



## FOCUS ON 12TH APARTMENTS

### EARLY DESIGN GUIDANCE #2

900 12th Ave,  
Seattle, WA 98122  
**3039185-EG**

12.08.2022



VIBRANT  
CITIES



PROJECT INFORMATION:

ADDRESS OF PROPERTY:	900 12th Ave, SEATTLE, WA 98122
SDCI PROJECT NO:	3039185-EG
MEETING TYPE:	EDG #2
ASSESSOR PARCEL NO:	2254500695, 2254500710, 2254500705, 2254500605
PROJECT TEAM:	
OWNER:	VIBRANT CITIES, LLC 606 MAYNARD AVE S, SUITE 251 SEATTLE, WA 98104 CONTACT: Pui Leung
ARCHITECT:	LINK DESIGN GROUP, LLC 439 KIRKLAND WAY KIRLAND, WA 98033 CONTACT: Scott Douglas
LANDSCAPE ARCHITECT:	KLLA Landscape Architects Inc. 21803 NE 17th Court SAMMAMISH, WA 98074 CONTACT: Ken Large

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1.0

# PROJECT SUMMARY & SITE ANALYSIS

PROJECT SUMMARY

PROJECT DATA

- 3.1

NUMBER OF RESIDENTIAL UNITS

169
- 3.2

MHA/MFTE UNITS PERCENTAGE

20% (TO BE FINALIZED)
- 3.3

AMOUNT OF TOTAL INSTITUTIONAL SQUARE FOOTAGE

10,000 SF
- 3.4

AMOUNT OF TOTAL COMMERCIAL SQUARE FOOTAGE

600 SF
- 3.5

TOTAL GROSS FLOOR AREA

103,312 SF
- 3.6

NUMBER AND LOCATION OF PARKING STALLS

44, P1 LEVEL

PROJECT INFORMATION

Located at the end of the block fronting 12th Ave., E. Marion St., and 13th Ave., this project proposes a new seven-story mixed used institutional and residential building designed with it's adjacency to the Seattle U. campus, the commercial corridor along 12th Ave., and the residential neighborhood to the east in mind.

The current site is occupied by a two story building and a surface parking lot. The existing building is home to a photography school - Photographic Center Northwest (PCNW), which is a long time Seattle institution that moved into the neighborhood in the 90's. The proposal includes the demolition of the existing building and surface parking lot to make way for a brand new space for the school on the ground floor along with retail and residential lobby spaces that serve roughly 170 apartment units above.

With the goal of further enhancing active uses at the ground level on all three street frontages, the proposal includes building servicing and back-of-house access that is limited to the NE corner of the project along 13th Ave., along with one level of below-grade garage accommodating about 42 parking spaces.

The School's new front door will be located at it's original street corner location on the southwest corner at 12th Ave. and E Marion St. - facing the Seattle U. campus. The residential entry located on the southeast corner at E Marion St. and 13th Ave. bookends the other side of the project, which is about one level taller in street elevation as E Marion St. slopes uphill going east. This transition of street uses from Institutional to residential also mirror's the site's transitional quality between the Seattle U campus and the predominantly residential neighborhoods to the east.

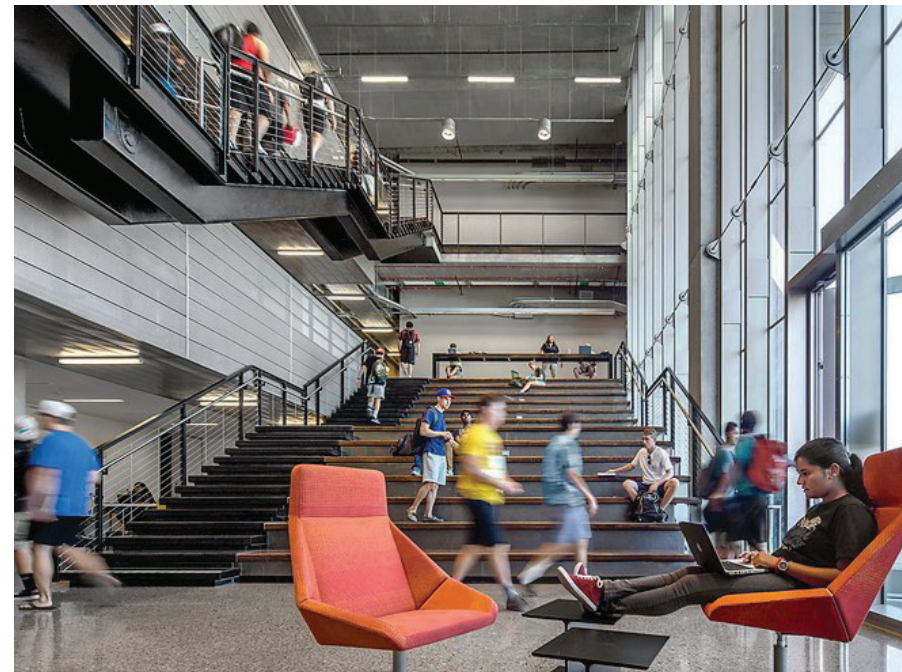


## PROJECT OBJECTIVES



### A NEW VISION OF PCNW

Opportunity to re-brand the school with a new space that offers expanded classes and the latest and greatest in visual arts education



### VIBRANT COMMUNITY CENTER

The project is an opportunity to create a significant central hub focused on education and the arts for students, residents and the surrounding Seattle U community



### ENHANCING THE DISTRICT

The new multifamily residential component to the project will contribute to the urban density and diversity of housing options in the district and contribute to the growth to the neighborhood





10 250 FT



## NINE-BLOCK AREA ARCHITECTURAL CHARACTER

This project is uniquely located within the convergence of three building zones: Institutional, Commercial and Residential, with varying height and use guidelines.

The nine-block area immediately around the project site features a variety of building types and scales and is very much a neighborhood experiencing transformation, with new expansion to the Seattle U campus, infill multi-level town-home projects in the medium density residential zones and the completion of larger mixed-use multifamily and commercial projects along the main and neighborhood urban village designated streets of E. Madison and 12th Ave.

In terms of architectural character, the evolving neighborhood is a mix of old and new. With newer projects predominantly expressing a contemporary architectural vocabulary informed by today's construction methods and building technology. The use of vibrant accent colors on buildings is a feature that can be seen sprinkled throughout the neighborhood.



Vi Hilbert Hall at Seattle University



Center for Science and Innovation



Seattle University Law School



Rianna Apartments



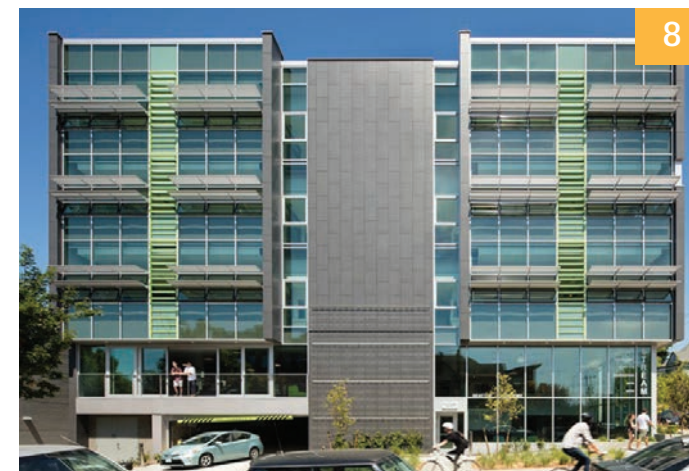
The Yobi Apartments



1324 E Marion St



928 13th Ave



Seattle Academy STREAM Building



Cardinal Union Building



CENTRAL AREA NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES



CS2-1-b  
Urban Pattern & Form

Transition and Delineation of Zones

In addition to building height, use building massing and articulation to transition to single-family scaled fabric. Other acceptable methods include setbacks, building footprint size and placement on the site, building width, facade modulation, and roof line articulation.

Response:

The proposed design utilizes both its relationship to the sloping street elevation along E. Marion street as well as various facade and upper level setbacks to create a hierarchy of scales that transition the massing by creating roof line, facade and building entry articulations that relate to its institutional and commercial adjacencies to the west and the urban village residential adjacencies to the east



CS1-1-a  
Natural Systems & Site Features

Local Topography

Respond to local topography with terraces, stoops, stepping facades, or similar approaches. Use appropriately scaled rockeries, stairs, and landscaping to transition between the sidewalk, building facade, and entrances in keeping with local topographic conditions, and existing neighboring approaches.

Response:

The project’s E. Marion street frontage is it’s dominant and longest frontage that slopes uphill to the east creating a one level sidewalk elevation difference. The proposed design responds to this elevation change by introducing terraces at the upper levels and building entry stoops as well a carefully scaled recesses into the building facade to further accentuate its relationship to the topography while creating building entrances that work with the sidewalk grades to be both inviting and accessible.



PL3-1-c&g  
Street-Level Interaction

Frontages

Promote transparency and “eyes on the street.”...  
  
At residential projects, provide coupled entries where possible to foster a sense of community and visual interest in building entryways. Provide generous porches at these entries to encourage sitting and watching the street.

Response:

The proposal’s ground level design is configured to maximize active uses along the majority of its 3 street frontages by consolidating garage and service access of the building towards the NE corner of the project along 13th Ave. The photography school’s transparent ground level facade is envisioned as a glazed storefront system and so is the residential lobby and related street corner retail program at the SE corner of the project.



PL3-2-c  
Street-Level Interaction

Streetscape Treatment

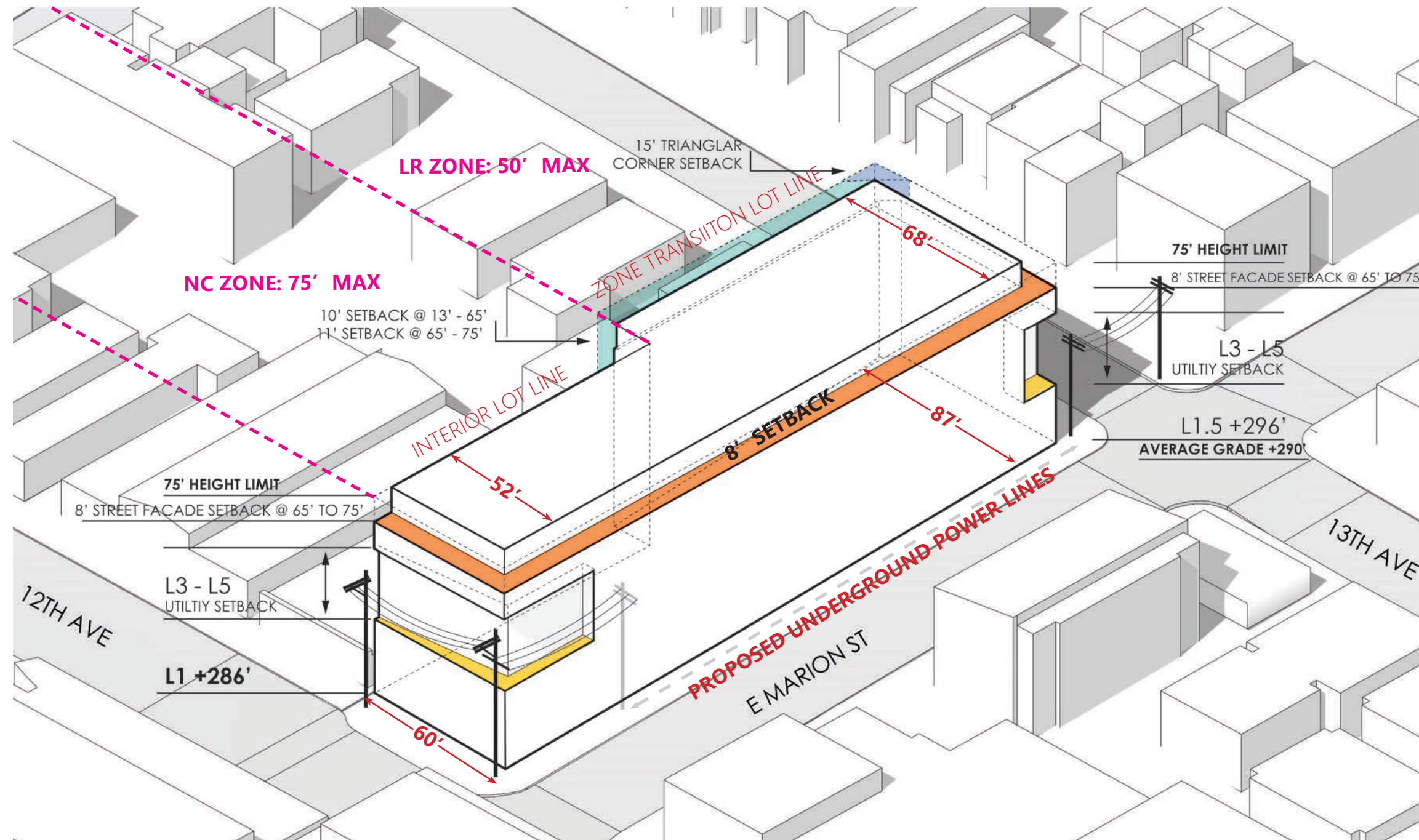
To protect pedestrians along the sidewalk, provide awnings or overhead weather protection at all non-residential frontages, neighborhood nodes, and on west-facing facades with a minimum depth of 6’. Larger commercial projects should have deeper coverage, with a minimum depth of 8’ at all street frontages, especially street corners.

Response:

Continuous weather protection is proposed along the 12th Ave., E. Marion, and portions of the 13th Ave. street frontages. These weather protection elements not only shelter pedestrians and activities along the sidewalks but also frame building entrances and provide a human scaled pedestrian experience at the street level.



# MASSING DEVELOPMENT STRATEGIES IN RESPONSE TO ZONING CODE REQUIREMENTS AND SITE CONSTRAINTS



## SITE CHALLENGES:

- 1) Very narrow site of only 60' deep on the west and 87' on the east.
- 2) Site has 3 street frontages and its narrow depth is further challenged by required utility line setbacks and upper level zoning setbacks.
- 3) Site abuts an interior lot line of NC zoning on 1/2 of its northern property line which allows for buildings to be built right up to the property line, the other 1/2 abuts an LR zone with required zone transition setbacks.

- Massing
- Utility setback @ L3-L5
- 8' setback for street-facing facades @ 65' to 75'
- 10' setback @ 13' - 65' abutting an LR lot  
11' setback @ 65' - 75' abutting an LR lot
- 15' triangle corner setback abutting a residential zone
- Existing power pole
- Proposed power pole



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PRIORITIES FROM  
EDG#1

### CONCEPT 1 | THE FOLD



**Unit Count:** 168  
**Parking Stalls:** 0

#### Opportunities:

- Angeled massing creates a unique articulated facade
- Interest created by folded geometry can accommodate a simple pallet of materials and building fenestration options
- Continuous private decks on upper level

#### Constrains:

- Large massing move relates to the institutional scale neighbors but less to the residential scale neighbors
- Horizontal orientation of the massing and recesses do not emphasize the building entries
- Sculptural quality further emphasizes the building's bulk
- Shape of outdoor terrace at SE corner not as functional

#### Compliance:

- No Departures

### CONCEPT 2 | THE INTERLOCK



**Unit Count:** 168  
**Parking Stalls:** 42

#### Opportunities:

- Articulation of upper level setback used to divide the building mass into two distinct interlocking facade expressions.
- Bay window modulation provided along the Marion and 13th street frontages
- Allows for a larger upper-level building setback at the NE corner
- Street level outdoor public terrace at SE corner

#### Constrains:

- Results in a conventional prescriptive apartment building form
- Requires an upper level setback departure

#### Compliance:

- Departure #1 - Upper Level Setback  
(See departure section for more details)

### CONCEPT 3 | THE APERTURE



**Unit Count:** 168  
**Parking Stalls:** 42

#### Opportunities:

- Articulation of upper level setback creates clear stepping geometry along the southern facade
- Framed apertures highlight building corners and entries creating various datum lines that relate to the various intersection of scales in the neighbourhood
- Simplified massing focuses on enhanced street corner apertures instead of the overall bulk of the building which is divided into a simple pixel grid of units
- Street level outdoor public terrace at SE corner
- Contemporary building design that responds better to newer and future projects in the neighbourhood

#### Constrains:

- Requires an upper level setback departure

#### Compliance:

- Departure #1 - Upper Level Setback  
(See departure section for more details)



## PRIORITIES FROM EDG #1

### OVERVIEW

#### THE BOARD SUPPORTED:

##### 1. Massing Options and Zone Transition

A,B,C,D: The large framed aperture at the Southwest corner of the building in Concept 3 "Aperture". The rhythmic bays of Concept 2 "Interlock" along 13th Ave. and E. Marion St. The upper-level setbacks shown around the eastern end of the massing of Concept 3 "Aperture".

##### 2. Right-of-Way Street Trees, Ground Level Uses, and Street Activation:

A,B: Residential uses, porches and stoops along the 13th Ave. frontage. Removal of exceptional tree if no viable option for below grade parking access is possible.

D: The school's prominent and transparent location off the Southwest corner at 12th Ave. and E Marion.

##### 3. Development Standard Departures:

Departure #1: The Board indicated preliminary support for the requested upper level setback departure noting that the additional mass towards the west along E Marion St. responds to the scale of Seattle U and E Marion St. The Board also supported the voluntary upper level setbacks to the north.

#### THE BOARD REQUESTED:

##### 1. Massing Options and Zone Transition

A,B,C: Studies that break down the scale of the SE and 13th Ave. side of the building similar to Concept 2 "Interlock". The board suggested that a hybrid of Concept 2 and the large aperture element of Concept 3 would be a successful response to the various scales of the neighborhood.

D,E: Studies of the aperture massing and secondary architectural features to enhance the infill portion of the facade.

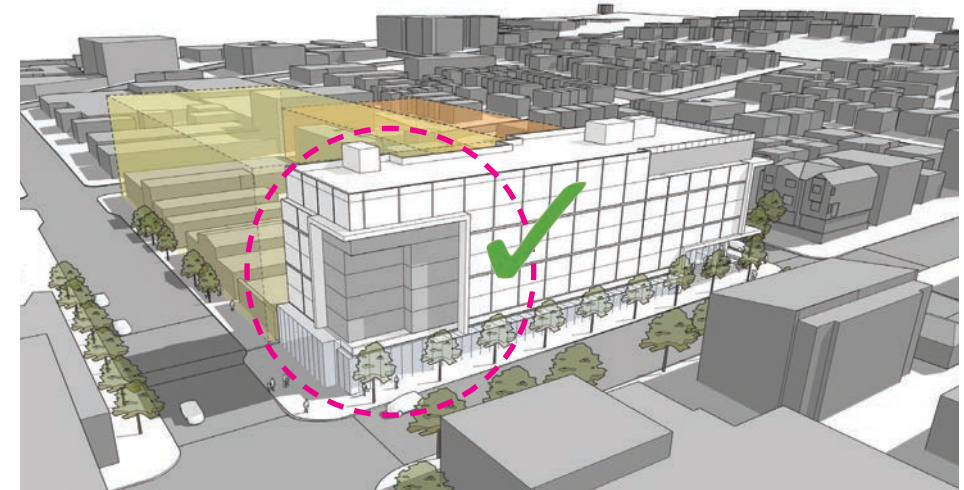
F: Attention to the northern facade to ensure appropriate levels of visual interest.

##### 2. Right-of-Way Street Trees, Ground Level Uses, and Street Activation:

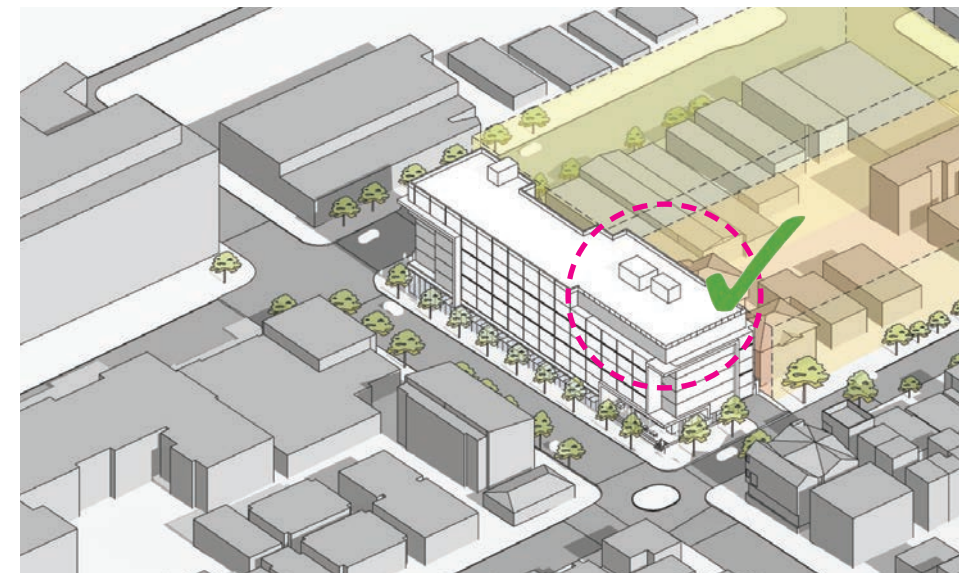
A,C: Additional studies that move the garage entry and trash room to E. Marion St. to avoid the removal of the exceptional street tree on 13th Ave. and to free up space for residential uses along 13th.

E,F: Consideration of layout and orientation of the residential entry, bike storage, temporary bike parking and cafe entry, Including the location of the ADA ramp to promote safety, ease of access, and sidewalk interaction.

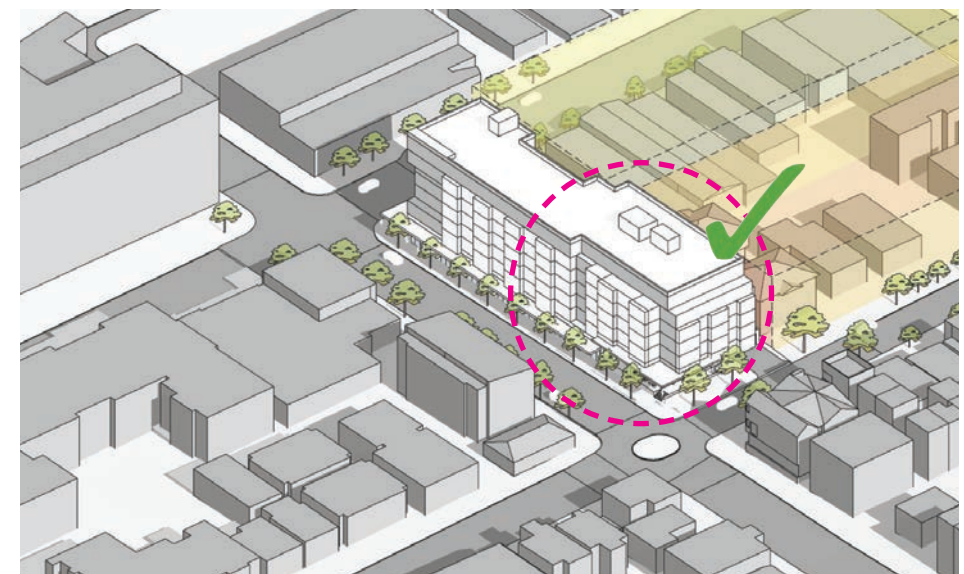
#### EDG#1 THE BOARD SUPPORTED MASSING ELEMENTS:



CONCEPT 3 "APERTURE": SW Aerial View



CONCEPT 3 "APERTURE": SE Aerial View



CONCEPT 2 "INTERLOCK": SE Aerial View

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## ARCHITECTURAL MASSING CONCEPTS

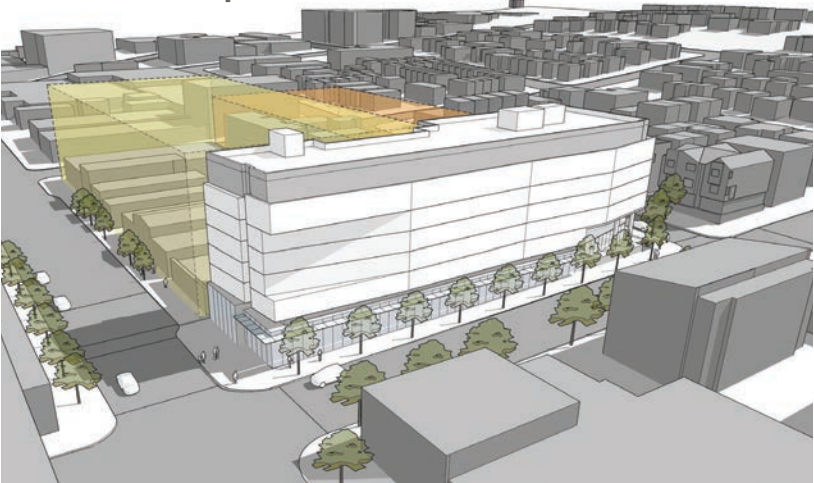


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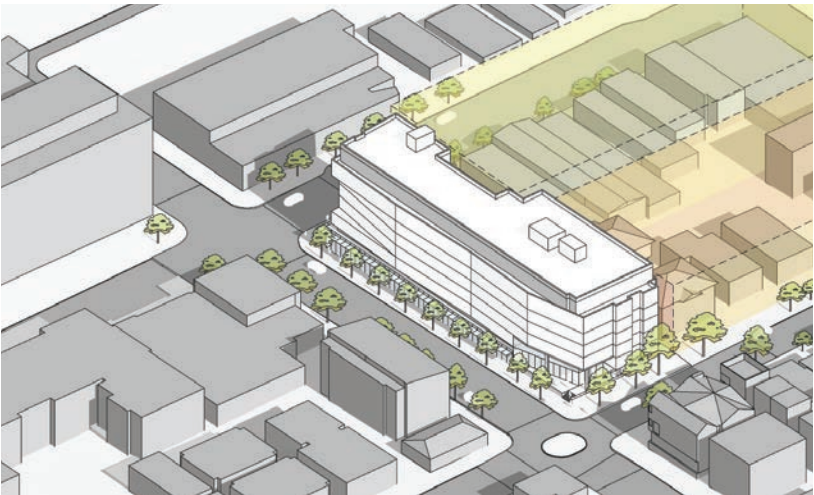


EDG #1 MASSING OPTIONS

CONCEPT 1 | THE FOLD

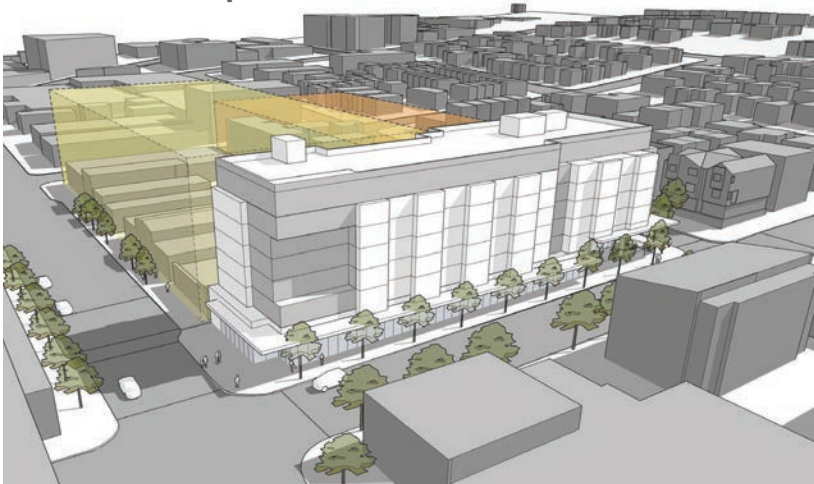


SW Aerial View



SE Aerial View

CONCEPT 2 | THE INTERLOCK

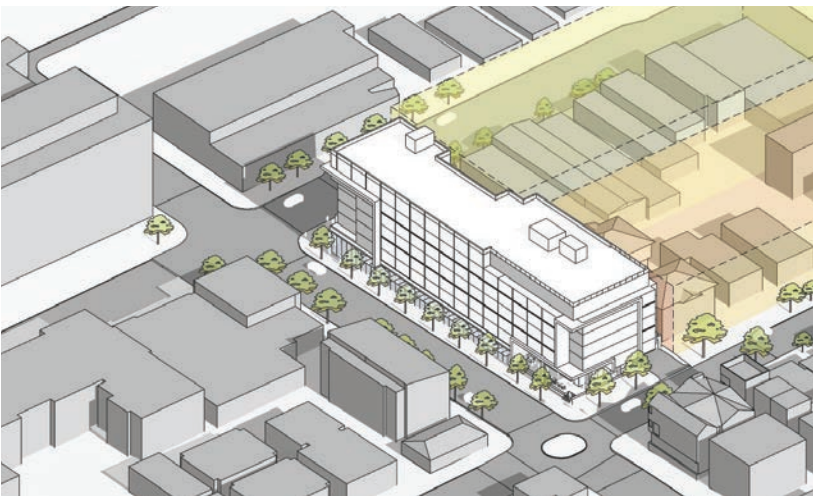
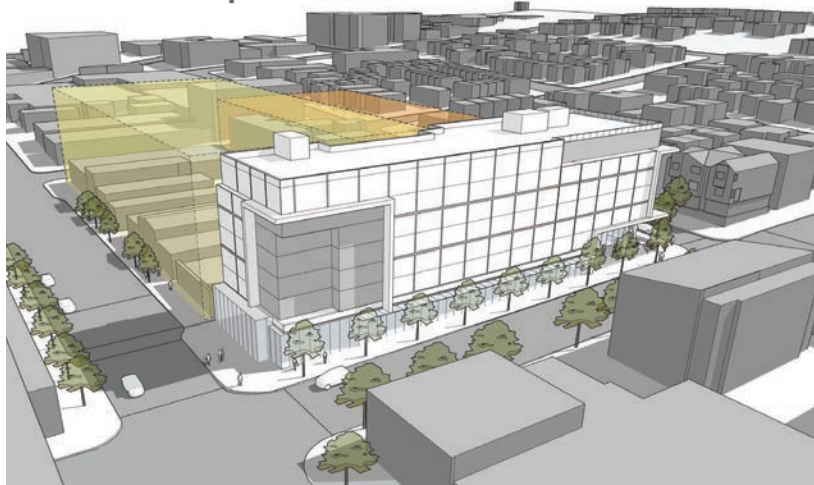


SW Aerial View



SE Aerial View

CONCEPT 3 | THE APERTURE (PREFERRED)



EDG#1 THE BOARD SUPPORTED:

1. Massing Options and Zone Transition  
A,B,C,D: The large framed aperture at the Southwest corner of the building in Concept 3 "Aperture". The rhythmic bays of Concept 2 "Interlock" along 13th Ave. and E. Marion St. The upper-level setbacks shown around the eastern end of the massing of Concept 3 "Aperture".
3. Development Standard Departures:  
Departure #1: The Board indicated preliminary support for the requested upper level setback departure noting that the additional mass towards the west along E Marion St. responds to the scale of Seattle U and E Marion St. The Board also supported the voluntary upper level setbacks to the north including the reduction of the 8' setback to 6' at the eastern end including the reduction of the 8' setback to 6' at the eastern end.

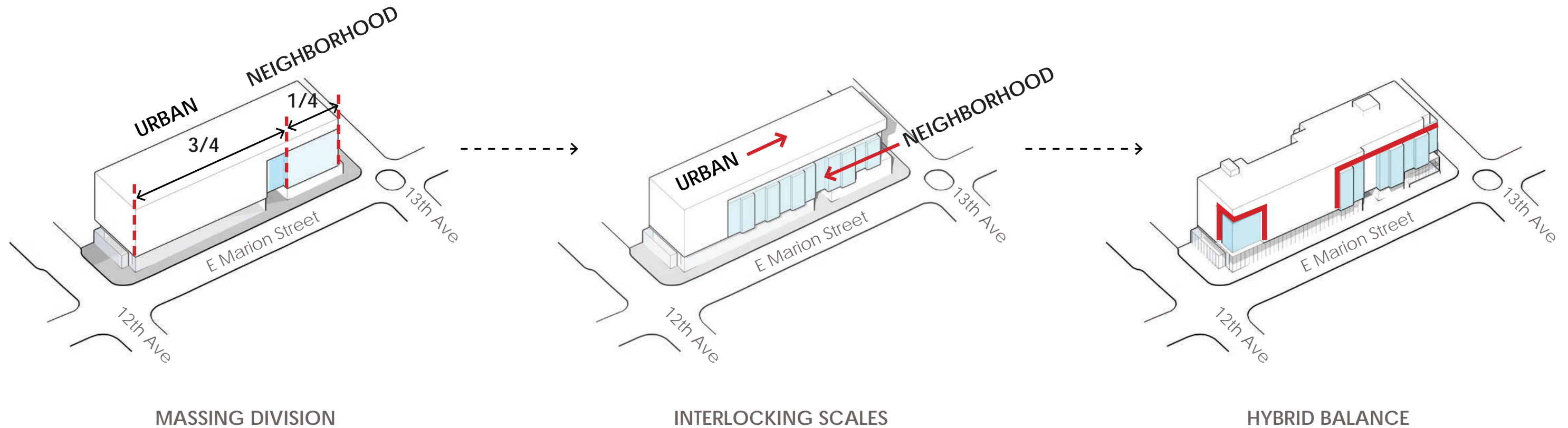
EDG#1 THE BOARD REQUESTED:

1. Massing Options and Zone Transition  
A,B,C: Studies that break down the scale of the SE and 13th Ave. side of the building similar to Concept 2 "Interlock". The board suggested that a hybrid of Concept 2 and the large aperture element of Concept 3 would be a successful response to the various scales of the neighborhood.
- RESPONSE: Similar bay-window rhythm from the Option 2 - "Interlock" option has been incorporated into the latest preferred massing option so that the E. Marion St. frontage transitions from the larger scaled "Aperture" massing from the West to the more residential scaled "interlock" massing towards the East.
- D,E: Studies of the aperture massing and secondary architectural features to enhance the infill portion of the facade.
- RESPONSE: The applicant has studied some alternatives to the scale of the aperture framing at the SW corner to give the aperture a more dominant corner presence. In the applicant's latest preferred massing the aperture form is further refined with a unifying character that help the building design gradually transition from the "Aperture" language on the west to the "interlock" character to the East.
- F: Attention to the northern facade to ensure appropriate levels of visual interest.
- RESPONSE: The north facade against the residential transition zone has been further articulated with bay window ins and outs. The applicant has also shown fenestration and window patterning locations to better communicate where blank wall conditions exists and some initial ideas on how those could be mitigated.



## EDG #2 MASSING OPTIONS

## CONCEPT 4 | THE HYBRID - FORM GENERATION DIAGRAM



- 3/4 block scale = Seattle U.
- 1/4 block scale = Residential Neighbourhood

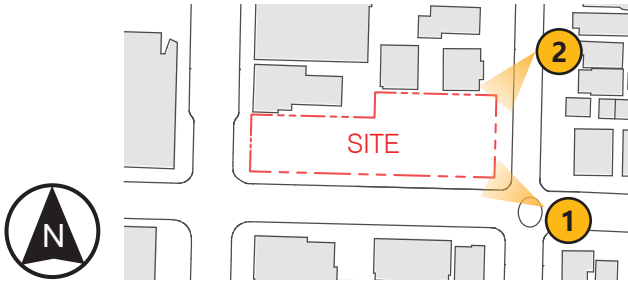
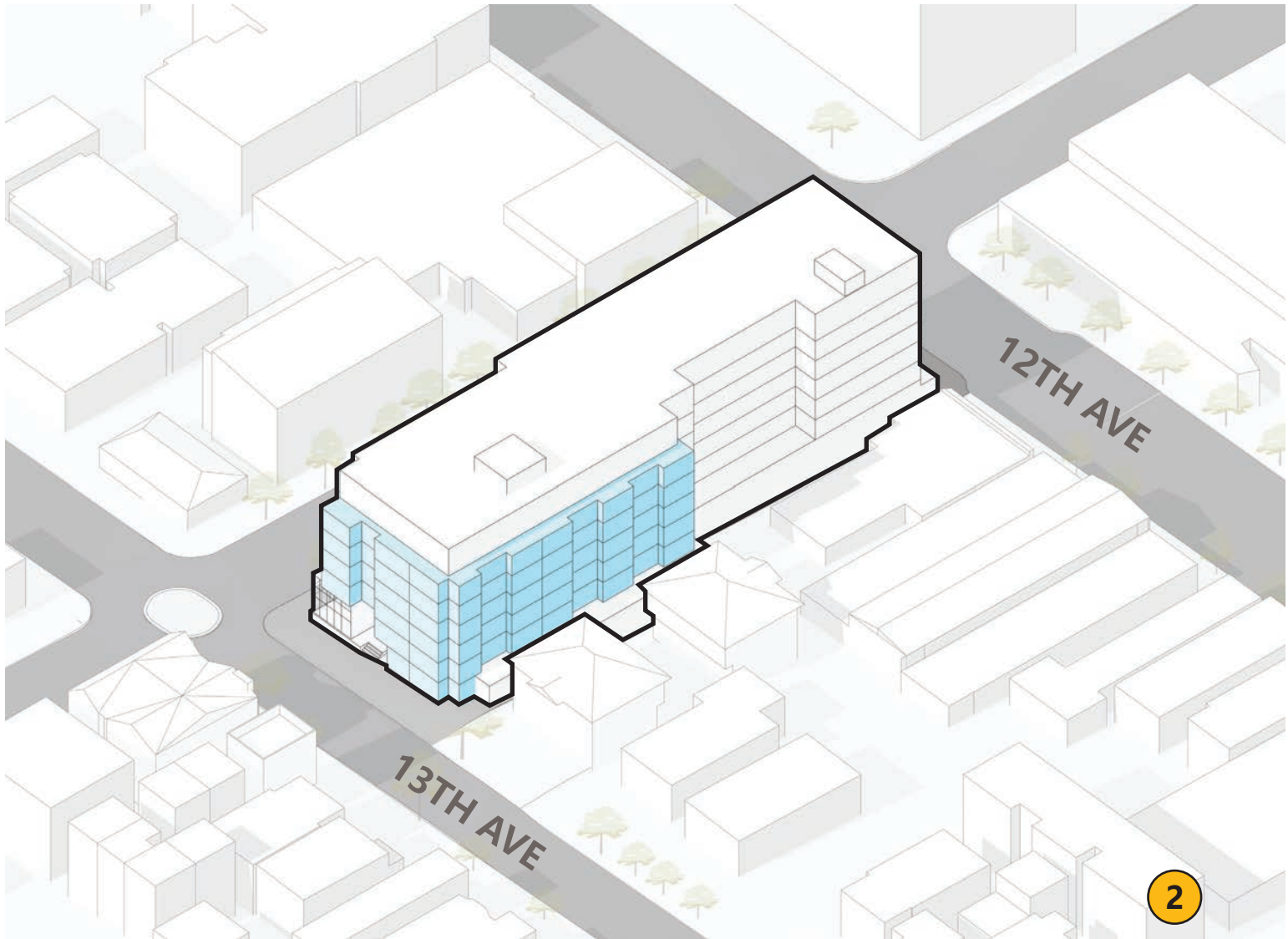
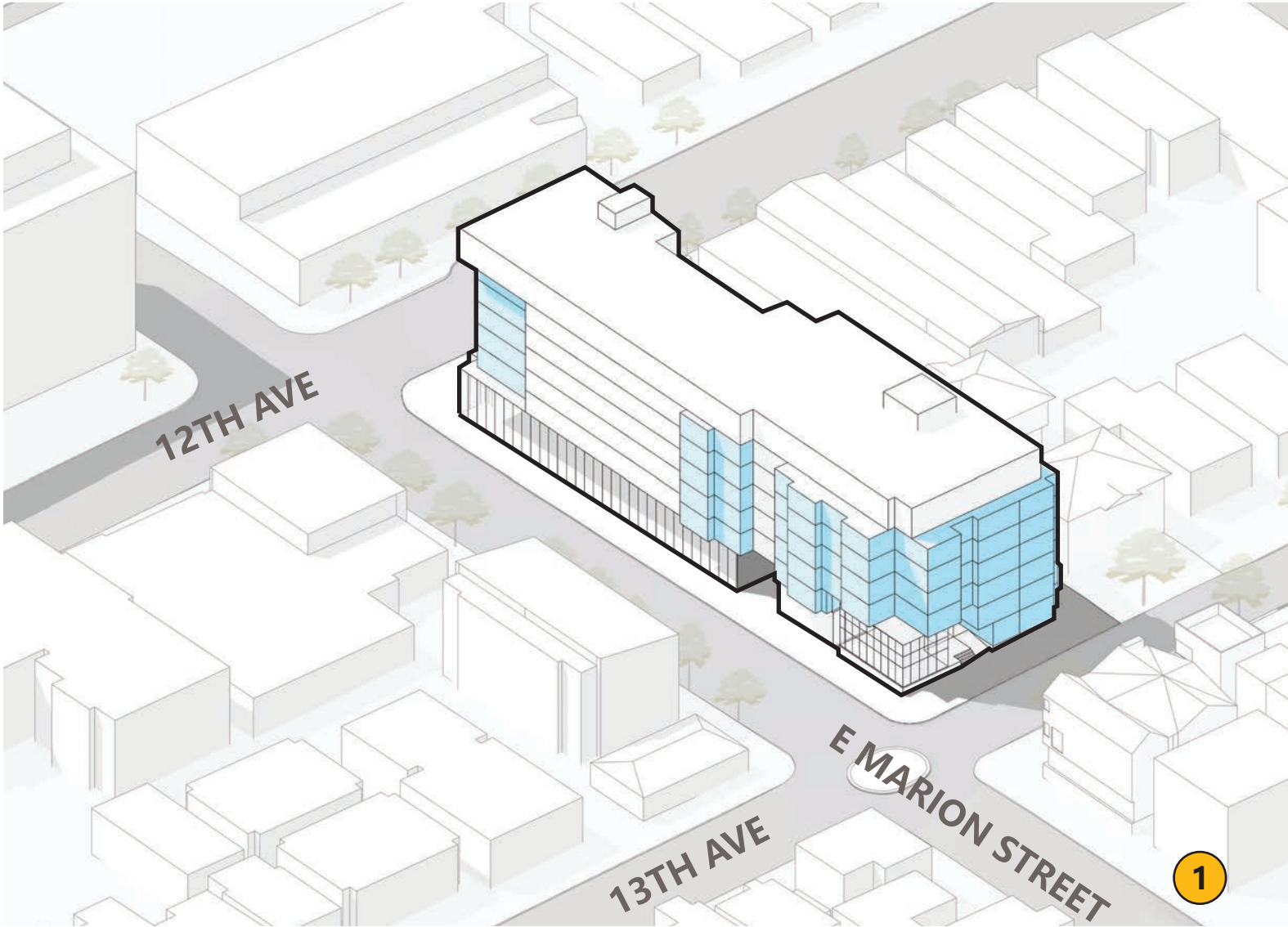
- Urban fabric = West (12th Ave.)
- Residential fabric = East (13th Ave.)

- Bay window articulation towards the East
- Aperture feature towards the West



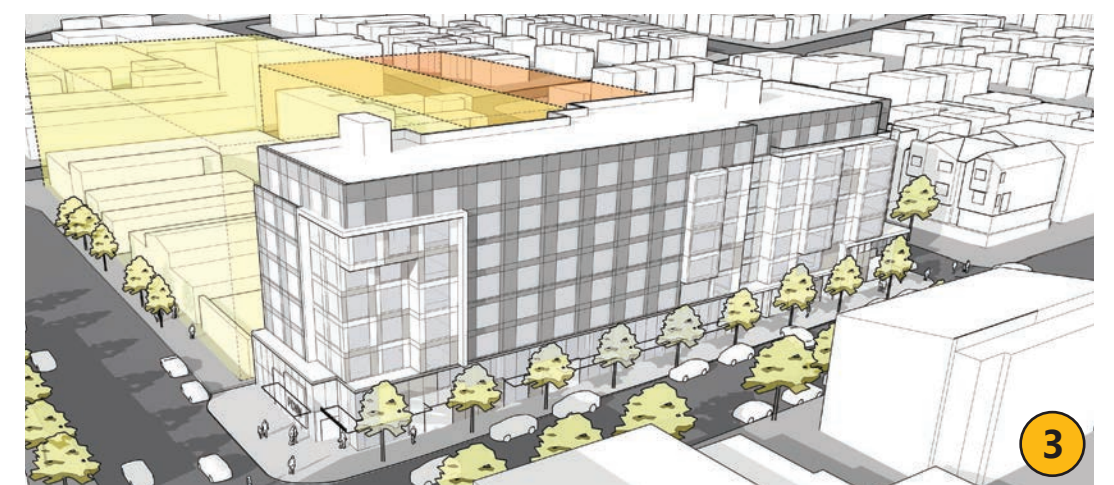
EDG #2 MASSING OPTIONS

CONCEPT 4 | THE HYBRID

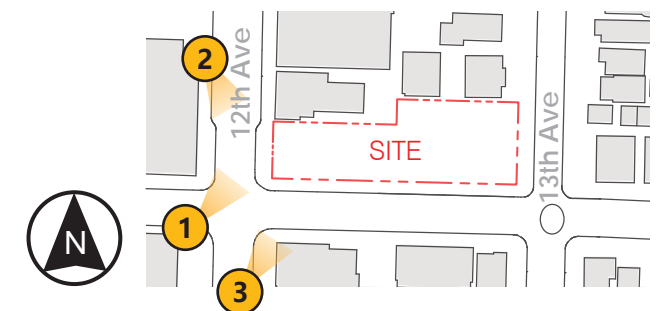




## CONCEPT 4 - THE HYBRID | MODEL VIEWS



- 1** PEDESTRIAN VIEW - Looking north-east from intersection of 12th Ave. and E Marion St.
- 2** PEDESTRIAN VIEW - Looking south on 12th Ave.
- 3** AERIAL VIEW - Looking north-east

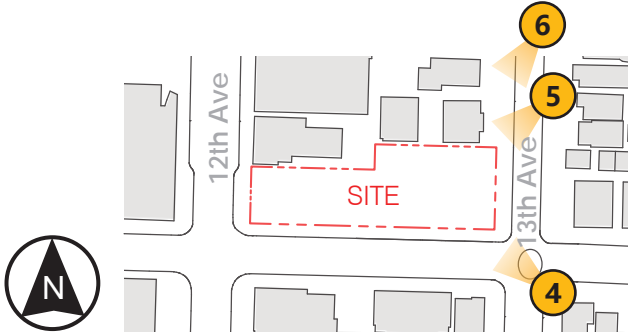




CONCEPT 4 - THE HYBRID | MODEL VIEWS



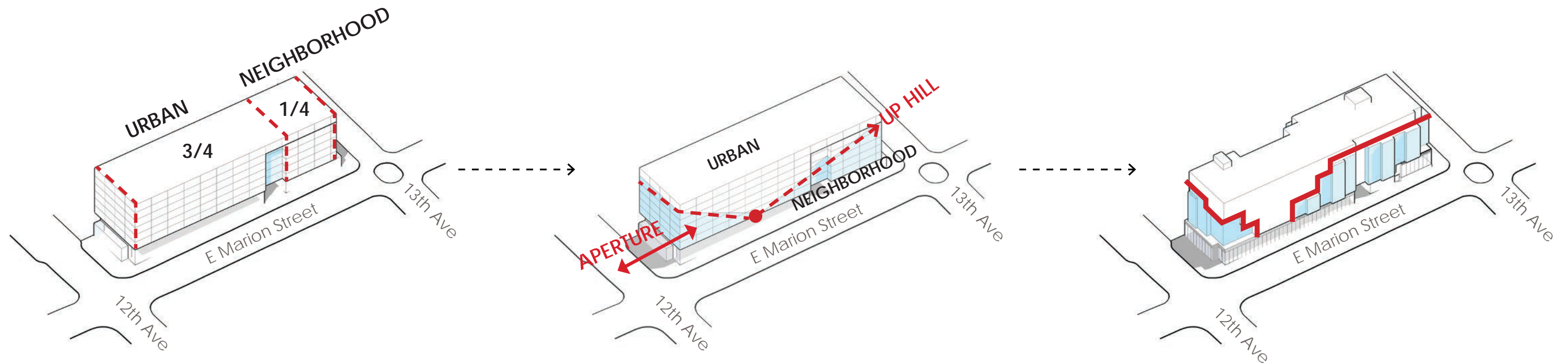
- 4 PEDESTRIAN VIEW - Looking north-west from intersection of 13th Ave. and E Marion St.
- 5 PEDESTRIAN VIEW - Looking south on 12th Ave.
- 6 AERIAL VIEW - Looking south-west





## EDG #2 MASSING OPTIONS

## CONCEPT 5 | THE CONVERGENCE (PREFERRED) - FORM GENERATION DIAGRAM



MASSING DIVISION

- 3/4 block scale = Seattle U.
- 1/4 block scale = Residential Neighborhood
- Residential unit grid divisions

CONVERGENCE OF SCALES

- Urban fabric = SW frontage (12th Ave.)
- Residential fabric = SE frontage (13th Ave.)
- Transition with the uphill slope of E. Marion St.
- Celebrate SW corner with Aperture feature

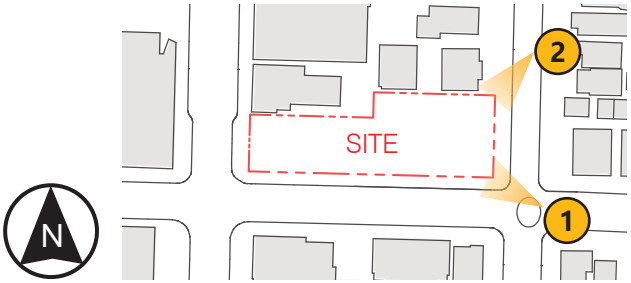
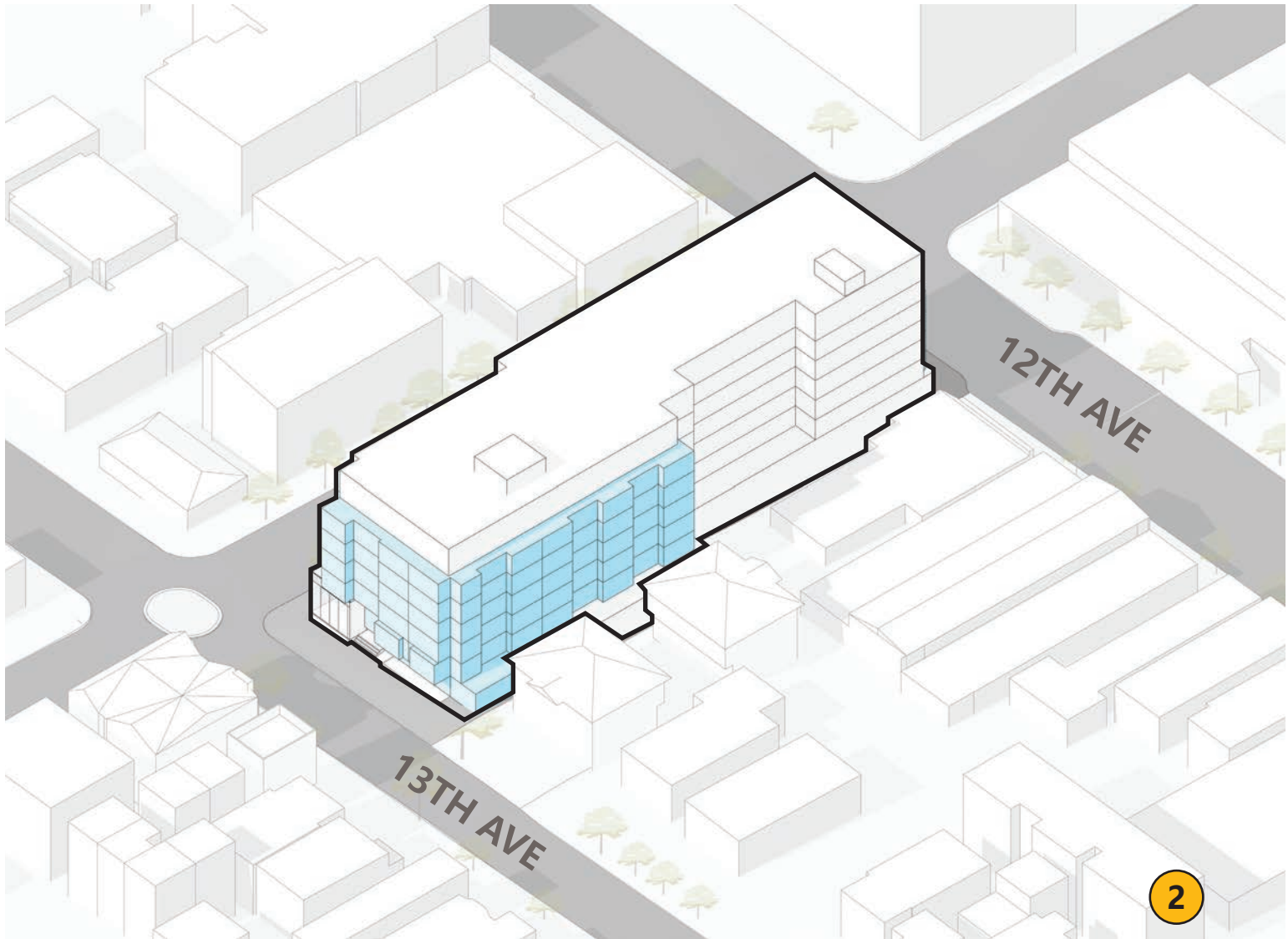
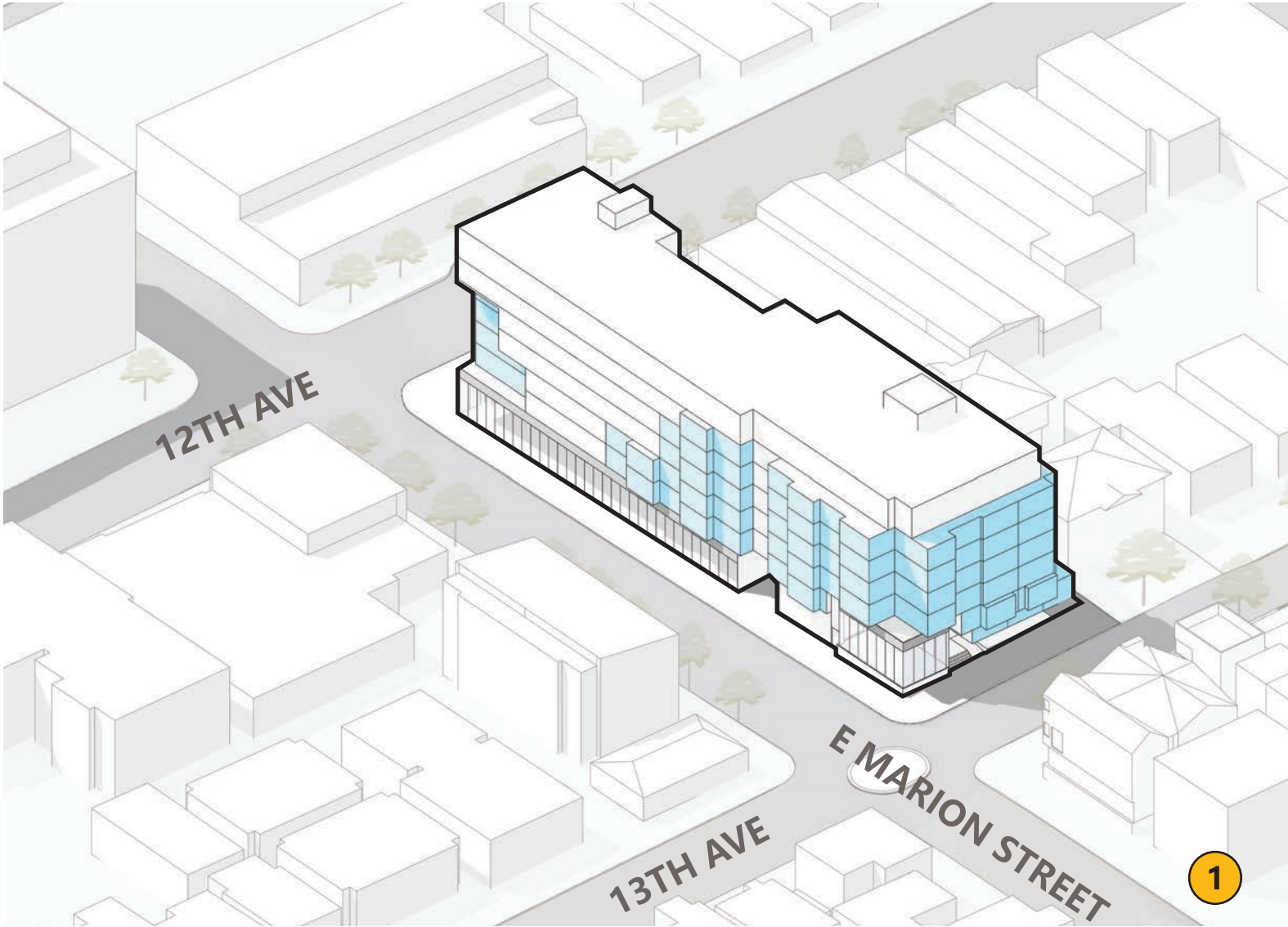
PIXELATED BLEND

- Articulate and contrast
- Pixelate the facade based on residential unit modules



EDG #2 MASSING OPTIONS

CONCEPT 5 | THE CONVERGENCE (PREFERRED)

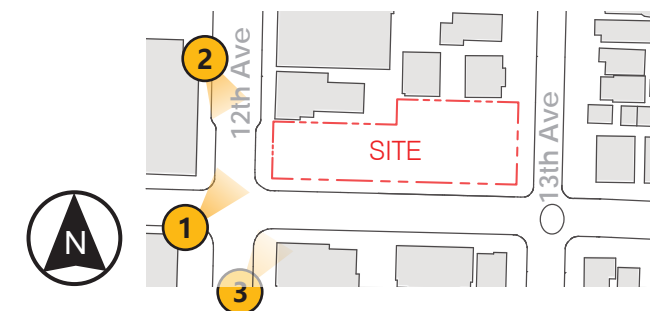




## CONCEPT 5 - THE CONVERGENCE | MODEL VIEWS



- 1** PEDESTRIAN VIEW - Looking north-east from intersection of 12th Ave. and E Marion St.
- 2** PEDESTRIAN VIEW - Looking south on 12th Ave.
- 3** AERIAL VIEW - Looking north-east

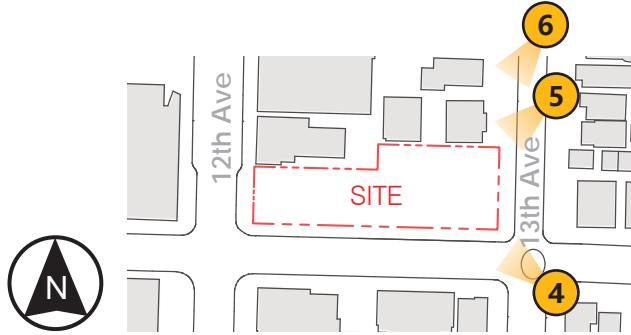




CONCEPT 5 - THE CONVERGENCE | MODEL VIEWS



- 4 PEDESTRIAN VIEW - Looking north-west from intersection of 13th Ave. and E Marion St.
- 5 PEDESTRIAN VIEW - Looking south on 12th Ave.
- 6 AERIAL VIEW - Looking south-west





### CONCEPT 4 | THE HYBRID



SW Aerial View

**Unit Count:** 169  
**Parking Stalls:** 44

#### Highlights:

- Hybrid of the Interlock and Aperture concepts of EDG#1
- Linear transition between two types of building articulation
- Appropriate scale divisions based on frontage

#### Compliance:

- Departure #1 needed - Upper Level Setback

### CONCEPT 5 | THE CONVERGENCE (PREFERRED)



SW Aerial View

**Unit Count:** 169  
**Parking Stalls:** 44

#### Highlights:

- New concept derived from the Interlock and Aperture concepts of EDG#1
- Dynamic transition between two types of building articulation
- Stepping and Pixelated transition relates to the slope of the street
- Aperture recess at the SW corner follows the rhythm of the new concept
- Appropriate scale divisions based on frontage

#### Compliance:

- Departure #1 needed - Upper Level Setback



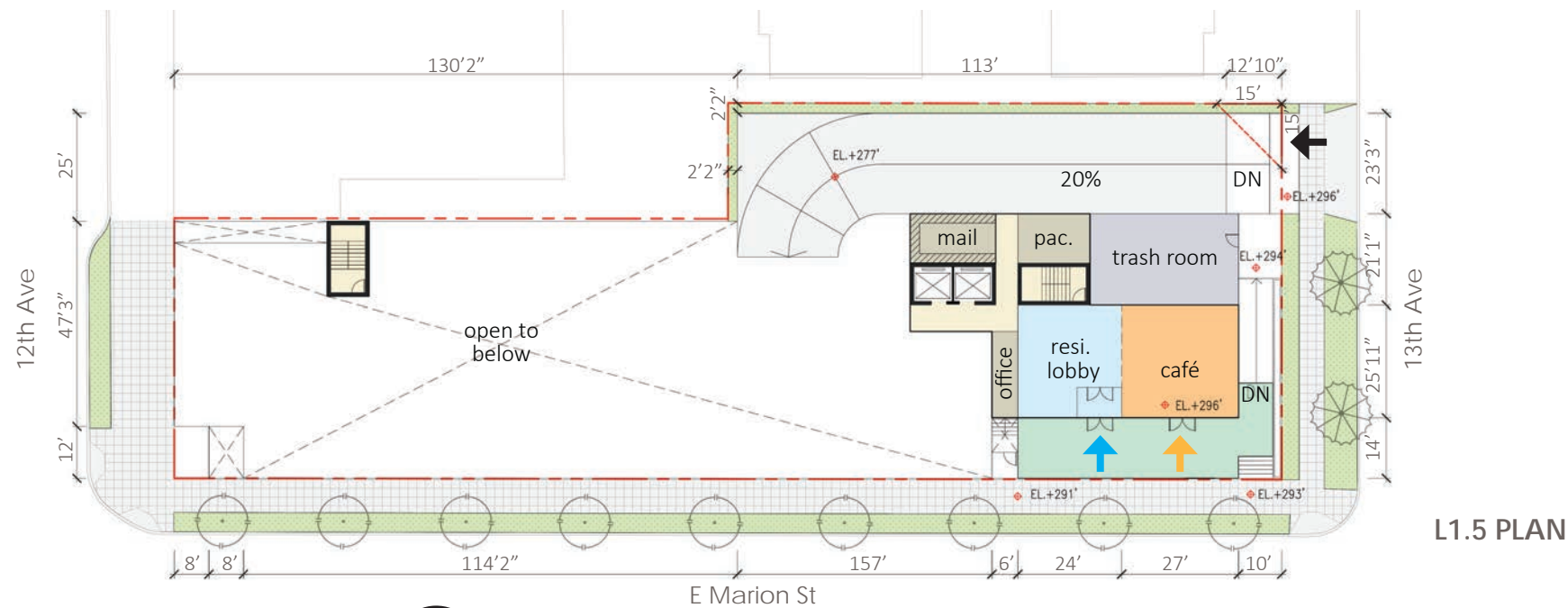
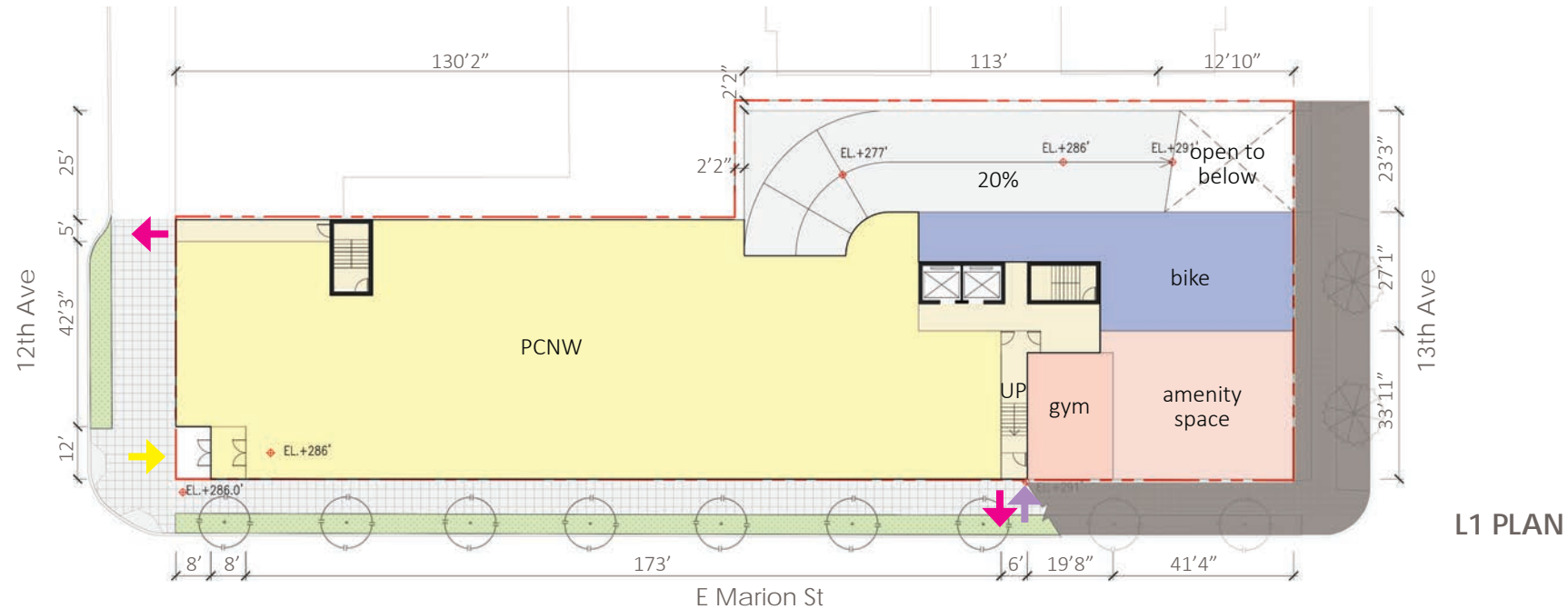


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GROUND LEVEL  
DEVELOPMENT



## EDG#1 | GROUND LEVEL FLOOR PLANS



## PROGRAM

PCNW	bike parking	open amenity	circulation
gym	café	trash room	vehicle parking
amenity	residential lobby	mail & package	residential unit

## ACCESS

vehicular access	residential entry
PCNW access	café entry
bike access	egress

## EDG#1: THE BOARD SUPPORTED:

## 2. Right-of-Way Street Trees, Ground Level Uses, and Street Activation:

- A,B: Residential uses, porches and stoops along the 13th Ave. frontage. Removal of exceptional tree if no viable option for below grade parking access is possible.
- D: The school's prominent and transparent location off the Southwest corner at 12th Ave. and E Marion.

## EDG#1: THE BOARD REQUESTED:

## 2. Right-of-Way Street Trees, Ground Level Uses, and Street Activation:

- A,C: Additional studies that move the garage entry and trash room to E. Marion St. to avoid the removal of the exceptional street tree on 13th Ave. and to free up space for residential uses along 13th.

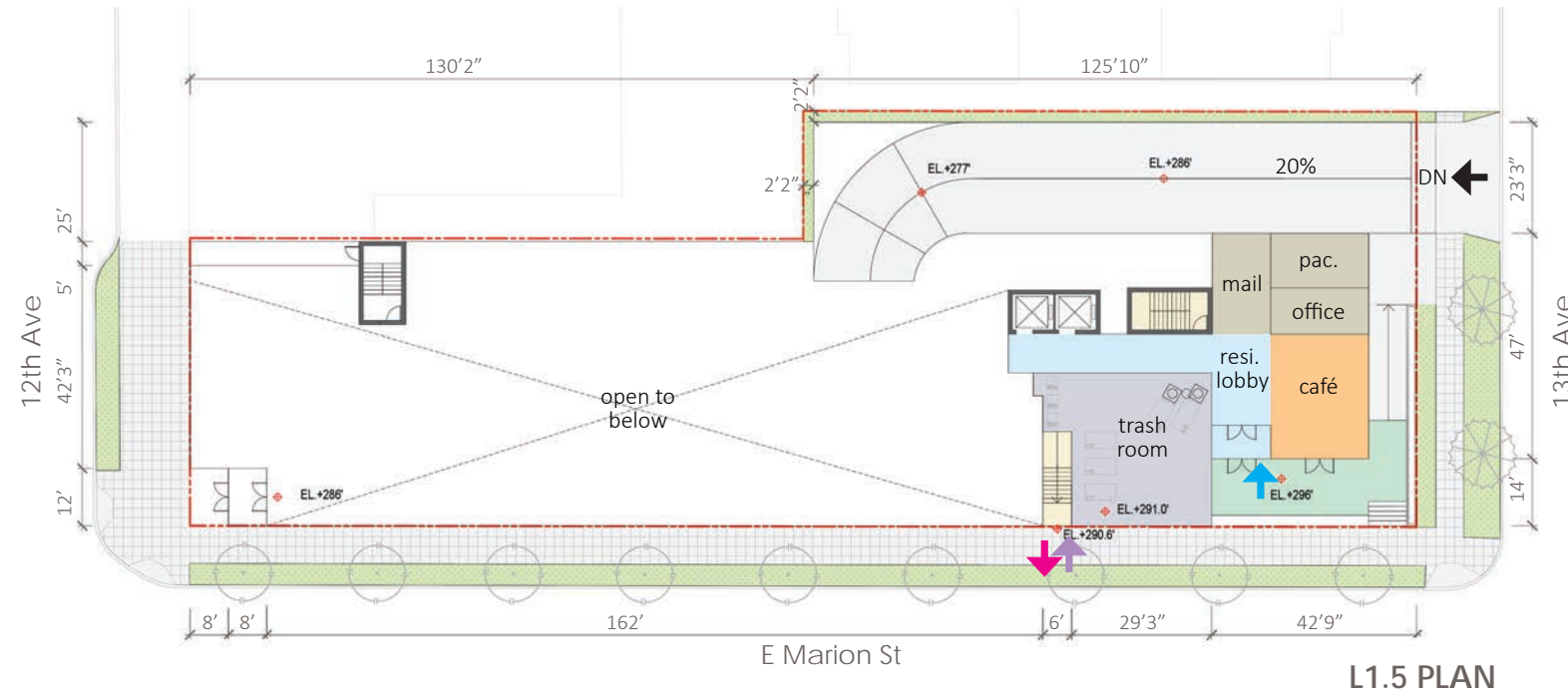
**RESPONSE:** The applicant's latest preferred ground level plan relocates both the garage entry and trash room and servicing to E Marion St. This saves the Exceptional tree on 13th. The applicant is also proposing ground level apartment units with their own sidewalk level porches along 13th ave. The latest preferred plans now has only residential uses fronting 13th ave.

- E,F: Consideration of layout and orientation of the residential entry, bike storage, temporary bike parking and cafe entry, Including the location of the ADA ramp to promote safety, ease of access, and sidewalk interaction

**RESPONSE:** With the relocation of the garage ramp and the trash room, the Applicant has revised the residential lobby plan and moved the location of the residential entry to 13th Ave. where it is now more closely aligned with the elevation of the sidewalk. The number of stairs and accessible ramp lengths have been reduced and the ramp now is perpendicular to the sidewalk. Bike parking is accessed via a direct entry door off E Marion st. down to the bike parking room on L1. Stair "wheel ramps" will be provided for ease of transporting bikes up and down one short flight of stairs. (about 6' of elevation change)



## EDG#2 | GROUND LEVEL USE AND BUILDING SERVICING STUDIES



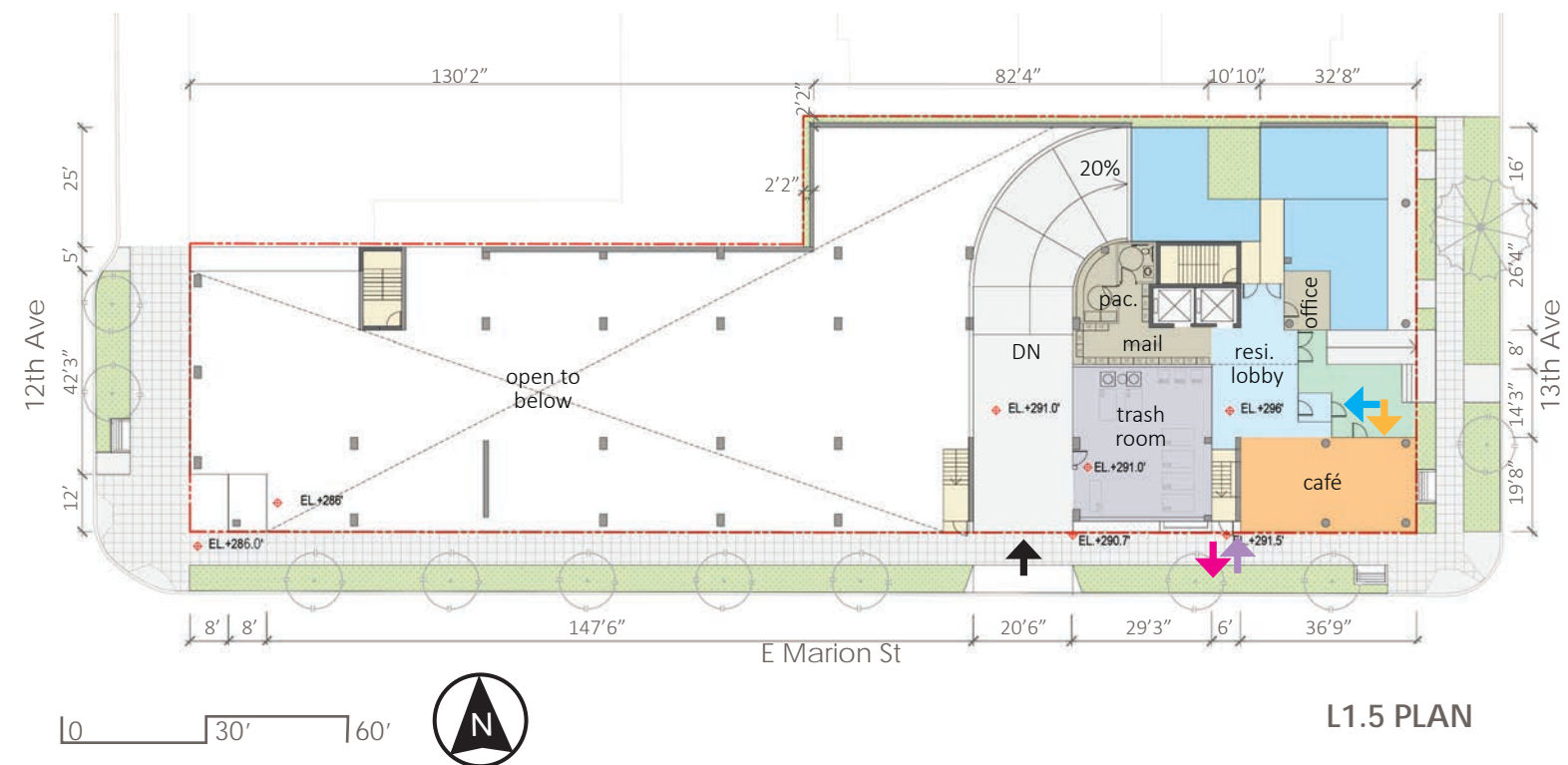
### STUDY 1: TRASH ROOM @ E MARION, AUTO ACCRSS @ 13TH

#### Highlights:

- Garage entry ramp remains on 13th Ave.
- Significant street tree on 13th Ave. will need to be removed (Not Supported by SDOT)
- Trash room moved to E Marion St.
- Residential lobby entry and cafe entry remain off E Marion St.
- 13th Ave. frontage taken up by ADA ramp and garage entry

#### Compliance:

- No departure needed



### STUDY 2: ALL SERVICING OFF E MARION (PREFERRED)

#### Highlights:

- Garage entry ramp moved to E Marion St. (Supported by SDOT)
- Trash room and trash pickup located off E Marion St. (Supported by SDOT)
- Residential and cafe entries moved to 13th Ave. to better align with sidewalk grades, reducing required steps and ADA ramp lengths at entry stoop
- Ground level apartments added to NE corner of the project
- 13th Ave. frontage now consists of residential porches, stoops and entries

#### Compliance:

- Departure #2 needed - Setback abutting residential zones

#### PROGRAM

PCNW	bike parking	open amenity	circulation
gym	café	trash room	vehicle parking
amenity	residential lobby	mail & package	residential unit

#### ACCESS

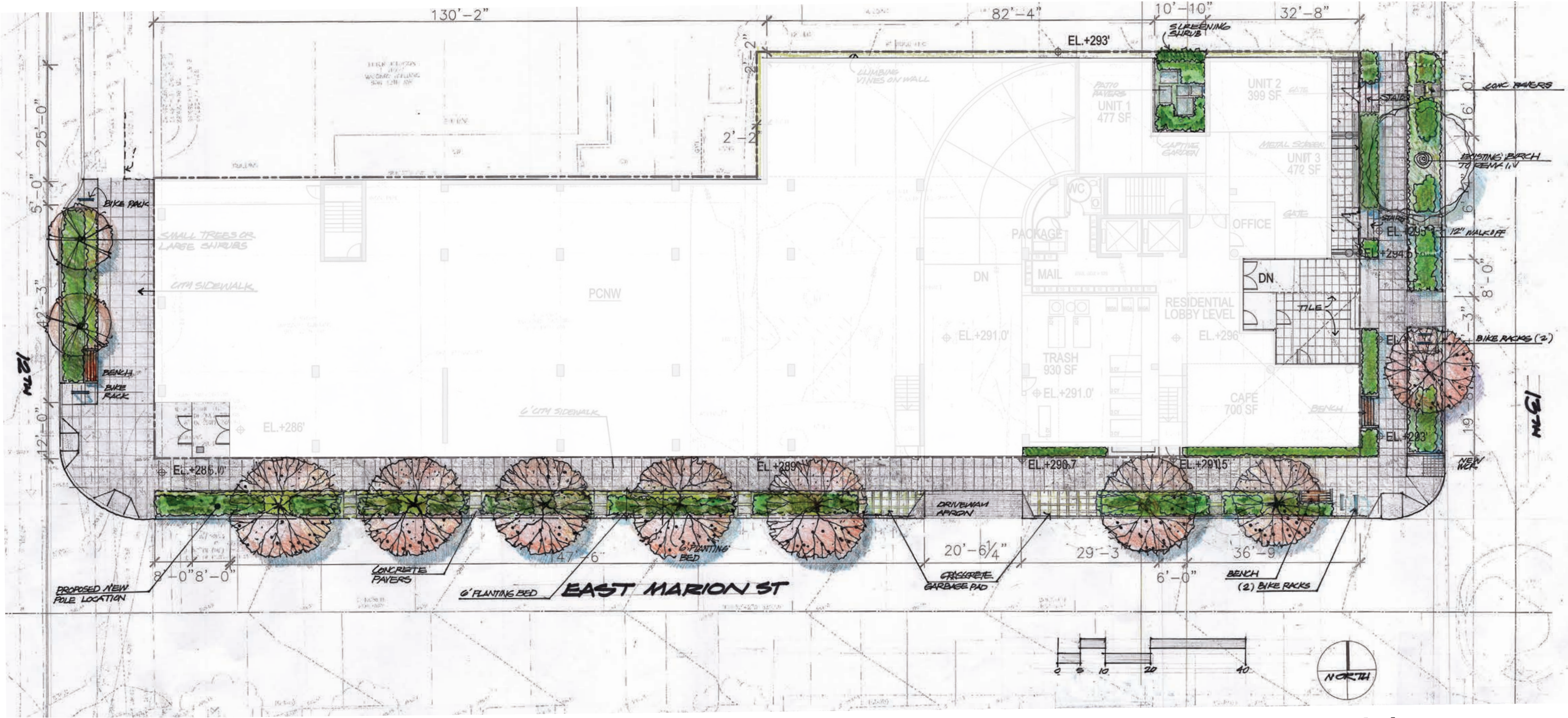
vehicular access	residential entry
PCNW access	café entry
bike access	egress



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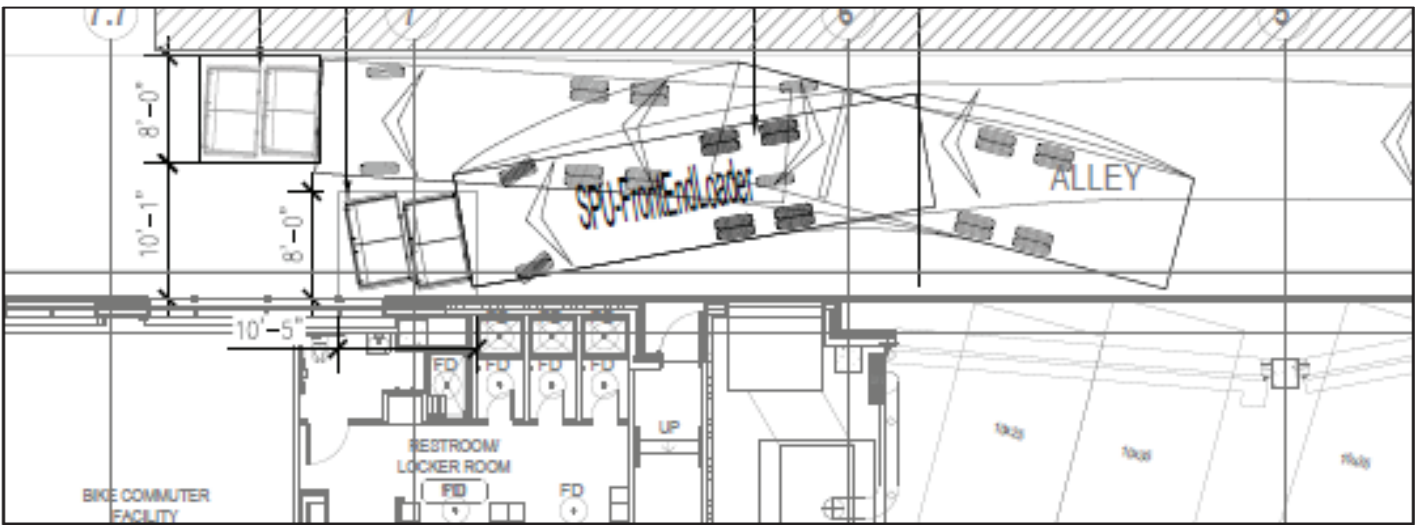
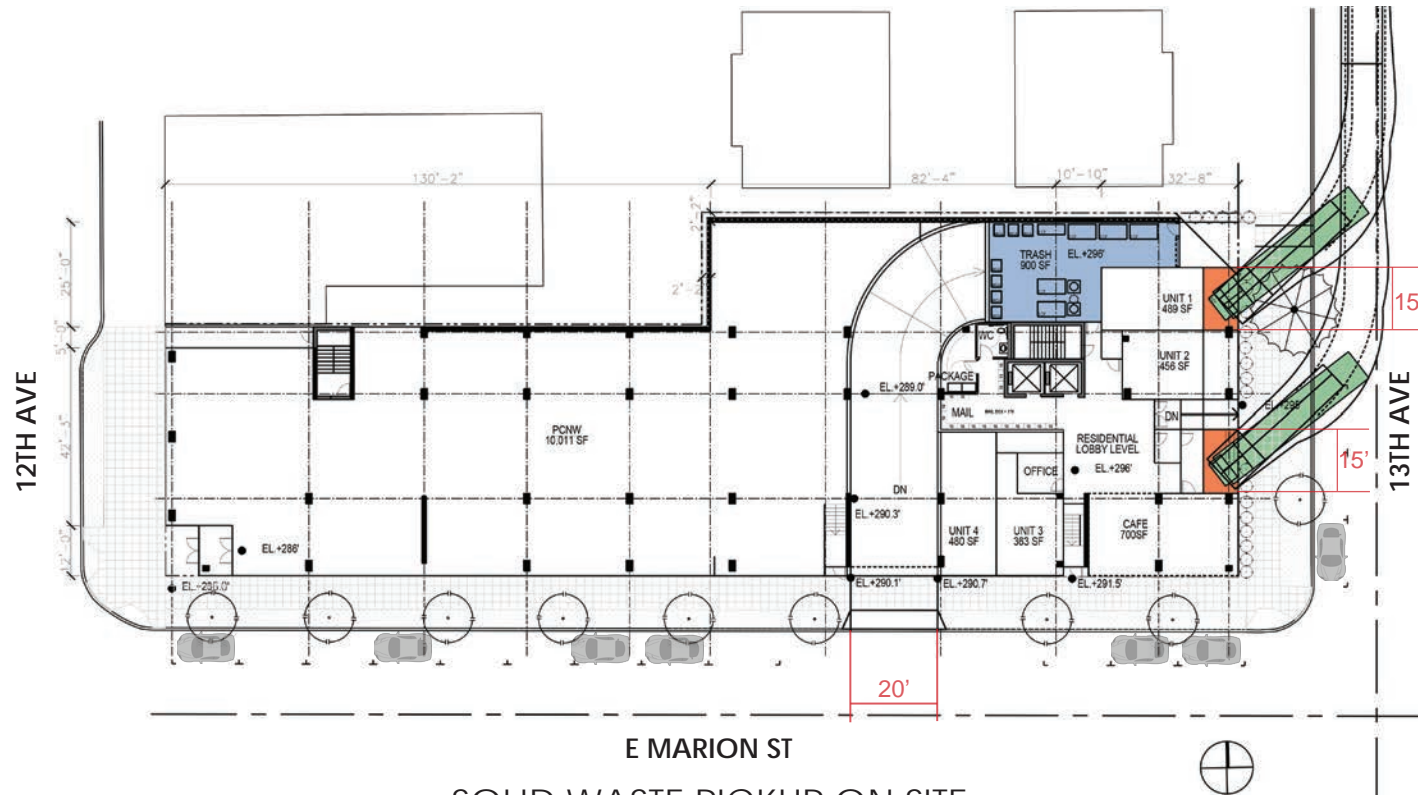
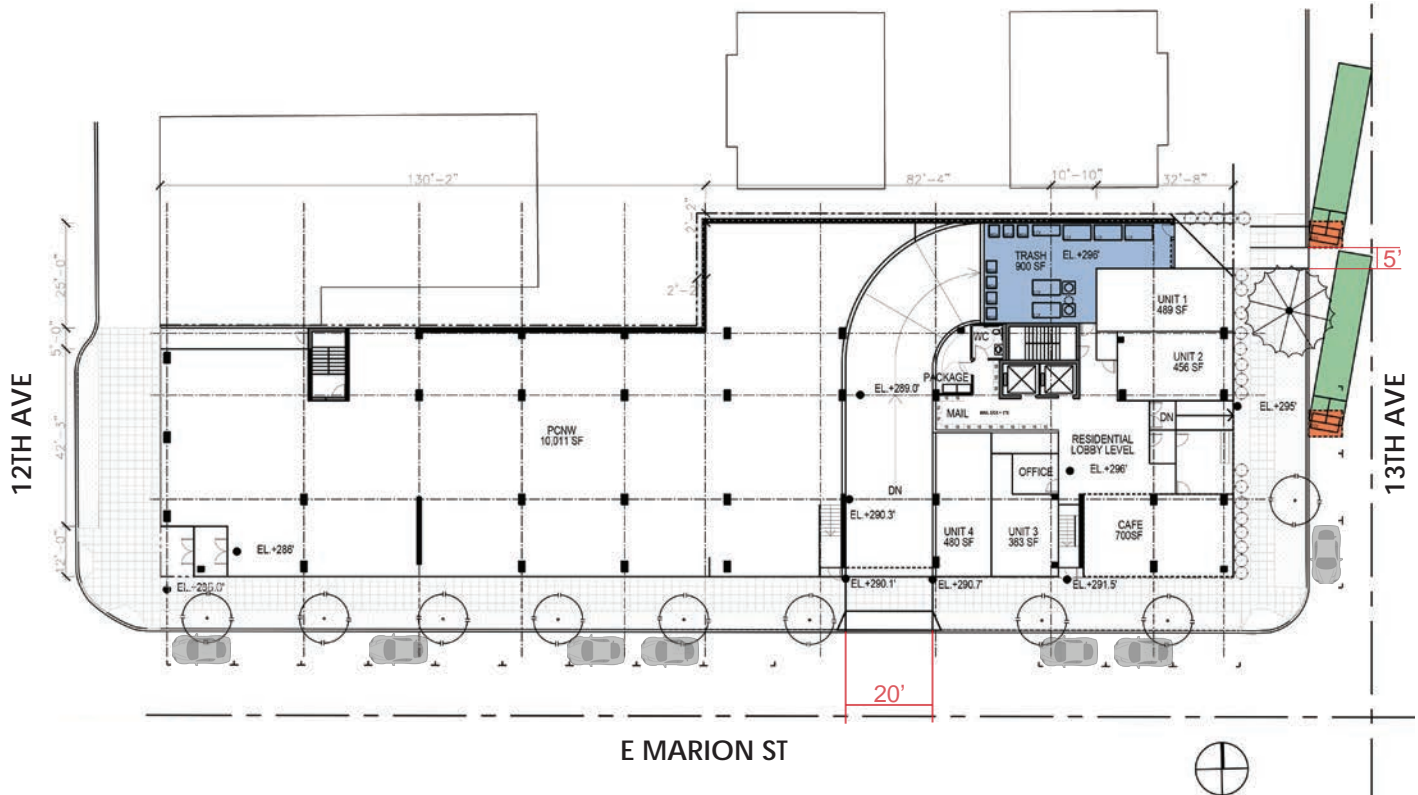
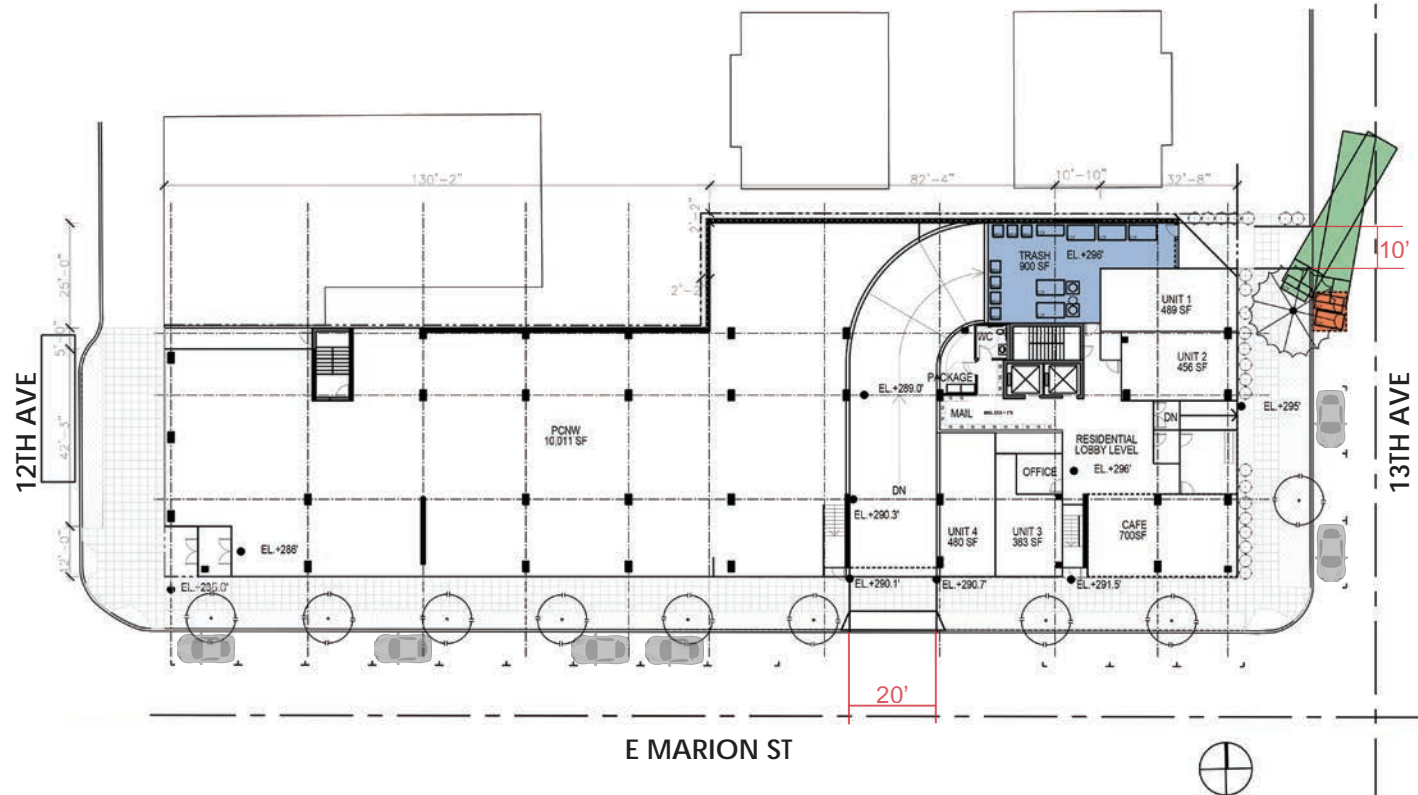


PROPOSED LANDSCAPE GROUND LEVEL PLAN





SOLID WASTE PICKUP DIAGRAMS OFF 13TH AVE (NOT SUPPORTED BY SPU/SDOT)



EXAMPLE: SEATTLE STACKED BINS PICKUP

LEGEND

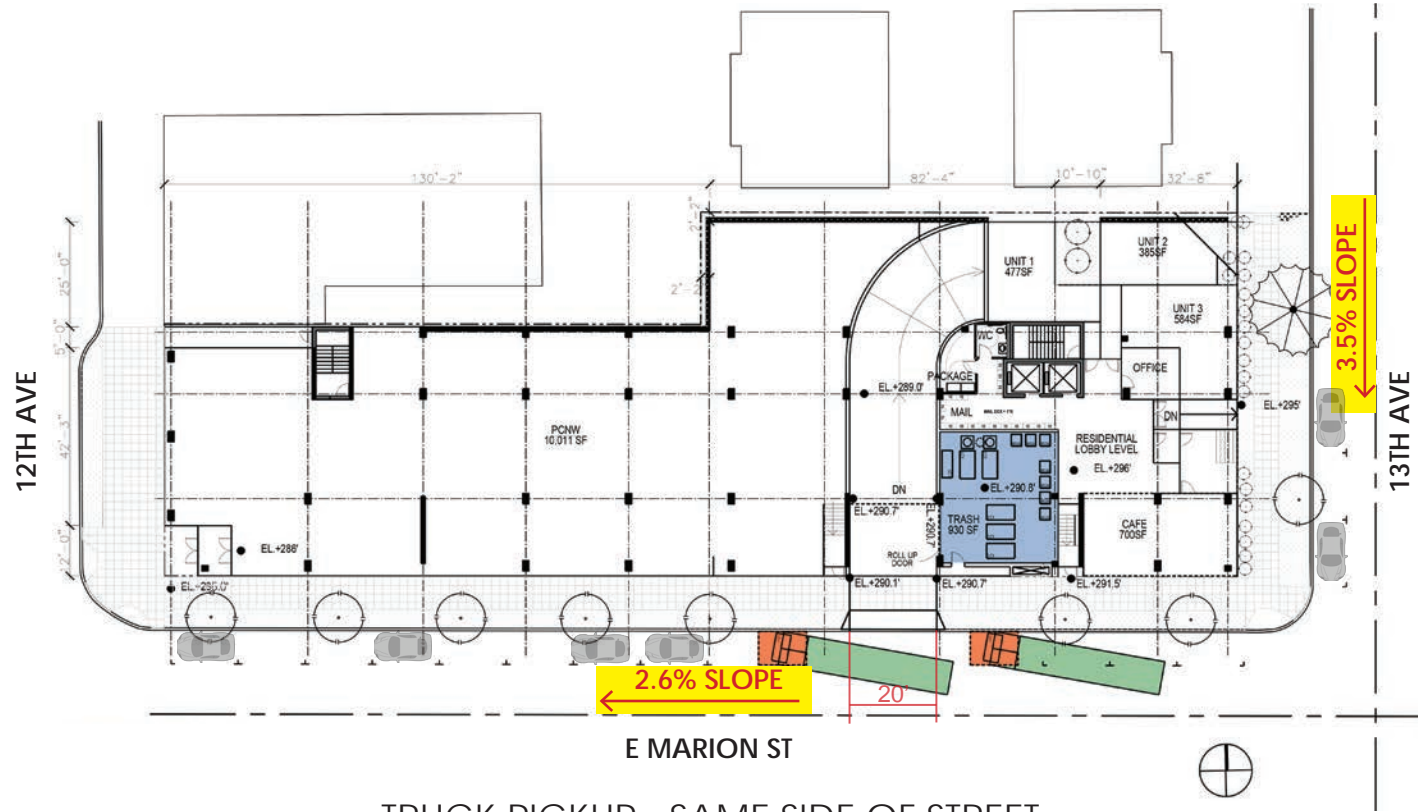
trash room

trash pickup truck

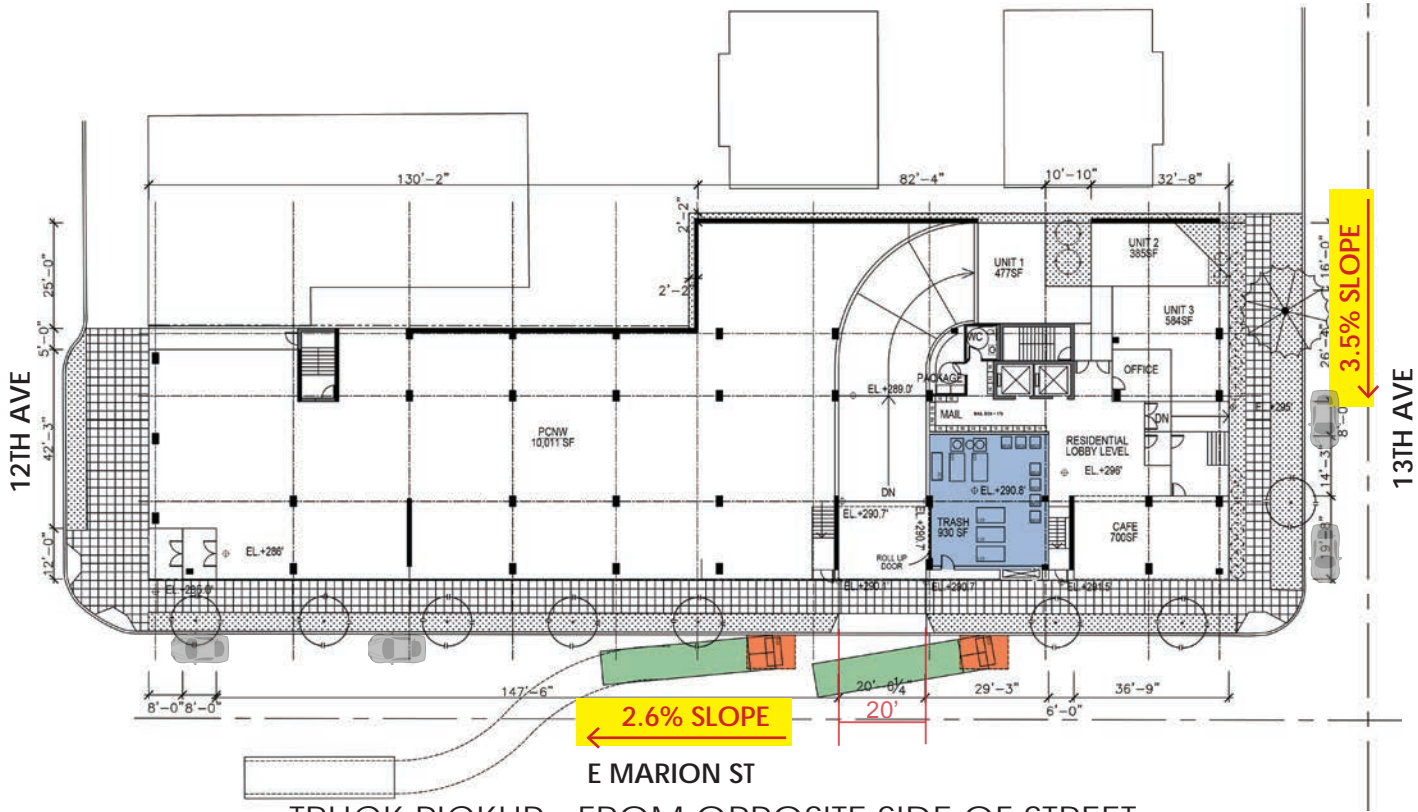
0 30' 60'



SOLID WASTE PICKUP DIAGRAMS OFF 13TH AVE (SUPPORTED BY SPU/SDOT) - PREFERRED



TRUCK PICKUP - SAME SIDE OF STREET



TRUCK PICKUP - FROM OPPOSITE SIDE OF STREET

LEGEND

trash room

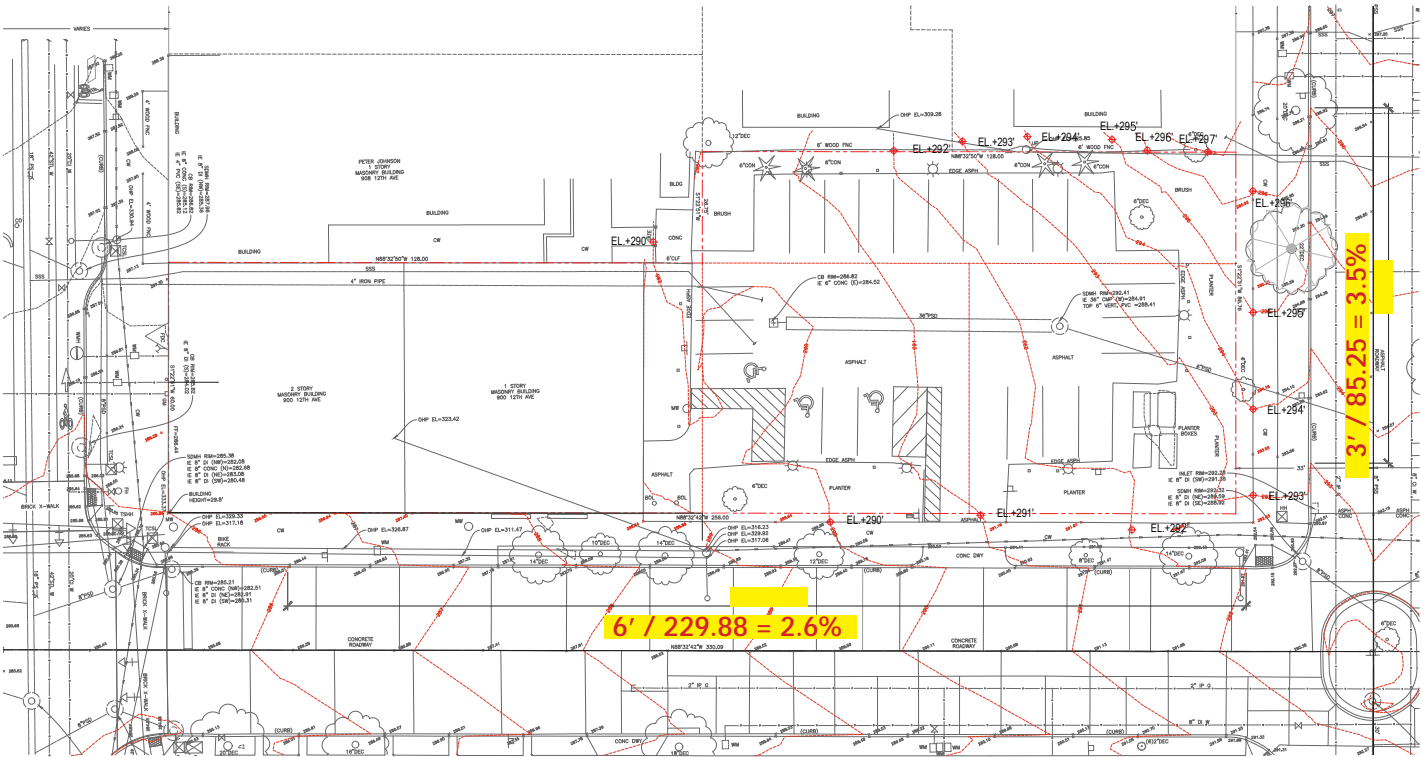
trash pickup truck

0

30'

60'

N

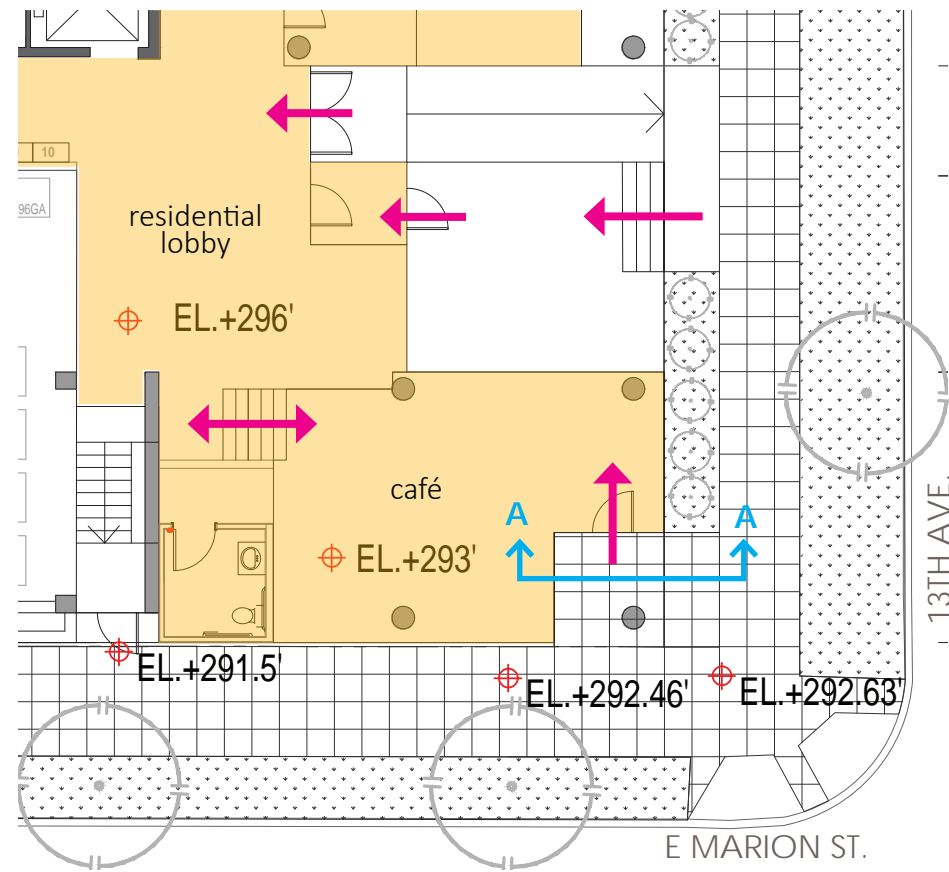


SURVEY STREET SLOPE ANALYSIS



## SOUTHEAST BUILDING CORNER STUDY

## STUDY 1: CAFE ENTRY @ E MARION ST.



ENLARGED PLAN

## OPPORTUNITIES:

1. CORNER CAFE'S FLOOR ELEVATION IS LOWERED TO SIDEWALK LEVEL TO ALLOW DIRECT ACCESS OFF THE SIDEWALK FROM E MARION ST.



SECTION A-A

## CHALLENGES:

1. AN INTERIOR STAIR IS NEED TO CONNECT THE CAFE SPACE TO THE RESIDENTIAL ENTRY MAKING IT HARDER FOR THE CAFE TO BE USED AS PART OF THE LOBBY.
2. THE CAFE'S ALREADY SMALL SIZE IS FURTHER REDUCED AND DOMINATED BY CIRCULATION AND A BATHROOM. THE RESULTING DOMINANT STREET CORNER ENTRY INTO SUCH A SPACE IS CONFUSING AT BEST.
3. LOWERING THE FLOOR SLAB ELEVATION AT THE CAFE IMPACTS THE USABLE B1 RESIDENTIAL AMENITY SPACES BELOW



13TH AVE. ELEVATION

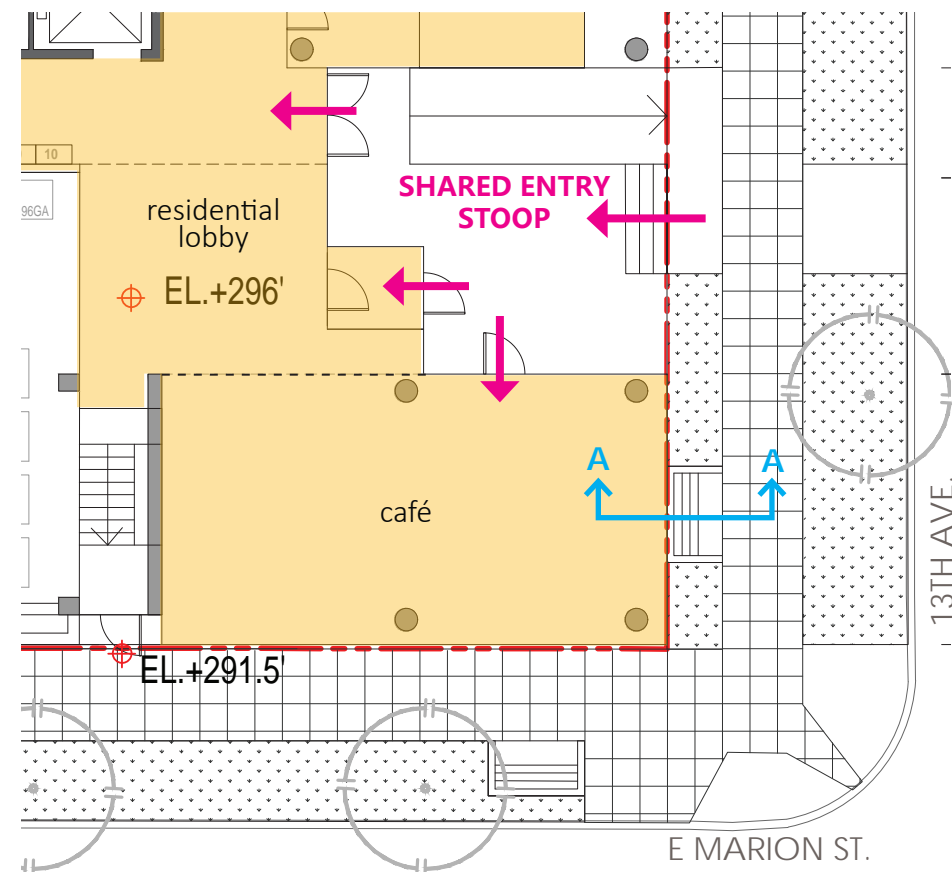


E. MARION ST. ELEVATION



## SOUTHEAST BUILDING CORNER STUDY

### STUDY 2: CAFE ENTRY AT SHARED PORCH @ 13th AVE. (PREFERRED)



ENLARGED PLAN

#### OPPORTUNITIES:

1. CORNER CAFE'S FLOOR ELEVATION IS THE SAME AS THE RESIDENTIAL LOBBY AND ACCESSED OF A COMMON PORCH ALONG 13TH AVE.
2. SLIGHTLY ELEVATED FLOOR OF THE CAFE AT THE STREET CORNER ALLOWS FOR SOME SEPARATION BETWEEN SIDEWALK USERS AND CAFE GUESTS WHILE MAINTAINING VISUAL CONNECTIONS AND A BETTER VANTAGE POINT FOR "EYES ON THE STREET". STREET FURNITURE AND LANDSCAPE HELP TO SOFTEN THAT EDGE.
3. SIZE OF CAFE IS LARGE ENOUGH TO BE VIABLE AND IS ENVISIONED AS AN EXTENSION OF THE RESIDENTIAL LOBBY THAT HELPS TO ACTIVATE THE ENTIRE GROUND LEVEL.
4. THE CAFE CAN SHARE SUPPORT SPACES LIKE RESTROOMS WITH THE RESIDENTIAL LOBBY MAKING THIS LAYOUT MUCH MORE EFFICIENT.



SECTION A-A

#### CHALLENGES:

1. CAFE FLOOR ELEVATION IS ELEVATED ABOVE THE SIDEWALK

#### CENTRAL AREA DESIGN GUIDELINES:

**CS1-1-A.** RESPOND TO LOCAL TOPOGRAPHY WITH TERRACES, STOOPS...USE APPROPRIATELY SCALED ROCKERIES, STAIRS AND LANDSCAPING TO TRANSITION BETWEEN THE SIDEWALK, BUILDING FACADE AND ENTRANCES...

**PL3-1-C&G.** PROMOTE TRANSPARENCY "AND EYES ON THE STREET" AT RESIDENTIAL PROJECTS, PROVIDE COUPLED ENTRIES WHERE POSSIBLE TO FOSTER A SENSE OF COMMUNITY AND VISUAL INTEREST IN BUILDING ENTRYWAYS. PROVIDE GENEROUS PORCHES AT THESE ENTRIES TO ENCOURAGE SITTING AND WATCHING THE STREET.



13TH AVE. ELEVATION



E. MARION ST. ELEVATION





FOCUS  
APARTMENTS

FOCUS CAFE



SOUTHEAST BUILDING CORNER REFERENCE IMAGES

CORNER RETAIL REFERENCE IMAGES

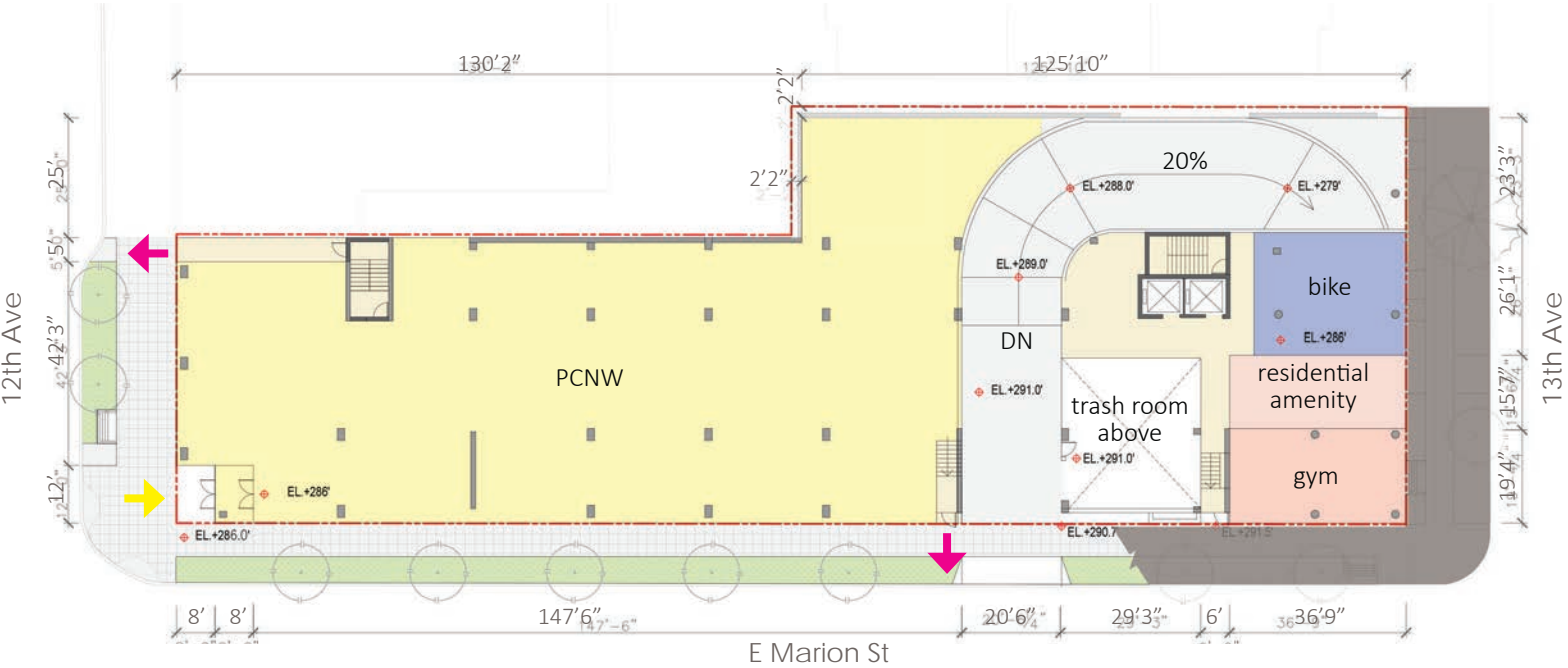


RESIDENTIAL ENTRANCE REFERENCE IMAGES

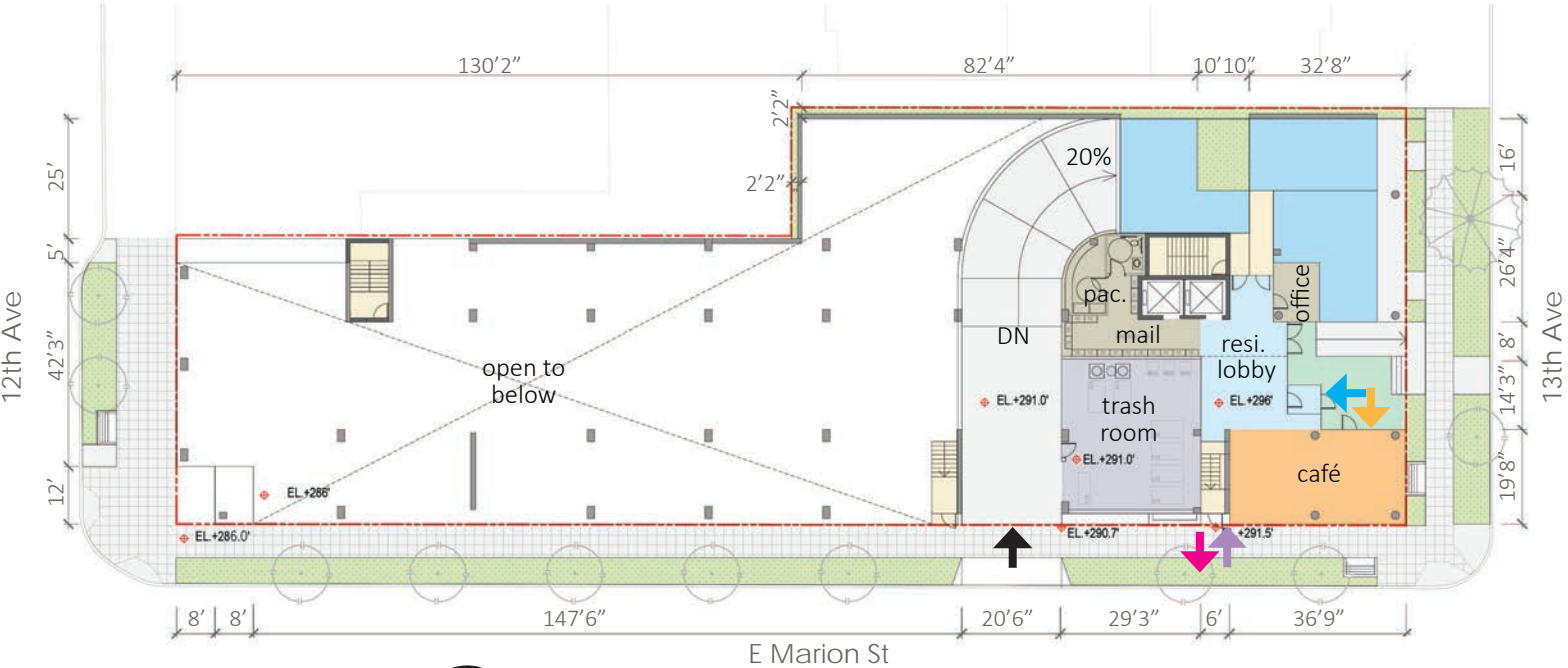




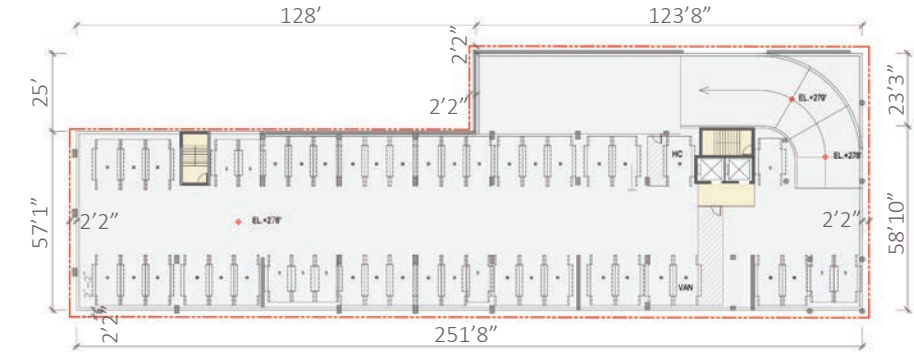
CONCEPT 5 - THE CONVERGENCE | FLOOR PLANS



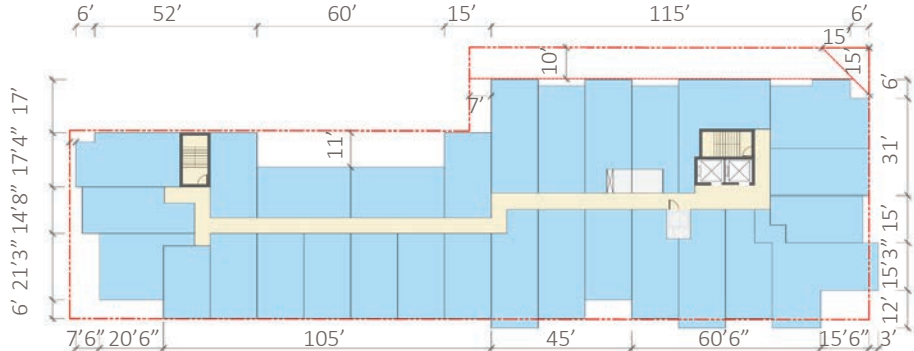
L1 PLAN



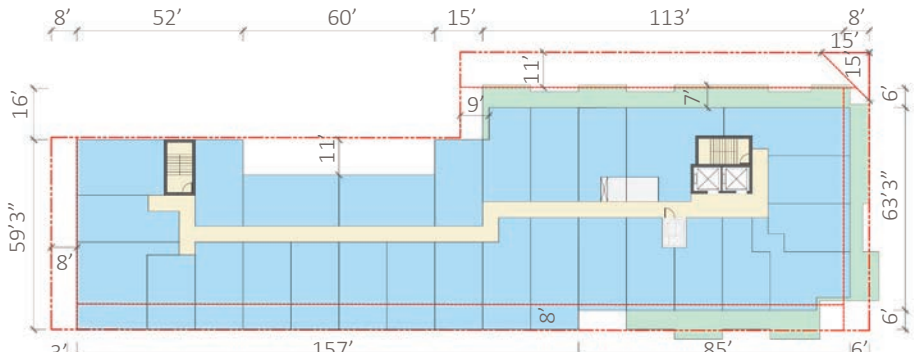
L1.5 PLAN



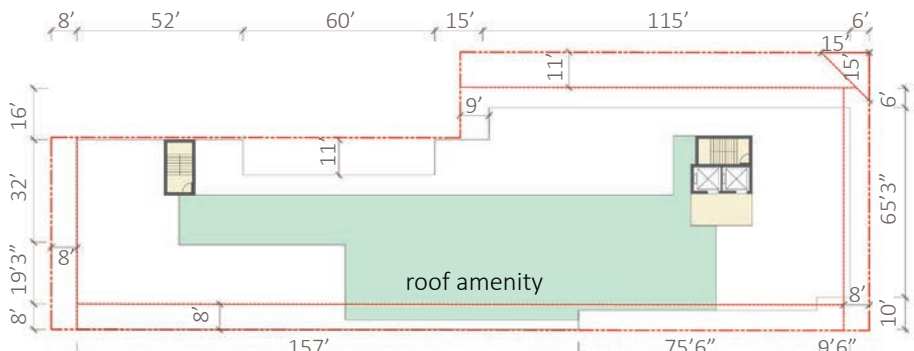
P1 PLAN



Typical  
L4-L5 PLAN



L7 PLAN



ROOF PLAN

PROGRAM

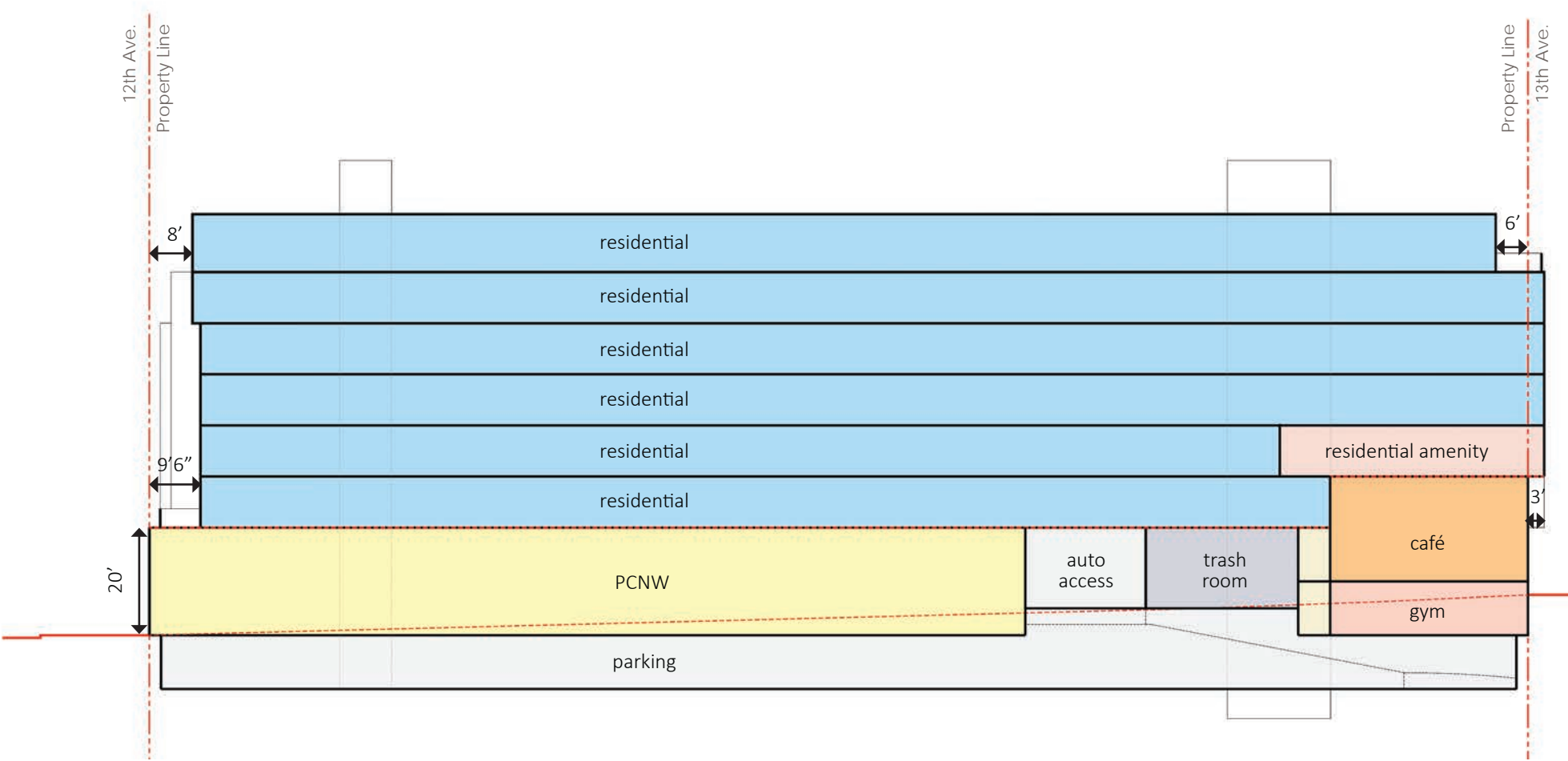
- PCNW
- gym
- amenity
- bike parking
- café
- residential lobby
- open amenity
- trash room
- mail & package
- circulation
- vehicle parking
- residential unit

ACCESS

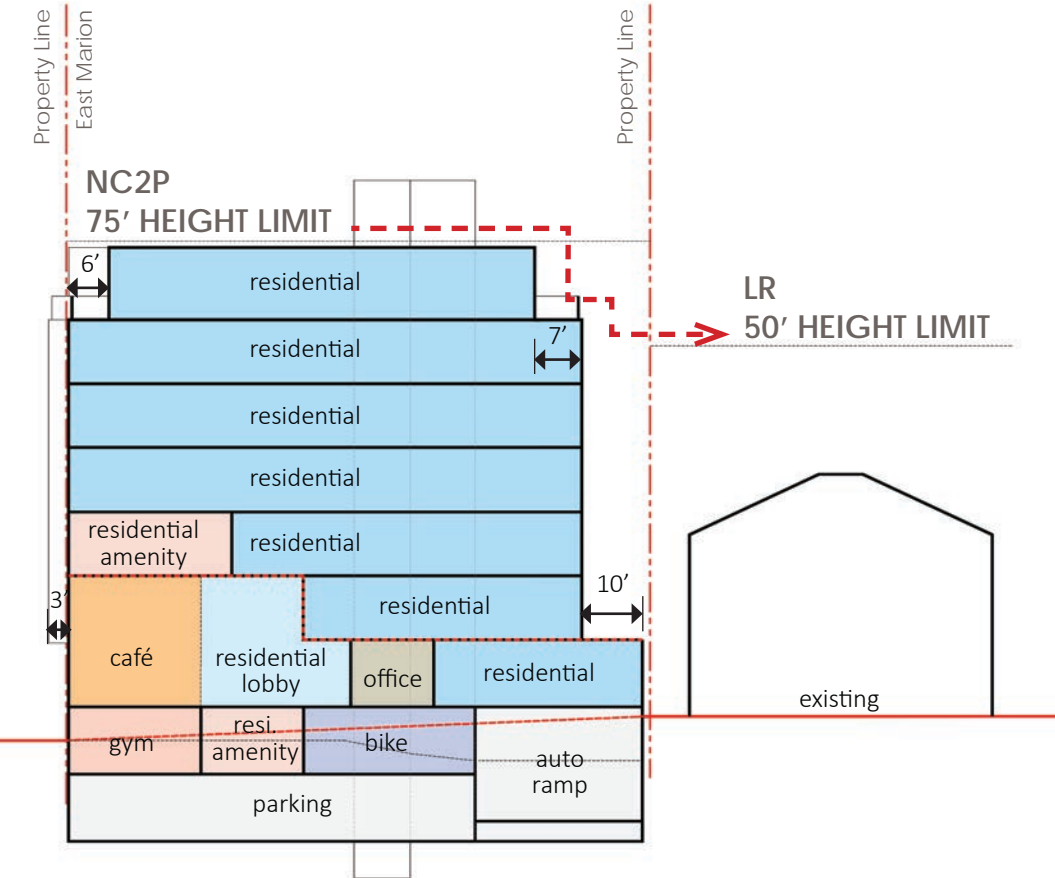
- vehicular access
- PCNW access
- bike access
- residential entry
- café entry
- egress



CONCEPT 5 - THE CONVERGENCE | TYPICAL SECTIONS



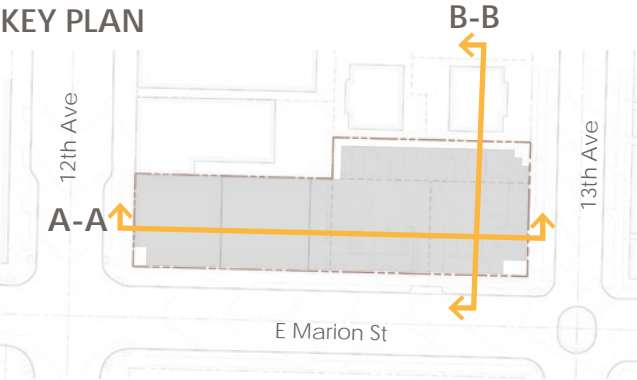
SECTION A-A



SECTION B-B

0 40 FT

- PROGRAM**
- |         |                   |                |                  |
|---------|-------------------|----------------|------------------|
| PCNW    | bike parking      | open amenity   | circulation      |
| gym     | café              | trash room     | vehicle parking  |
| amenity | residential lobby | mail & package | residential unit |





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DEPARTURES

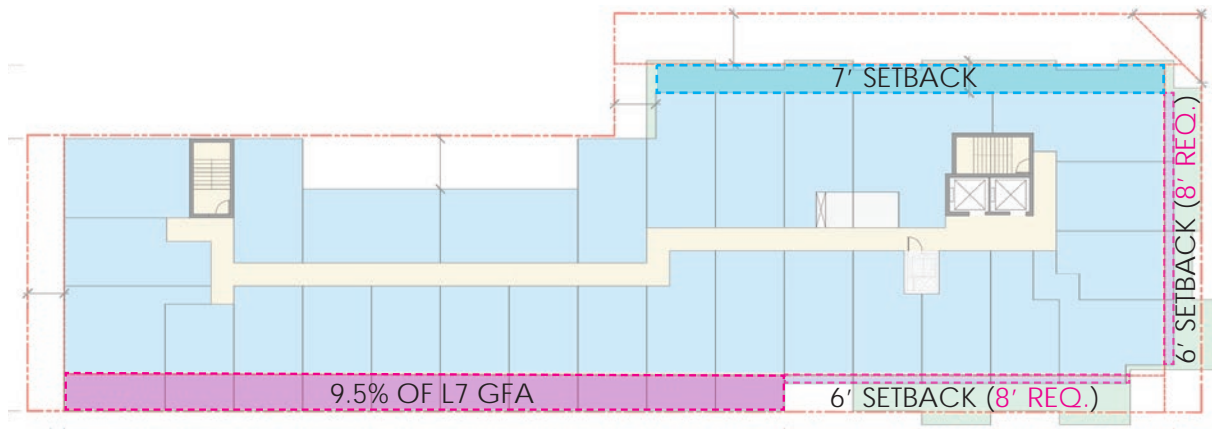


DEPATURE #1 SMC 23.47A.014.C - UPPER LEVEL SETBACK (APPLIES TO CONCEPT 5)

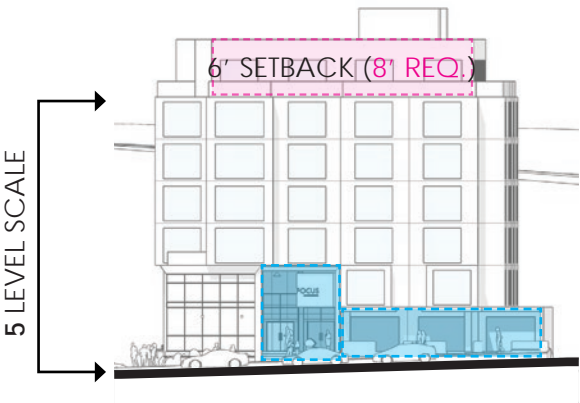
STANDARD	REQUIREMENT	PROPOSED	JUSTIFICATION
SMC 23.47A.014.C Upper-level setbacks for street-facing facades.	For zones with a height limit of 75 feet, 85 feet, or 95 feet, the street-facing facade shall be set back as follows: 1. For zones with a height limit of 75 feet, portions of structures above 65 feet must be set back from the front lot line by an average depth of 8 feet.	Request a departure from the full required upper level facade setback along a portion of E. Marion St. and additionally request a reduced setback of 6' instead of 8' along 13th ave. and portions of E. Marion. The building is currently required to provide an 8' deep setback on all of its 3 street frontages on the top floor (Level 7). By allowing a portion of the top floor to remain flush with the rest of the building at the SW corner, a stepped massing expression along E. Marion street is possible with the taller massing (7 levels perceived) relating in height to the new Seattle U science building to the west and the shorter massing (5 levels perceived) relating to the residential context to the east.	This departure allows for a stepped massing expression along E. Marion St. It does not result in a bigger building (development FAR) but allows for additional larger residential units. The departure allows for additional articulation along the north, west and east facing facades and deeper ground level setbacks at the residential entry stoop and unit porches along 13th. Setback reductions on the north and west side of the street have minimal solar impact.  CS2-1-B Transition and Delineation of Zones PL1-2-B Connection Back to the Community PL3-2-I Porches and Stoops DC2-1-C,D,E Building Layout and Massing DC3 -1-C Common Open Spaces



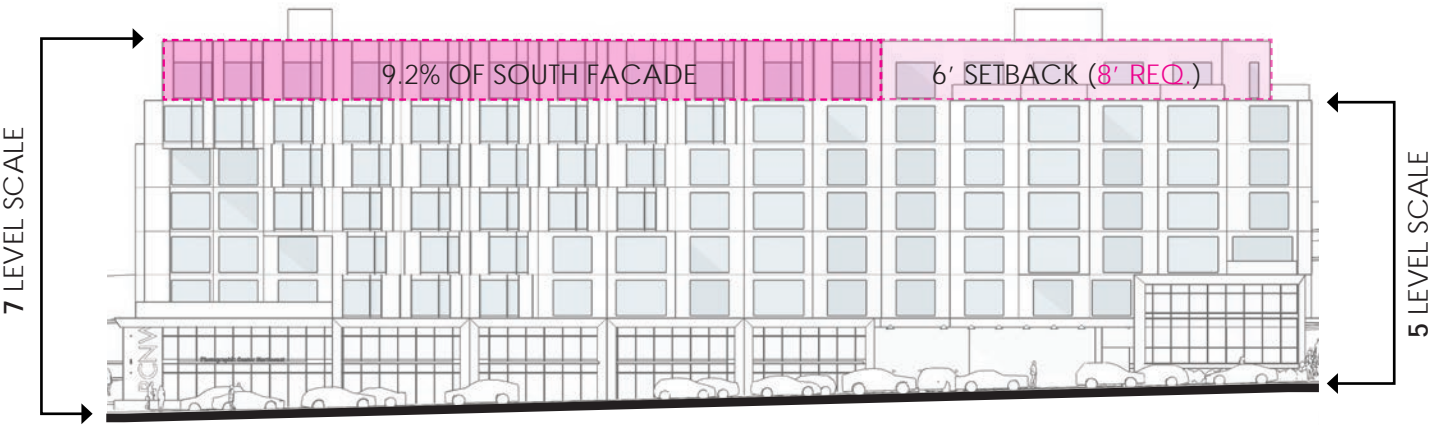
DEPARTURE #1 UPPER LEVEL SETBACK DIAGRAMS



L7 PLAN SHOWING REQUIRED AND VOLUNTARY SETBACKS



EAST ELEVATION (13TH AVE)



SOUTH ELEVATION SHOWING REQUIRED AND VOLUNTARY SETBACKS (E MARION ST)



NORTH ELEVATION SHOWING VOLUNTARY SETBACKS

departure request zone    voluntary setback zone



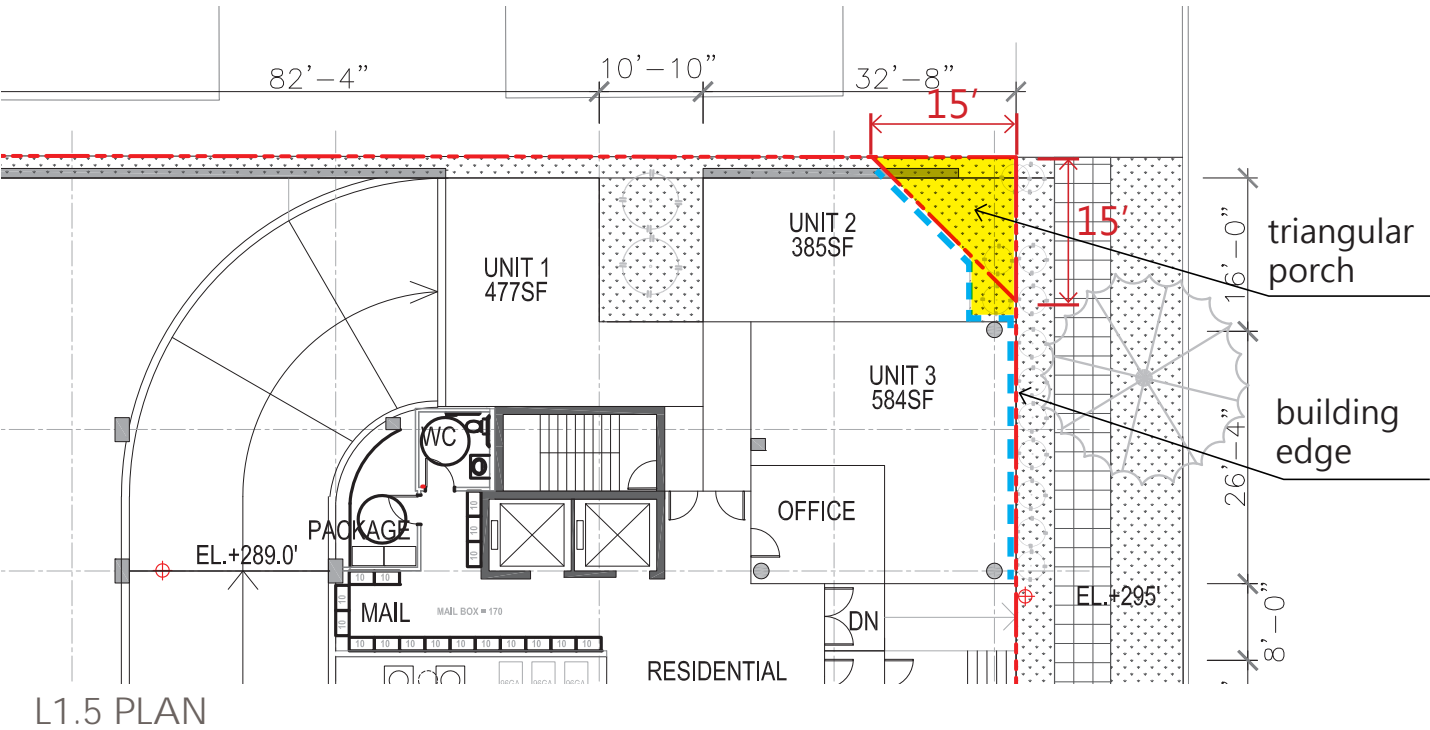
DEPATURE #2 SMC 23.47A.014.B - SETBACK ABUTTING RESIDENTIAL ZONES (APPLIES TO CONCEPT 5)

STANDARD	REQUIREMENT	PROPOSED	JUSTIFICATION
SMC 23.47A.014.B Setback requirements for lots abutting or across the alley from residential zones.	1. A setback is required where a lot abuts the intersection of a side lot line and front lot line of a lot in a residential zone or a lot that is zoned both commercial and residential if the commercial zoned portion of the abutting lot is less than 50 percent of the width or depth of the lot. The required setback forms a triangular area. Two sides of the triangle extend along the street lot line and side lot line 15 feet from the intersection of the residentially zoned lot's front lot line and the side lot line abutting the residentially zoned lot. The third side connects these two sides with a diagonal line across the commercially zoned lot.	Request a departure from the triangular setback zone at the Northeast corner of the lot to allow one level of a corner of a street level residential unit to encroach into the 15' setback zone by 50%, 7'10" vs the required 15'.	<p>This departure allows for a consistent street edge condition of residential porches that is uniform in depth along 13th Ave. and avoids the creation of a potentially unsafe deeper angled void space at the street that is foreign to the overall massing design of the project. Has minimal impact to sightliness from the adjacent lot due to existing trees and landscape at the property line and the fact that the requested encroachment is only one story tall.</p> <p>CS2-1-B Transition and Delineation of Zones PL1-2-B Connection Back to the Community PL3-2-I Porches and Stoops DC2-1-C,D,E Building Layout and Massing</p>

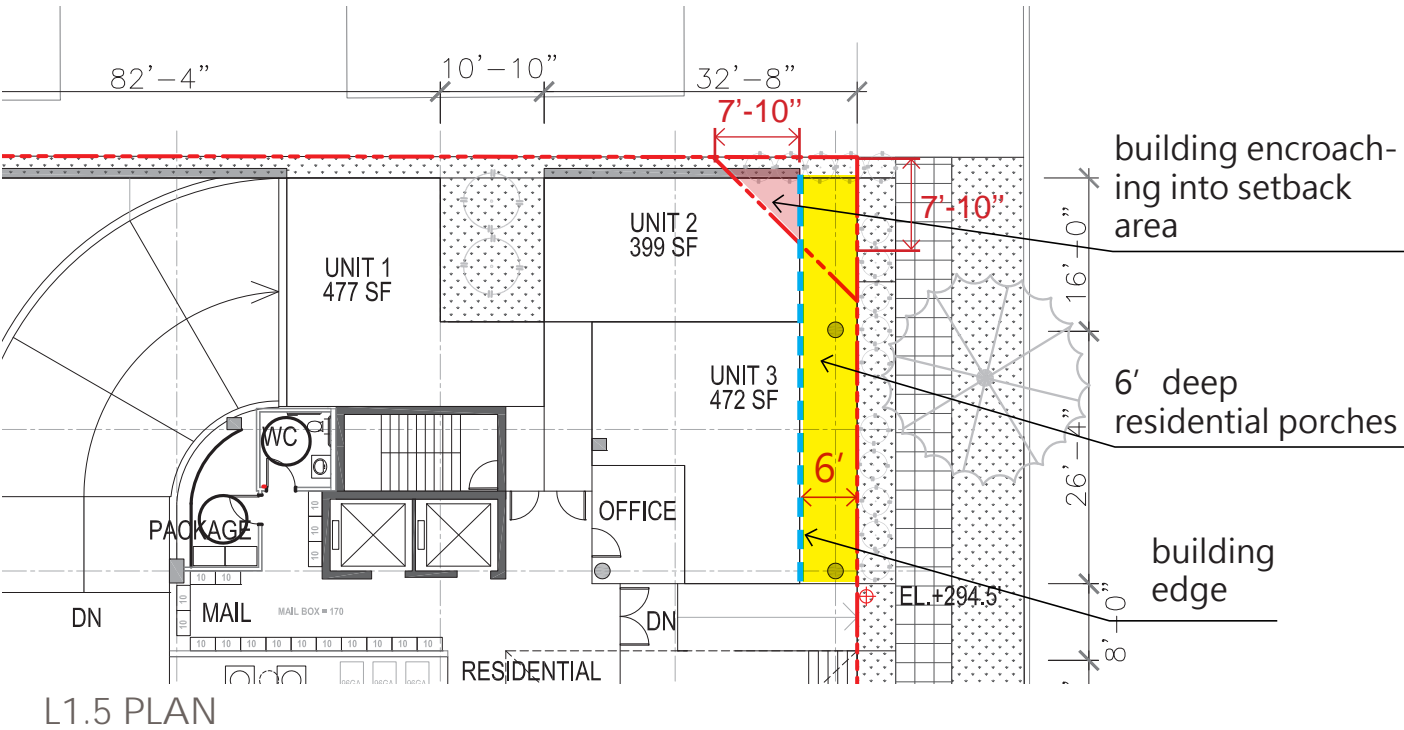


DEPARTURE #2 NE CORNER RESIDENTIAL PORCHES OPTIONS

OPTION1 (CODE COMPLIANT)



OPTION2 (DEPARTURE REQUEST) - **PREFERRED**



VIEW TOWARDS 13TH AVE RESIDENTIAL UNITS

VIEW TOWARDS 13TH AVE RESIDENTIAL UNITS



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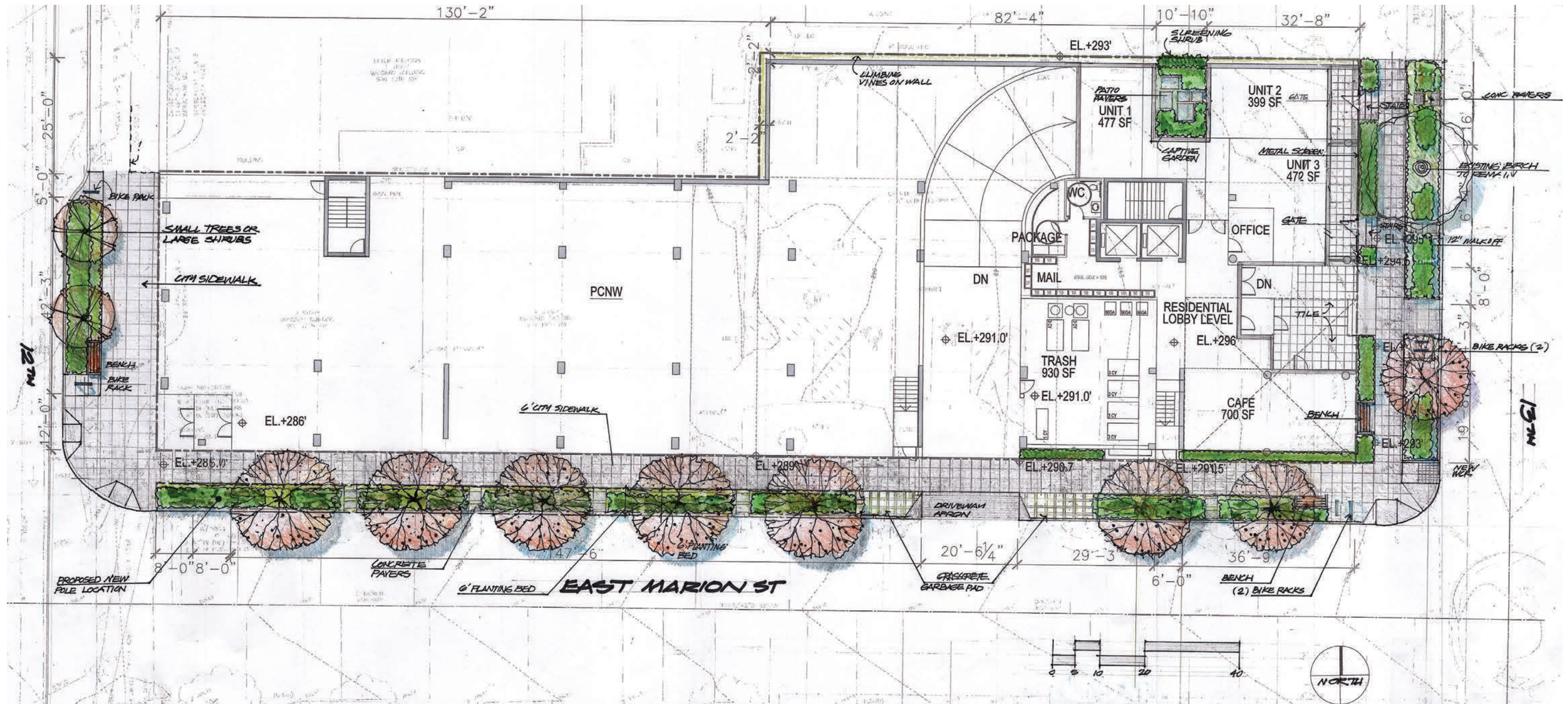


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LANDSCAPE  
ARCHITECTURE



## LANDSCAPE ARCHITECTURE: PROPOSED STREET TREES AND PLANTING BEDS



### SITE PLAN DEVELOPMENT NARRATIVE

#### STREETS, SIDEWALKS AND SITE FURNITURE

The project will include the removal of the existing street trees, sidewalks, and demolition of all structures within the property lines.

New curbs and sidewalks will be provided along 12th Ave., 13th Ave. and East Marion Street. New standard width sidewalks will have the City of Seattle Standard two-foot grid pattern of broom finished concrete. On East Marion Street and on 12th and 13th Avenues a 6' width planting bed will align with the street curb. The proposed street trees will be selected by the City of Seattle, however KLLA is recommending columnar English Oak for East Marion Street. Along 13th Avenue, a larger growing and spreading locust will provide filtered light with their small leaves and open structure. The smaller leaves are easier to maintain. Two small trees are proposed along 12th Ave because of overhead power lines and a 30-foot setback requirement from the street corner. There is an increase of street trees, from 8 to 11.

Parking access will be re-paved with broom finished concrete. Seattle Standard bike racks are located near both west entrances and near the southeast corner of the property. Benches are proposed near the sidewalk at the corner of East Marion and 13th and near the building entrance on 12th.

#### PLANTINGS

Plantings are chosen for ease of maintenance, variety of color, texture, drought tolerance, and seasonality.



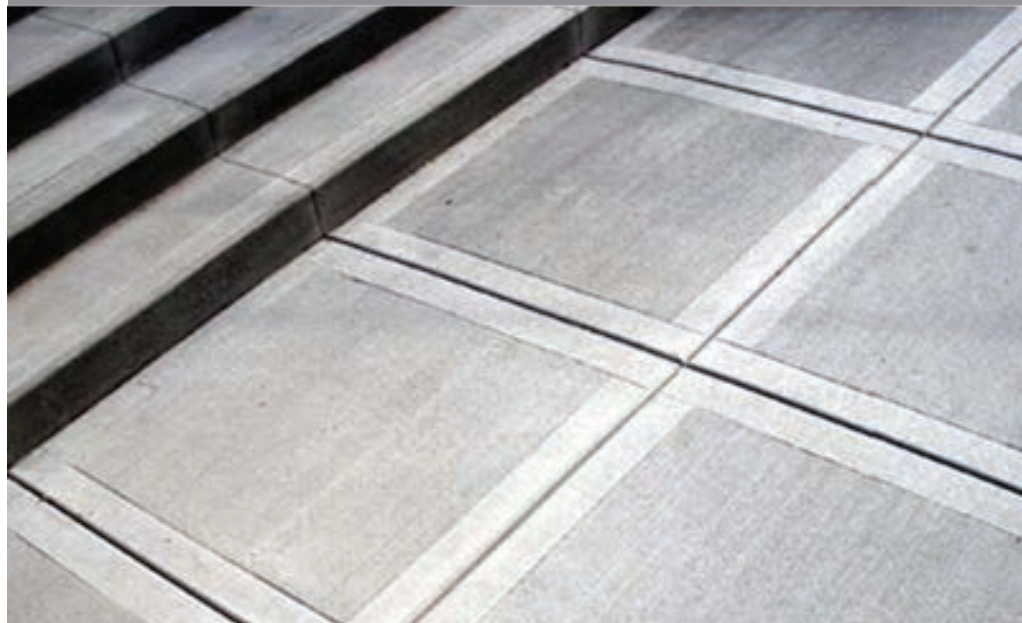
## LANDSCAPE ARCHITECTURE: STREET LEVEL MATERIALS



BROOM FINISH CONCRETE - DRIVEWAY



BIKE RACK



STANDARD CITY OF SEATTLE SIDEWALK  
2'X2' PATTERN, BROOM FINISH



BACKLESS WOOD BENCH



DARK BRONZE



### PAVEMENTS

### SITE FURNITURE

### LIGHTING



## LANDSCAPE ARCHITECTURE: STREET LEVEL PLANTS



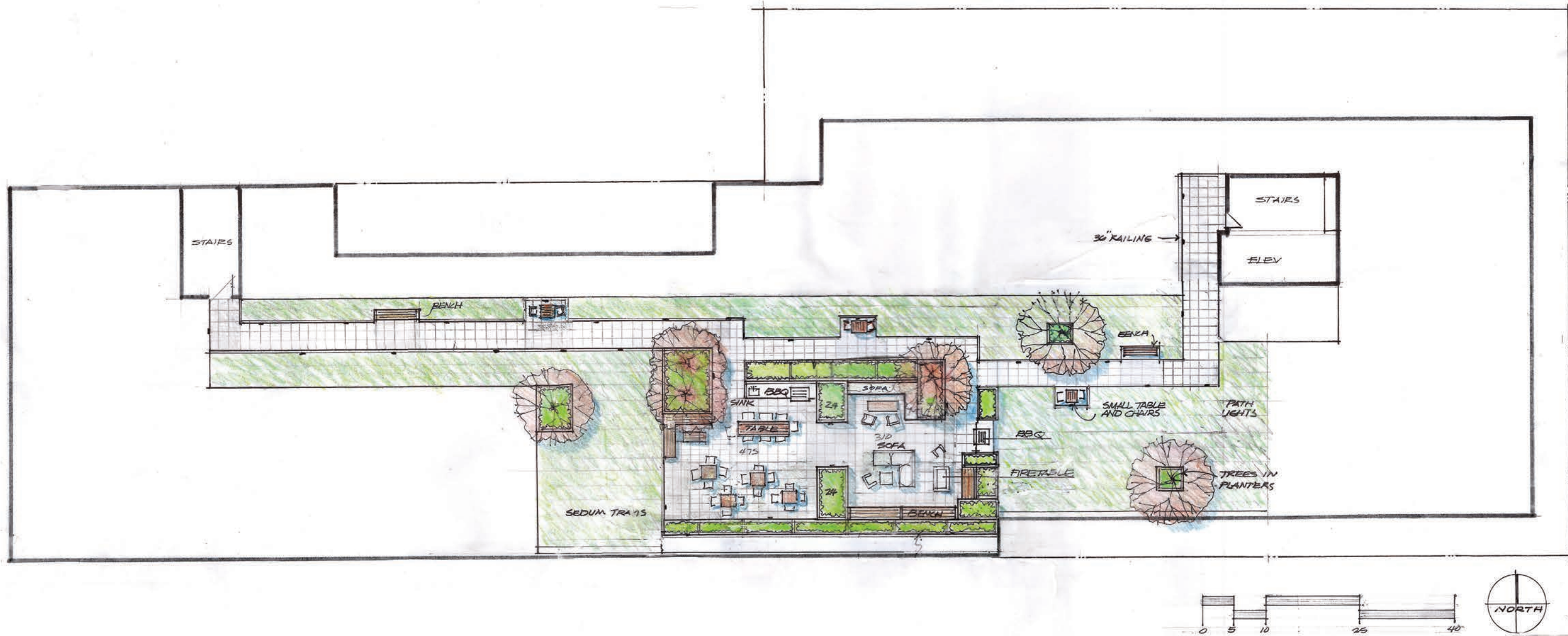
## STREET TREES



## PLANTING BEDS



# LANDSCAPE ARCHITECTURE: ROOF LEVEL PLAN



Roof Level Plan



## LANDSCAPE ARCHITECTURE: ROOF LEVEL MATERIALS



BBQ



FIBERGLASS PLANTERS



PATH LIGHTS



SOFA, SYNTHETIC WICKER



METAL, WOOD, AND FABRIC FURNITURE



FIRETABLE



# LANDSCAPE ARCHITECTURE: ROOF LEVEL PLANTS



PINUS AURORA / AURORA PIINE IN CONTAINER



ACER PALMATUM CRIMSON QUEEN



ARBUTUS OCTOBERFEST / OCTOBERFEST STRAWBERRY BUSH



PHYLLOSTACHYS NIGRA / BLACK BAMOO IN CONTAINERS



ACORUS GRAMINEUS AUREUS / SWEET FLAG



SEDUM TRAYS



IBERIS SEMPERVIRENS / CANDYTUFT



LIRIOPE SPICATA / LILY TURF



ARCTOSTAPHYLOS UVA URSI / KINNINNICK



RAPHIOLEPSIS UMBELLATA MINOR



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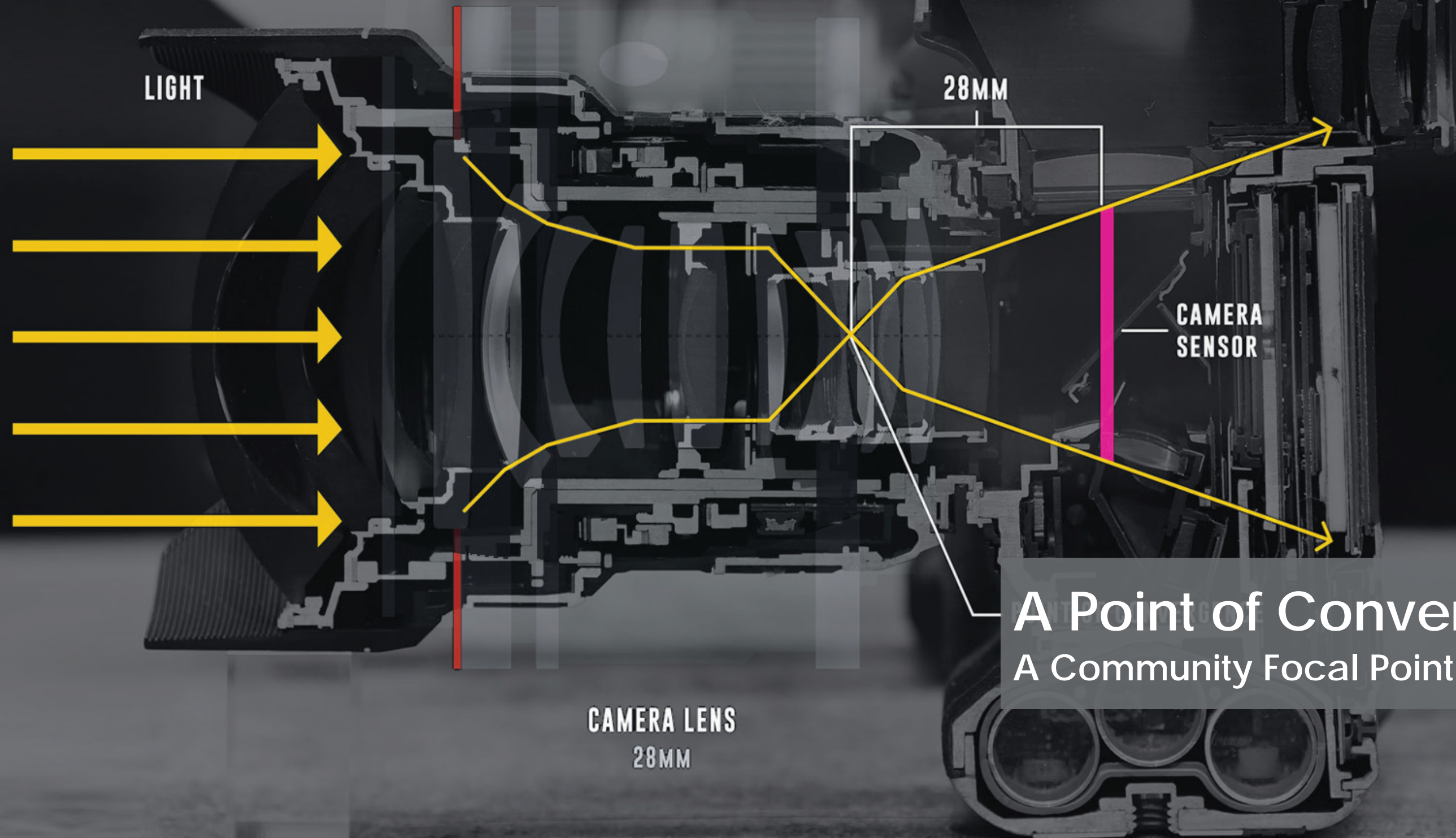


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CONCEPT DEVELOPMENT  
OF PREFERRED OPTION



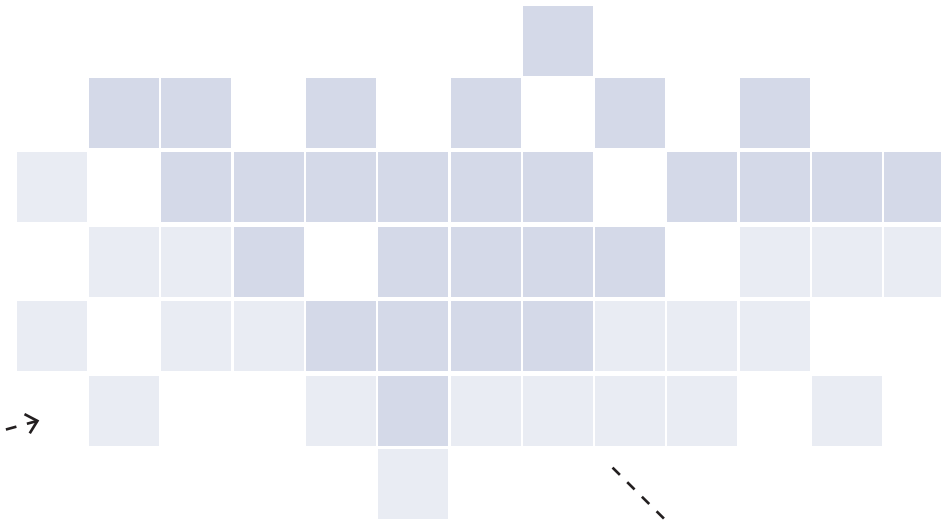
# Let's Create ...



**A Point of Convergence**  
A Community Focal Point



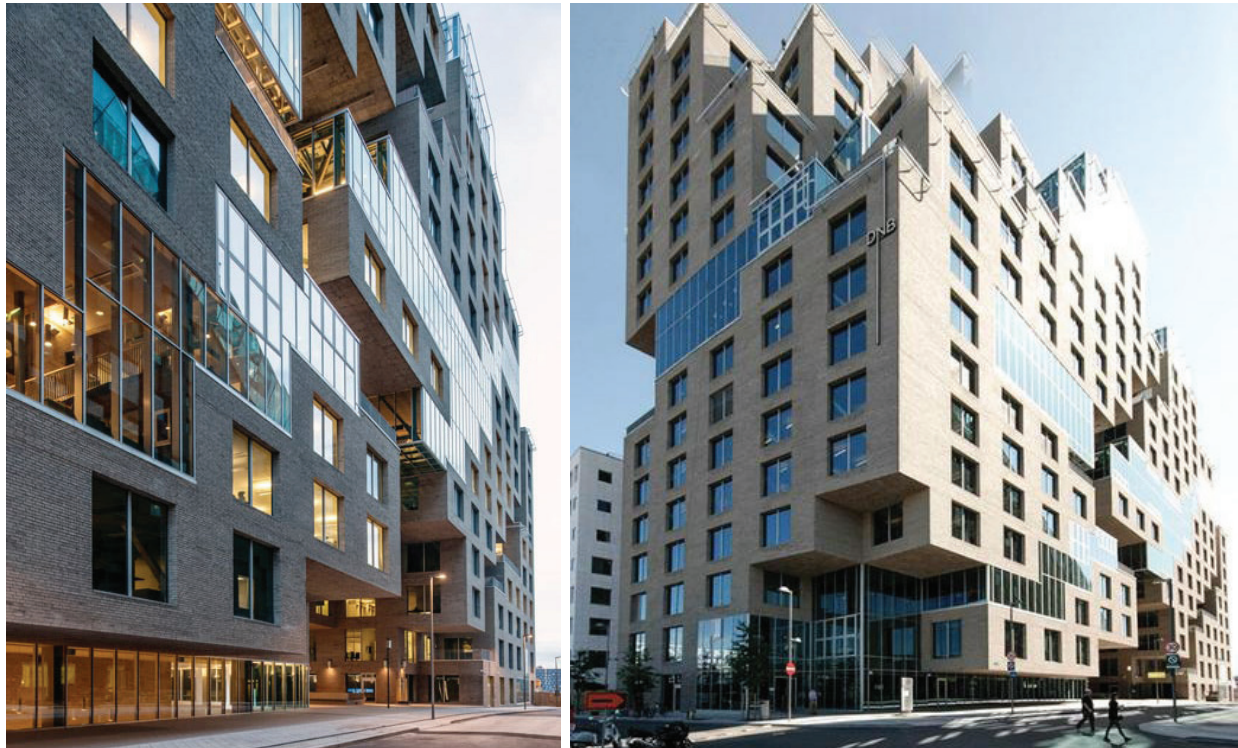
# The “Pixel” Story



# The “Pixel” Moment



FACADE REFERENCE IMAGES



STEPPED BUILDING RECESSES HIGHLIGHT BUILDING ENTRIES AND CORNERS



DYNAMIC WINDOW PATTERNING CREATES MOVEMENT ON THE FACADE



CONTRAST IN FACADE PANEL COLORS ENHANCES OVERALL MASSING MOVES



DYNAMIC PANEL PATTERNING BREAKS DOWN SCALE AND CREATES INTEREST AND MOVEMENT











