

#3029945-LU

514-524 FEDERAL AVE E RECOMMENDATION
SHW

ADDRESS

514-524 FEDERAL AVE E
SDCI# 3029945-LU

PROJECT TEAM

OWNER	514 - 522 Federal Ave LLC
ARCHITECT	SHW
LANDSCAPE	Root of Design
SURVEYOR	Terrane

PROJECT INFO

ZONING	LR3
OVERLAYS	Capitol Hill Urban Center Village, Parking Flexibility

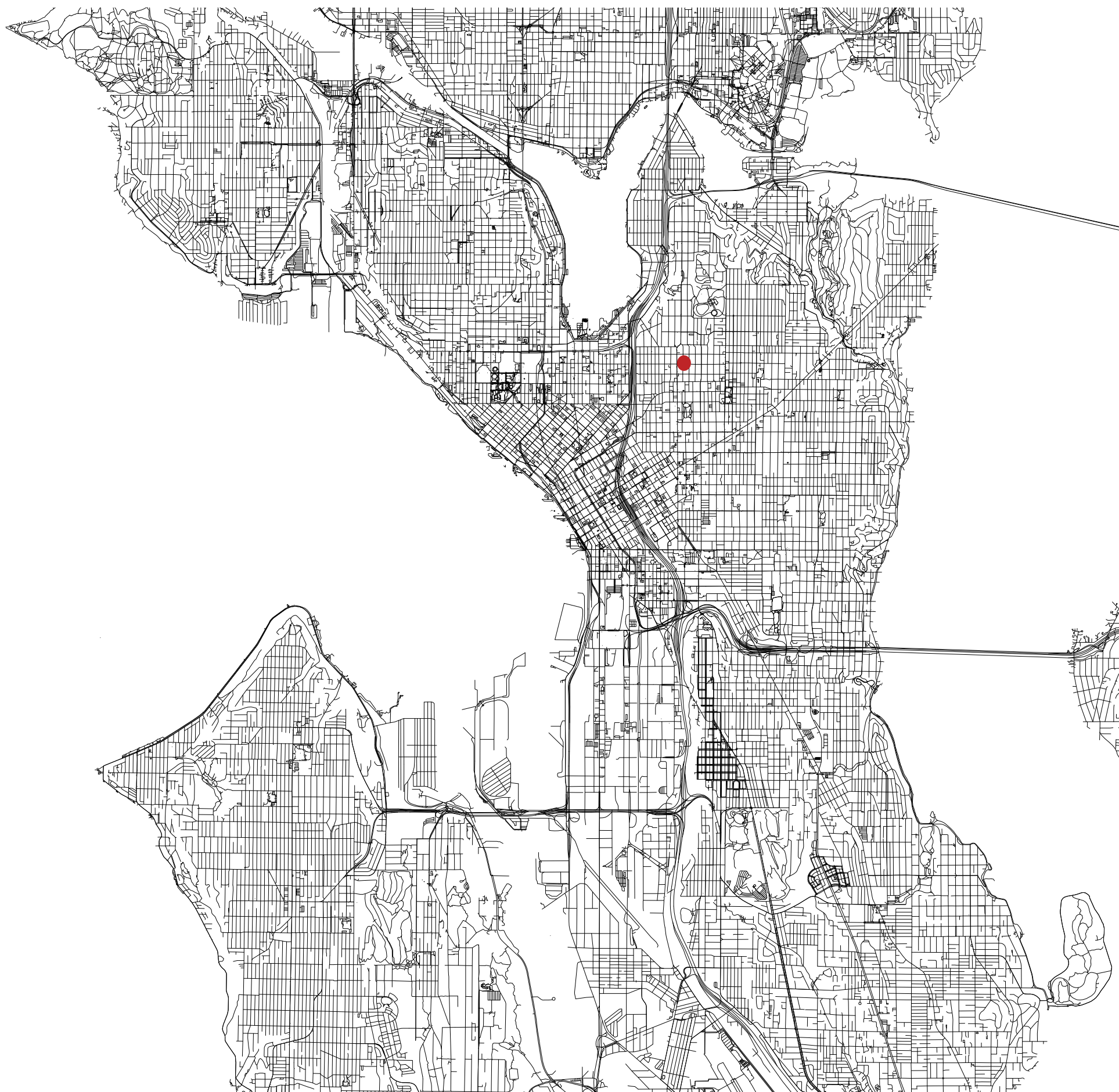
LOT SIZE	23,915 SQ FT
FAR	2.0
ALLOWABLE FAR	47,830
EXISTING FAR	11,378
EXISTING UNITS	15
PROPOSED NEW UNITS	58
EXISTING PARKING STALLS	13
PROPOSED NEW PARKING STALLS	0
BICYCLE PARKING	61

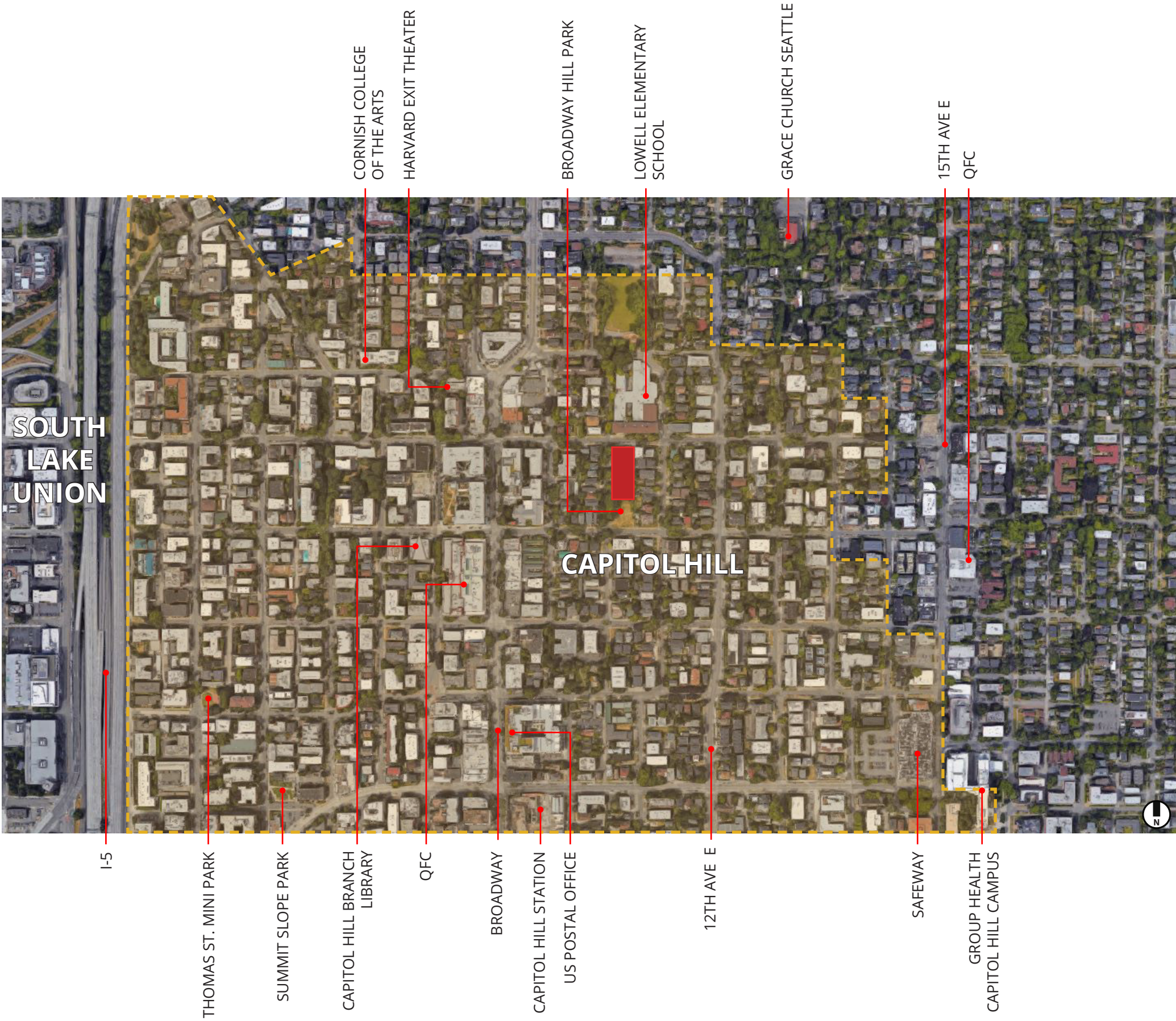
PROJECT DESCRIPTION

The proposed project is a multifamily apartment building containing 58 residential units. No parking is proposed. The existing 15 unit apartment building and 13 parking stalls will remain.

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Capitol Hill is a vibrant neighborhood offering the community an outstanding variety of restaurants, shopping, living, and working hubs making it an attractive destination for residents of all demographics.

The proposed project is located in the central portion of the Capitol Hill Urban Center Village. The site is situated between the Broadway and 15th Ave E commercial strips and just north of the Pike/Pine corridor. This site is well served by the new Capitol Hill Transit Center, and buses throughout Seattle.

-  **CAPITOL HILL URBAN CENTER VILLAGE (UCV)**
-  **SITE**

ZONING

The project is zoned LR3, and all adjacent zoning for several blocks is zoned LR3. The site is within the Capitol Hill Urban Center Village and a little over a block from the Station Area Overlay District. Prominent commercial zones are located at Broadway to the west and 15th Ave E to the east.

The project is vested under the Pre-MHA code however it is worth noting that the area has undergone a substantial rezone that includes higher FAR and increased height. The existing site is maxed out at 40' and a 2.0 FAR but under the new zoning rules could have a 50' height limit and a 2.3 FAR.

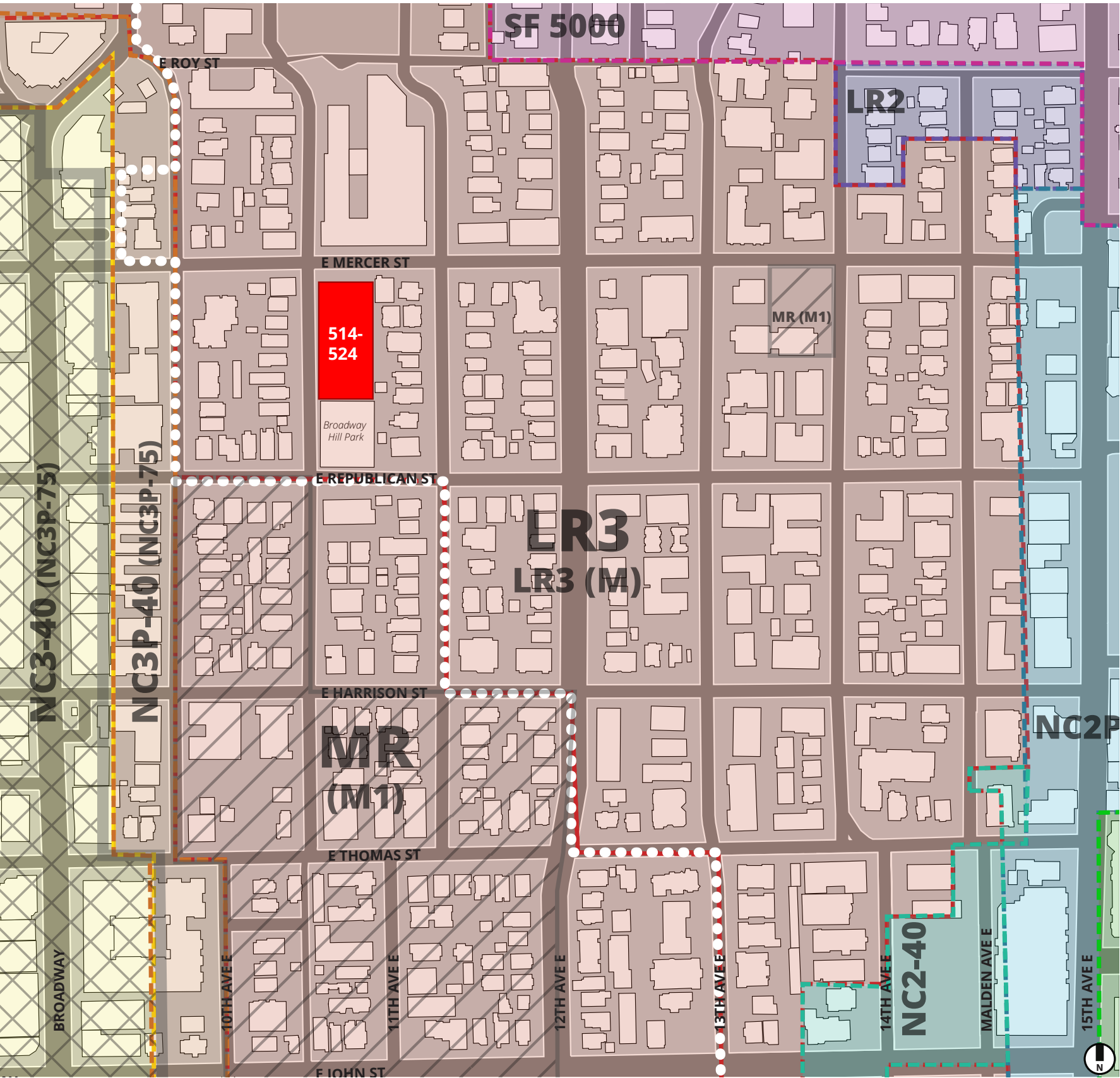
“The LR3 zone provides for a variety of multifamily housing types in existing multifamily neighborhoods of moderate scale. A mix of small to moderate scale multifamily housing is encouraged including apartments, townhouses and rowhouses.” -SDCI Handout

OVERLAYS

- CAPITOL HILL STATION AREA OVERLAY DISTRICT
- ADDITIONAL 25' HEIGHT PERMITTED
SMC 23.47.012.A2

ZONING

- NC2-40
- NC3-40
- NC3-65
- LR3
- SF 5000
- MR (M1)



ADJACENCIES / CIRCULATION

The site is located at the SE corner of the intersection of Federal Ave E & E Mercer St. Federal Ave E is a relatively quiet street while E Mercer has slightly more vehicular traffic. The site is in close proximity to multiple commercial areas, parks and mass transit.

Adjacent uses are varied. Directly to the south of the site is Broadway Hill Park. To the east of the site is a mix of single-family residences converted into multi-family residences. Across the street to the west is a similar situation in the process of being developed. To the north of the site across East Mercer St is Lowell Elementary school.



TYOLOGY

- PERMITTING/PERMITTED/ UNDER CONSTRUCTION
- COMMERCIAL
- MIXED-USE
- MULTI-FAMILY
- INSTITUTIONAL
- PARKS
- SINGLE FAMILY
- PARKING

CIRCULATION

Walk Score
93

Transit Score
77

Bike Score
65

- MAJOR ARTERIAL
- MINOR ARTERIAL
- SHARED BICYCLE LANE
- TRANSIT ROUTE
- DESIGNATED BUS STOP
- ZIPCAR LOCATIONS

EXISTING CONDITIONS: SITE

EXISTING CONDITIONS

All of the four parcels currently have existing multifamily residential structures on the premises. The site topography slopes down 8' from north to south. A rockery along the west edge of Lot 11 and 12, supports 4' of slope down to the sidewalk. The R.O.W. along Federal Ave E is a mix of curb cuts, planting strips and tree wells. The R.O.W. along E Mercer St is a continuous sidewalk with the planting strip abutting the property.

LEGAL DESCRIPTION

LOT 9, 10, 11, AND 12, BLOCK 23, SUPPLEMENTAL
PLAT OF LINCOLN PONTIUS ADDITION TO THE CITY
OF SEATTLE, ACCORDING TO THE PLAT THEREOF
RECORDED IN VOLUME 9 OF PLATS, PAGE 52, IN
KING COUNTY, WASHINGTON.

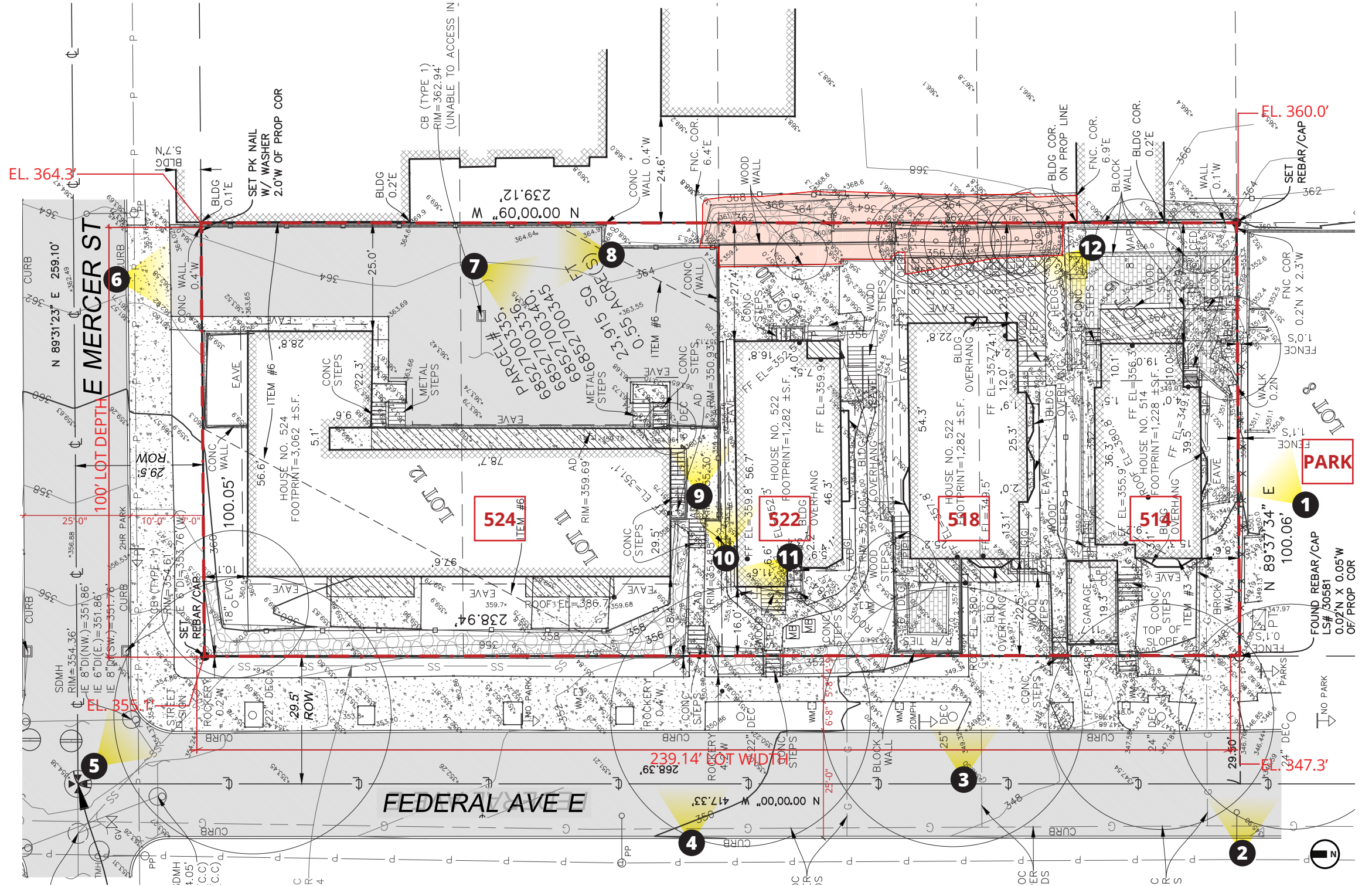
SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING,
STATE OF WASHINGTON

EXCEPTIONAL TREES

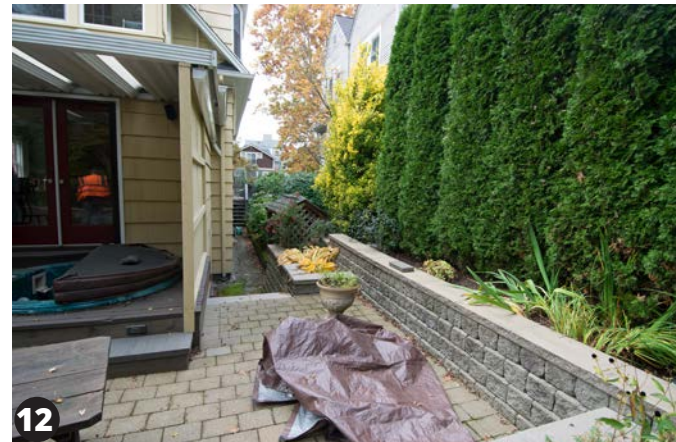
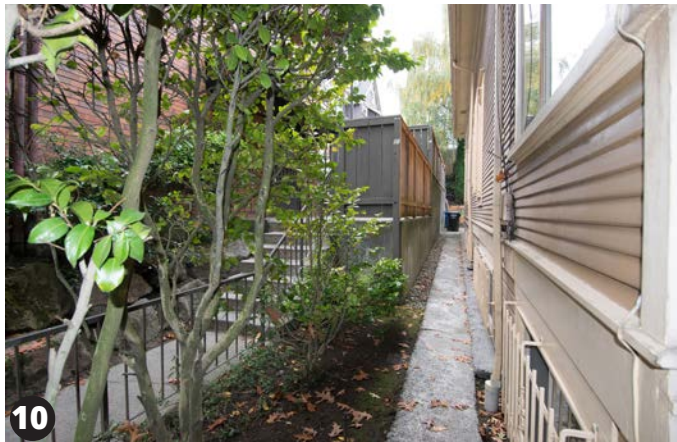
- Per arborist report, no exceptional trees are on site.



SURVEY: TERRANE
DATE: 11/29/2017

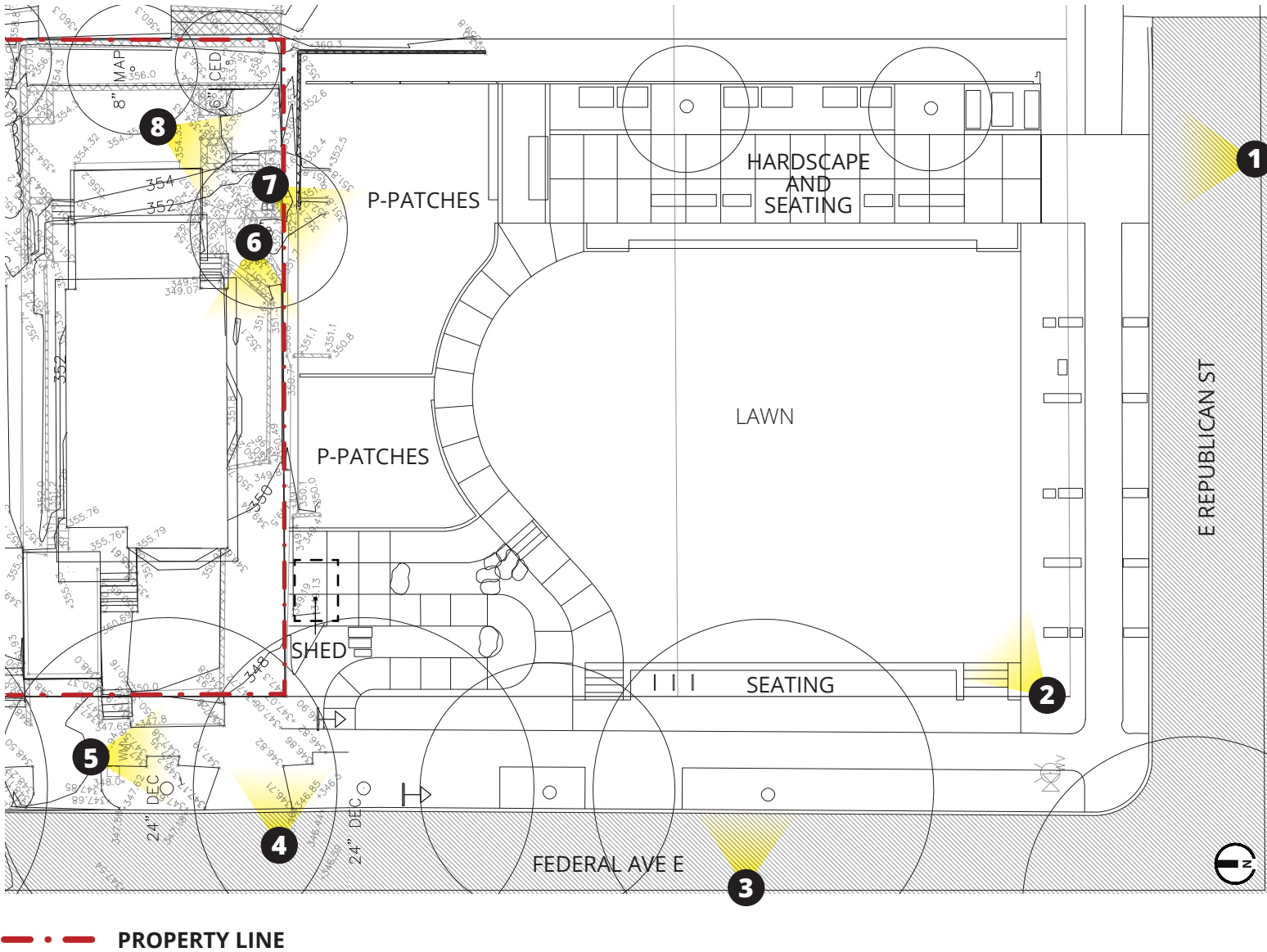


EXISTING CONDITIONS: SITE



EXISTING CONDITIONS: BROADWAY HILL PARK

The community-initiated park is a "front porch" and a public yard for the neighborhood. It features a large lawn area, varied seating and tables at the top of the site, BBQ, and a community garden.

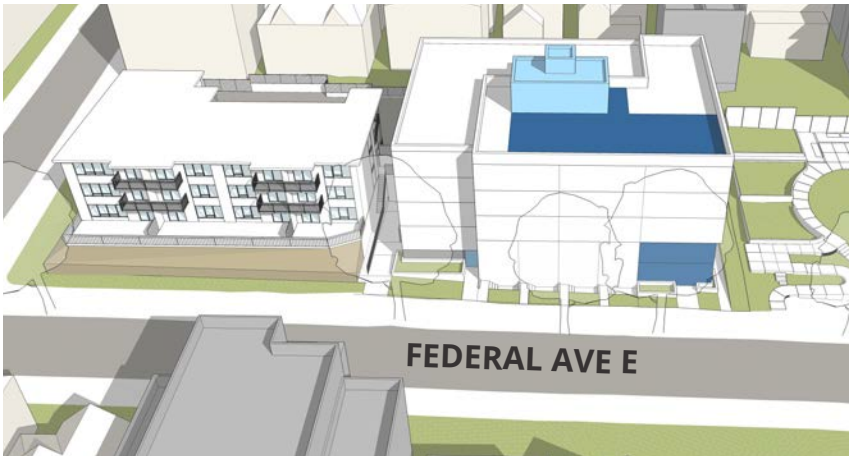
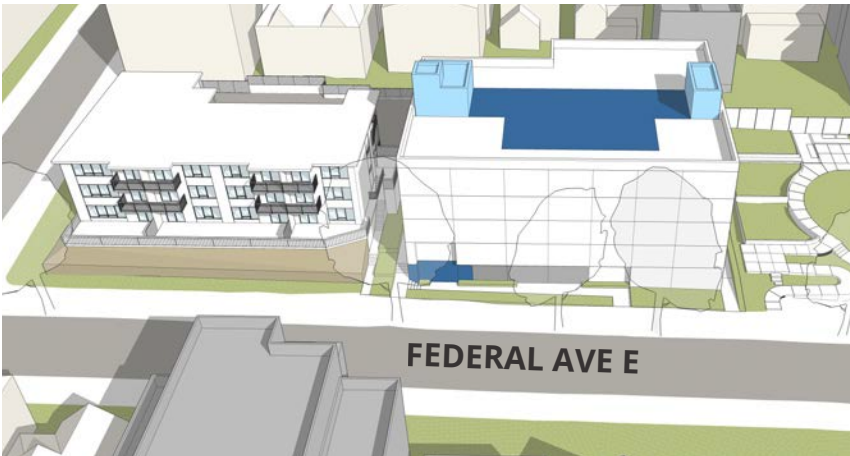
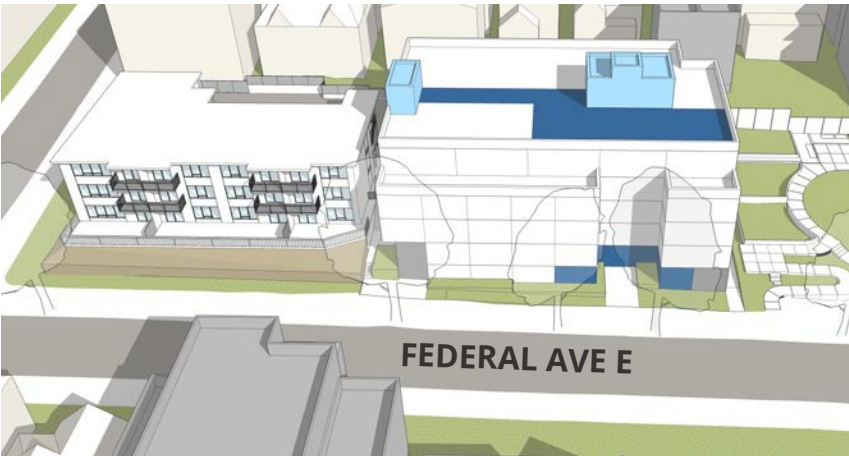


SCHEME A: CODE COMPLIANT

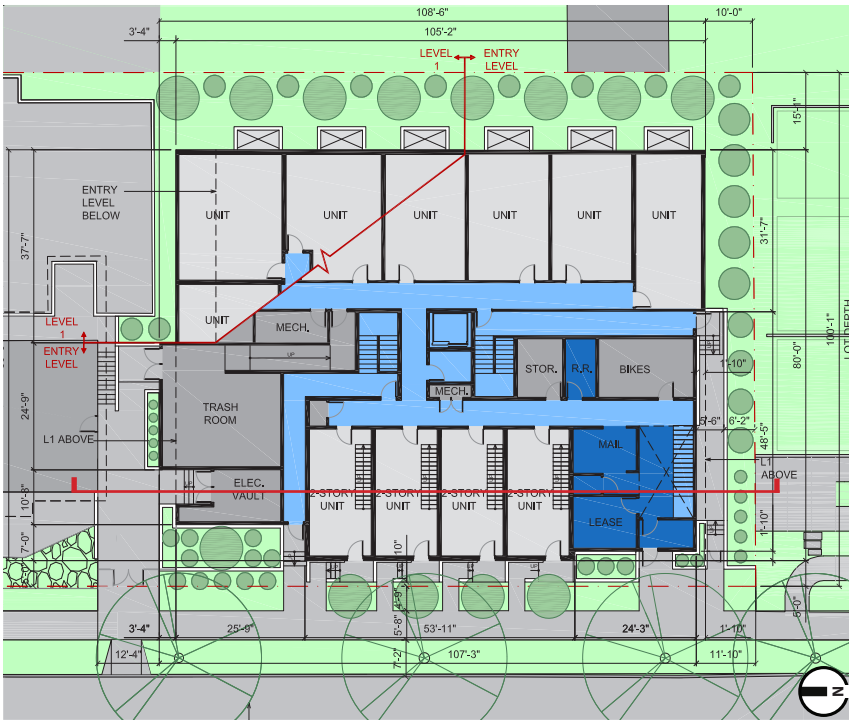
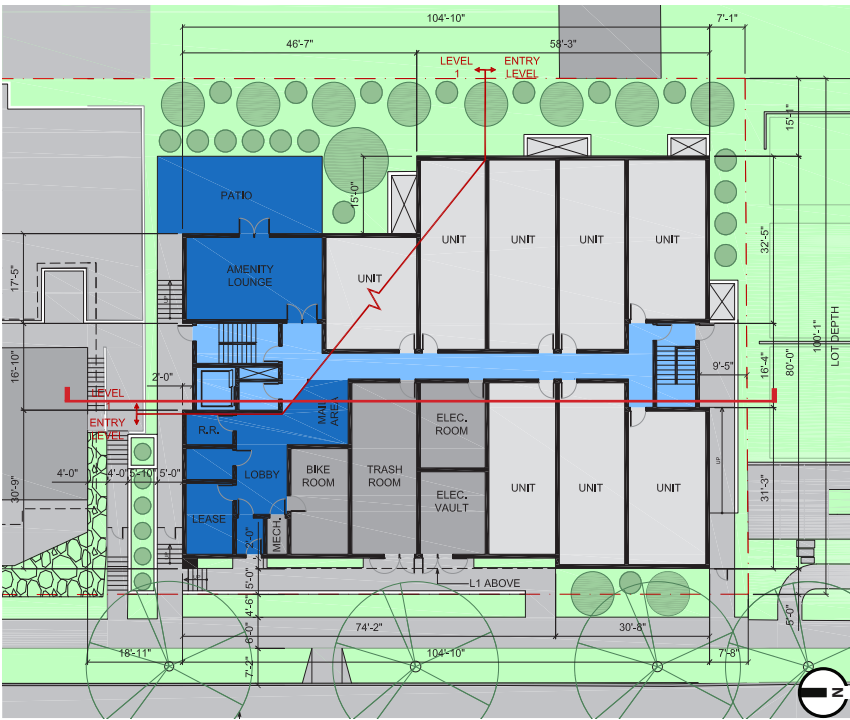
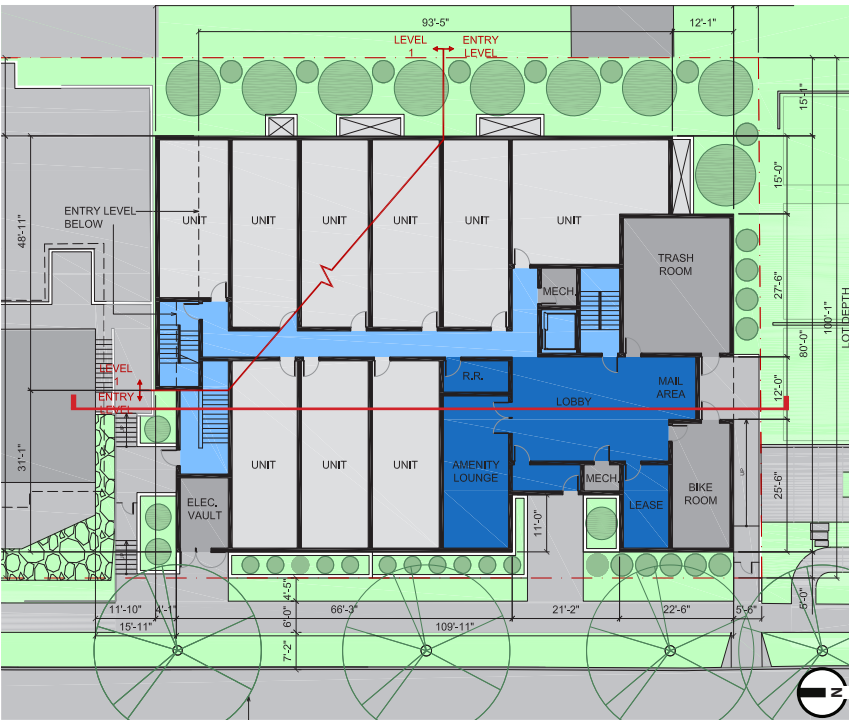
SCHEME B

SCHEME C: PREFERRED

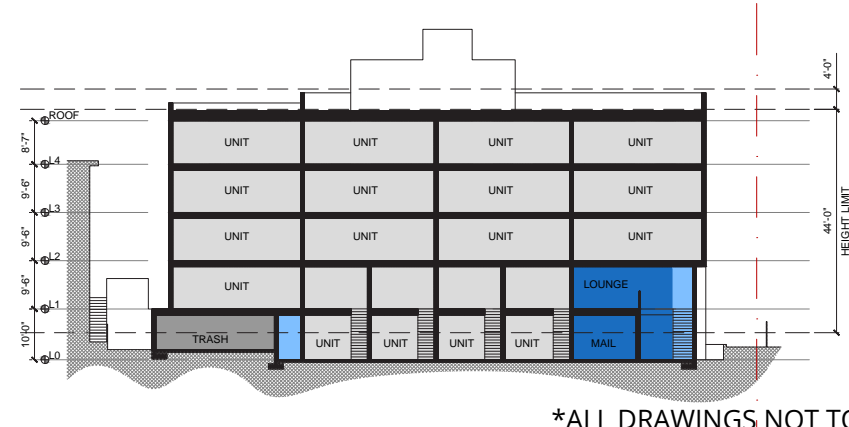
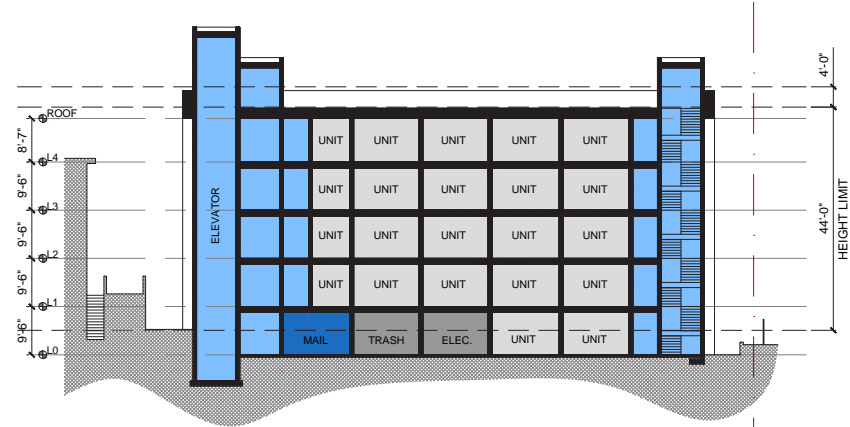
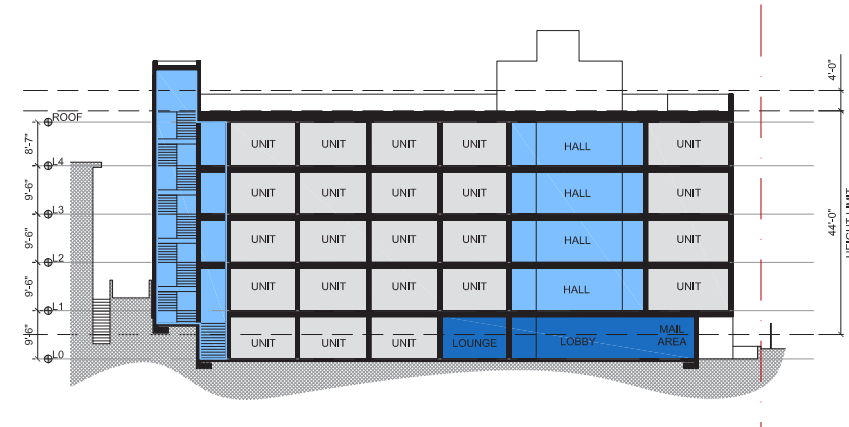
PERSPECTIVE



SITE PLAN



SECTION



*ALL DRAWINGS NOT TO SCALE

BOARD FEEDBACK/GUIDANCE

- 1

MASSING

1A) SITE CHARACTERISTICS AND USES (DC2-A-1, CS2-A-2)

The Board supported the applicant’s preferred Scheme C; a simple composition of three program-driven massing shifts that served to integrate the scale of this new form into the existing context.
- 2

HEIGHT BULK AND SCALE RE: BROADWAY HILL PARK

2A) OPEN SPACES AND ENTRANCES (PL2-II-ii, PL2-II-i, DC3-I)

The Board echoed concern expressed by neighbors about how the project meets the park and its potential to overwhelm the publics’ experience of that space. To mitigate this potential effect, the Board recommended consideration of an upper-level setback at the park edge, a change in the expression/pattern of fenestration and/or a subtle massing shift at the park to reflect the different condition, a larger setback at the park edge, the size, species and spacing of trees in the setback, and how those trees can help to buffer that edge, a physical ‘engagement’ with the park that is not simply visual, possibly by creating outdoor space at the balconies (similar to those at Hugo House), and the creation of a ‘front porch’ outdoor space at the corner entry.
- 3

DESIGN CONCEPT

3A) ARCHITECTURAL CONCEPT (DC2-B, CS2-C- 1, CS2-A-2, DC2-I-i)

The Board supported the proposed design concept; a simple composition of forms clad in high quality materials; and highly-glazed street-facing elevations.

3B) SCALE AND TEXTURE (DC2-C, DC2-D)

The Board was encouraged by and made a particular endorsement of the precedent images provided on p.36.

3C) STREETScape COMPATIBILITY (PL3-A, CS2-1)

The Board supported the distinctive two-story entry for its strong legibility and potential to encourage human interaction.

3D) CORNER SITES (CS2-C-1)

Though not actually on a corner lot, the Board endorsed the “corner building” expression of the proposed scheme.

3E) SECONDARY ARCHITECTURAL FEATURES (DC2-C, DC2-D)

The Board recommended exploring details that would express the depth and quality of the proposed brick cladding material, possibly around the lobby and balconies.
- 4

STREET-LEVEL INTERACTION

4A) TOWNHOUSE ORIENTATION (CS2-I-iv)

The Board supported the direct-entry townhouse units proposed for Federal Avenue.

4B) ENTRIES (PL3-A, PL3-B, DC2-B)

The Board advised referencing historical and local precedent for creating secure but occupiable and welcoming entry areas (stoops, or similar) for these units.
- 5

SITE PLANNING

5A) RESIDENTIAL EDGES (DC3-B, PL3-B)

The Board expressed concern regarding the north side yard and recommended exploring options to eliminate (or better design) the fence for both utility and security.
- 6

RESPECT FOR ADJACENT SITES

6A) RESPECT FOR ADJACENT SITES (CS2-D-F)

The Board asked for privacy studies at interior lot lines, and for complete site plan and landscape details that show how plantings (particularly trees) will provide buffers at the edges shared with the park and with other residential uses.

APPLICANT RESPONSE

- 1

MASSING

1A) SITE CHARACTERISTICS AND USES (DC2-A-1, CS2-A-2)

The program-driven massing composition has been retained. Refining the material-to-massing relationship through thoughtful detailing and treatments organizes the forms and doesn't overwhelm the facade. See **PAGE 10** for primary design perspective, **PAGE 20** for entry development, **PAGE 27** for departure justification.
- 2

HEIGHT BULK AND SCALE RE: BROADWAY HILL PARK

2A) OPEN SPACES AND ENTRANCES (PL2-II-ii, PL2-II-i, DC3-I)

The design intent is to maximizes a larger than required setback adjacent to the park. A 10’ minimum setback from the park edge is provided where a 5’ min, 7’ avg is required. See **PAGE 9** for study of a code minimum setback with covered decks. Landscaping features at the setback include columnar trees and 8’ tall green screens with multiple species of vines. The trees provide a prominent fall color, and the vines are used in combination for year-round interest. These elements work together to complete the park edge, reduce the perceived scale of the building from grade, and provide a buffer for the residential units facing the park.

The units feature large openings facing the park, including sliding doors with Juliet balconies. These balconies provide texture to compliment the materiality of the brick. A wider side setback was chosen over pushing the massing to the setback minimum to provide decks. A generous roof deck with social spaces overlooking the park will provide additional physical engagement and eyes on the park.

The perceived building mass is further reduced by the transparency of the two story entry volume. The recessed entry includes planters with distinct planting, features a unique fenestration pattern, and an open stair visible to the exterior. Through the ensemble of these elements, the entry is clearly defined and a generous entry sequence is provided. Indoor amenity space was chosen over an outdoor ‘front porch’ to avoid security challenges at the park edge and competing common spaces per Park’s Department feedback. See **PAGE 10** for primary design perspective, **PAGES 18-19** for park relationship, **PAGE 20** for entry development, and **PAGES 24-25** for landscaping.
- 3

DESIGN CONCEPT

3A-E) ARCHITECTURAL CONTEXT, SCALE, TEXTURE (DC2-B, DC2-C, DC2-I-i, DC2-D, PL3-A, CS2-1, CS2-C- 1, CS2-A-2)

A-D have all been retained and further strengthened as the design has progressed. The fenestration pattern and secondary materials were chosen to compliment the brick and let this material be the framework that organizes the building composition. Avoiding venting and downspouts within the brick field keeps it uncluttered; juliet balconies, window frames, flashing and vent covers have a dark finish and are detailed to add depth and recess at the brick. A soldier brick course and black metal soffit at the top of the entry volume and a strong termination at the top of the building further define and frame the brick. Without excess detail the building remains composed with a quiet, simplified form. See **PAGE 10** for primary design perspective, **PAGES 14-17** for materials, **PAGES 19-20** for residential edge development.
- 4

STREET-LEVEL INTERACTION

4A-B) TOWNHOUSE ORIENTATION & ENTRIES (CS2-I-iv, PL3-A, PL3-B, DC2-B)

The “townhome” style unit configuration has been retained. All at-grade units facing the street have direct access from the sidewalk. The grade change from sidewalk-to-entry decreases from 2 feet to 9 inches as you move south. Using local precedents the garden entries are secure with their own entry gates and low perimeter railing. Canopies, lighting and specialty paving provide texture and rhythm along the sidewalk. Raised stoops and direct entries were evaluated. See **PAGE 9** for studies, **PAGE 11** for site plan and **PAGE 21** for street-level entry development.
- 5

SITE PLANNING

5A) RESIDENTIAL EDGES (DC3-B, PL3-B)

For security reasons this area cannot be left open. The gate and screening have been redesigned to be secure but transparent. Landscaping frames the access gate and softens the building edges. No utility or service access doors are visible from the street. See **PAGE 11** for site plan and **PAGE 22** for residential edge development.
- 6

RESPECT FOR ADJACENT SITES

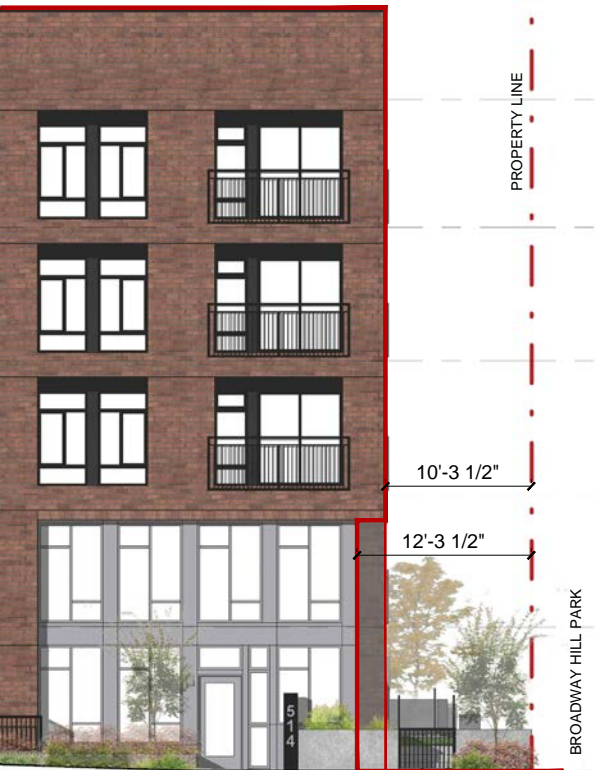
6A) RESPECT FOR ADJACENT SITES (CS2-D-5)

Trees, both existing and proposed are a significant consideration in this proposal. The street tree canopy will remain a defining characteristic of the block. All mature trees along the rear setback are being retained creating a significant buffer to the east. New trees are proposed along the park edge, at the building entry and along the street-facing units. See **PAGE 18** for park relationship, **PAGE 23** for residential edge development and **PAGES 24-25** for landscaping.

2 HEIGHT BULK AND SCALE RE: BROADWAY HILL PARK



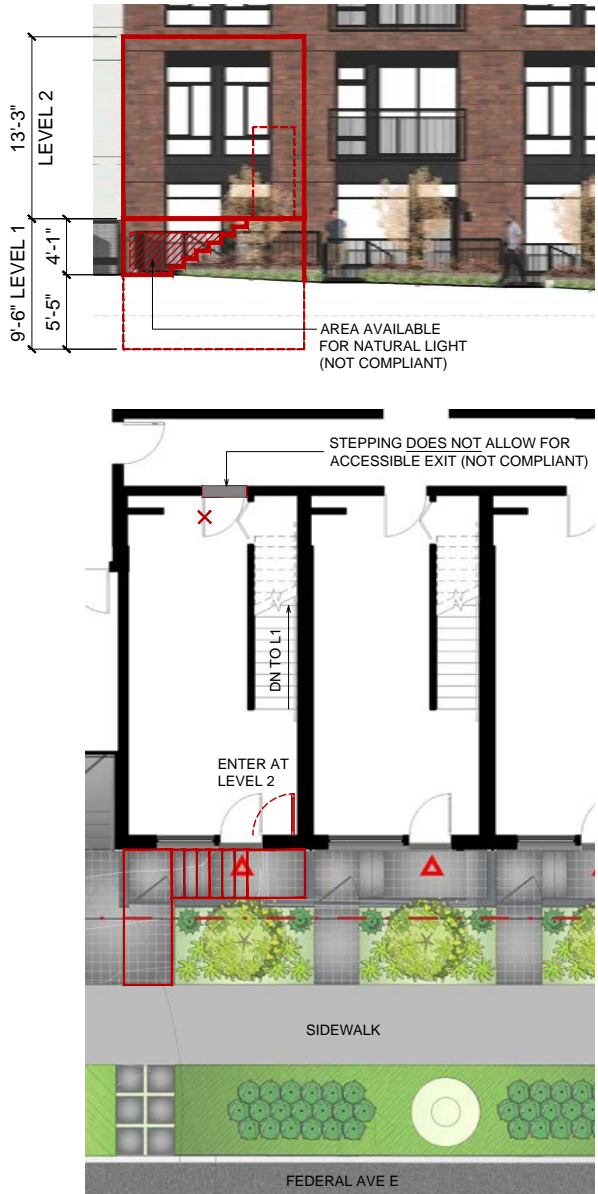
EVALUATED: CODE MINIMUM SOUTH SETBACK



PROPOSED: GENEROUS SOUTH SETBACK

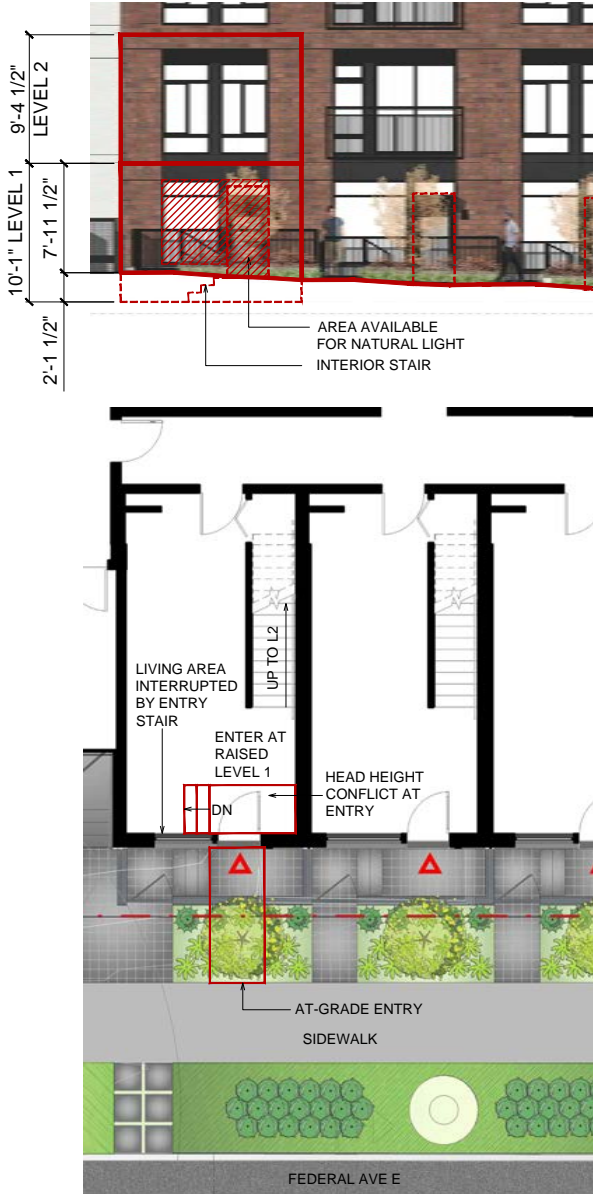
4 STREET-LEVEL INTERACTION: TOWNHOUSE ENTRIES

EVALUATED: STOOP ENTRIES



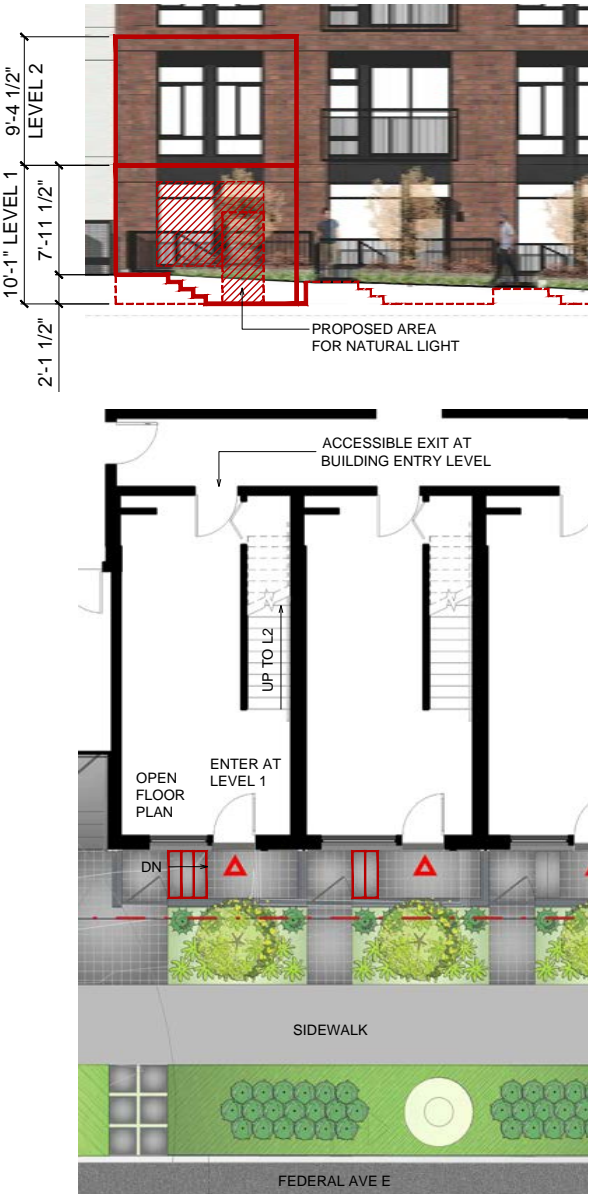
- Limited stair run length, entry at upper level required.
- NOT FEASIBLE: Step in unit floor levels required creating a below-grade condition with no viable window opportunities.
- NOT FEASIBLE: Step in unit floor levels does not allow for accessible exit and interior access to building common uses.
- Living and sleeping levels swapped.
- Door and window location would require an interruption at the brick framework.

EVALUATED: DIRECT ENTRIES



- Does not provide grading variation as a physical and visual transition between sidewalk and entry per guideline CH-PL3.2a.
- NOT CONSISTENTLY FEASIBLE: Two of the four entries do not meet head height clearances at the raised interior entry.
- Occupiable area available next to entry but would be hard to secure. Not enough frontage for direct gate to entry door sequence.
- Less eyes on the street. Stair overwhelms the interior pushing living spaces away from the windows.

PROPOSED: GARDEN ENTRIES



- Grading variation at garden entry.
- Highest transparency yield at the street.
- Entry gate and low-barrier railing secure and define the entries.
- Elevations express consistent floor lines and window patterns at regular intervals (no stepping).
- Open interior living space has strong visual connection to the street.
- See **PAGE 21** for additional concept analysis.

PROJECT RENDERING

1 2 3 DESIGN RESPONSE

- Maintained original building massing concept. The restrained composition is strengthened through detailing and a focus on the material-to-massing relationship.
- Brick veneer delineates the primary building mass and offers durability and fine-grained scale along edges adjacent to the public realm. *DC2 A.1: SITE CHARACTERISTICS AND USES*
- A strong roof line or termination to the massing is integral to the overall architectural concept and is a logical application for the brick. *DC2 B.1: FACADE COMPOSITION*
- A generous two-story entry is provided at the corner where the site is most visible. It is clearly defined and identifiable creating a strong urban edge. *CS2 C.1: CORNER SITE*
- Juliet balconies, windows, flashing and vent covers are finished (black) and detailed to add depth and recess at the brick, reducing perceived mass. *DC2 A.2: REDUCING PERCEIVED MASS*



EDG CONCEPT RENDERING
CONCEPTUAL SKETCH OF PROPOSED DEVELOPMENT



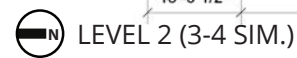


4 5 6 DESIGN RESPONSE

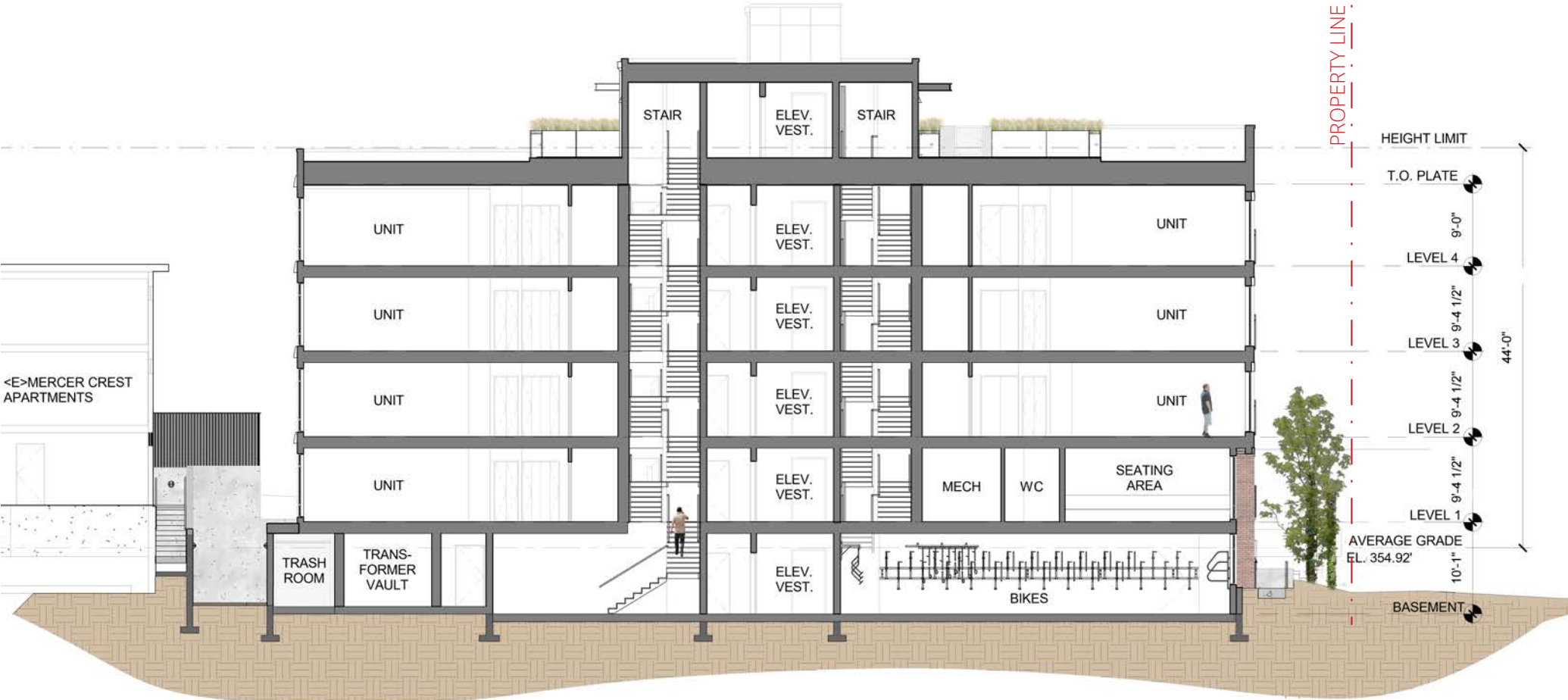
- The primary building entry opens to the southwest property corner creating an architectural focal point. Specialty paving, landscaping, lighting and signage further define the entry. *CH-PL3 1C: ENTRIES*
- At the south yard columnar trees and 8' tall green screens with multiple species of vines are used in combination for year-round interest. These elements work together to create a focal point from the park and provide a buffer for the residential units facing the park. *CH-PL1 1A: ENHANCING OPEN SPACE*
- A separate entry to the bike storage room is provided at the south yard. *PL4 A.1: SERVING ALL MODES OF TRAVEL*
- All mature trees are being retained along the east property line. *CS2 D.5: RESPECT FOR ADJACENT SITES*
- The screening and access gates are designed to be secure but transparent. The location and height of the north gate ties together a tall rockery wall with the proposed bio-retention planter. *DC1 C4: SERVICE USES*
- Service and utility access doors are not visible from the street. A variety of landscaping treats building edges where residential units do not meet grade. *PL3 B.1: SECURITY AND PRIVACY*
- Garden entry thresholds defined by canopies, low barrier railing for security and a paving transition. The grading variation is minimized and large street-facing windows provide a visual connection and eyes on the street. *CH-PL3 C2 & 2A: ENTRIES & RESIDENTIAL EDGES*

- ▶ PRIMARY RESIDENTIAL ENTRANCE
- ▶ INDIVIDUAL UNIT ENTRY

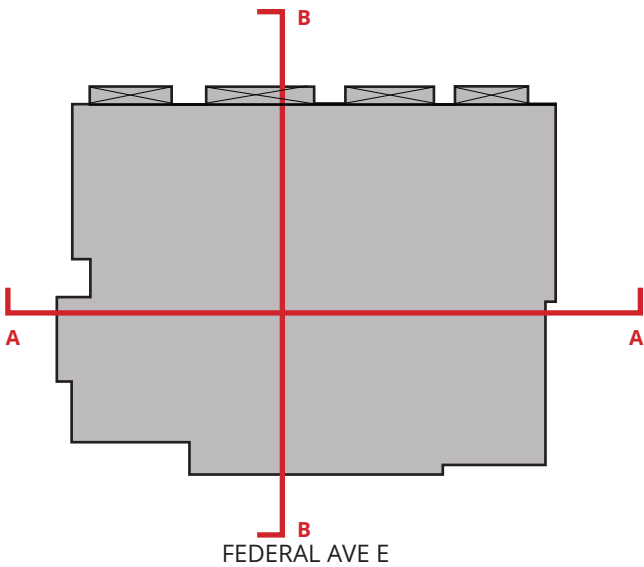
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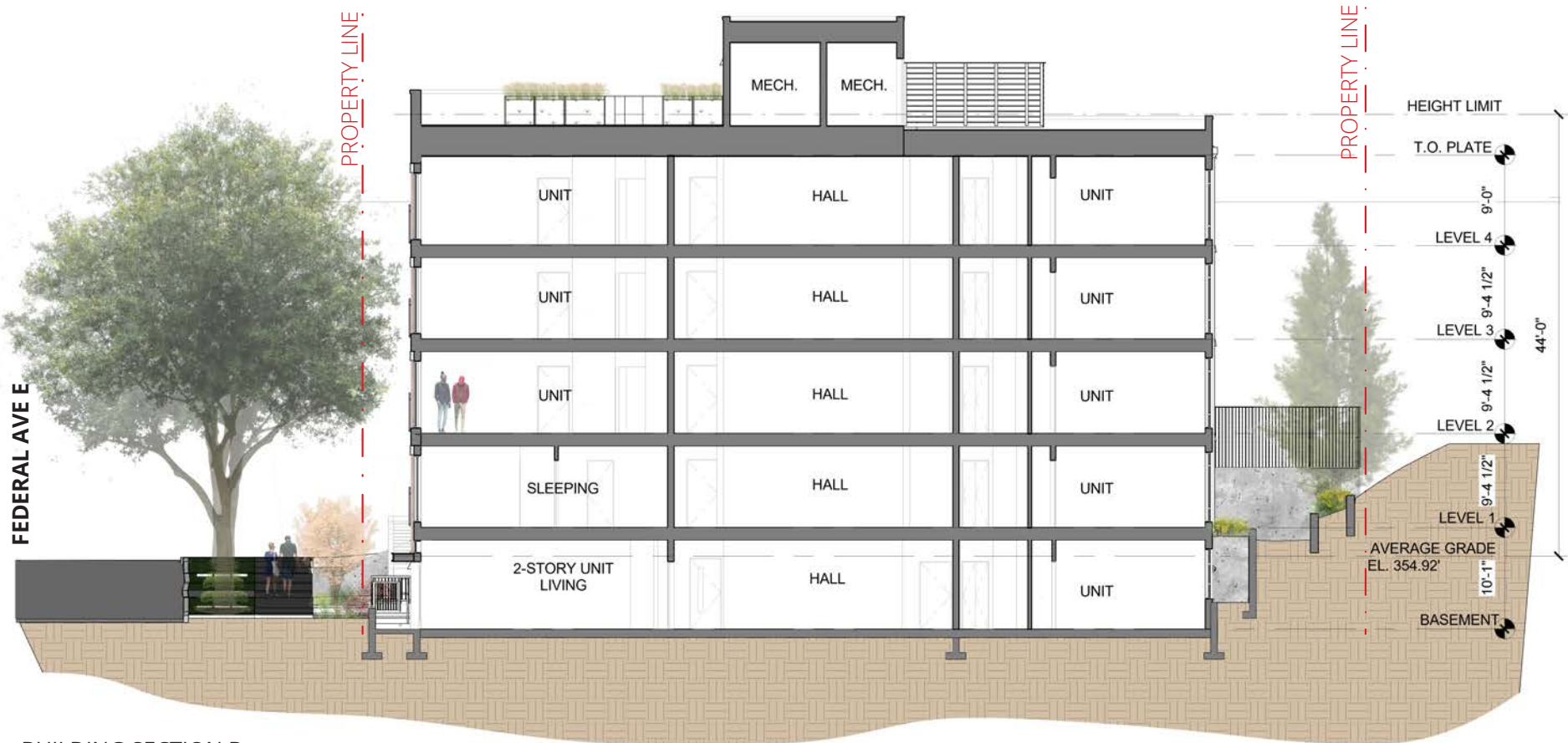
BUILDING SECTIONS
SCALE: 1/16" = 1'-0"



BUILDING SECTION A



KEY PLAN



BUILDING SECTION B

WEST ELEVATION

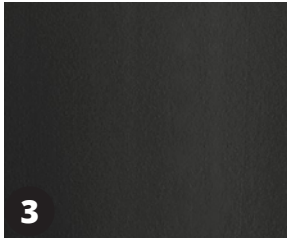
SCALE: 3/32" = 1'-0"



1 BRICK VENEER, 3" X 8" NOMINAL FACE RUNNING BOND, COLUMBIA RED



2 VINYL WINDOW, BLACK



3 FIBER CEMENT INFILL PANEL; SMOOTH, PAINTED BLACK



4 FIBER CEMENT PANEL; SMOOTH, PAINTED COVENTRY GRAY SHEEN VARIES



5 VINYL WINDOW, WHITE



6 CAST IN PLACE CONCRETE, ANTI-GRAFFITI COATING



7 METAL RAILINGS & GATE, POWDER COATED BLACK



8 PERFORATED METAL GATE & SCREENING, POWDER COATED BLACK

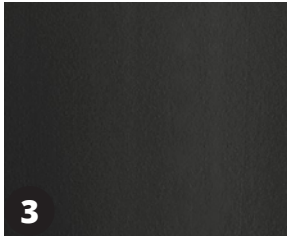
SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



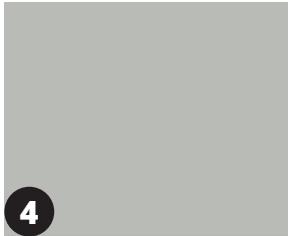
1 BRICK VENEER, 3" X 8" NOMINAL FACE RUNNING BOND, COLUMBIA RED



2 VINYL WINDOW, BLACK



3 FIBER CEMENT INFILL PANEL; SMOOTH, PAINTED BLACK



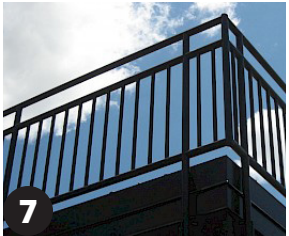
4 FIBER CEMENT PANEL; SMOOTH, PAINTED COVENTRY GRAY SHEEN VARIES



5 VINYL WINDOW, WHITE



6 CAST IN PLACE CONCRETE, ANTI-GRAFFITI COATING



7 METAL RAILINGS & GATE, POWDER COATED BLACK



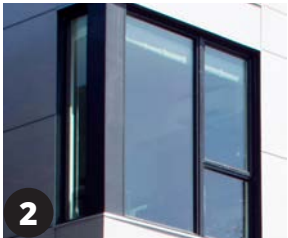
8 PERFORATED METAL GATE & SCREENING, POWDER COATED BLACK

EAST ELEVATION

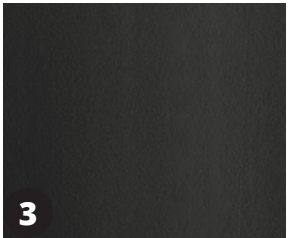
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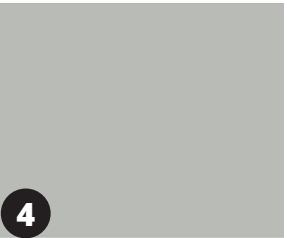
1 BRICK VENEER, 3" X 8" NOMINAL FACE RUNNING BOND, COLUMBIA RED



2 VINYL WINDOW, BLACK



3 FIBER CEMENT INFILL PANEL; SMOOTH, PAINTED BLACK



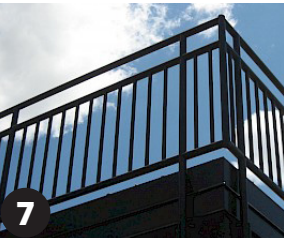
4 FIBER CEMENT PANEL; SMOOTH, PAINTED COVENTRY GRAY SHEEN VARIES



5 VINYL WINDOW, WHITE



6 CAST IN PLACE CONCRETE, ANTI-GRAFFITI COATING



7 METAL RAILINGS & GATE, POWDER COATED BLACK



8 PERFORATED METAL GATE & SCREENING, POWDER COATED BLACK

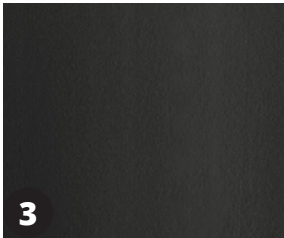
NORTH ELEVATION
SCALE: 3/32" = 1'-0"



1 BRICK VENEER, 3" X 8" NOMINAL FACE RUNNING BOND, COLUMBIA RED



2 VINYL WINDOW, BLACK



3 FIBER CEMENT INFILL PANEL; SMOOTH, PAINTED BLACK



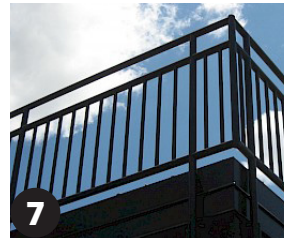
4 FIBER CEMENT PANEL; SMOOTH, PAINTED COVENTRY GRAY SHEEN VARIES



5 VINYL WINDOW, WHITE



6 CAST IN PLACE CONCRETE, ANTI-GRAFFITI COATING



7 METAL RAILINGS & GATE, POWDER COATED BLACK

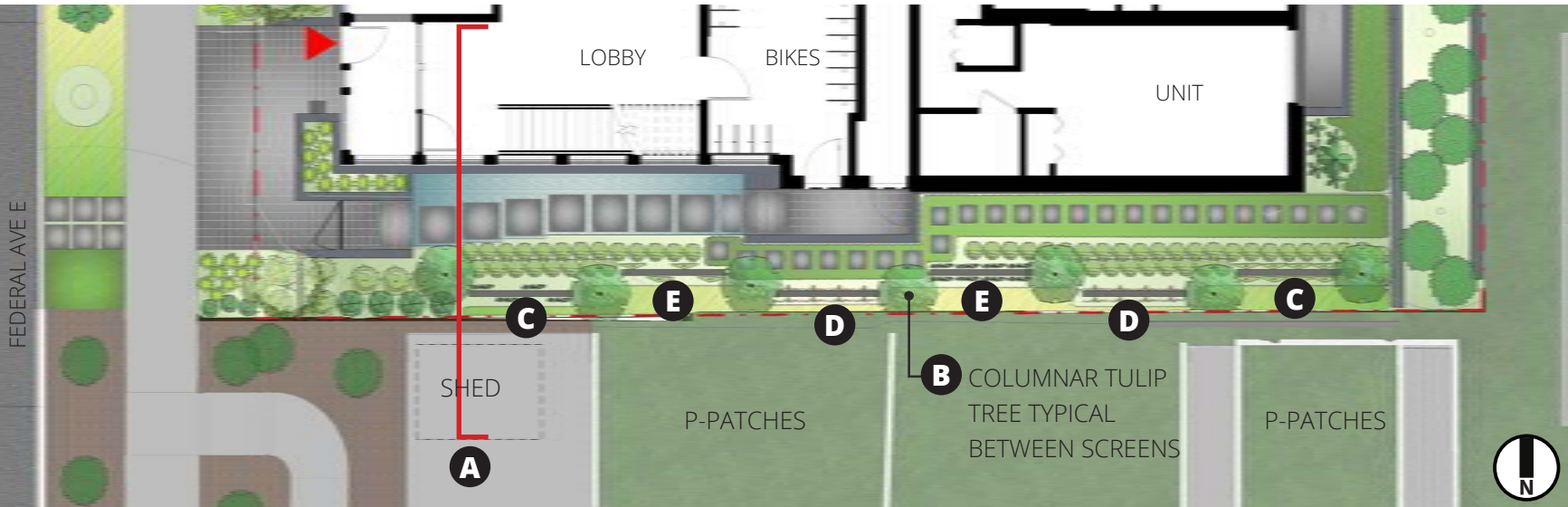


8 PERFORATED METAL GATE & SCREENING, POWDER COATED BLACK

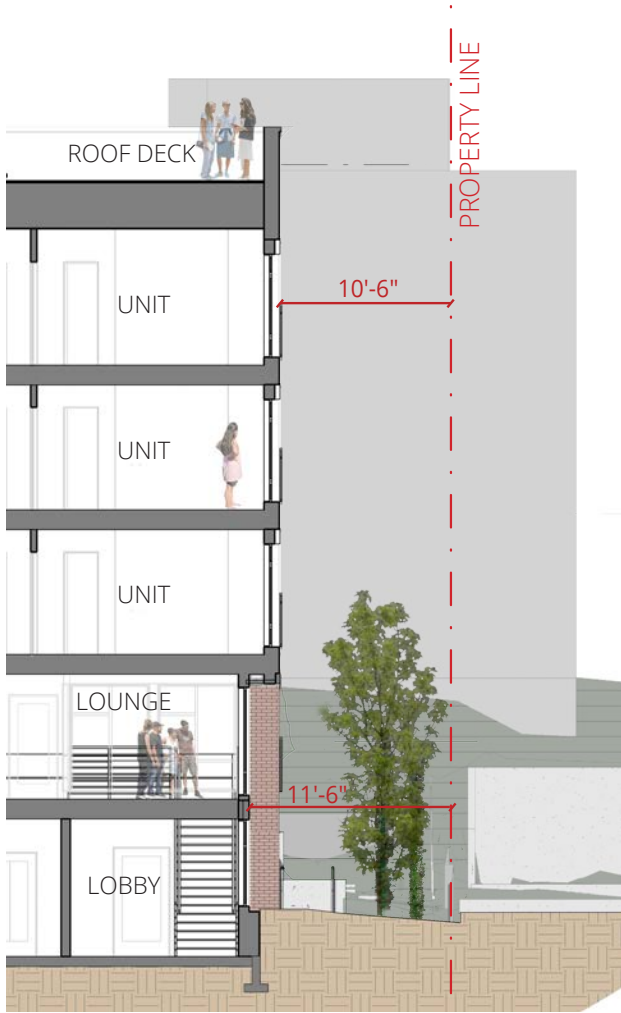
RESIDENTIAL EDGE: PARK



SOUTH ELEVATION

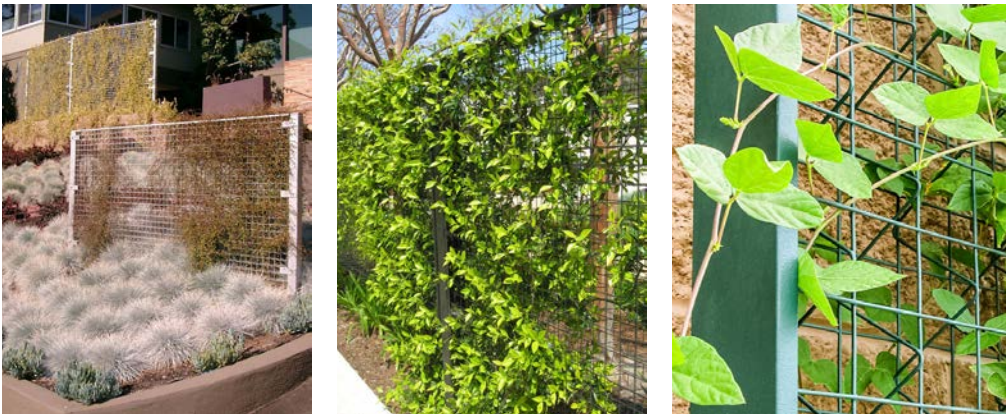
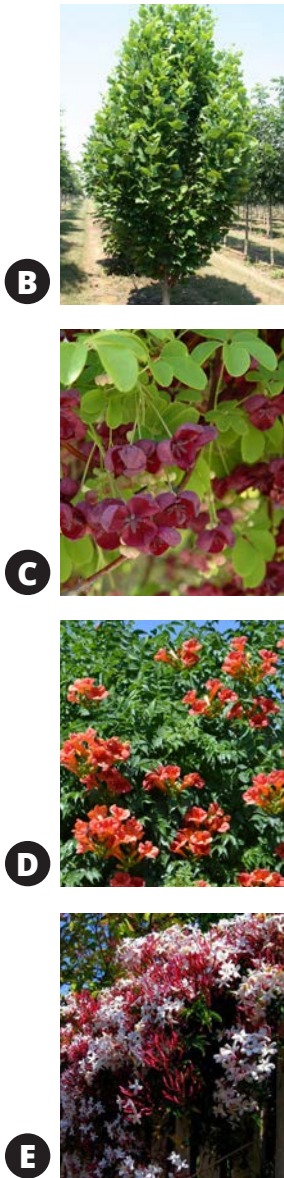


PARTIAL PLAN VIEW - SOUTH PROPERTY LINE



A PARTIAL BUILDING SECTION

- 2 Three points of connection with the park: lobby/ lounge, south facing units, amenity roof deck.
DC1 A.4: ARRANGEMENT OF INTERIOR USES VIEWS AND CONNECTIONS



VERTICAL LANDSCAPE SCREENING CONCEPT



ORDERED ELEMENTS AND
RIGOROUS SPACING

CONTINUOUS
THROUGH WALL
FLASHING AT
STEEL LINTEL

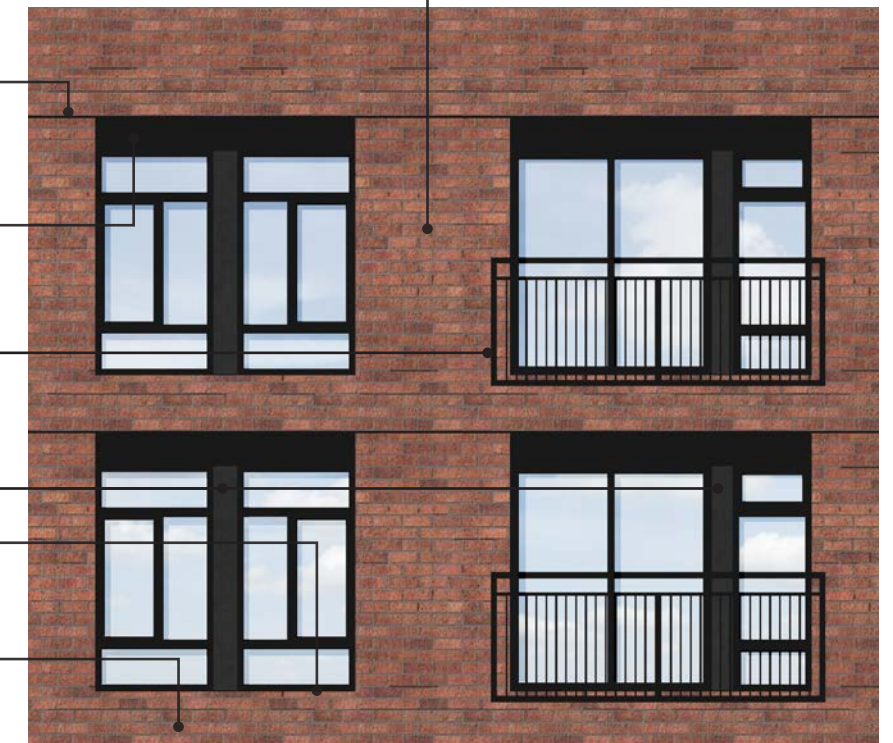
HEADER ELEMENT,
BLACK METAL
EXHAUST COVER

JULIET BALCONY
WITH PICKETS AND
TOP RAIL - POWDER
COATED BLACK

INFILL PANEL

SILL FLASHING -
FINISH TO MATCH
WINDOW

RUNNING BOND
- HORIZONTAL
& VERTICAL
MODULE
ALIGNMENT



A ENLARGED ELEVATION DETAIL



B VIEW OF SOUTH SIDE YARD

2 3 DESIGN RESPONSE

- Juliet balconies, windows, flashing and vent covers are finished (black) and detailed to add depth and recess at the brick. Durable, high quality materials face the park. *DC2 B.1: FACADE COMPOSITION*
- Perceived building mass is reduced by the transparency and materiality of the 2-story entry volume. *DC2 A2: REDUCING PERCEIVED MASS*
- The park environment is improved with additional activity at the north edge. New residents equal eyes on the park. This increases safety and security and invites neighbors to engage with park amenities. *PL1.C1 SELECTING ACTIVITY AREAS, PL2 B.1: EYES ON THE STREET*
- Creating a complimentary edge: continuing the park's east retaining wall language with vertical landscape screening and tree placement. *CH-PL1 1A: ENHANCING OPEN SPACE*
- Integrated direct access to the bike parking room along the south edge. *PL4 B.2: BIKE CONNECTIONS*

STREET-LEVEL DEVELOPMENT: PRIMARY ENTRY



A VIEW LOOKING AT ENTRY ON FEDERAL AVE E



INTERIOR VIEW LOOKING AT BROADWAY HILL PARK



PARTIAL PLAN VIEW - SOUTHWEST CORNER

1 2 3 DESIGN RESPONSE

- Entry composition is identifiable and distinct. Silver windows and matching infill paneling reads as one volume. Fenestration pattern connects with overall palette and is complimentary to the brick. *PL3.A1 COMMON RESIDENTIAL BUILDING ENTRY*
- Soldier brick course and black metal soffit create additional definition and depth at the top of the two-story entry volume. *DC2.C1 VISUAL DEPTH AND INTEREST*
- Lobby and lounge arrangement concentrate activity areas to the southwest corner with views to the park and to the street. *PL1.C1 SELECTING ACTIVITY AREAS*
- The following building entry elements provide additional visual cues for point of access: integrated building addressing and call box kiosk, contrasting permeable pavers and raised planter beds with a variety of accent landscaping including two coral bark maple trees. *PL3.2 ENSEMBLE OF ELEMENTS*

BUILDING ENTRY ELEMENTS



ADDRESS SIGNAGE



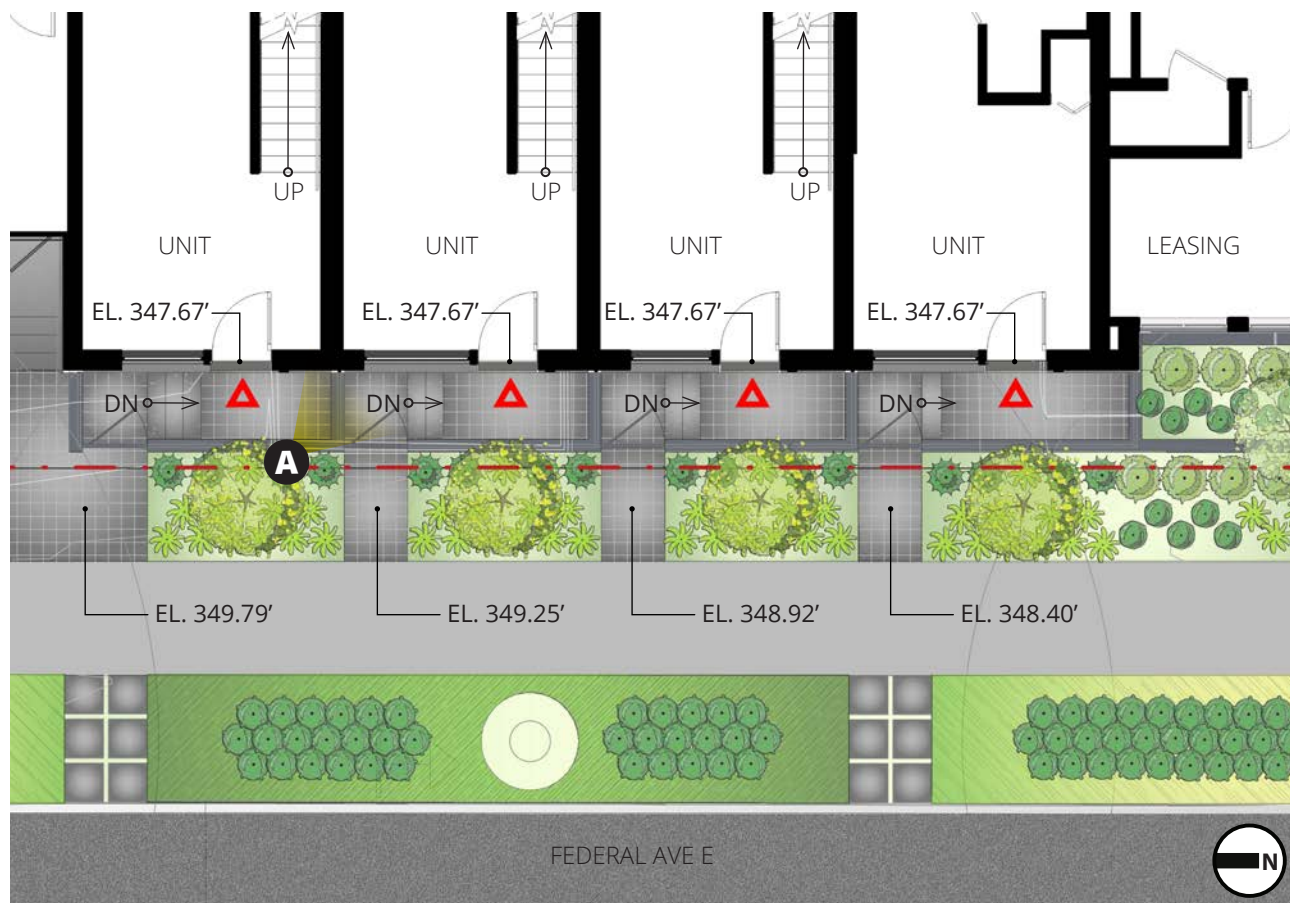
CALL BOX KIOSK



PERMEABLE PAVERS



PARTIAL WEST ELEVATION



PARTIAL PLAN VIEW



A VIEW LOOKING AT ENTRIES ON FEDERAL AVE E

4 DESIGN RESPONSE

- Garden entries at 2-story units allow high-activity uses to face the street. *DC1A.4 VIEWS AND CONNECTIONS*
- Planting composition highlights unit individuality and is placed at regular intervals. *CH-PL3 1C1: ENTRIES*
- Low barrier railing and gate establish public/private threshold. *CH-PL3 2A: RESIDENTIAL EDGES*
- Pedestrian scale elements include: lighting, canopies and railings. *PL3 A.2: ENSEMBLE OF ELEMENTS*
- The grading variation is minimized, retaining walls lowered and large street-facing windows provide a visual connection and eyes on the street. *PL2 B.1: EYES ON THE STREET*

UNIT ENTRY ELEMENTS



CANOPY

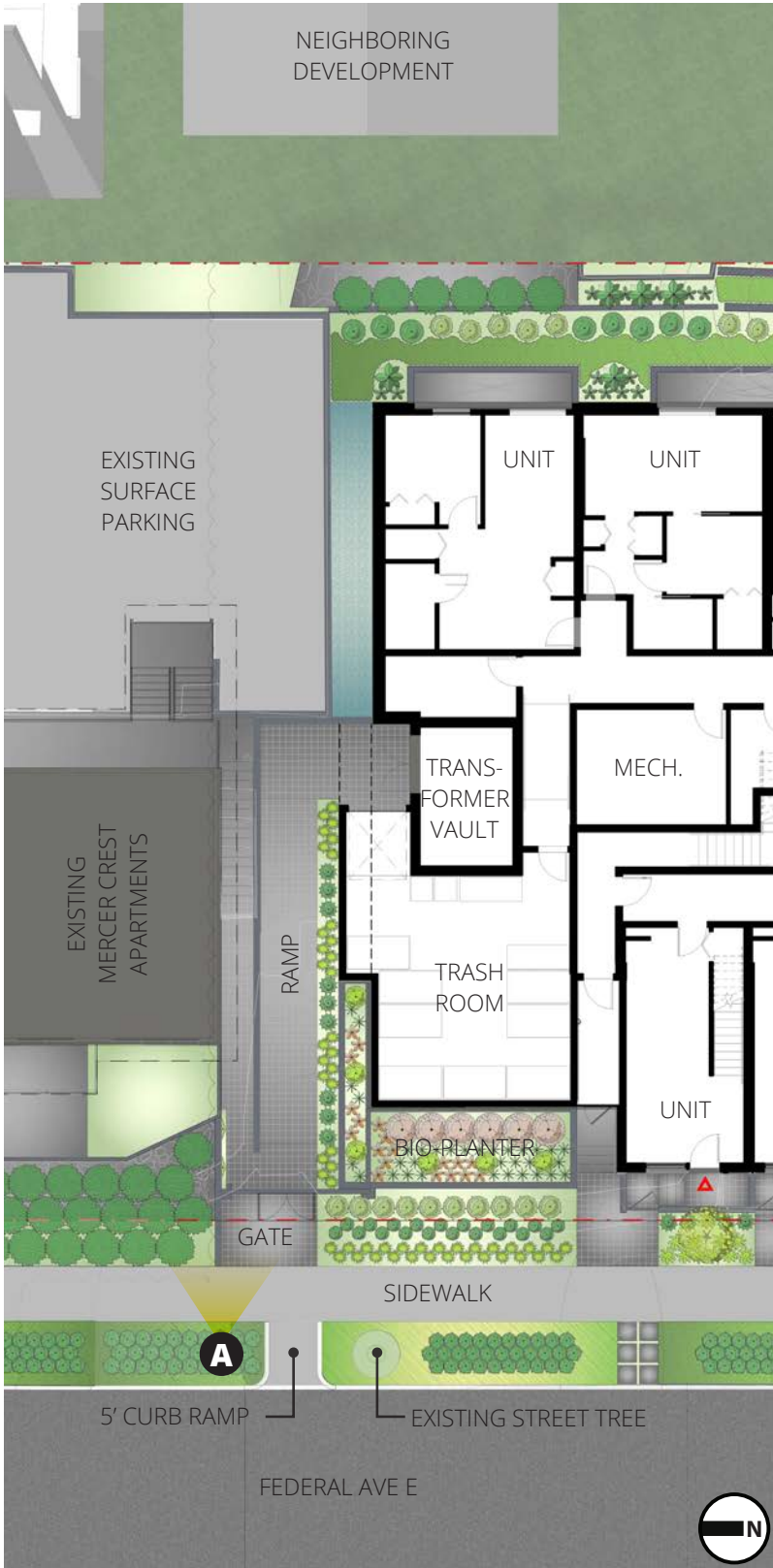


PICKET RAILING



LANDSCAPE

RESIDENTIAL EDGE: NORTH NEIGHBOR



PARTIAL PLAN VIEW

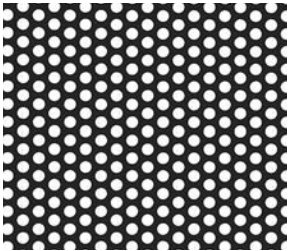


A VIEW OF NORTH NEIGHBOR EDGE

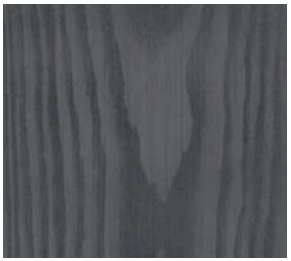
- PERFORATED METAL INFILL PANEL
- ALUMINUM FRAME W/ BLACK POWDER COAT FINISH
- GATE DESIGN REFLECTS WINDOW PATTERN
- TIMBER FRAMEWORK, EBONY STAIN
- SPANNING CABLES OVER PLANTER FOR SECURITY
- BIO-RETENTION PLANTER TREATS STORMWATER RUNOFF



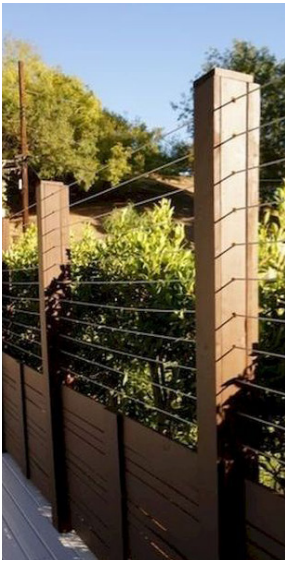
PERFORATED METAL GATE + SCREENING



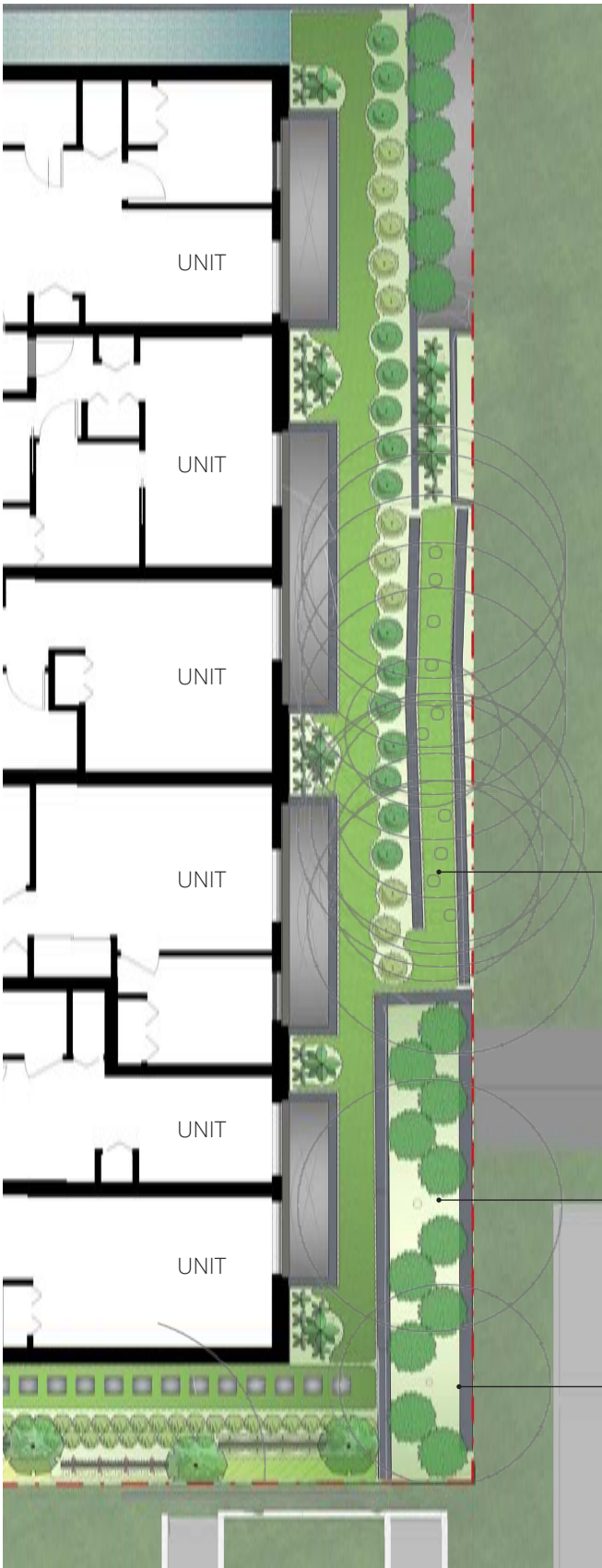
PERFORATION



EBONY WOOD STAIN



SPANNING CABLES + WOOD FRAME



N PARTIAL PLAN VIEW

6 DESIGN RESPONSE

- All existing, mature trees are being retained along the east property line. *CS2.A1: SITE CHARACTERISTICS*
- Integrated new low-level plantings to further enhance the experience for window well units without blocking light. *CS1.B: SUNLIGHT & NATURAL VENTILATION*
- As suggested at EDG , balconies or decks are not provided at the east side of the building to limit outside activity and noise facing residential neighbors. *CS2.D5: RESPECT FOR ADJACENT SITES*

EXISTING TREES



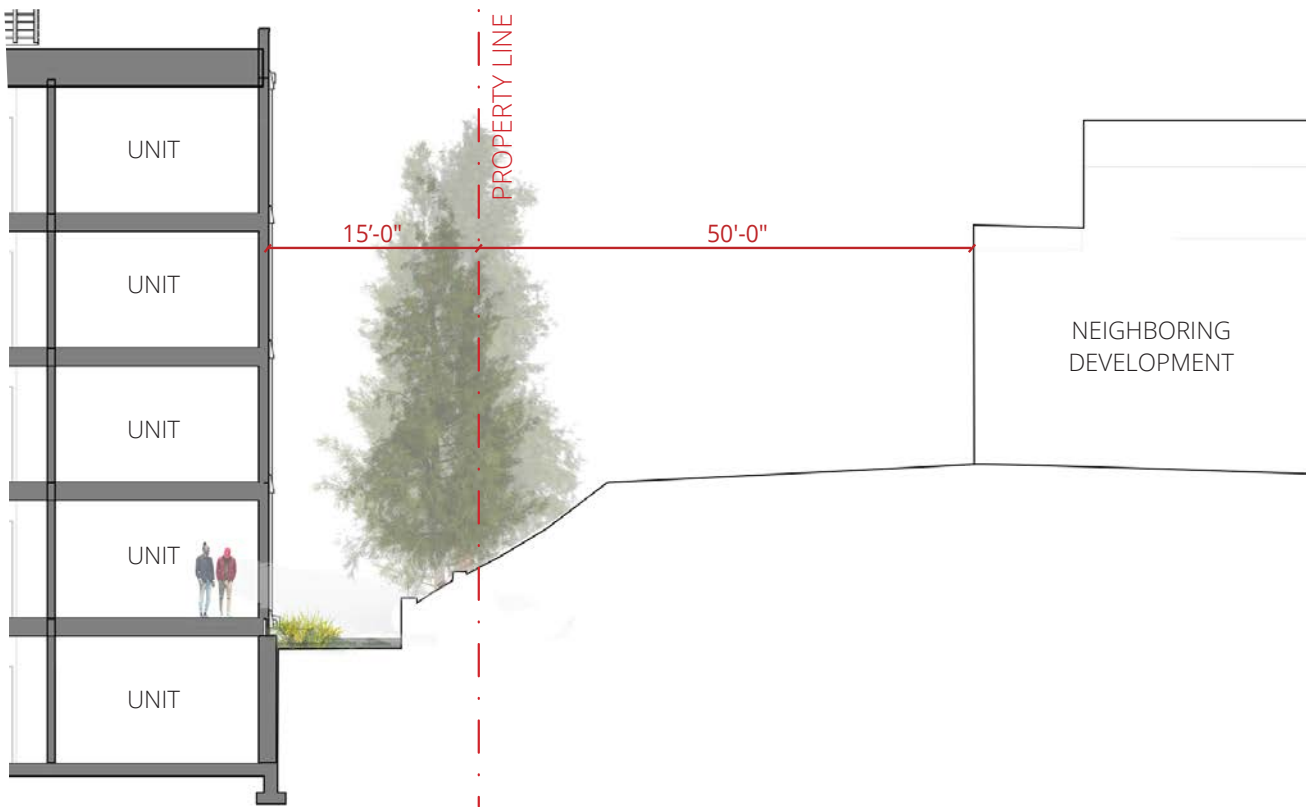
LEYLAND CYPRESS



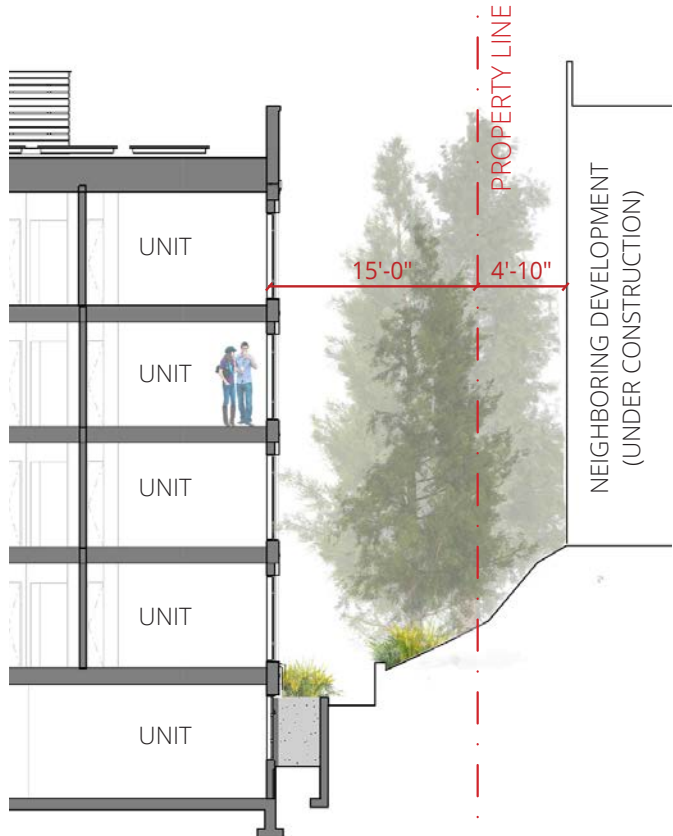
JAPANESE MAPLE



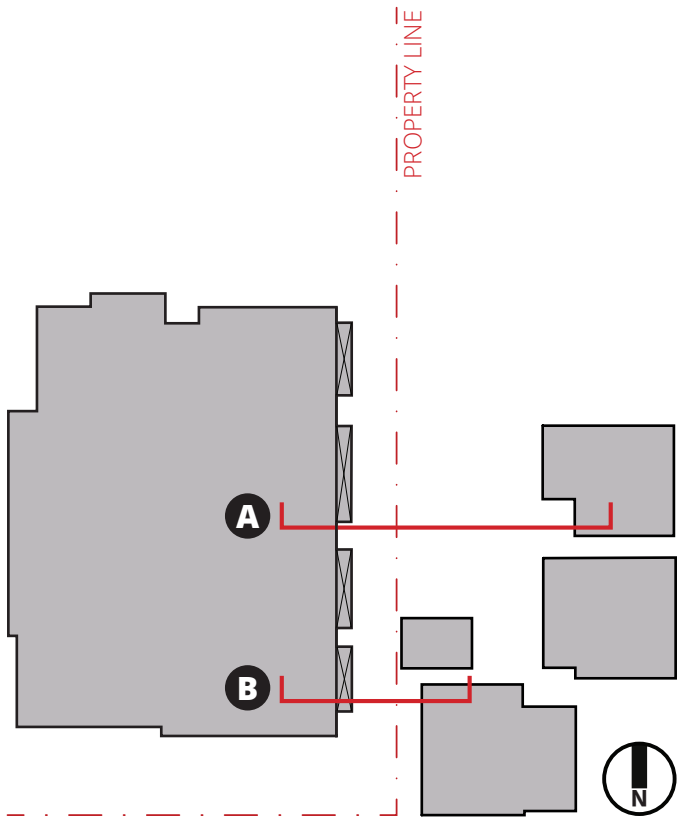
WEeping ALASKAN CEDAR



A SECTION - NORTHEAST NEIGHBOR



B SECTION - SOUTHEAST NEIGHBOR



KEY PLAN

LANDSCAPE: COMPOSITE PLAN



PLANT SCHEDULE GROUND LEVEL

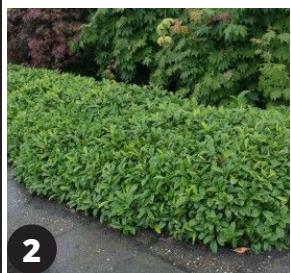
TREES	BOTANICAL NAME / COMMON NAME
	Acer palmatum 'Butterfly' / Butterfly Japanese Maple
	Acer palmatum 'Sango Kaku' / Coral Bark Maple
	Liriodendron tulipifera 'Fastigiata' / Columnar Tulip Tree
	Parrotia persica 'Ruby Vase' / Ruby Vase Persian Parrotia Street Tree
	Quercus rubra / Red Oak
SHRUBS	BOTANICAL NAME / COMMON NAME
	Acorus gramineus 'Ogon' / Golden Variegated Sweetflag
	Epimedium x rubrum / Red Barrenwort
	Existing Shrub
	Hakonechloa macra 'Aureola' / Golden Variegated Hakonechloa
	Leucothoe fontanesiana 'Rainbow' / Rainbow Leucothoe
	Mahonia x media 'Charity' / Mahonia
	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo
	Polystichum munitum / Western Sword Fern
	Prunus laurocerasus 'Mount Vernon' / Mount Vernon Laurel
	Sarcococca hookeriana humilis / Dwarf Sweet Box
	Sarcococca ruscifolia / Fragrant Sarcococca
	Taxus x media 'H.M. Eddie' / H.M. Eddie Yew
BIORETENTION	BOTANICAL NAME / COMMON NAME
	Cornus alba 'Gouchaultii' / Goldenleaf Dogwood
	Juncus effusus / Soft Rush
	Libertia peregrinans / New Zealand Iris
	Physocarpus opulifolius 'Diablo' / Diablo Ninebark
VINES	BOTANICAL NAME / COMMON NAME
	Akebia quinata / Chocolate Vine
	Campsis radicans 'Balboa Sunset' / Balboa Sunset Trumpet Creeper
	Trachelospermum x stephanese / Pink Jasmine
GROUND COVERS	BOTANICAL NAME / COMMON NAME
	Sagina subulata / Irish Moss
	Vinca major 'Wojo's Gem' / Wojo's Gem Periwinkle
	Vinca minor 'Illumination' TM / Illumination Dwarf Periwinkle

LANDSCAPE: PROMINENT PLANTINGS

RIGHT-OF-WAY



1 RED OAK STREET TREE



2 MOUNT VERNON LAUREL



3 ILLUMINATION DWARF PERIWINKLE



4 WOJO'S GEM PERIWINKLE

BUILDING ENTRY



5 CORAL BARK MAPLE



6 RAINBOW LEUCOTHOE



7 HEAVENLY BAMBOO



8 GOLDEN VARIEGATED SWEETFLAG



9 DWARF SWEET BOX

PARK EDGE



10 COLUMNAR TULIP TREE



11 CHOCOLATE VINE



12 BALBOA SUNSET TRUMPET CREEPER VINE



13 PINK JASMINE VINE



14 RED BARRENWORT

REAR YARD



15 MAHONIA 'CHARITY'



16 WESTERN SWORD FERN



17 DWARF PERIWINKLE

BIO-PLANTER



18 NINEBARK



19 NEW ZEALAND IRIS



20 SOFT RUSH



21 GOLDENLEAF DOGWOOD

UNIT ENTRIES



22 BUTTERFLY JAPANESE MAPLE



23 GOLDEN VARIEGATED HAKONECHLOA

PLANT SCHEDULE ROOF

TREES



BOTANICAL NAME / COMMON NAME

- Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple
- Acer palmatum 'Sango Kaku' / Coral Bark Maple

SHRUBS



BOTANICAL NAME / COMMON NAME

- Arbutus unedo 'Elfin King' / Dwarf Strawberry Tree
- Bergenia cordifolia 'Magic Giant' / Magic Giant Bergenia
- Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
- Carex oshimensis 'Everillo' / Everillo Japanese Sedge
- Cerastium tomentosum 'Silver Carpet' / Snow In Summer
- Chamaecyparis obtusa 'Fernspray' / Fernspray Hinoki False Cypress
- Cyrtomium fortunei / Japanese Holly Fern
- Euonymus japonicus 'Microphylla' / Boxleaf Euonymus
- Fothergilla gardenii 'Windy City' / Dwarf Witchhazel
- Hakonechloa macra 'Beni-Kaze' / Green Forest Grass
- Helianthemum nummularium 'Henfield Brilliant' / Henfield Brilliant Rock Rose
- Helictotrichon sempervirens / Blue Oat Grass
- Heuchera x 'Lime Rickey' / Lime Rickey Coral Bells
- Ophiopogon planiscapus 'Nigrescens' / Black Mondo Grass
- Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass
- Phormium tenax 'Amazing Red' / 'Amazing Red' New Zealand Flax

ROOF DECK



24 BLOODGOOD JAPANESE MAPLE



28 LIME RICKEY CORAL BELLS



25 HAMELN DWARF FOUNTAIN GRASS



29 BERGENIA 'MAGIC GIANT'



26 FEATHER REED GRASS



30 HENFIELD BRILLIANT ROCK ROSE



27 NEW ZEALAND FLAX



31 BLACK MONDO GRASS

LIGHTING PLAN



1 WALL SCONCE



5 WALL SCONCE



2 WALL SCONCE



6 STEP LIGHTING



3 PATHWAY LIGHTING



4 LANDSCAPE LIGHTING



1 SMC 23.45.518.L.2 - UPPER LEVEL SETBACK

REQUIRED: 16' SETBACK ABOVE 44' ALONG STREET LOT LINE (MEASUREMENT FROM SIDEWALK GRADE)

PROPOSED: 12.04' SETBACK ABOVE 44' FOR 25.94' OF BUILDING WIDTH ALONG STREET LOT LINE
5.50' SETBACK ABOVE 44' FOR 78.65' OF BUILDING WIDTH ALONG STREET LOT LINE

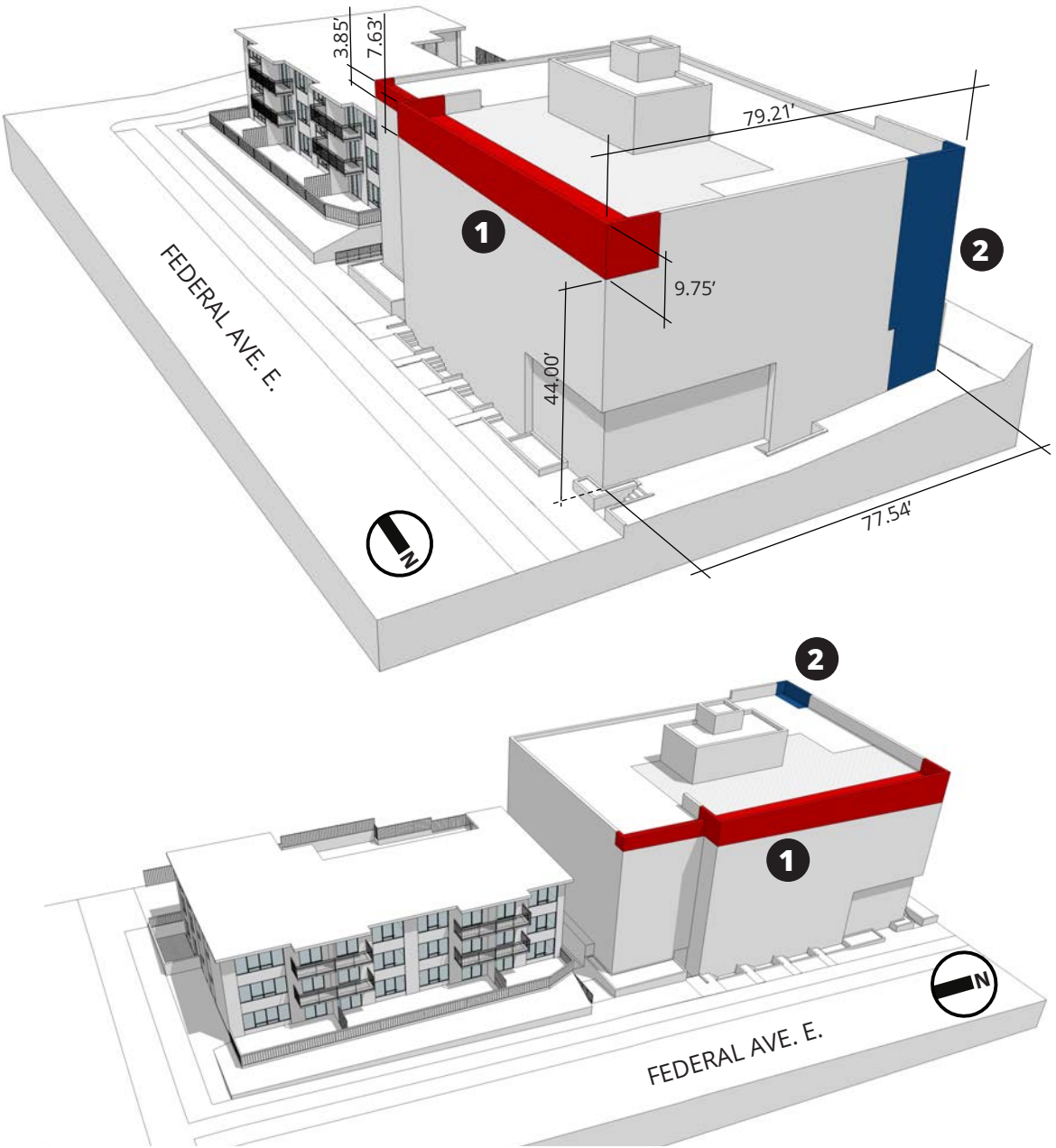
JUSTIFICATION / GUIDELINES:

An upper level setback would be out of character with the surrounding buildings & neighborhood context. The building uses a strong massing-to-material relationship rather than small over-modulation with a patchwork of materials. One strength of the brick application is a strong termination at the top of the building. This type of high quality material is not traditionally seen in an upper-level setback application. The design is concept driven and this setback takes away from the concept.

DC2 B.1: *FACADE COMPOSITION* - roof line expression integral in overall composition and expression

CS2 C.1: *CORNER SITE* - where site is most visible design a generous entry and a strong urban edge

DC2 D.2: *SCALE AND TEXTURE* - express building form with fine-grained scale, particularly where facing the street



2 SMC 23.45.527.B.1 - FACADE LENGTH

REQUIRED: DEPTH OF STRUCTURE WITHIN 15'-0" OF LOT LINE ≤ 65% OF LOT DEPTH

PROPOSED: 79.17% LOT DEPTH @ LEVELS 2 – ROOF
77.50% LOT DEPTH @ BASEMENT - LEVEL 1

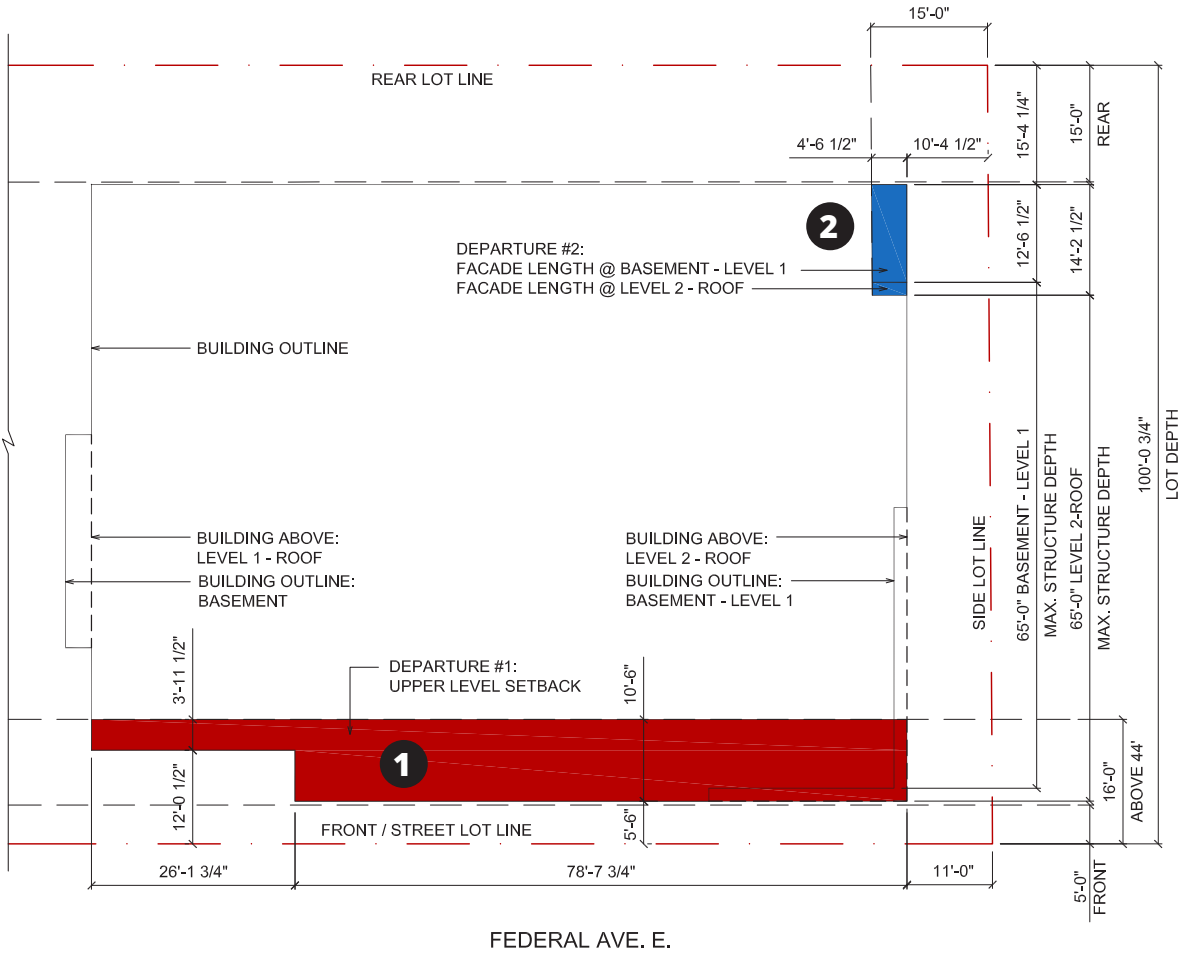
JUSTIFICATION / GUIDELINES:

The elimination of this requirement simplifies and quiets the side facade rather than forcing modulation onto it. The proposal includes a 10'+ setback adjacent to the park whereas a 5' minimum / 7' average setback is required. The greater than required setback adds to the park and is more than the area gained by eliminating the facade length departure. The landscape buffer is used for special features including vertical trellises and columnar trees providing a variegated backdrop to the park. The landscaping arrangement is compatible with existing patterns seen at the park's east retaining wall.

CS2 B.3: *CHARACTER OF OPEN SPACE* - open space compatibility and project siting

CHG PL1 1a: *ENHANCING OPEN SPACE/ PARKS* - orient entries, windows and balconies to the park

DC1 A.4: *VIEWS AND CONNECTIONS* - locate active uses to take advantage of views and physical connection to open spaces



N SITE PLAN

RECENT WORK **SHW**



4710 20TH AVE NE (UNDER CONSTRUCTION)



120 10TH AVE E



1010 E REPUBLICAN (UNDER CONSTRUCTION)



1715 12TH AVE E



6301 15TH AVE NW (UNDER CONSTRUCTION)



1404 BOYLSTON AVE