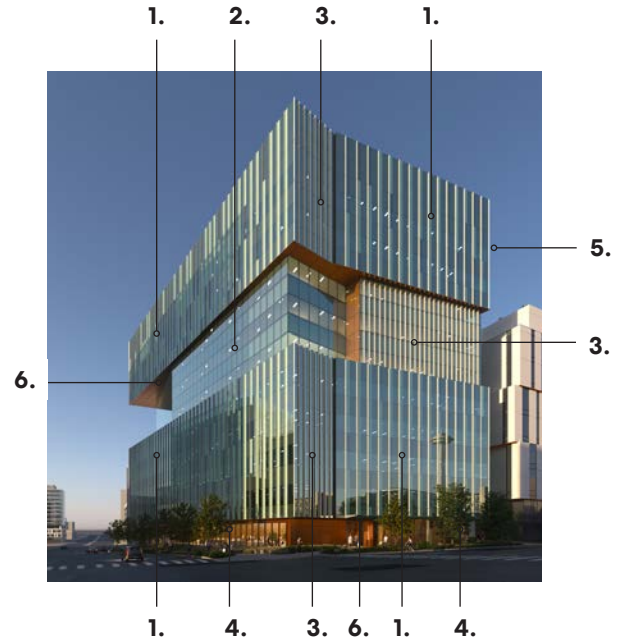


Dexter Ave N (West Elevation)



Details, Composition, and Assemblies

- 1. VG-1/SG-1, A/B mullion, SSG w/ 6" fin 5'-3" OC + frit
- 2. VG-2/SB-1, SSG w/ no fin + no frit
- 3. VG-2/SB-1, SSG w/ 8" fin 2'-7 1/2" OC + no frit
- 4. VG-2, SSG w/ no fin + no frit
- 5. VG-1/SG-1, SSG w/ 6" fin 5'-3" OC + no frit
- 6. MP-1 and MP-2
- 7. SC-1

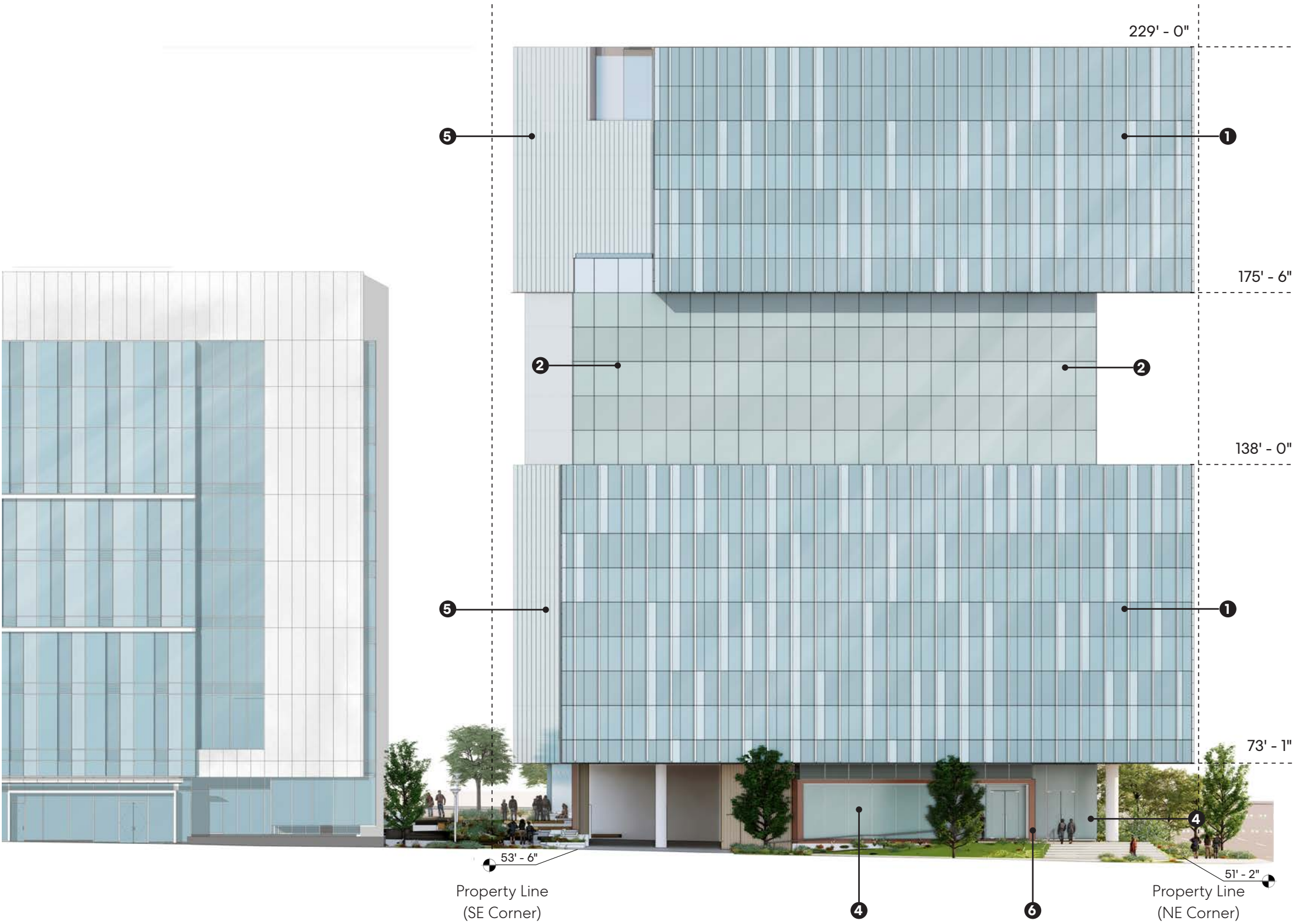
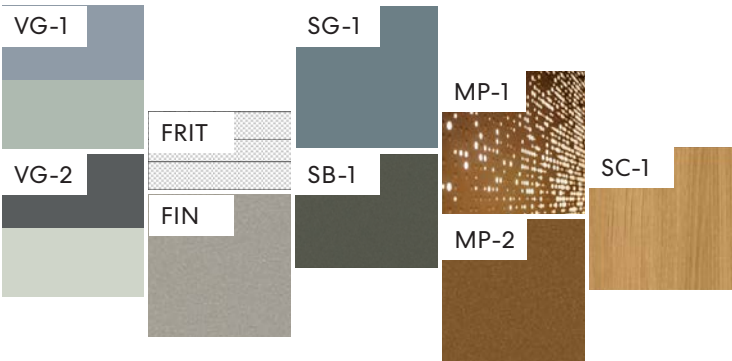
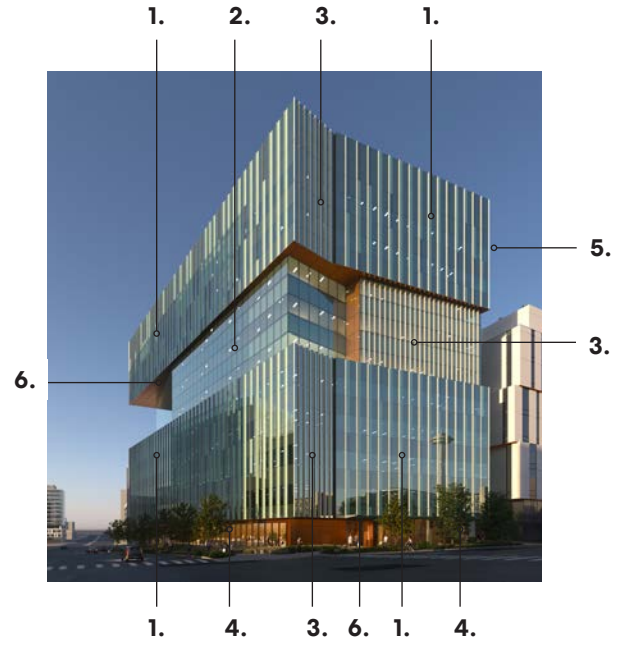


Mercer Street (North Elevation)



Details, Composition, and Assemblies

- 1. VG-1/SG-1, A/B mullion, SSG w/ 6" fin 5'-3" OC + frit
- 2. VG-2/SB-1, SSG w/ no fin + no frit
- 3. VG-2/SB-1, SSG w/ 8" fin 2'-7 1/2" OC + no frit
- 4. VG-2, SSG w/ no fin + no frit
- 5. VG-1/SG-1, SSG w/ 6" fin 5'-3" OC + no frit
- 6. MP-1 and MP-2
- 7. SC-1

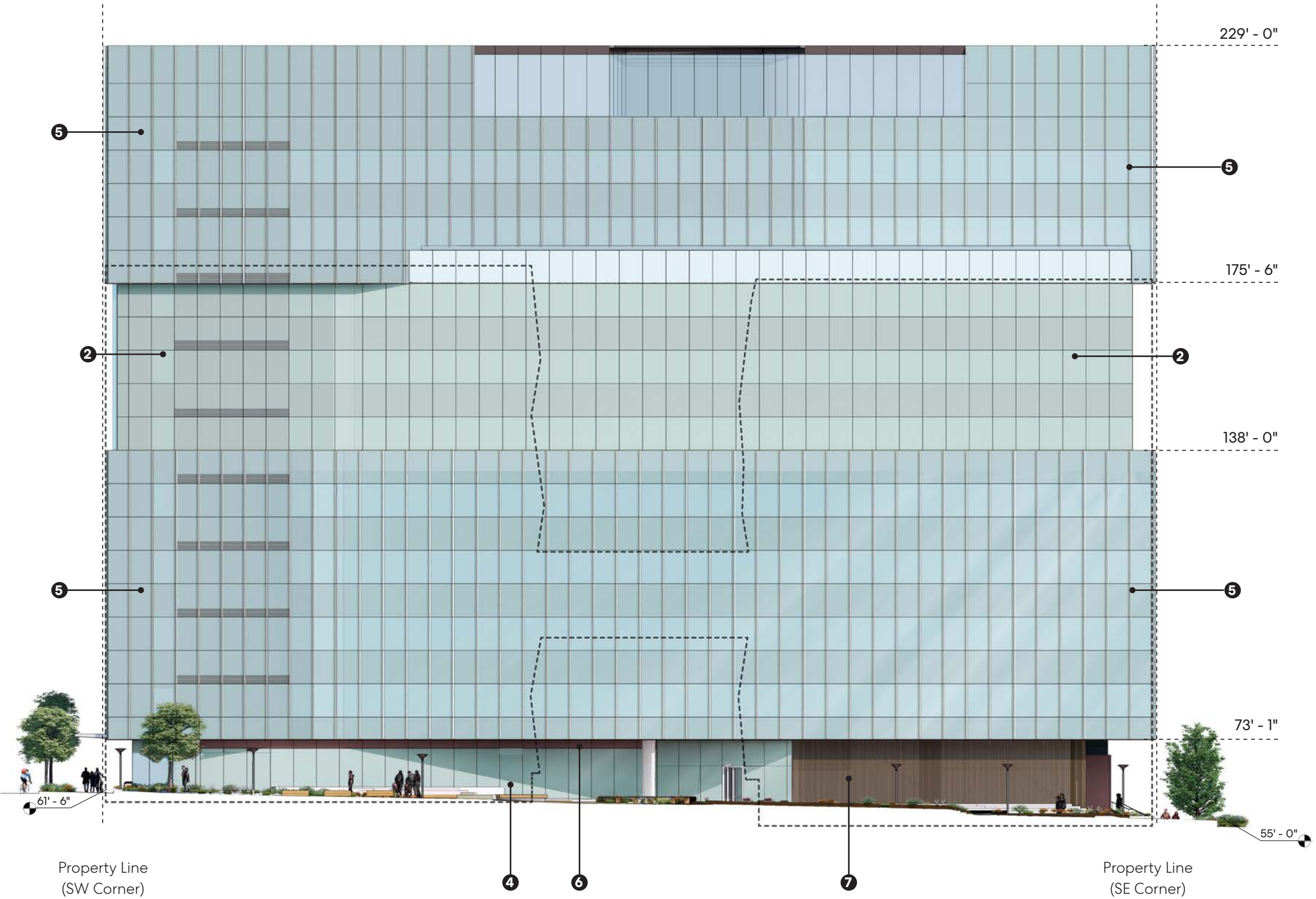
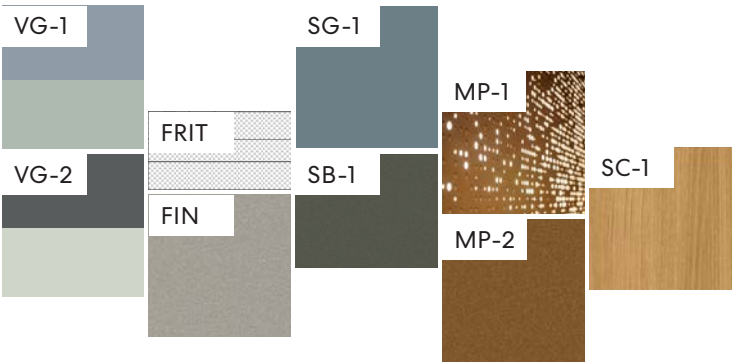
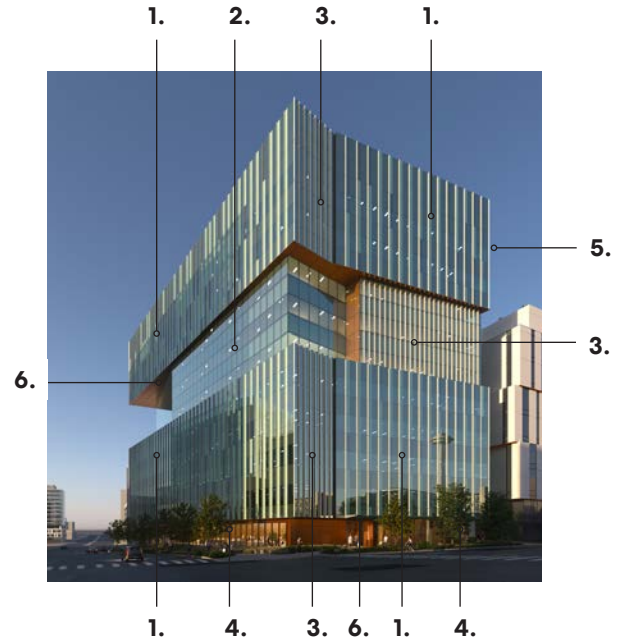


8th Ave N (East Elevation)



Details, Composition, and Assemblies

- 1. VG-1/SG-1, A/B mullion, SSG w/ 6" fin 5'-3" OC + frit
- 2. VG-2/SB-1, SSG w/ no fin + no frit
- 3. VG-2/SB-1, SSG w/ 8" fin 2'-7 1/2" OC + no frit
- 4. VG-2, SSG w/ no fin + no frit
- 5. VG-1/SG-1, SSG w/ 6" fin 5'-3" OC + no frit
- 6. MP-1 and MP-2
- 7. SC-1



Mid Block Pedestrian Connection (South Elevation)





View of Gateway corner from Mercer Street



REC 2





View of Gateway corner from Dexter Ave. S.

REC 2





REC 2

View of Northeast Entry from 8th Ave.





View of courtyard and entry from 8th Ave. N.

REC 2





View of courtyard and entry from 8th Ave. N.

REC 2





View of mid-block courtyard southern entry



REC 2





View of mid-block courtyard southern entry approach from Dexter Ave. N.



REC 2





View of mid-block courtyard from Dexter Ave. N.

REC 2





View looking north from Dexter Ave. N.

REC 2

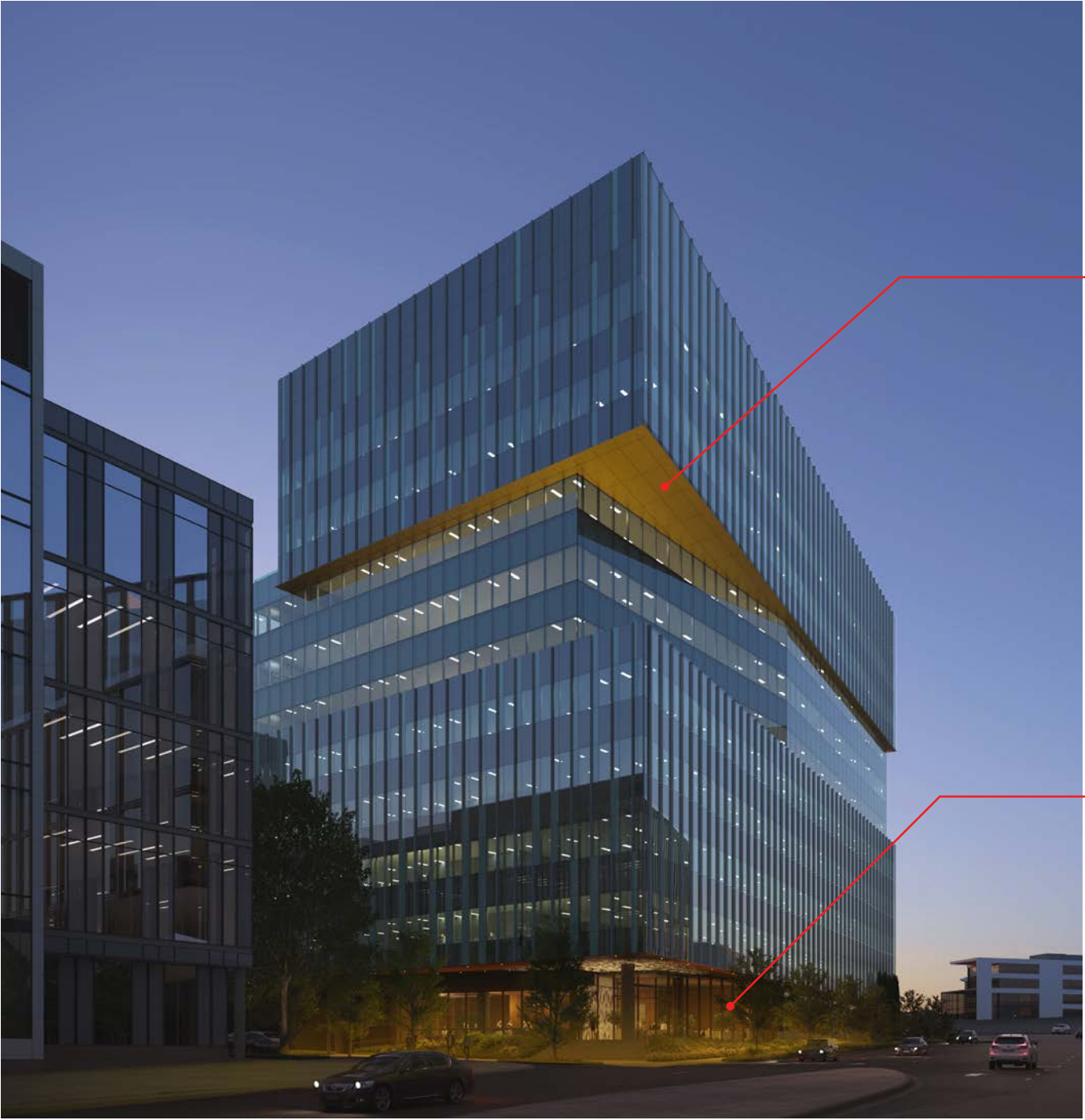


**REC1 Guidance / 3.b**  
The Board supported the overall lighting plan and approach with its ambient pedestrian lighting at the ground level and the backlighting effect proposed at the large building overhang soffits to reinforce the overall architectural massing concept at night. DC4-D

**REC2 Design Response:**  
The supported lighting design has been further developed to increase the scope of the backlit soffits at the ground floor, and to revise the technical means of lighting the upper level soffits to better illuminate them at the urban scale.



REC 1



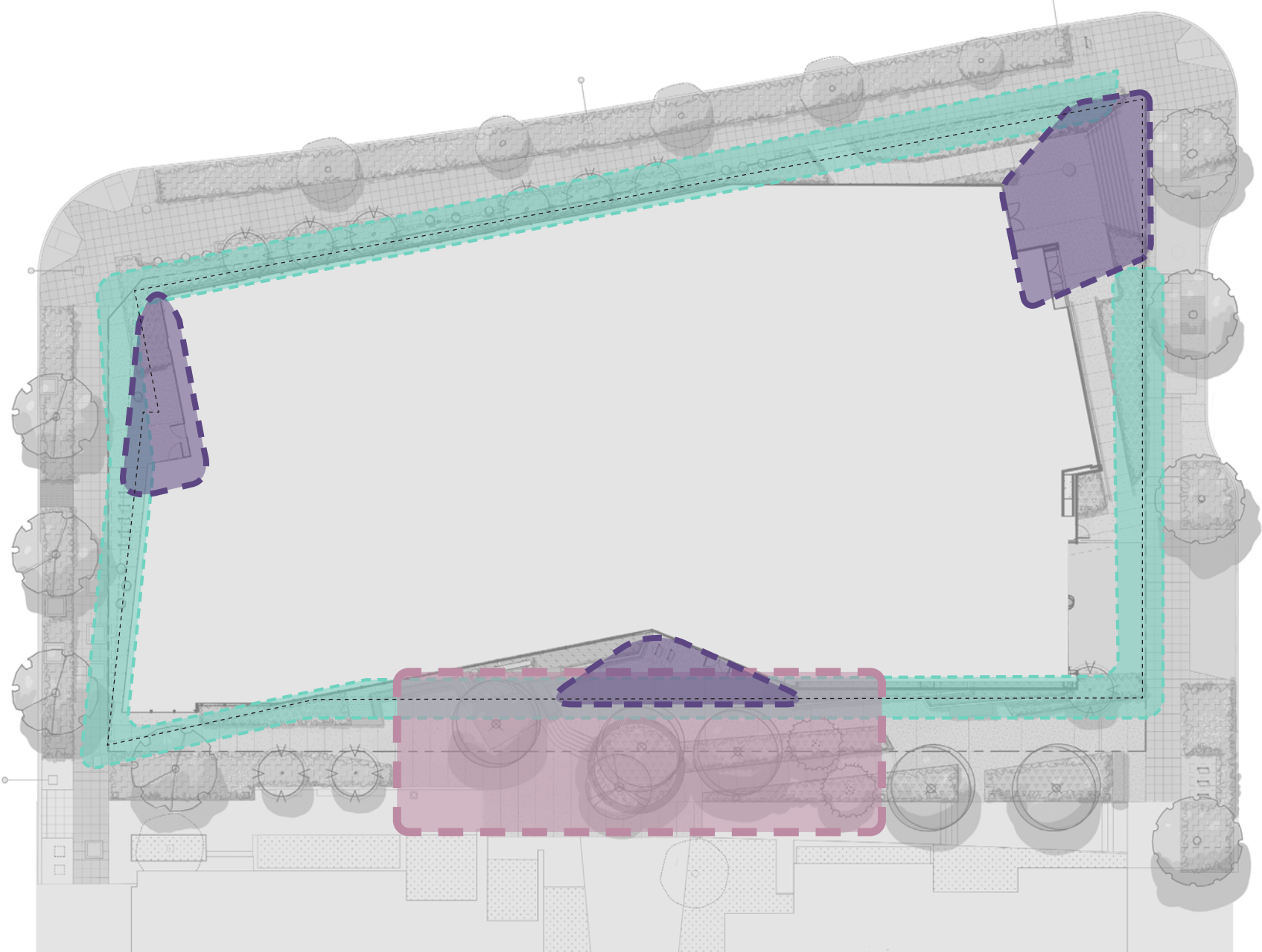
**Long Distance Views**  
Uplighting of the upper soffit will highlight the box of the upper architectural massing and add to overlapping planes of the building character at night.

**Pedestrian Views**  
Backlit perforated metal panels will bring a nighttime focal point to the building entrance and prominent ground level corner while providing ambient lighting at the pedestrian scale. This will create a welcoming approach to the building and anchor this corner at night as a key component of the pedestrian realm along Mercer St + 8th Ave

REC 2



SITE LIGHTING CONCEPT

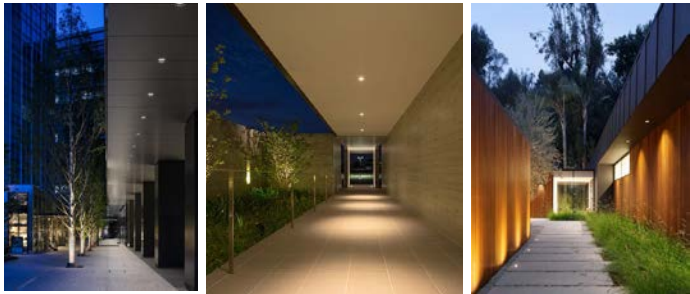


- SITE LIGHTING CONCEPT DIAGRAM KEY:**
- FEATURE BACKLIT CEILING  
PRIMARY LIGHTING FEATURE SHOWCASING  
BUILDING ENTRIES
  - PERIMETER DOWNLIGHTING  
SECONDARY LIGHTING FEATURE TO LIGHT  
LANDSCAPING AT PERIPHERY OF SITE
  - LANDSCAPE LIGHTING  
TREE UPLIGHTING AND UNDERBENCH  
LIGHTING TO PROVIDE SOFT GLOW AT  
LANDSCAPE FEATURES

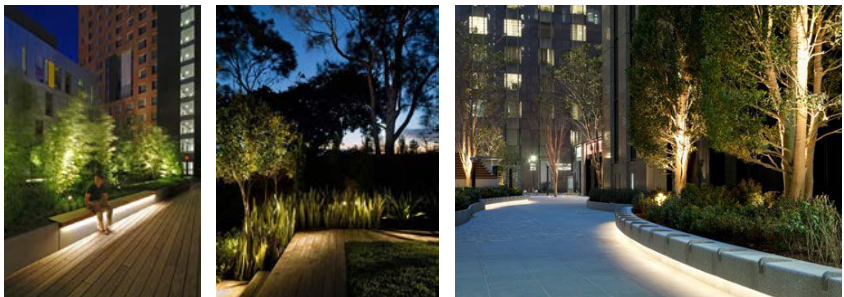
REFERENCE IMAGES



feature backlit ceiling



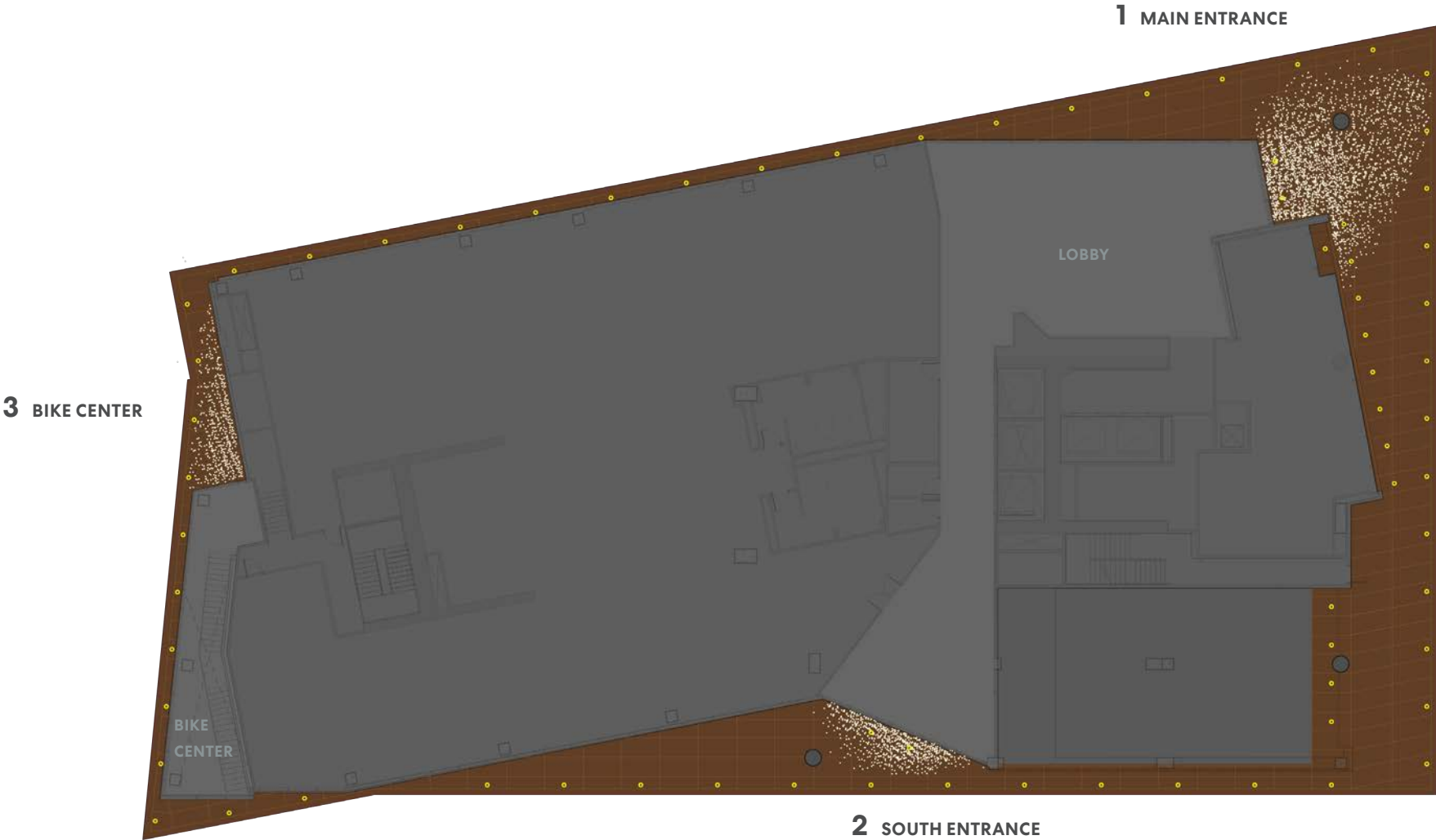
perimeter downlighting



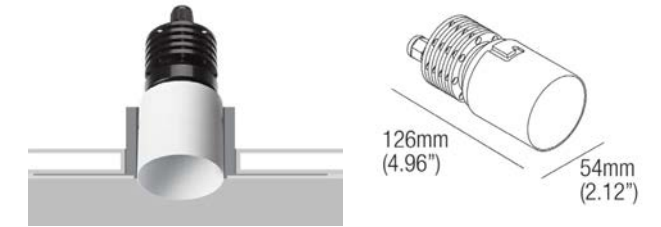
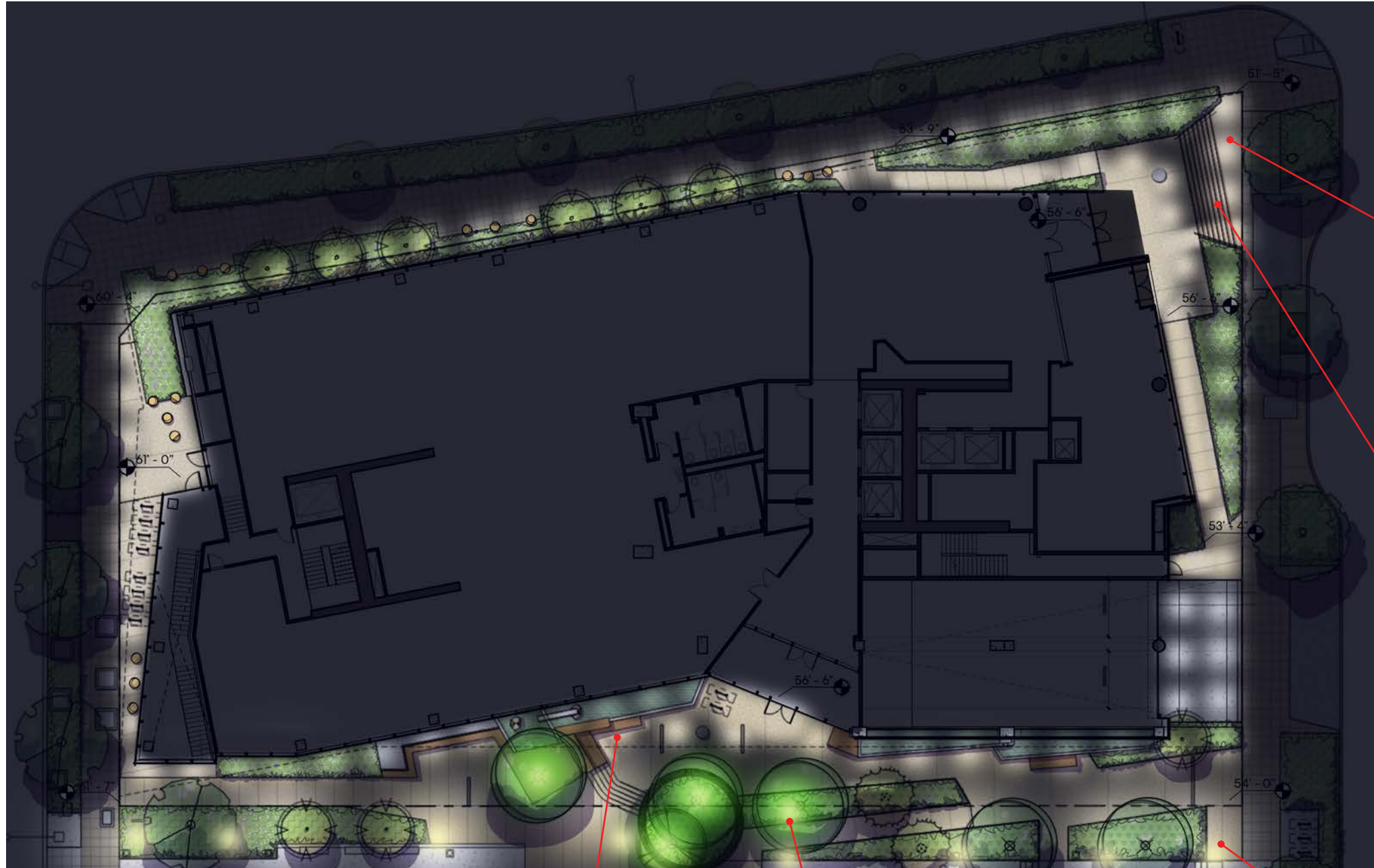
landscape lighting



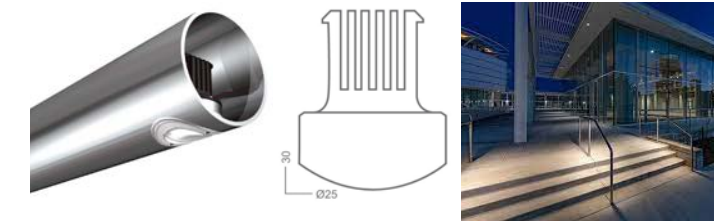
FEATURE BACKLIT CEILING



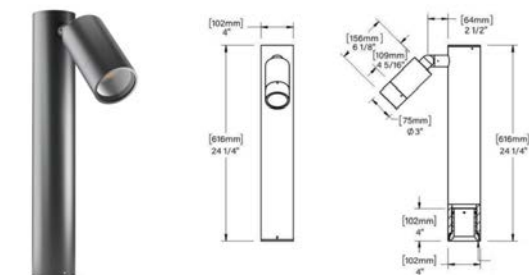




Dimmable LED small aperture recessed downlights around perimeter soffit to light landscaping and building entrances

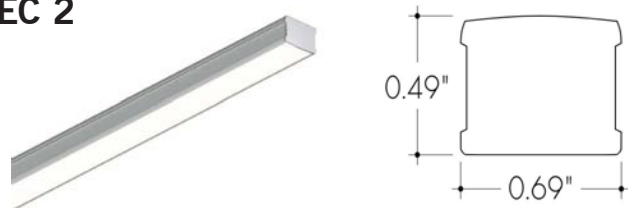


Low level lighting at stairs to provide adequate light for safety while remarkating entrances to key areas of the site

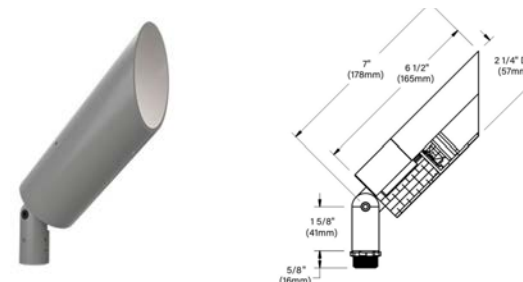


Dimmable LED shielded pole-mounted double headed flood lights for egress lighting as needed

**REC 2**



LED striplights mounted to underside of benches to create soft glows at seating areas



Soft illumination of trees and planting via shielded landscape accent lights

















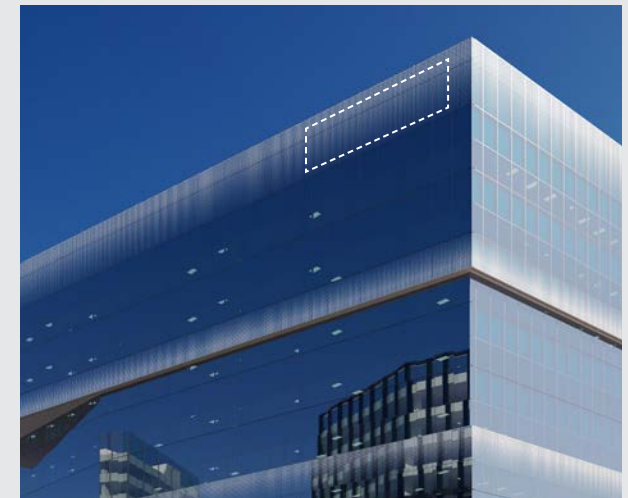






REC1 Guidance / 3.c

The Board was concerned that the large tenant identity signs proposed at the top of the building did not compliment the overall architecture and if placed on the building renderings, would dilute the strength and clarity of the proposed frit design. The Board directed the applicant to consider more appropriate signage locations that better integrate with the building design and façade articulation. DC4-B



REC 1

REC2 Design Response:

The proposed frit design has been revised in response to Board guidance, Textured and patterned facade of REC2 design allows tenant signage to blend with overall architectural expression.



REC 2

Building signage is appropriately scaled to fit within Seattle sign regulations. The area for each signage will be no more than 274 sf for east elevation, 206 sf for west elevation, and 300 sf for north elevation. The building will have no more than 600 sf of signage per elevation. This approach is based on the building having multiple business centers.







REC 2

- Legend**
- 1. Building Name / Address
  - 2. Building Access / Parking
  - 3. Retail Signage (Subject to Tenant Requirements)
  - 4. Tenant Identity (Subject to Tenant Requirements)

**REC2 Design Response:**  
The revised signage design responds thoughtfully to the building's surrounding context and gateway location on the pedestrian scale.





1 Building Name / Address



2 Building Access / Parking



3 Retail Signage  
(Subject to Tenant Requirements)



4 Tenant Identity  
(Subject to Tenant Requirements)





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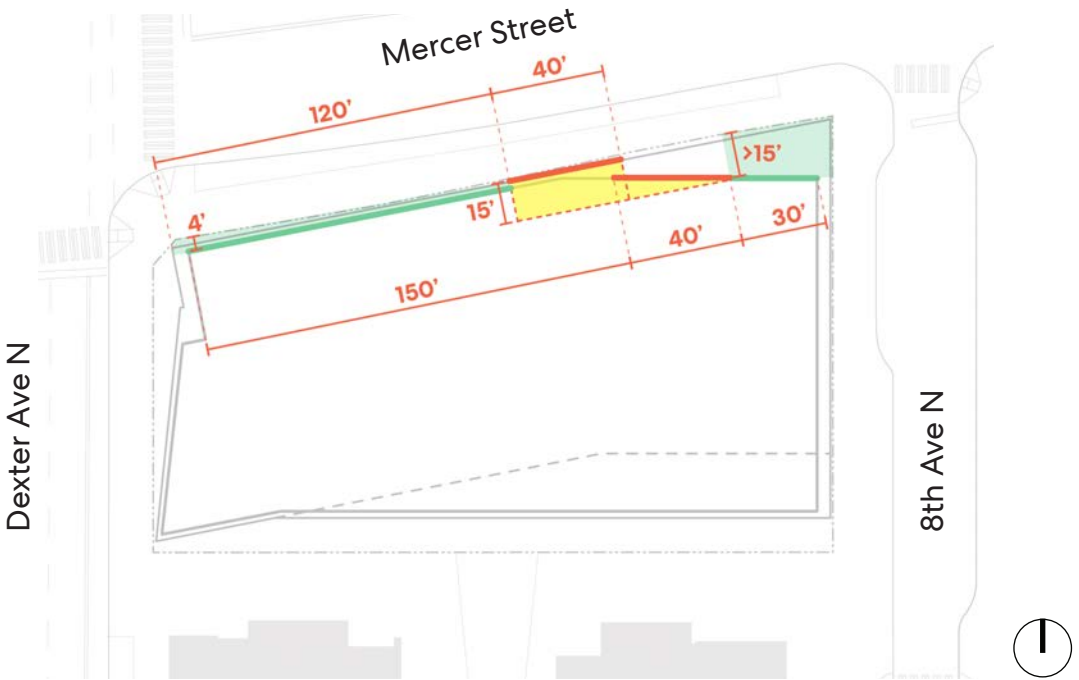
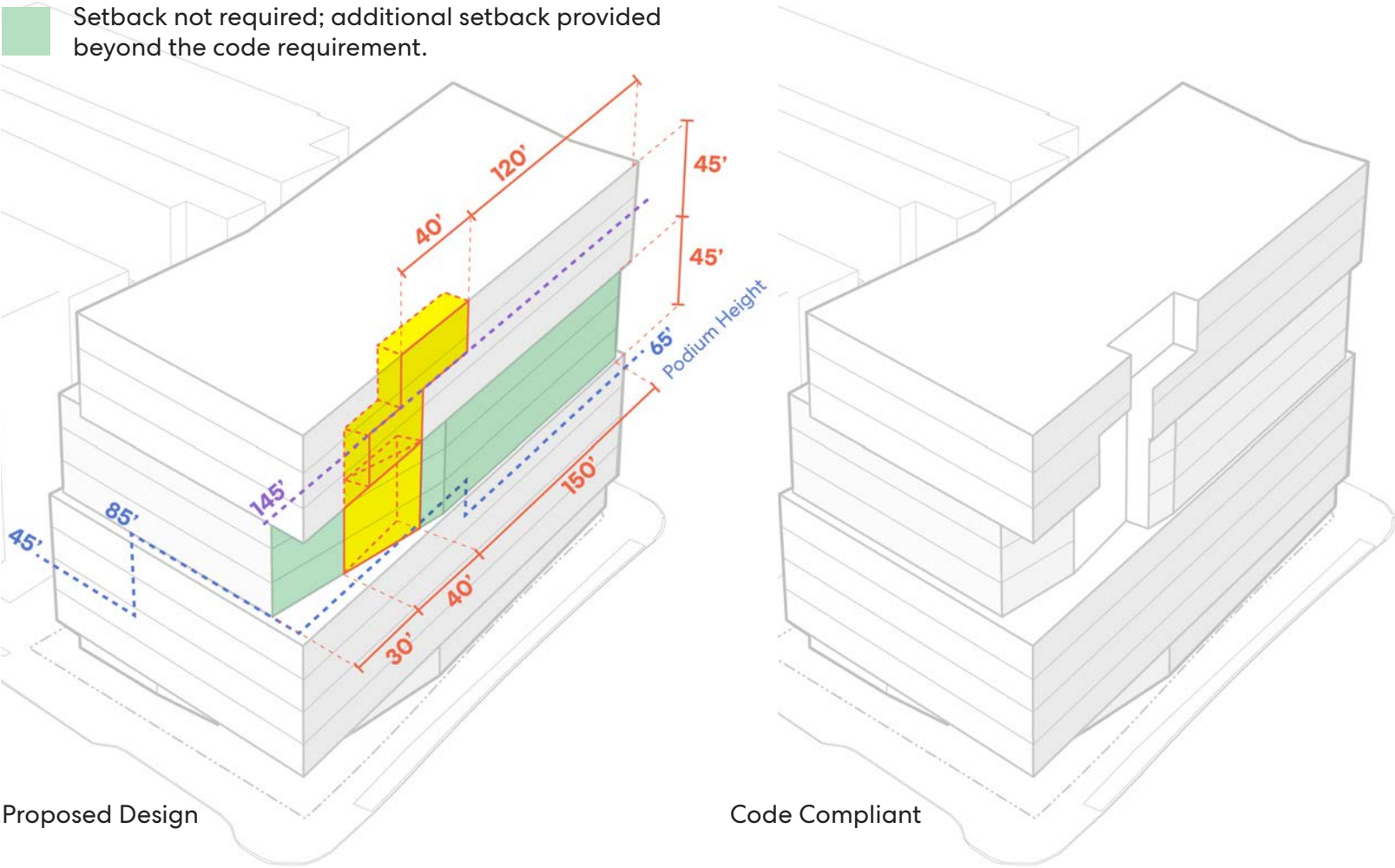
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# **04.** **DEPARTURES**



- Setback required; requesting departure.
- Setback not required; additional setback provided beyond the code requirement.



Façade Modulation (Supported at EDG)

Code:

SMC 23.48.245.D  
For all structures with non-residential uses exceeding 85 feet in height, facade modulation is required for the street-facing portions of a structure located within 15 feet of a street lot line and exceeding the podium height. Maximum length of unmodulated facade for stories up to 145 feet is 150 feet. Maximum length of unmodulated facade for above 145 feet is 120 feet. If a portion of a facade that is within 15 feet of the street lot line is the maximum length permitted for an unmodulated facade, the length of the facade may be increased only if additional portions of the facade are set back a minimum of 15 feet from the street lot line for a minimum distance of 40 feet.

Proposed:

Request to provide two portions of the north façade along Mercer Street that are 40' long beyond the maximum length of 150 feet for below 145 feet, and one portion that is 40 feet long beyond the maximum length of 120 feet for above 145 feet. The east portion of Levels 6-8 to be more than 15' away from property line. The west portion of Levels 6-8 to be 2' 6" to 4' 2" away from property line. Volumetrically, the amount of additional setback provided beyond the code requirement is more than the departure amount.

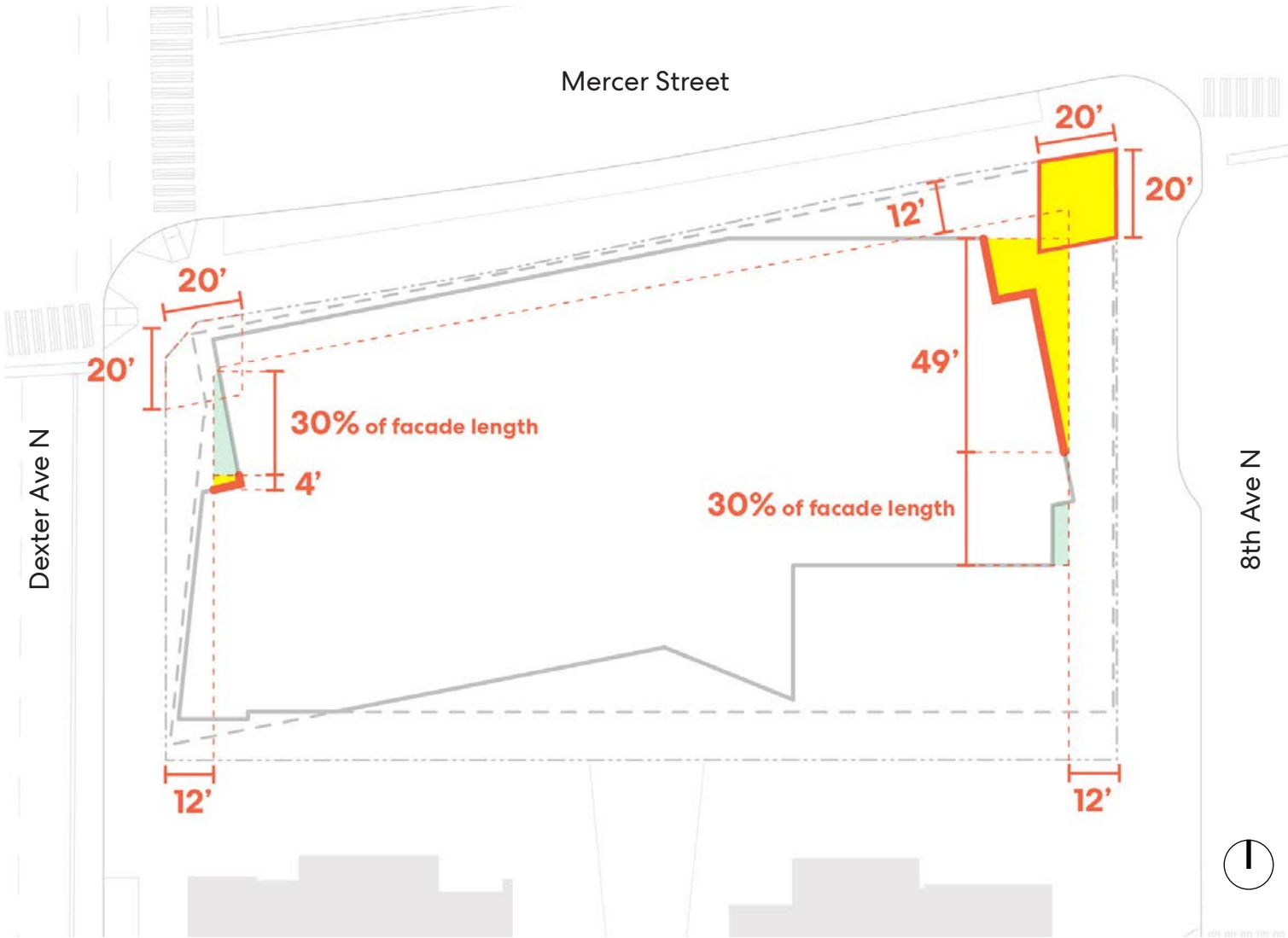
Rationale:

The horizontal modulation of the “slipped hinge” relies on the interplay between Mercer alignment and the city grid to break down the scale and modulate the building horizontally as a specific contextual response. The framing of the hinged volume in the center of the stack is dependent on the strong articulation of the upper and lower volumes. These design elements achieve the intent of the code to avoid an overly long and undifferentiated façade by breaking the massing into horizontal elements relating to neighboring contextual datums and modulating these elements in a manner that is both stronger and more contextual than the zoning standard verbatim.

Applicable Design Guidelines:

- CS2. Urban Pattern and Form
- CS3. Architectural Context and Character
- PL1. Connectivity
- DC2. Architectural Concept
- DC3. Open space Concept





Street-Level Setbacks (Supported at EDG)

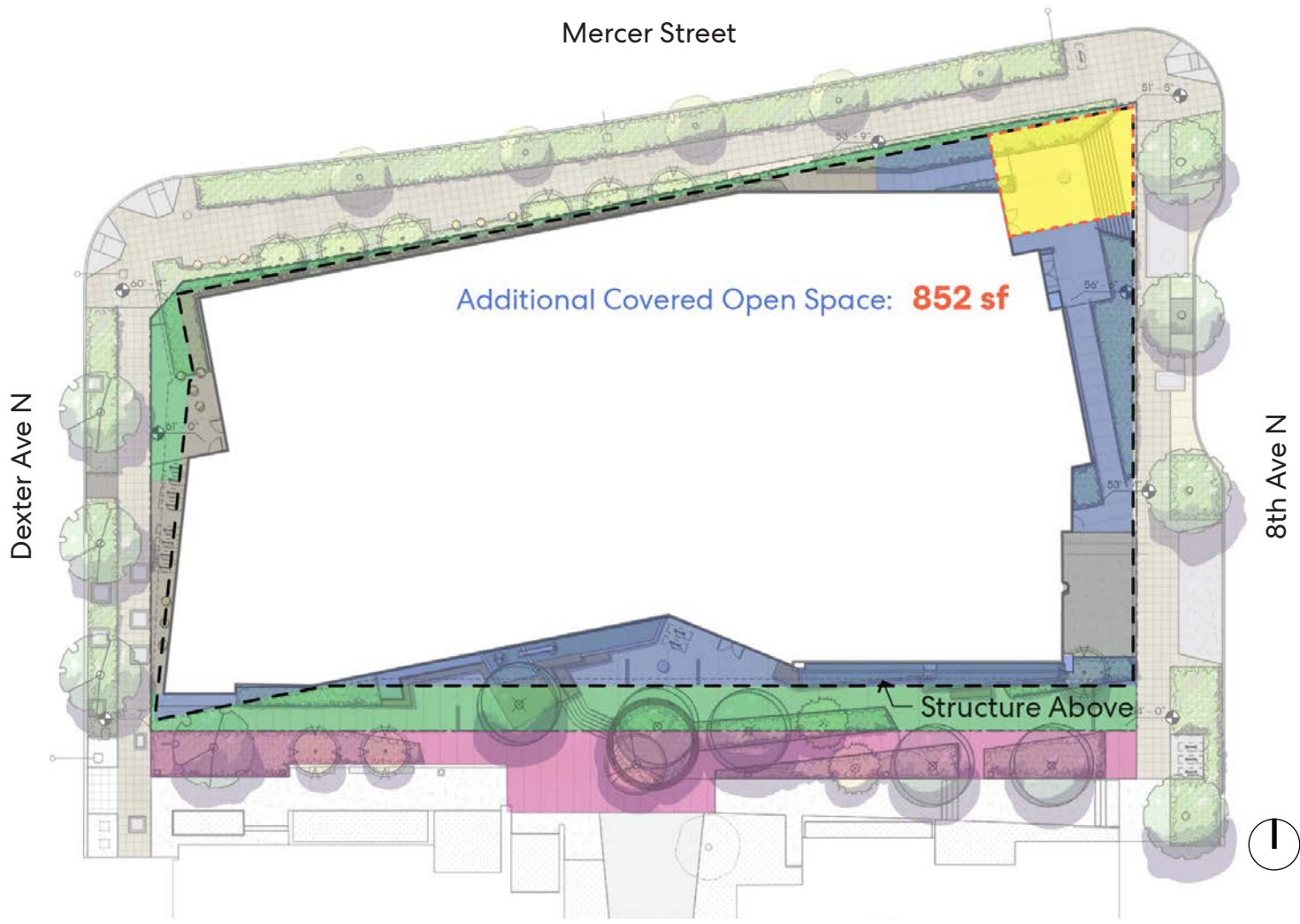
**Code:**  
SMC 23.48.240.B.1.b  
The street-facing facade of a structure may be set back up to 12 feet from the street lot line. Additional setbacks are permitted for up to 30 percent of the length of portions of the street-facing facade that are set back from the street lot line, provided that the additional setback is located 20 feet or more from any street corner.

**Proposed:**  
Request to locate the northeast corner of the street-facing facade further than 20 feet from street corner. Request to have 49' of east facade and 4' of west facade beyond the allowed 30% to be further than 12' from street lot line.

**Rationale:**  
The proposed design provides additional open space at the corner of 8th Ave N and Mercer Street, and the bike entry at the west facade. It emphasizes the ground floor and the experience of the pedestrian. The eastern entry and retail amenity engage the public realm and provide a buffer from the busy vehicular frontage on Mercer Street.

**Applicable Design Guidelines:**  
PL1. Connectivity  
PL3. Street-Level Interaction  
DC3. Open Space Concept





Open Space - Covered Overhead (Supported at REC 1)

Code:

SMC 23.48.240.G.d  
Up to a maximum of 20 percent of the required usable open space may be covered overhead to provide weather protected space and a widened sidewalk area.

Proposed:

The code limits coverage of 20 percent of the required open space, therefore 3,620 sf of the required open space must be uncovered. The project provides 2,768 sf of uncovered open space. Request to provide 852 sf of additional covered open space. This project also provides 2,912 sf of uncovered open space improvement off-site.

Rationale:

The proposed design provides a total of 6,775 sf of usable open space (2,250 sf more than the required 4,525 sf) within the site. This open space thoughtfully connects the sidewalks to the site and the East-West through-block connection. The slipping of upper level massing and street-level façade setbacks allow for additional landscape and visual interest, creating additional overhead coverage from the structure above. In areas of high pedestrian volumes, this overhead coverage creates beneficial weather protection, following the EDG recommendation for more overhead weather protection. The additional 2,912 sf of off-site uncovered open space improvement completes the pedestrian connection across the block and balance out the additional overhead weather protection.

Applicable Design Guidelines:

- PL1. Connectivity
- PL2-1. Weather Protection
- PL2-2. Walkways and Pedestrian Interest
- PL3. Street-Level Interaction
- DC3. Open Space Concept

Site Area: 30,166 sf

Code Compliant

Required Open Space (15%):	4,525 sf
Open Space Covered with Overhead (Max 20%):	905 sf
Required Uncovered Open Space (Min 80%):	<b>3,620 sf</b>

Proposed Design

Total Open Space Provided Within Site (22%):		6,775 sf
Open Space Covered with Overhead:		4,007 sf
Uncovered Open Space Provided:		<b>2,768 sf</b>
Additional Covered Open Space:		<b>852 sf</b>
Off-Site Open Space Improvement:		2,912 sf
Area excluded from Open Space Calculation		





West Facade: Bike Entry



South Facade: Building Entry

Open Space - Vertical Clearance (Supported at REC 1)

Code:

SMC 23.48.240.G.d.2

If the space is covered by portions of the structure above, or is provided as an arcade open to the street, the minimum vertical clearance is 20 feet.

Proposed:

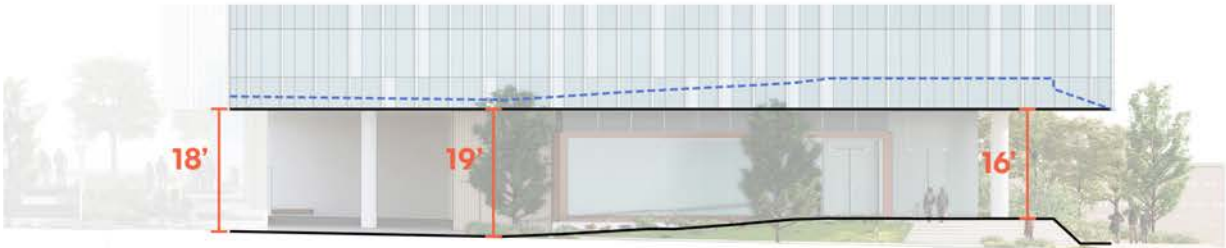
Request to provide a range of 11 feet to 20 feet vertical clearance to open space covered by structure above.

Rationale:

The consistent soffit height above open space interplays with the undulating landscape conditions of the site below. This consistency helps to create a pedestrian scale that modulates and reinforces the articulation of the upper volumes, creating a more contextually driven vertical clearance than the required 20 feet.

Applicable Design Guidelines:

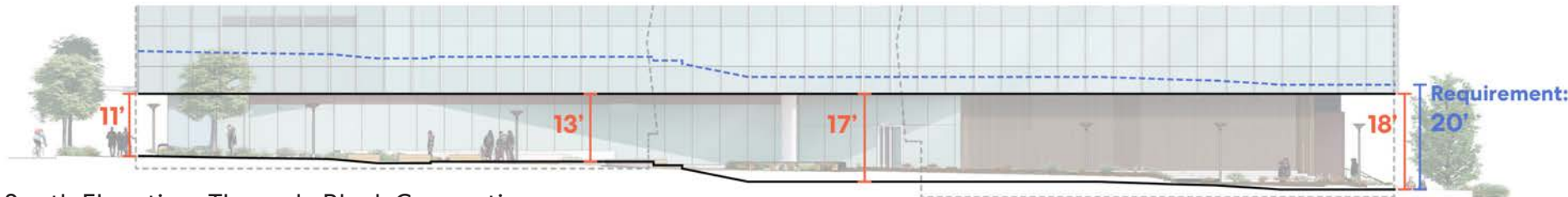
- PL1. Connectivity
- PL2. Weather Protection
- PL2-1-a. Reinforce Pedestrian Scale
- PL3. Street-Level Interaction
- DC3. Open Space Concept



East Elevation: 8th Avenue N.



North Elevation: Mercer Street



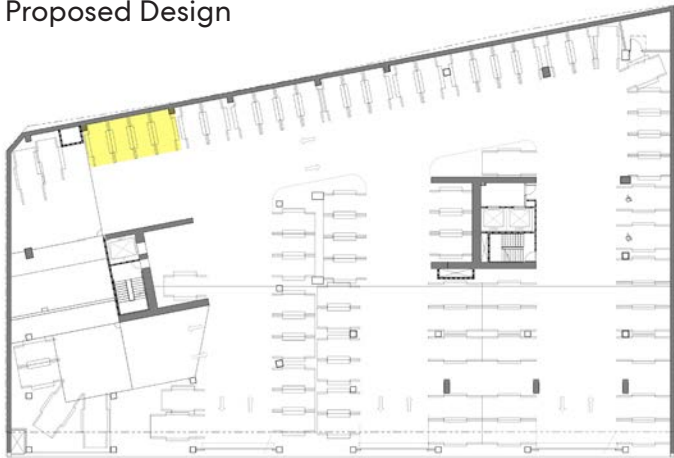
South Elevation: Through-Block Connection



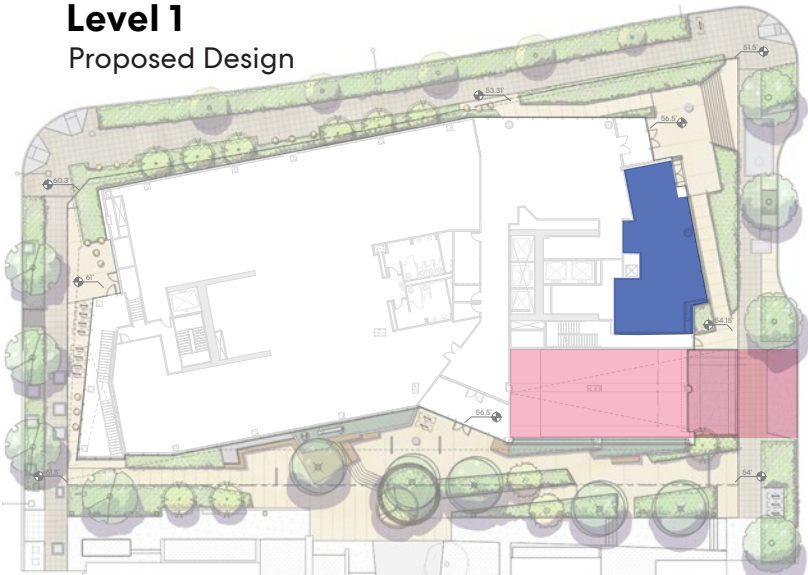
East Facade: Retail



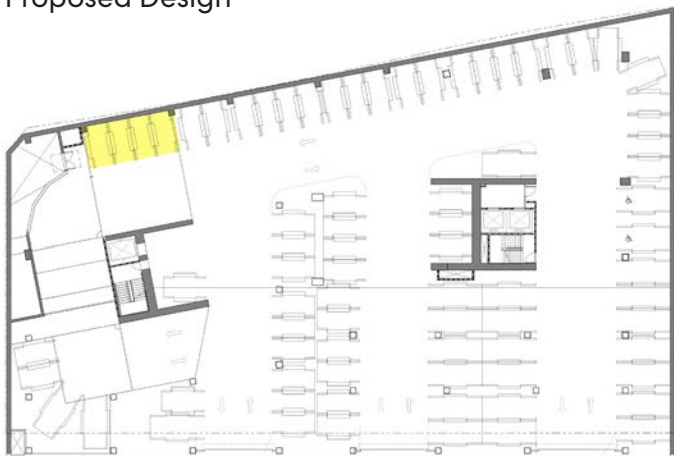
Level P2  
Proposed Design



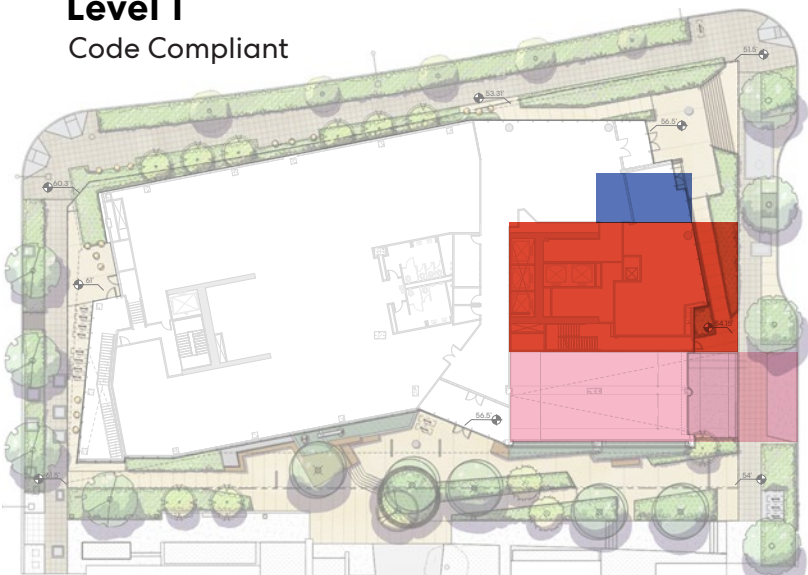
Level 1  
Proposed Design



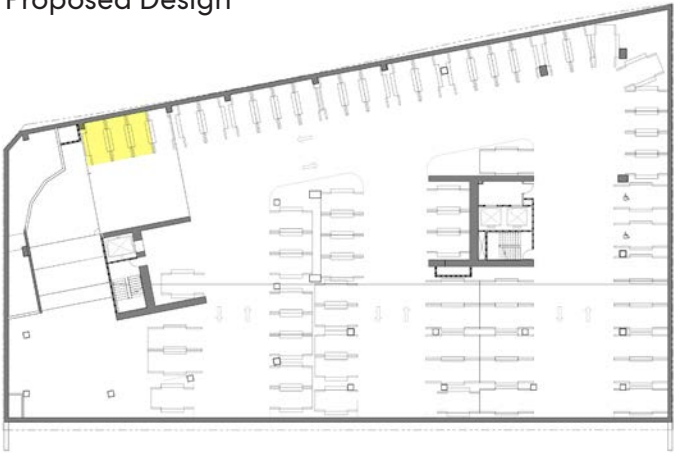
Level P3  
Proposed Design



Level 1  
Code Compliant



Level P4  
Proposed Design



- Stalls provided as small in lieu of large due to aisle width constraint
- Parking area needed on Level 1 to provide additional large stalls to meet 35% requirement
- Street-Level Use Retail Space
- Garage Entry Ramp

Parking Space (Supported at REC 1)

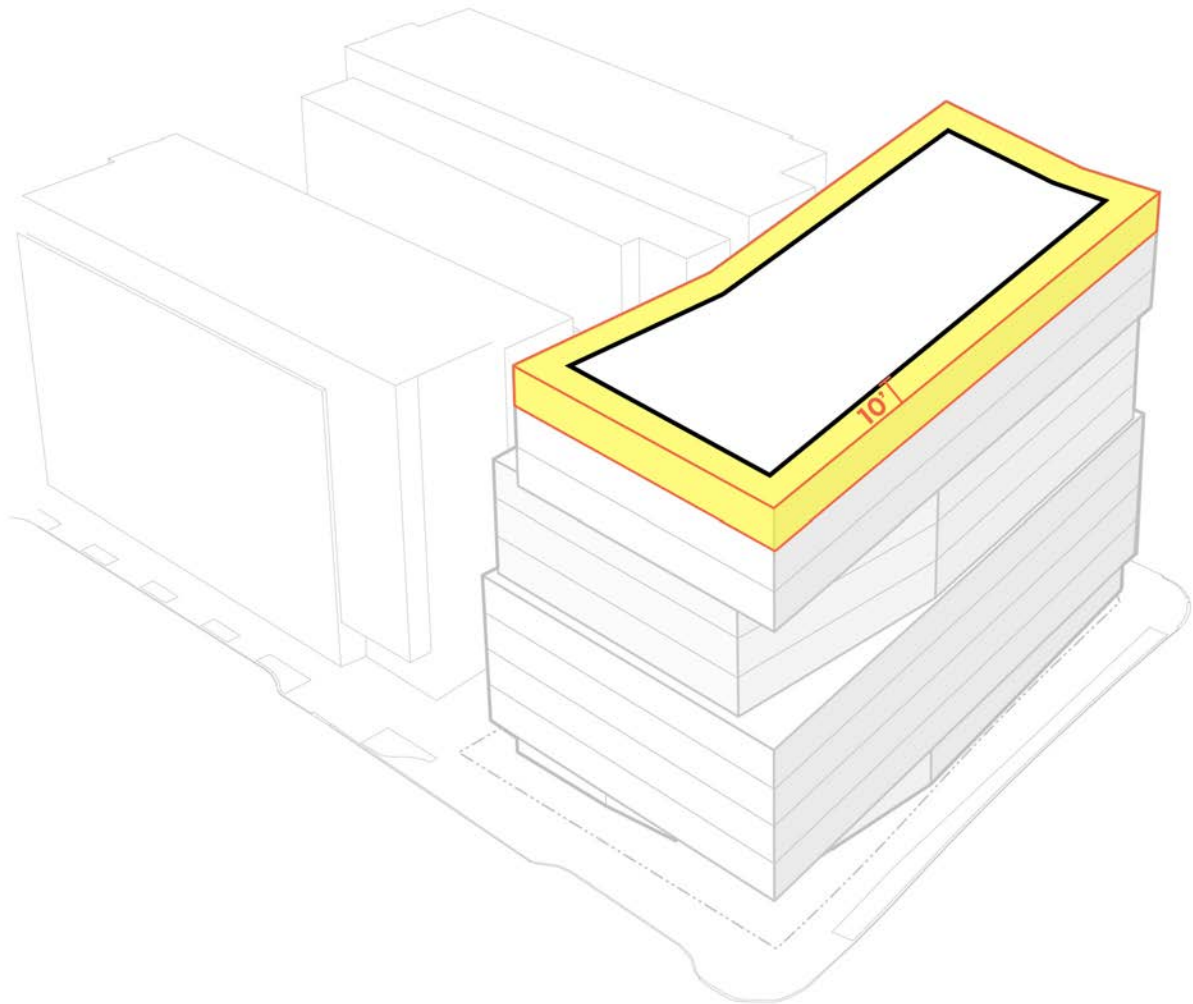
**Code:**  
SMC 23.54.030.B.2.c  
When 20 or more parking spaces are provided, a minimum of 35 percent of the parking spaces shall be striped for small vehicles.  
A maximum of 65 percent of the parking spaces may be striped for small vehicles.  
A minimum of 35 percent of the spaces shall be striped for large vehicles.

**Proposed:**  
Request to provide a minimum of 25 percent of parking spaces for large vehicles, and a maximum of 75 percent for small vehicles.

**Rationale:**  
The proposed design creates a pedestrian friendly street-level experience by consolidating all parking in a below-grade garage. If the project were to provide additional large stalls near curb cut at street level to meet the required 35 percent, a large portion of the street-level area facing the 8th Ave N Green Street would be dedicated for parking, and would negatively impact pedestrian experience at the Green Street and at the street-level use retail space.

**Applicable Design Guidelines:**  
PL1. Enhancing Open Space  
PL3. Street-Level interaction  
PL3-1. Entries  
PL4. Active Transportation  
DC3. Open Space Concept





**Rooftop Features (Supported at REC 1)**

**Code:**

SMC 23.48.025.C.7

At the applicant's option, the combined total coverage of all features listed in subsections 23.48.025.C.4 and 23.48.025.C.5 may be increased to 65 percent of the roof area, provided that all of the following are satisfied:

- a. All mechanical equipment is screened or enclosed; and
- b. No rooftop features are located closer than 10 feet to the roof edge.

**Proposed:**

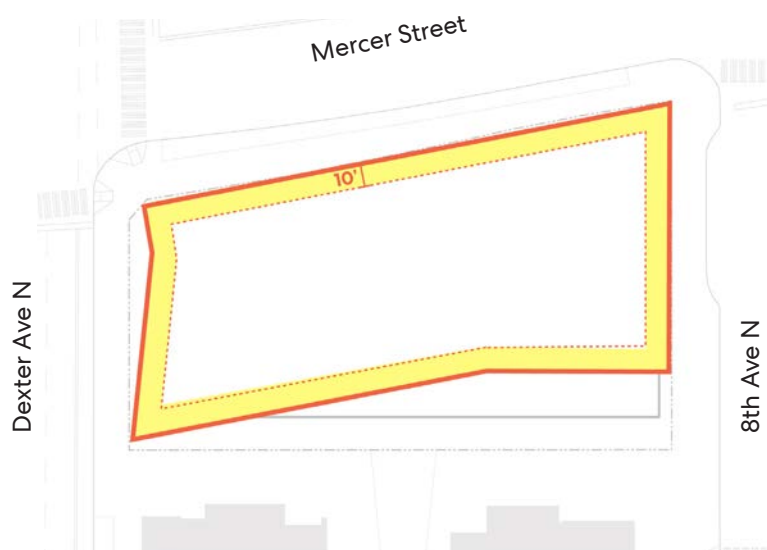
Request to provide up to 100% rooftop feature coverage and locate rooftop features closer than 10 feet to the roof edge. All mechanical equipment is screened.

**Rationale:**

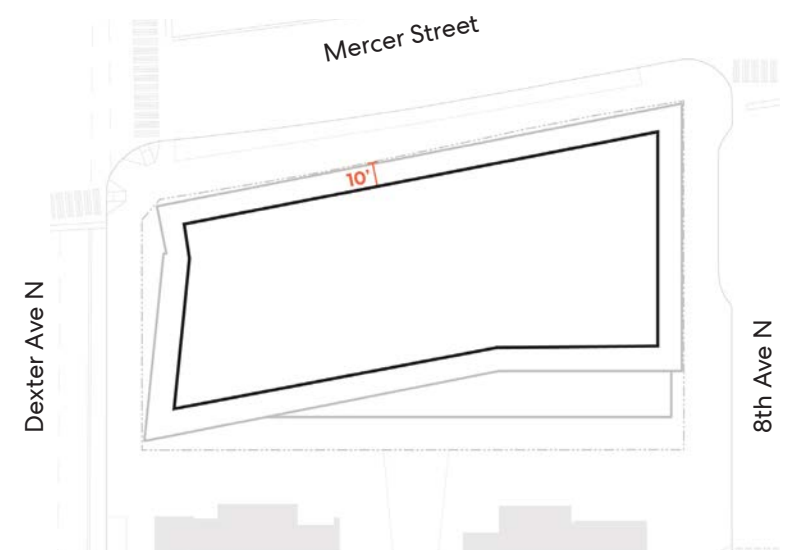
The proposed design integrates the mechanical penthouse, stair and elevator penthouse, and covered common amenity area into the overall building massing, to provide consistency with the adjacent UW School of Medicine buildings in the same block. This response provides a more sculptural clarity to the concept and is more consistent with context.

**Applicable Design Guidelines:**

- CS3. Architectural Context and Character
- DC2. Architectural Concept



Proposed Design



Code Compliant







Transparency and Blank Facade (Supported at REC 1)

Code:

SMC 23.48.040.B.2.a.1  
Blank facades are limited to segments 15 feet wide. Blank facade width may be increased to 30 feet if the Director determines as a Type I decision that the facade is enhanced by architectural detailing, artwork, landscaping, or other similar features that have visual interest.

Proposed:

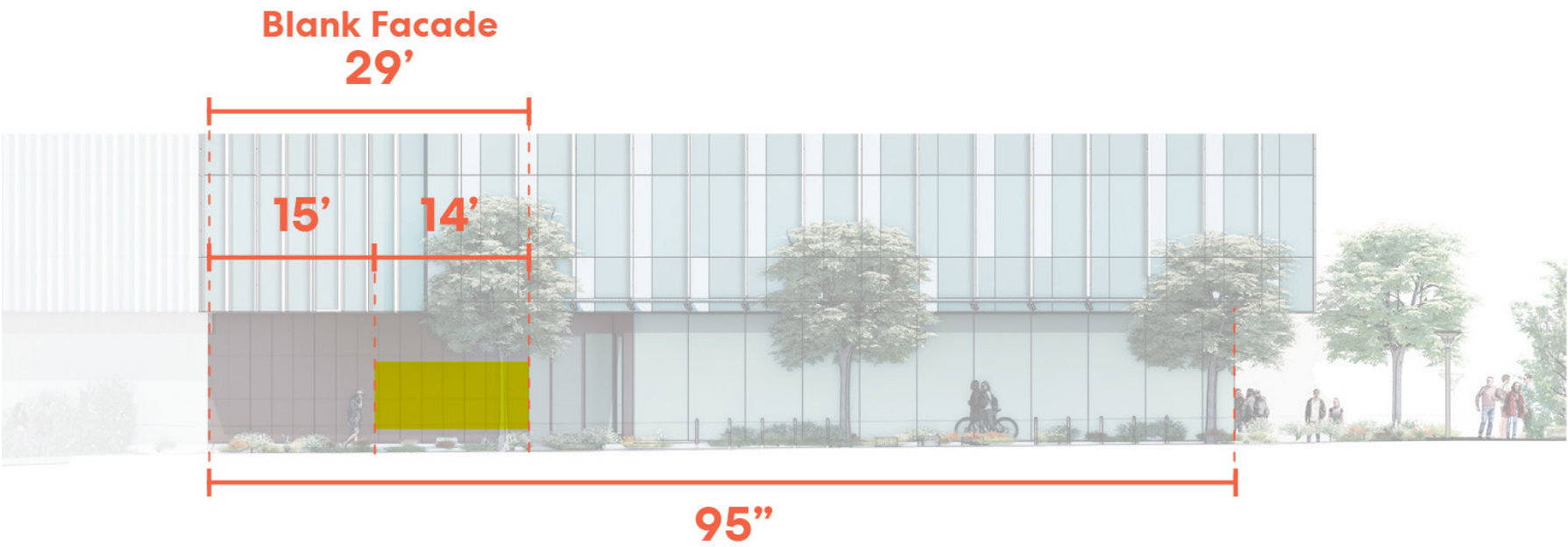
Request to provide a segment of 30' 0" of blank facade along Dexter Ave N (Class II Pedestrian Street).

Rationale:

With the additional setback and covered open space at the NW corner, this blank facade identifies and differentiates the bike entry. The facade is enhanced with visual interest by a collection of coordinated elements of textured wall, door, and soffit. It is scaled and detailed to provide a more intimate type of entry.

Applicable Design Guidelines:

- PL3. Street-Level Interaction
- PL3-A-4. Ensemble of Elements
- PL3-1. Entries
- CS3. Architectural Context and Character
- DC2. Architectural Concept



West Elevation - Dexter Ave N (Class II Pedestrian Street)



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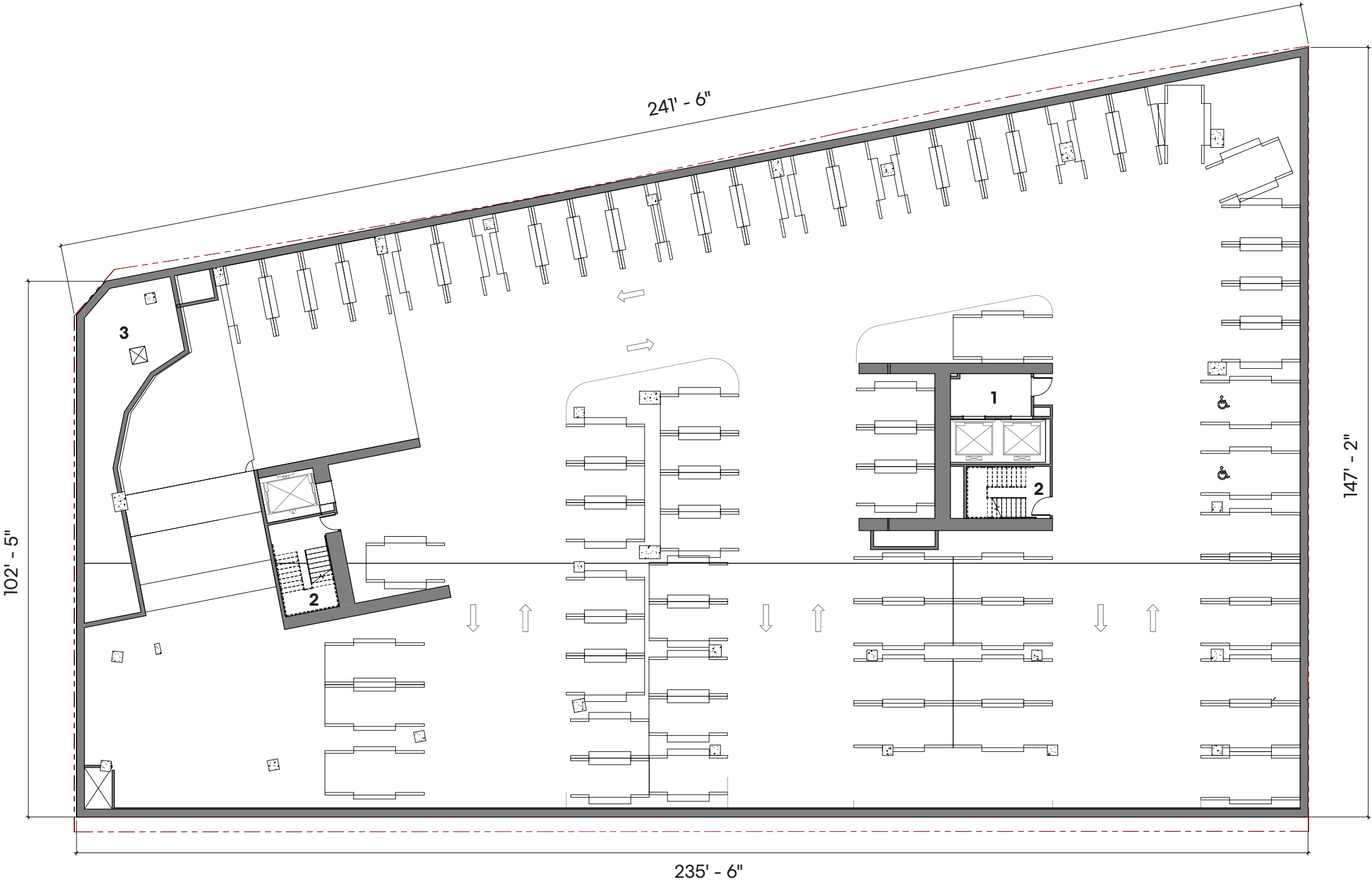


# **05.** **PLANS & SECTIONS**



Level P4 Plan

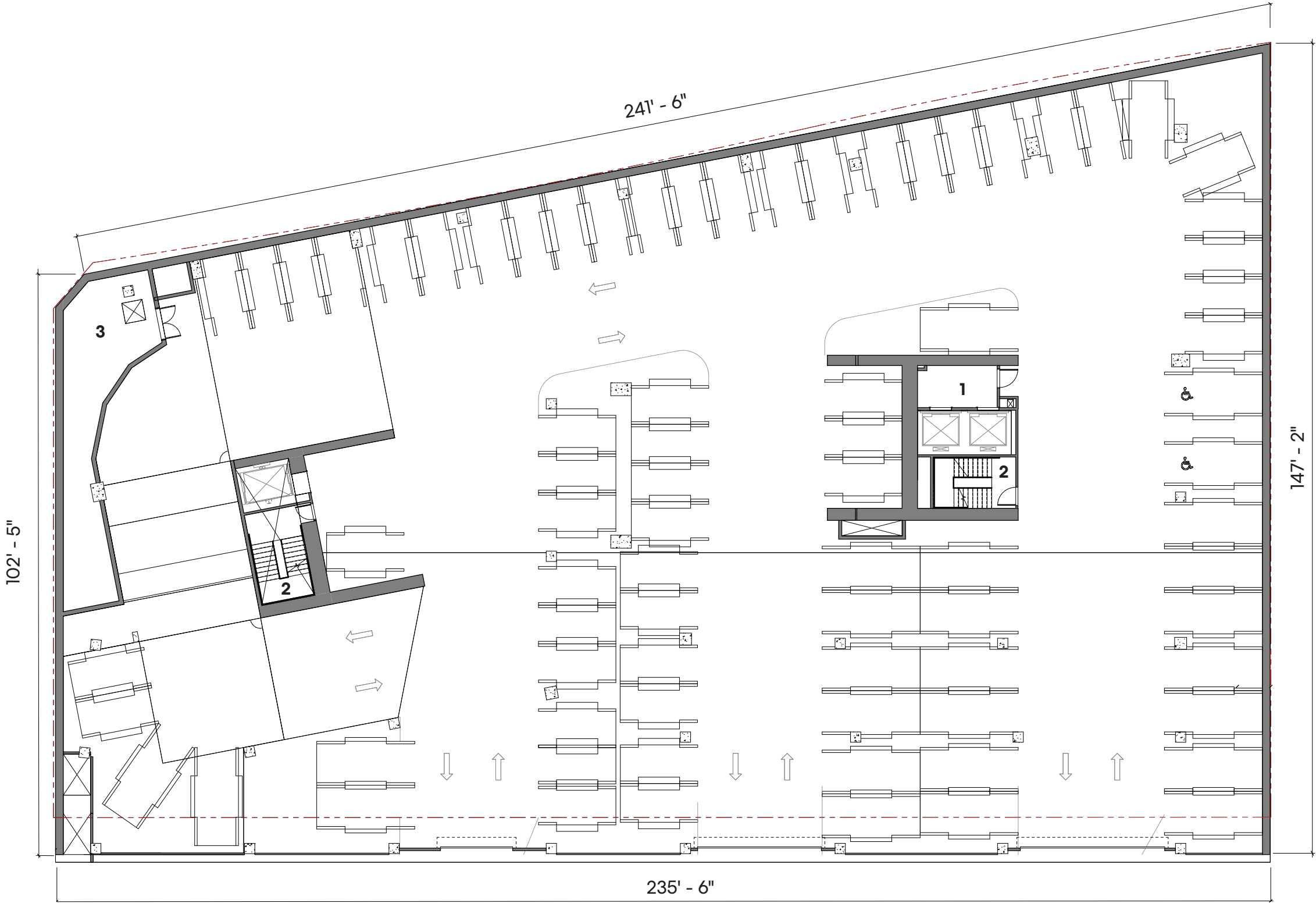
- 1. Elevator Lobby
- 2. Stair Core
- 3. Water Tank





Level P3 Plan

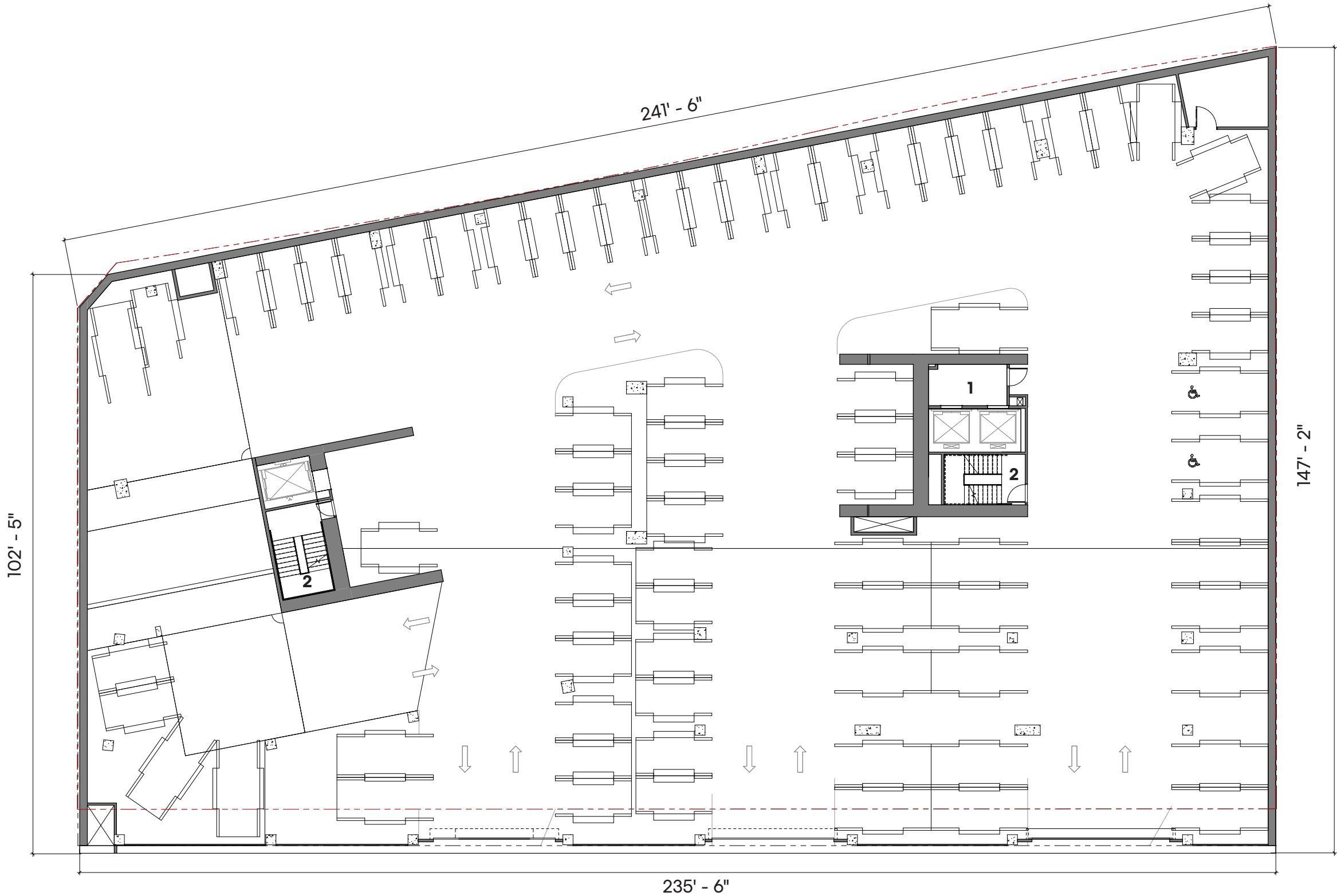
- 1. Elevator Lobby
- 2. Stair Core
- 3. Fire Pump Room





Level P2 Plan

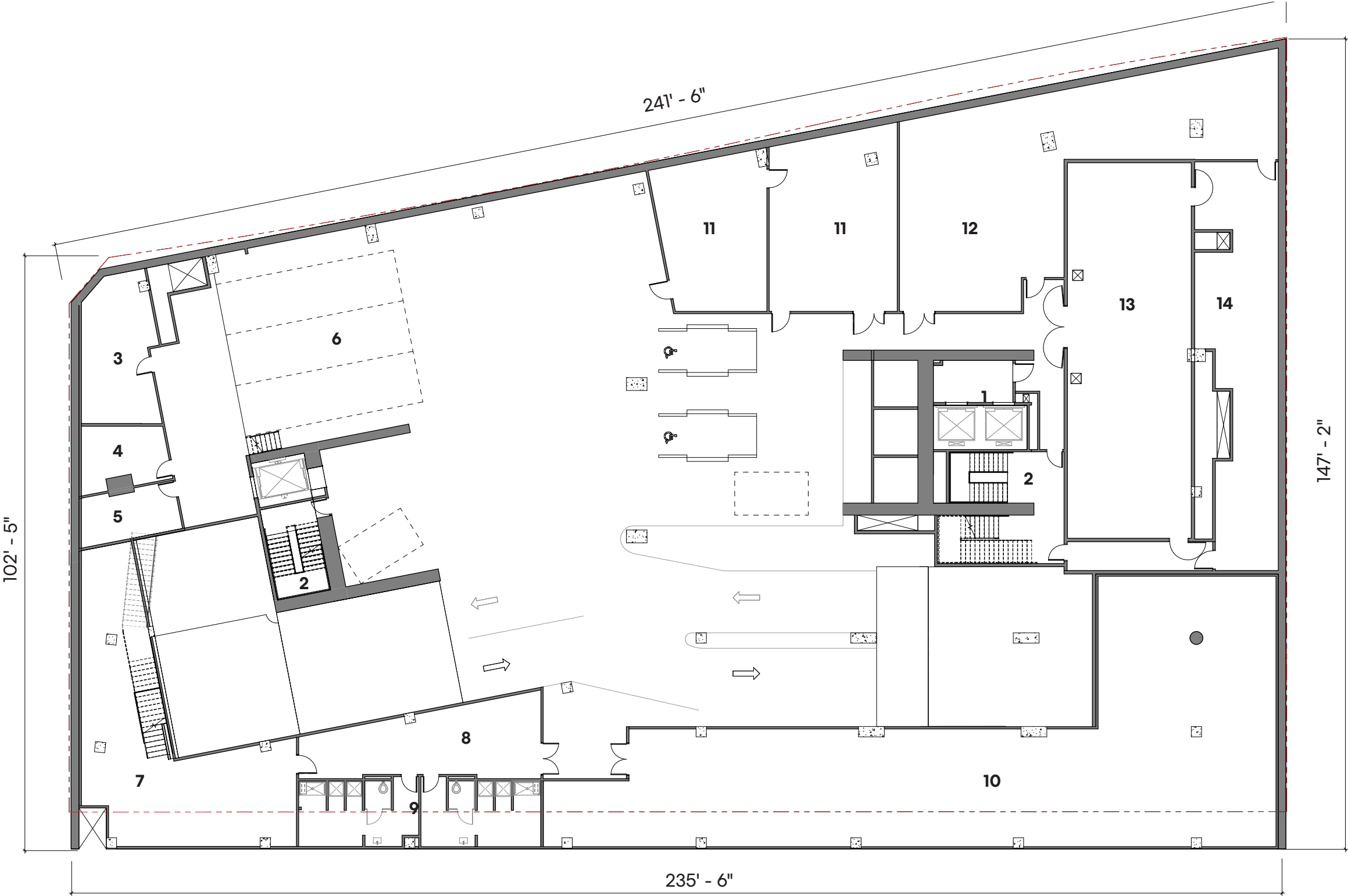
- 1. Elevator Lobby
- 2. Stair Core





Level P1 Plan

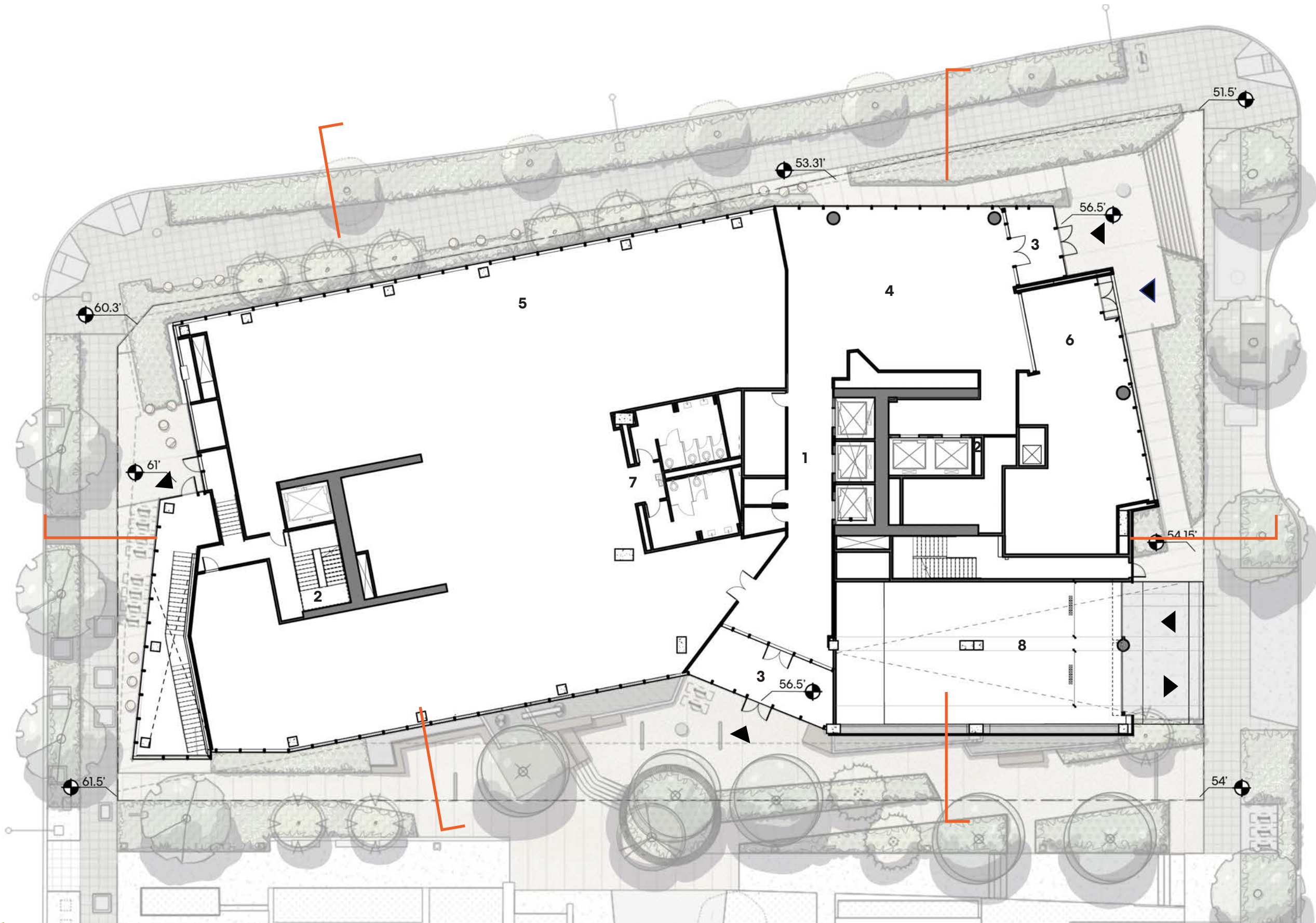
- 1. Elevator Lobby
- 2. Stair Core
- 3. MDF Room
- 4. Management Office
- 5. Storage
- 6. Loading
- 7. Bike Room
- 8. Lounge
- 9. Locker Room
- 10. Leaseable Space
- 11. Generators
- 12. Electrical Room
- 13. SCL
- 14. Water Entry





Level 01 Plan

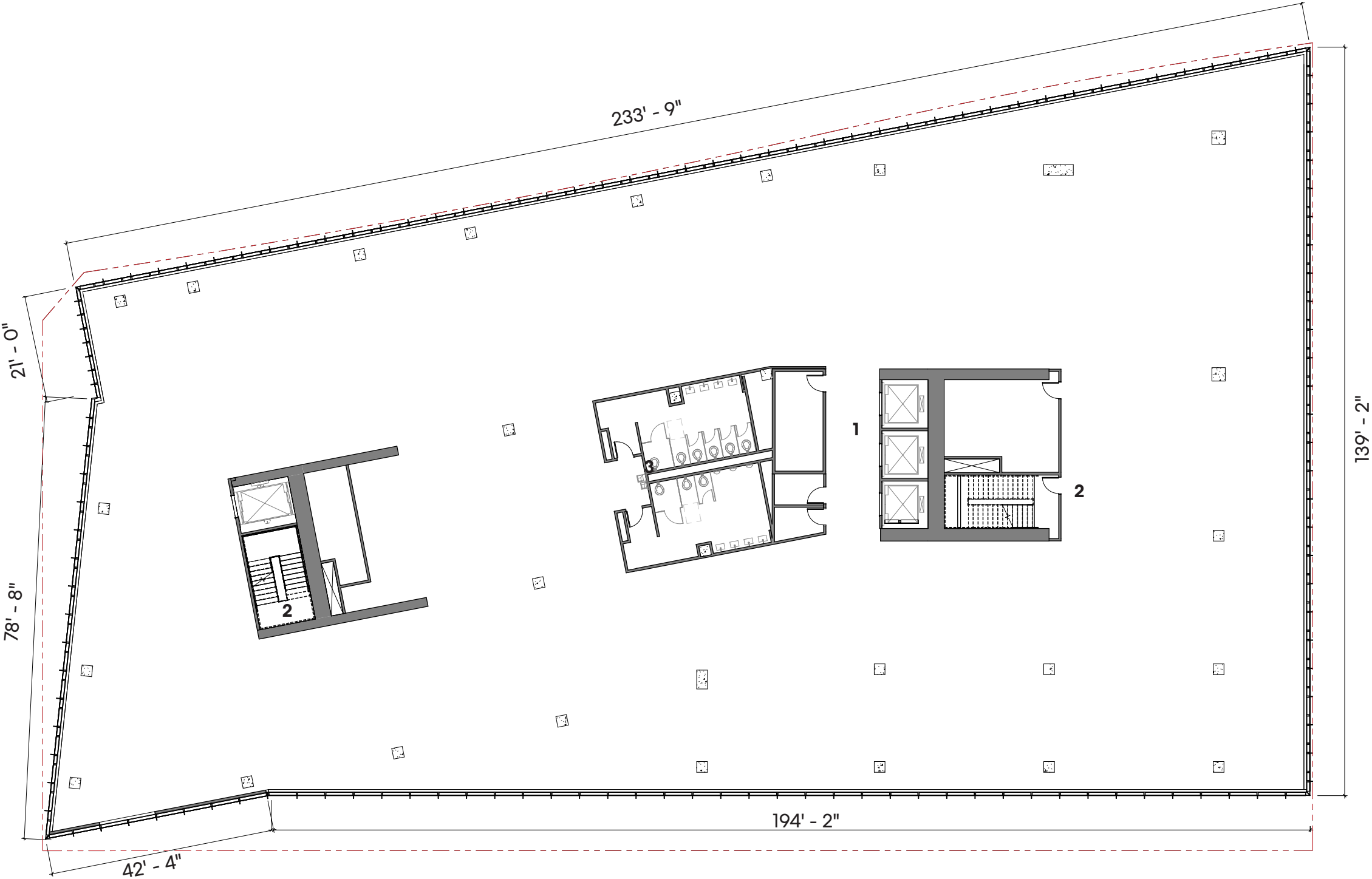
- 1. Elevator Lobby
- 2. Stair Core
- 3. Entry
- 4. Lobby
- 5. Tenant Space
- 6. Retail Space
- 7. Restrooms
- 8. Garage Ramp





Level 02-05 Plan

- 1. Elevator Lobby
- 2. Stair Core
- 3. Restrooms





Level 06 Plan

- 1. Elevator Lobby
- 2. Stair Core
- 3. Restrooms
- 4. Terrace





Level 07-08 Plan

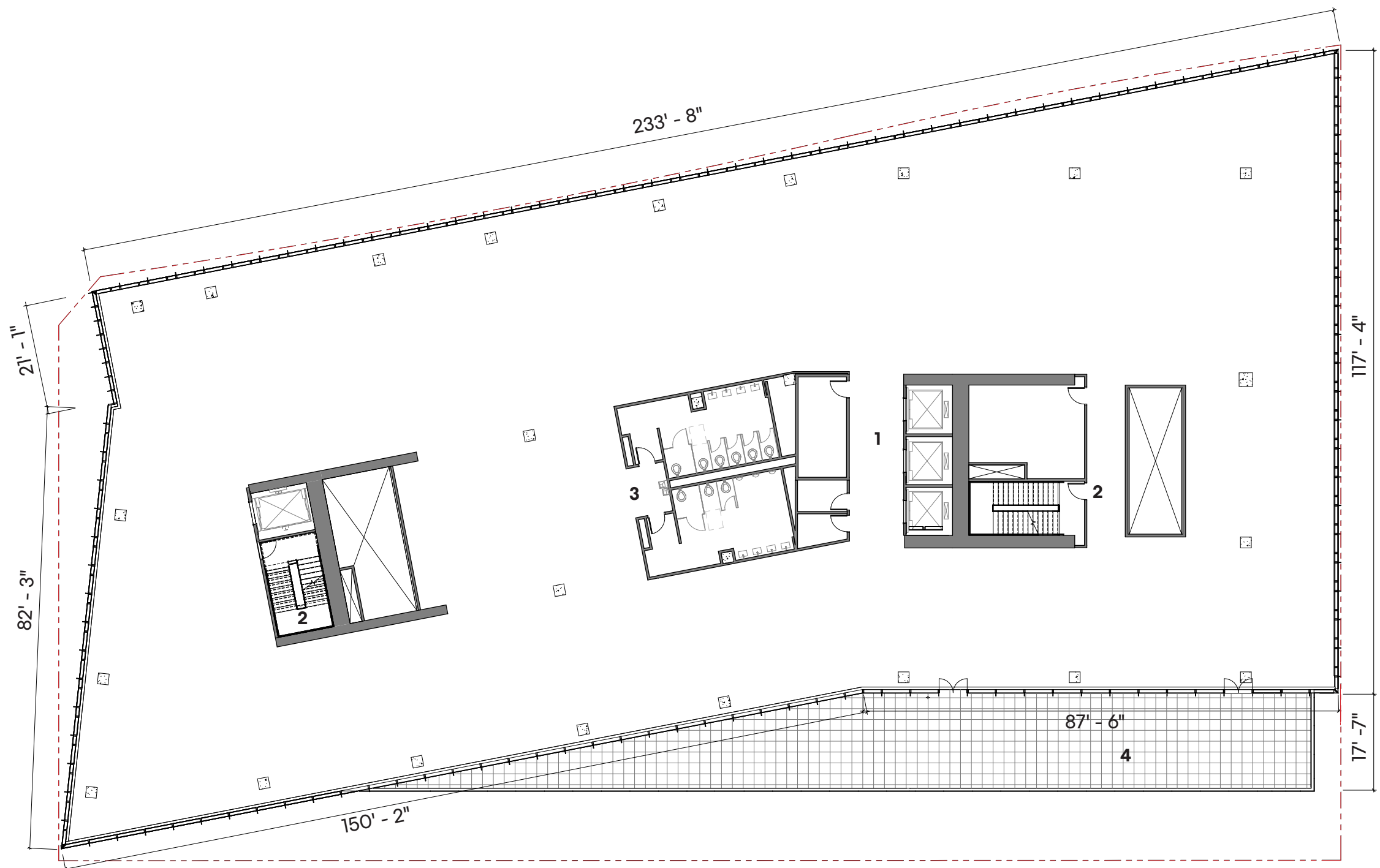
- 1. Elevator Lobby
- 2. Stair Core
- 3. Restrooms





Level 09

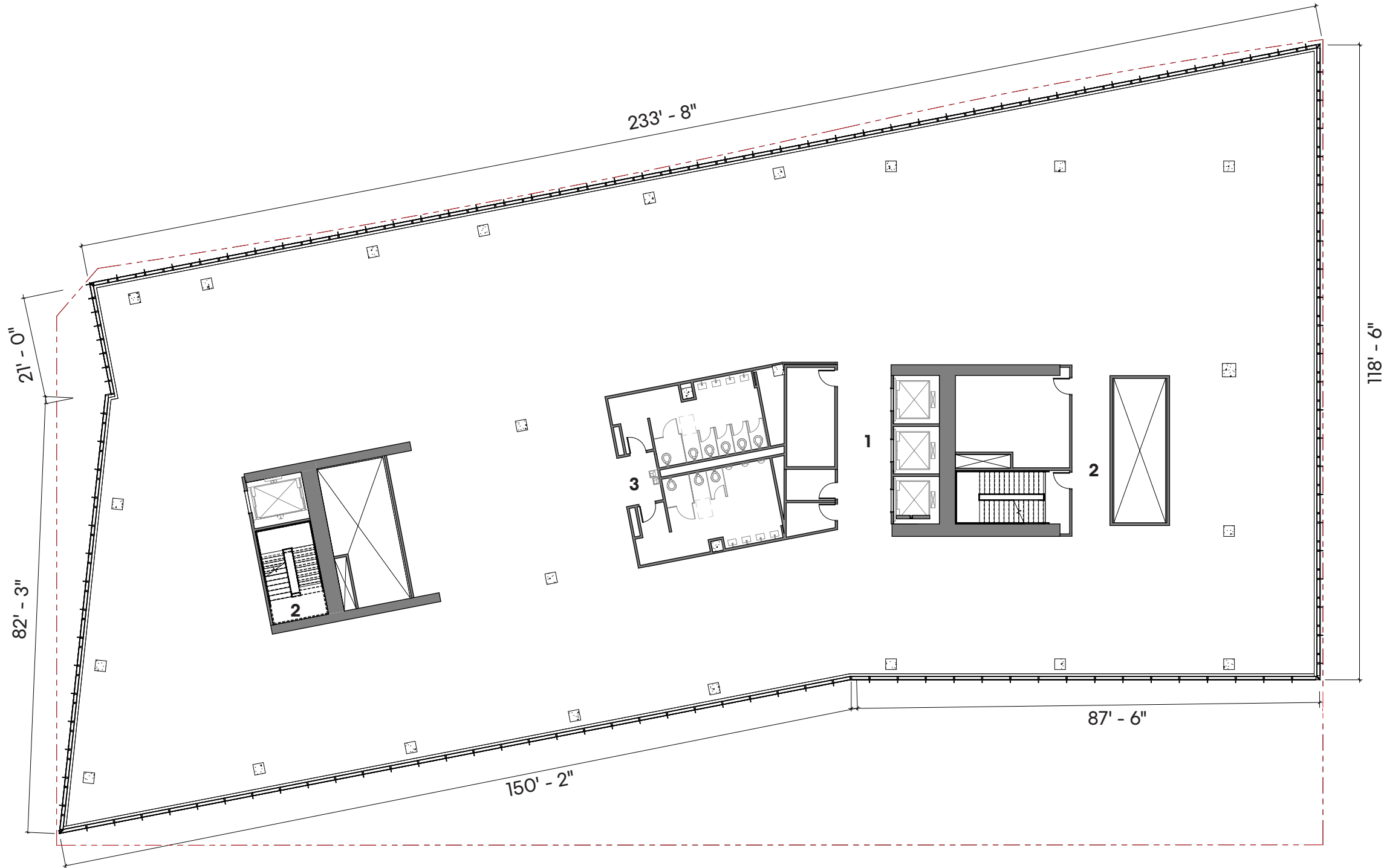
- 1. Elevator Lobby
- 2. Stair Core
- 3. Restrooms
- 4. Terrace





Level 10

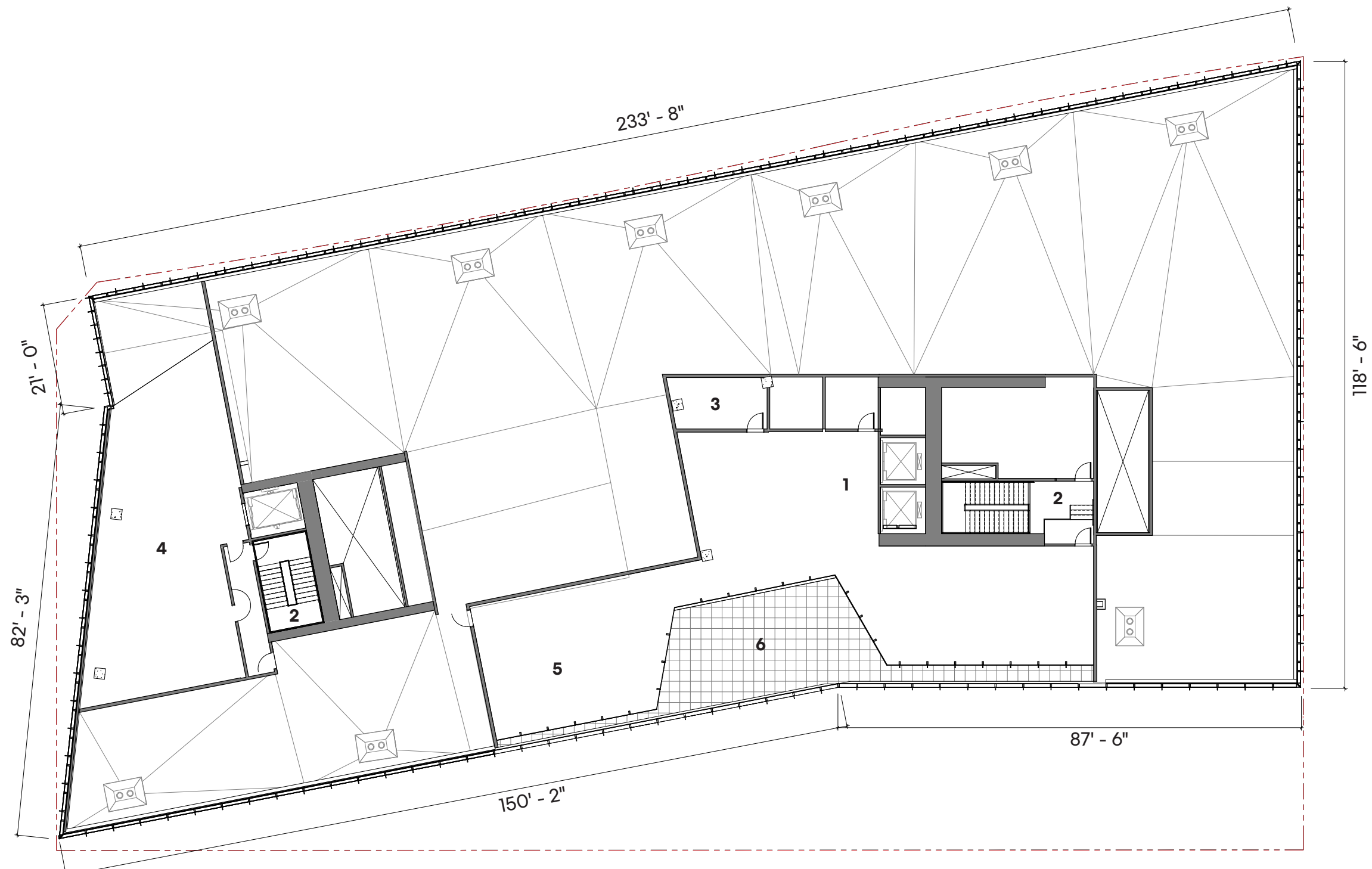
- 1. Elevator Lobby
- 2. Stair Core
- 3. Restrooms





Level Penthouse

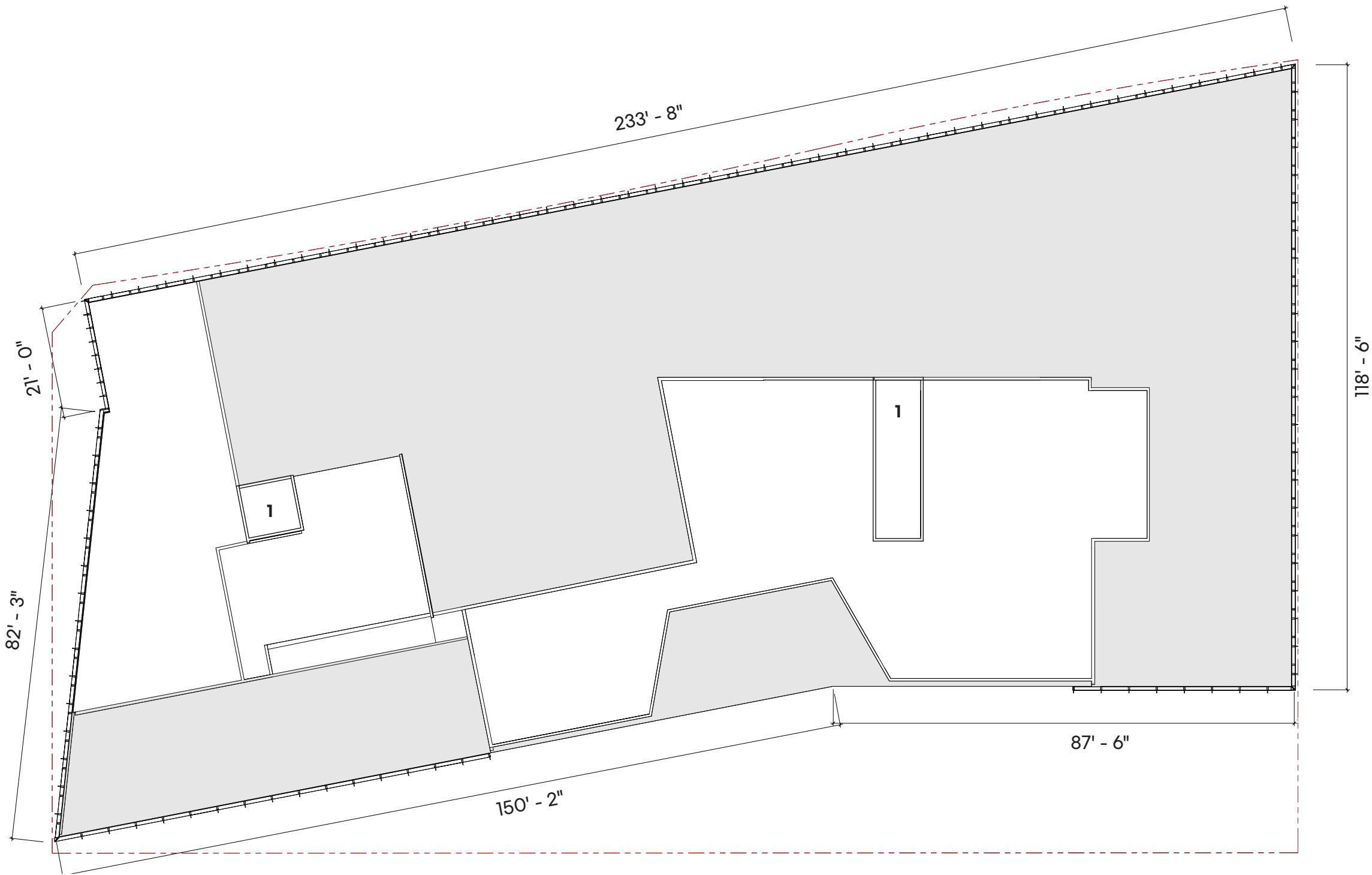
- 1. Elevator Lobby
- 2. Stair Core
- 3. Electrical
- 4. Mechanical
- 5. Amenity Space
- 6. Terrace





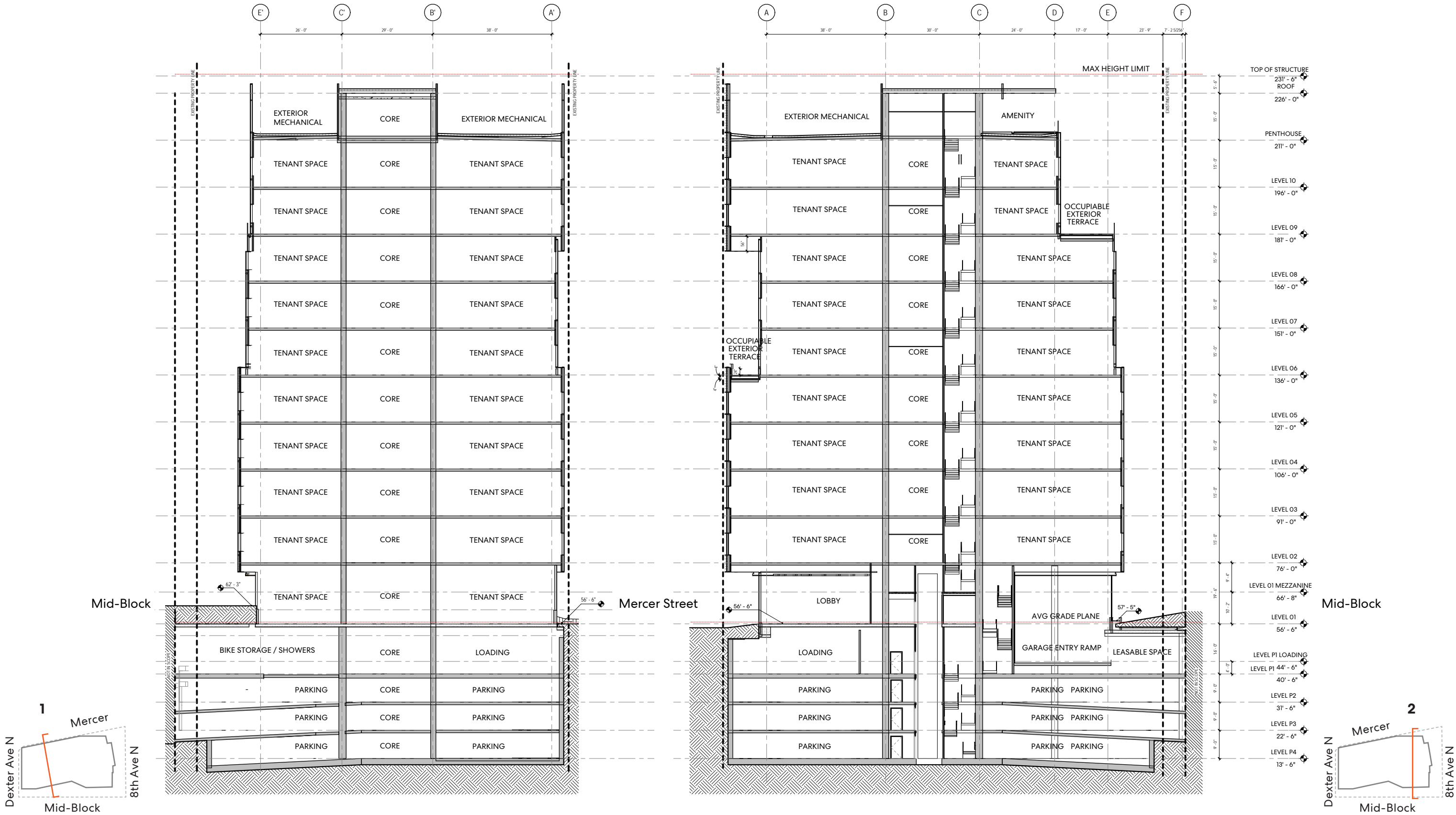
Level Roof

- 1. Elevator Overrun



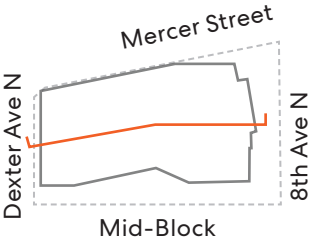
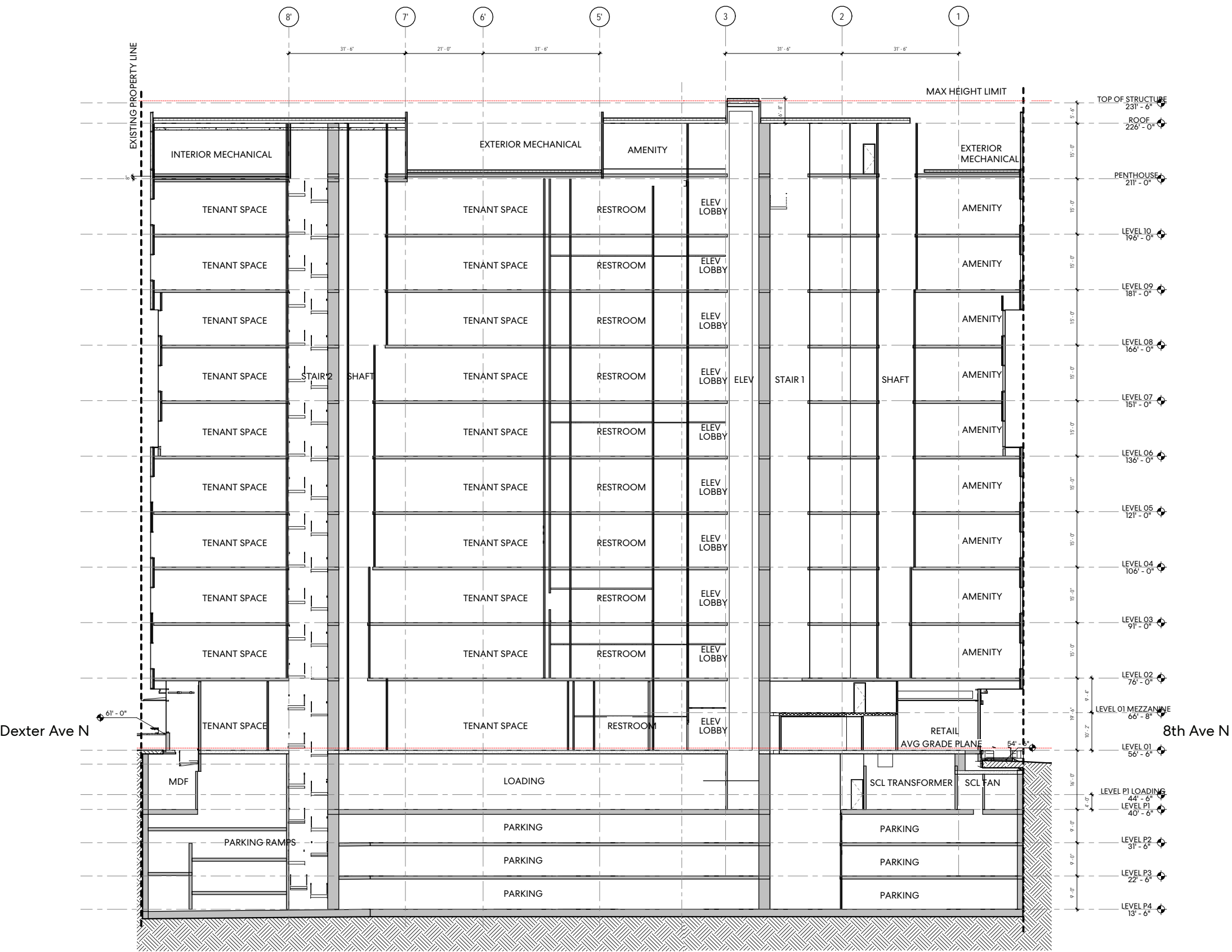


North - South Section





East-West Section



1" = 50' - 0"