



# 3010 APARTMENTS

3010 & 3014 SW AVALON WAY, SEATTLE, WA

SDCI Project #3035979-LU  
Recommendation Meeting  
Southwest Design Review Board

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## PROJECT TEAM

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# SITE INFORMATION

Project Location:  
3010 - 3014 SW Avalon Way,  
Seattle WA 98126

Parcel #:  
9297300835  
9297300840

Lot Size:  
9,600 SF

FAR Allowed:  
4.5

Unit Count:  
86 Units

Base Zone:  
MR (M)

Overlay Zones:  
West Seattle Junction Hub Urban Village

Design Guidelines:  
Seattle Design Guidelines  
West Seattle Junction Neighborhood Design Guidelines

Proposal Summary:

|                           |           |
|---------------------------|-----------|
| · Total Gross Floor Area: | 42,350 SF |
| · Building Height:        | 74' - 4"  |
| · Residential Units:      | 86 UNITS  |
| · Bike Stalls:            | 84 STALLS |

Project Description:  
The project proposes an 8-story 86-unit apartment building that includes a residential lobby, roof top terrace and amenity spaces. 84 bike stalls are provided within the building.





SITE ANALYSIS SURROUNDING BUILDINGS



**1. 3026 B SW AVALON WAY**  
3026 SW AVALON WAY | TOWNHOUSE  
The development consists of four townhouses, each featuring three stories, with 3 bedrooms and 3 bathrooms. The exterior design of each townhouse showcases a blend of board and batten siding along with fiber cement panels.



**2. 3001 SW AVALON WAY**  
3001 SW AVALON WAY | CONDOMINIUM  
The multi-family dwelling is structured across 3 stories and accommodates a total of 9 units. The predominant materials used for the building facade include fiber cement panel.



**3. 3015 SW AVALON WAY**  
3015 SW AVALON WAY | CONDOMINIUM  
The condo comprises 6 stories and encompasses 51 units, originally constructed in 1980. The predominant materials used for the building facade include Hardie siding complemented by stone accents.



**4. 3050 SW AVALON WAY**  
3050 SW AVALON WAY | APARTMENTS  
7 stories apartment building with lofts on the 6th and 7th floors. The apartment building contains 104 bedrooms. No parking proposed.



**5. 3039 SW AVALON WAY**  
3039 SW AVALON WAY | APARTMENTS  
The proposed building is a 7-story apartment building containing 71 residential units with parking for 19 vehicles below grade, which will be accessed via a ramp off Avalon Way.



**6. AVALA APARTMENTS**  
3084 SW AVALON WAY | APARTMENTS  
The current structure is a 7-story apartments building, consisting of 34 units. The exterior design prominently features a combination of dark gray corrugated metal panel, complemented by fiber cement panel, lending a distinctive aesthetic to the facade.



**7. 3000 SW AVALON WAY**  
3000 SW AVALON WAY | CONDOMINIUM  
The existing building is a 4-story condominium building with 16 units and parking on ground level.



**8. 4050 30TH AVE SW**  
4050 30TH AVE SW | TOWNHOUSE  
The development consists of 4 townhouse units, distinguished by its utilization of fiber cement panel as the primary materials for the building's exterior facade.



**9. FUTURE LIGHT RAIL STATION**  
WEST SEATTLE BRIDGE & SW GENESEE ST |  
LIGHT RAIL STATION  
The future West Seattle Link Extension project might include a light rail station at the intersection of the West Seattle Bridge and SW Genesee St.







# ZONING SUMMARY

## ZONE MR(M)

### Permitted Uses 23.45.504

- Residential (including congregate residences if owned by certain entities or located within urban villages)
- Ground floor commercial uses (permitted as an administrative conditional use pursuant to Section 23.45.506)
- Parks and Community gardens

### Floor Area Ratio 23.45.510

- FAR with MHA Suffix: 4.5
- The following gross floor area is not counted toward maximum FAR:
  - All underground stories and all portions of a story that extend no more than 4 feet above grade

### Structure Height 23.45.514

The height limit is: 80'-0"

### Setback Requirements 23.45.518

- Front and Side: 7 foot average setback; 5 foot minimum setback
- Rear setback: 15 feet from a rear lot line that does not abut an alley; or 10 feet from the abutting alley
- Side setback: 7 feet average and 5 feet minimum for portions below 42 feet in height; 10 feet average and 7 feet minimum for portions above 42 feet in height

### Residential Amenity Areas 23.45.522

- Required Area: 5% of the total gross floor area in residential use
- Minimum horizontal dimension of the amenity: 10 feet, minimum area: 250 SF
- Private balconies: min horizontal dimension: 6 feet, minimum area 60 SF

### Landscaping and Screening Standards 23.45.524

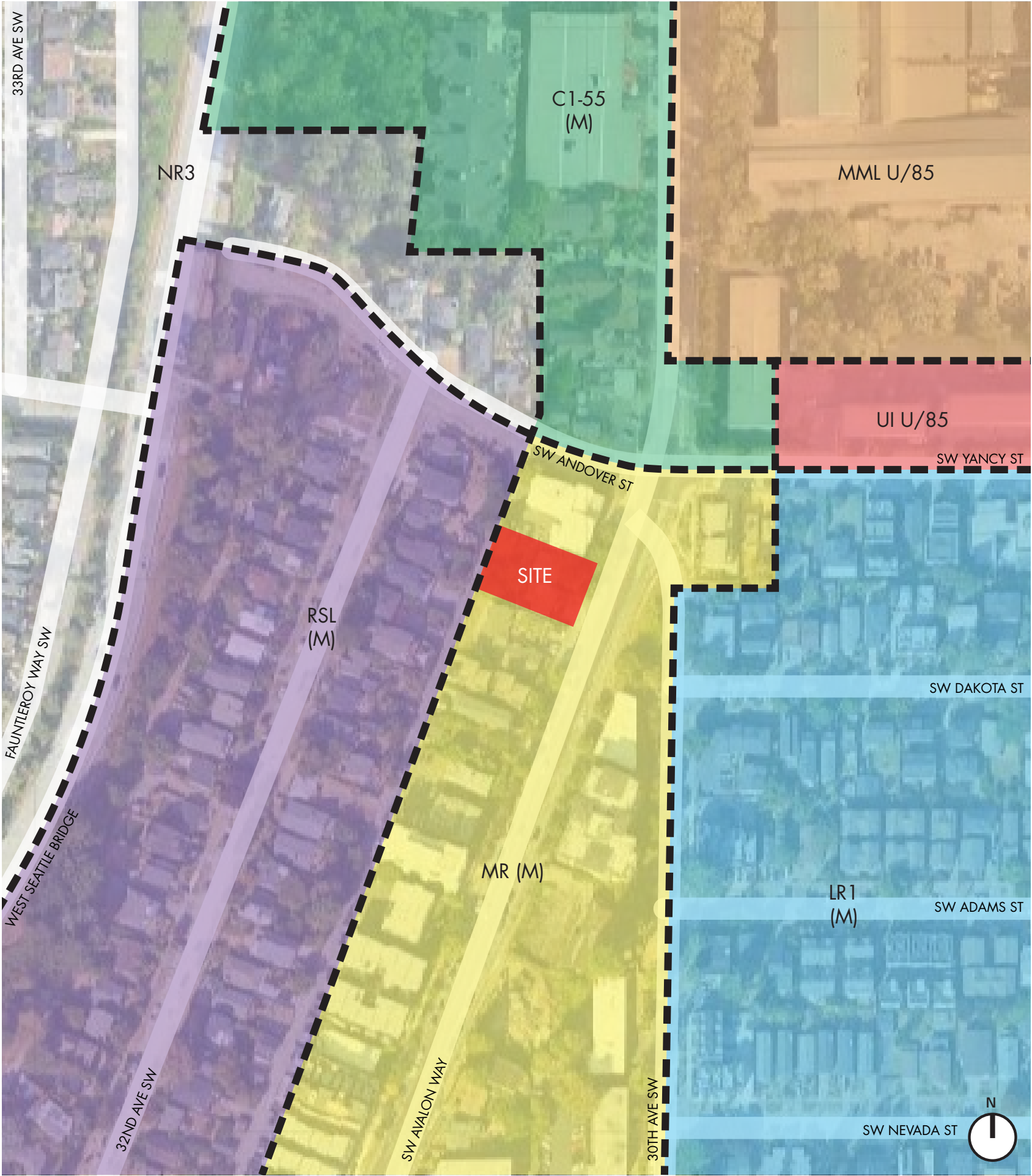
Green Factor Requirement: .50 or greater determined as set forth in Section 23.86.019

### Required parking 23.45.536

No minimum requirement for residential uses in urban village overlay.

### Bicycle parking 23.54.015

- Multi-family structures: 1 per dwelling unit for long term; 1 per 20 dwelling units for short term.
- For residential uses, after the first 50 spaces for bicycles are provided, additional spaces are required at 3/4 the ratio.





EDG RE-CAP OPTION 2 SUMMARY



Material Differences



Massing Modulation



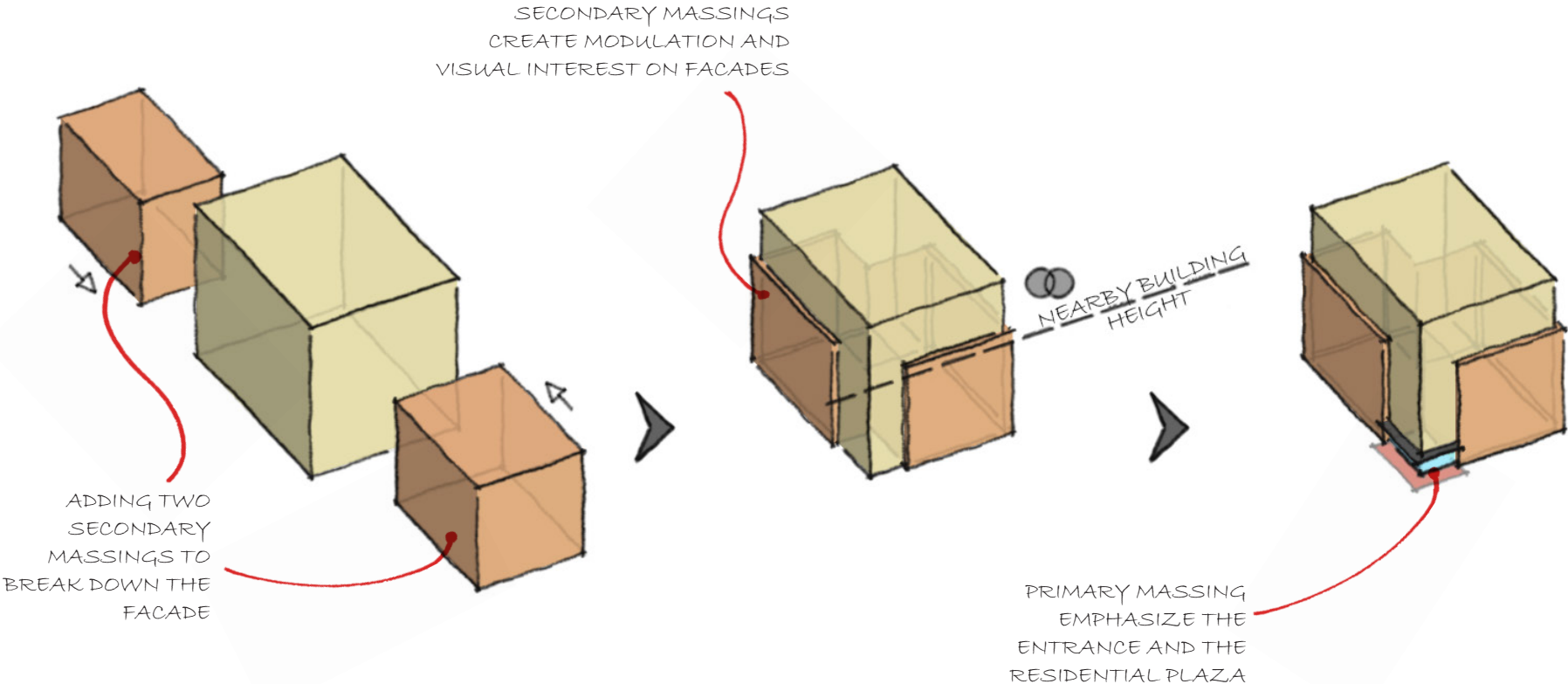
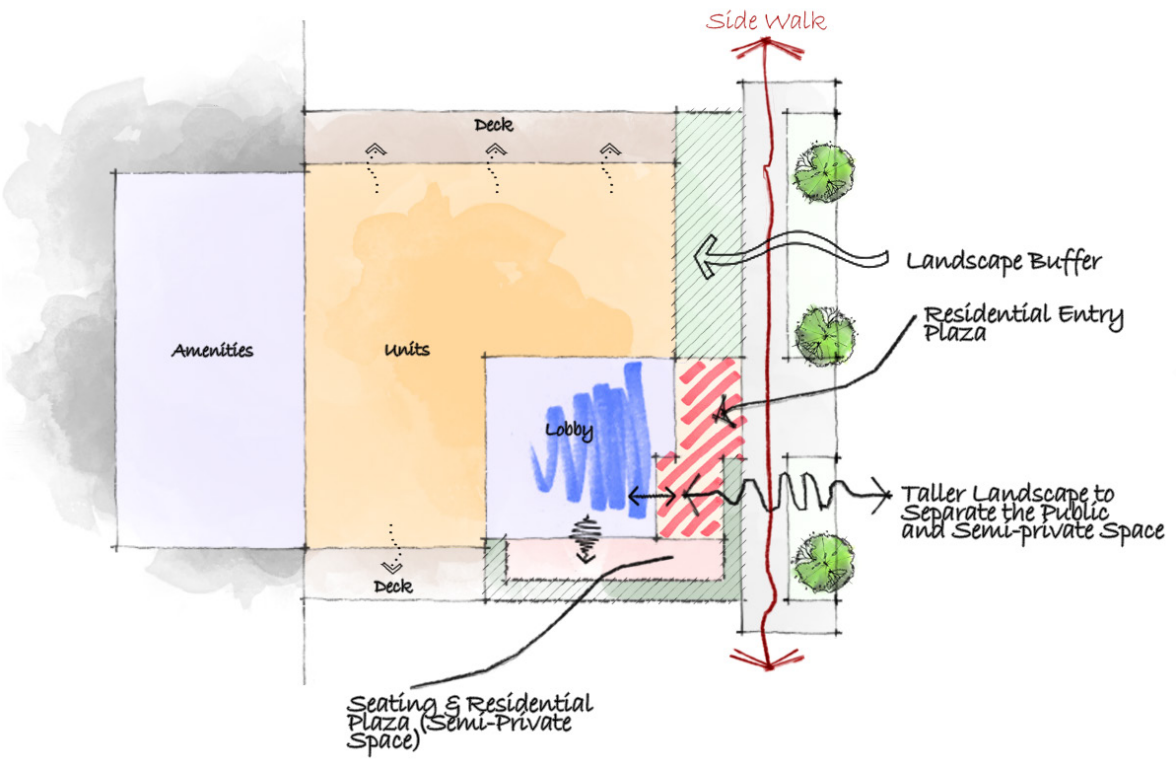
Facade Modulation



Metal canopy entrance



Entry Plaza Activities





EDG SUMMARY MASSING OPTIONS



OPTION 1

- PROS:**
- Clearly articulated residential entrance
  - Upper level setback to break down the massing
  - Recessed residential plaza at lobby entrance
  - Public space in the front of the building
  - Roof top community deck

- CONS:**
- Front plaza has less area

- DEPARTURES:**
- None



OPTION 2

- PROS:**
- Clearly articulated residential entrance
  - Upper level setback to break down the massing
  - Recessed residential plaza at lobby entrance
  - Roof top community deck

- CONS:**
- Recessed residential entrance on the southeast corner is less visible from street

- DEPARTURES:**
- 23.45.518 - Side setback: 10 feet average and 7 feet minimum for portions above 42 feet in height



OPTION 3 (PREFERRED)

- PROS:**
- Clearly articulated residential entrance
  - Entrance plaza on ground level
  - Roof top community deck
  - Massing steps with the slope of the site

- CONS:**
- Building massing setbacks less horizontally

- DEPARTURES:**
- 23.45.518 - Side setback: 10 feet average and 7 feet minimum for portions above 42 feet in height



# EDG RESPONSE

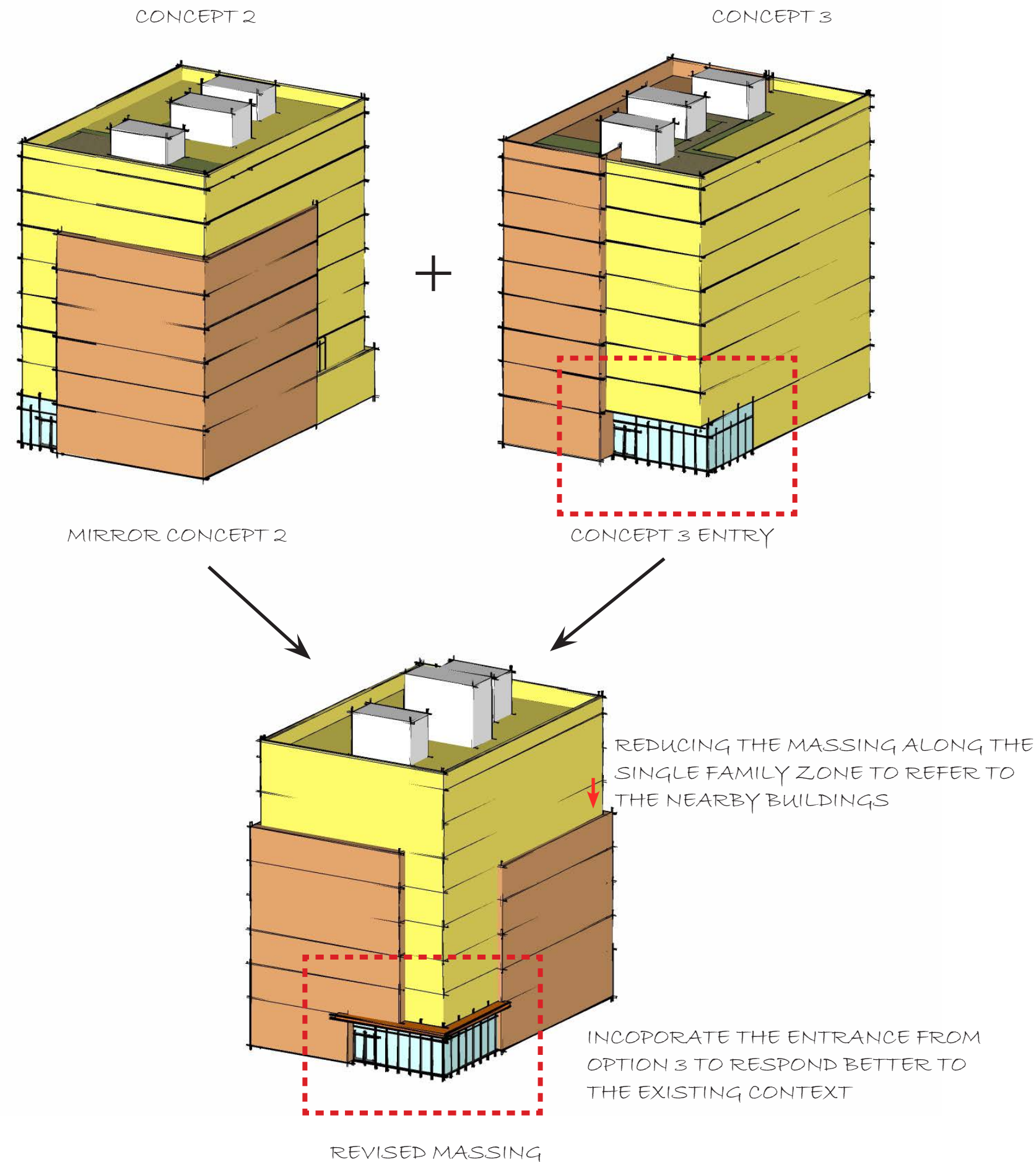
## BOARD RECOMMENDATIONS & RESPONSES:

### 1. ARCHITECTURE-MASSING

a. The Board noted that large massing moves are difficult to make without losing floor space on a small site such as this one. The Board also acknowledged the concerns voiced in the public comments regarding the scale of the project in the context of a lower scale and single family neighborhood. The Board noted that the applicant preferred Massing Concept 3 ('Shifting') had a simplistic elegance, but the massing forms conveyed a verticality that indicated no relation to context of the site and appeared to accentuate the height of the building. The Board observed that Massing Option 2 ('Intersecting') provided opportunities, with the projecting masses, to relate and respond to neighborhood cues. The Board noted that Concept 2 also stepped back the massing at the upper levels, reducing the perceived mass along the street frontage as well as at the zone transition to the rear of the site. The Board gave guidance to further develop Massing Concept 2, but to modify it to be mirrored along the frontage. This may allow the base mass and projecting elements to respond better to the existing architecture of the building to the north and would appear to step with the grade as the street rises to the south. (CS2-B, CS2-C-2, CS2-D-3, CS2-D-4, CS2-D-5, and CS3)

### RESPONSE:

The design has been further developed based on Massing Option 2 per the Board's recommendation and has been mirrored in order to respond better to the context and site topography. The design change also moves the residential lobby and plaza to the north side of the site per the Board's recommendation, which open up that side of the site and allows better access from the street.





# EDG RESPONSE

## BOARD RECOMMENDATIONS & RESPONSES:

### 1. ARCHITECTURE-MASSING

b. The Board gave guidance to study reducing the 'intersecting' mass of Massing Concept 2 on the street frontage by one level, to assist in making a better contextual reference to the building and associated open space to the north. The applicant should also study the rear massing step to include relational studies to visually reduce perceived mass along the single family zone transition. The Board requested a study of the location of the massing steps in the mirrored configuration of Massing Concept 2 in the Recommendation package to show intentional definition of the massing forms. (DC2-A-2, CS2-III-iii, CS2-D-1, and CS2-D-4)

### RESPONSE:

We studied lowering the massing along the street front, but recognized that the height of the setback, as originally designed, was more in keeping with the height of existing buildings in the site context along the street. We also studied the height of the setback along the alley and have lowed that one floor to align better with the smaller scale buildings along that frontage.





# EDG RESPONSE

## BOARD RECOMMENDATIONS & RESPONSES:

### 1. ARCHITECTURE-MASSING

c. The Board noted that information regarding proposed fenestration patterns and other secondary detailing was not included in the massing options presented in the EDG package. The Board requested further delineation of the secondary detailing in the Recommendation package. The Board stated that this additional level of detailing should be considered in regard to bringing relatable residential scale to the massing concept and relating the proposed building to context. (DC2-B-1, DC2-C, and DC2-I-ii)

### RESPONSE:

Secondary detailing elements have been added to the massing in the form of large patterned windows, window shadow boxes and the building corners, pops of color along the facades, recessed entries at both the street front and alley, as well as canopies at both the main entrance and the courtyard along the alley. Here is a breakdown of secondary detailing elements.

- A. Window patterns & fenestrations to add residential scale (DC2-B-1)
- B. Pop of colors (DC-2-C-1)
- C. Secondary material at corner (DC2-C-1)
- D. Street level modulation: Canopy at entrance (DC2-C-3)
- E. Sheet metal projection to cover ventilation and add texture to the facade (DC-2-C-1)
- F. Warm wood-tone texture to add residential scale (DC2-B-1)
- G. Different materials are used to further break down the massing, with an emphasis on the lower massing to align with the residential scale (DC2-B-1)
- H. Entry plaza with landscape and seating to activate the street and add residential scale (DC2-B-1)



PERSPECTIVE - SW AVALON WAY



PERSPECTIVE - ALLEY



EDG RESPONSE

BOARD RECOMMENDATIONS & RESPONSES:

2. ARCHITECTURE-LAYOUT

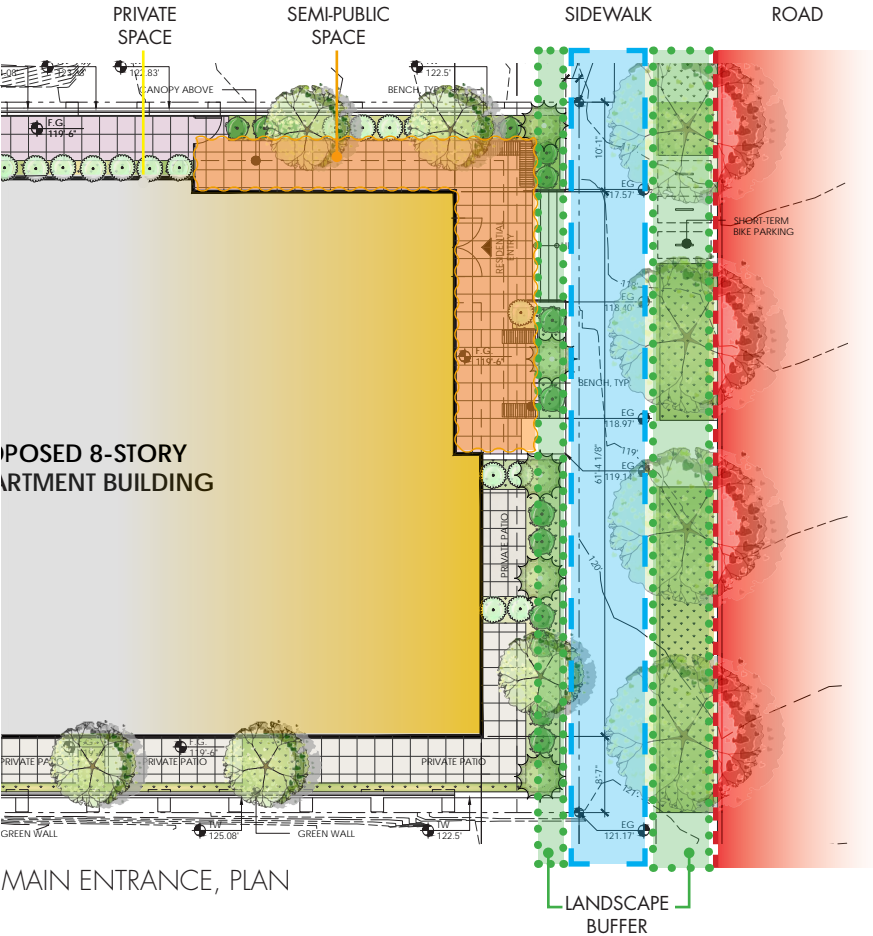
a. The Board supported the general entry sequence layout of Massing Concept 3. The layout creates a semi-public entry patio towards the northeast corner of the site, where it would sit slightly above the sloping grade of the sidewalk, creating an activated gathering space along the street frontage. The Board noted that if Massing Concept 2 is mirrored, the entry door would be oriented towards the northeast, similar to the entry in Massing Concept 3. The Board gave guidance to develop the design of this entry, using the positive aspects of the entry shown in Massing Concept 3. (PL3-A, PL3-B-4, DC2-II-i, and CS1-C-2)

MAIN ENTRANCE - AVALON WAY



RESPONSE:

The residential entrance has been moved to the northeast corner of the building per the Board's recommendation and works well with the location in the building as well as with the topography of the street, allowing the plaza to be slightly elevated and create a semi-public plaza space. The design of the plaza includes landscaping planters, seating and covered space along the building frontage which will activate the plaza for the residents and community alike.



MAIN ENTRANCE, PLAN



MAIN ENTRANCE



# EDG RESPONSE

## BOARD RECOMMENDATIONS & RESPONSES:

### 2. ARCHITECTURE-LAYOUT

b. The Board gave guidance that the roof deck should be further developed as an amenity space, with differentiation of outdoor rooms to provide a variety of opportunities for residents' use. (PL1-C, DC1-A-2, and DC3-B-4)

### RESPONSE:

The roof deck has been further developed to include gathering space for the residents as well as additional landscaping and green roof amenities. The roof deck includes multiple outdoor rooms for various activities for the residents including seating area on the north, a dining and BBQ area in the middle and a lounge area on the south. The entire accessible roof area is bordered by planters and also includes a green roof element. The various outdoor rooms are also positioned to take advantage of the great views in this location.





EDG RESPONSE

BOARD RECOMMENDATIONS & RESPONSES:

2. ARCHITECTURE-LAYOUT

c. The Board was concerned with the grade relationship of the building to the sloping alley condition. Specifically, the Board did not support the extensive ramps shown in Massing Concepts 1 and 2 to provide ADA access between the parking and the access door. They noted that the general access approach shown in Massing Option 3 was better but questioned the inconvenience of an interior lift to make ADA access work. The Board gave guidance that the rear access door level should be coordinated with the interior floor levels to provide convenient access from parking and deliveries to the interior. (PL2-A, CS1-C, PL4-A, and DC1-B-1)

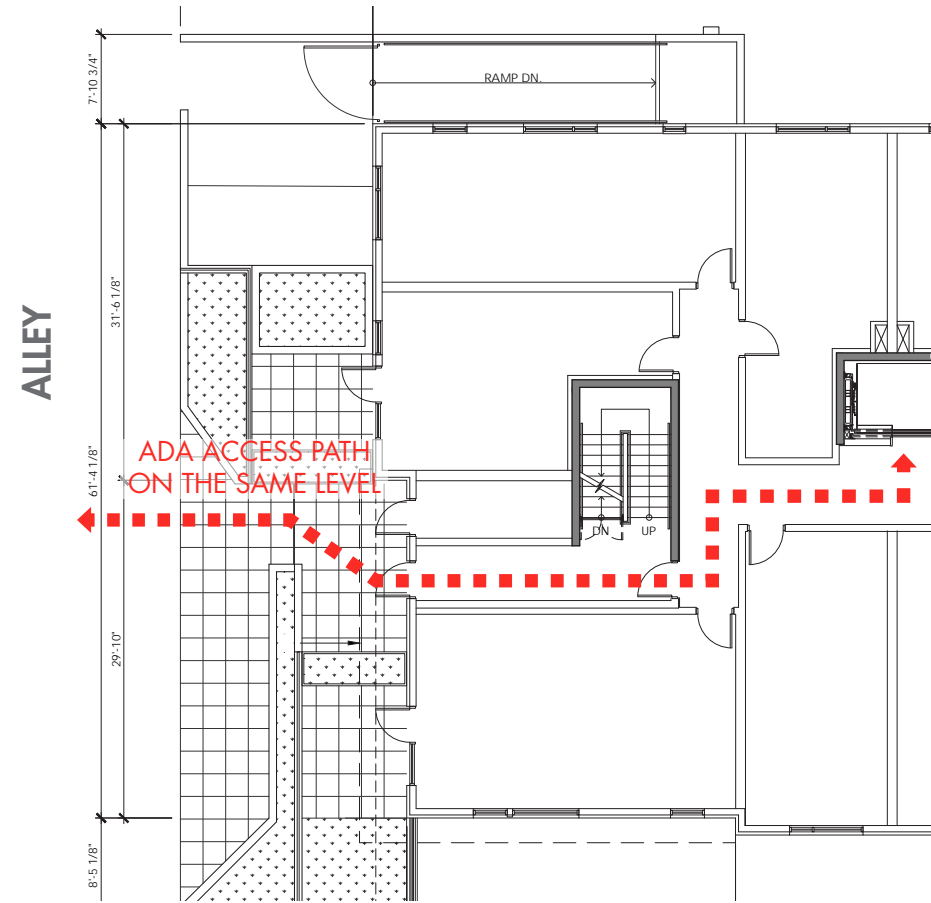
RESPONSE:

The parking area has been removed from the project and a courtyard for the residents has been added in this area. The doors from the building are very close to the grade of the alley in this location now and allow for a minimal ramp to connect to the alley. The plaza has been designed as a gathering space with seating, landscaping and a covered area along the building façade.

3RD FLOOR ENTRANCE - ALLEY



3RD FLOOR PLAN



3RD FLOOR ENTRANCE - ALLEY





# EDG RESPONSE

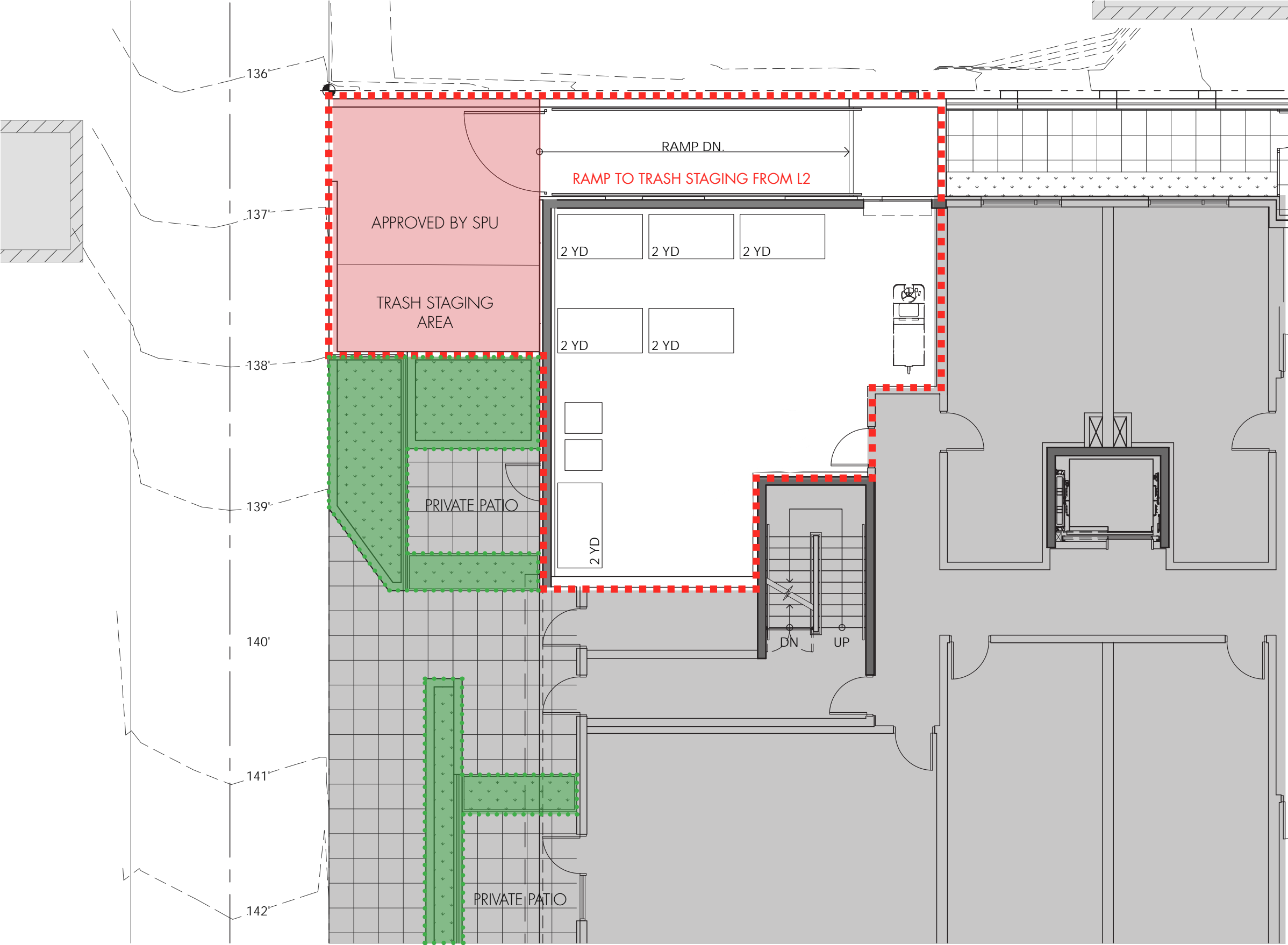
## BOARD RECOMMENDATIONS & RESPONSES:

### 2. ARCHITECTURE-LAYOUT

d. The Board questioned how the solid waste storage and service would occur along the alley. As shown in all three options, the storage room is accessed via a ramp near the northwest property line. The Board direct the applicant to locate the storage area close enough to the pickup to avoid having to stage dumpsters in the alley, in order to lessen impacts to the single family neighborhood and congestion of traffic in the alley. (DC1-C-4)

### RESPONSE:

We have worked with and obtained approval from SPU to have the trash collected in the building and then brought out to the staging area on site on pick up days. This will allow the trash staging to be onsite and not block any access in the alley. The staging area will also be screened from the residential courtyard by a planter wall.





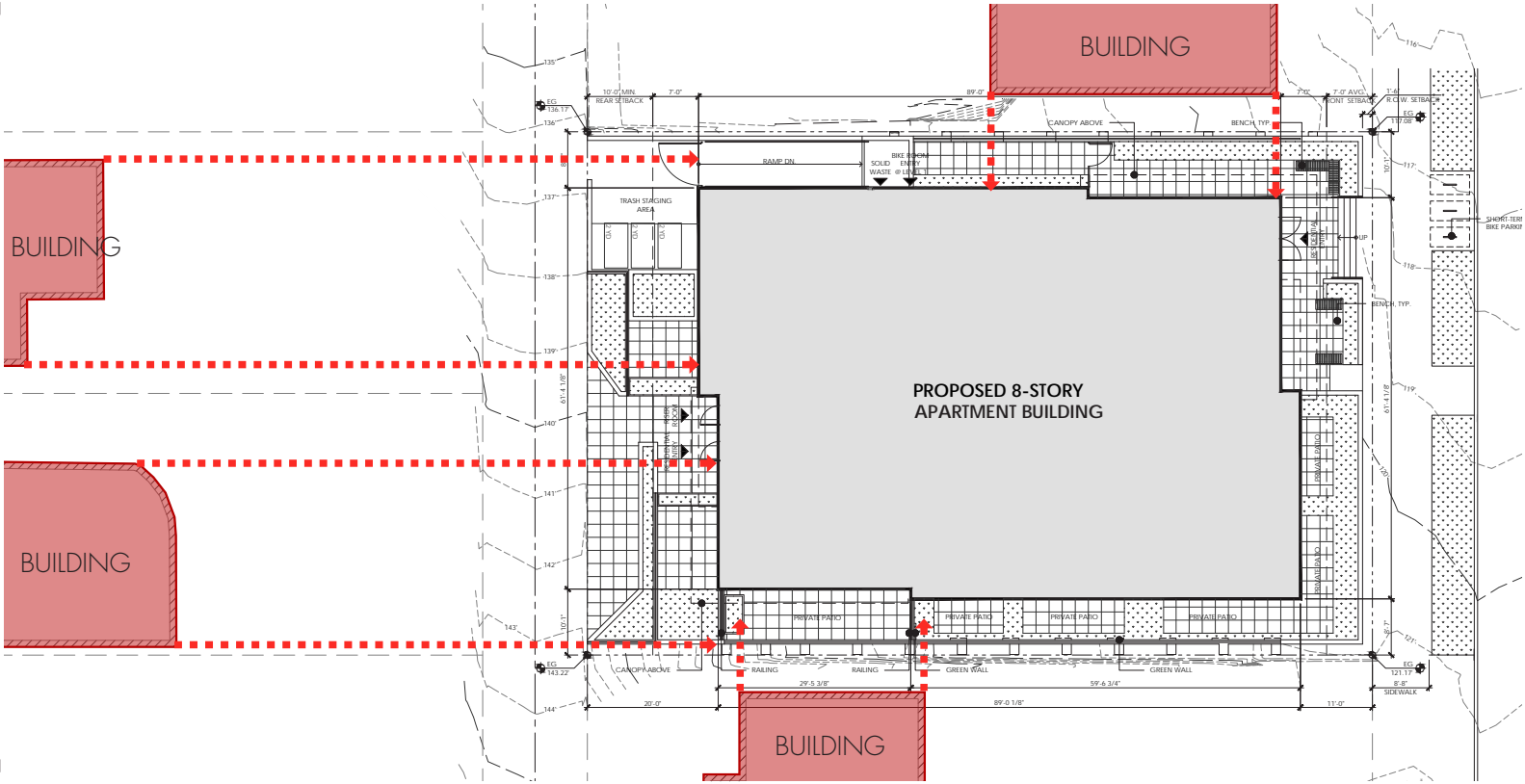
EDG RESPONSE

SITE PLAN

BOARD RECOMMENDATIONS & RESPONSES:

2. ARCHITECTURE-LAYOUT

e. Although fenestration patterns were not explicitly shown on the massing options in the EDG package, the Board noted that privacy between the new and existing residential uses is a concern. They requested a privacy study in the Recommendation package, showing sight lines between the proposed units and the building to the north, as well as to the single family structures to the west. (PL3-B)



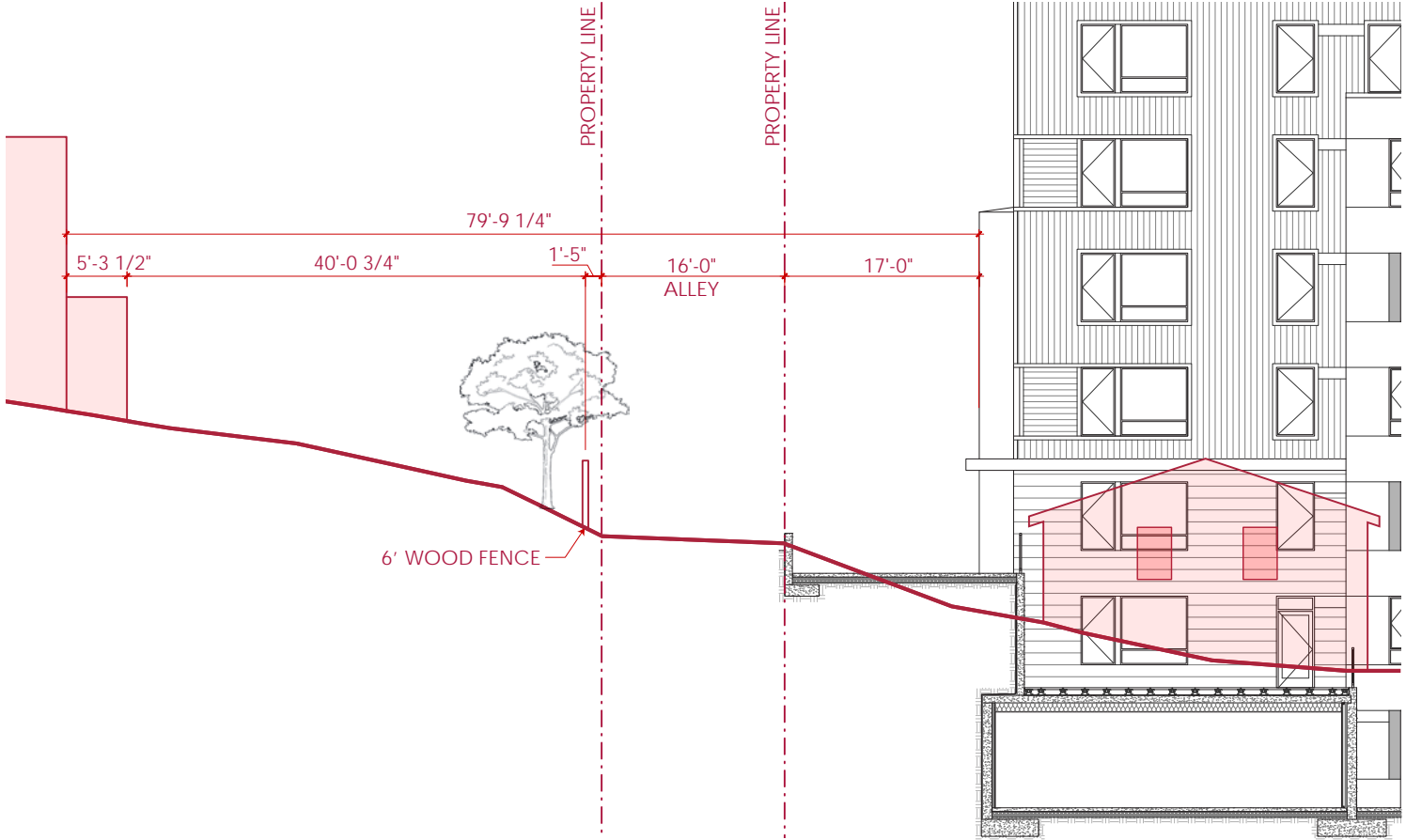
NORTH PROJECTION



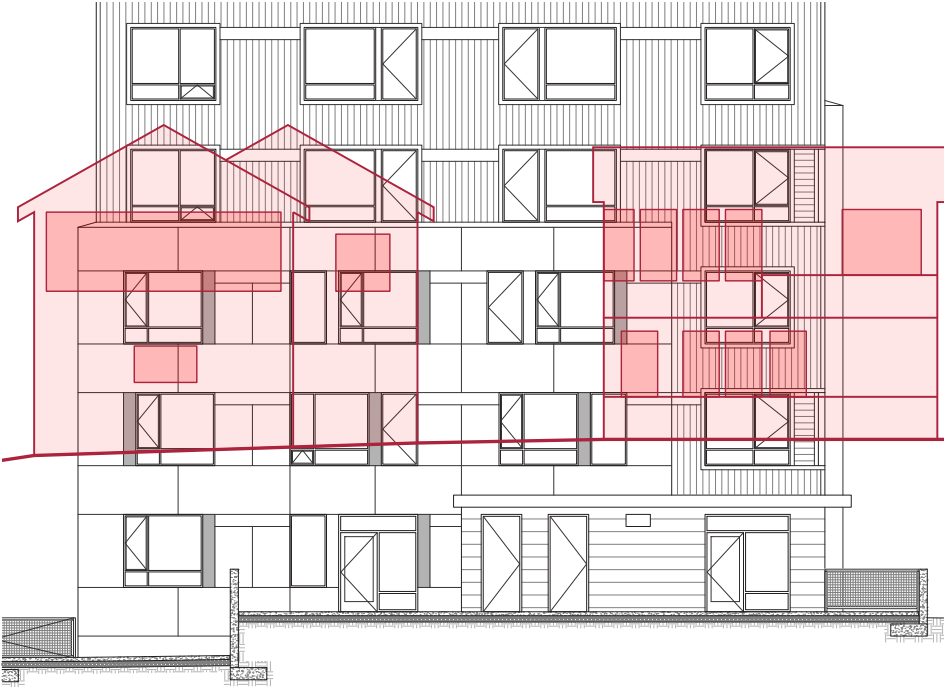
RESPONSE:

A study has been included showing the sight lines for the adjacent buildings to the north and west. As seen in the studies there are no direct sight line conflicts between the window locations for each building.

SOUTH PROJECTION & SECTION



WEST PROJECTION





# EDG RESPONSE

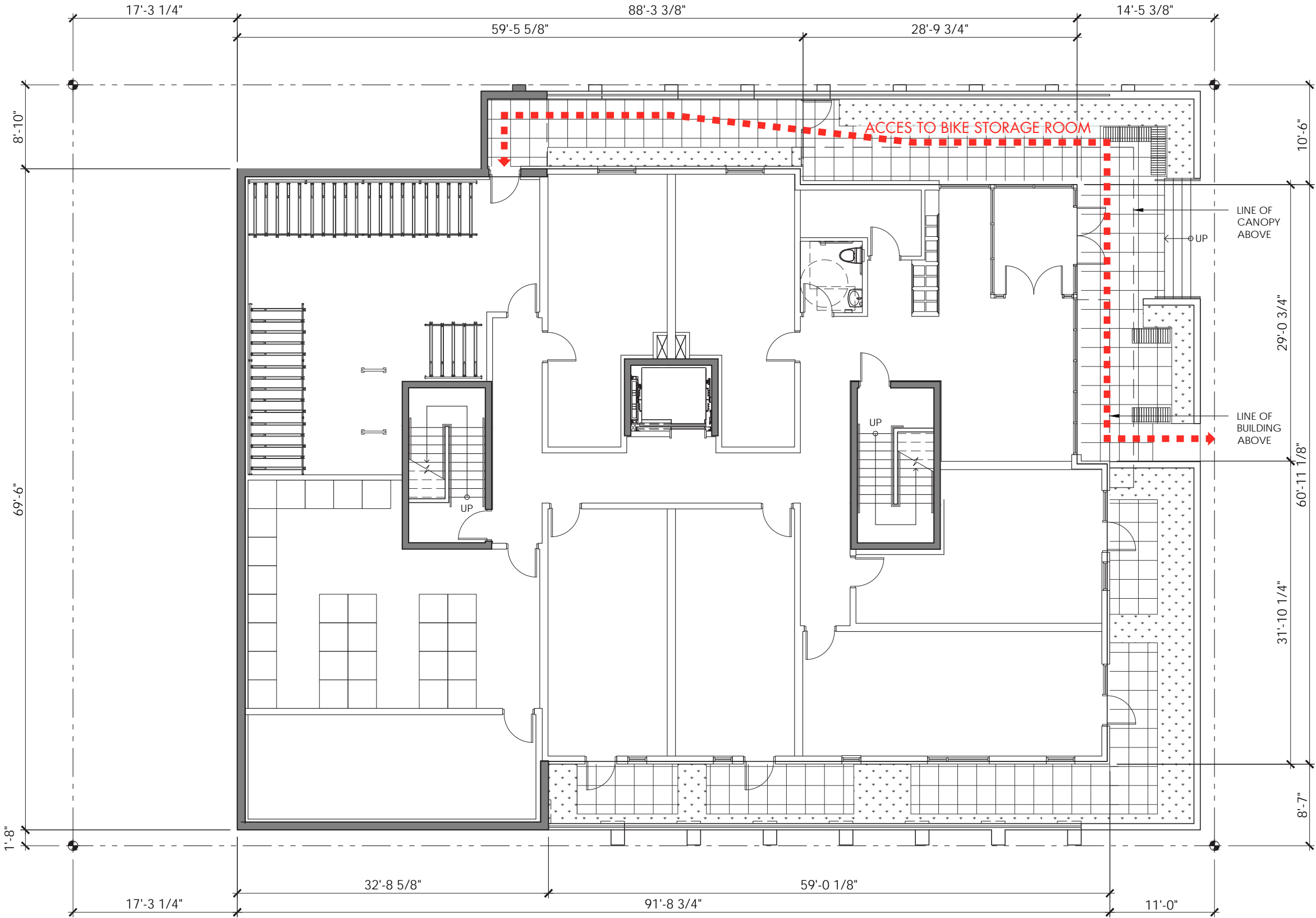
## BOARD RECOMMENDATIONS & RESPONSES:

### 2. ARCHITECTURE-LAYOUT

f. The Board noted that direct access through the lobby to the bike storage room, as shown in Massing Concept 2, was acceptable. They noted that although an exterior access to the bike parking is typically desired (as shown in Massing Concept 1), the clear access from the bike lane on Avalon Way through the front door and lobby to the interior bike storage room was an acceptable trade-off for providing exterior patio space to the ground floor units. (PL4-B, and PL4-A)

### RESPONSE:

With the revised design we were able to make the bike parking room accessible from the north property line and easily accessible from the street as well.



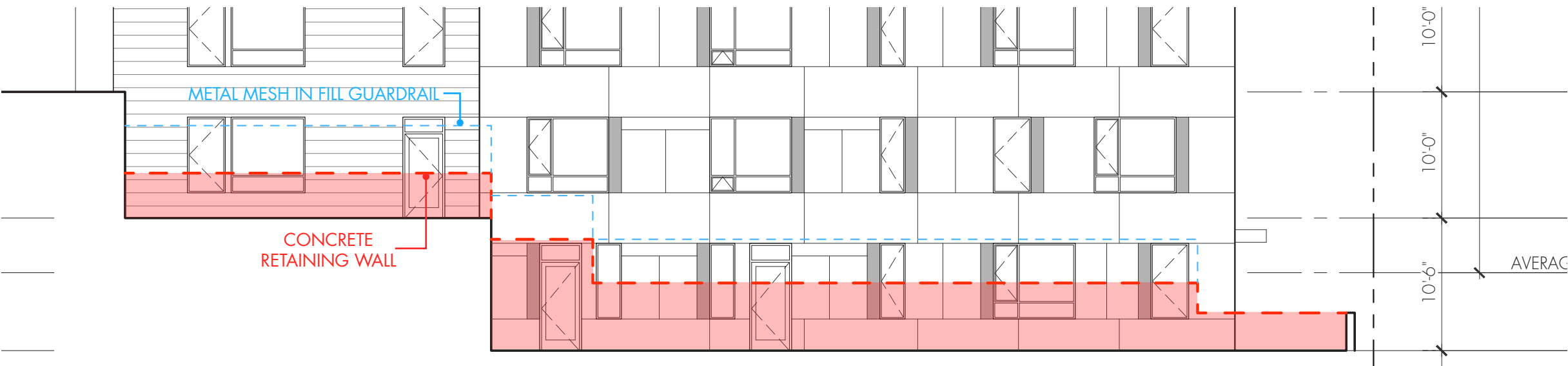


# EDG RESPONSE

## BOARD RECOMMENDATIONS & RESPONSES:

### 2. ARCHITECTURE-LAYOUT

g. The Board was, however, concerned about the viability of the patio spaces of the ground floor units' access to light, since they are adjacent to the tall retaining walls shown in the EDG packet. The Board requested cross-sectional studies to clarify conditions at the below-ground level units and demonstrate how the outdoor space provides benefit to the units. (CS1-B)



CROSS-SECTIONAL STUDIES



CROSS-SECTIONAL STUDIES - CLIMBING PLANTS ON THE SUBSTRUCTURE



INSPIRATIONS - CLIMBING PLANTS ON THE SUBSTRUCTURE



## RESPONSE:

Studies have been provided for review. The design keeps the solid concrete retaining wall following the existing neighboring grade as close as possible to ensure as much light can get into the patio spaces as possible and an open fence has been designed on top of the wall to allow light to pass through as well. As seen, there is ample light that comes into these spaces. A green wall is also designed on the face of the concrete wall to provide greenery and warmth to the area. Planting areas are also provided at the base of the wall and between units for privacy.



# EDG RESPONSE

## BOARD RECOMMENDATIONS & RESPONSES:

### 3. ARCHITECTURE-MATERIALS

- a. [...] the Board noted that the proposed material palette should be clearly articulated in the Recommendation package for review. (DC4-A, and DC2-D)

## RESPONSE:

The proposed material pallet is shown on this page as well as on Pages 34-38, elevations and materials board.

## BOARD RECOMMENDATIONS & RESPONSES:

### 3. ARCHITECTURE-MATERIALS

- b. The Board supported the concept of applying a darker color on the lower massing forms and a lighter color at the recessed base massing to assist in reducing the perceived mass of the structure. (DC2-A-2)

## RESPONSE:

Per the Board’s recommendation the darker color has been used for the lower massing and a lighter color for the entrance volume and upper volume.





# EDG RESPONSE

## BOARD RECOMMENDATIONS & RESPONSES:

### 4. SITE

a. As previously described, the Board supported the entry sequence shown on Massing Concept 3, with an on grade access to the main entrance from the Avalon Way frontage. The Board noted that the location of the associated patio near the entrance will help to activate the street frontage in a neighborhood where many buildings are grade-separated from the sidewalk due to steep grades. (PL3-A, PL3-B-4, and DC2-II-i)

SEMI-PUBLIC  
AMENITY  
SPACE

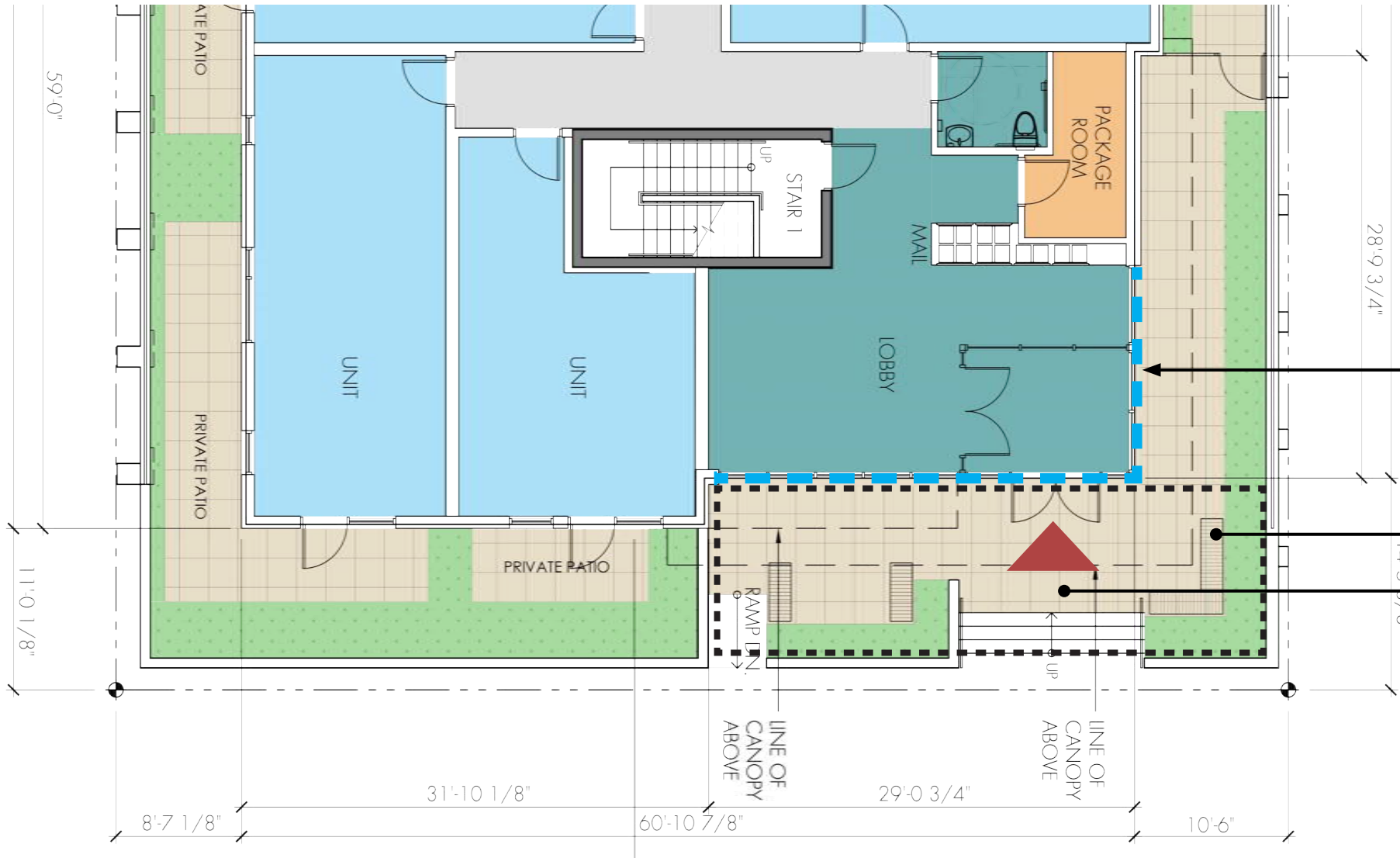


STOREFRONT

BENCHES

## RESPONSE:

Per the Board's recommendation the entry has been moved to the northeast corner of the site and the residential entrance and plaza have been raised up a few steps from the sidewalk in order to make the plaza semi-public and also activate the street front. Seating, landscaping and a covered area at the building façade have been designed into the space.



STOREFRONT

BENCHES

SEMI-PUBLIC  
AMENITY  
SPACE



# EDG RESPONSE

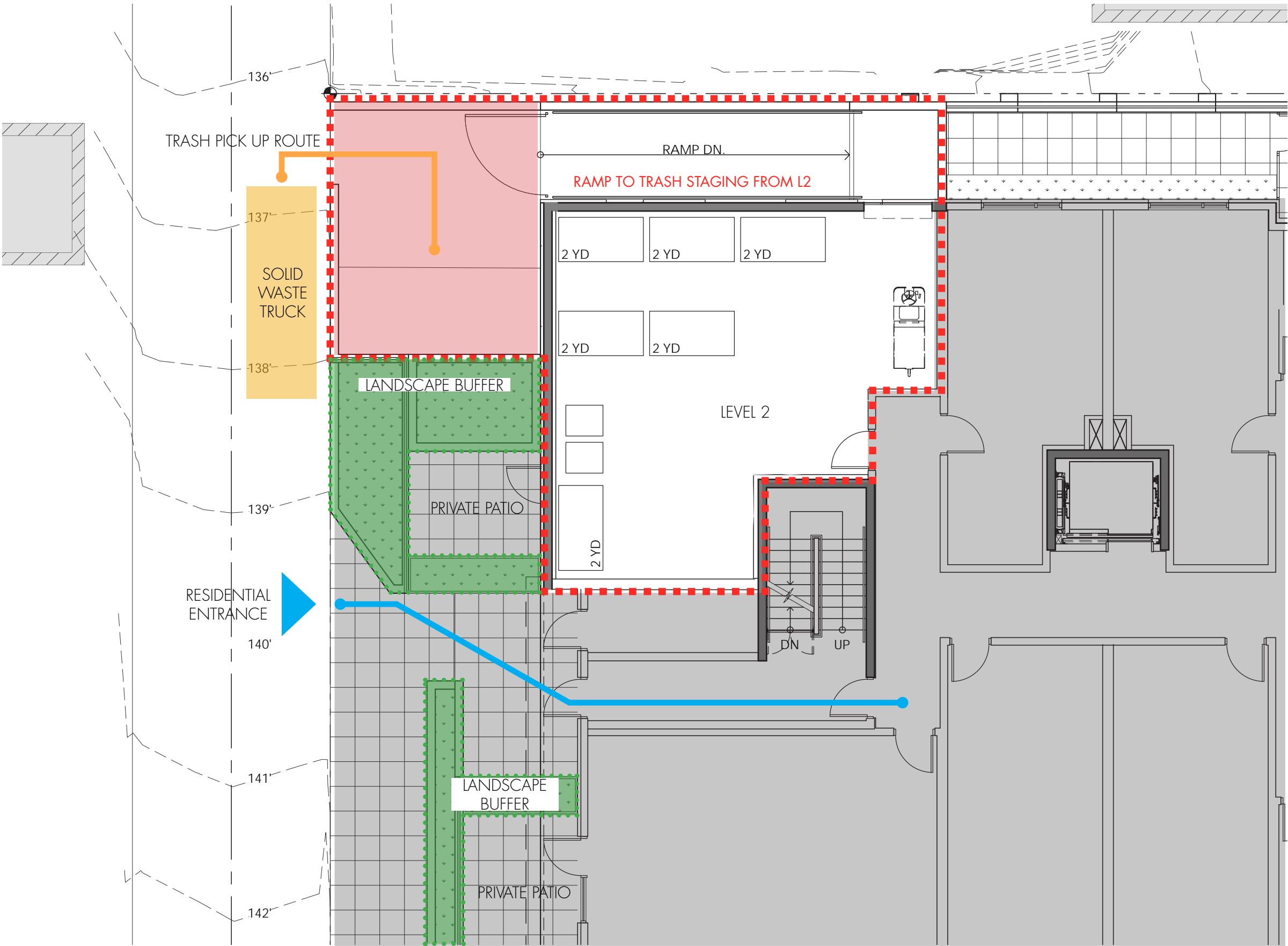
## BOARD RECOMMENDATIONS & RESPONSES:

### 4. SITE

b. The Board acknowledged the issues of access to the rear of the building from the steep alley. They noted, however, that the applicant should consider public concerns regarding traffic and congestion in the alley as they related to the design of that area. The Board gave guidance to integrate parking, services and access into the site design and to coordinate the grading with interior building levels. (DC1-B-1, DC1-C-4, and CS1-C)

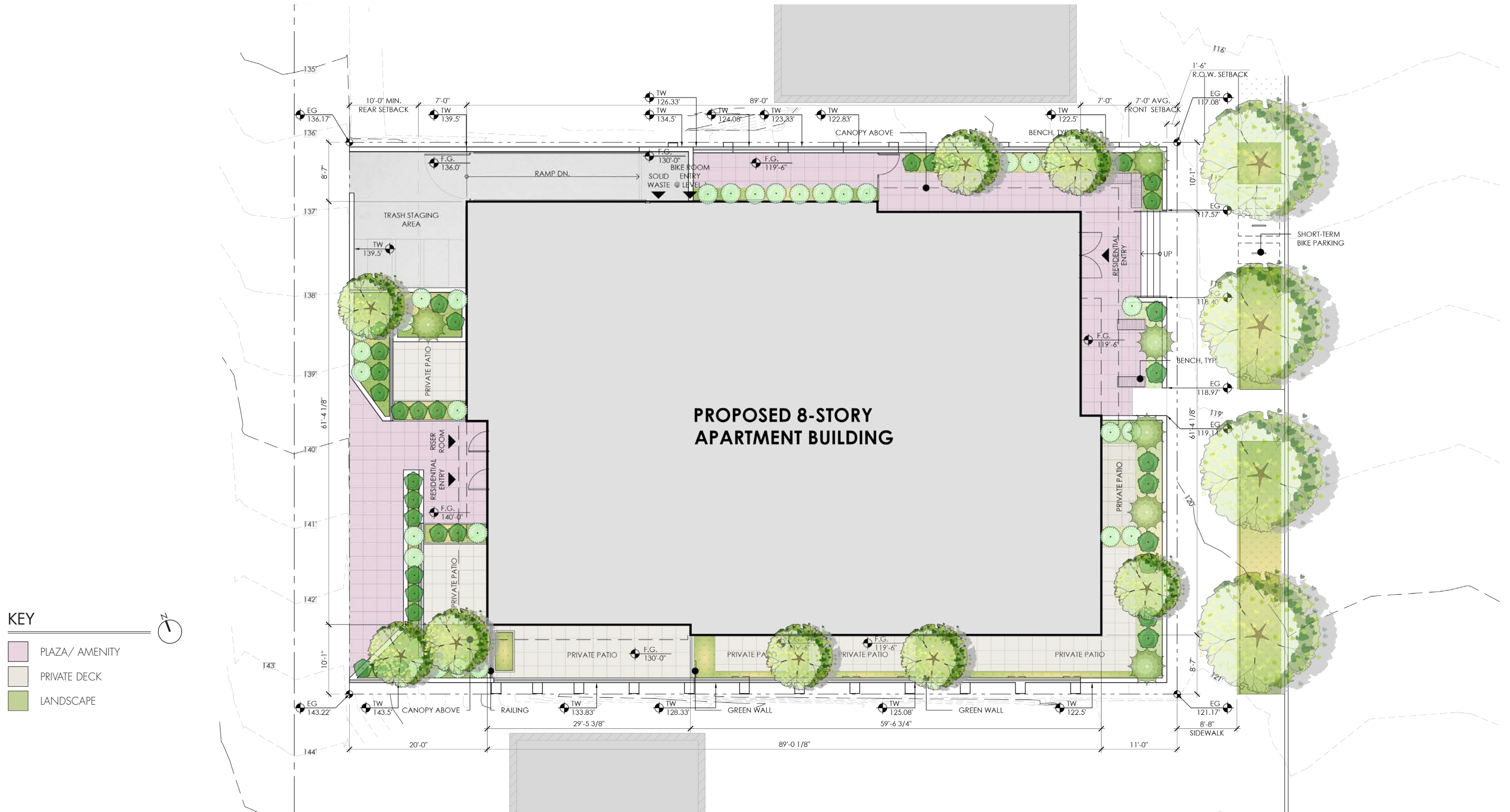
### RESPONSE:

The parking stalls have been removed from the project and a courtyard has been designed along the alley. The courtyard is designed with seating, landscaping and a covered area along the building façade. These design changes should help to alleviate traffic and congestion in the alley.





## SITE PLAN





FLOOR PLAN LEVEL 1

KEY

VERTICAL CIRCULATION

APARTMENT

CORRIDOR

UTILITY

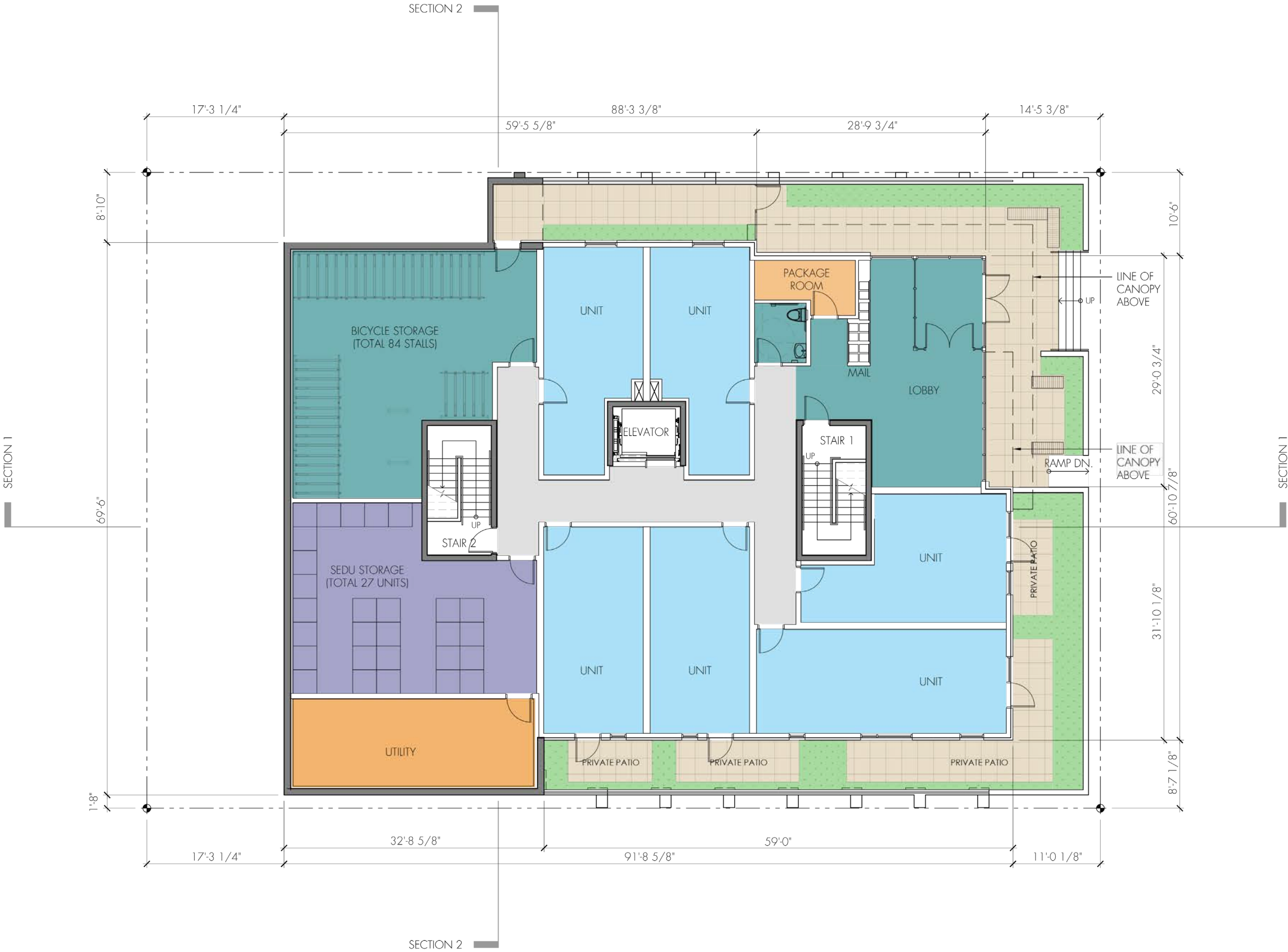
AMENITY

STORAGE

OUTDOOR AMENITY

VEGETATION

N





FLOOR PLAN LEVEL 2

KEY

VERTICAL CIRCULATION

APARTMENT

CORRIDOR

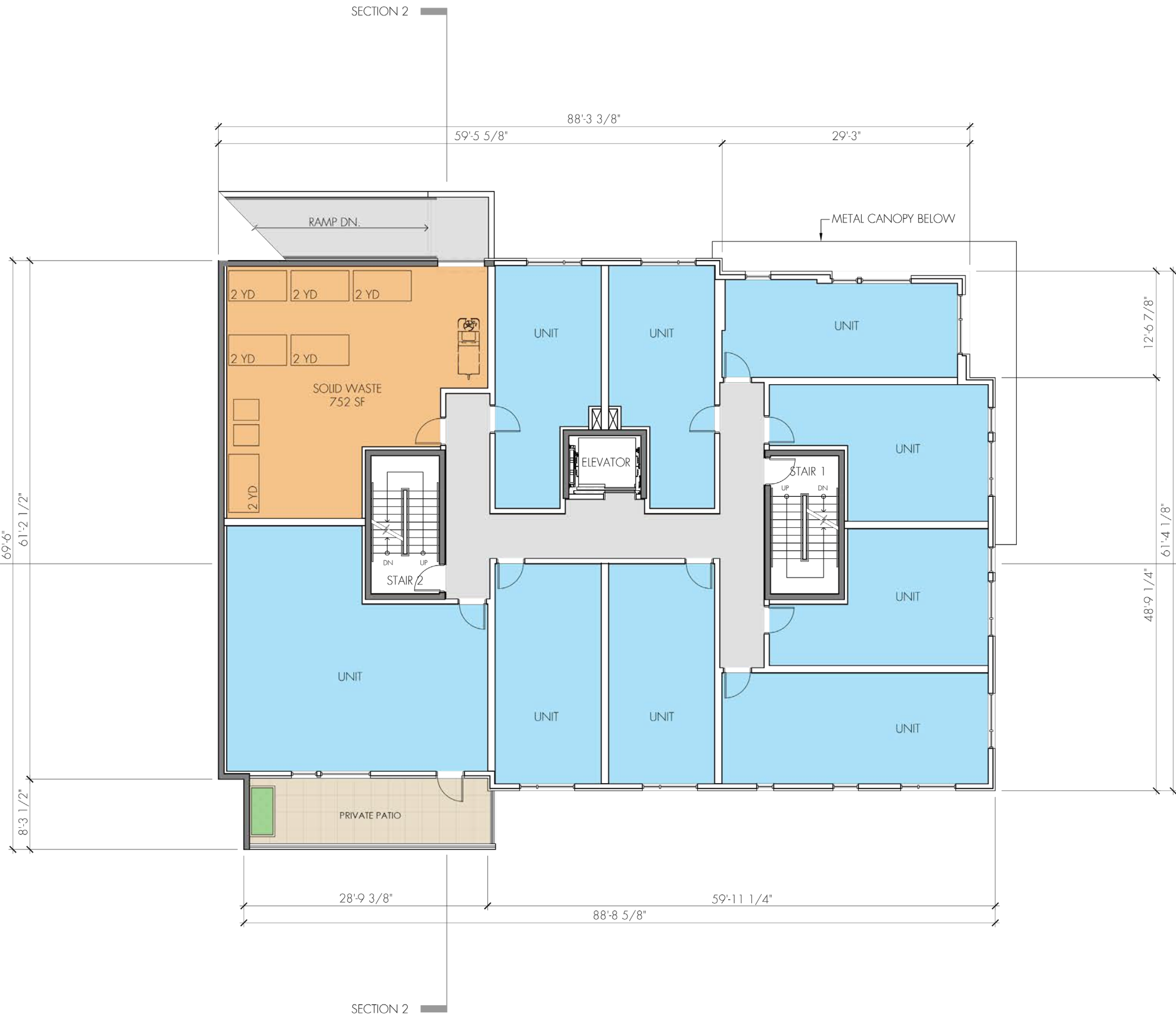
UTILITY

AMENITY

STORAGE

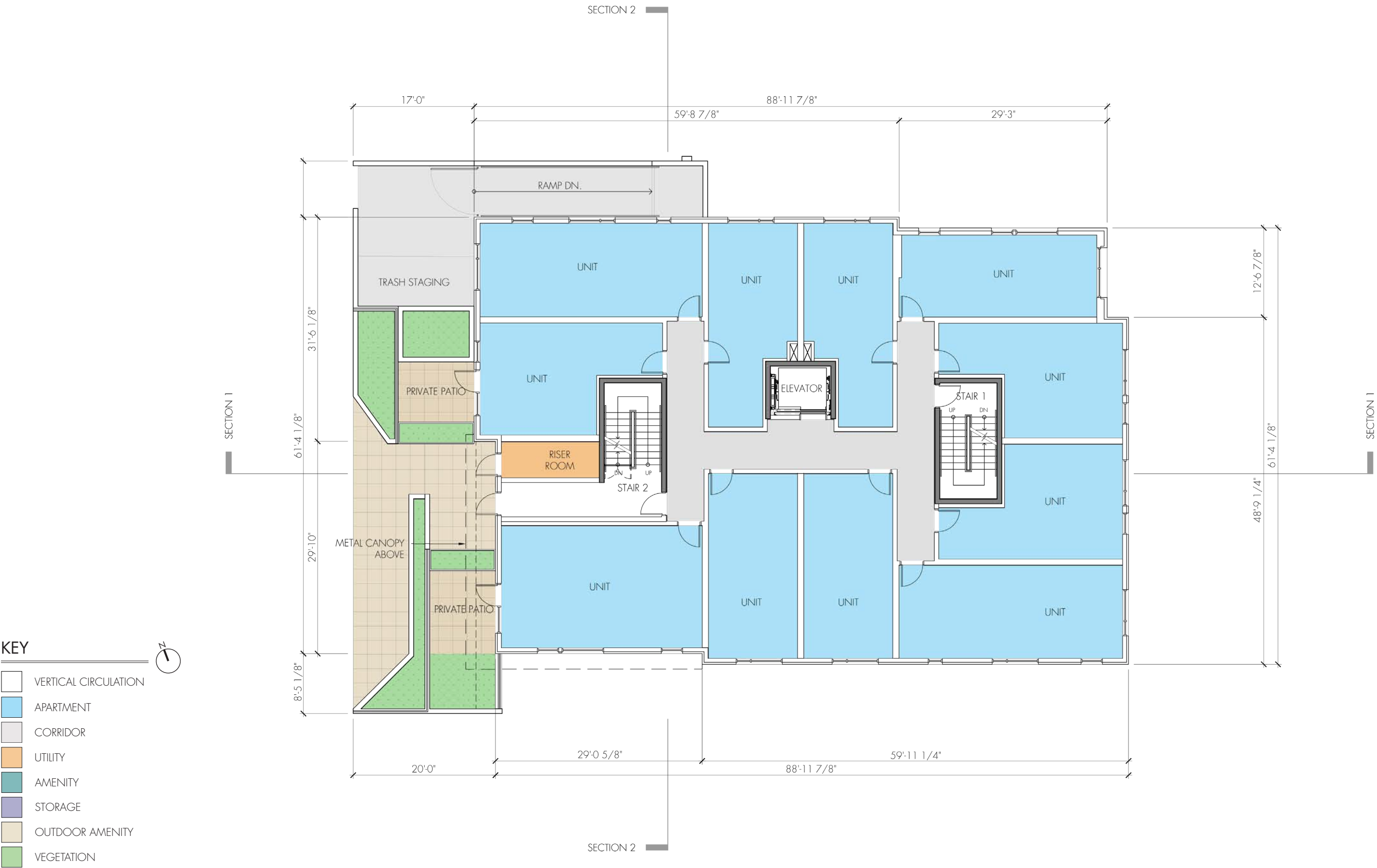
OUTDOOR AMENITY

VEGETATION





FLOOR PLAN LEVEL 3





FLOOR PLAN LEVEL 4

KEY

VERTICAL CIRCULATION

APARTMENT

CORRIDOR

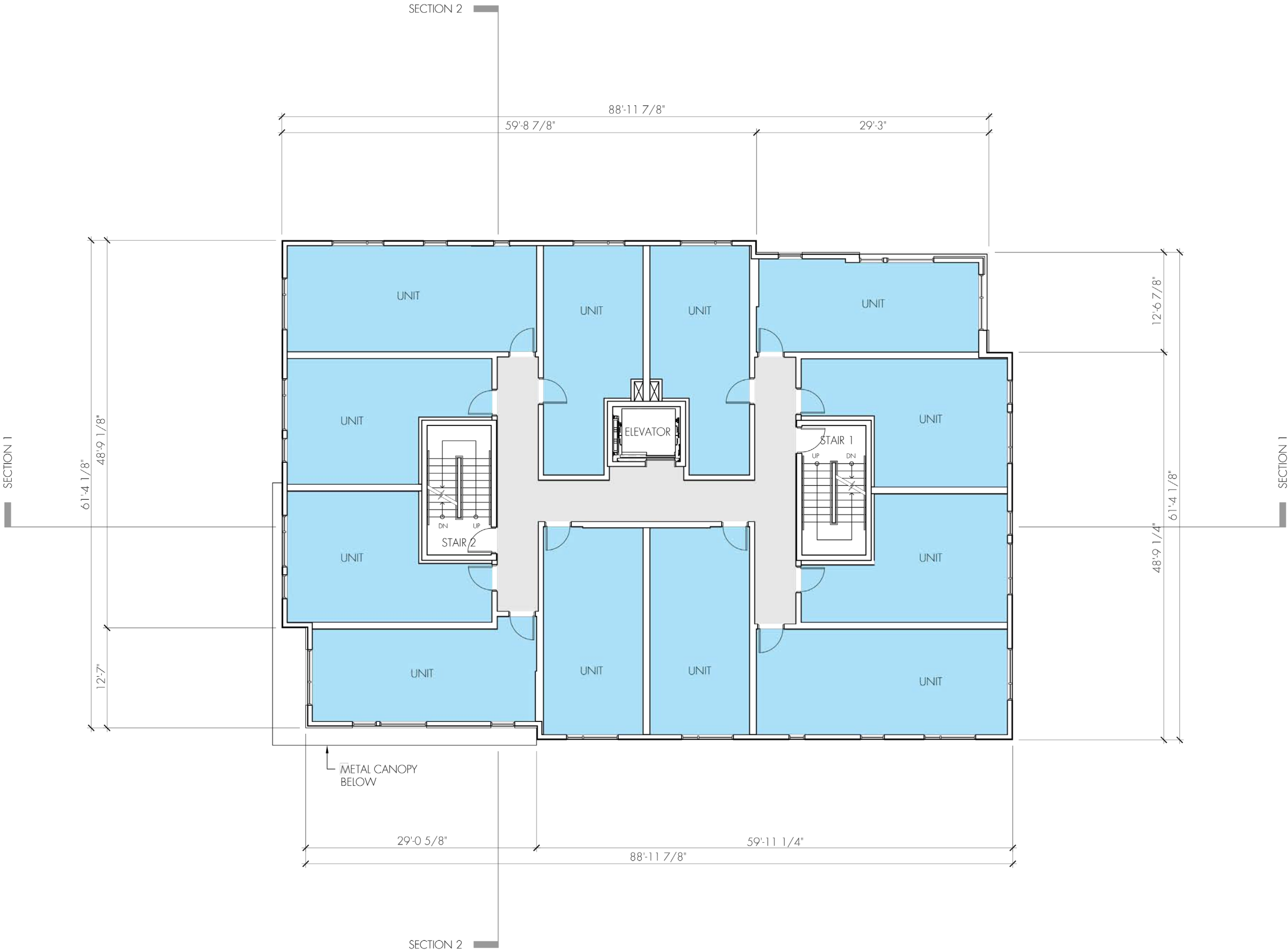
UTILITY

AMENITY

STORAGE

OUTDOOR AMENITY

VEGETATION





FLOOR PLAN LEVEL 5

KEY

VERTICAL CIRCULATION

APARTMENT

CORRIDOR

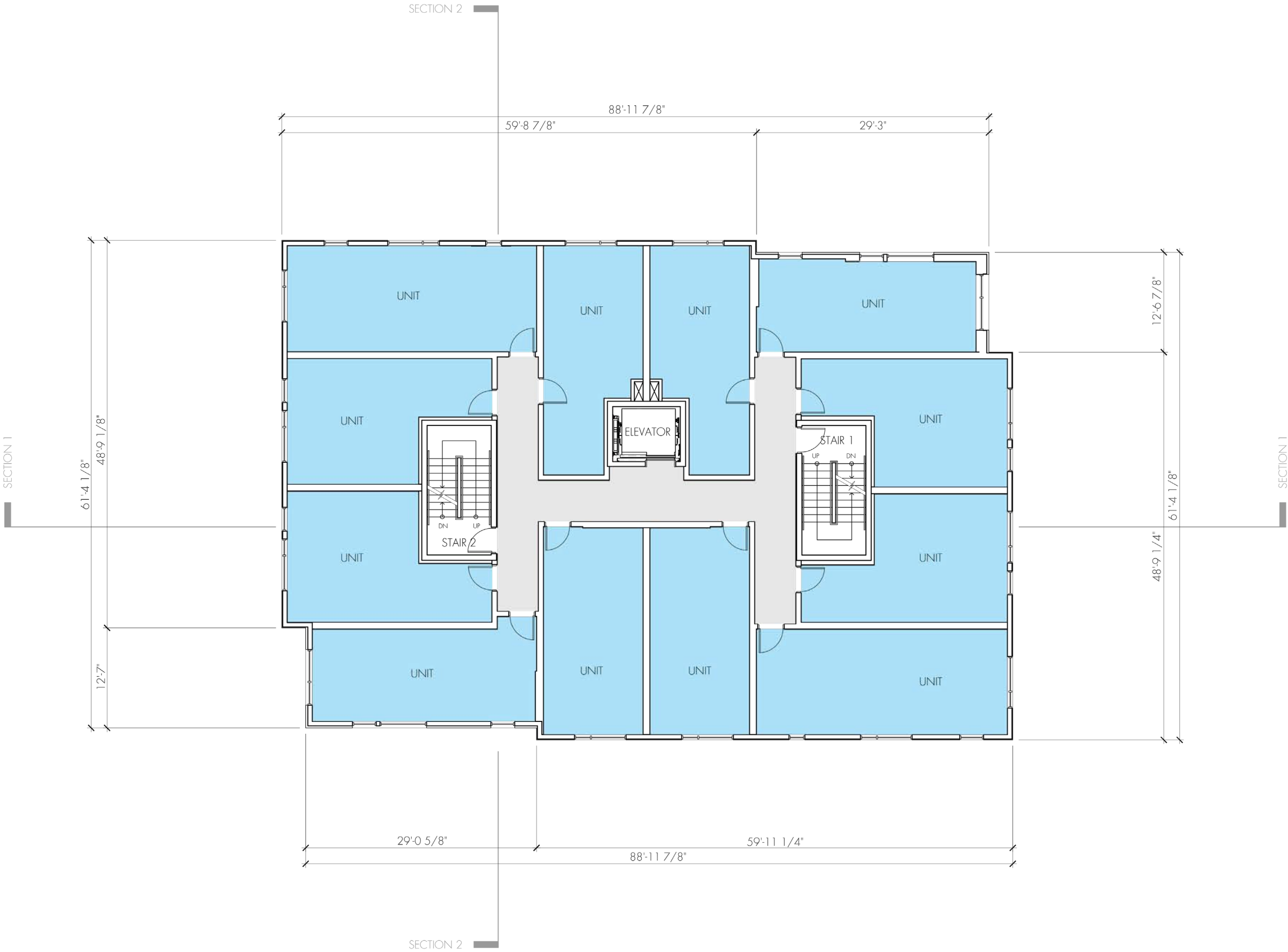
UTILITY

AMENITY

STORAGE

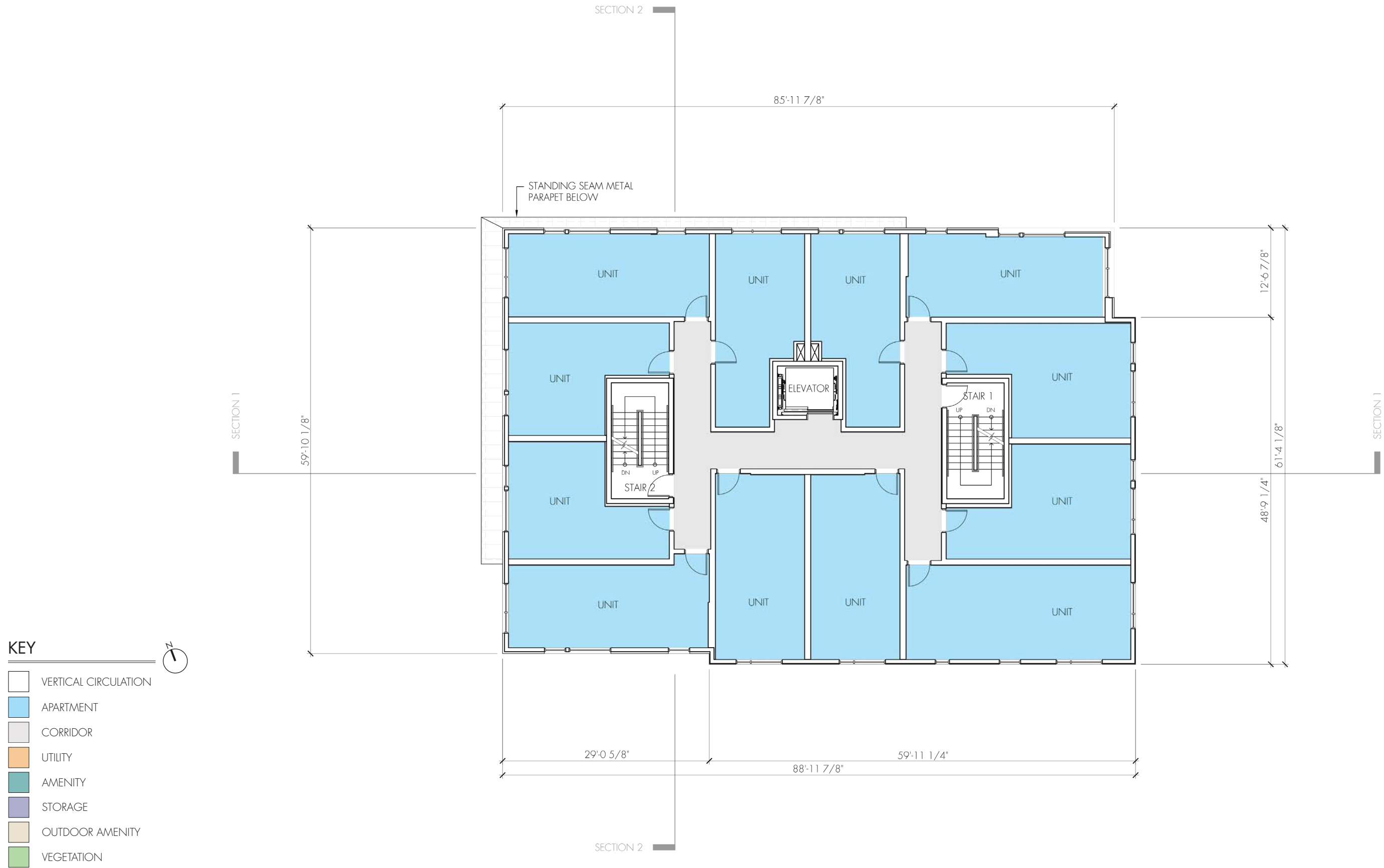
OUTDOOR AMENITY

VEGETATION





FLOOR PLAN LEVEL 6



FLOOR PLAN LEVEL 7

KEY

VERTICAL CIRCULATION

APARTMENT

CORRIDOR

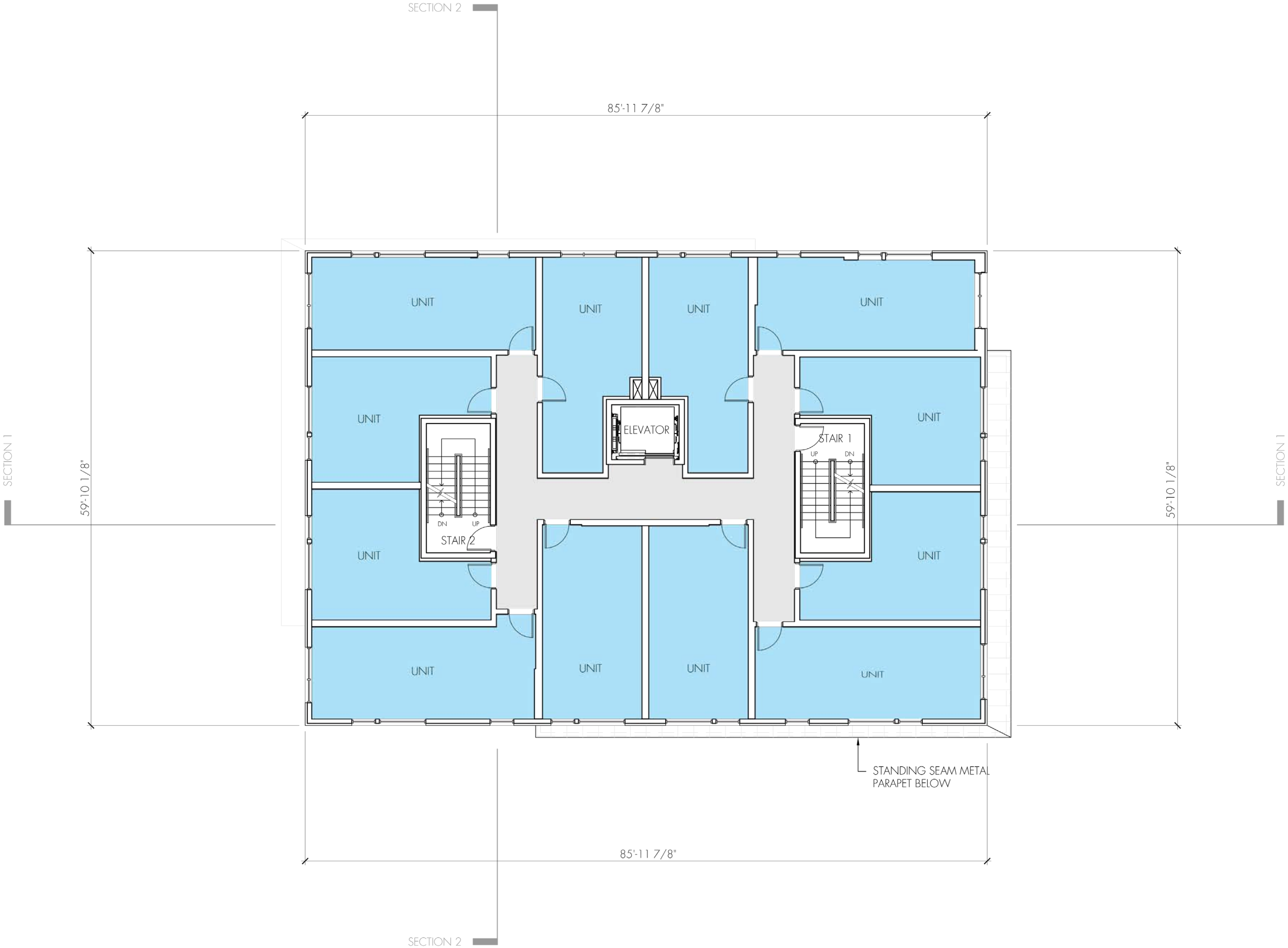
UTILITY

AMENITY

STORAGE

OUTDOOR AMENITY

VEGETATION





FLOOR PLAN LEVEL 8

KEY

VERTICAL CIRCULATION

APARTMENT

CORRIDOR

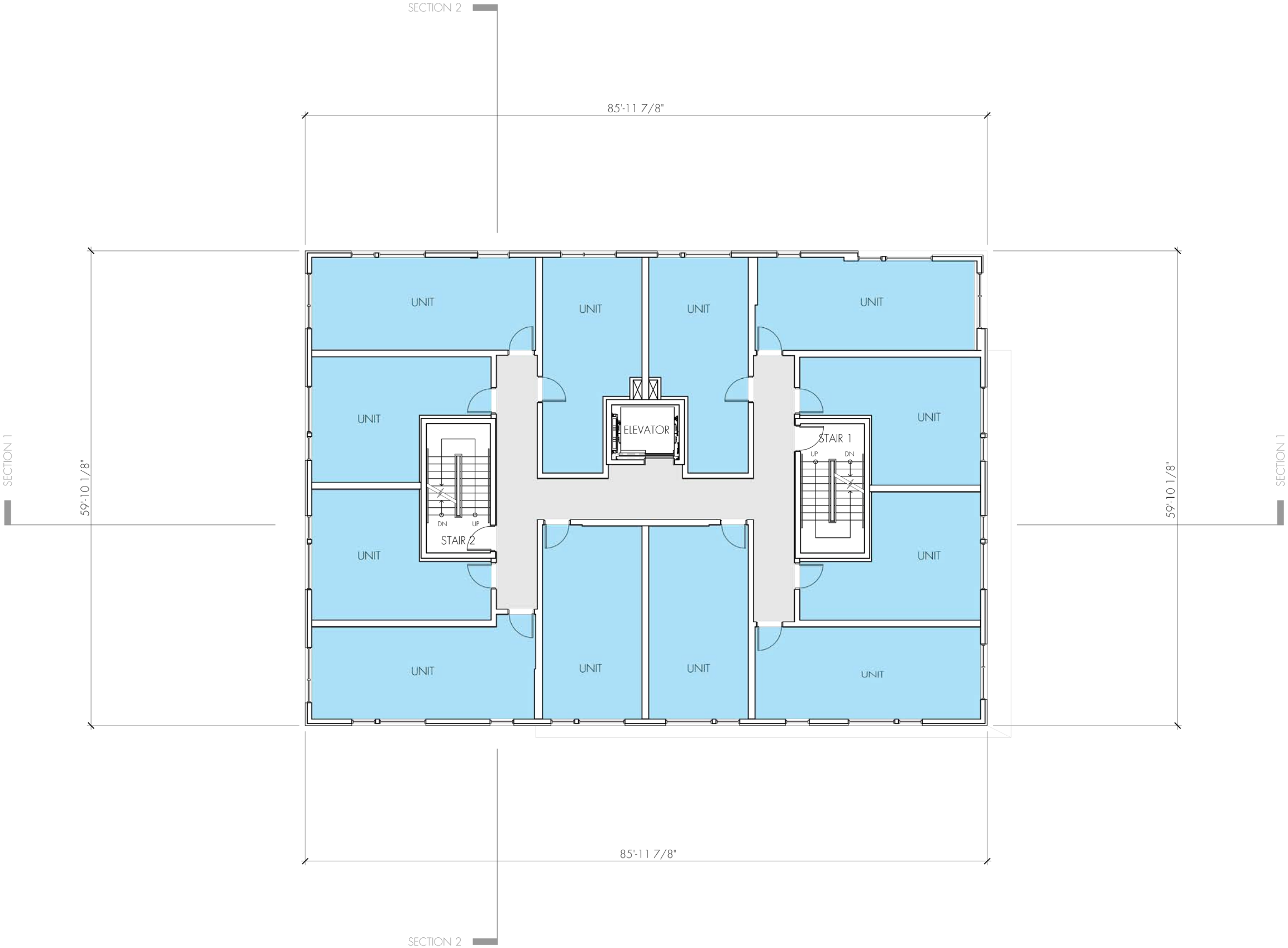
UTILITY

AMENITY

STORAGE

OUTDOOR AMENITY

VEGETATION



FLOOR PLAN ROOF

KEY

VERTICAL CIRCULATION

APARTMENT

CORRIDOR

UTILITY

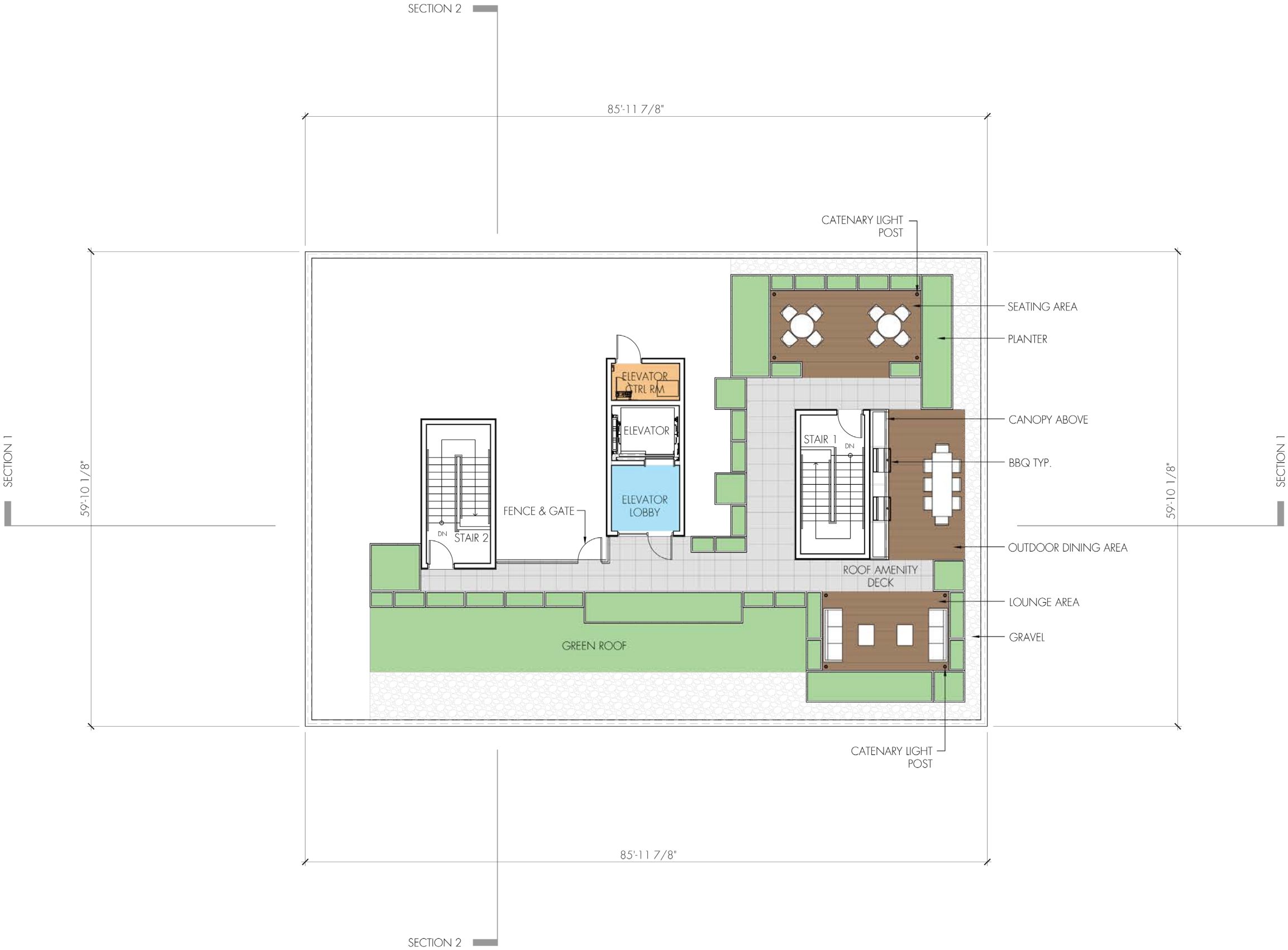
AMENITY

STORAGE

OUTDOOR AMENITY

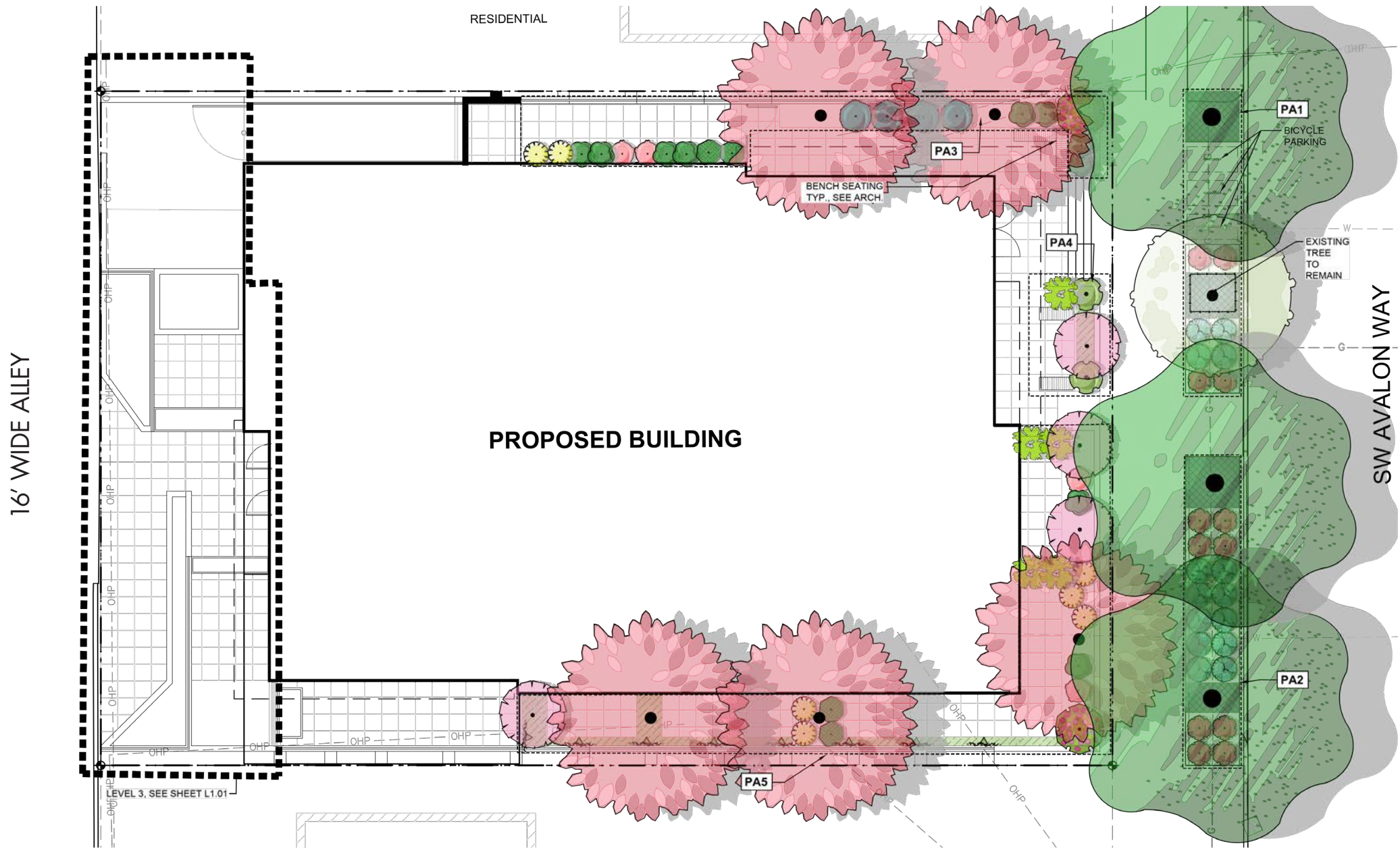
VEGETATION

N





LANDSCAPE SITE PLAN



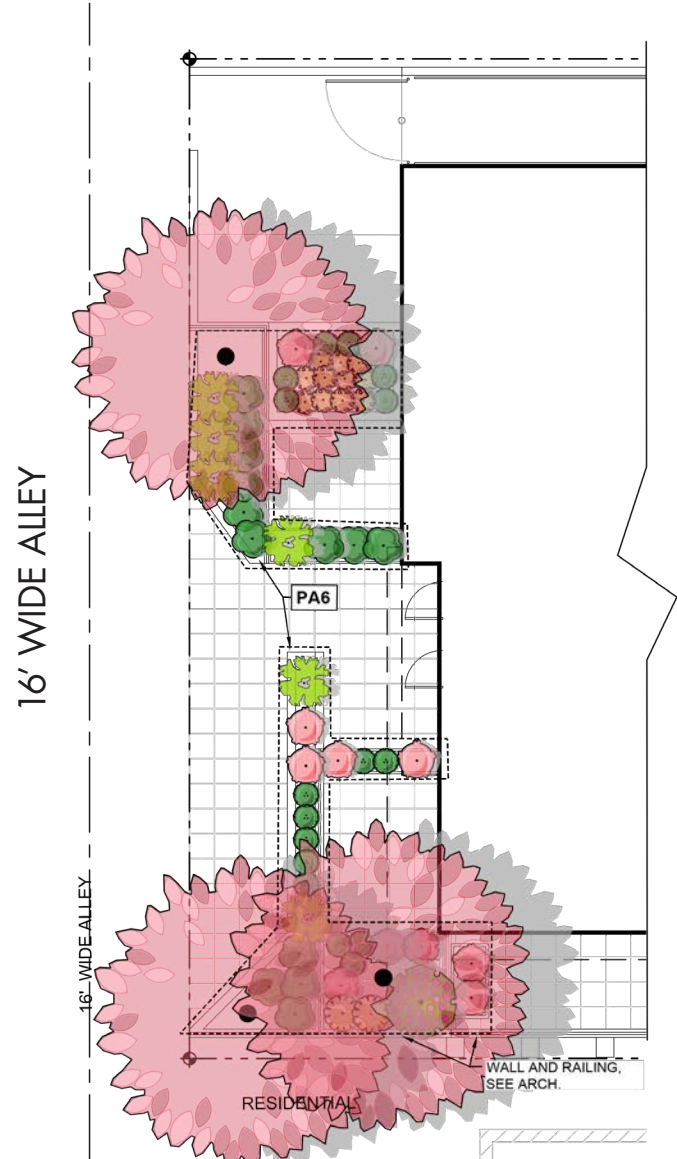
PLANT SCHEDULE GROUND LEVEL

| <u>SYMBOL</u>   | <u>CODE</u> | <u>BOTANICAL NAME</u>          | <u>COMMON NAME</u>          | <u>CONT</u> | <u>CAL./HT.</u> | <u>DROUGHT TOLERANT</u> | <u>NATIVE</u> | <u>TYPE</u> | <u>QTY</u>     |            |
|---|-------------|--------------------------------|-----------------------------|-------------|-----------------|-------------------------|---------------|-------------|----------------|------------|
| TREES   |             |                                |                             |             |                 |                         |               |             |                |            |
|  | VM          | ACER CIRCINATUM                | VINE MAPLE                  | CONT/B&B    | 1.5" CAL MIN.   | Y                       | Y             | DECIDUOUS   | 5              |            |
|  | ER          | EXISTING TREE                  |                             | EXISTING    |                 |                         |               |             | 1              |            |
|  | MB          | MALUS X 'RED BARRON'           | RED BARRON CRABAPPLE        | CONT/B&B    | 1.5" CAL MIN.   | Y                       | N             | DECIDUOUS   | 4              |            |
|  | ZG          | ZELKOVA SERRATA 'GREEN VASE'   | GREEN VASE JAPANESE ZELKOVA | CONT/B&B    | 1.5" CAL MIN.   | Y                       | N             | DECIDUOUS   | 3              |            |
| <u>SYMBOL</u>   | <u>CODE</u> | <u>BOTANICAL NAME</u>          | <u>COMMON NAME</u>          | <u>CONT</u> | <u>HEIGHT</u>   | <u>DROUGHT TOLERANT</u> | <u>NATIVE</u> | <u>TYPE</u> | <u>SPACING</u> | <u>QTY</u> |
| GROUND COVERS   |             |                                |                             |             |                 |                         |               |             |                |            |
|  | FC2         | FRAGARIA CHILOENSIS 'LIPSTICK' | BEACH STRAWBERRY            | 1 GAL       |                 | Y                       | Y             | EVERGREEN   | 18" o.c.       | 135 SF     |
|  | LC          | LIRIOPE SPICATA                | CREEPING LILYTURF           | 1 GAL       |                 | Y                       | N             | EVERGREEN   | 12" o.c.       | 104 SF     |








PLANT SCHEDULE GROUND LEVEL

| SYMBOL        | CODE | BOTANICAL NAME                     | COMMON NAME                  | CONT  | HEIGHT | DROUGHT TOLERANT | NATIVE | TYPE      | QTY |
|---------------|------|------------------------------------|------------------------------|-------|--------|------------------|--------|-----------|-----|
| LARGE SHRUBS  |      |                                    |                              |       |        |                  |        |           |     |
|               | CT2  | CHOISYA TERNATA                    | MEXICAN ORANGE               | 3 GAL |        | Y                | N      | EVERGREEN | 2   |
|               | CI2  | CORNUS SERICEA 'ISANTI'            | ISANTI RED TWIG DOGWOOD      | 3 GAL |        | Y                | Y      | DECIDUOUS | 4   |
|               | FJ   | FATSIA JAPONICA                    | JAPANESE FATSIA              | 2 GAL |        | Y                | N      | EVERGREEN | 5   |
|               | HW2  | HYDRANGEA QUERCIFOLIA 'PEE WEE'    | PEE WEE OAKLEAF HYDRANGEA    | 3 GAL |        | Y                | N      | DECIDUOUS | 4   |
|               | MA   | MAHONIA AQUIFOLIUM                 | OREGON GRAPE                 | 2 GAL |        | Y                | Y      | EVERGREEN | 7   |
|               | RK   | RIBES SANGUINEUM 'KING EDWARD VII' | RED FLOWERING CURRANT        | 3 GAL |        | Y                | Y      | DECIDUOUS | 2   |
|               | VO   | VACCINIUM OVATUM                   | EVERGREEN HUCKLEBERRY        | 3 GAL |        | Y                | Y      | EVERGREEN | 10  |
| MEDIUM SHRUBS |      |                                    |                              |       |        |                  |        |           |     |
|               | AR2  | ABELIA X 'ROSE CREEK'              | ROSE CREEK ABELIA            | 2 GAL |        | Y                | N      | EVERGREEN | 12  |
|               | GS   | GAULTHERIA SHALLON                 | SALAL                        | 2 GAL |        | Y                | Y      | EVERGREEN | 4   |
|               | SH   | SARCOCOCCA HOOKERIANA HUMILIS      | TRAILING SWEETBOX            | 2 GAL |        | Y                | N      | EVERGREEN | 14  |
| VINES         |      |                                    |                              |       |        |                  |        |           |     |
|               | HI2  | HYDRANGEA INTEGRIFOLIA             | EVERGREEN CLIMBING HYDRANGEA | 3 GAL | N      | N                | N      | EVERGREEN | 8   |

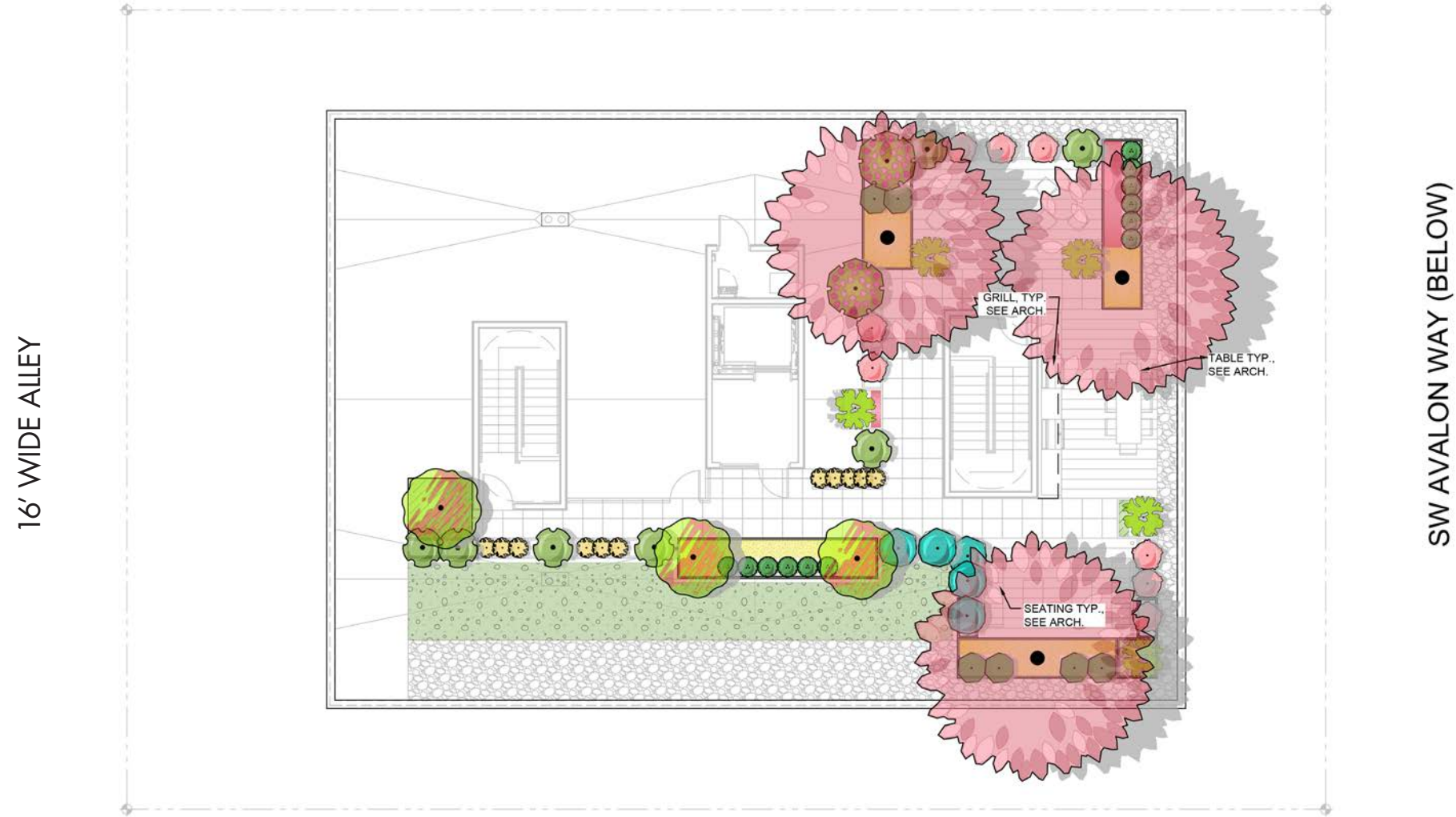
LANDSCAPE LEVEL 3



PLANT SCHEDULE LEVEL 2 AND 3

| <u>SYMBOL</u>   | <u>CODE</u> | <u>BOTANICAL NAME</u>  | <u>COMMON NAME</u>              | <u>CONT</u> | <u>CAL./HT.</u> | <u>DROUGHT TOLERANT</u> | <u>NATIVE</u> | <u>TYPE</u> |                | <u>QTY</u> |
|---|-------------|--|---------------------------------|-------------|-----------------|-------------------------|---------------|-------------|----------------|------------|
| TREES   |             |  |                                 |             |                 |                         |               |             |                |            |
|  | VM          | ACER CIRCINATUM<br>REPLACEMENT TREES FOR REMOVED<br>TIER 1, TIER 2, AND TIER 3 TREES | VINE MAPLE                      | CONT/B&B    | 1.5" CAL MIN.   | Y                       | Y             | DECIDUOUS   |                | 3          |
| <u>SYMBOL</u>   | <u>CODE</u> | <u>BOTANICAL NAME</u>  | <u>COMMON NAME</u>              | <u>CONT</u> | <u>HEIGHT</u>   | <u>DROUGHT TOLERANT</u> | <u>NATIVE</u> | <u>TYPE</u> | <u>SPACING</u> | <u>QTY</u> |
| LARGE SHRUBS  |             |  |                                 |             |                 |                         |               |             |                |            |
|  | FJ          | FATSIA JAPONICA  | JAPANESE FATSIA                 | 2 GAL       |                 | Y                       | N             | EVERGREEN   | 48" o.c.       | 6          |
|  | HW2         | HYDRANGEA QUERCIFOLIA 'PEE WEE'  | PEE WEE OAKLEAF HYDRANGEA       | 3 GAL       |                 | Y                       | N             | DECIDUOUS   | 36" o.c.       | 8          |
|  | MA          | MAHONIA AQUIFOLIUM   | OREGON GRAPE                    | 2 GAL       |                 | Y                       | Y             | EVERGREEN   | 36" o.c.       | 2          |
|  | RK          | RIBES SANGUINEUM 'KING EDWARD VII'   | RED FLOWERING CURRANT           | 3 GAL       |                 | Y                       | Y             | DECIDUOUS   | 72" o.c.       | 1          |
|  | VO          | VACCINIUM OVATUM   | EVERGREEN HUCKLEBERRY           | 3 GAL       |                 | Y                       | Y             | EVERGREEN   | 36" o.c.       | 13         |
| MEDIUM SHRUBS   |             |  |                                 |             |                 |                         |               |             |                |            |
|  | AR2         | ABELIA X 'ROSE CREEK'  | ROSE CREEK ABELIA               | 2 GAL       |                 | Y                       | N             | EVERGREEN   | 36" o.c.       | 3          |
|  | CK          | CORNUS STOLONIFERA 'KELSEY'  | KELSEY'S DWARF RED TWIG DOGWOOD | 1 GAL       |                 | Y                       | Y             | DECIDUOUS   | 24" o.c.       | 16         |
| GRASSES AND PERENNIALS  |             |  |                                 |             |                 |                         |               |             |                |            |
|  | CT          | CAREX TESTACEA   | ORANGE SEDGE                    | 1 GAL       |                 | Y                       | N             | DECIDUOUS   | 24" o.c.       | 11         |





PLANT SCHEDULE ROOF DECK

| SYMBOL  | CODE | BOTANICAL NAME                        | COMMON NAME               | CONT     | CAL./HT.      | DROUGHT TOLERANT | NATIVE | TYPE      | QTY      |     |
|---|------|---------------------------------------|---------------------------|----------|---------------|------------------|--------|-----------|----------|-----|
| TREES   |      |                                       |                           |          |               |                  |        |           |          |     |
|  | VM   | ACER CIRCINATUM<br>SMALL/MEDIUM TREE  | VINE MAPLE                | CONT/B&B | 1.5" CAL MIN. | Y                | Y      | DECIDUOUS | 3        |     |
|  | AK   | ACER PALMATUM 'KATSURA'<br>SMALL TREE | KATSURA JAPANESE MAPLE    | CONT/B&B | 1.5" CAL MIN. | Y                | N      | DECIDUOUS | 3        |     |
| SYMBOL  | CODE | BOTANICAL NAME                        | COMMON NAME               | CONT     | HEIGHT        | DROUGHT TOLERANT | NATIVE | TYPE      | SPACING  | QTY |
| LARGE SHRUBS  |      |                                       |                           |          |               |                  |        |           |          |     |
|  | CT2  | CHOISYA TERNATA                       | MEXICAN ORANGE            | 3 GAL    |               | Y                | N      | EVERGREEN | 48" o.c. | 7   |
|  | CI2  | CORNUS SERICEA 'ISANTI'               | ISANTI RED TWIG DOGWOOD   | 3 GAL    |               | Y                | Y      | DECIDUOUS | 48" o.c. | 5   |
|  | FJ   | FATSIA JAPONICA                       | JAPANESE FATSIA           | 2 GAL    |               | Y                | N      | EVERGREEN | 48" o.c. | 5   |
|  | HW2  | HYDRANGEA QUERCIFOLIA 'PEE WEE'       | PEE WEE OAKLEAF HYDRANGEA | 3 GAL    |               | Y                | N      | DECIDUOUS | 36" o.c. | 8   |
|  | RK   | RIBES SANGUINEUM 'KING EDWARD VII'    | RED FLOWERING CURRANT     | 3 GAL    |               | Y                | Y      | DECIDUOUS | 72" o.c. | 2   |

MEDIUM SHRUBS

|   |    |                             |                                 |       |   |   |           |          |    |
|---|----|-----------------------------|---------------------------------|-------|---|---|-----------|----------|----|
|  | CK | CORNUS STOLONIFERA 'KELSEY' | KELSEY'S DWARF RED TWIG DOGWOOD | 1 GAL | Y | Y | DECIDUOUS | 24" o.c. | 12 |
|  | GS | GAULTHERIA SHALLON          | SALAL                           | 2 GAL | Y | Y | EVERGREEN | 36" o.c. | 6  |

GRASSES AND PERENNIALS

|   |    |                |              |       |   |   |           |          |    |
|---|----|----------------|--------------|-------|---|---|-----------|----------|----|
|  | CT | CAREX TESTACEA | ORANGE SEDGE | 1 GAL | Y | N | DECIDUOUS | 24" o.c. | 11 |
|---|----|----------------|--------------|-------|---|---|-----------|----------|----|

GROUND COVERS

|   |    |                               |                              |       |   |   |           |          |  |        |
|---|----|-------------------------------|------------------------------|-------|---|---|-----------|----------|--|--------|
|  | SK | 8" DEPTH EXTENSIVE GREENROOF  | SEDUM TILE                   | SOD   |   |   |           |          |  | 381 SF |
|  | CI | CAREX MORROWII 'ICE DANCE'    | ICE DANCE JAPANESE SEDGE     | 1 GAL | Y | N | EVERGREEN | 12" o.c. |  | 133 SF |
|  | HP | HEUCHERA X 'PEPPERMINT SPICE' | PEPPERMINT SPICE CORAL BELLS | 1 GAL | Y | N | EVERGREEN | 12" o.c. |  | 28 SF  |
|  | LC | LIRIOPE SPICATA               | CREEPING LILYTURF            | 1 GAL | Y | N | EVERGREEN | 12" o.c. |  | 42 SF  |

# ELEVATION NORTH







ELEVATION SOUTH




ELEVATION EAST




01 ARCHITECTURAL CONCRETE




02 VERTICAL CORRUGATED METAL PANEL  
COLOR: SILVER




03 HORIZONTAL CORRUGATED METAL PANEL  
COLOR: MATCH KEY #2




04 FIBER CEMENT PANEL  
COLOR: DARK GRAY



05 FIBER CEMENT PANEL  
COLOR: GRAY




06 FIBER CEMENT PANEL  
COLOR: ORANGE




07 WOOD TONE SIDING  
COLOR: WOOD TONE




08 ALUMINUM STOREFRONT WINDOW AND DOOR  
COLOR: CLEAR ANODIZED




09 VINYL WINDOWS AND DOORS  
COLOR: WHITE




10 METAL SHADOW BOX  
FINISH TO MATCH ADJACENT



11 METAL CANOPY  
COLOR: ORANGE



12 METAL CANOPY  
COLOR: GRAY




13 ALUMINUM STOREFRONT WINDOW AND DOOR  
COLOR: BLACK



14 VINYL WINDOWS AND DOORS  
COLOR: BLACK



15 METAL PRIVACY FENCE WITH  
METAL MESH INFILL




16 SHEET METAL  
FINISH TO MATCH ADJACENT







ELEVATION WEST




01 ARCHITECTURAL CONCRETE




02 VERTICAL CORRUGATED METAL PANEL  
COLOR: SILVER




03 HORIZONTAL CORRUGATED METAL PANEL  
COLOR: MATCH KEY #2




04 FIBER CEMENT PANEL  
COLOR: DARK GRAY




05 FIBER CEMENT PANEL  
COLOR: GRAY




06 FIBER CEMENT PANEL  
COLOR: ORANGE




07 WOOD TONE SIDING  
COLOR: WOOD TONE




08 ALUMINUM STOREFRONT WINDOW AND DOOR  
COLOR: CLEAR ANODIZED




09 VINYL WINDOWS AND DOORS  
COLOR: WHITE




10 METAL SHADOW BOX  
FINISH TO MATCH ADJACENT




11 METAL CANOPY  
COLOR: ORANGE




12 METAL CANOPY  
COLOR: GRAY




13 ALUMINUM STOREFRONT WINDOW AND DOOR  
COLOR: BLACK



14 VINYL WINDOWS AND DOORS  
COLOR: BLACK



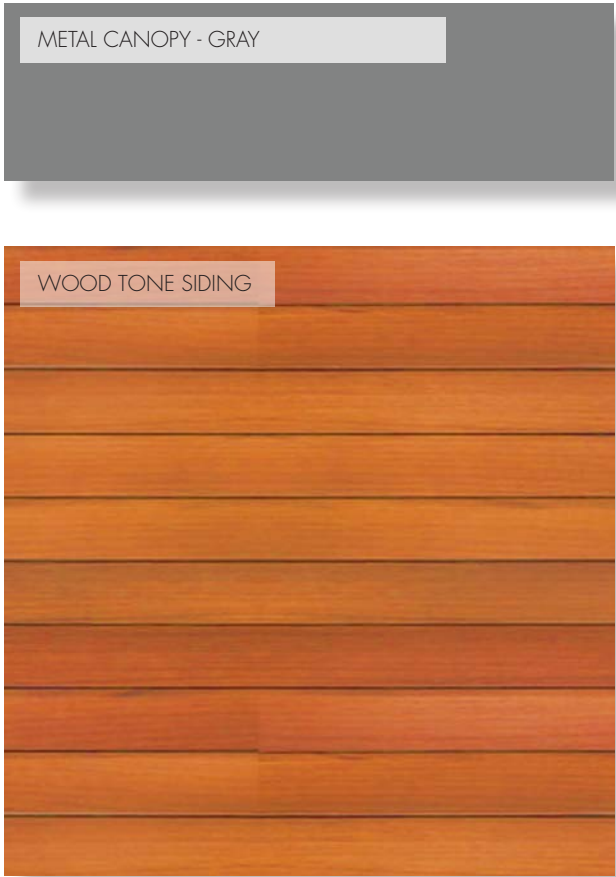
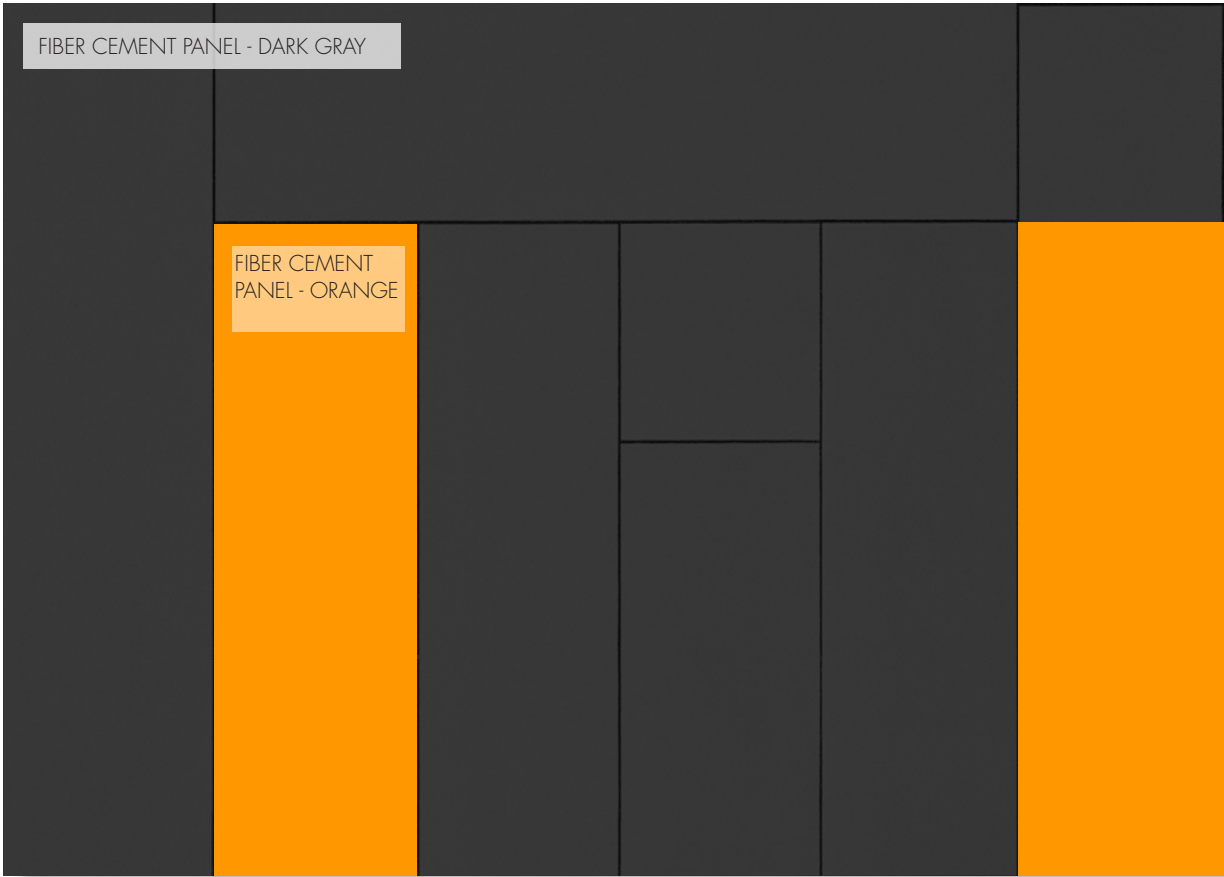
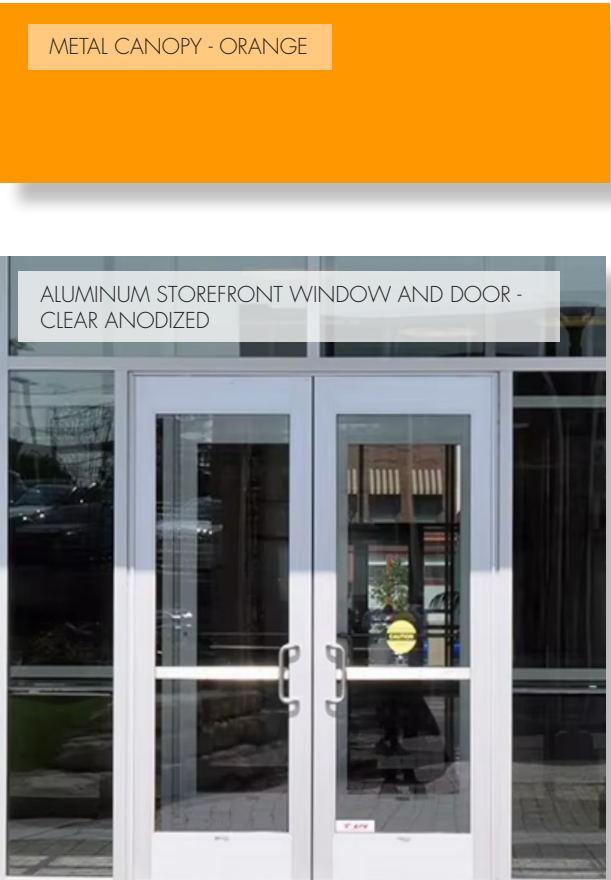
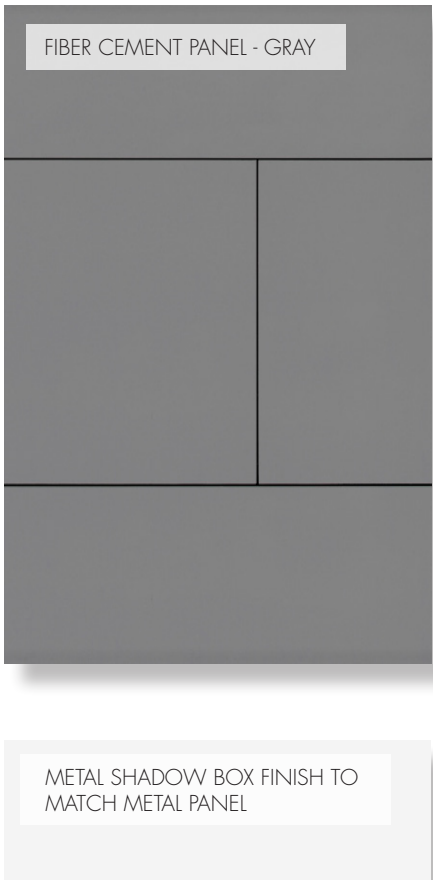
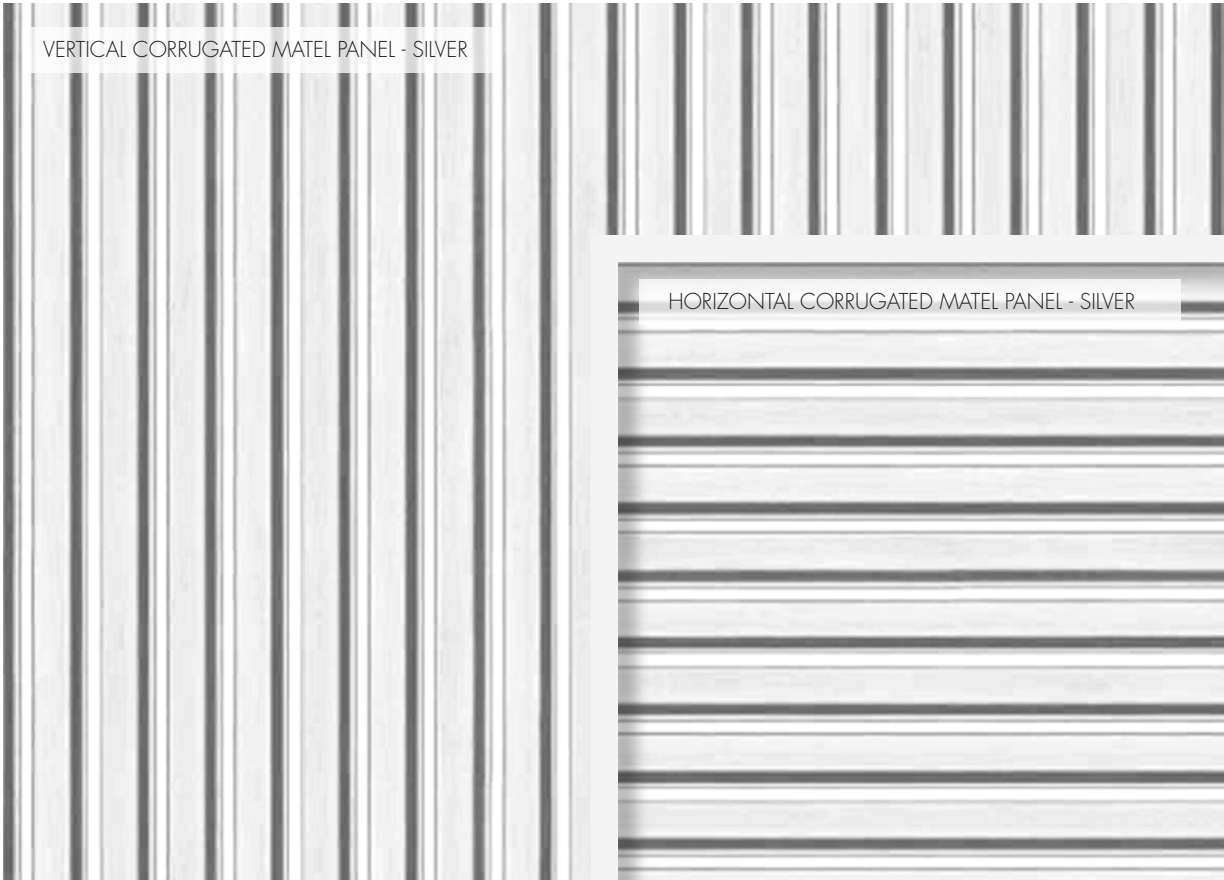
15 METAL PRIVACY FENCE WITH  
METAL MESH INFILL



16 SHEET METAL  
FINISH TO MATCH ADJACENT



MATERIALS & COLOR





PERSPECTIVE VIEWS SOUTHEAST CORNER





PERSPECTIVE VIEWS NORTHEAST CORNER





PERSPECTIVE VIEWS MAIN ENTRY





PERSPECTIVE VIEWS SOUTHWEST ALLEY ENTRY





PERSPECTIVE VIEWS NORTHWEST CORNER



## LIGHTING GROUND PLAN



### A. WALL MOUNTED LIGHT FIXTURE



## B. STEP LIGHT



### C. RECESSED CEILING MOUNTED LIGHT



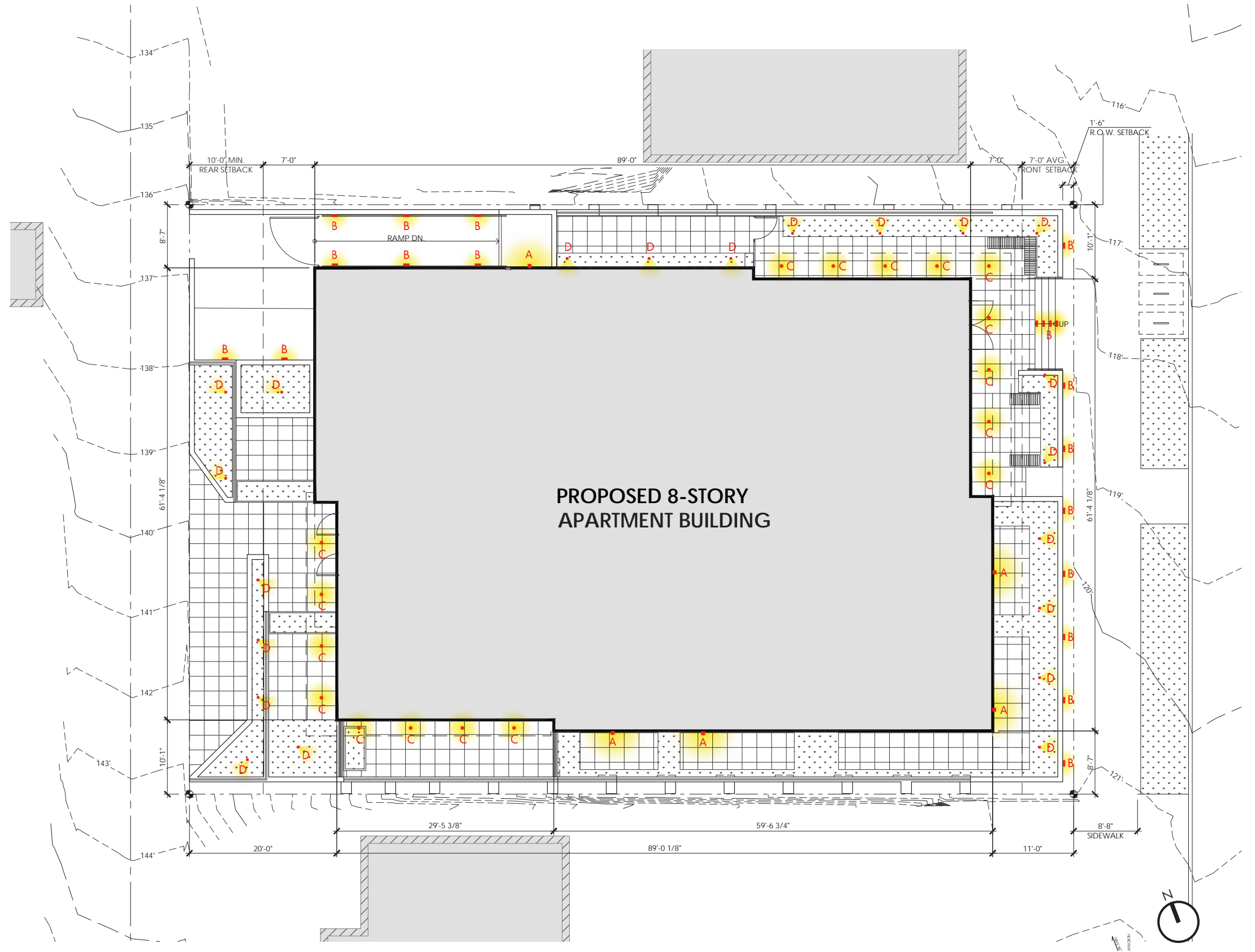
#### D. LANDSCAPE IN-GROUND LIGHT FIXTURE



### E. CATENARY LIGHT POST



## F. CEILING FLUSHMOUNT LIGHT





LIGHTING ROOF PLAN



A. WALL MOUNTED  
LIGHT FIXTURE



B. STEP LIGHT



C. RECESSED CEILING  
MOUNTED LIGHT



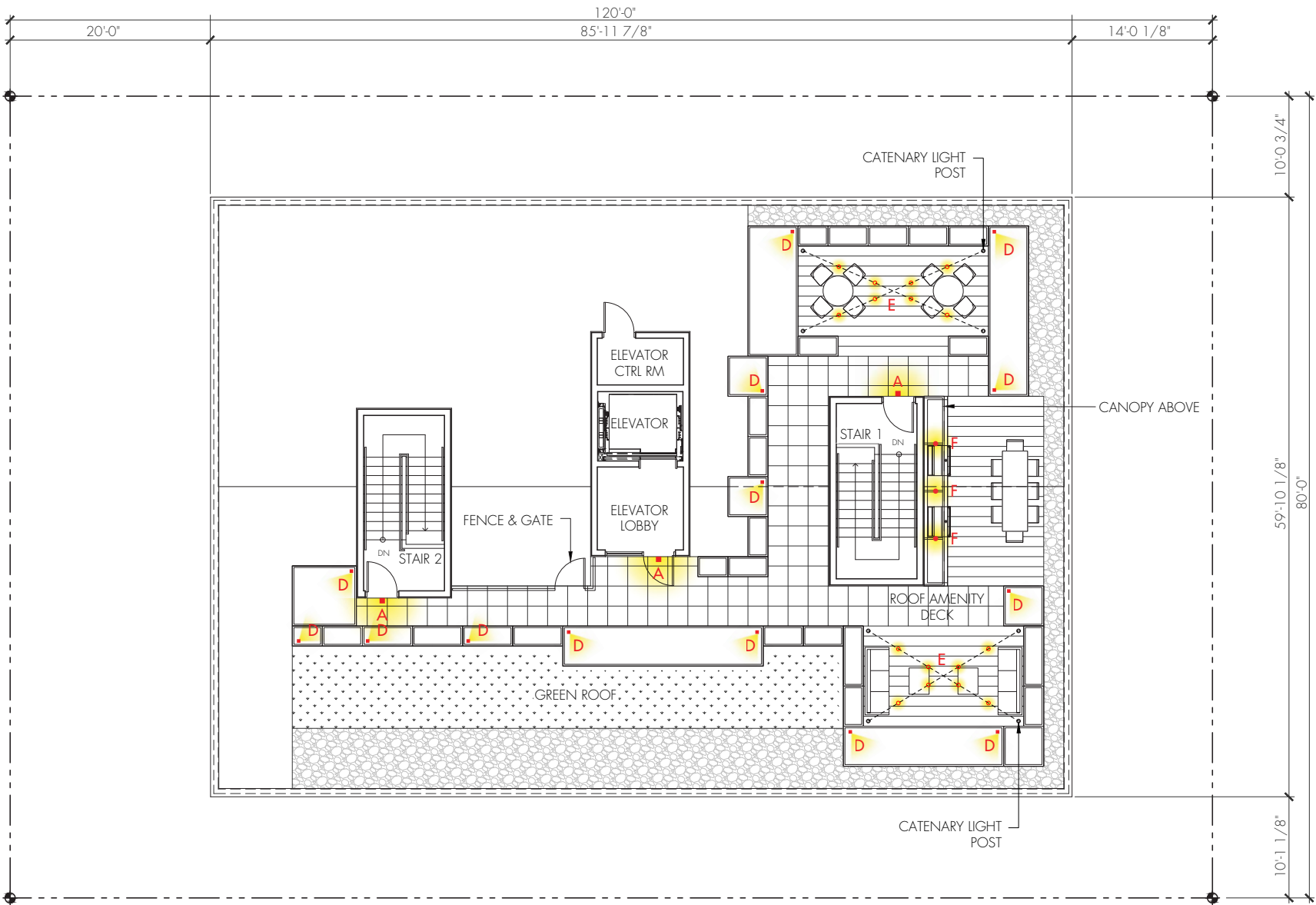
D. LANDSCAPE IN-GROUND  
LIGHT FIXTURE



E. CATENARY LIGHT POST



F. CEILING FLUSHMOUNT  
LIGHT



## LIGHTING WEST ELEVATION



### A. WALL MOUNTED LIGHT FIXTURE



## B. STEP LIGHT



### C. RECESSED CEILING MOUNTED LIGHT



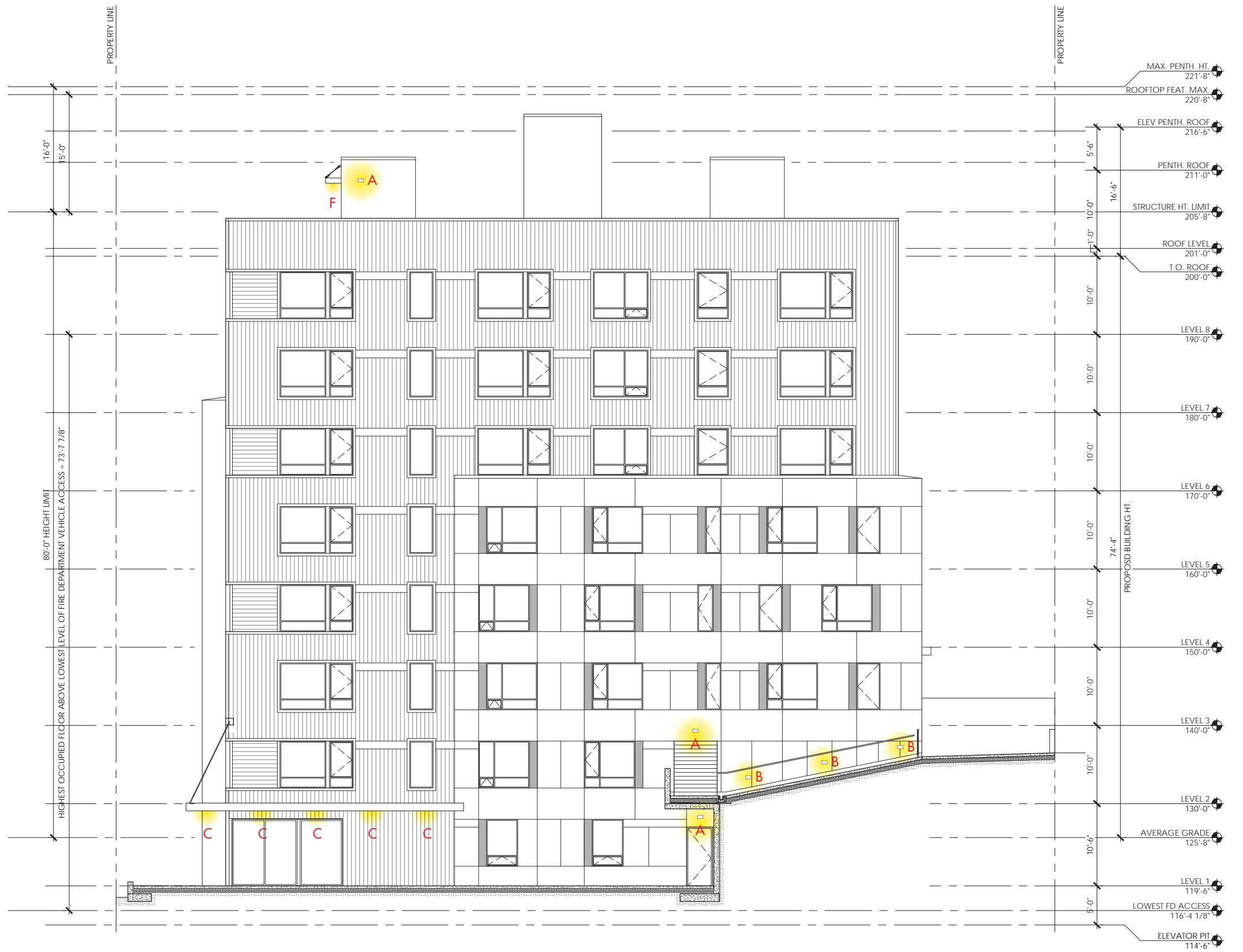
#### D. LANDSCAPE IN-GROUND LIGHT FIXTURE



### E. CATENARY LIGHT POST



## F. CEILING FLUSHMOUNT LIGHT





LIGHTING NORTH ELEVATION



A. WALL MOUNTED  
LIGHT FIXTURE



B. STEP LIGHT



C. RECESSED CEILING  
MOUNTED LIGHT



D. LANDSCAPE IN-GROUND  
LIGHT FIXTURE



E. CATENARY LIGHT POST



F. CEILING FLUSHMOUNT  
LIGHT



LIGHTING EAST ELEVATION



A. WALL MOUNTED  
LIGHT FIXTURE



B. STEP LIGHT



C. RECESSED CEILING  
MOUNTED LIGHT



D. LANDSCAPE IN-GROUND  
LIGHT FIXTURE



E. CATENARY LIGHT POST



F. CEILING FLUSHMOUNT  
LIGHT





LIGHTING SOUTH ELEVATION



A. WALL MOUNTED  
LIGHT FIXTURE



B. STEP LIGHT



C. RECESSED CEILING  
MOUNTED LIGHT



D. LANDSCAPE IN-GROUND  
LIGHT FIXTURE



E. CATENARY LIGHT POST



F. CEILING FLUSHMOUNT  
LIGHT



LIGHTING VISUAL CONCEPTS



INSPIRATION IMAGE  
WALL MOUNTED SCONCE (A)



INSPIRATION IMAGE  
STEP LIGHT (B)



INSPIRATION IMAGE  
RECESSED CEILING MOUNTED LIGHT (C)



INSPIRATION IMAGE  
IN-PLANTER LIGHTING (D)



INSPIRATION IMAGE  
CATENARY MOUNT LIGHT (E)



INSPIRATION IMAGE  
CEILING FLUSHMOUNT LIGHT (F)



SIGNAGE CONCEPT



STREET ENTRY SIGNAGE



ALLEY ENTRY SIGNAGE



CANOPY MOUNTED RESIDENTIAL SIGN

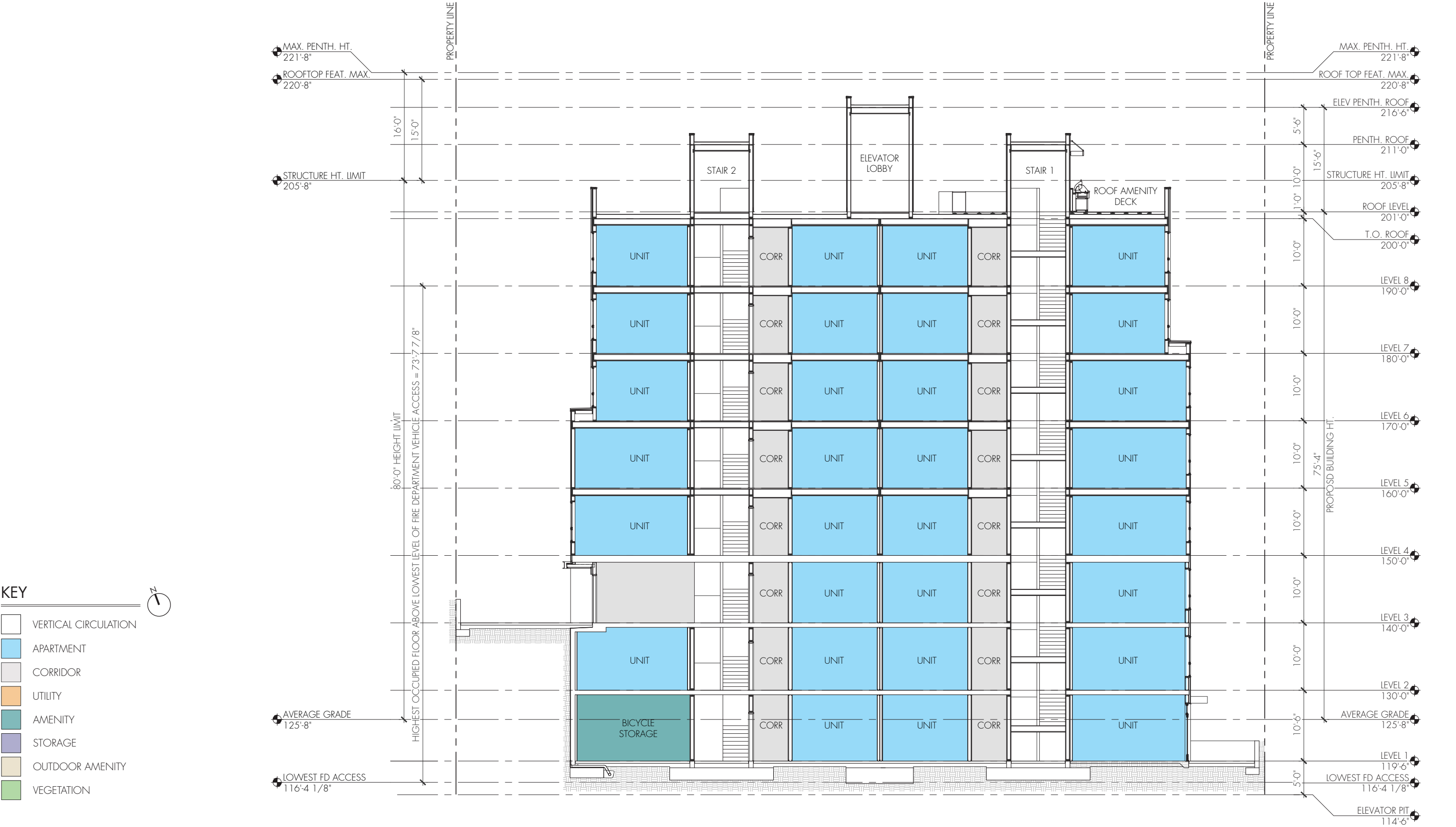


WALL MOUNTED RESIDENTIAL SIGN

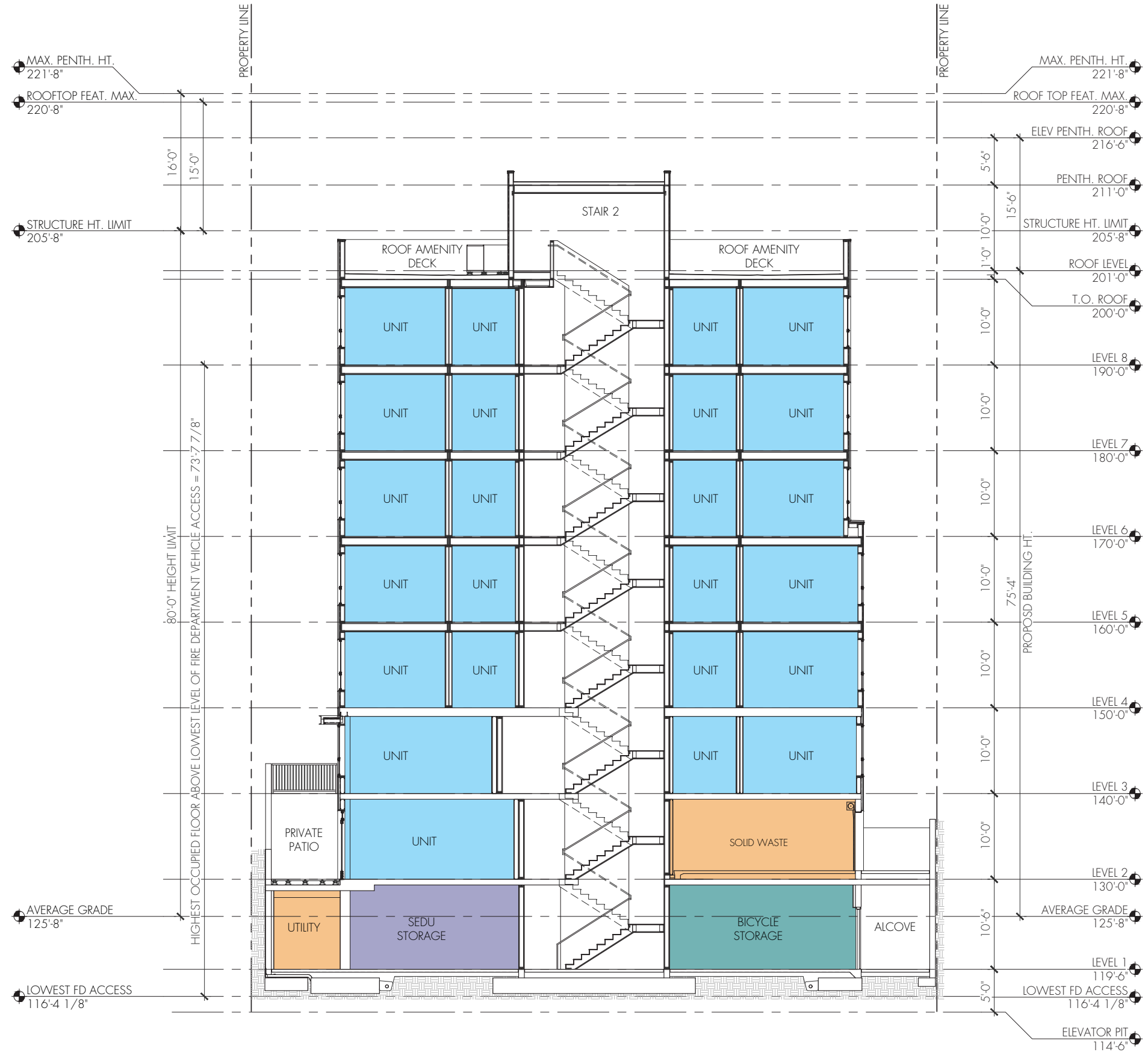
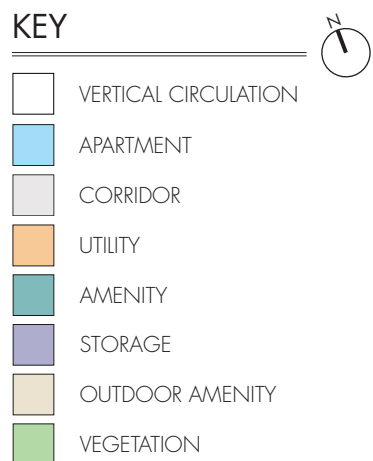
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SECTION SECTION 1



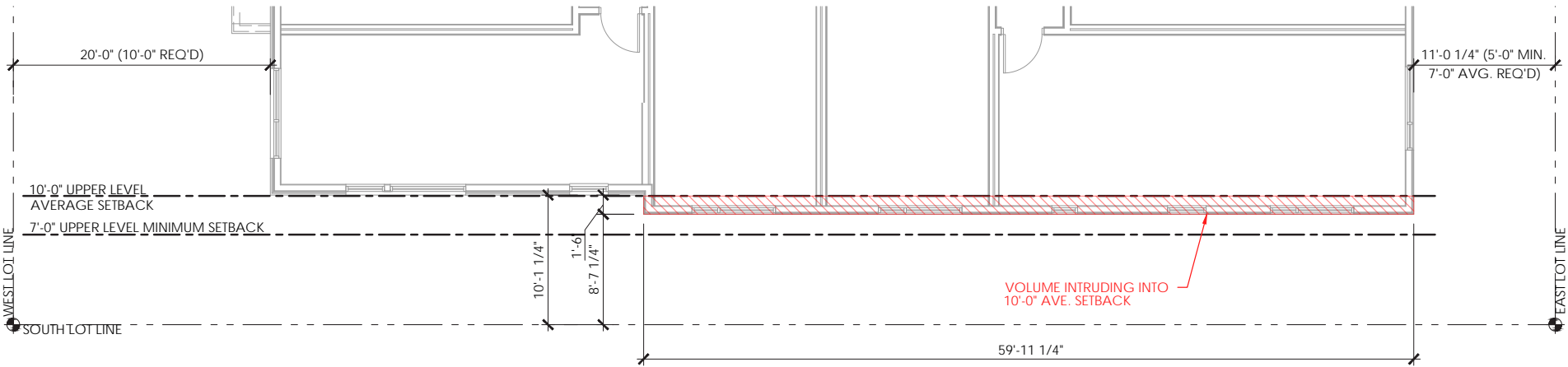
## SECTION SECTION 2



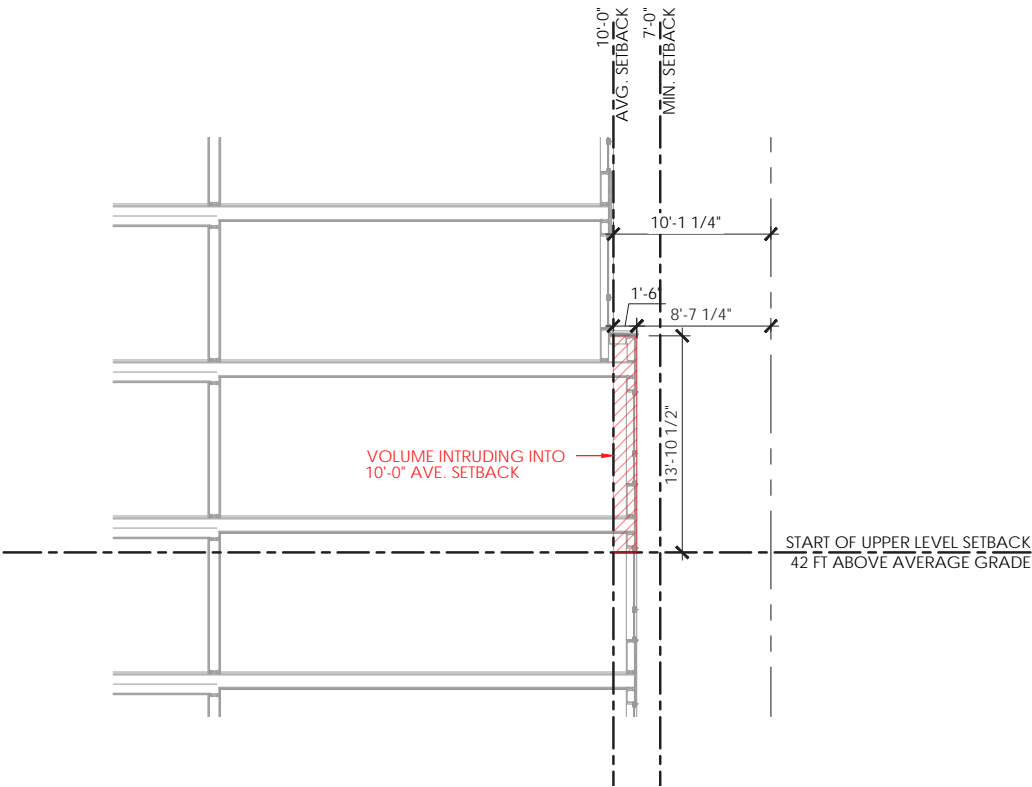


DEPARTURE REQUEST

| DEPARTURE NUMBER | REQUIRED  | REQUEST   | JUSTIFICATION  |
|------------------|---|---|--|
| D1               | 23.45.518<br>Side setback from interior lot line to be 10 feet average and 7 feet minimum for portions of a structure above 42 feet in height | Requesting portions of the north and south facades to intrude into the 10' required average setback at the side facades 42' above finished grades: a portion of the south facade of 59'-11 1/4" x 13'-10 1/2" in surface area to include 1'-6" into the 10'-0" average setback. | The proposed design has been developed from the massing option preferred by the Board at the EDG meeting. We have requested similar departure for this option at the EDG meeting, in order to achieve adequate modulation and setback on the front and back facade, as well as to break up the perceived massing vertically and horizontally, Responding to design guidelines DC2 I and CS2 III IV. As the design develop, we have further reduced the building volume requiring departure to minimize it's impact. The bulk of the north and south facades are 10'-1" from the side lot lines, while a small portion of them are at 8'-7" from the side lot lines. While still meeting the min. Setback requirement, the small portion of facade has intruded into the 10'-0" average setback and brought the average setback of north and south facade above 42' to slightly short of the 10' required. However the small portion of facade are essential to the building modulation, which will enhance the pedestrian experience and allow it to be more aesthetically pleasing for the neighboring developments. The other facades on the building are setback more than required for the same purpose to achieve better building modulation. Additionally, the start of the upper level setback is calculated from the finished grade at the bottom of exterior wall per code. In our case, as we try to maximize amenity space and ease of access to the building, our finished grade is much lower in elevation than the grades at side lot lines and the finished grade on the neighboring properties. As a result we also expect the requested departure to have much less impact on the neighboring property. |



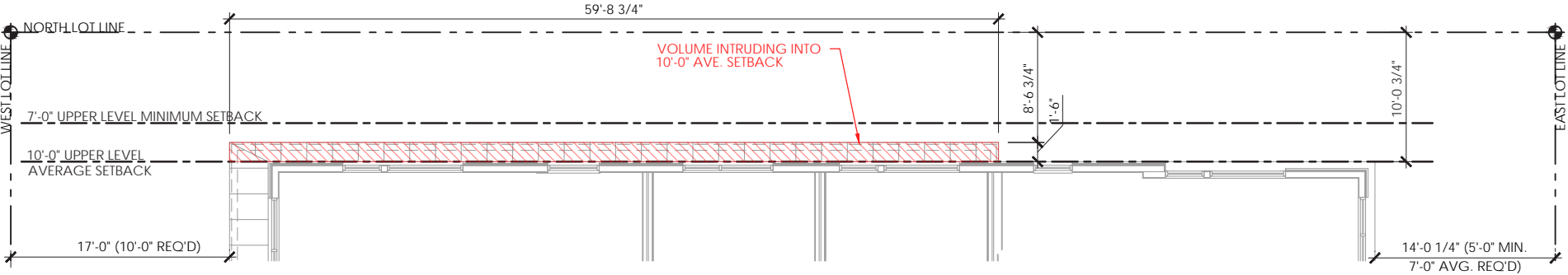
LEVEL 6 FLOOR PLAN DIAGRAM



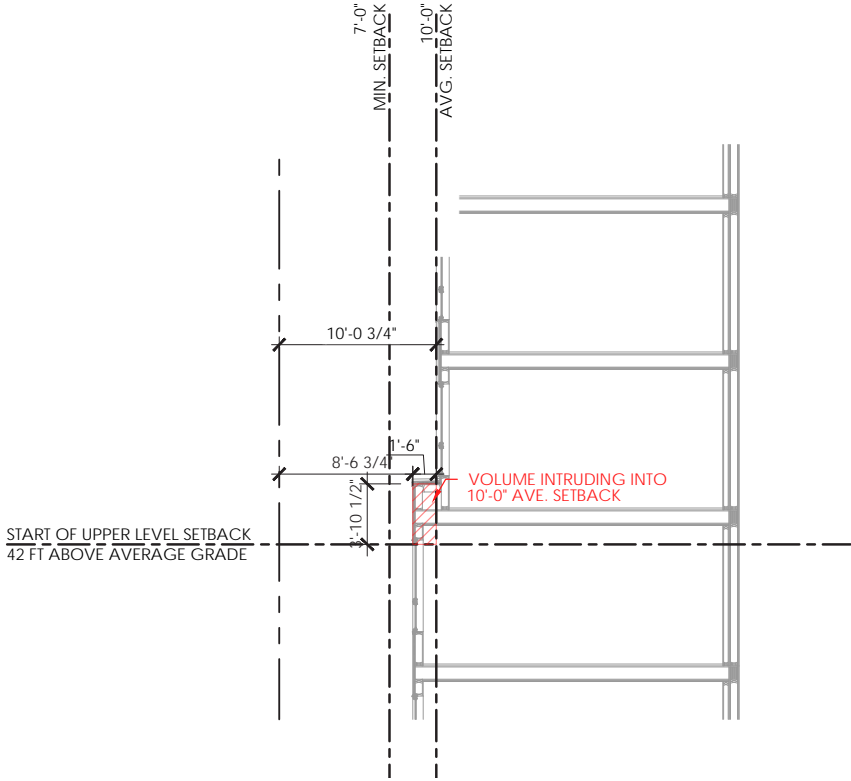
SECTION DIAGRAM

DEPARTURE REQUEST

| DEPARTURE NUMBER | REQUIRED  | REQUEST   | JUSTIFICATION  |
|------------------|---|---|--|
| D2               | 23.45.518<br>Side setback from interior lot line to be 10 feet average and 7 feet minimum for portions of a structure above 42 feet in height | Requesting portions of the north and south facades to intrude into the 10' required average setback at the side facades 42' above finished grades: a portion of the north facade of 59'-8 3/4" x 3'-10 1/2" in surface area to intrude 1'-6" into the 10'-0" average setback. | The proposed design has been developed from the massing option preferred by the Board at the EDG meeting. We have requested similar departure for this option at the EDG meeting, in order to achieve adequate modulation and setback on the front and back facade, as well as to break up the perceived massing vertically and horizontally, Responding to design guidelines DC2 I and CS2 III IV. As the design develop, we have further reduced the building volume requiring departure to minimize it's impact. The bulk of the north and south facades are 10'-1" from the side lot lines, while a small portion of them are at 8'-7" from the side lot lines. While still meeting the min. Setback requirement, the small portion of facade has intruded into the 10'-0" average setback and brought the average setback of north and south facade above 42' to slightly short of the 10' required. However the small portion of facade are essential to the building modulation, which will enhance the pedestrian experience and allow it to be more aesthetically pleasing for the neighboring developments. The other facades on the building are setback more than required for the same purpose to achieve better building modulation. Additionally, the start of the upper level setback is calculated from the finished grade at the bottom of exterior wall per code. In our case, as we try to maximize amenity space and ease of access to the building, our finished grade is much lower in elevation than the grades at side lot lines and the finished grade on the neighboring properties. As a result we also expect the requested departure to have much less impact on the neighboring property. |



LEVEL 6 FLOOR PLAN DIAGRAM

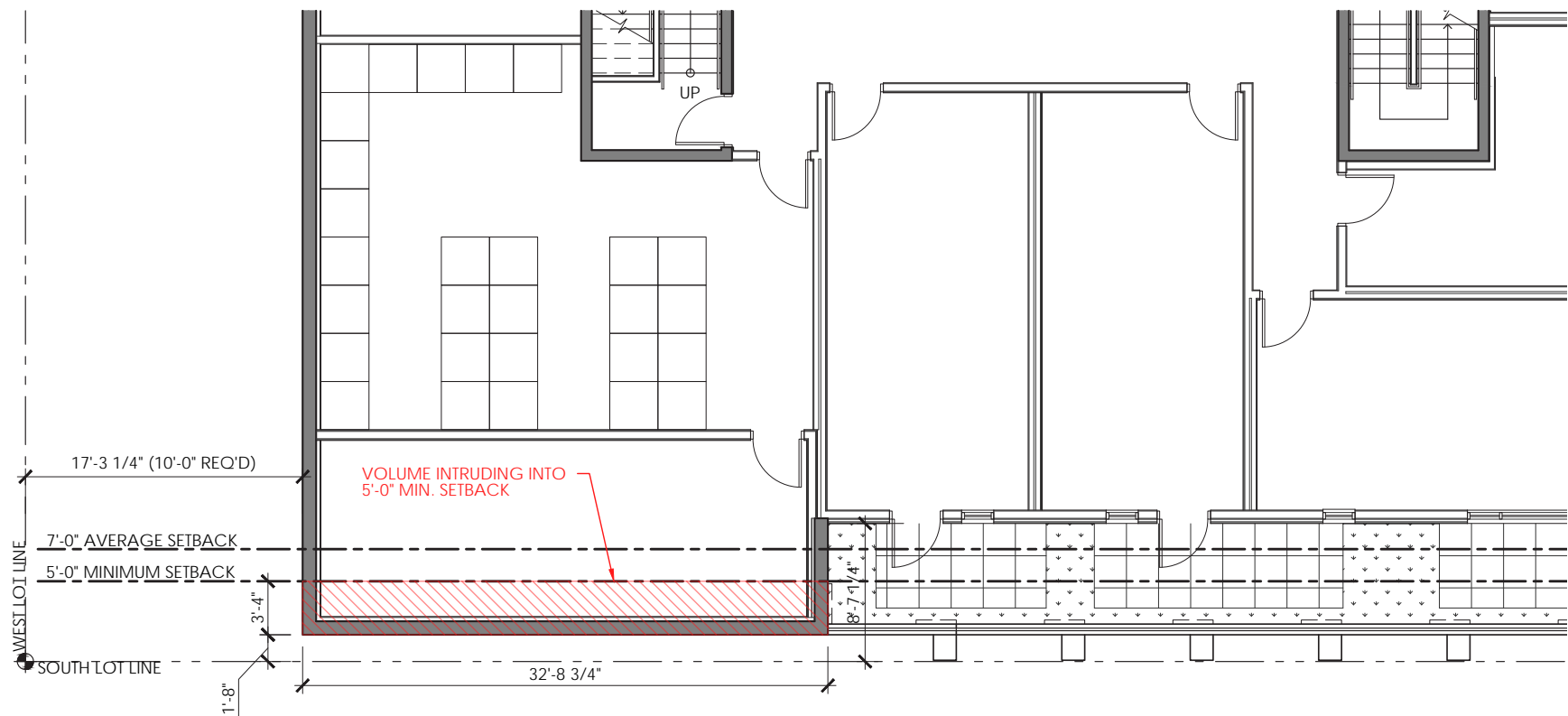


SECTION DIAGRAM



DEPARTURE REQUEST

| DEPARTURE NUMBER | REQUIRED   | REQUEST  | JUSTIFICATION   |
|------------------|--|--|---|
| D3               | 23.45.518<br>Side setback from interior lot line to be 7 feet average and 5 feet minimum for portions of a structure below 42 feet in height | Requesting portions of the south facades to intrude into the 5' required minimum setback at the side facades below 42' in height: a portion of the south facade of 32'-8 3/4" x 10' in surface area to include 3'-4" into the 5'-0" minimum setback. | The proposed departure request is justified based on several key factors that ensure the project maintains both functional and aesthetic integrity while improving constructability. The portion extending into the setback area is primarily below grade, meaning it does not create any visible or spatial encroachment at the ground level. Additionally, the retaining wall's appearance will remain unchanged regardless of whether the departure is granted, ensuring consistency with the overall design and maintaining the visual character of the surrounding environment. Granting the departure enhances constructability by simplifying the waterproofing system for the deck, reducing complexity, and mitigating potential long-term maintenance issues. |



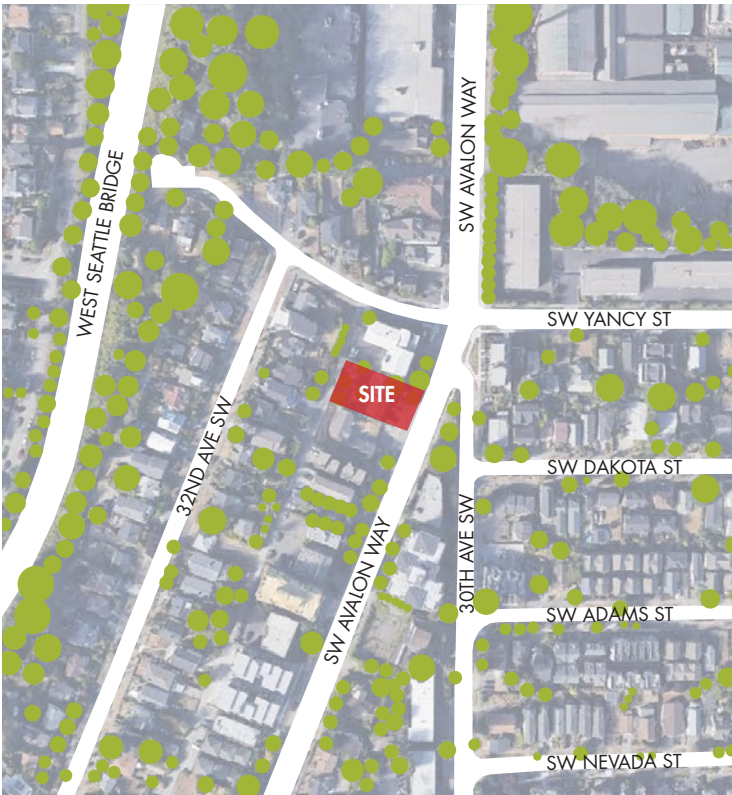
LEVEL 1 FLOOR PLAN DIAGRAM



# APPENDIX SITE ANALYSIS

## TREES

A few trees are to be cleared within the boundaries of the site. No significant trees have been identified within the boundaries of our site. One street tree located in front of our site will be retained. Vegetation should have little interference with views, shading, and circulation.



- TREES LEGEND**
- Site
  - Trees



## SIGNIFICANT VIEWS

Immediate ground level views are limited due to the heights of the surrounding buildings. However, due to the elevation of the Site, lower level floors will still have some views of the surrounding neighborhood to the East. The upper floors and the building's rooftop will have views of the surrounding neighborhood, Mt. Rainier, Elliott Bay, and downtown Seattle.



- VIEWS LEGEND**
- Site
  - Neighborhoods and Structures
  - Natural Surroundings



## ACCESS OPPORTUNITIES + CONSTRAINTS

The site is located near the corner of the intersection of SW Avalon Way and SW Andover St. SW Avalon Way is the most active of the surrounding streets and is a major arterial road in this area. There are two nearby bus stops for Route 21, 773 and the C-Line, which travel from areas in West Seattle to South Lake Union. A bike route runs through SW Avalon Way.

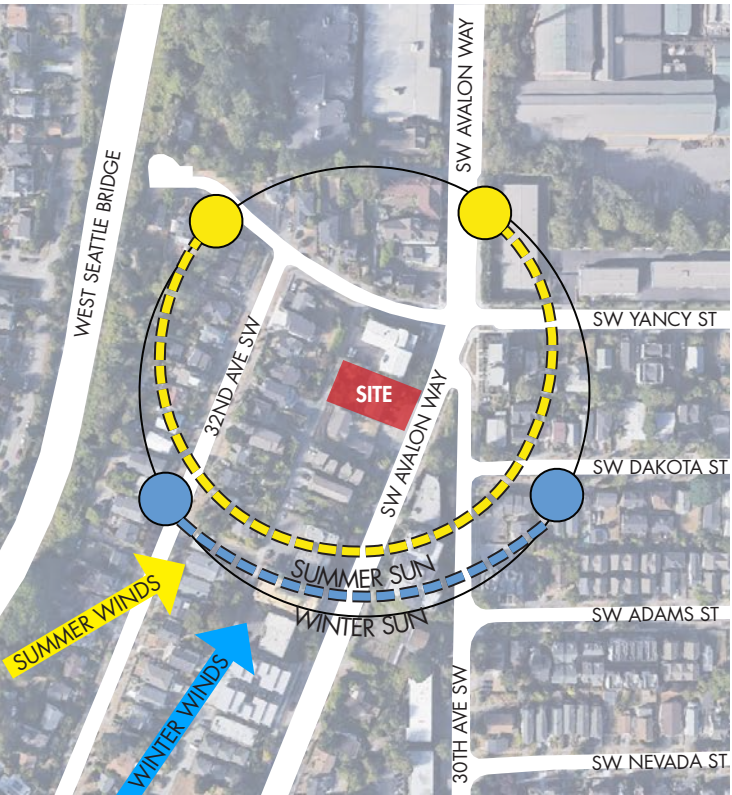


- ACCESS/CIRCULATION LAYER**
- Site
  - Direction of Traffic
  - Arterial Streets
  - Bike Routes
  - Bus Stops
  - Future Light Rail Station



## SOLAR EXPOSURE + PREVAILING WINDS

The site is bordered by a 4 story multi-family building directly to the north, and several one-story and two-story single family homes to the South and West. The existing structures to the south of the site are relatively short, therefore the southern facades of the proposed structure are expected to receive full sun and wind exposure.



- SOLAR/WINDS LEGEND**
- Site
  - Summer Sun and Winds
  - Winter Sun and Winds





APPENDIX

SHADOW ANALYSIS



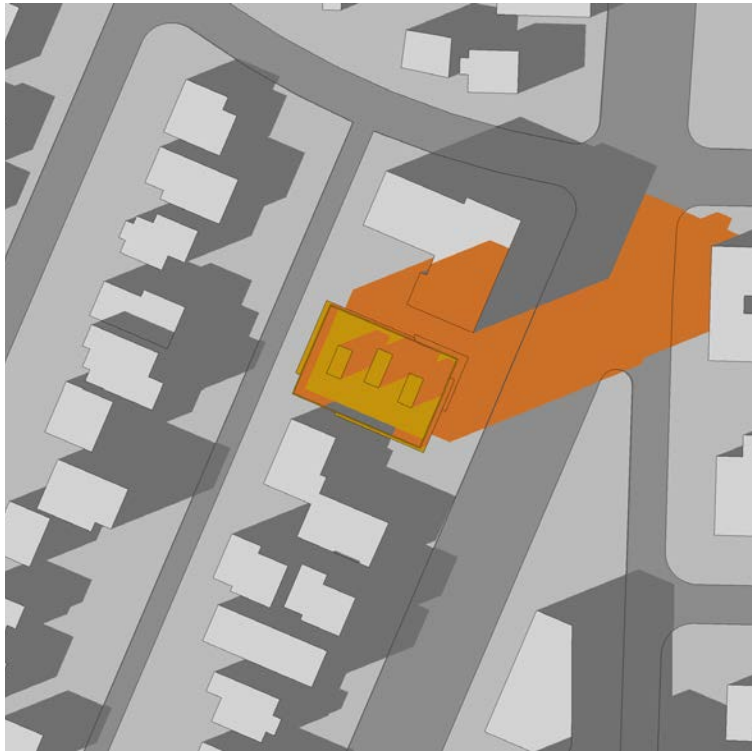
10 AM | SPRING EQUINOX March 20, 2020



12 PM | SPRING EQUINOX March 20, 2020



2 PM | SPRING EQUINOX March 20, 2020



4 PM | SPRING EQUINOX March 20, 2020



10 AM | SUMMER SOLSTICE June 21st, 2020



12 PM | SUMMER SOLSTICE June 21st, 2020



2 PM | SUMMER SOLSTICE June 21st, 2020



4 PM | SUMMER SOLSTICE June 21st, 2020



APPENDIX

SHADOW ANALYSIS



10 AM | AUTUMN EQUINOX September 23, 2020

12 PM | AUTUMN EQUINOX September 23, 2020

2 PM | AUTUMN EQUINOX September 23, 2020

4 PM | AUTUMN EQUINOX September 23, 2020



10 AM | WINTER SOLSTICE December 21st, 2020

12 PM | WINTER SOLSTICE December 21st, 2020

2 PM | WINTER SOLSTICE December 21st, 2020

4 PM | WINTER SOLSTICE December 21st, 2020