



#3036292-EG
425 N 85th Street
Early Design Guidance
16 June 2020
Greenbank Holdings LLC

SHW

ADDRESS

425 N 85th Street
SDCI# 3036292-EG

PROJECT TEAM

Owner	Greenbank Holdings LLC
Architect	SHW
Surveyor	Chadwick & Winters
Arborist	Layton Tree Consulting
Community Outreach	Natalie Quick Consulting

PROJECT INFO

Zoning	NC2-55(M), NC2P-55(M)
Overlays	Greenwood-Phinney Ridge RUV Parking Flexibility
Lot Area	23,974 SF
Proposed Units	200
Vehicle Parking	None
Bicycle Parking	~175

PROJECT BRIEF

The proposal includes replacing two small commercial buildings with a mixed-use development within the Greenwood Neighborhood Town Center. The building includes 200 units and approximately 1,500 sf of retail space. Residential composition includes a mixture of market rate 1 bedroom units and small efficiency dwelling units. No parking is proposed in this pedestrian and transit focused area. The project provides high quality housing and sensible retail space to a well connected area, and furthers the vitality of the mixed-use corridor along N 85th Street and Greenwood Avenue N.

PRIORITY GUIDELINES:

GREENWOOD/PHINNEY CS2.I.i: STREETSCAPE COMPATIBILITY

Continue existing development patterns along N 85th Street by orienting commercial uses towards the street, design porous building edge at or near the sidewalk, and increase width of adjacent sidewalks and planting strips to enhance the pedestrian experience. Dayton Avenue N focuses on the transition to the residential neighborhood to the south. Residential uses near grade use a change in massing, materiality and landscaping to differentiate and buffer from the street.

GREENWOOD/PHINNEY CS2.II.i/ii: HEIGHT, BULK AND SCALE COMPATIBILITY

The overall building massing is articulated to reduce bulk. Combining horizontal and vertical articulation to create smaller masses helps organize the massing to be compatible with development in the vicinity. Massing setbacks are provided at the south where adjacent zoning transitions to small-scale residential. Articulation and extensive landscaping coupled with an increased setback at ground-level where otherwise allowed, achieve a sensitive transition to the less intensive zone.

CS2.B.2: CONNECTION TO THE STREET

The site's proximity to the core of the Greenwood Town Center and the development potential of the parking lot to the west gives potential to a future “retail wall” along N 85th Street. This is the driving force for locating commercial uses at the NW corner of the site. Retail will meet the street but provide space for pedestrians with wider sidewalks and planting strip to buffer from vehicle traffic on the arterial. Mature street trees are to remain and additional improvements will create a consistent, balanced streetscape.

GREENWOOD/PHINNEY CS3.I/II: ARCHITECTURAL CONTEXT AND CHARACTER

Scale and proportion, as well as detailing and fenestration patterns, contribute to the contemporary language set by new development in the neighborhood.

GREENWOOD/PHINNEY PL2.I.i: PEDESTRIAN OPEN SPACES AND ENTRANCES

The primary commercial and residential entries are placed in direct relationship with pedestrian routes. The commercial entry is recessed, accompanied by large windows and continuous overhead protection. The residential entry is a large, glassy identifiable volume separated from commercial by a shared greenspace accommodating a mature, existing tree.

GREENWOOD/PHINNEY DC2.I: FAÇADE ARTICULATION AND MODULATION ON MIXED-USE BUILDINGS

Façade articulation is limited; thoughtful detailing balances the simple massing without overwhelming it, especially at street-facing facades. The smaller moves follow the larger massing setback where the exceptional tree is to be retained, creating a space that can be enjoyed by residents, retailers and passersby. Blank walls are minimal and human scale elements enhance the pedestrian realm.

DC2.E.1: LEGIBILITY AND FLEXIBILITY

The residential amenity space at the NE building corner will be designed to accommodate a second retail space in the future. All ground floor retail characteristics including interior height, transparency and corner entry are established to allow for future flexibility.

DC3.B.4: OPEN SPACE USES AND ACTIVITIES

The proposed massing and articulation create the opportunity for a variety of open spaces. Private decks are provided for many units at grade and where the building steps back. An outdoor amenity deck and a roof deck are provided a the upper levels facing the more active N 85th Street.

GREENWOOD/PHINNEY DC4.II: EXTERIOR FINISH MATERIALS

High quality, durable, modern finish materials are intended for the building. Colors, textures and scales will be chosen to fit with both residential and commercial neighborhood context.

GREENWOOD/PHINNEY DC4.III: EXTERIOR ELEMENTS

Native plantings in a variety of shapes and textures will be used to provide year round interest. Design patterns on-site will be brought into the right of way to reinforce the link between building and street. Rear yard plantings to be provided at private unit decks and at grade to buffer adjacent residential neighbors.

INDEX

Project Info / Proposal	1
Urban Design Analysis	2-3
Nine Block 3D View	4
Community Outreach	5
Context Analysis	6-7
Streetscape	8-9
Existing Conditions - Survey	10
Existing Conditions - Site Photos	11
Existing Conditions - Exceptional Tree	12
Scheme Summary	13
Scheme A	14-19
Scheme B	20-25
Scheme C	26-31
Scheme Comparison	
N 85th Frontage	32
South Transition	33
Concept Development	
Form & Expression	34
N 85th Frontage	35
Residential Entry & Courtyard	36
Amenity & Decks	37
Recent Work	38-39

URBAN DESIGN ANALYSIS

ZONING SUMMARY

NC2-55(M) / NC2P-55 (M)

23.47A.004	Permitted Uses
23.47A.005.C.1	Residential Uses at Street Level
23.47A.005.D.1	Non-residential Uses at Street Level
23.47A.005.D.2	Principal Pedestrian Street Designation
23.47A.008.A.2	Blank Façade
23.47A.008.A.3	Street-level, Street-facing Facade Depth
23.47A.008.B.2	Transparency
23.47A.008.B.3	Non-residential Depth
23.47A.008.B.4	Non-residential Height
23.47A.008.C.4	Overhead Weather Protection
23.47A.008.C.5	Maximum Structure Width & Depth
23.47A.008.D.1	Residential Entry
23.47A.012.A	Structure Base Height
23.47A.012.C.4	Rooftop Coverage
23.47A.013.A	FAR Limits
23.47A.013.B	Area Exempt from FAR
23.47A.014.B	Setbacks for Lots Abutting a Residential Zone
23.47A.016.A	Landscape Requirement
23.47A.024.A	Amenity Area
23.54.015	Required Parking
	Residential Bicycle Parking
	Non-residential Bicycle Parking
23.54.040.A	Waste & Recycling Storage
23.54.040.D	Waste & Recycling Storage

Greenwood-Phinney Ridge Residential Urban Village Overlay, Parking Flexibility
Residential permitted outright, Commercial permitted with conditions.
20% max of street-level street-facing façade in pedestrian-designated zone, facing principal pedestrian street.
80% min. of street-level street-facing facade in pedestrian-designated zone, facing principal pedestrian street shall be commercial use or open space.
Pedestrian designated zone facing N 85th Street (applies to the west 115' of frontage).
Blank wall max = 20' segments, 40% of facade between 2' and 8' above finished grade.
Locate 10' max from lot line.

In pedestrian-designated zone, facing principal pedestrian street 60% of the street-facing façade between 2' and 8' above the sidewalk to be transparent.
In pedestrian-designated zone, facing principal pedestrian street, facade(s) at non-residential uses >600 sf = average depth of 30', min depth of 15'.
In pedestrian-designated zone, facing principal pedestrian street, street-level non-residential uses = 13' min. floor-to-floor height.
In pedestrian-designated zone, facing principal pedestrian street, 60% min. continuous on principal pedestrian street frontage, 6' min width.
In pedestrian-designated zone, facing principal pedestrian street = 250' max.
Minimum 1 visually prominent residential entry on street-level street-facing facade.
55'.
Max 20% of roof, max 25% with screened mechanical equipment.
3.75 FAR.
Below grade stories, and code required bike storage per 23.54.015.K.4 for Small Efficiency Dwelling Units (SEDU).
15' triangular setback abutting residential zone (applicable at SE corner).
15' setback between 13'-40' in height, 3' setback for every additional 10' in height above 40' (applicable at rear lot line).
Green Factor of 0.3 or greater.
5% of Residential GFA, excluding commercial uses and area for mechanical equipment.
Urban village / frequent transit = No Parking Required.
Dwelling Unit/SEDU: Long Term: 1 per unit for first 50, 0.75 per unit higher than 50; Short-term: 1 per 20 unit.
Non-residential (eating/drinking establishment): Long term: 1 per 5,000 sf
Short term: 1 per 1,000 sf.
Residential: >100 dwelling units = 575 sf plus 4 sf for each additional unit above 100.
Commercial: <5,000 sf in mixed-use = 41 sf.
Minimum horizontal dimension of 12'.



Figure - Ground





Zoning

The project site is split zoned: the east portion is zoned NC2-55(M) and the west portion is zoned NC2P-55(M). Both are located in the Greenwood - Phinney Ridge Residential Urban Village and MHA applies. Neighborhood Commercial zoning has a strong presence along N 85th Street. NC zones with varying height limits, pedestrian and MHA overlays are to the north, east and west of the site. The residential SF 5000 zone abuts the rear lot line to the south and is typical for NC zoned lots in the Greenwood Town Center facing N 85th Street and Greenwood Avenue N.

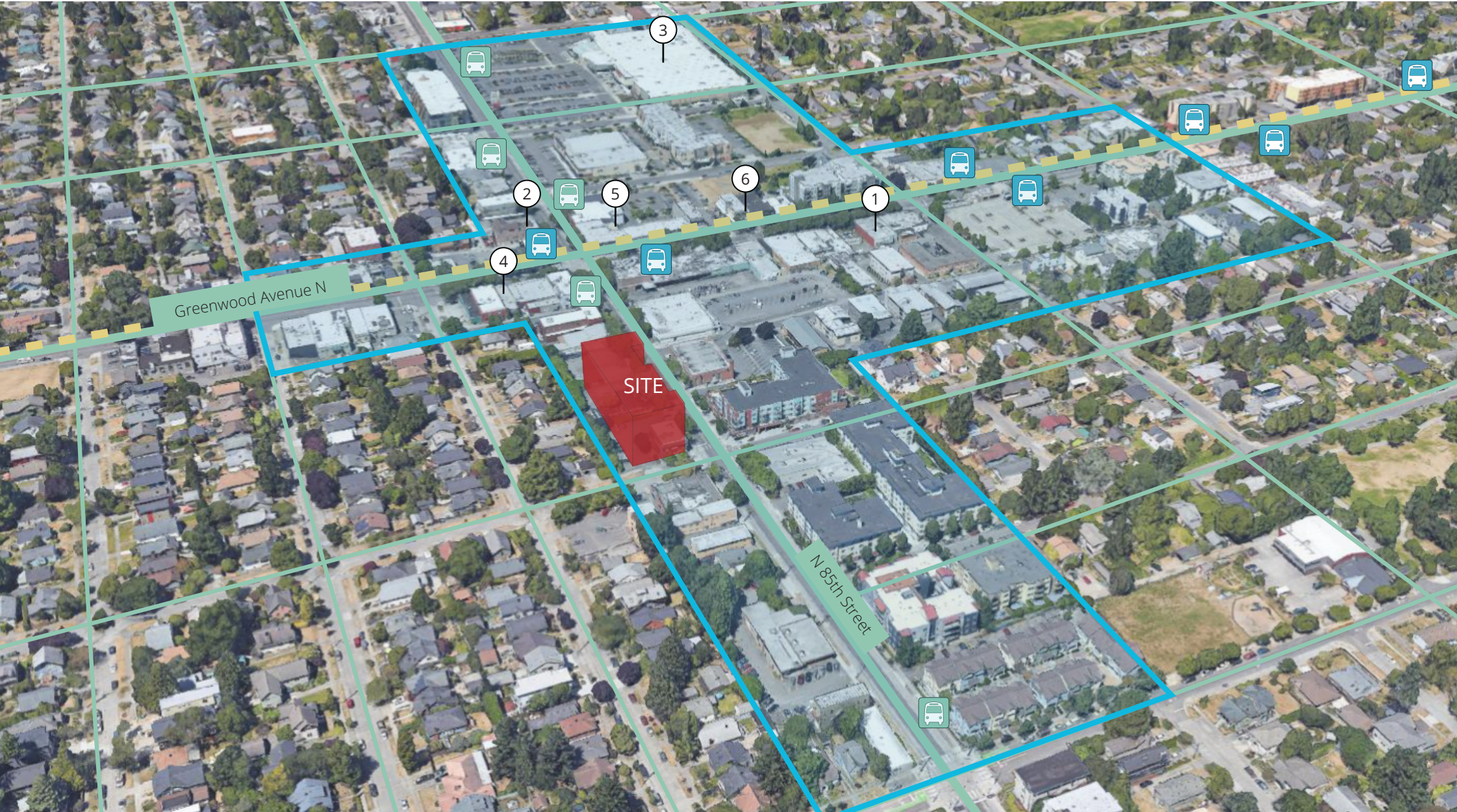


Adjacencies & Circulation





The site is one half-block away from the bustling commercial heart of the Greenwood Town Center. N 85th Street is a Principal Arterial & Pedestrian Street. There is a mix of existing vehicular and pedestrian oriented commercial developments however the immediate vicinity is seeing growth in large-scale, mixed-use developments with a pedestrian focus due to the transit infrastructure present. The abrupt transition from multi-family and commercial structures to single family is evident in development patterns.

SCALE: NTS

NINE BLOCK 3D VIEW



Looking northwest (Aerial Image: 07/25/2019)

-  Bus Route: 5, 355
-  Bus Route: 45, 355
-  Greenwood Town Center
(Guideline Specific Area)
-  Bike Route

 SCALE: NTS

Greenwood Town Center Establishments

Restaurants/Bars



1 Flying Bike Brewery



2 Gorditos

Retail/Grocery



3 Fred Meyer



4 Greenwood Space Travel
Supply Co.

Arts/Community Programming



5 Taproot Theater



6 Greenwood Collective

ONLINE SURVEY RECEIVED 51 TOTAL RESPONSES. PROJECT EMAIL ACCOUNT RECEIVED 8 RESPONSES.

SURVEY SUMMARY

Q1: What is your connection to this development?
A: 50 respondents noted they live very close to the project.

Q2: What is most important to you about a new building on this property?
A: 44 respondents noted parking

Q3: What is the most important consideration for designing the pedestrian-only open space?
A: 26 respondents indicated lighting & safety features, 20 indicated landscaping

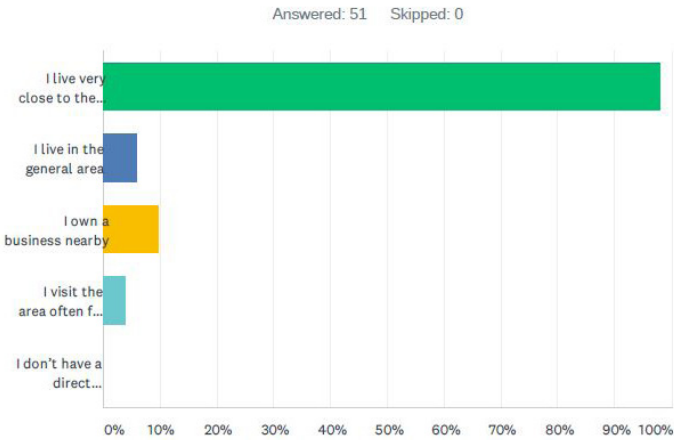
- Q4: Do you have additional thoughts about the building design?
Community comment summary:
- Provide commercial space that supports the local community and are not vehicle dependent. Prefer no national fast food chains.
 - Green building is a plus.
 - Follow the aesthetics of the existing community.
 - Concerned about obstructed views.
 - Requests to include parking on-site.
 - Concerns about building height facing single family homes to the south.
 - Provide affordable housing.
 - Put business access on N 85th Street and Dayton Avenue N to activate and provide security.
 - Prefer modern style reflective of the area, environmentally sensitive materials, locally sourced. Limit the use of concrete.
 - Prioritize landscaping at the right-of-way to soften areas with glass and paving.
 - Provide a secure and proper enclosure for the trash, ideally in the building with scheduled pickups to minimize impacts to southeast neighbors.
 - Appreciates a dense building on an arterial street. Secure bike storage is a must.
 - Enhance walkability.
 - Include pet relief areas.

- Q5: Is there anything about the neighborhood or property that would be important for us to know?
Community comment summary:
- Carefully consider transition between single family and high-density housing.
 - The Greenwood neighborhood is tight-knit, friendly and engaged.
 - Concerned about increased density.
 - Lack of on-street parking in the area.
 - Noticeable crime in the area. Security considerations are a high priority at open areas, building entrances, exits and mailroom.
 - Traffic, speeding and no left-turn signal on Dayton Avenue N creates an unsafe pedestrian environment.
 - Greenwood is a walkable community. Support this through design.
 - Encouraged about development improving vacant lot that has seen continued crime.
 - Privacy concerns for current neighbors at the south property line.

- Q6: What do you think are the top considerations for making this building successful?
Community comment summary:
- Security for residents. Improved security at pedestrian areas.
 - Push it back from the street.
 - Encourage small and local business growth. Businesses mentioned included grocery, café, gym.
 - Affordability.
 - Use sustainable building methods and materials.
 - Quick and timely construction.
 - Prioritize landscaping and trees that are maintained throughout time.

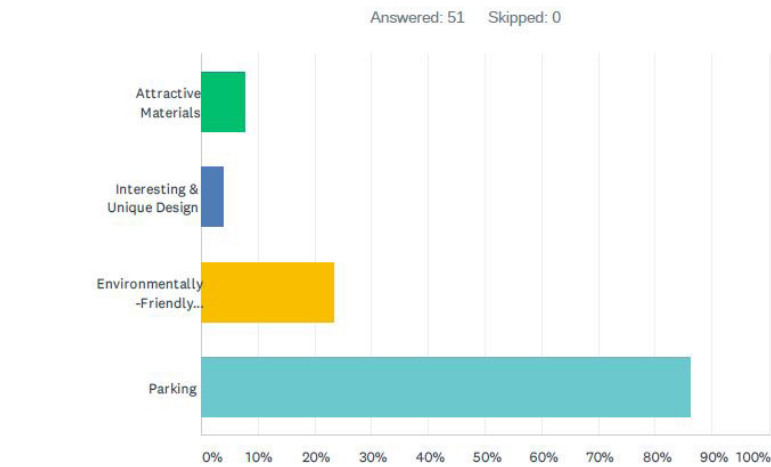


Q1 What is your connection to this development project?



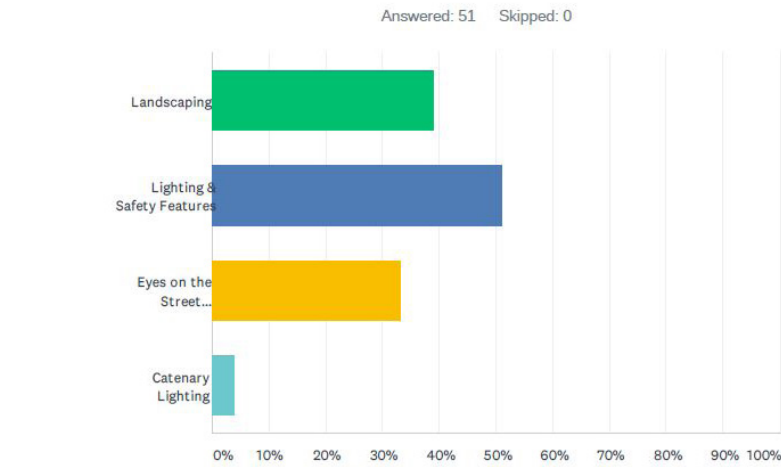
ANSWER CHOICES	RESPONSES	
I live very close to the project	98.04%	50
I live in the general area	5.88%	3
I own a business nearby	9.80%	5
I visit the area often for work or leisure	3.92%	2
I don't have a direct connection, but I follow growth and development in Seattle	0.00%	0

Q2 What is most important to you about a new building on this property?



ANSWER CHOICES	RESPONSES	
Attractive Materials	7.84%	4
Interesting & Unique Design	3.92%	2
Environmentally-Friendly Features	23.53%	12
Parking	86.27%	44

Q3 What is most important consideration for designing the pedestrian-only open space?



ANSWER CHOICES	RESPONSES	
Landscaping	39.22%	20
Lighting & Safety Features	50.98%	26
Eyes on the Street (Security)	33.33%	17
Catenary Lighting	3.92%	2

CONTEXT ANALYSIS

PROPOSED DEVELOPMENT - MIXED-USE AND MULTI-FAMILY

PRECEDENT ANALYSIS

- The general building massing is regular with a variety of strategies to delineate base, middle and top.
- There is a strong material-to-massing relationship present with masonry being common application at commercial uses.
- Commercial and residential entries vary in location. There is a mixture of developments with residential common area occupying the street corner.
- All projects feature a rigorous window pattern at the upper levels. Several use infill paneling to group windows together.
- Storefronts are tight to the sidewalk. Canopies and transparency are prioritized.
- Longer buildings are broken down with a hierarchy of articulation.
- Color palette is generally neutral, less use of accent colors.



8403 Greenwood Avenue N

(Clark Design Group, LLC)



320 N 85th Street

(Runberg Architecture Group)



8704 Greenwood Avenue N

(GGLO)



8612 Palatine Avenue N

(Baylis Architects)



8105-8111 Greenwood Avenue N

(CONE Architecture)



Janus Apartments - 121 N 85th Street (Google)



Sedges on Piper Village - 8623 Palatine Avenue N (Google)

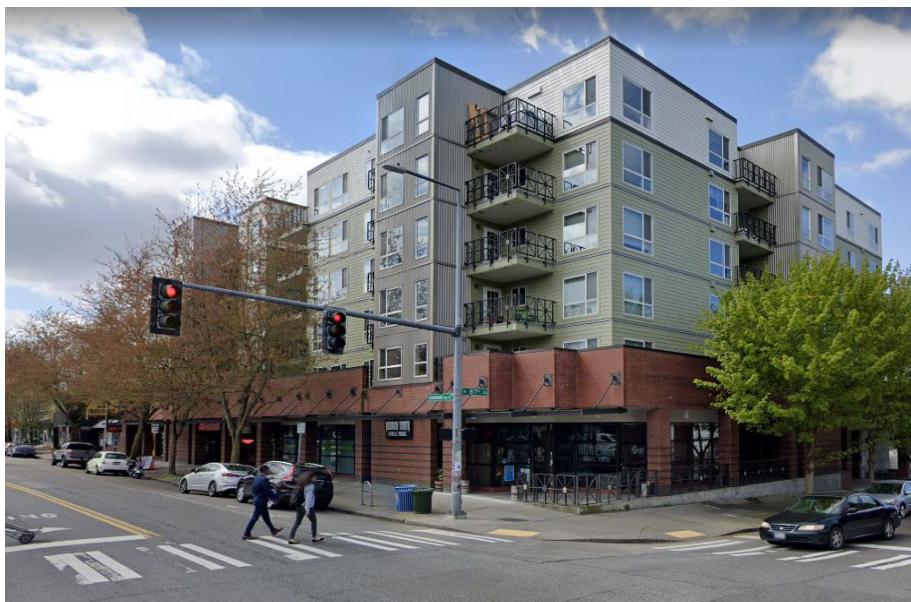
EXISTING DEVELOPMENT - MIXED-USE AND MULTI-FAMILY

PRECEDENT ANALYSIS

- The general building massing uses vertical articulation over a one-story base. A variety of strategies include recessed massing, with or without balconies, and bay windows.
- The majority of developments have prominent masonry commercial bases with less transparency than their new counterparts.
- Canopies are frequently used and in most cases storefronts are setback creating a colonnade or additional overhead depth. In several cases the shadow line created makes the use inside difficult to read.
- Minimal use of overhangs or accent at the top of the building.
- The majority of the of the projects feature a rigorous window pattern at the upper levels.
- The use of color is present but muted in the more established developments. Cooler and brighter colors are used in newer counterparts.



The Sapphire - 424 N 85th Street (Google)



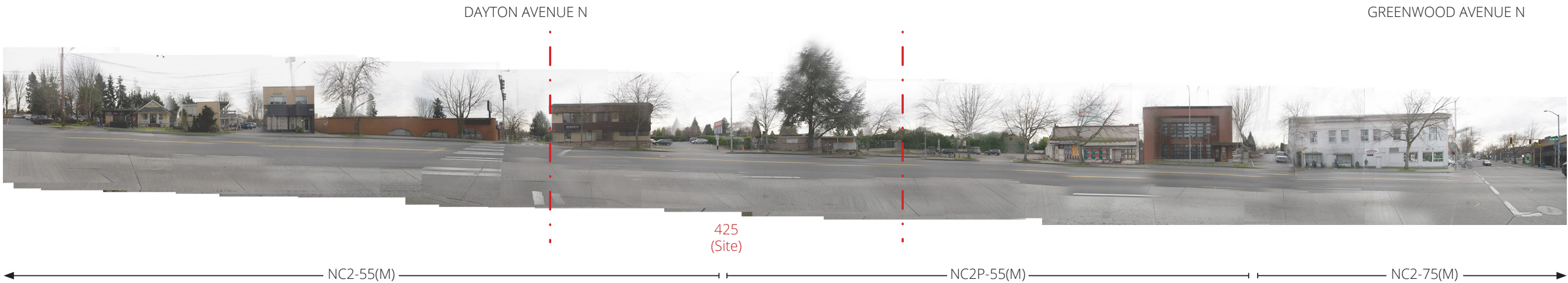
Towers on Greenwood - 8551 Greenwood Avenue N (Google)



Evanston Square Condominiums - 600 N 85th Street (Google)

STREETSCAPE - N 85TH STREET

1. N 85th Street looking south



2. N 85th Street looking north



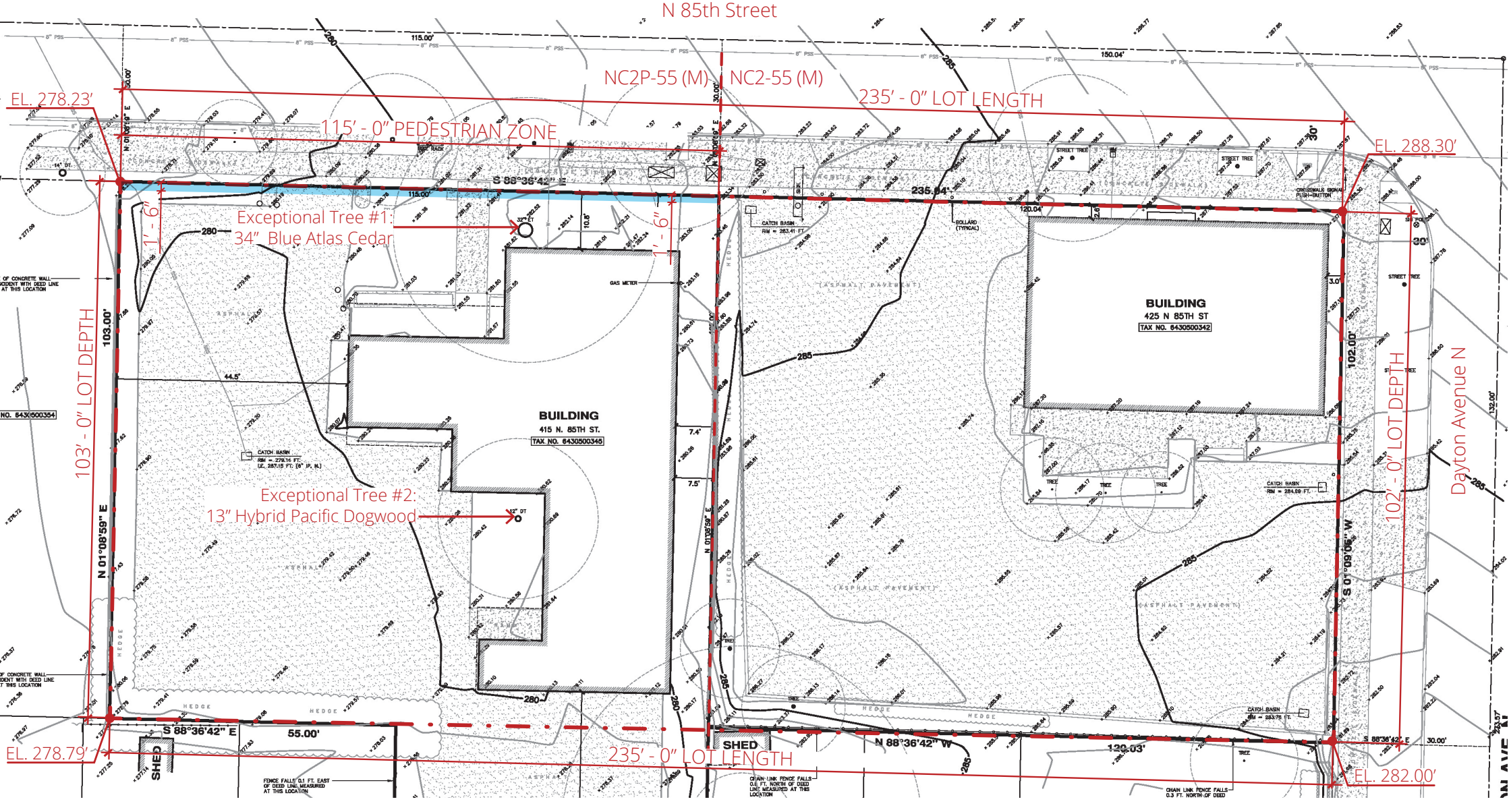
3. Dayton Avenue N looking west



4. Dayton Avenue N looking east



EXISTING CONDITIONS - SURVEY



Tax Parcel No. 6430500342 & 6430500345

The east 235 feet of the north 102 feet of Lot 1, Block 20, Osner's Second Addition to Seattle, according to the plat thereof recorded in Volume 12 of Plats, page 3, Records of King County, WA.

Parcel Area = 23,974 Sq. Ft.

Surveyor: Chadwick & Winters
Date: 01/20/2020

Site Considerations:

- There are two exceptional trees on the property, and a summary is provided on page 12. An Arborist Report prepared by Layton Tree Consulting will be provided at MUP submittal. The viability of all street trees will be reviewed with SDOT-UF in conjunction with this report.
- N 85th Street is classified as a Principal Arterial.
- Dayton Avenue N is designated for solid waste pickup by Seattle Public Utilities.

--- Property Line

Right-of-way Setback



SCALE: NTS



Aerial



Looking southwest at intersection of N 85th Street & Dayton Ave N



Looking south from N 85th Street



Looking west from Dayton Ave N



Looking southeast at southwest corner of property

EXISTING CONDITIONS - EXCEPTIONAL TREES

Exceptional Tree #1:
34" DBH Cedrus Atlantica var. Glauca
(Blue Atlas Cedar) 54'H

Tree #1 is a mature Blue Atlas Cedar at the front or north side of the property. It is located very close to the existing building foundation. See pictures below. It has developed typical structure or form for the species with a wide-spreading crown. The lower trunk is sound with no outward indicators of any internal decay issues. Foliage density is a little on the sparse side. The tree is producing a heavy cone crop.

Given the location of the existing structure within such a close proximity of Tree #1, a new building could be sited to within roughly 10' of the trunk face, allowing successful preservation. Few roots would be expected to exist at that distance under the existing structure.

The south side of the crown will need to be significantly pruned back to provide necessary construction clearance for a new structure. The expected pruning would not be consequential to long-term health or stability. The new structure is expected to be at least as tall or taller than the subject tree. Blue Atlas Cedar has moderate to good relative tolerance to construction impacts so long as those impacts are kept to acceptable levels.

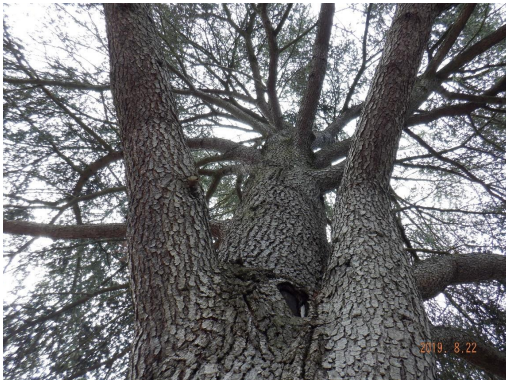
Tree #1 appears drought-stressed, evident by sparser than normal foliage and the current production of a prolific amount of seed cones. Providing this tree with adequate supplemental irrigation during the redevelopment process will be vital to maintaining it in a similar or better condition.



Exceptional Tree #1 at N 85th Street frontage



Exceptional Tree #1 existing structure less than a foot from root crown



Exceptional Tree #1 interior crown - sparser than normal foliage

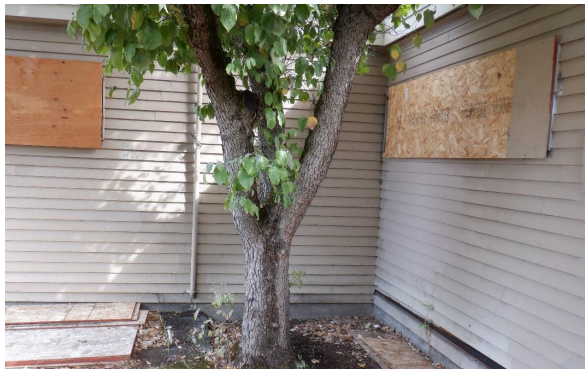
Exceptional Tree #2:
13" DBH Cornus Nuttallii x C. Florida
(Hybrid Pacific Dogwood) 30'H

Tree #2 is a semi-mature flowering dogwood within the interior of the property. It is believed to be a 'Eddie's White Wonder' Dogwood, which is a hybrid or cross between Pacific Dogwood and the eastern Dogwood. These are common in the Seattle area. It has also developed typical form for the species. The main trunk forks at roughly 4' above ground into three upright main leads. The subject is surrounded by hardscapes, the existing structure and pavement. Overall condition is rated as fair to good.

Tree #2 is located within the lot or property interior. Retaining this tree will jeopardize the reasonable or allowable use of the property (see code section 5.11.080 - Tree protection on sites undergoing development in Midrise and Commercial zones). The retention of this tree is not practical. Removal and on-site replacement with the same or similar species are appropriate.



Exceptional Tree #2 looking east

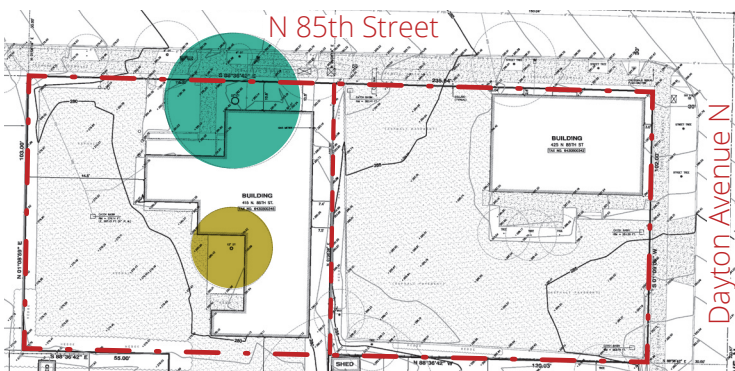


Exceptional Tree #2 looking north

All tree analysis text excerpted from arborist report provided by:
Layton Tree Consulting, LLC
Date: 10/07/2019

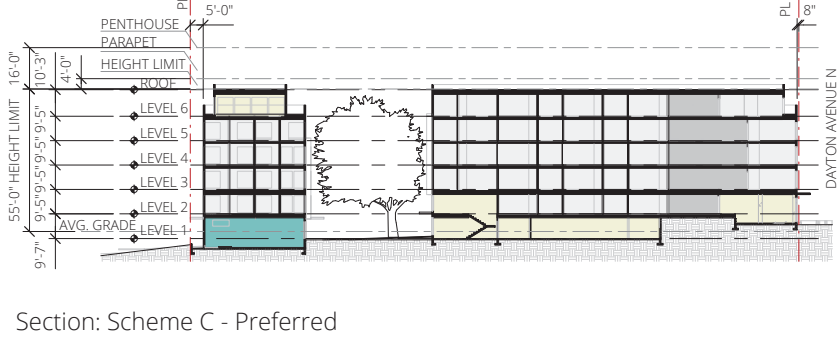
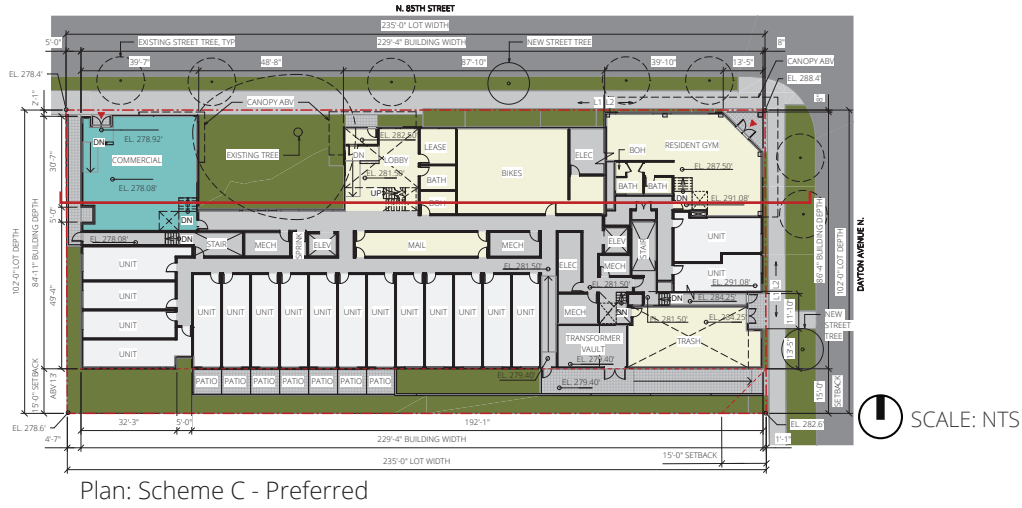
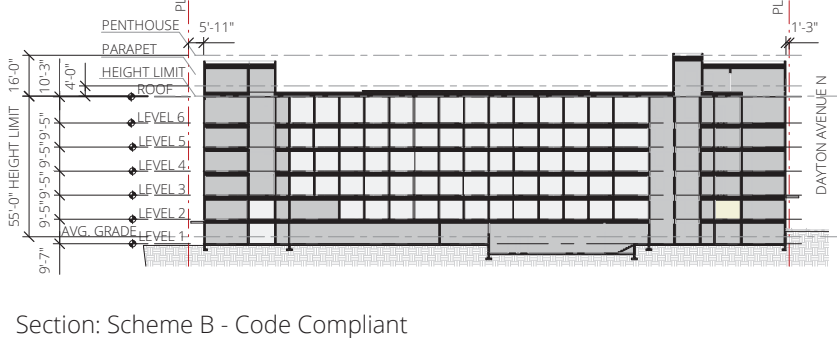
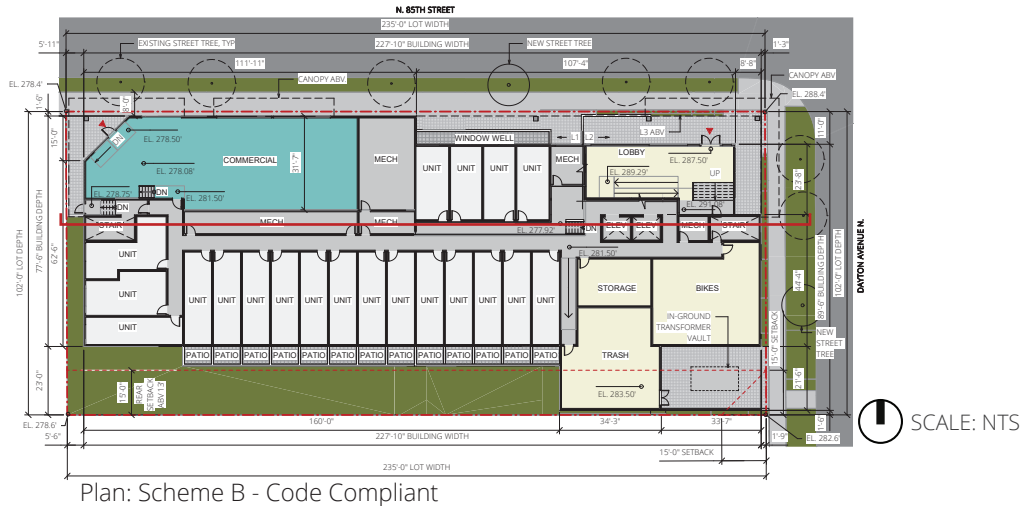
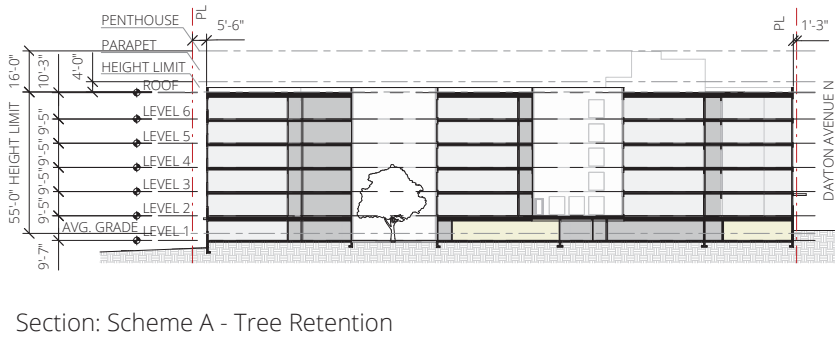
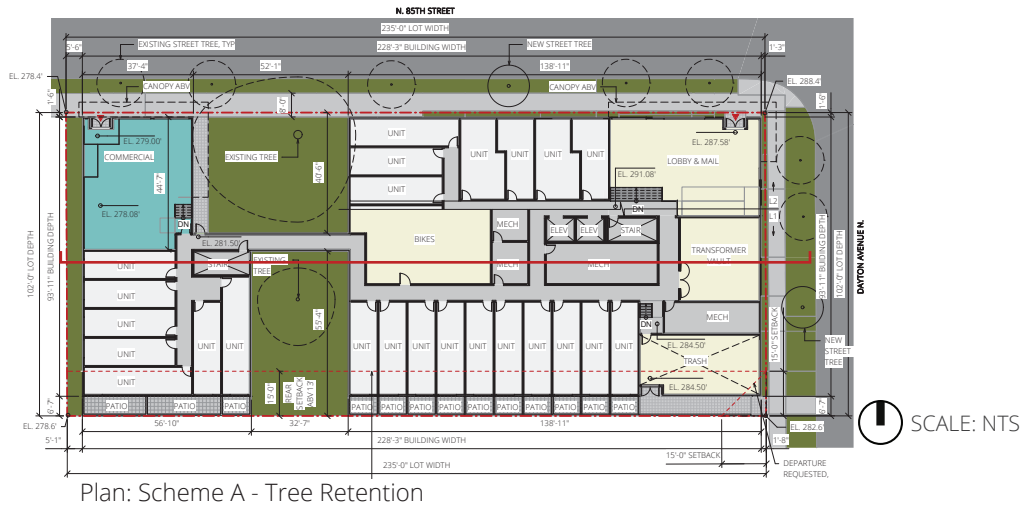


Aerial



Site Plan - NTS

SCALE: NTS



PERSPECTIVES: SCHEME A - TREE RETENTION



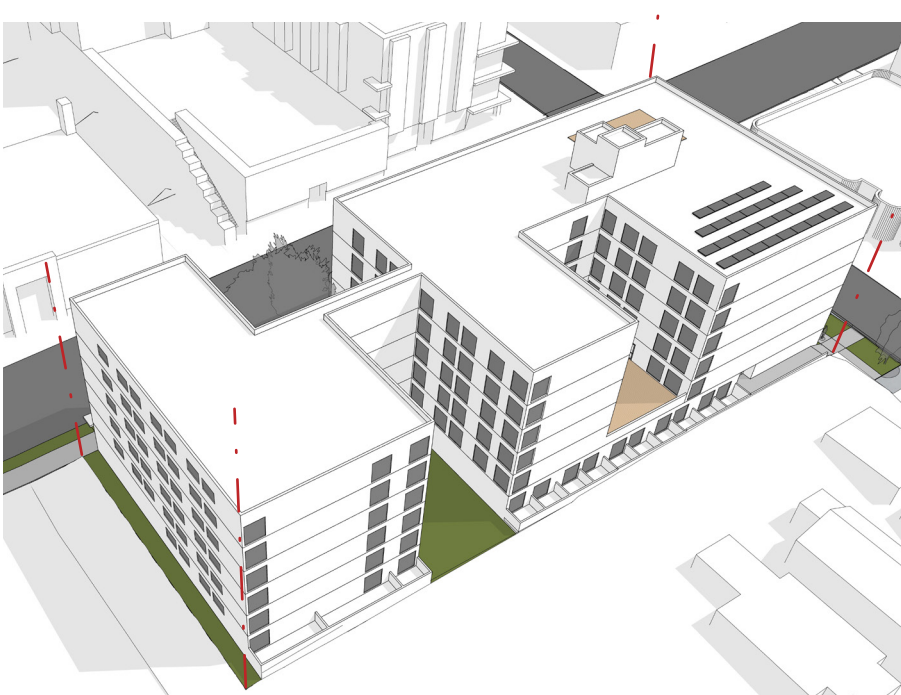
Looking southwest from N 85th Street



Looking southeast from N 85th Street



Looking northwest from Dayton Ave N



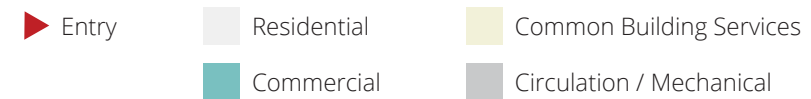
Aerial

Scheme A - Tree Retention

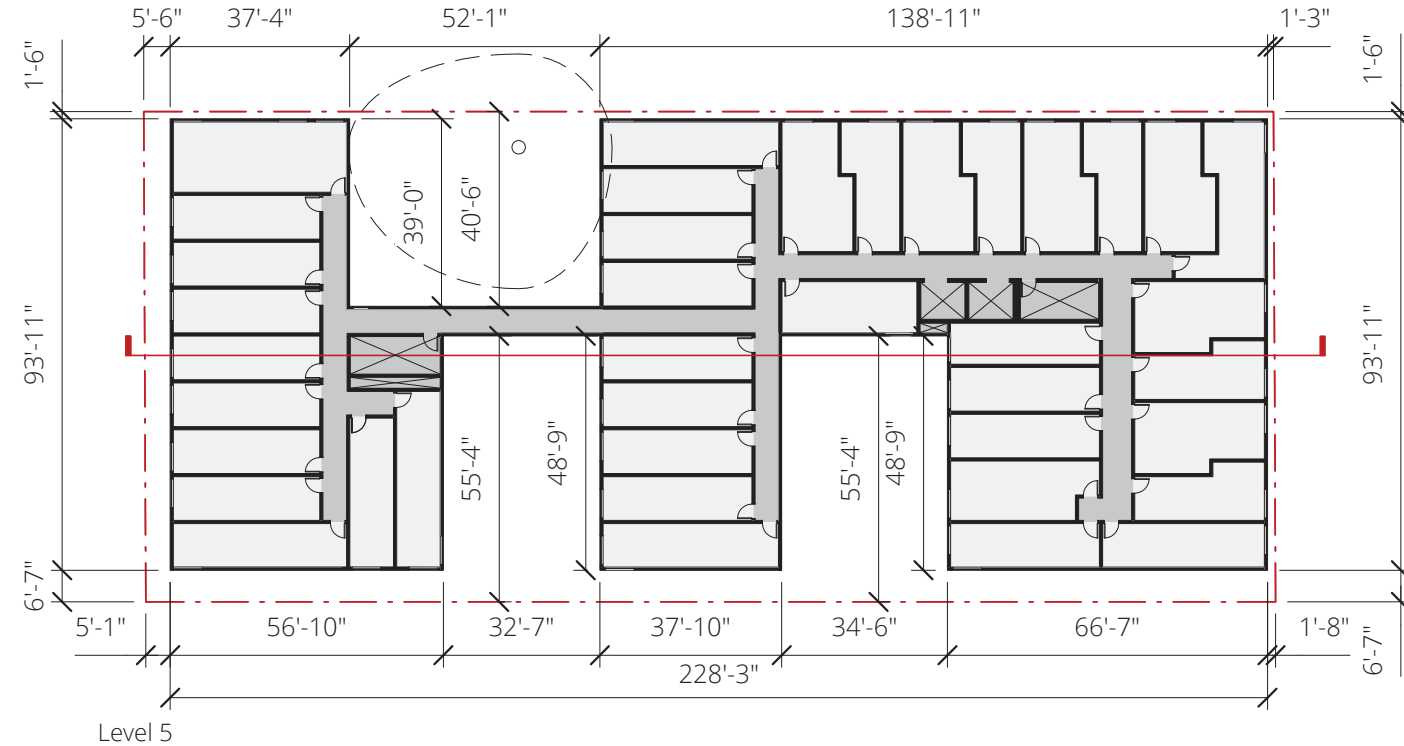
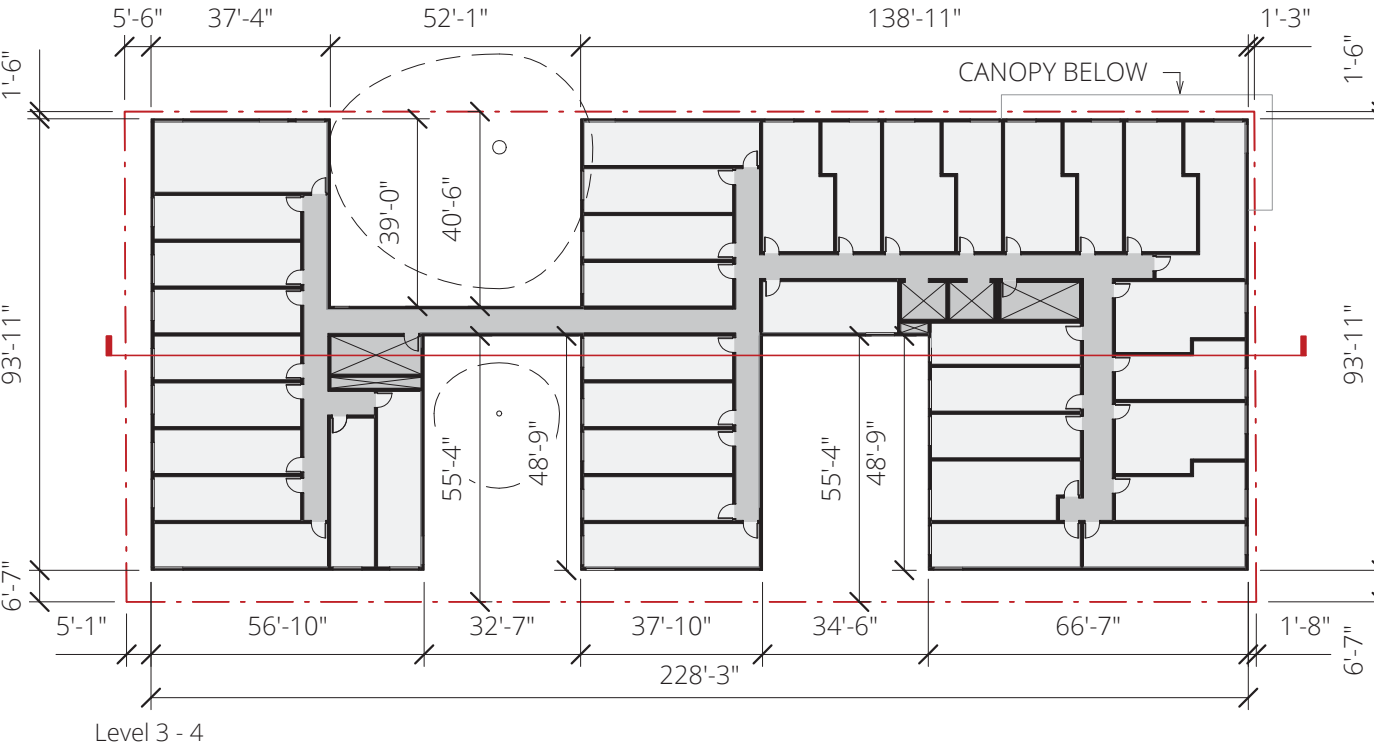
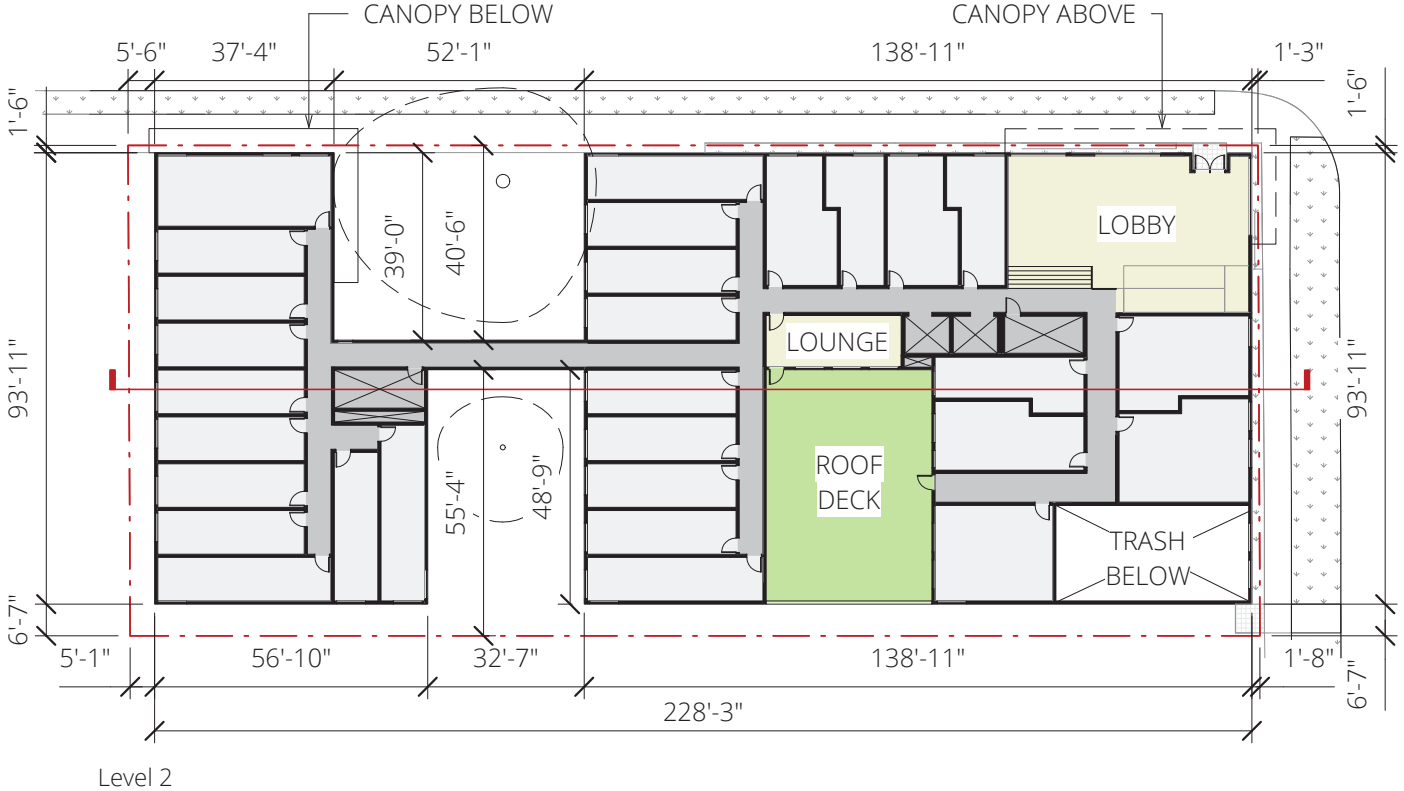
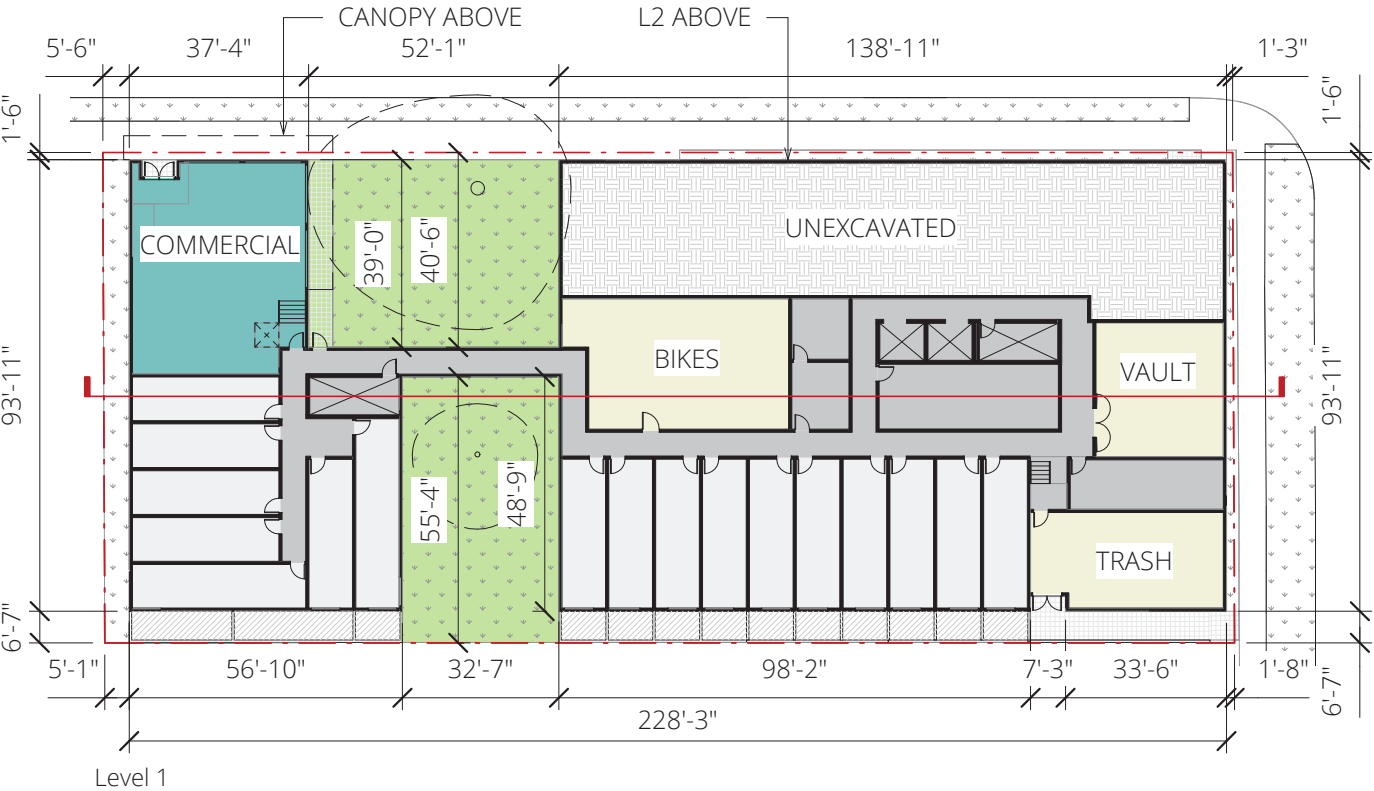
Units: 200
Unit Types: 135 SEDU, 10 Studios, 46 Open 1-Bed,
9 1-Bed
Commercial SF: 1,519
FAR: 3.72
GFA: 89,093
GSF: 93,992

- Pros:
- Both exceptional trees retained and inform massing.
 - Large breaks in massing provide relief at north and south facades.
- Cons:
- Significant rear setback departures required to achieve allowed buildable area.
 - Blank facade departures required at both street-facing facades.
 - Only one of two exceptional trees is visible from the public realm.
 - Imposing massing on the east and south sides with no upper-level setback relief.
 - Landscaping limited where at-grade patios abut single-family zone.

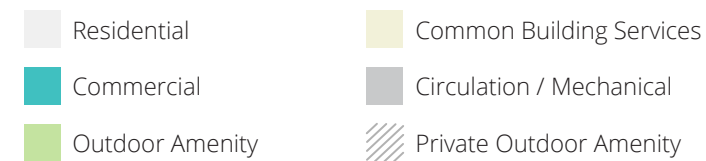
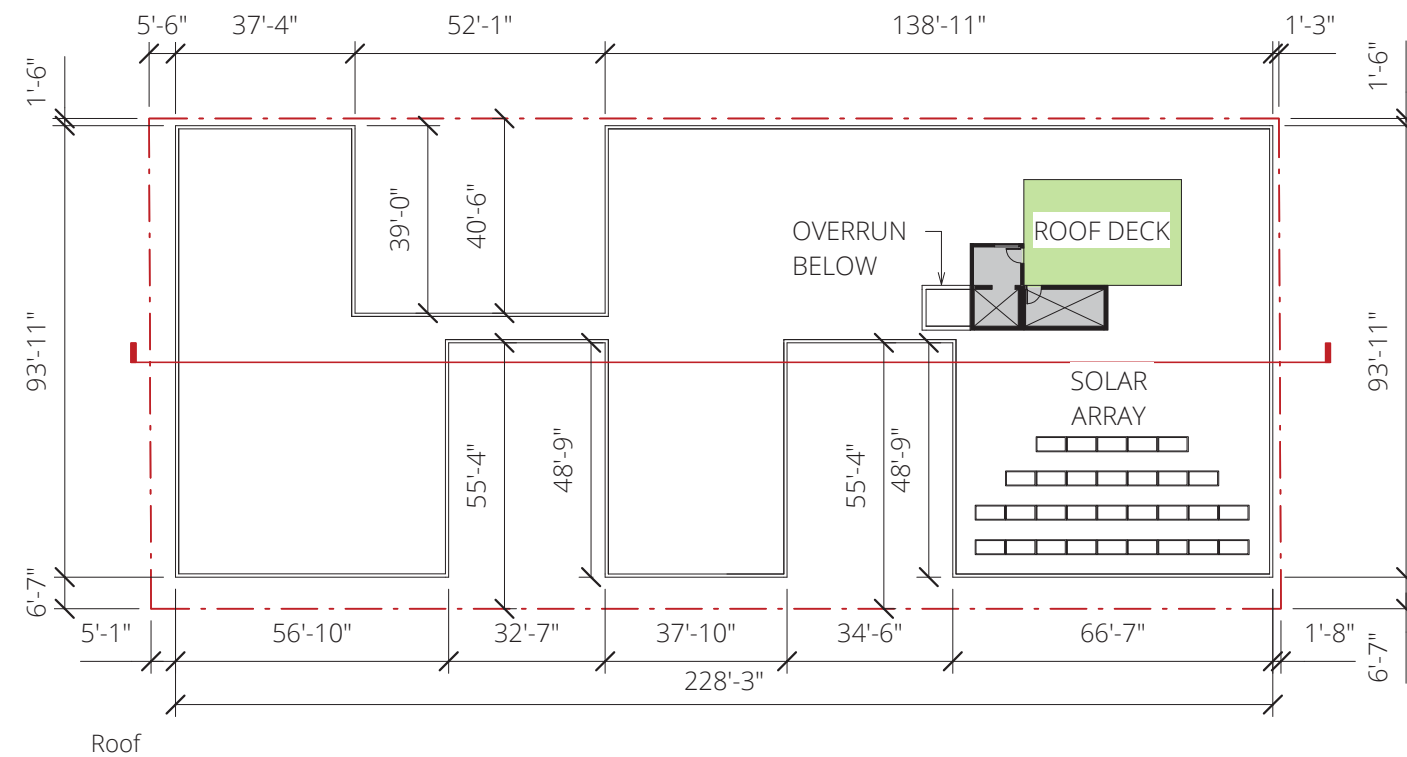
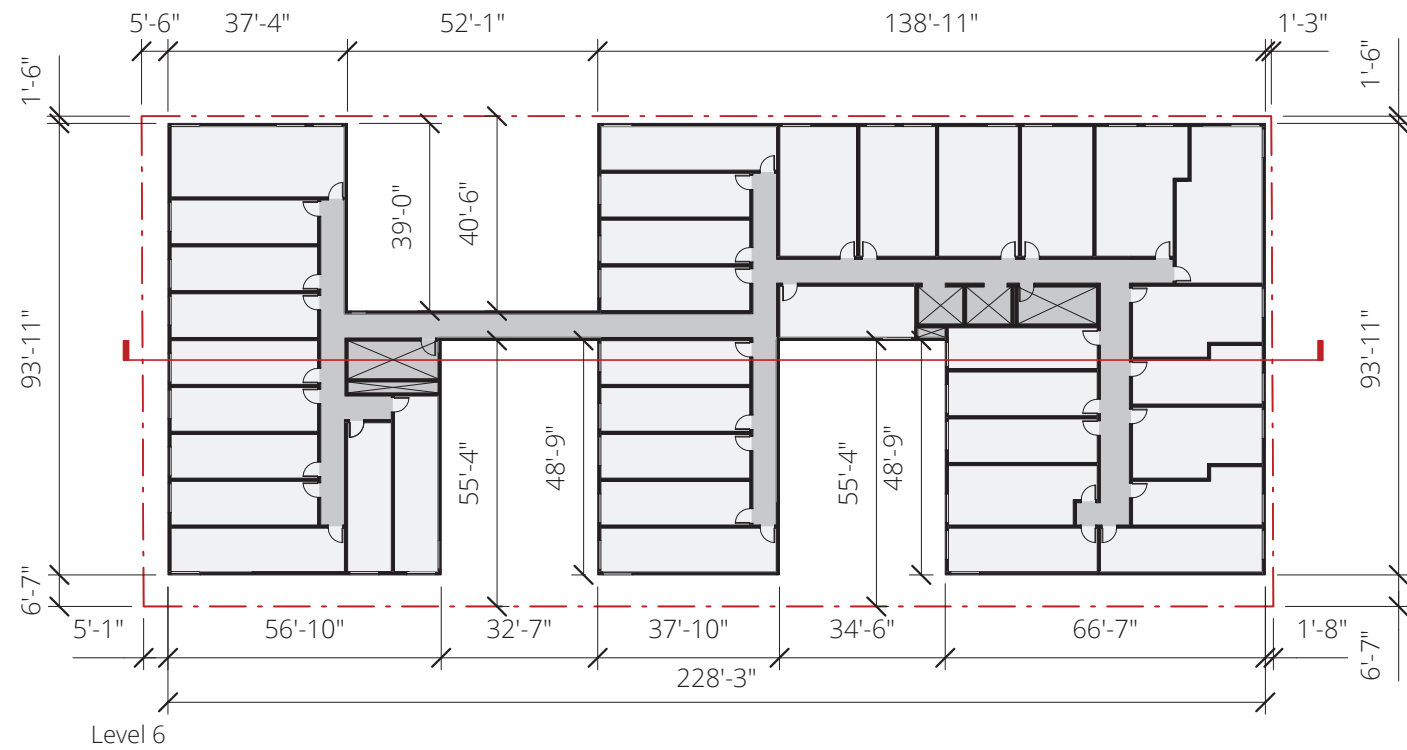




PLANS & SECTIONS : SCHEME A - TREE RETENTION



SCALE: 1" = 40'-0"



DEPARTURES: SCHEME A - TREE RETENTION

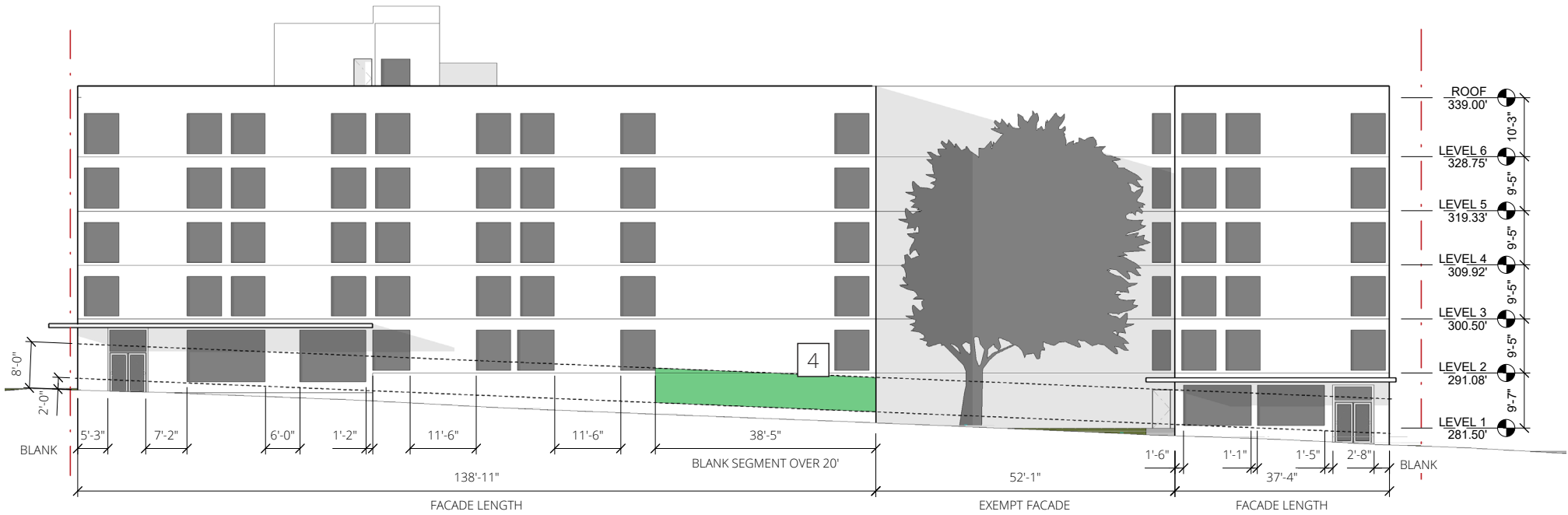
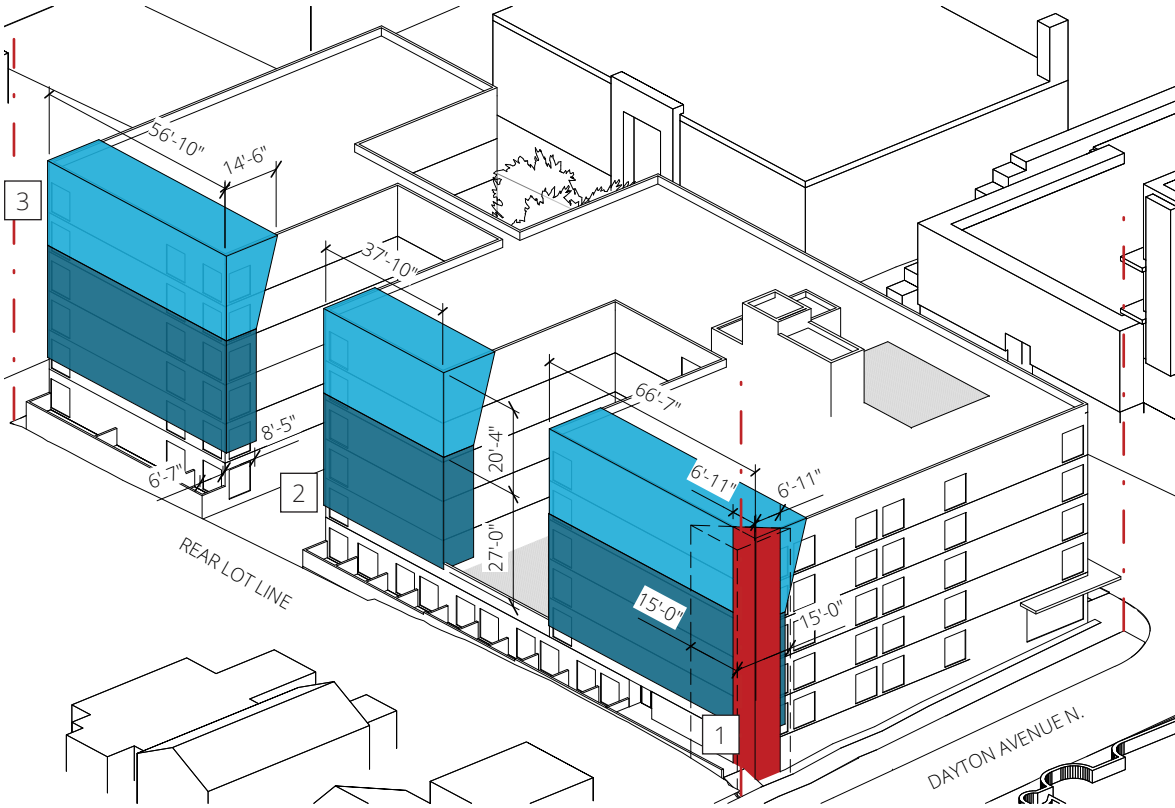
- 1

SMC 23.47A.014.B.1: TRIANGULAR SETBACK ABUTTING RESIDENTIAL ZONE
REQUIRED: Triangular setback 15' each side of intersection.
PROPOSED: 8'-1" x 8'-1" (6'-11" x 6'-11" departure).
Guidelines/Justification:
Seattle Guideline CS2.A.2 Architectural Presence: Minimizing the setback at the corner creates a strong continuous street edge.
Seattle Guideline DC2.A Massing: Minimizing the setback allows for a cohesive expression of the massing.
- 2

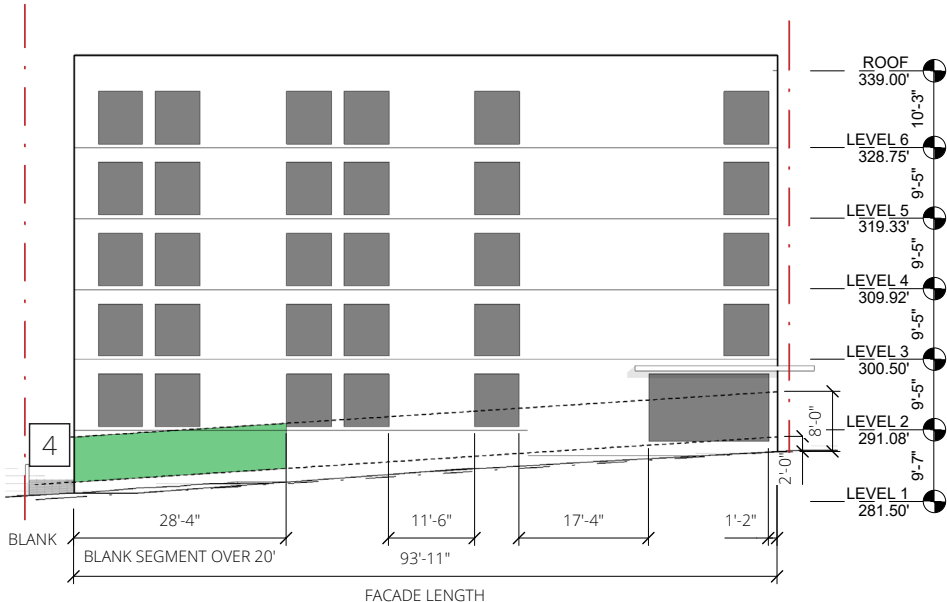
SMC 23.47A.014.B.3.a: REAR SETBACK FROM 13' TO 40' ABOVE GRADE
REQUIRED: 15' setback between 13' and 40' above finished grade.
PROPOSED: 6'-7" setback for 71% of facade; 55'-4" setback for 29% of facade.
- 3

SMC 23.47A.014.B.3.b: REAR SETBACK OVER 40' ABOVE GRADE
REQUIRED: In addition to 15' setback 3' for every 10' over 40' above finished grade.
PROPOSED: For 20'-4" of height above 40': 6'-7" setback for 71% of facade; 55'-4" setback for 29% of facade.
Guidelines/Justification (combined 2 & 3):
Greenwood/Phinney Guideline DC2.I Facade Articulation and Modulation: Massing is distributed to large bays at the rear of the building to allow for the retention of the two exceptional trees. The modulation results in large open spaces throughout the site to be enjoyed by residents and pedestrians.
Seattle Guideline DC2.B.1 Facade Composition: Minimizing the setback at the upper levels allows for a clean termination at the top of the building maintaining a consistent massing expression.
- 4

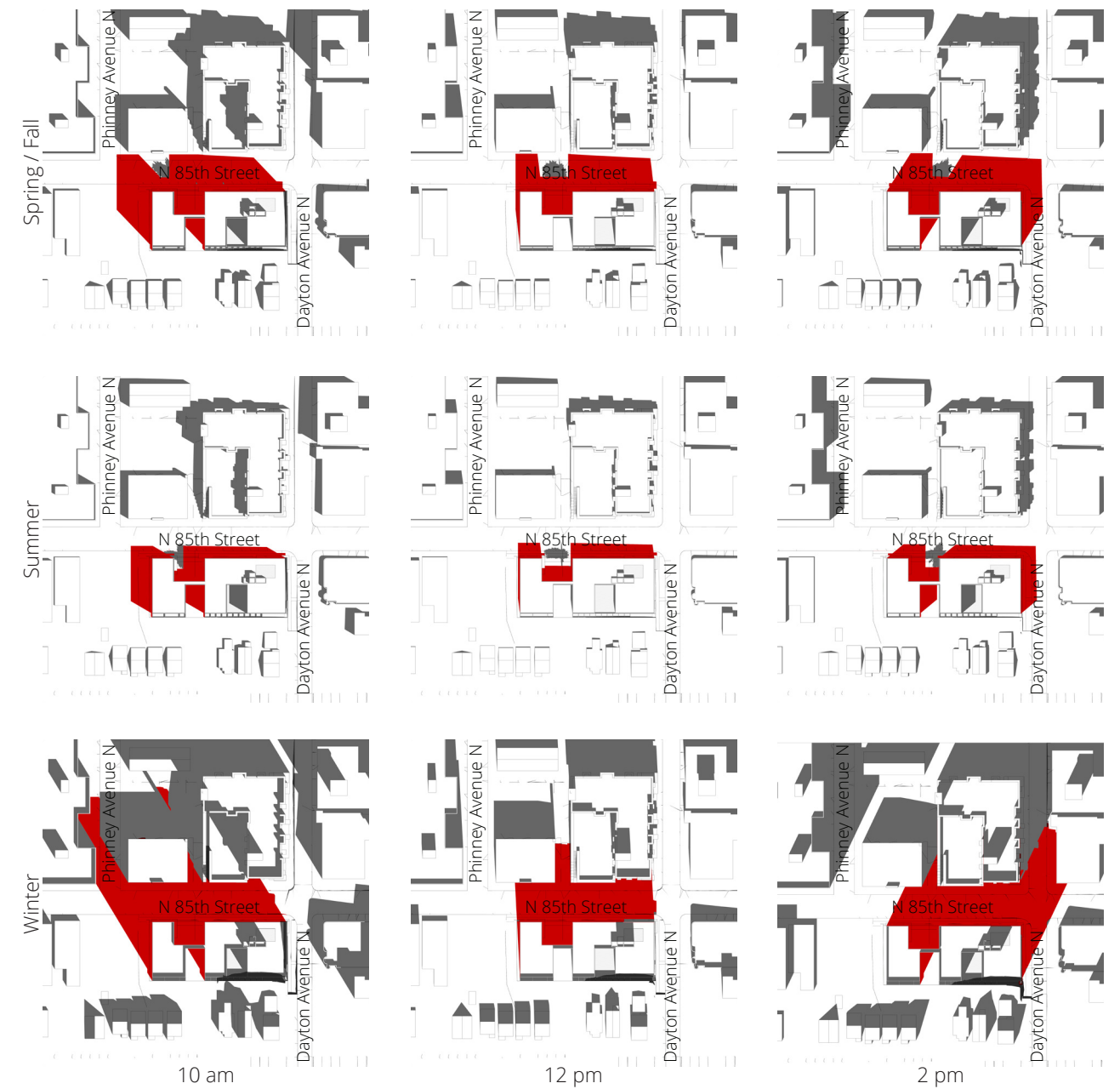
SMC 23.47A.008.A.2: STREET-FACING BLANK FACADE
REQUIRED: 40% maximum blank wall, 20' maximum blank segment.
PROPOSED: N 85th Street = 50% blank wall, 38'-5" maximum blank segment; Dayton Avenue N = 62% blank wall, 28'-4" maximum blank segment.
Guidelines/Justification:
Greenwood/Phinney DC1.I.i Blank Walls: Due to the change in grade along the sidewalk and the intersection of floor levels or service areas openings are not appropriate. A variety of vertical plantings can alleviate the blank wall conditions and soften the street edge.
Seattle Guideline PL2.B.1 Eyes on the Street & PL3.B.1 Security and Privacy: Residential units are ideally located above the mid-floor conditions to provide surveillance at the street rather than a security issue at grade.



ELEVATION: NORTH (facing N 85th Street)
Facade Length: 176'-3"
Blank Wall: 87'-8" (50%) / Maximum Blank Segment: 38'-5"



ELEVATION: NORTH (facing Dayton Ave N)
Facade Length: 93'-11"
Blank Wall: 58'-4" (62%) / Maximum Blank Segment: 28'-4"



SCALE: NTS 

PERSPECTIVES: SCHEME B - CODE COMPLIANT



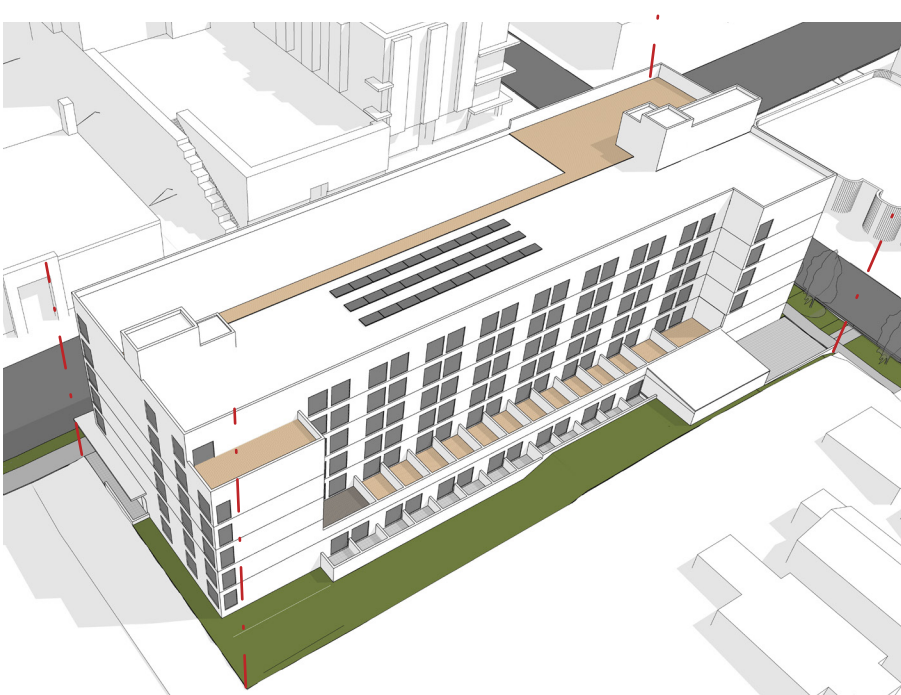
Looking southwest from N 85th Street



Looking southeast from N 85th Street



Looking northwest from Dayton Ave N



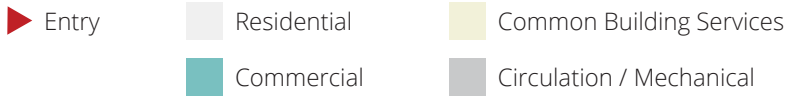
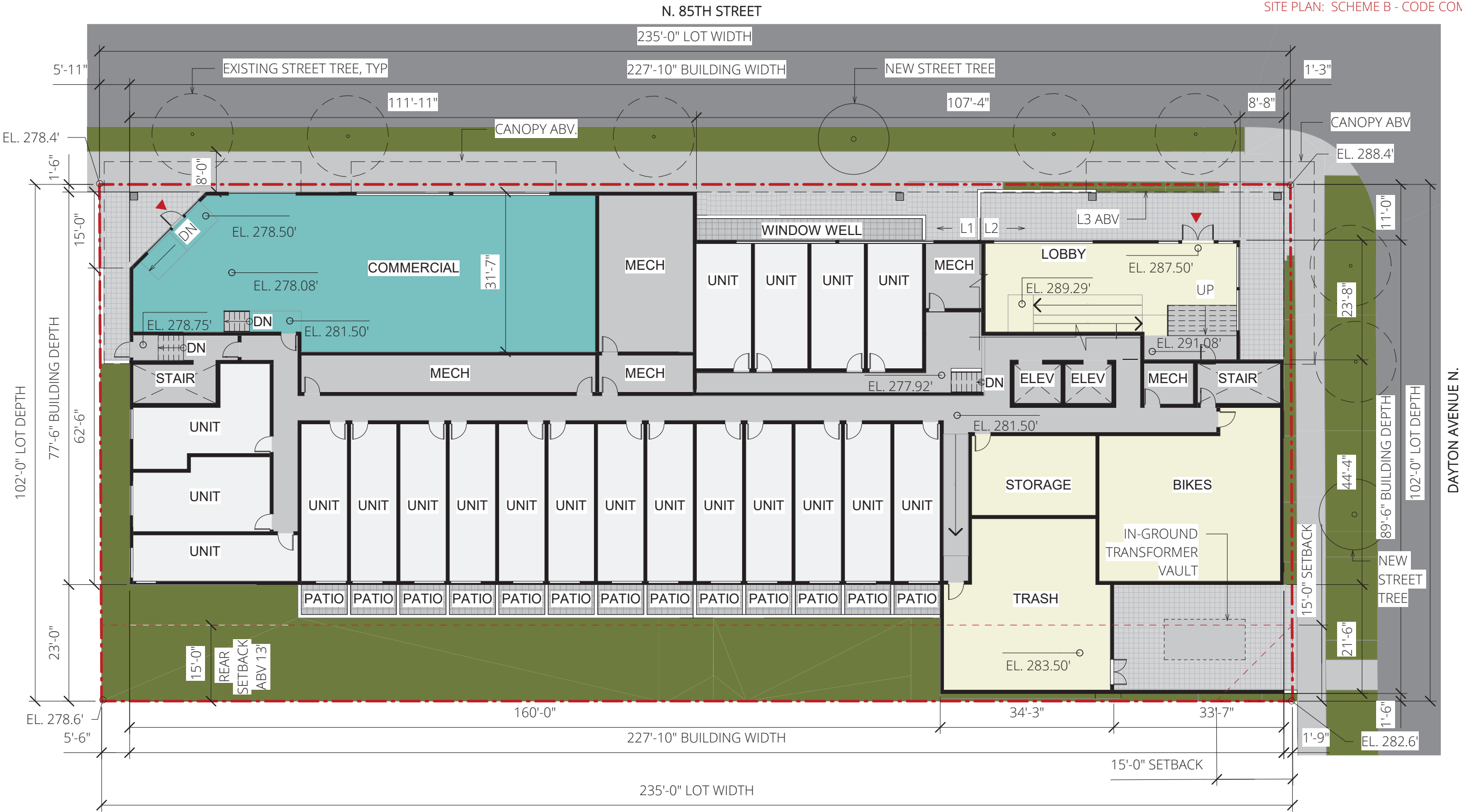
Aerial

Scheme B - Code Compliant

Units: 200
Unit Types: 108 SEDU, 11 Studios, 50 Open 1-Bed,
9 1-Bed
Commercial SF: 2,582
FAR: 3.75
GFA: 89,885
GSF: 93,710

- Pros:
- No Departures.
 - Large commercial space.
 - Maximized buildable area.
- Cons:
- Both exceptional trees removed to balance allowed buildable area with code compliance.
 - Minimal relief in street-facing articulation.
 - Core penthouses are visible at east and west elevations.
 - Trash room abuts south property line.
 - Little distinction between commercial and residential uses along the street.

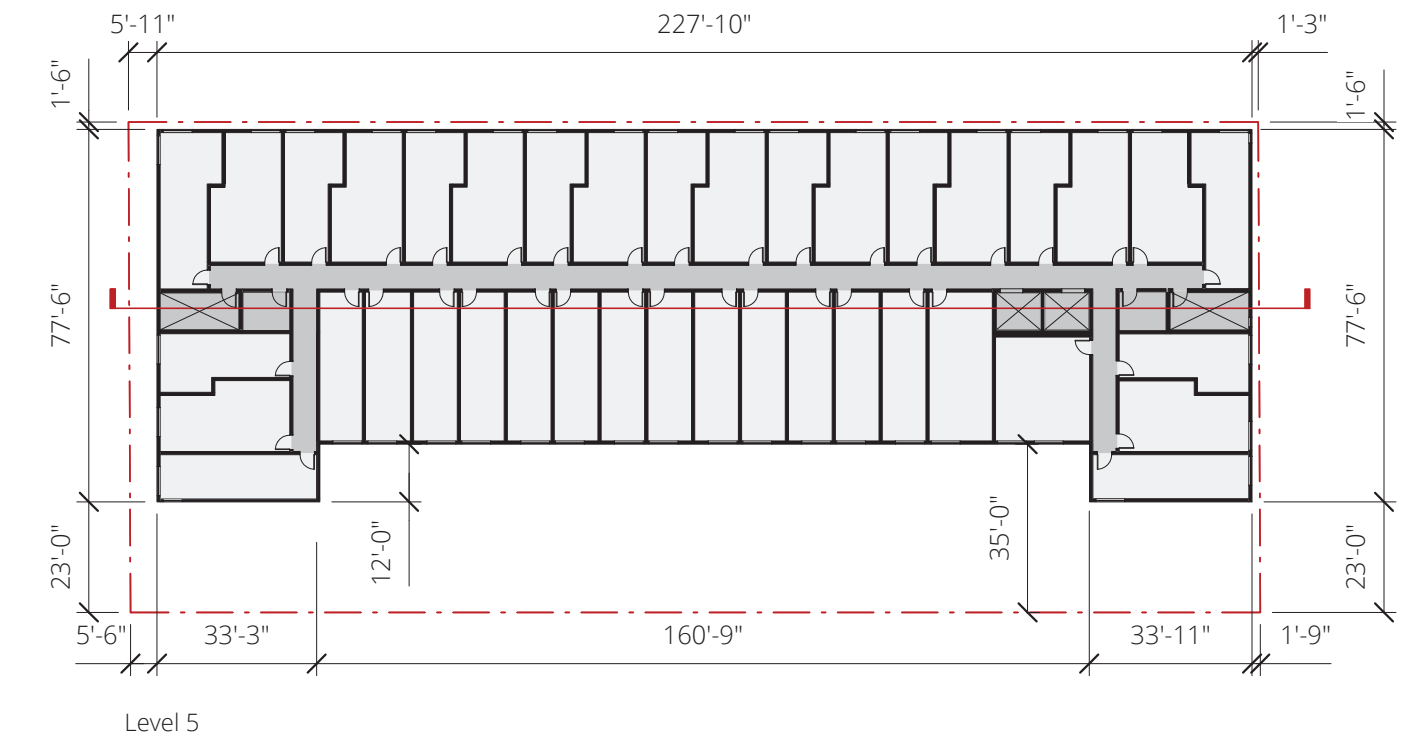
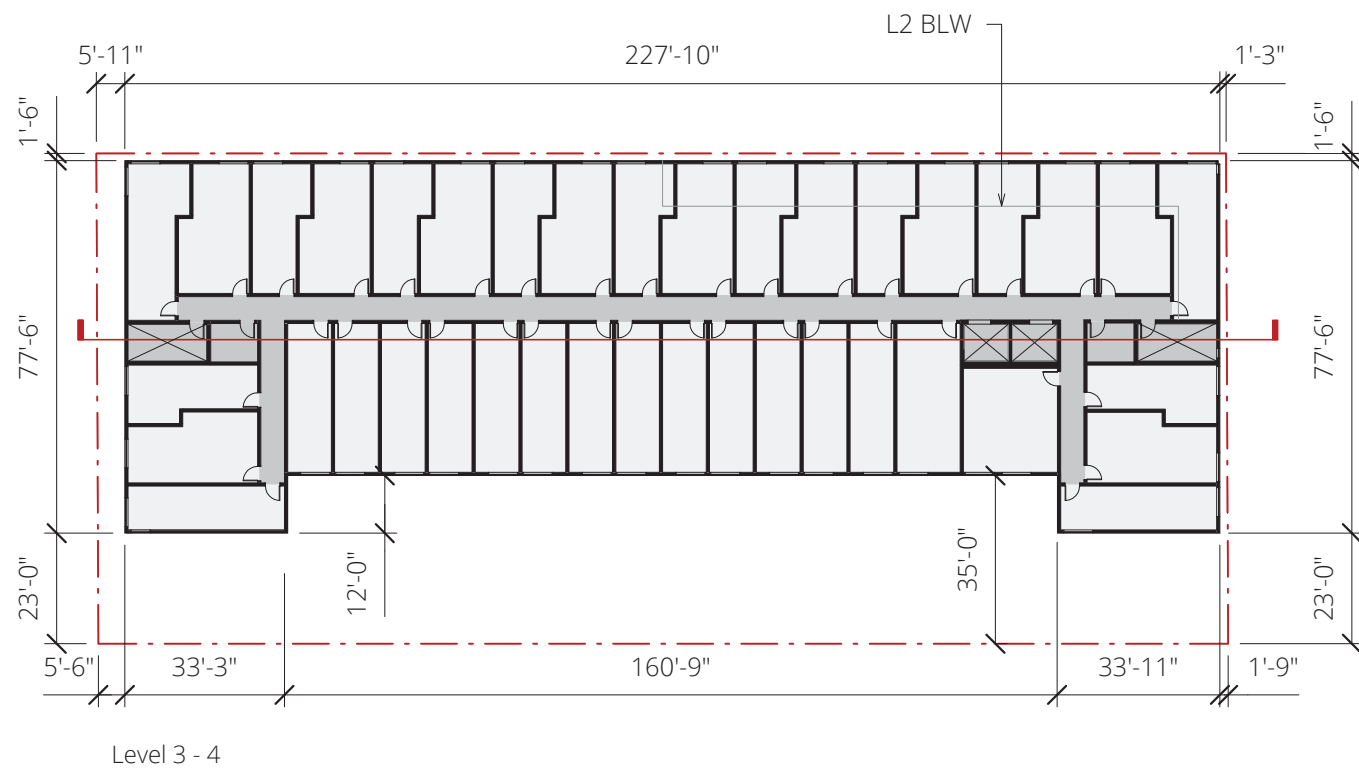
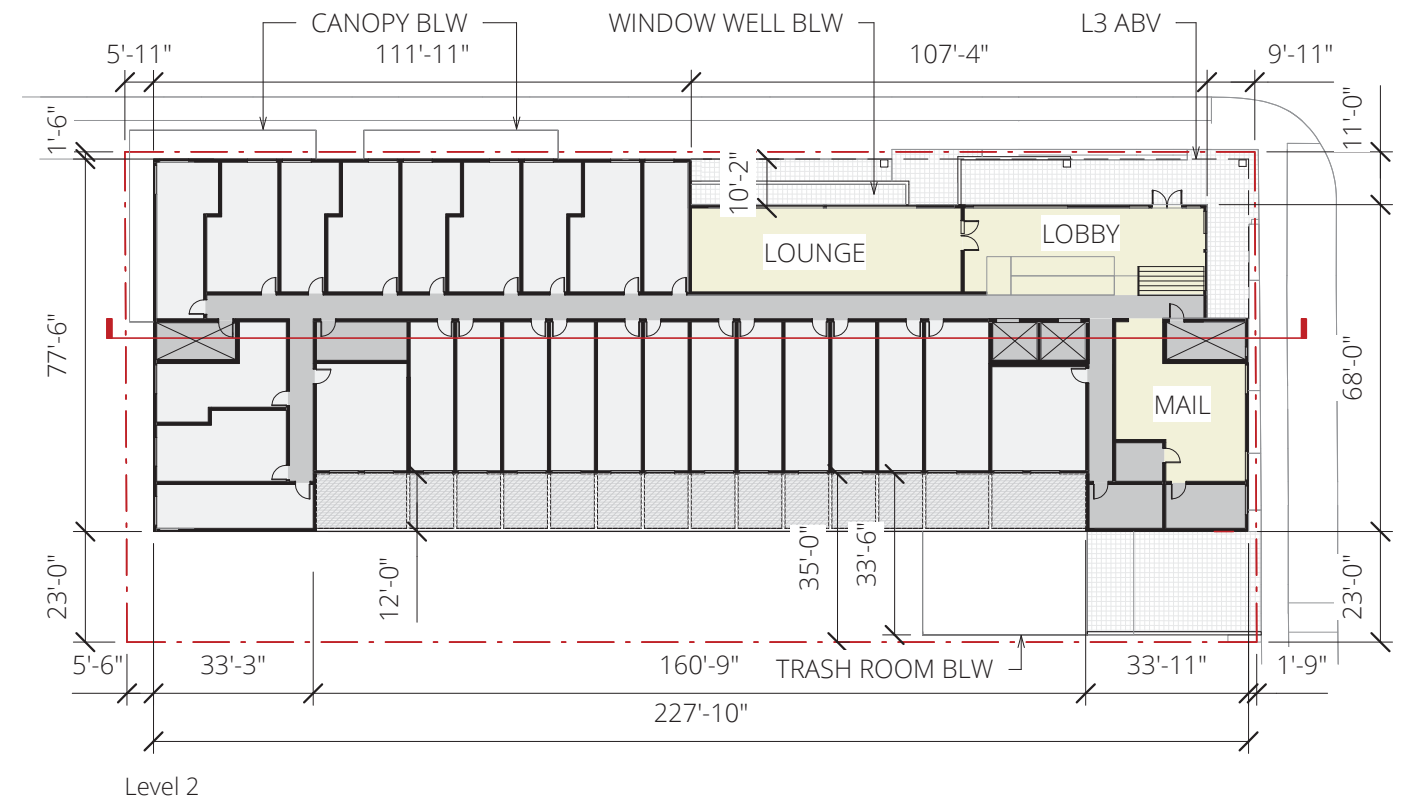
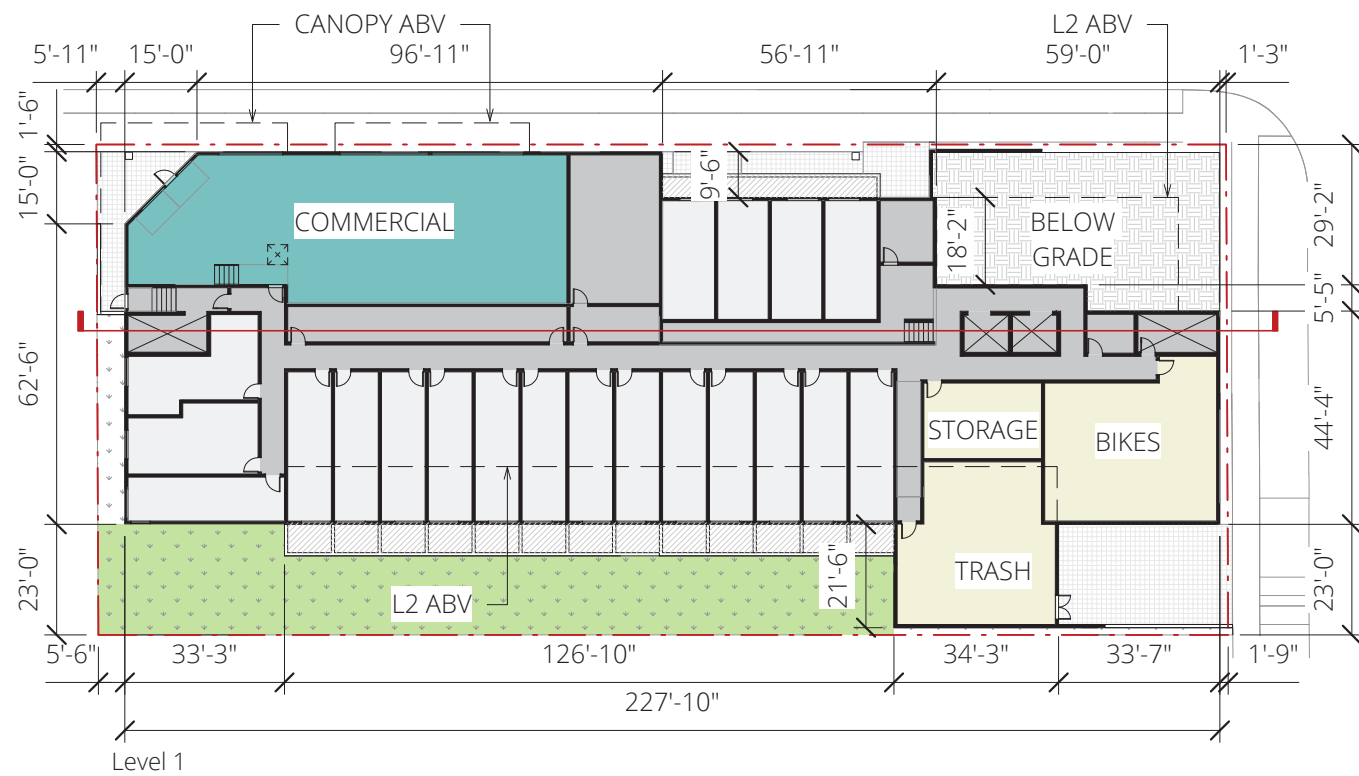


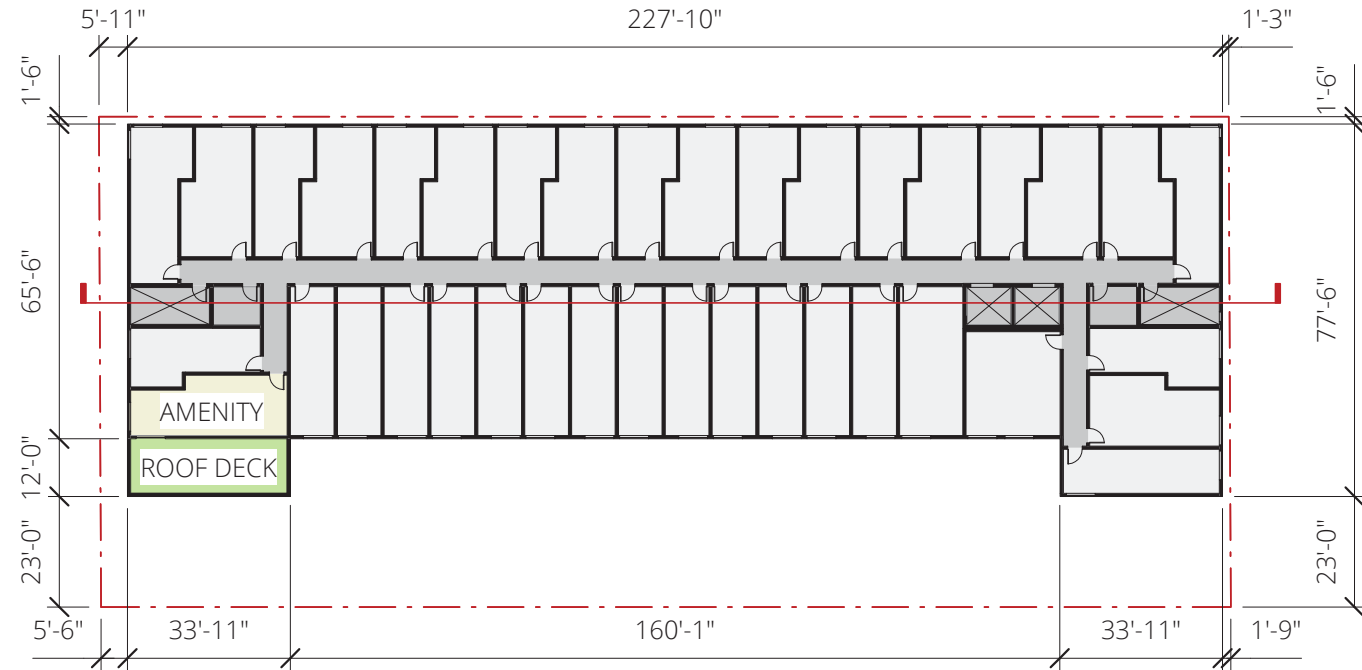


SCALE: 1" = 20'-0"

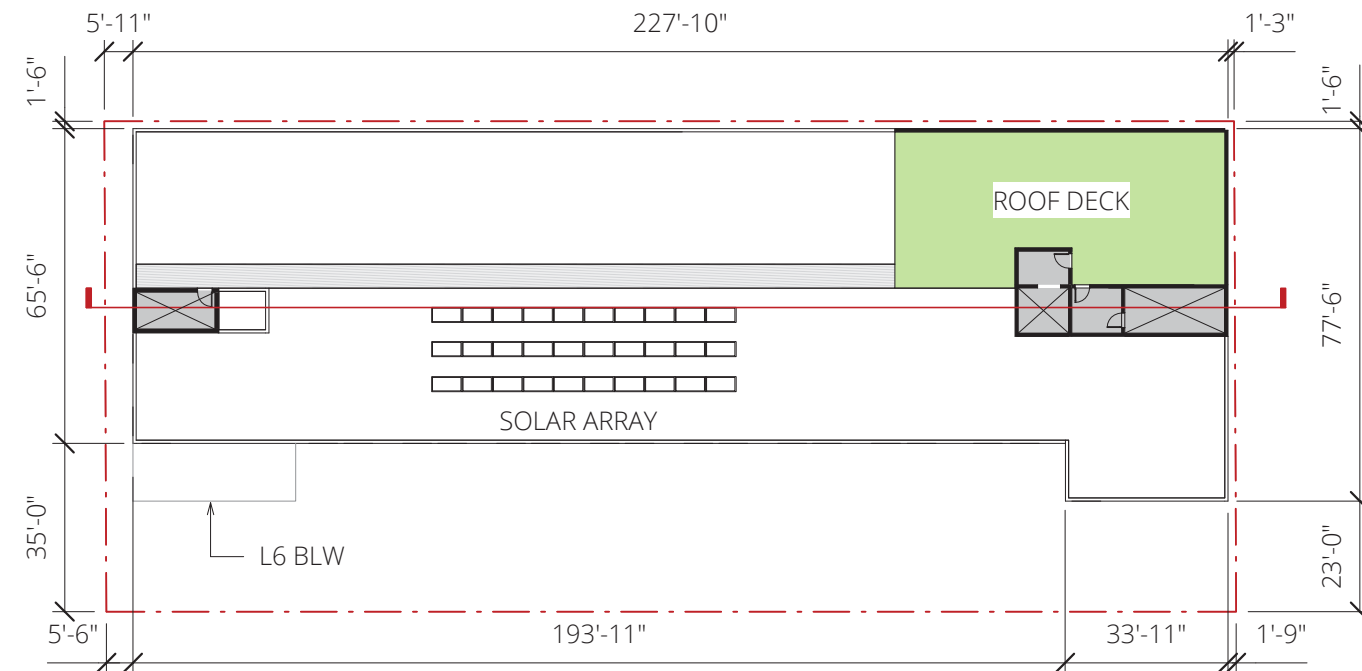


PLANS & SECTIONS: SCHEME B - CODE COMPLIANT

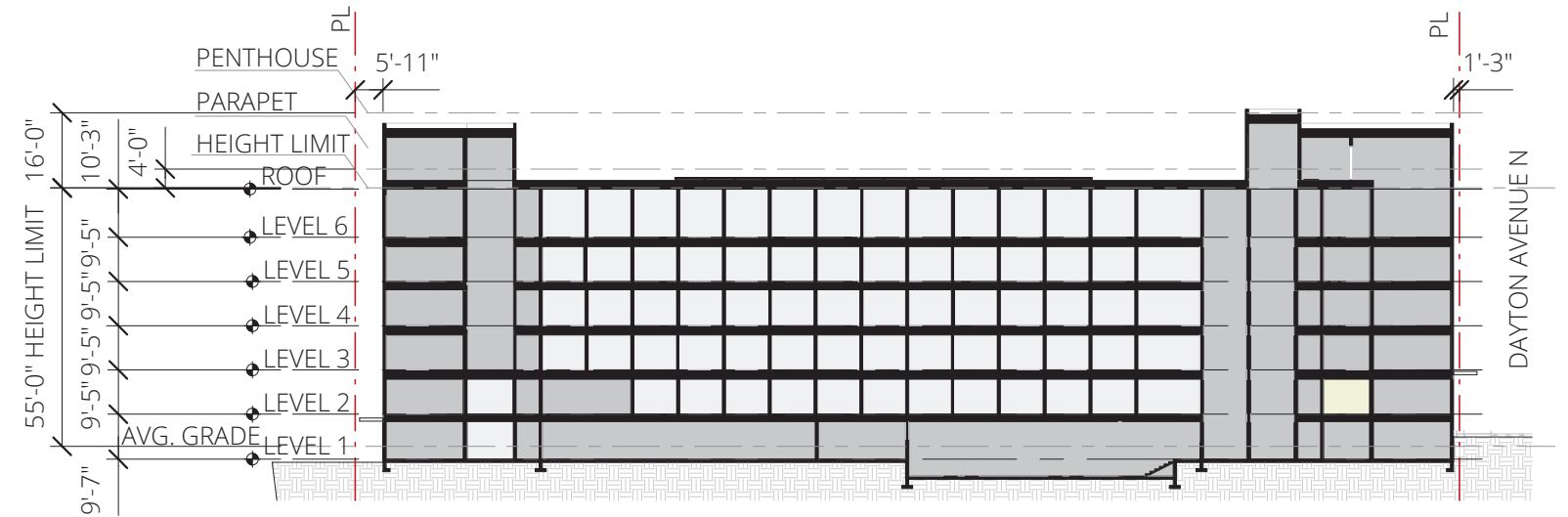




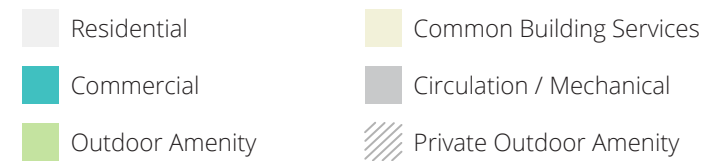
Level 6



Roof



Section

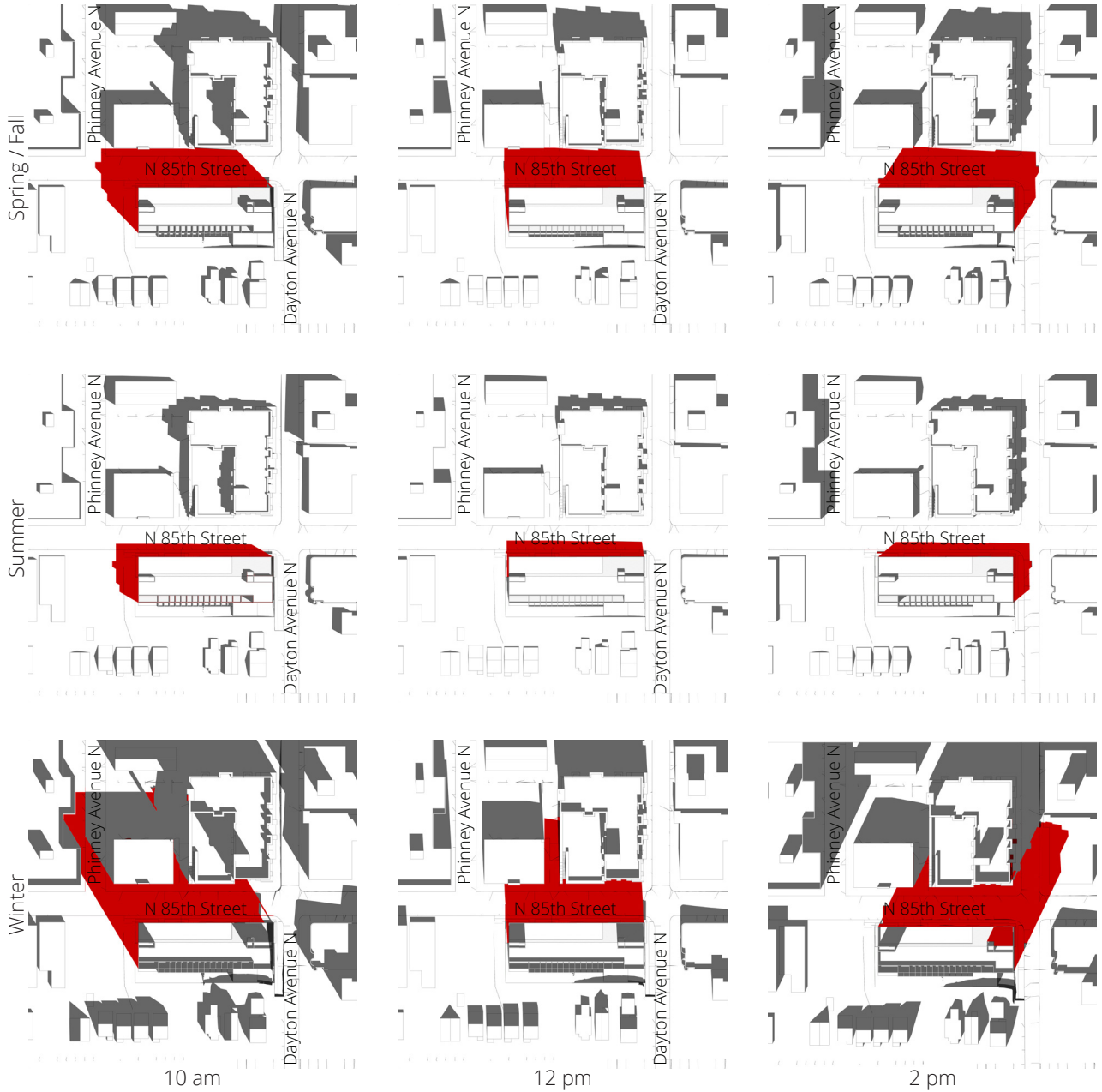


SCALE: 1" = 40'-0"



DEPARTURES: SCHEME B - CODE COMPLIANT

No Departures Requested



SCALE: 1" = 40'-0"



PERSPECTIVES: SCHEME C - PREFERRED



Looking southwest from N 85th Street



Looking southeast from N 85th Street



Looking northwest from Dayton Ave N

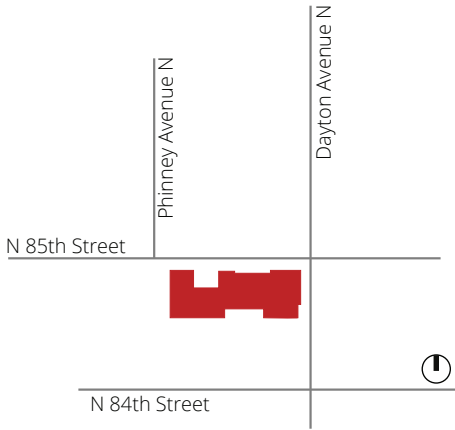


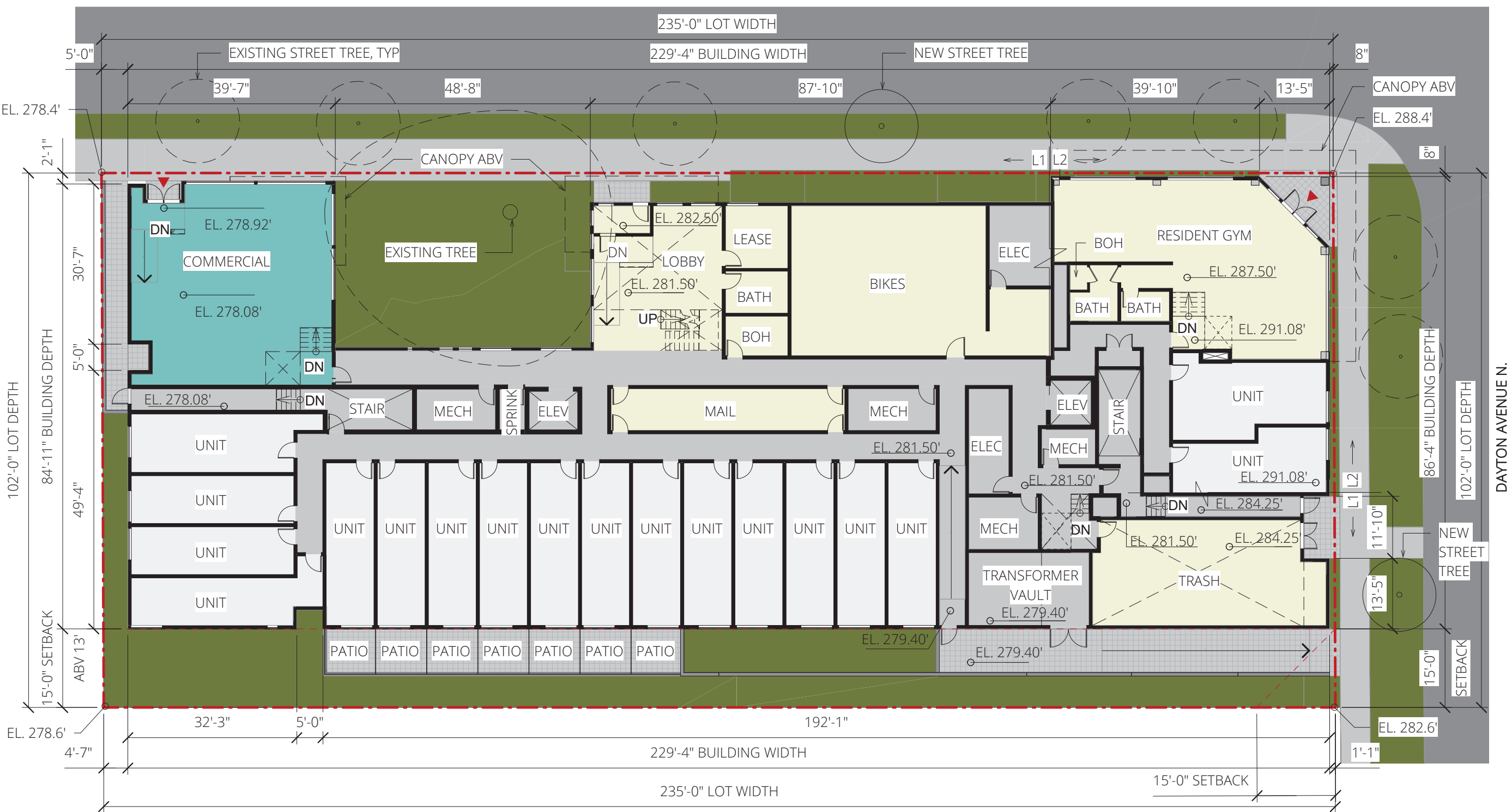
Aerial

Scheme C - Preferred

Units: 200
Unit Types: 124 SEDU, 21 Studios, 36 Open 1-Bed,
19 1-Bed
Commercial SF: 1,415
FAR: 3.75
GFA: 89,802
GSF: 94,368

- Pros:
- One exceptional tree retained, massing and entries honor the tree. Tree is visible from the public realm (Greenwood/Phinney PL2.I.i).
 - Increased setback to the south at ground-level provides relief to less-intensive zone (Greenwood/Phinney CS2.II.i/ii).
 - Upper-level setbacks provided at all sides creating a variety of common and private amenity spaces (DC3.B.4).
 - High activity uses facing street (PL2.B.1).
 - Street-corner amenity space designed to accommodate second retail space in the future (DC2.E.1).
 - 2-story residential entry has strong relationship to established pedestrian routes, is identifiable and is highly-transparent (Greenwood/Phinney CS3.I/II).
- Cons:
- One Departure required



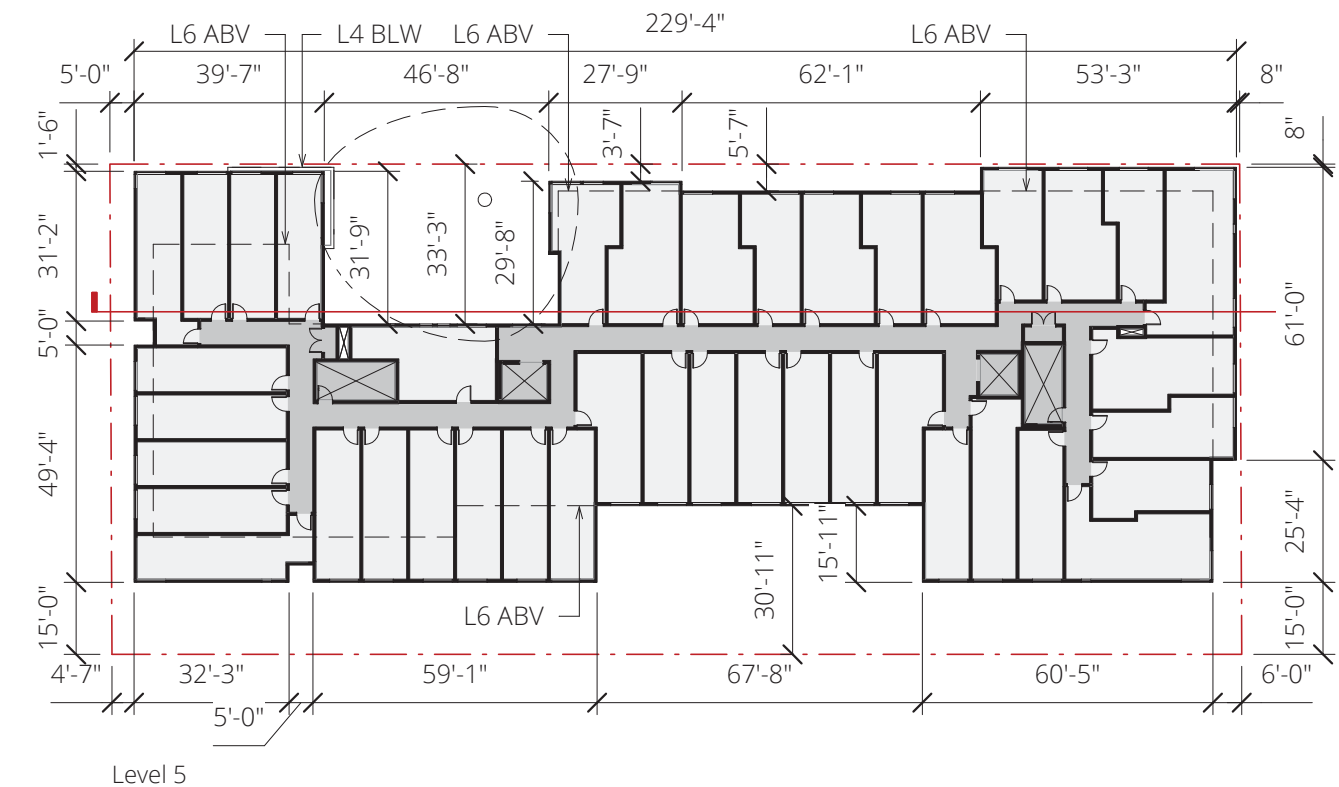
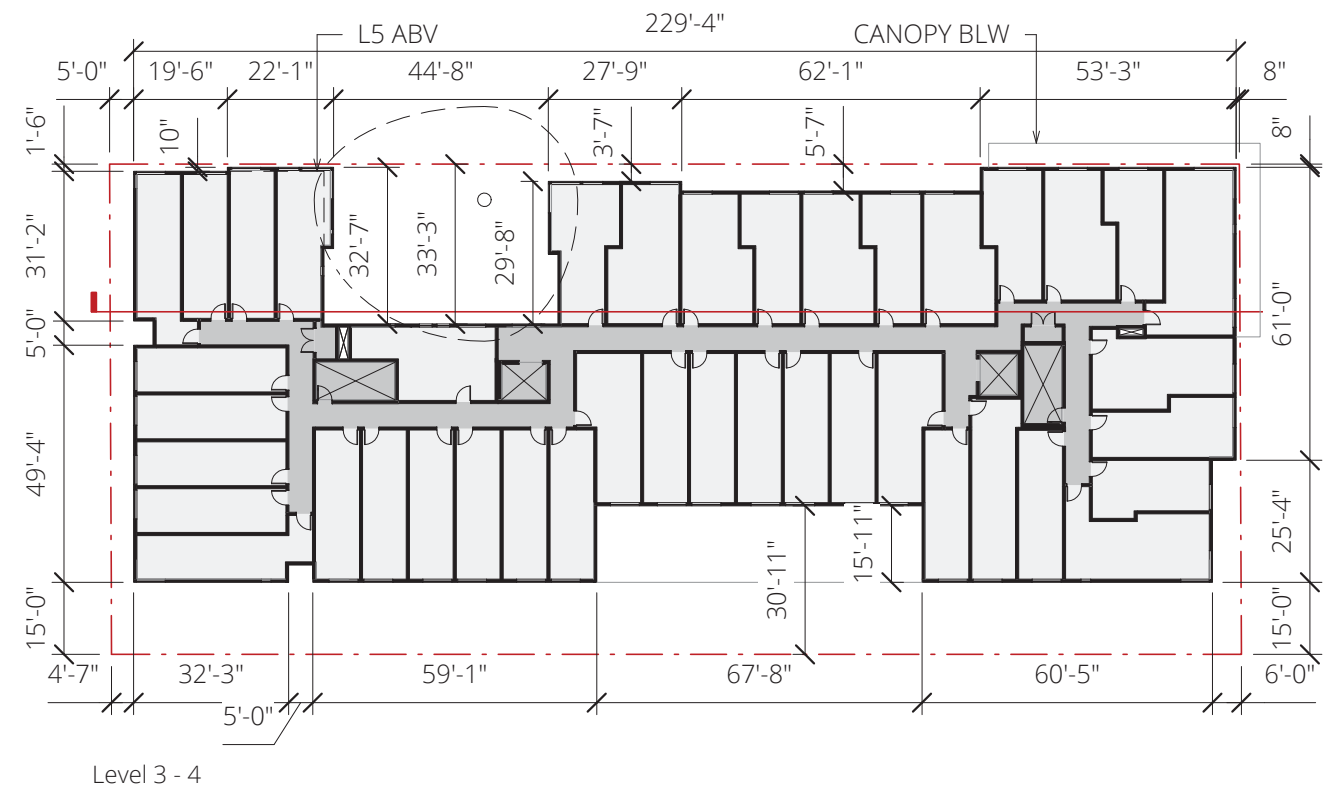
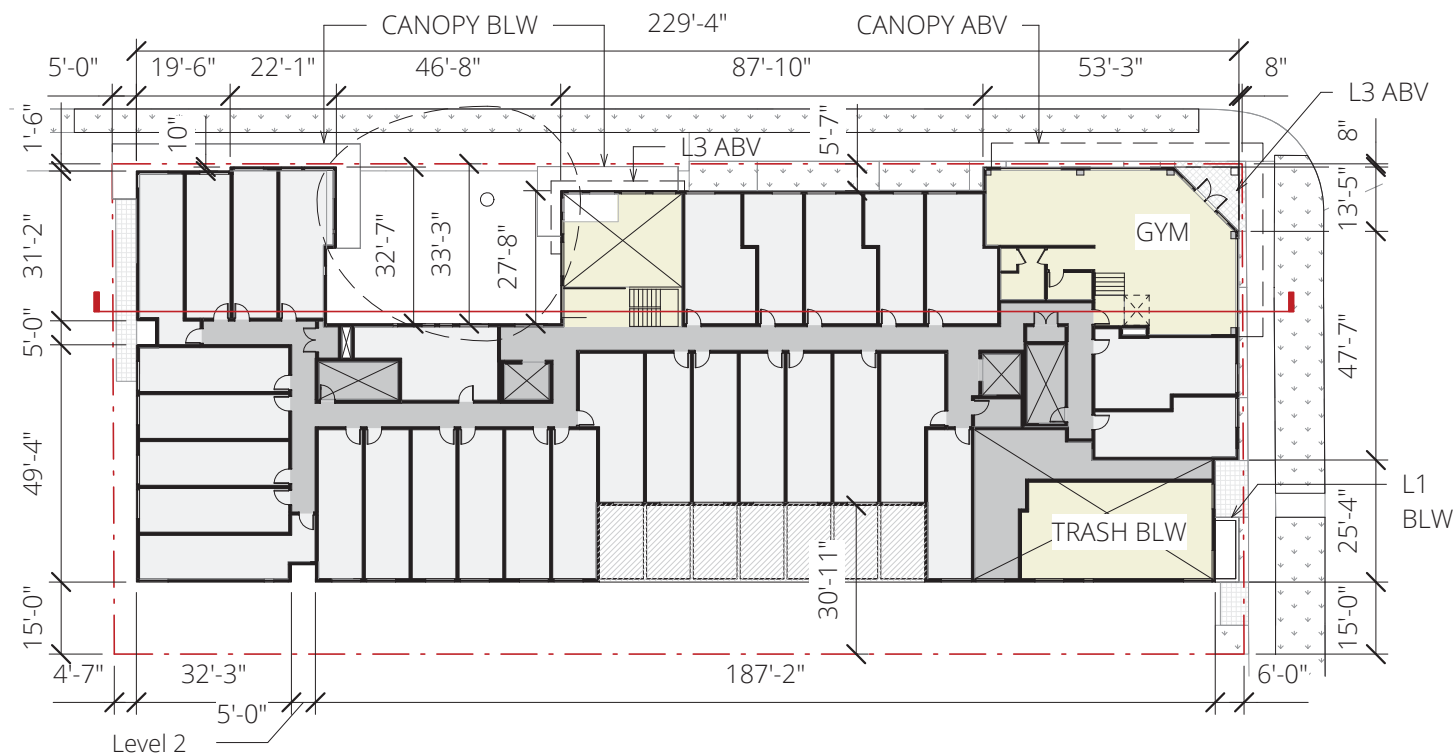
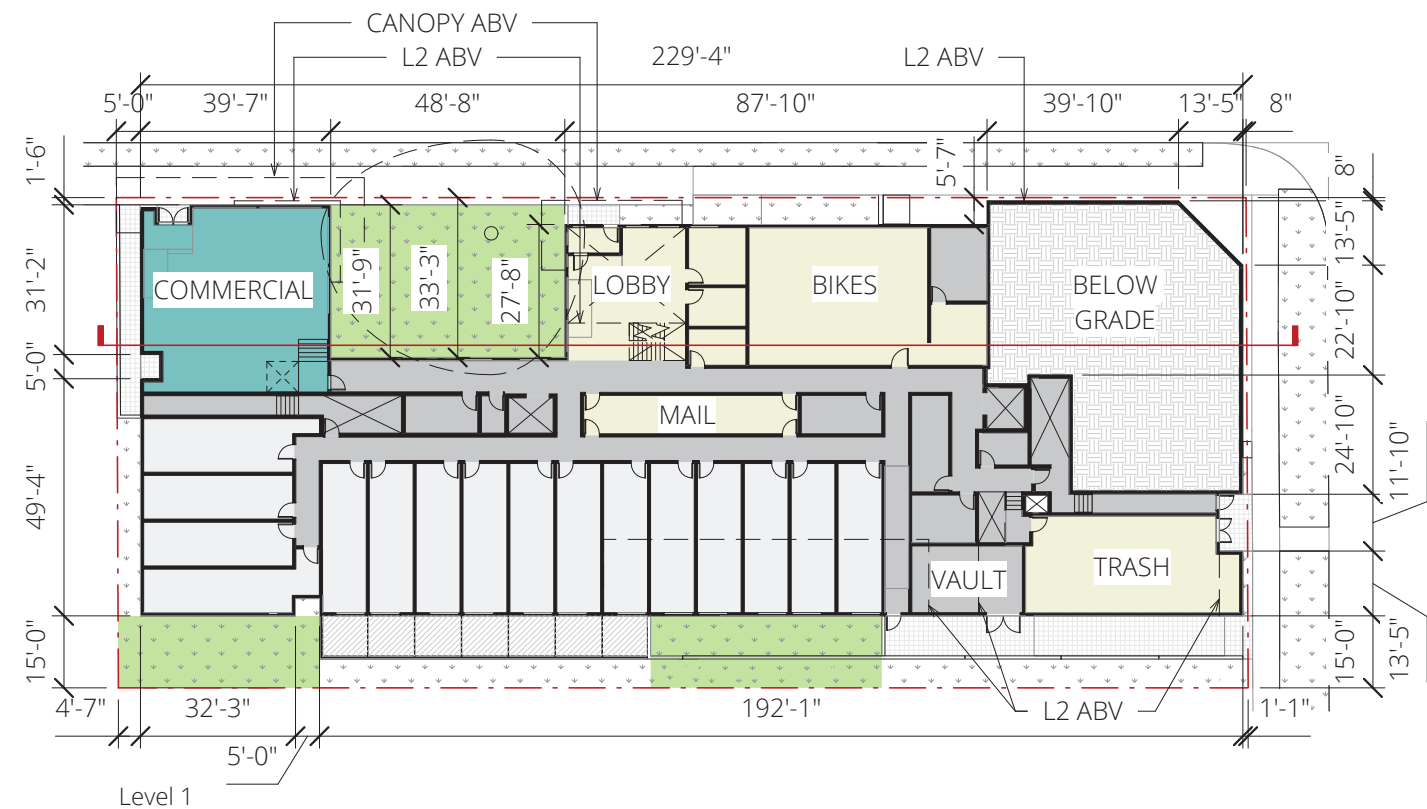


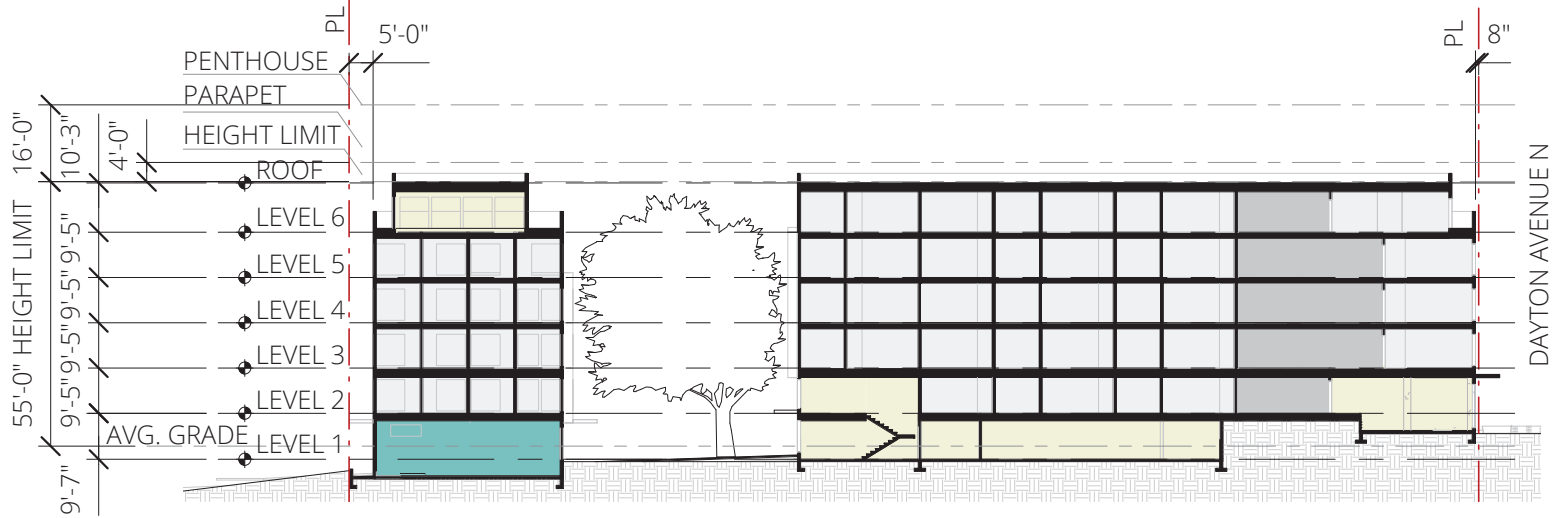
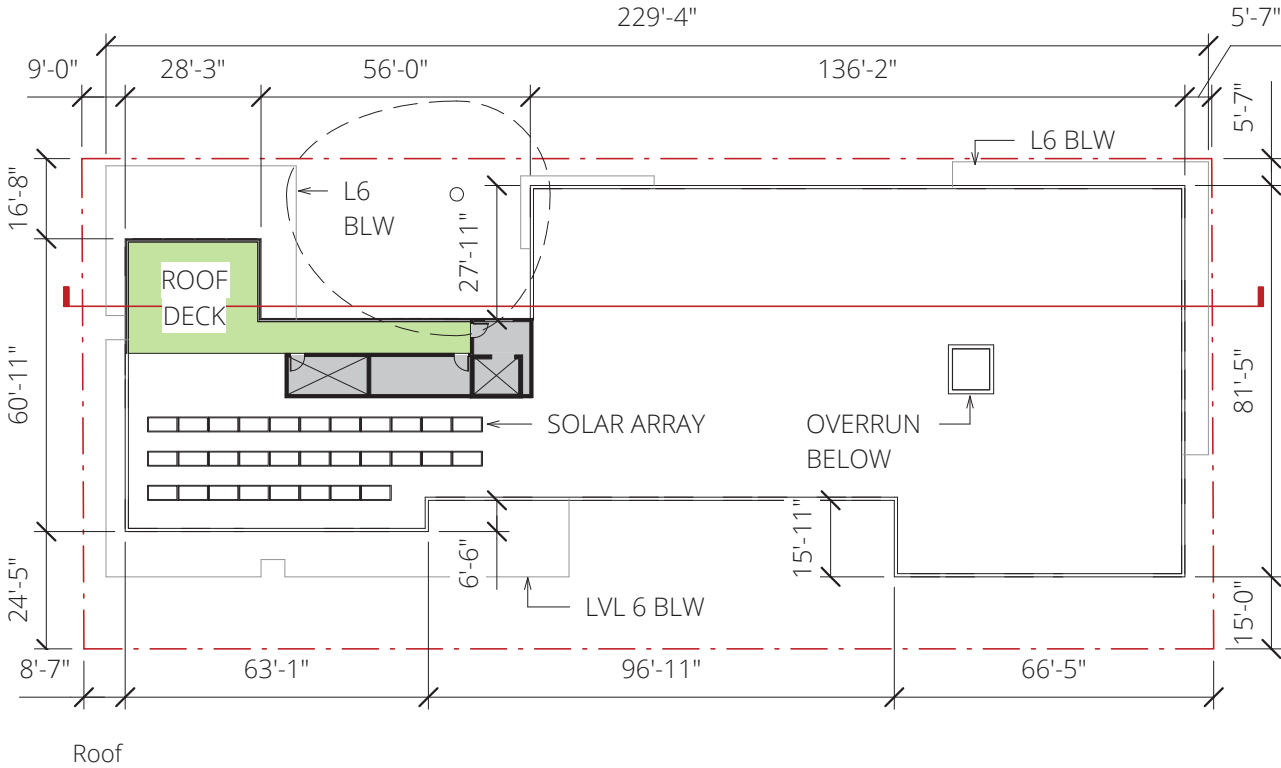
- Entry
- Residential
- Common Building Services
- Commercial
- Circulation / Mechanical

SCALE: 1" = 20'-0"



PLANS & SECTIONS: SCHEME C - PREFERRED





Section

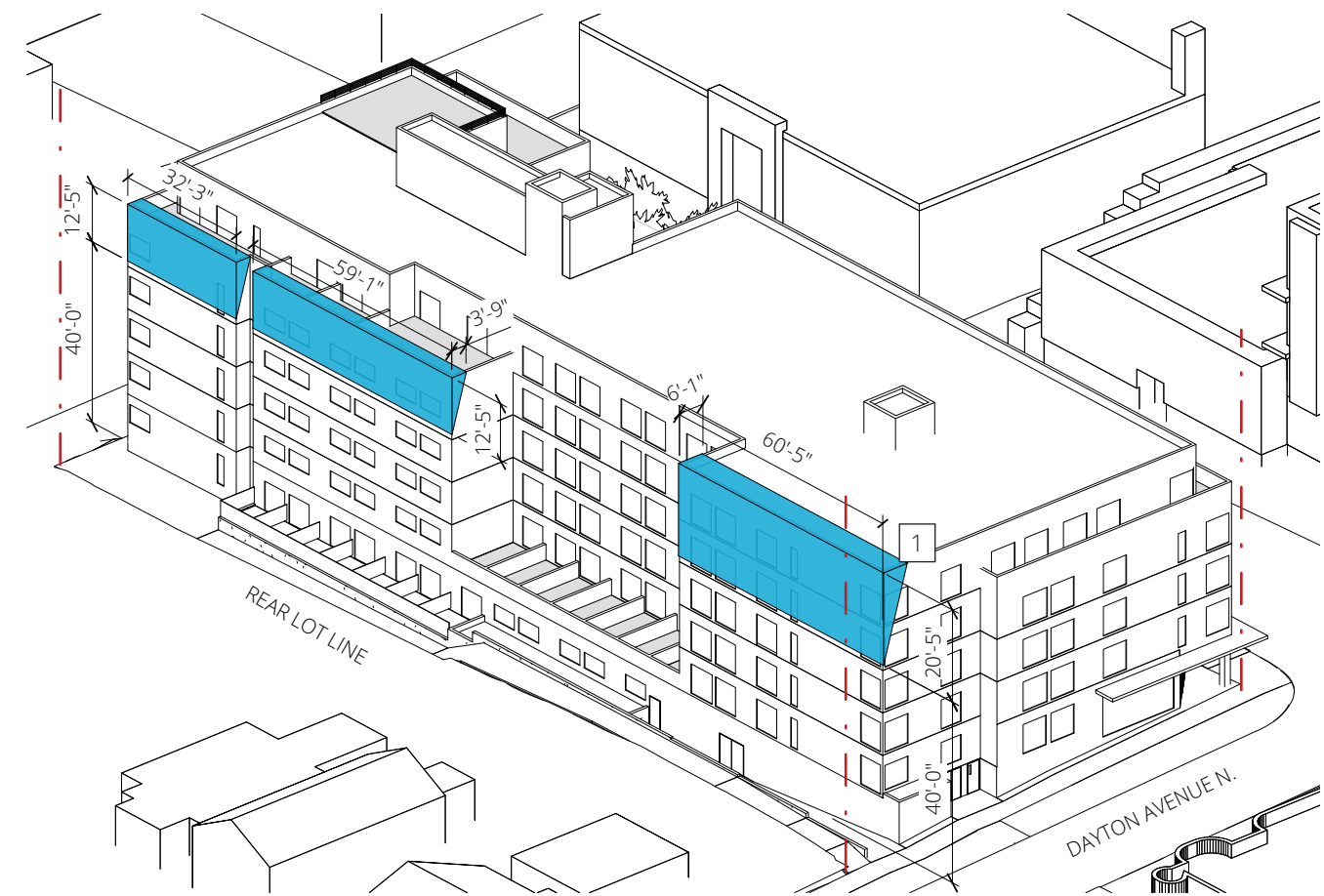
- Residential
- Commercial
- Outdoor Amenity
- Common Building Services
- Circulation / Mechanical
- Private Outdoor Amenity

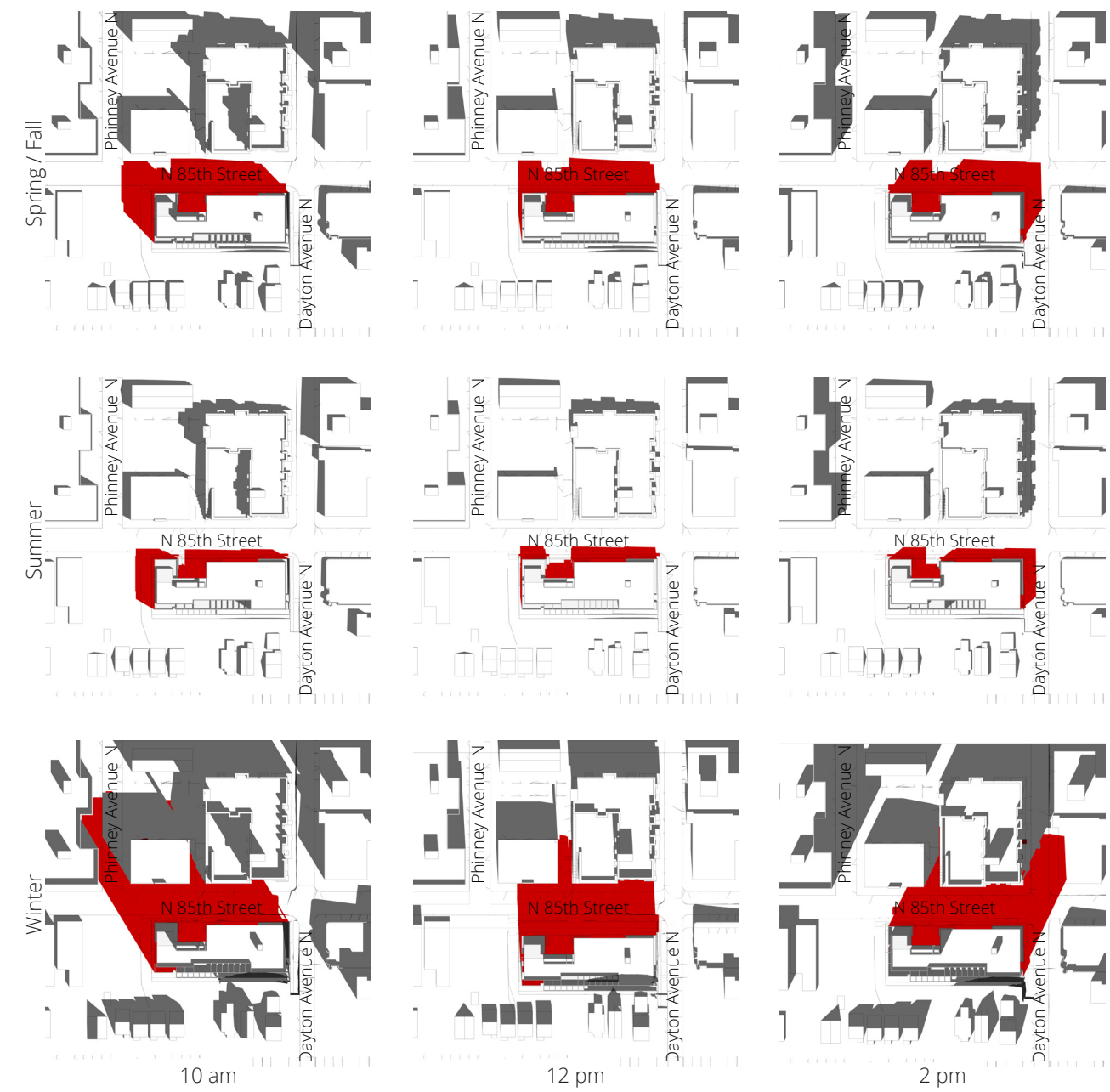
SCALE: 1" = 40'-0"

DEPARTURES: SCHEME C - PREFERRED

1 SMC 23.47A.014.B.3.b: REAR SETBACK OVER 40' ABOVE GRADE

REQUIRED: In addition to 15' setback 3' for every 10' over 40 above finished grade.
PROPOSED: For 12'-5" of height above 40': 15' setback for 41% of facade; For 20'-5" of height above 40': 15' setback for 27% of facade.
Guidelines/Justification:
Greenwood/Phinney Guideline DC2.I Facade Articulation and Modulation: Massing is distributed to the rear to allow for the exceptional tree courtyard facing N 85th Street.
Greenwood/Phinney CS2.II.i/ii: Height, Bulk & Scale Compatibility: The rear facade is well-articulated to allow for greater than required setbacks at grade, the center of the facade and at the upper level. Landscaping strategies that buffer at the stepping will further treat the transition to the less-intensive zone.





SCALE: NTS

SCHEME COMPARISON: N 85TH FRONTAGE

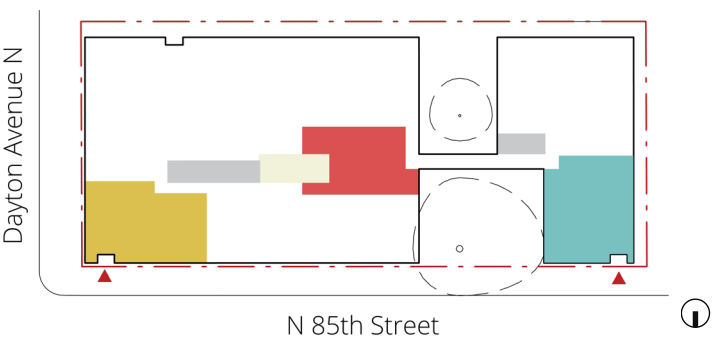
Street Wall Analysis



Scheme A - Tree Retention

N 85th Street

Core / Common Area Orientation



N 85th Street

Scheme A - Tree Retention comments:

Positives:

- Commercial at northwest corner maintain 'retail wall' along N 85th Street.
- Residential lobby activates corner of N 85th & Dayton.

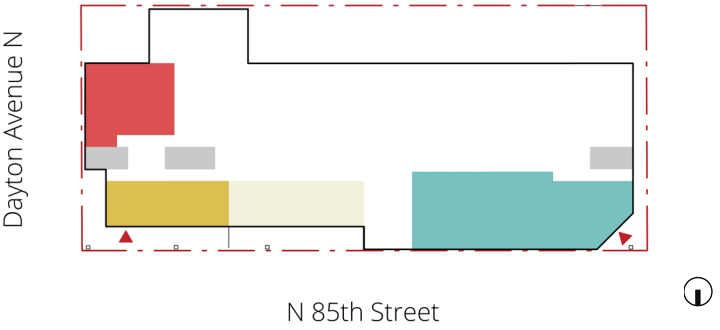
Negatives:

- Long facade is blank or residential use, less street engagement.
- Bike storage is separate from building lobby, and not visible from ROW.
- Articulation breaks down facade, but no engagement with topography or relationship to potential neighbors.



Scheme B - Code Compliant

N 85th Street



N 85th Street

Scheme B - Code Compliant comments:

Positives:

- Commercial at northwest corner maintain 'retail wall' along N 85th Street.
- Residential lobby and interior common area activates frontage along Dayton.

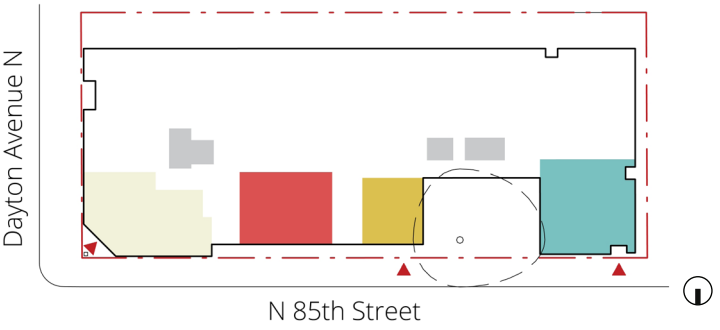
Negatives:

- Long portion of facade is deeply recessed from the sidewalk, making less engagement with pedestrian experience.
- Bike storage is visible from ROW, but separated from building entrance.
- Upper facade lacks articulation to break down building scale, relate to topography or establish datums with neighbors.



Scheme C - Preferred

N 85th Street



N 85th Street

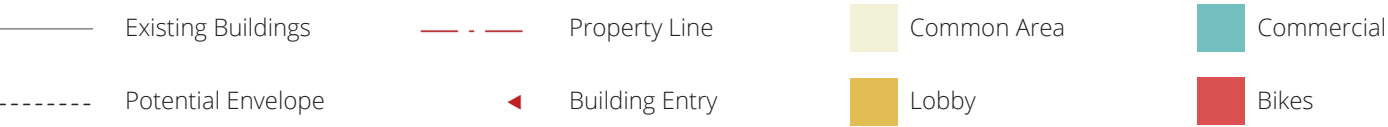
Scheme C - Preferred comments:

Positives:

- Commercial at northwest corner maintain 'retail wall' along N 85th Street. (Greenwood/Phinney CS2.I.i Reinforcing Commercial Patterns)
- Residential common area activates corner at N 85th & Dayton. Space is configured to be commercial in the future. (DC2.E.1 Legibility and Flexibility)
- 2 story residential lobby near mid-point of building creates visual interest and activity along the frontage. (PL4.A.2 Connections to All Modes)
- Bike storage is adjacent to lobby and visible from ROW. (PL4.B.2 Bike Facilities)
- Facade articulation breaks down building scale, follows the site sloping, and relates to the development potential of neighbors. (CS2.B.2 Connection to the Street)

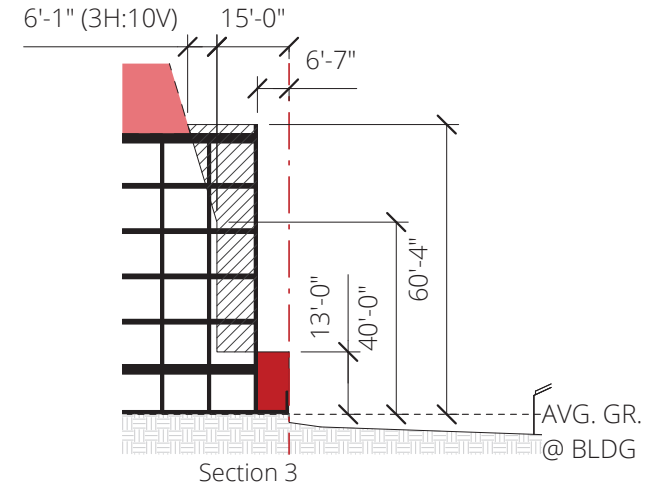
Negatives:

- None.

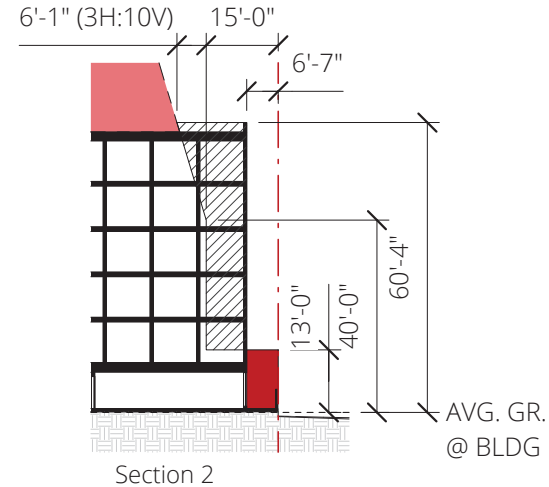


Scheme A - Tree Retention comments:

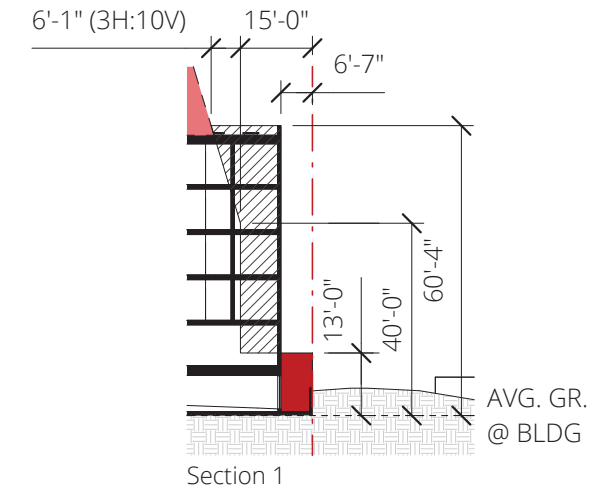
- Decreased rear setback required to shift massing around in order to preserve 2 exceptional trees.
- Large breaks in massing provides some relief to south neighbors.
- Significant departure request and impact to south neighbors.



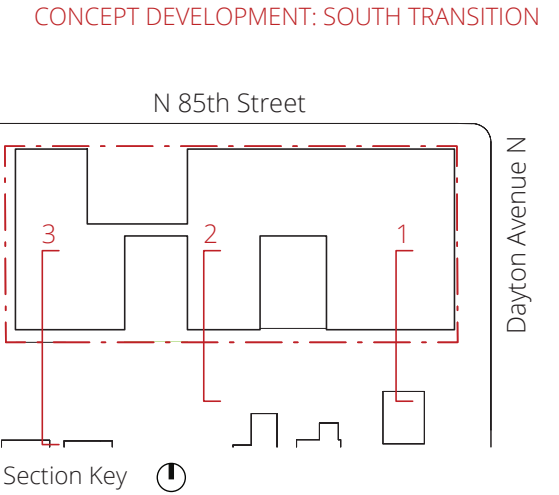
Section 3
Scheme A - Tree Retention



Section 2

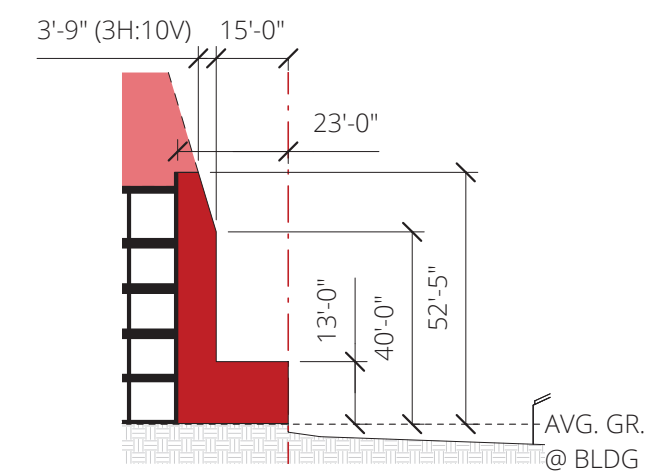


Section 1



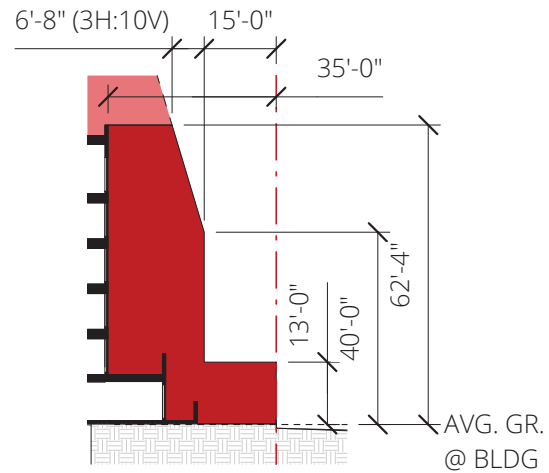
Scheme B - Code Compliant comments:

- Most generous rear setback.
- Limited articulation to break down long facade.
- No departure requested, both exceptional trees removed.

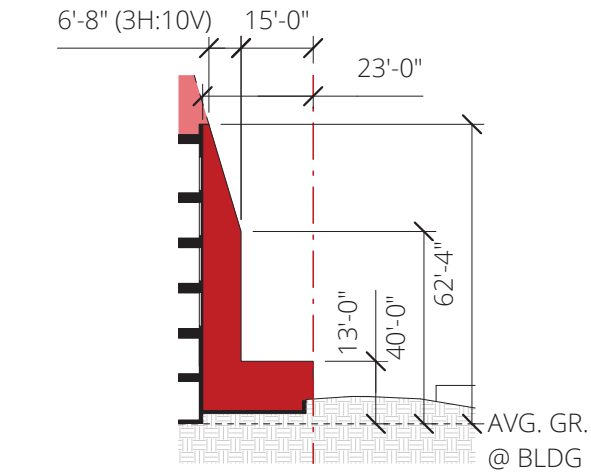


Section 3

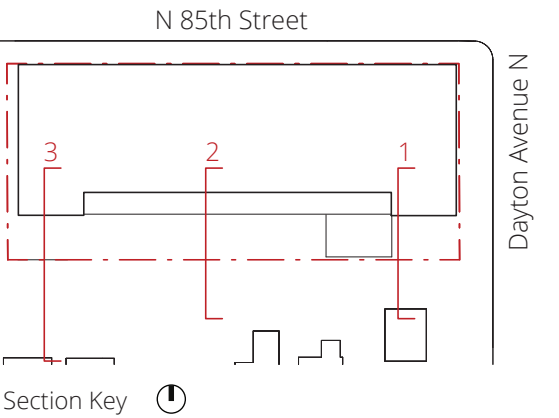
Scheme B - Code Compliant



Section 2

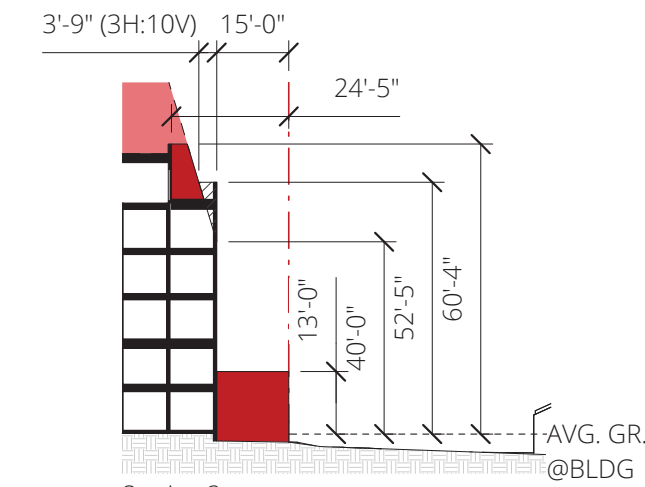


Section 1



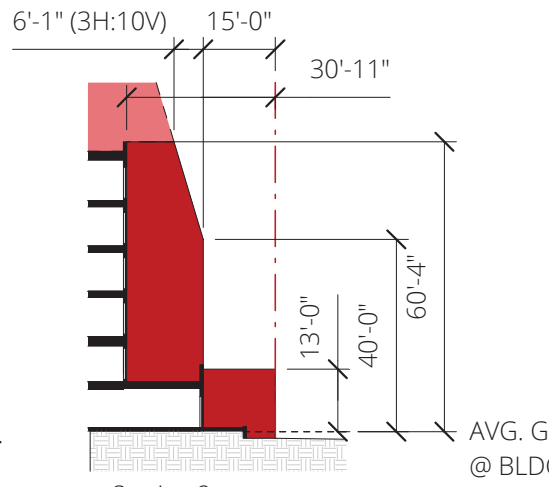
Scheme C - Preferred comments:

- Articulated south facade breaks down bulk. (Greenwood/Phinney DC2.I Facade Articulation and Modulation)
- Stepped upper level reduces impact to south neighbors, and transitions massing to less intensive zoning. (Greenwood/Phinney CS2.II.i/ii Height, Bulk & Scale Compatibility)
- 15' setback at ground level provides area for landscape buffer at grade. (Greenwood/Phinney DC4.III Exterior Elements)

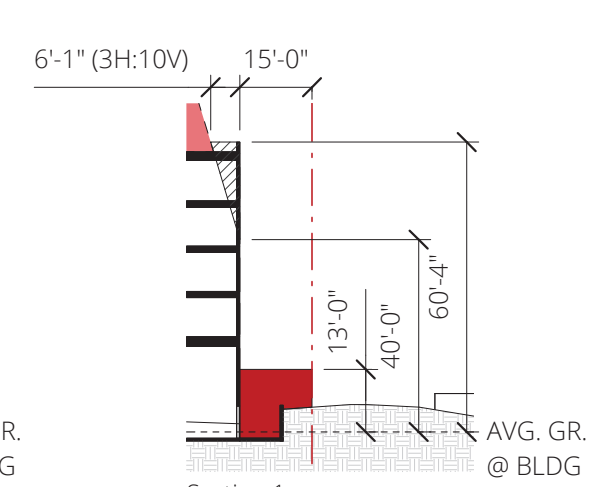


Section 3

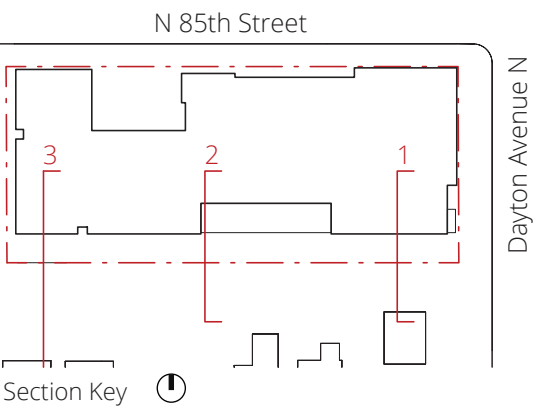
Scheme C - Preferred



Section 2



Section 1



Building Potential

Penthouse/Parapet Potential

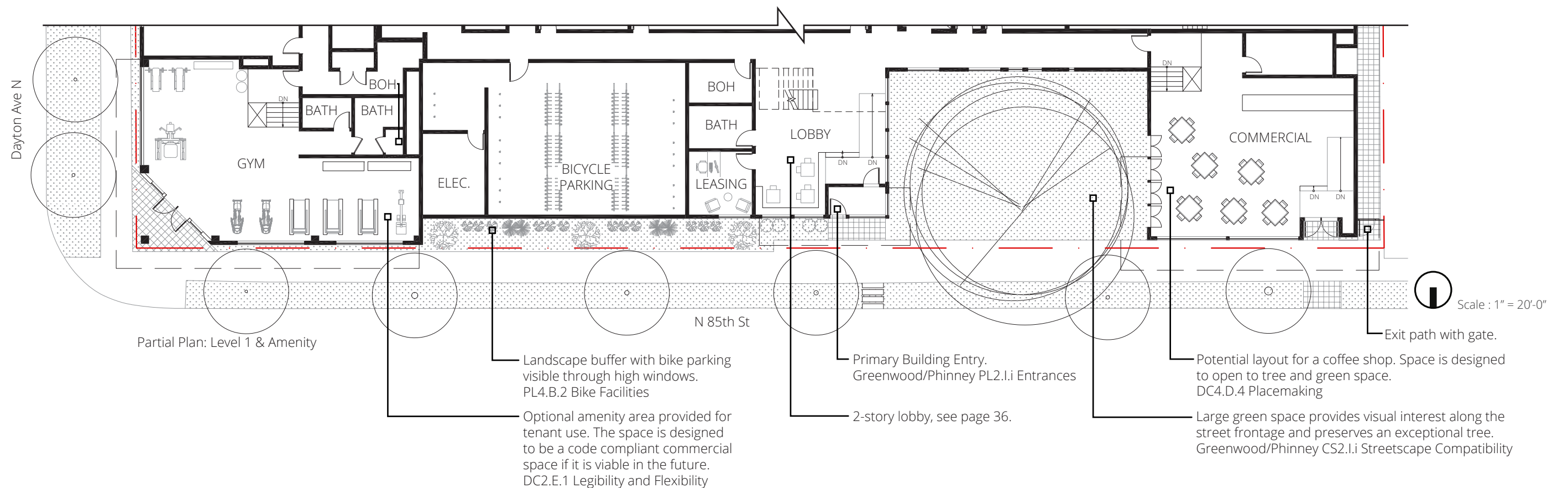
Departure Requested





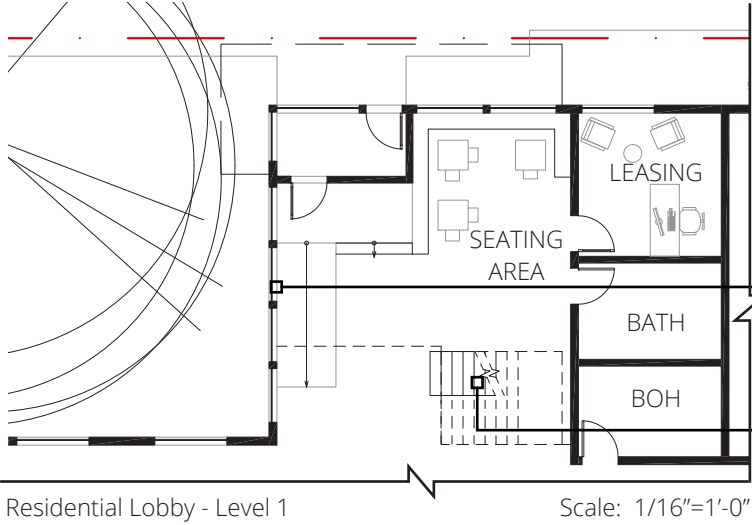
Partial North Elevation

Scale : 1" = 20'-0"



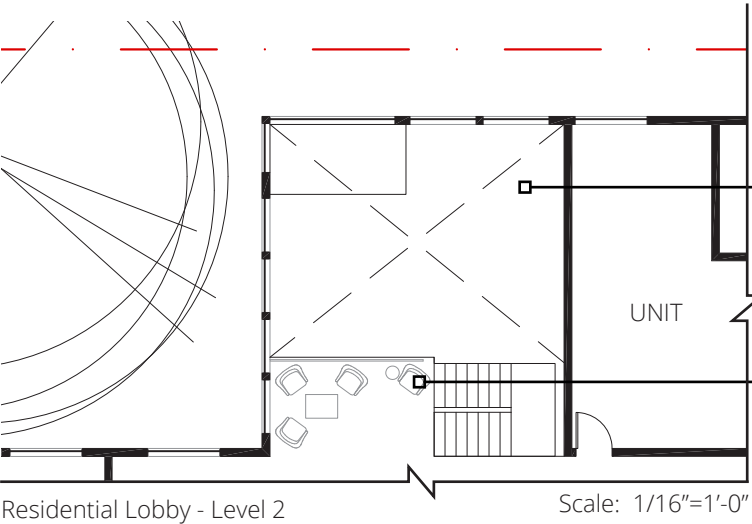


Looking southeast at Residential Lobby from N 85th Street



Large amounts of transparency to take advantage of the exceptional tree.
DC1.A.4 Views and Connections

Open stairs to Level 2 seating area above.



Open to below.

Upper level seating area overlooking lobby.
PL2.B.1 Eyes on the Street

Elevator vestibule provides a 24/hr lit up area
PL2.B.2 Lighting for Safety

2 story lobby provides clear wayfinding.
PL2.D.1 Design as Wayfinding

Entry signage, canopy and materiality work together to enhance pedestrian experience.
PL1.B.3 Pedestrian Amenities, Greenwood/Phinney
DC4.II Exterior Finishes



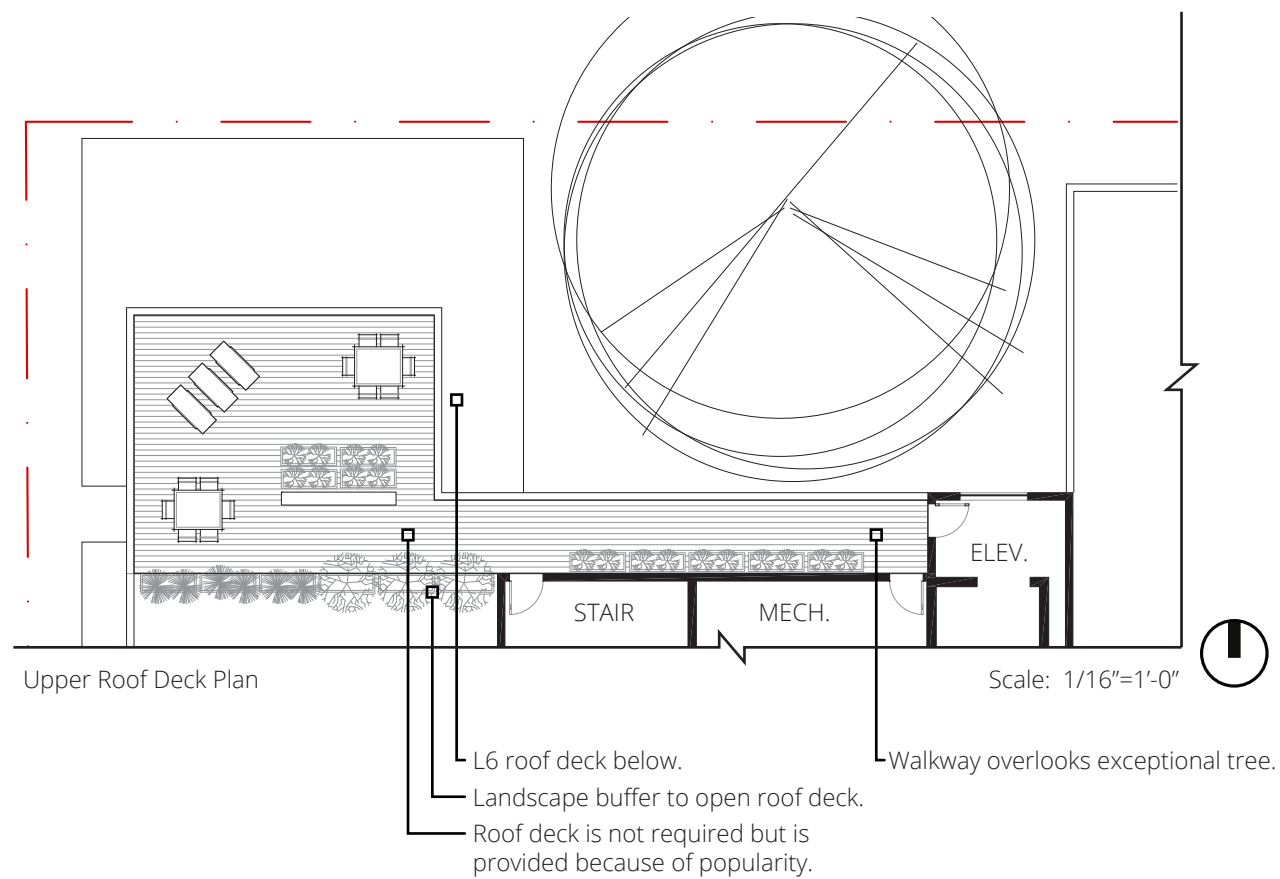
Double height volume with mezzanine



Entry transparency



Canopy defining entry & corner



Amenity Area Concept:
A variety of private and common areas are provided around the building. Several of these areas are beyond code requirements and are provided as a benefit for the residents. Each area will include landscape suited to its orientation and visibility needs.
Guidelines: CS1.D.1 On-Site Features, DC3.B.4 Open Spaces and Activities, Greenwood/Phinney DC4.III Exterior Elements



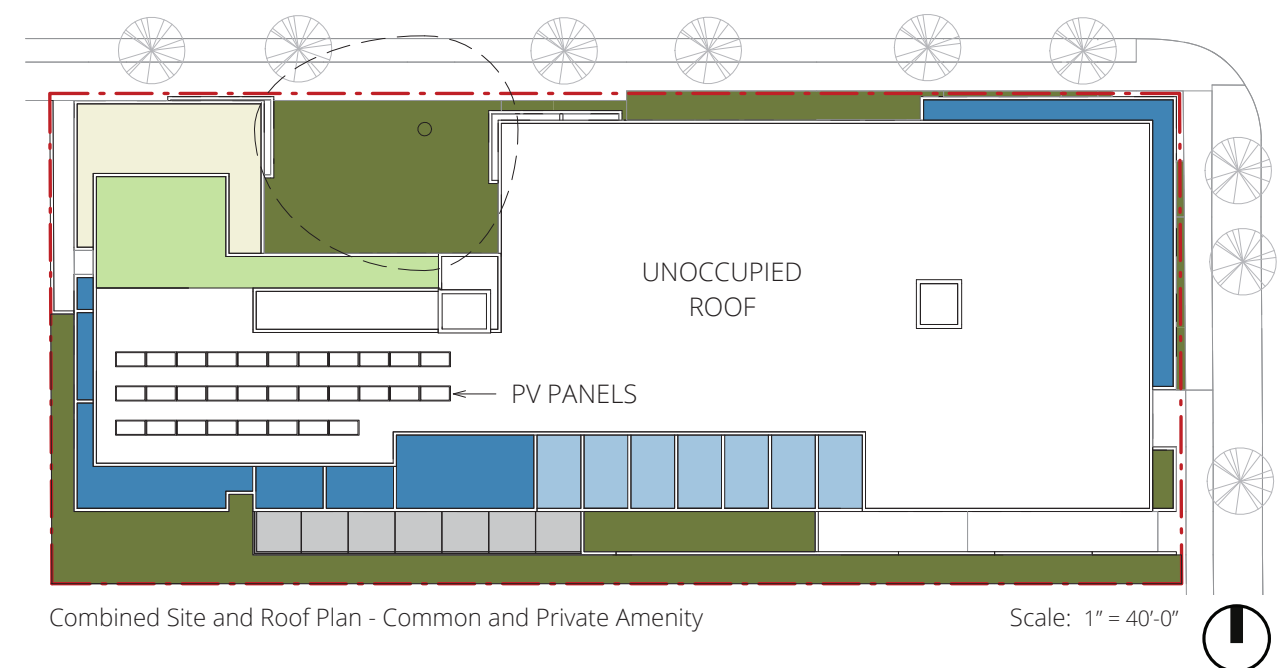
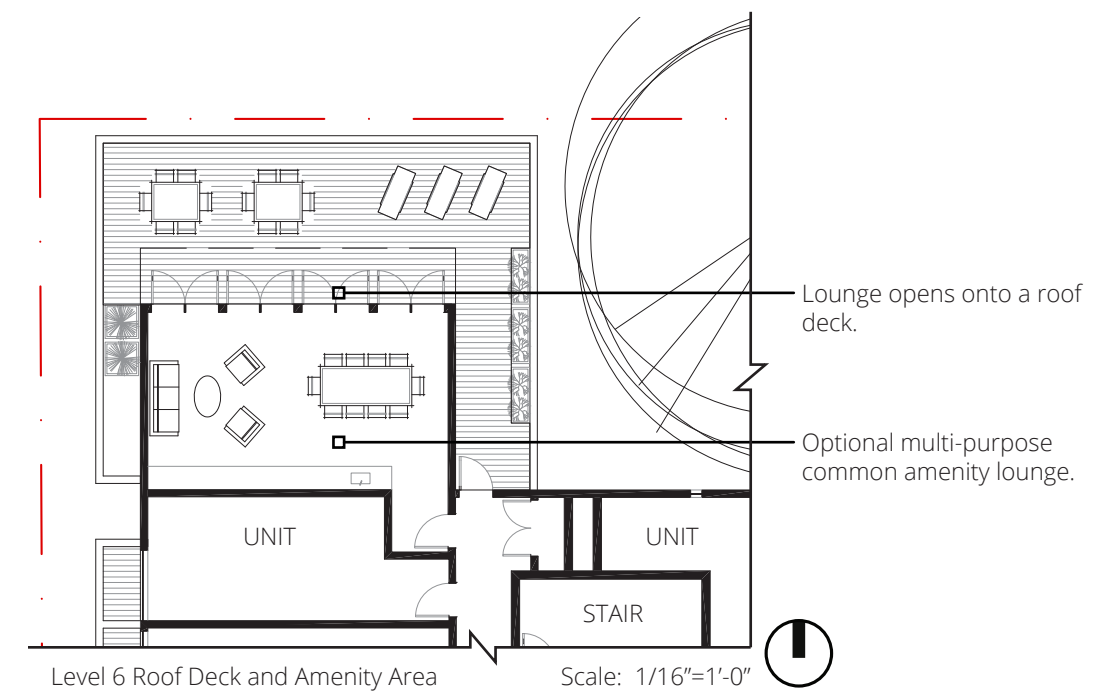
Flexible seating



Freestanding planters



Private patios



- Landscape at grade
- Private outdoor amenity at Level 6
- Private patio amenity at grade
- Common outdoor amenity at Level 6
- Private outdoor Amenity at Level 2
- Common outdoor amenity at Roof

RECENT WORK



5201 Rainier Avenue S



412 NW 65th Street (Under Construction)



6301 15th Avenue NW



5231 Rainier Avenue S



600 E Howell Street (Under Construction)



800 5th Avenue N



4710 20th Avenue NE



1806 23rd Avenue



1728 12th Avenue



1715 12th Avenue



1404 Boylston Avenue