

SEATTLE DESIGN REVIEW

Early Design Guidance: March 16, 2017
Design Review: October 19, 2017

APPLICATION TEAM

OWNER: ADMIRAL STATION
2715 CALIFORNIA AVE SW
SEATTLE, WA 98116

ARCHITECT: CLARK DESIGN GROUP PLLC
1401 W GARFIELD ST
SEATTLE, WA 98119



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ADMIRAL NEIGHBORHOOD CONTEXT & PRIORITY ISSUES:
PARCEL IS BOTH IN THE COMMERCIAL CORE AREA AND
ABUTS SINGLE FAMILY ZONING

DC1 - PROJECT USES

- PARKING ENTRY HAS LEAST IMPACT ON SINGLE FAMILY GARAGES

CS2 URBAN PATTERN AND FORM

- MASSING SET-BACK AT ALLEY AND SIDE LOT LINES TO RESPECT THE ADJACENT PROPERTIES. WINDOWS WILL NOT ALIGN WITH ADJACENT WINDOWS

CS2 URBAN PATTERN AND FORM

- BUILDING IS SITED TO COMPLETE URBAN EDGE ALONG CALIFORNIA AVE SW

MASSING OPTION C: PREFERRED SCHEME [8.0]

Commercial	2,656 SF	
Residential	33,086 SF	48 Units
Parking	22,724 SF	46 Stalls

Pros

- Massing completes the urban edge along California Ave SW, storefronts built to the lot line provide a variety of small to medium-sized neighborhood-serving businesses and encourage street level interaction. Central residential Lobby encourages activity after normal business hours.
- Bay windows help create Architectural Character and detail.
- Recessed façade with canopy and balconies above highlights the main entry
- Provides best for future developments to north and south.
- Best location for vehicular entry at alley with least conflicts with residential garages
- Reduces width of masses at alley and provides a better zone transition.

Cons

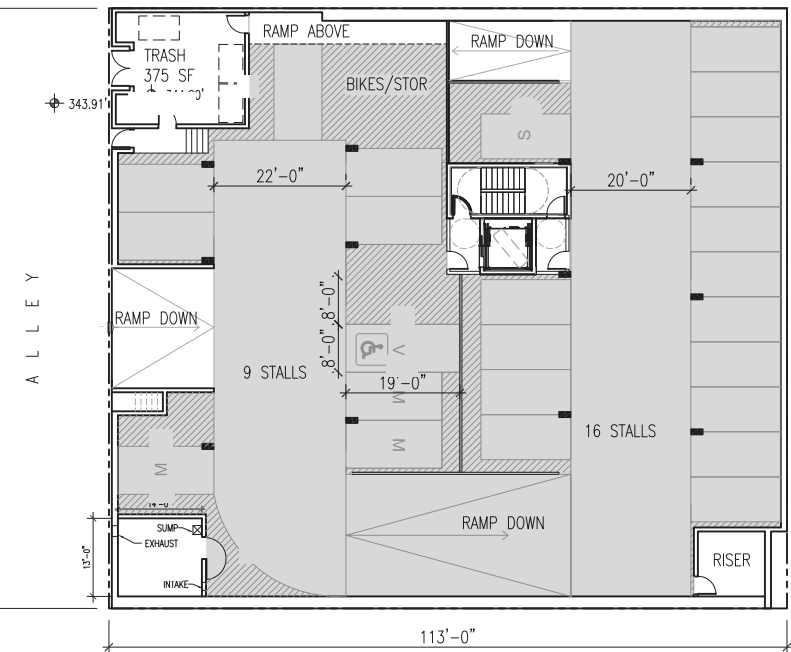
- Small second floor terrace will be in shade in the morning.



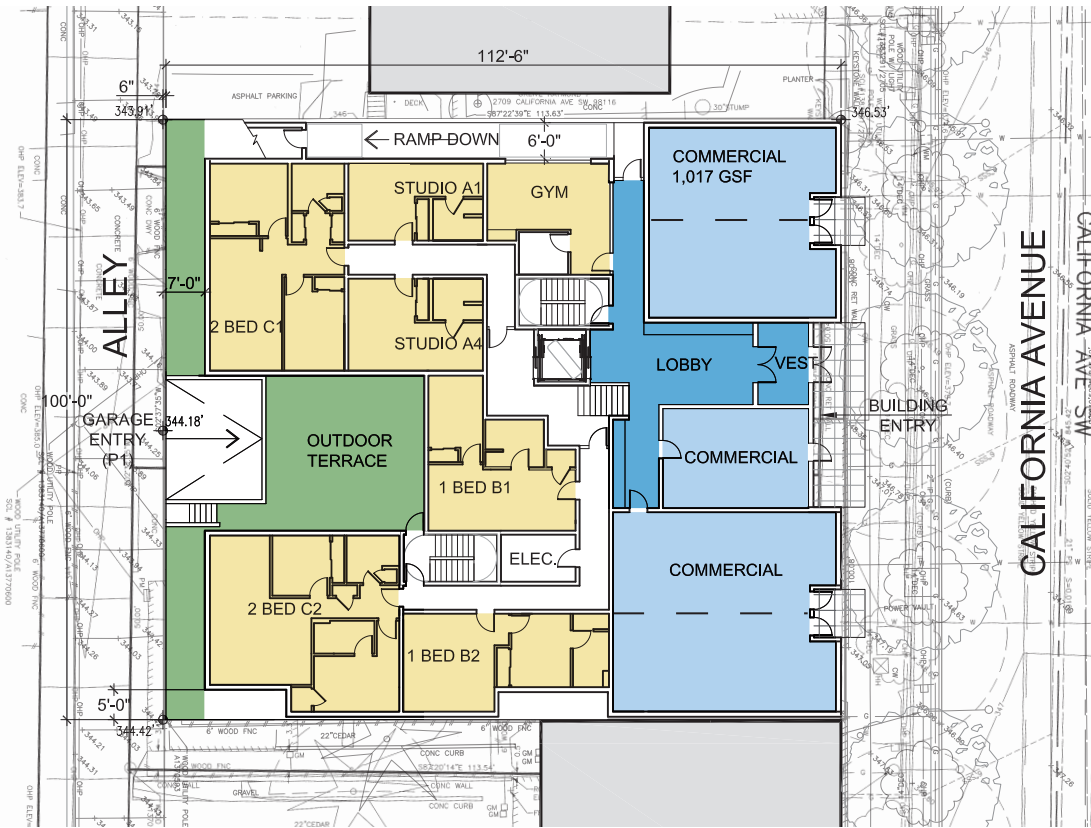
STREET VIEW LOOKING SOUTHWEST



AERIAL VIEW LOOKING NORTHWEST



PARKING LEVEL P1



GROUND FLOOR



LEVELS 2-4

DEPARTURES

4

Departure #1

SMC 23.47A.014.B.3 Setback Abutting a Side or Rear Lot Line of a Residentially-Zoned lot

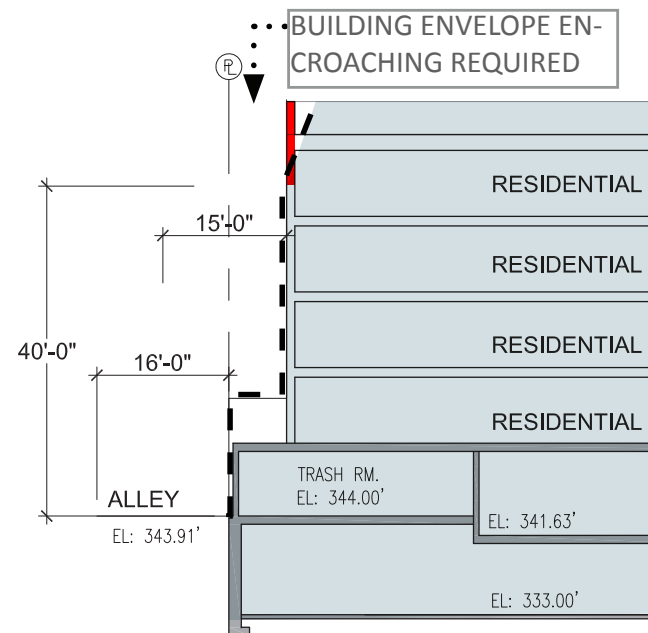
Required Setbacks

For a structure containing a residential use, a setback, is required along any side or rear lot line that abuts a lot in a residential zone, as follows:

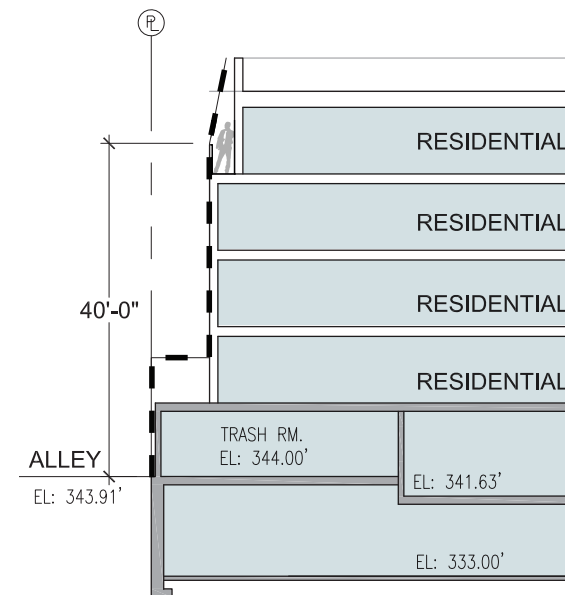
- 15' for portion of structure above 13 feet in height to maximum of 450 feet; and
- For each portion of a structure above 40 feet in height, additional setback at the rate 2 feet of setback every 10 feet by which the height of such portion exceeds 40 feet.

The project is required to setback at the upper floor. We seek design guidance from the DRB whether the it would be more respectful to the neighbors to;

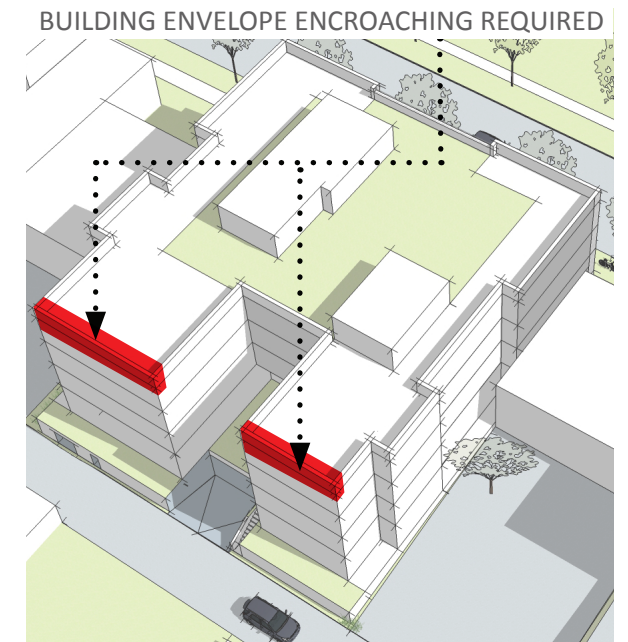
1. Reduce the buildings scale by providing the upper level setback with balconies.
2. Seek a departure for setback and eliminate balconies and only provide glazing at alley.



DEPARTURE



CODE CONFORMING



Departure #2

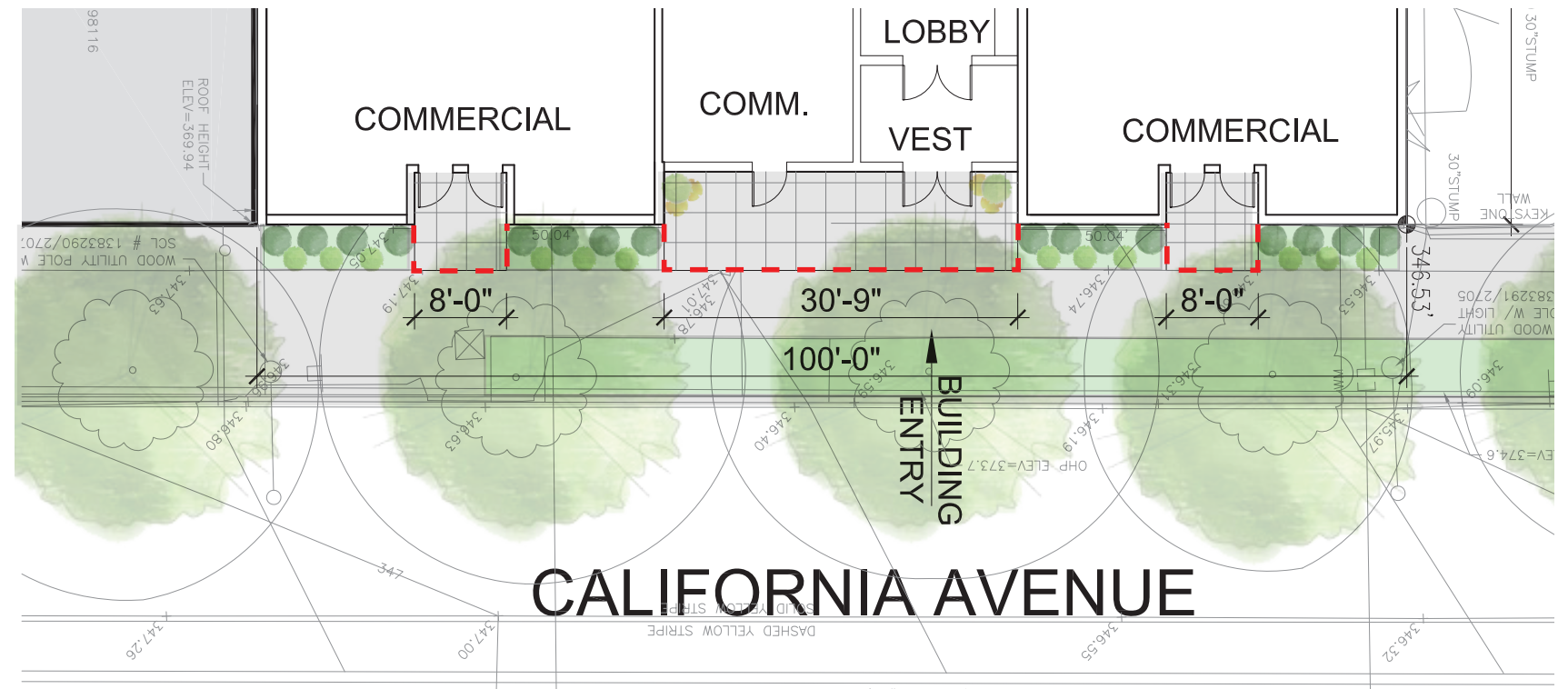
Street-Level Development Standards 23.74A.008

C4. Overhead weather protection

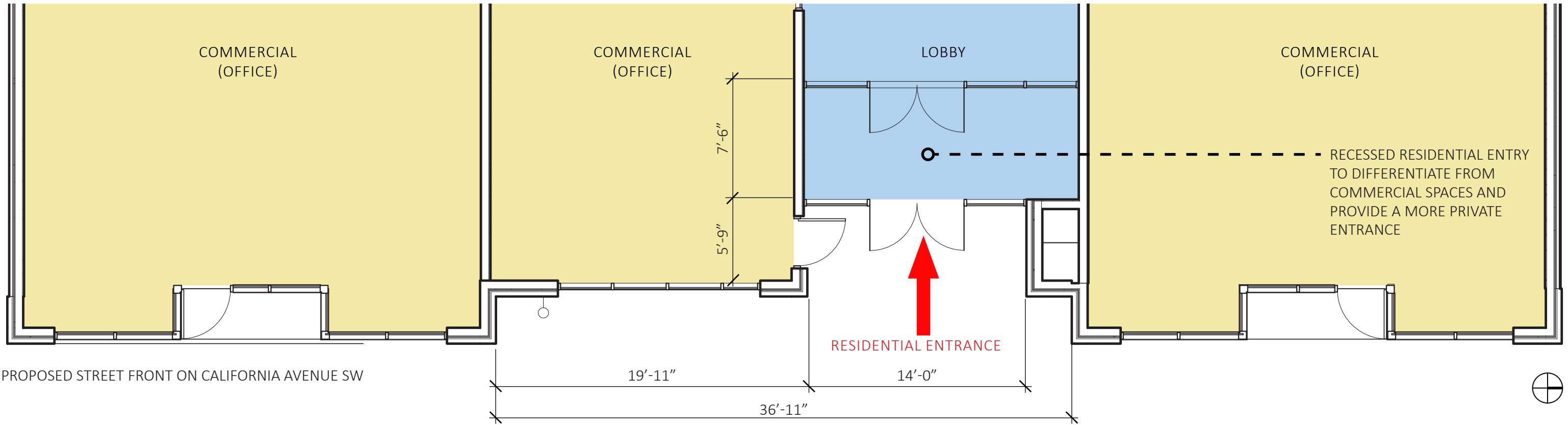
- Continuous overhead weather protection (i.e., canopies, awnings, marquees, and arcades) is required along at least 60 percent of the street frontage of a structure on a principal pedestrian street.
- The covered area shall have a minimum width of 6 feet.
- The overhead weather protection must be provided over the sidewalk, or over a walking area within 10 feet immediately adjacent to the sidewalk. When provided adjacent to the sidewalk, the covered walking area must be at the same grade or within 18 inches of sidewalk grade and meet Washington state requirements for barrier-free access.
- The lower edge of the overhead weather protection shall be a minimum of 8 feet and a maximum of 12 feet above the sidewalk for projections extending a maximum of 6 feet. For projections extending more than 6 feet from the structure, the lower edge of the weather protection shall be a minimum of 10 feet and a maximum of 15 feet above the sidewalk.

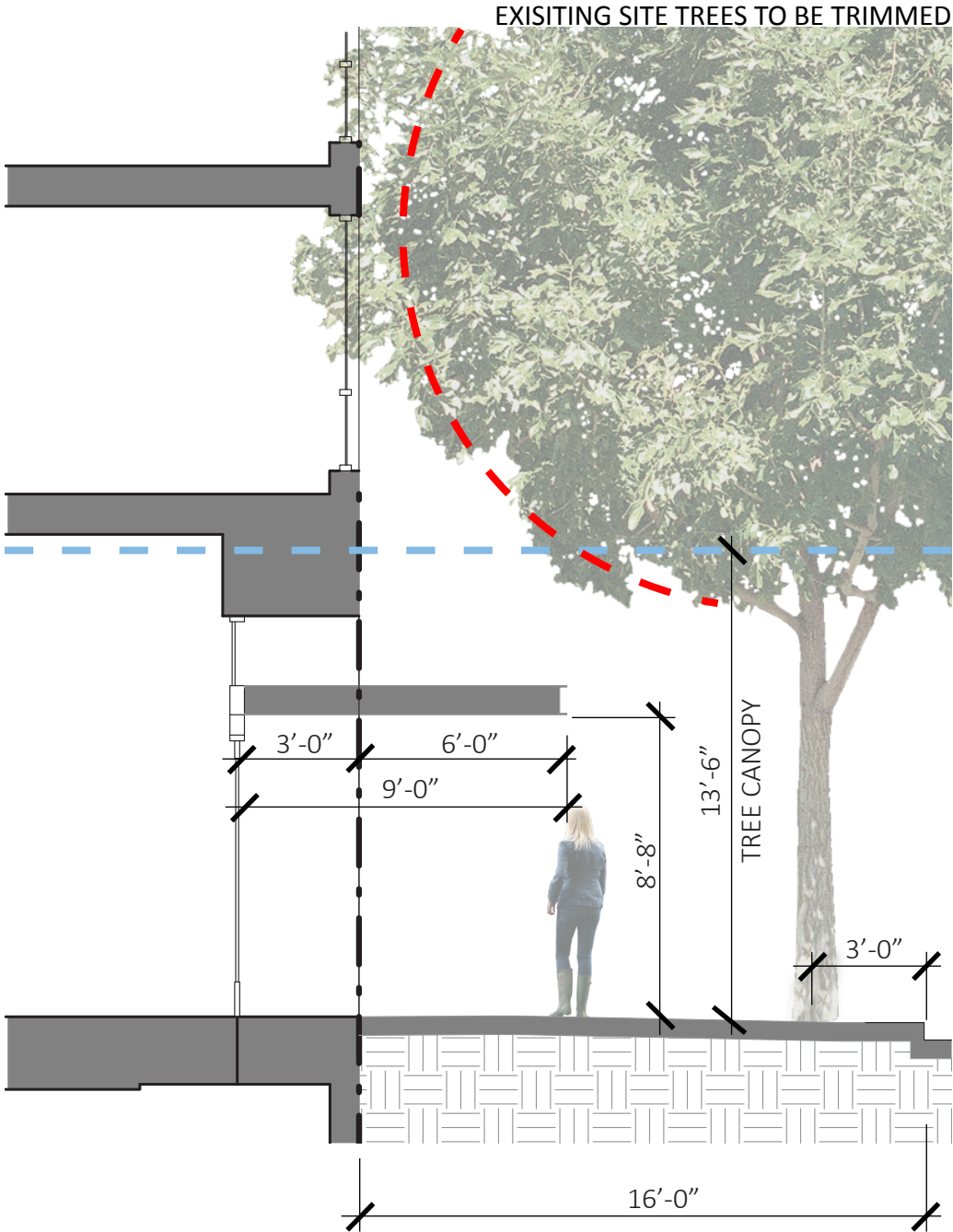
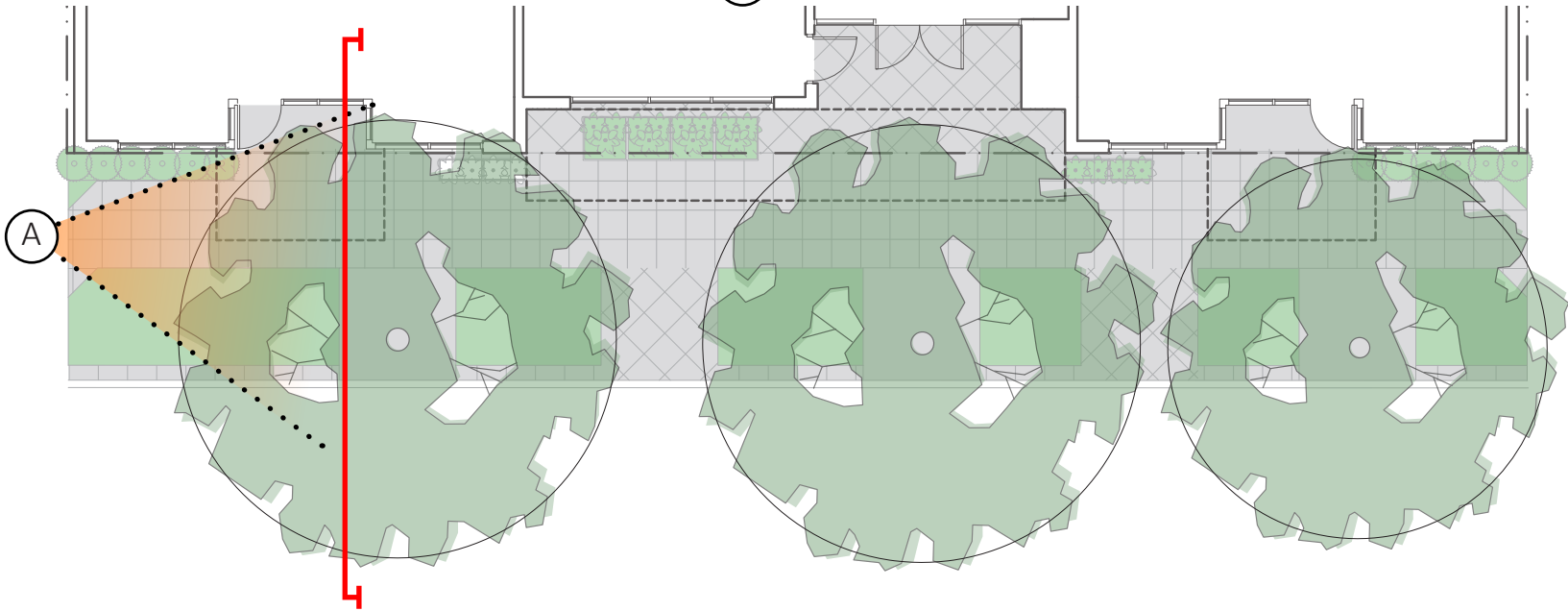
The project is required to have 60 feet of overhead weather protection. Currently the preferred scheme has a total of 46 feet of canopies at the main building entry and commercial entries. We seek design guidance from the DRB whether the overhead weather protection should be

1. Expanded to meet the requirement which will cover potential landscape areas.
2. Seek a departure for reduced coverage and maintain planting areas.



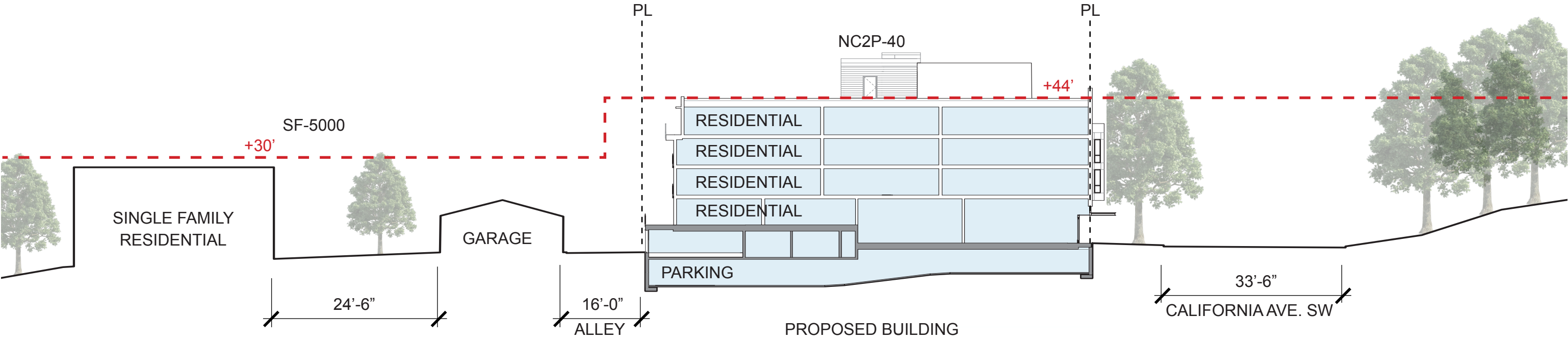
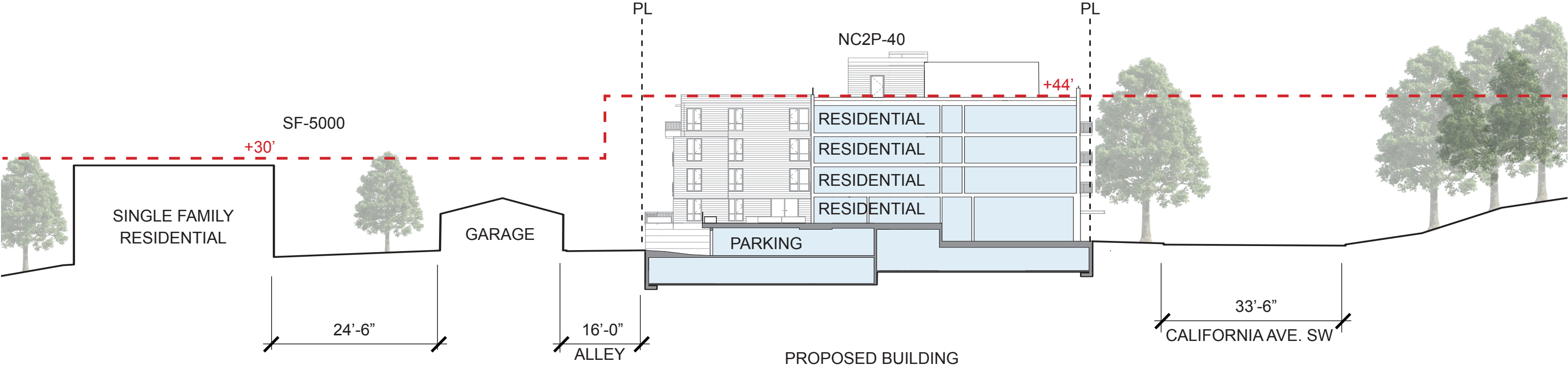






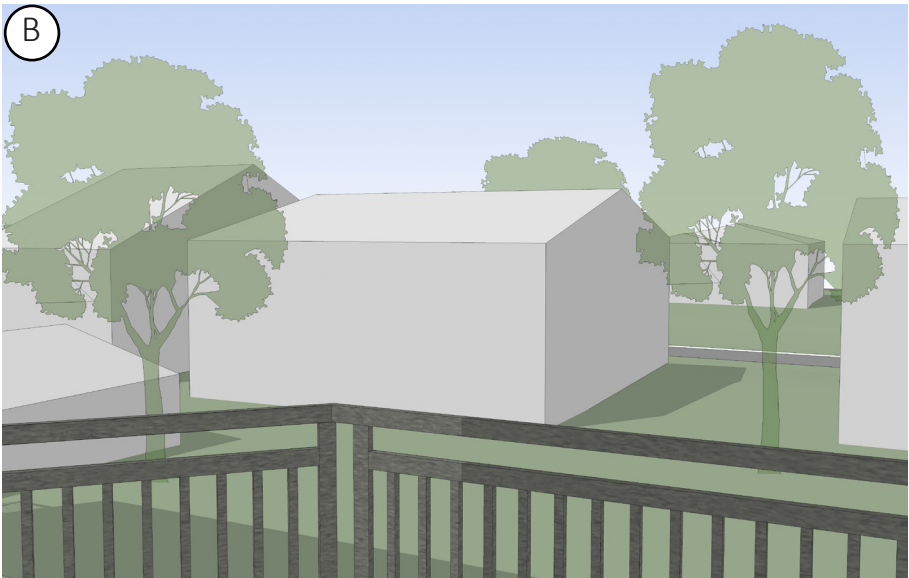
CALIFORNIA AVENUE SW







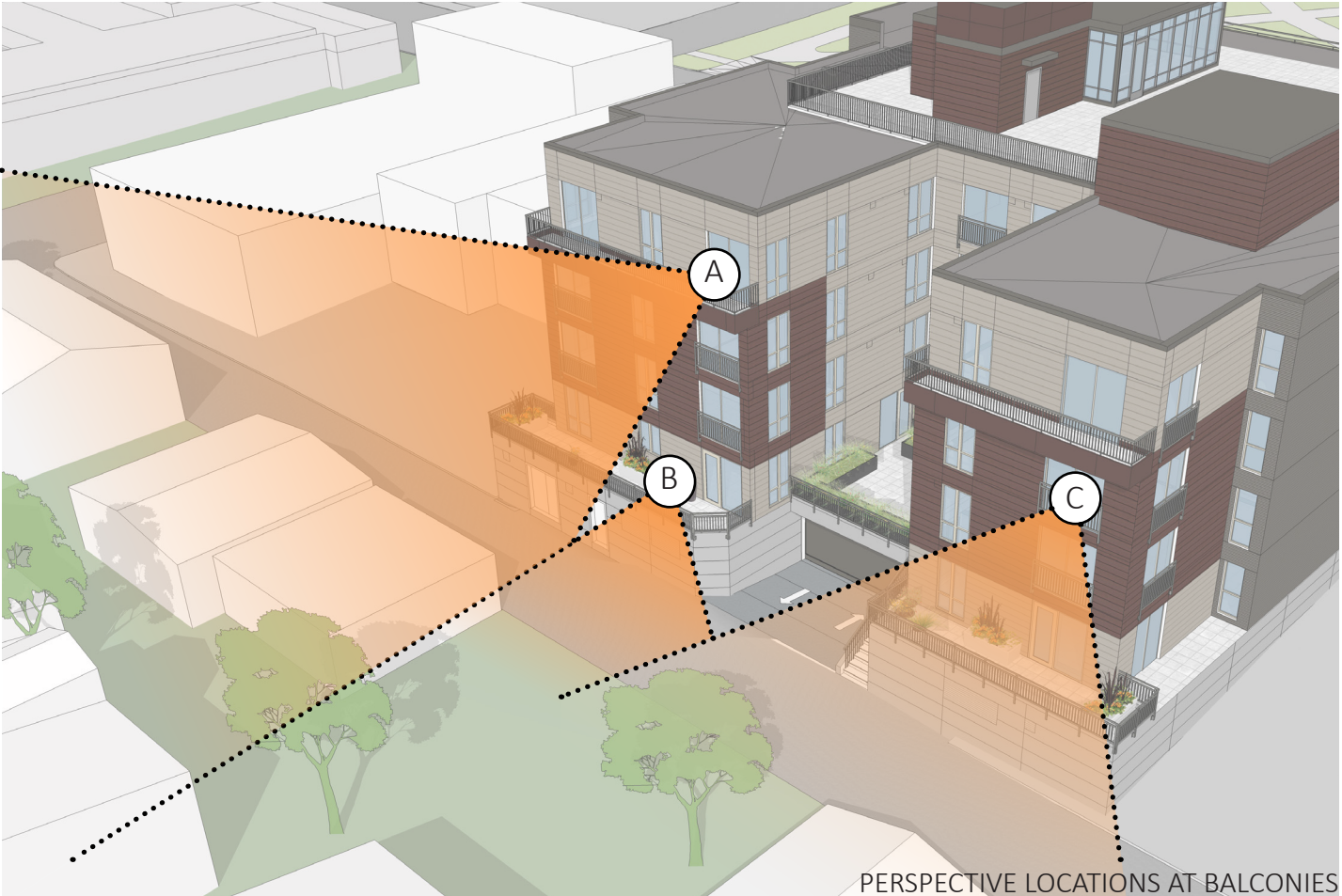
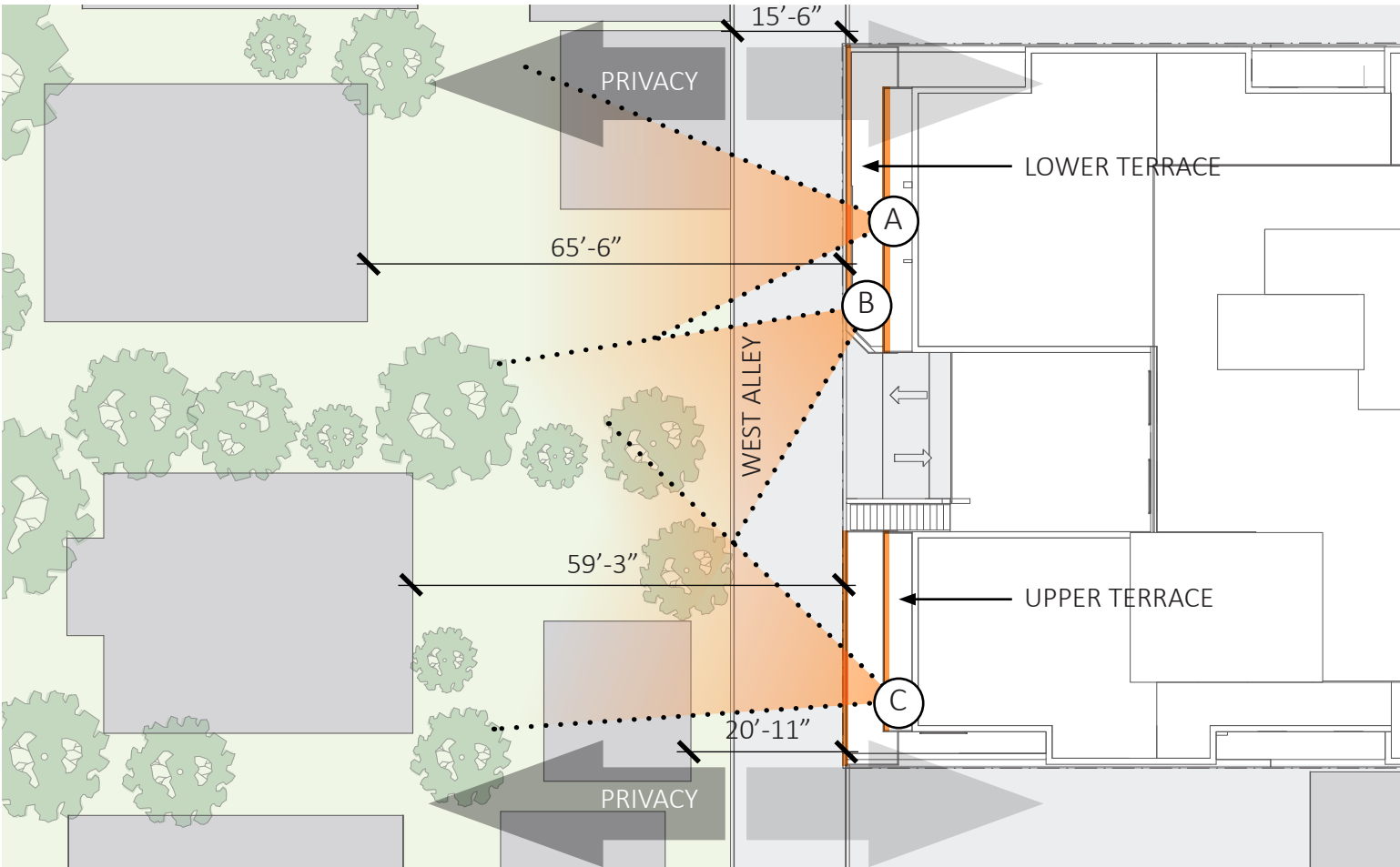
LEVEL 4 BALCONY VIEW FACING WEST

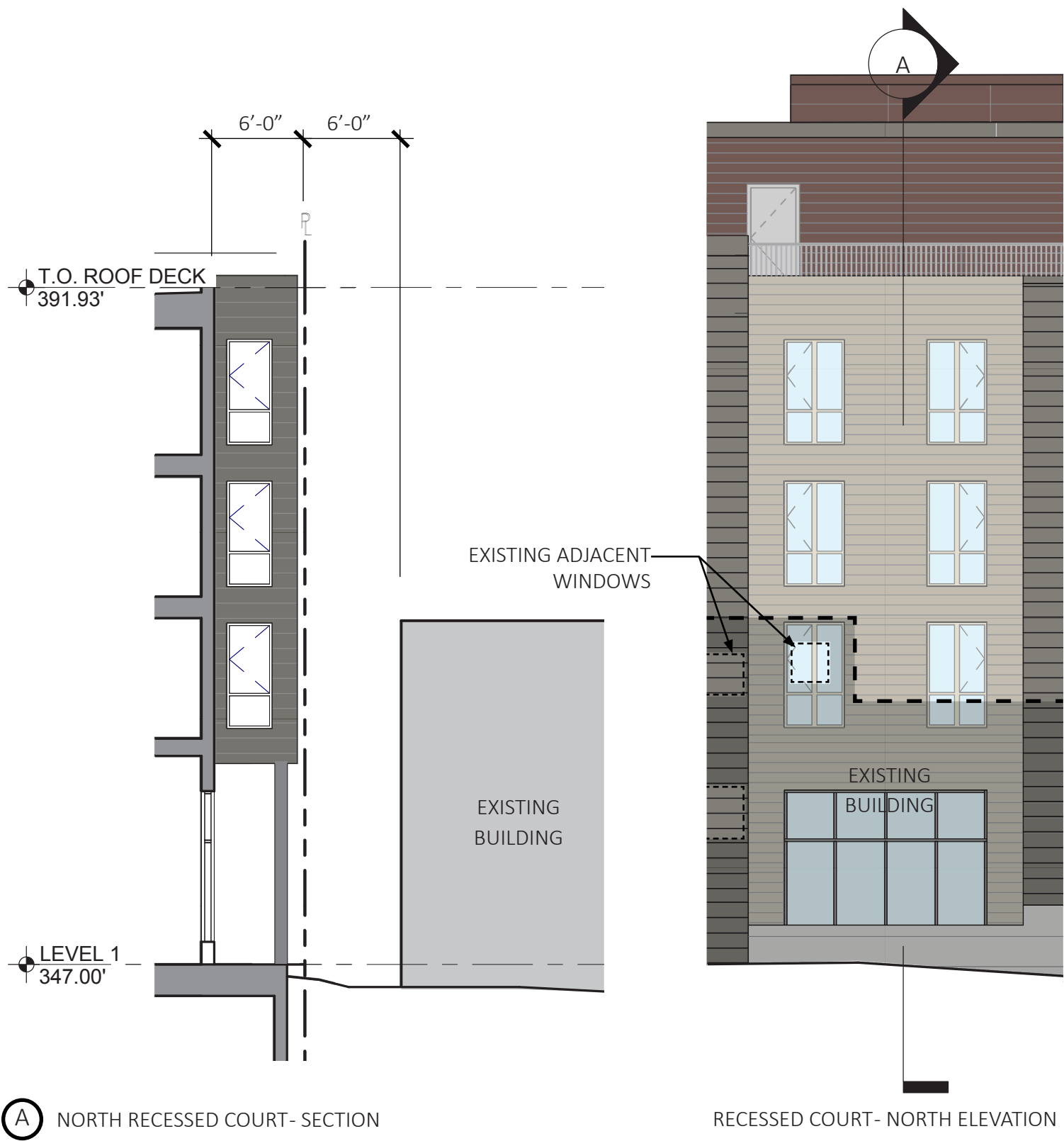


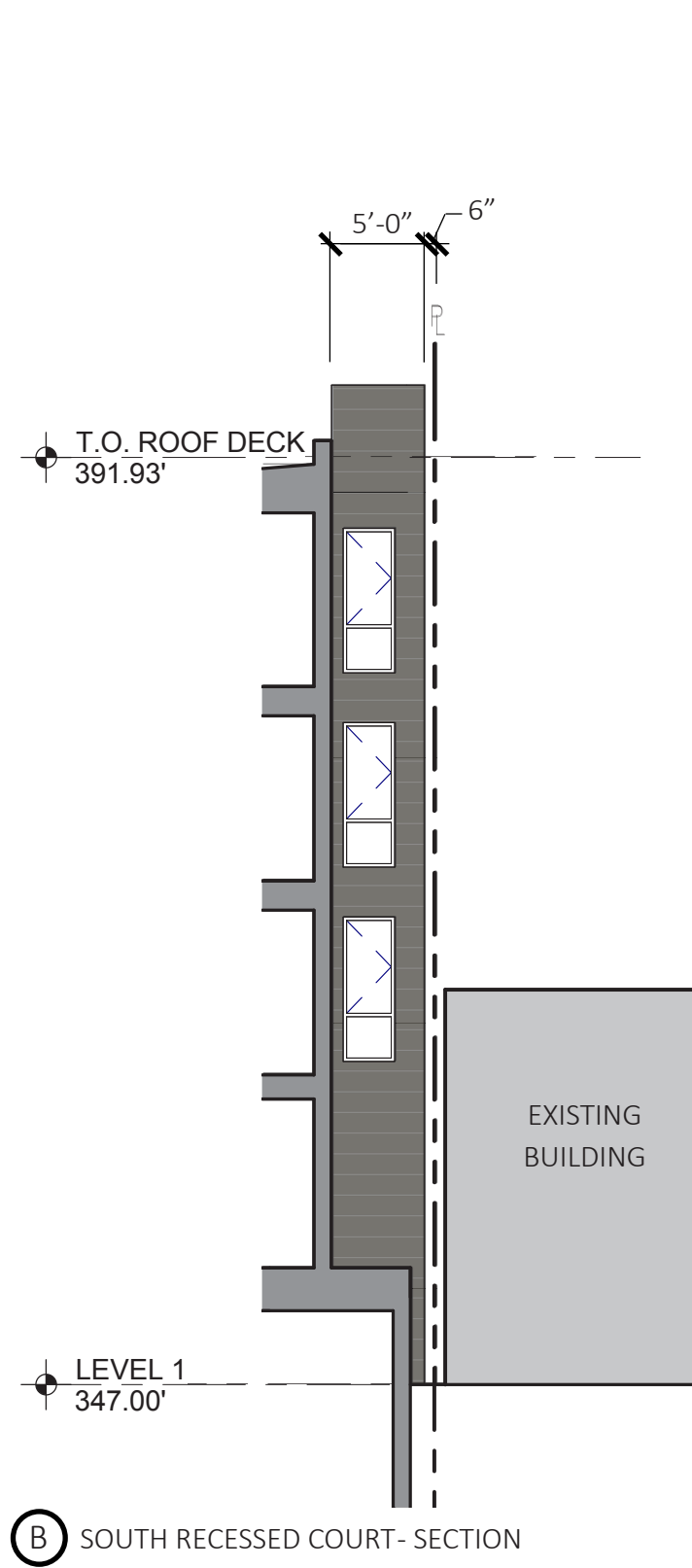
LEVEL 1 TERRACE VIEW FACING SOUTHWEST



LEVEL 3 TERRACE VIEW FACING NORTHWEST



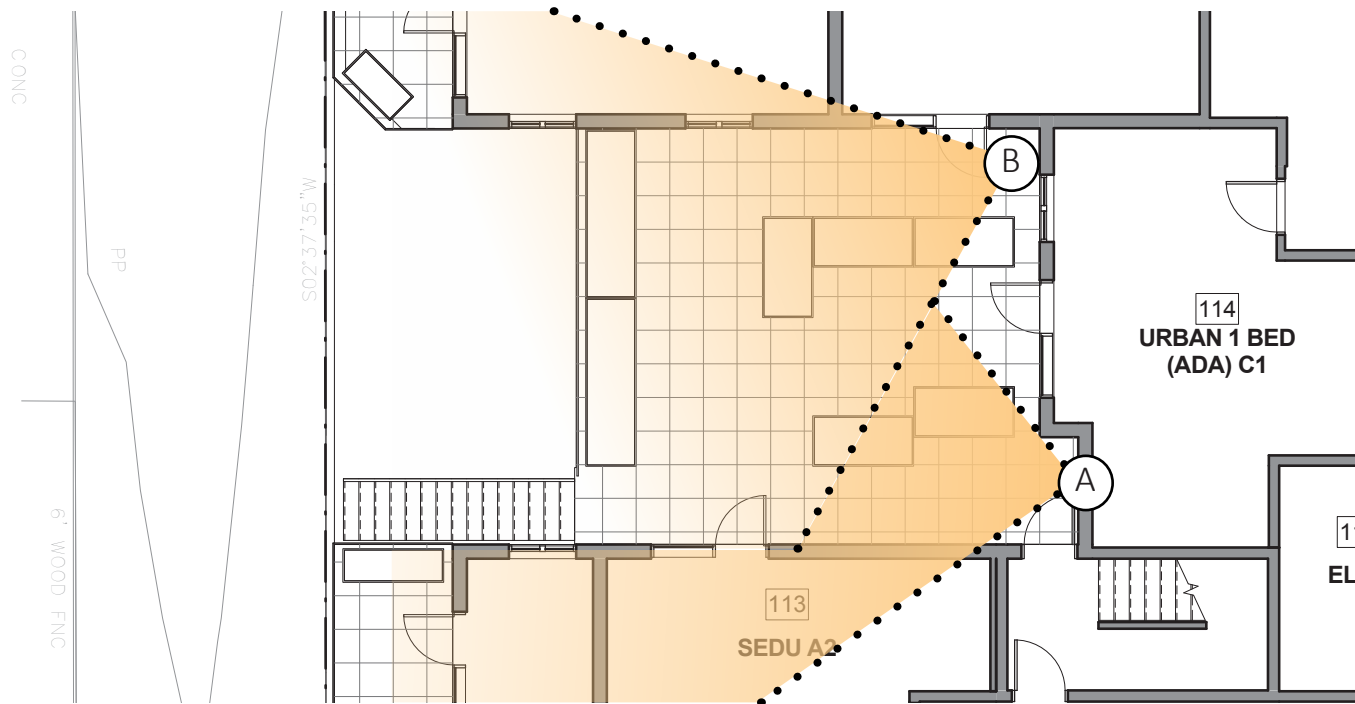








PERSPECTIVE @ JULIETTE BALCONY LEVEL 3- LOOKING WEST



COURTYARD PLAN @ LEVEL 1



2715 & 2719 California Ave SW, Seattle, WA 98116
Design Review- SDCI #3025941

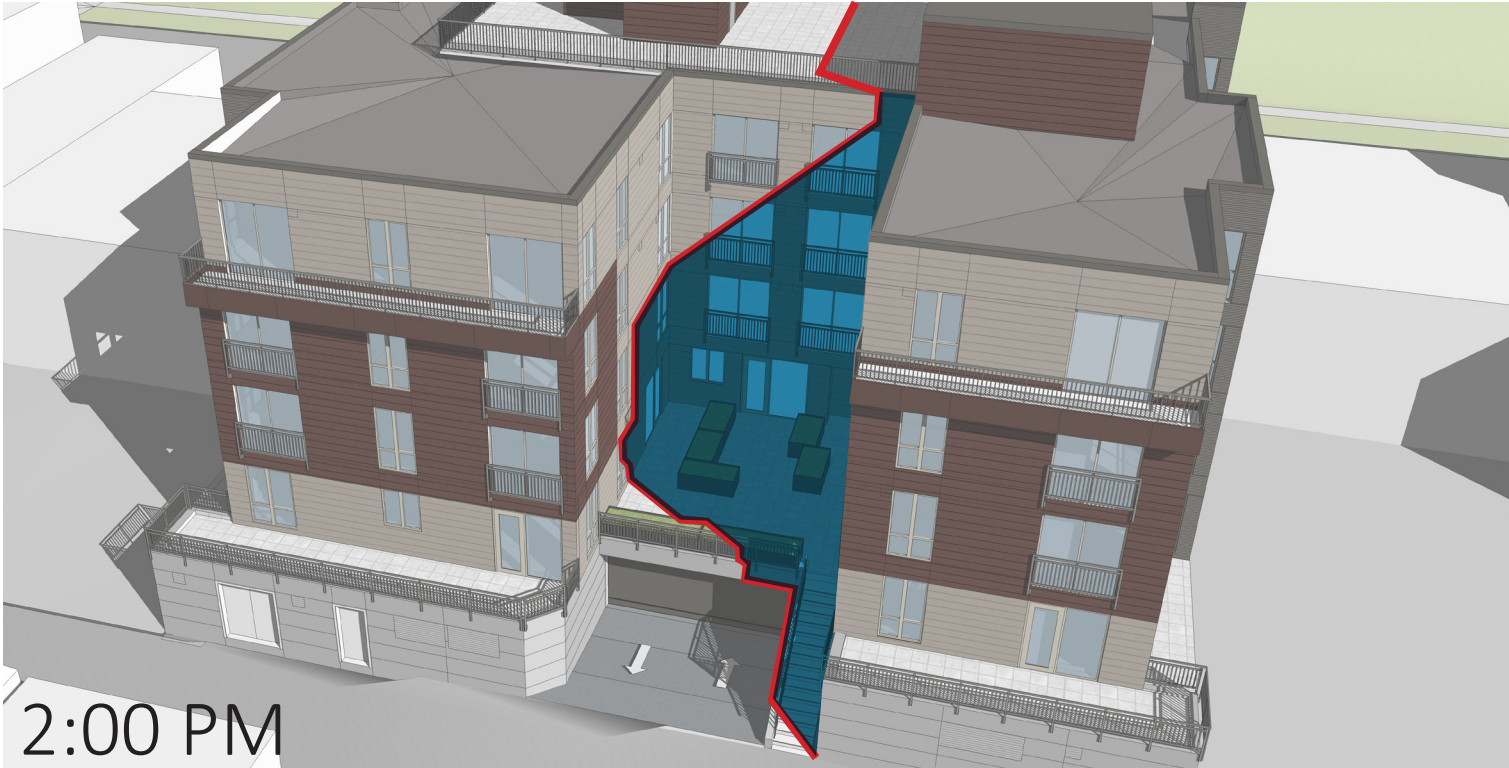
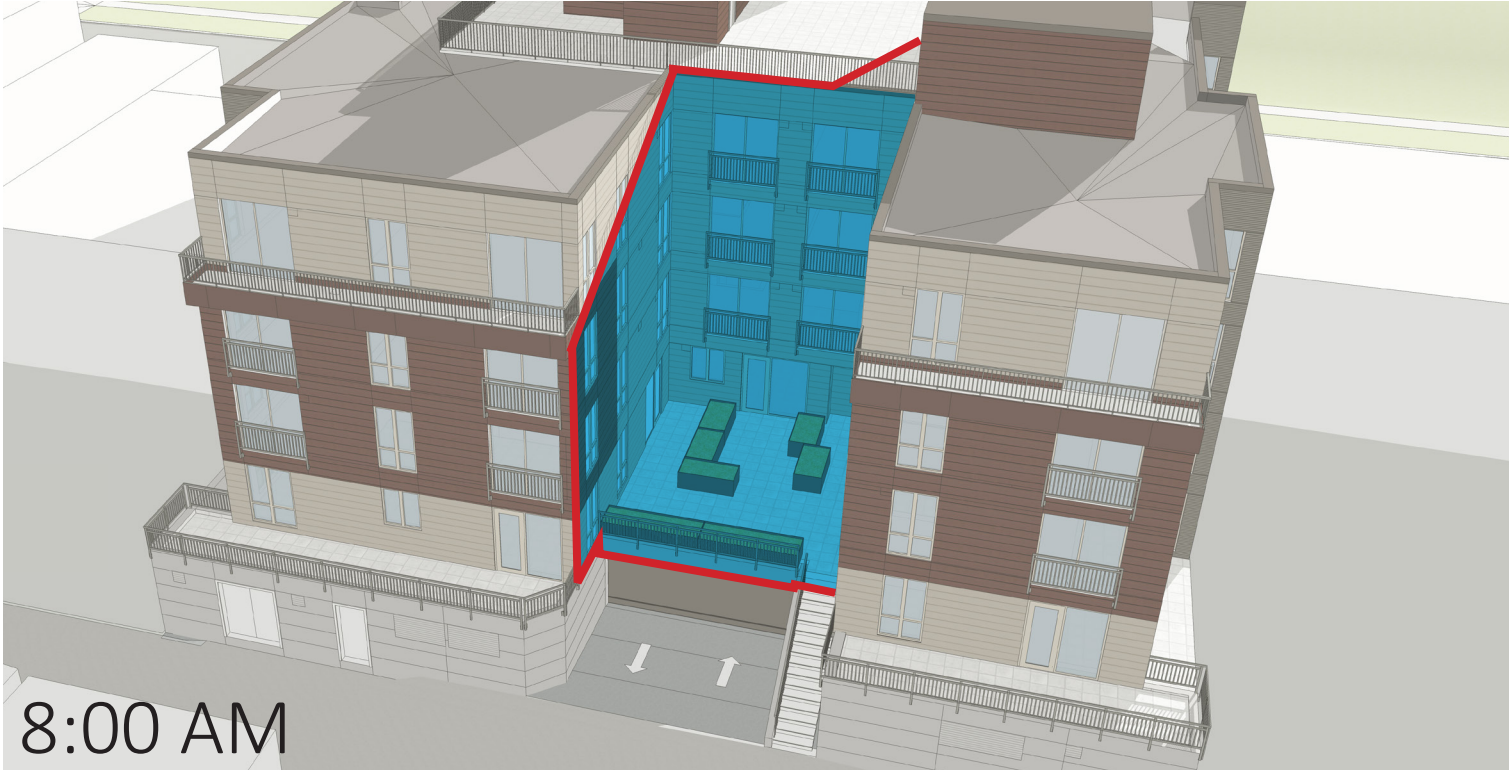


PERSPECTIVE @ LEVEL 1- LOOKING WEST TOWARD SINGLE FAMILY

October 19, 2017

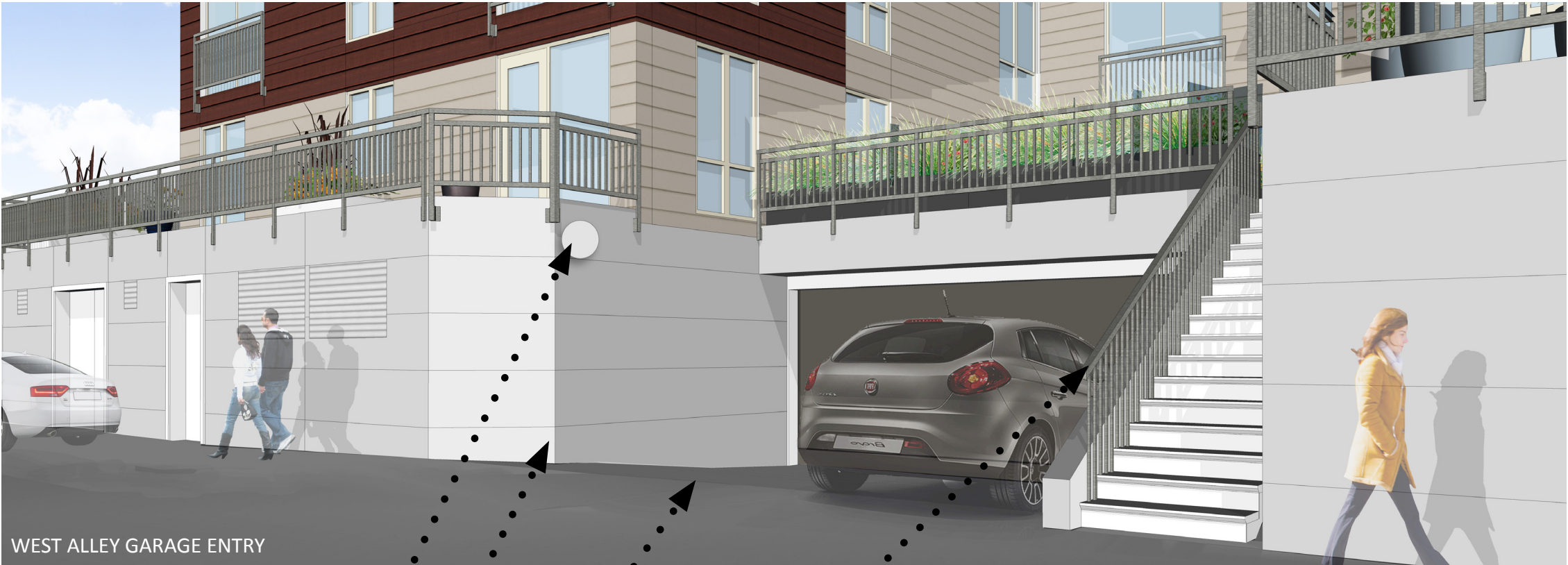
SUN STUDY AT COURTYARD

AUTUMNAL / SPRING EQUINOX- SEP. 22ND



SAFETY AND VISIBILITY

Mirrors and/or warning systems will be installed at the garage entrance to provide and maintain pedestrian safety in the alley. A sight triangle is provided on the north side of the 20'-2" wide driveway to allow for visibility.



WEST ALLEY GARAGE ENTRY

MIRROR LOCATIONS

ANGLE IN GARAGE WALLS PROVIDES
EXTENDED LINES OF VISION

RAMP SAG & CREST PROVIDED PER
SDCI REQUIREMENTS

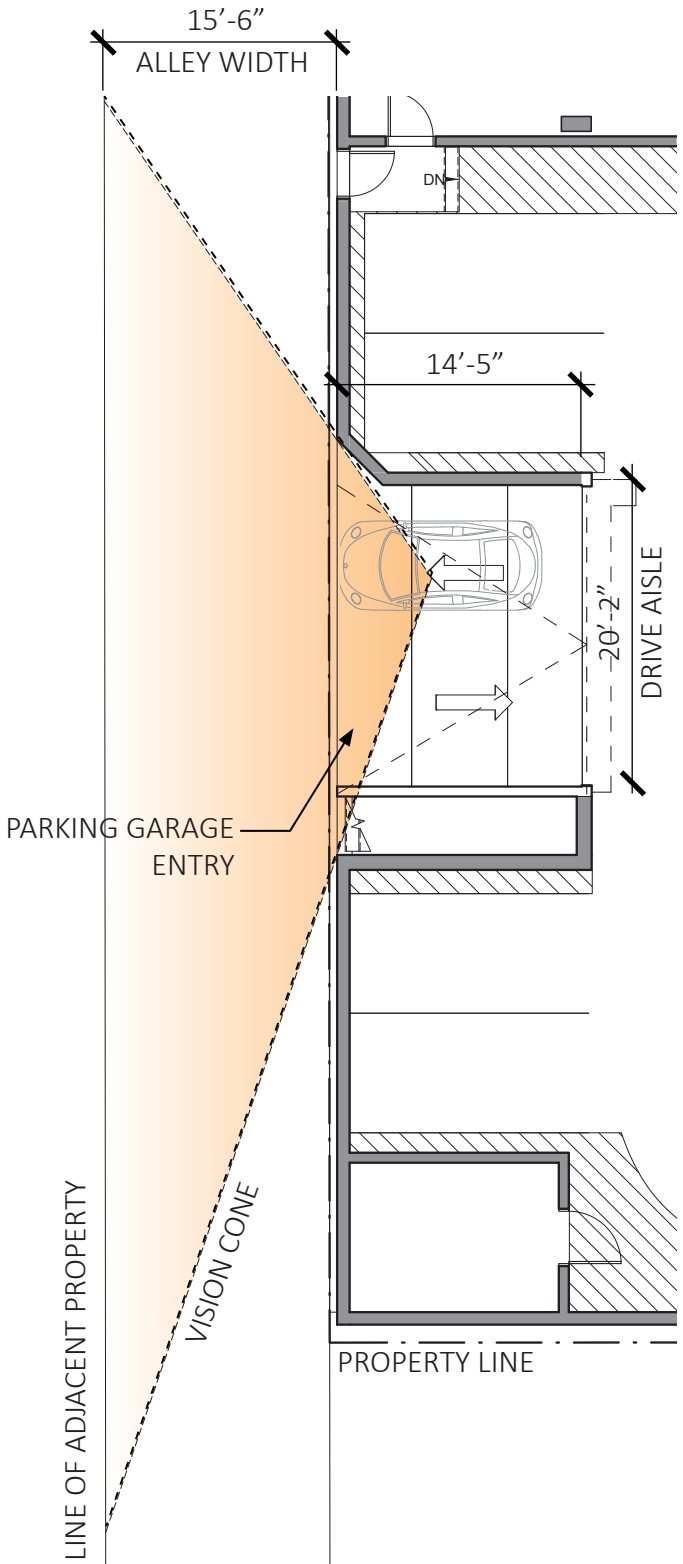
OPEN RAIL VISIBILITY



LOOKING SOUTH AT GARAGE ENTRY



LOOKING NORTH AT GARAGE ENTRY



PLAN AT GARAGE ENTRY

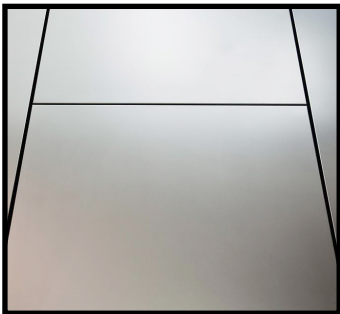




FC SIDING- WOODTONE
VINTAGE CABERNET



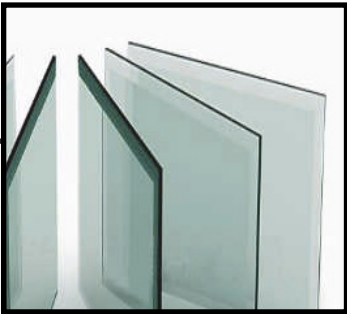
BRICK- FOREST BLEND



METAL PANEL- ZINC GREY



STOREFRONT/WINDOW
FRAMES SILVER, ANODIZED



GLASS



CANOPY- STEEL CHANNEL
ZINC GREY



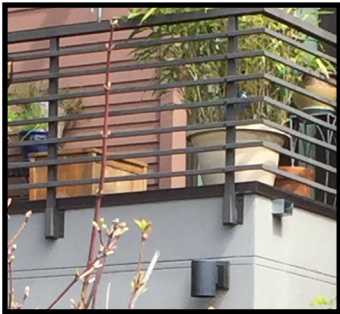
ARCHITECTURAL CONCRETE



STOREFRONT DOOR- BLACK



EAST ELEVATION



METAL RAILING- GREY



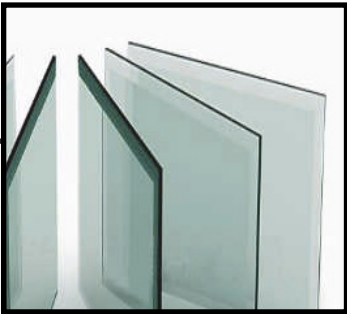
FC LAP SIDING
WOODSTOCK BROWN



FC LAP SIDING
COUNTRYLANE RED



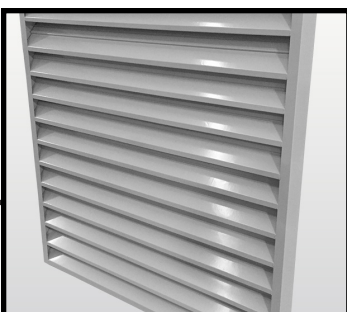
ARCHITECTURAL CONCRETE



GLASS



VPI VINYL WINDOWS
ADOBE



METAL LOUVER



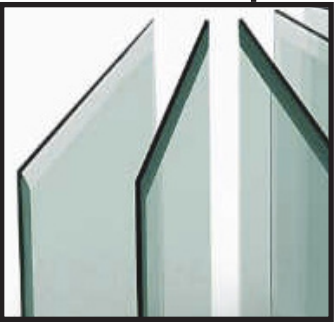
TNR GARAGE DOOR
BLACK RUBBER



WEST ELEVATION

SOUTH ELEVATION

NORTH ELEVATION



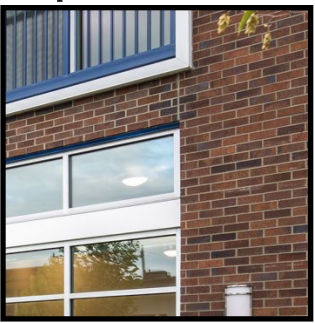
GLASS



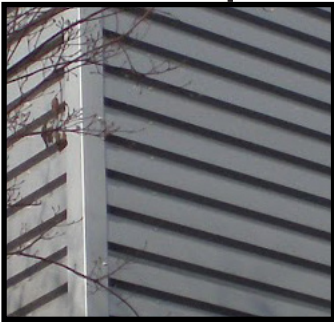
ARCHITECTURAL CONCRETE



FC LAP SIDING
WOODSTOCK BROWN



BRICK
FOREST BLEND



METAL PANEL
AEP SPAN



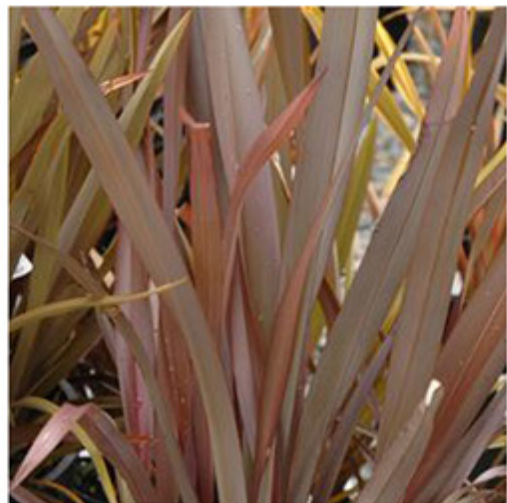
VPI VINYL WINDOWS
ADOBE



FC LAP SIDING
COUNTRYLANE RED







bronze new zealand flax



skimmia



columnar english yew



evergold sedge



mt vernon laurel



firefly heather



karl foerster feather reed grass



big blue liriop



evergreen candytuft



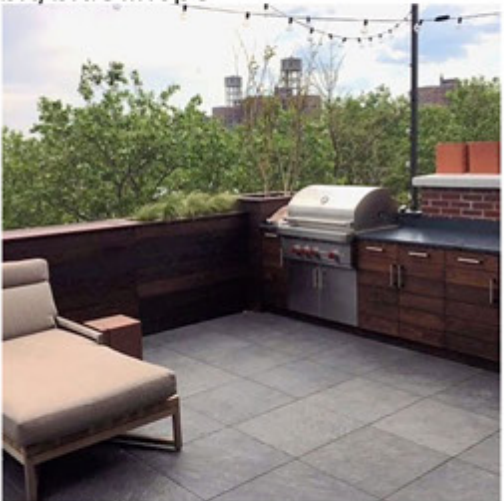
sedum green roof



bike rack



metal planter



pedestal pavers



arctic fire dogwood



BUILDING SECONDARY ID SIGN- FLAT CUT LETTERS



CANTILEVERED TENANT SIGNAGE



MULTI-FAMILY BUILDING SIGNAGE



SOUTH ELEVATION

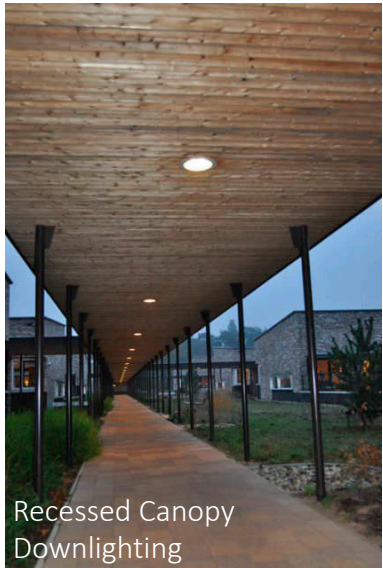
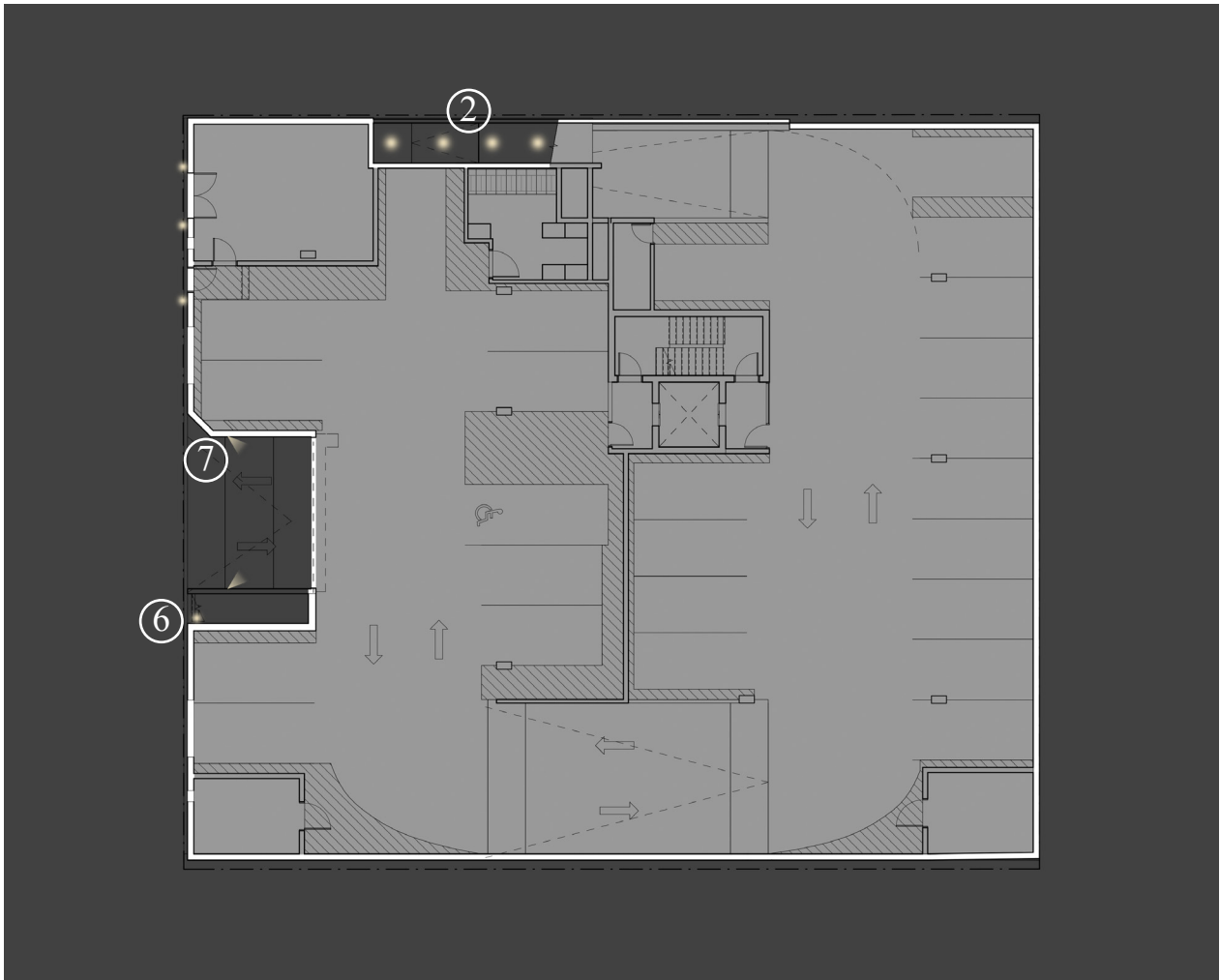


EAST ELEVATION

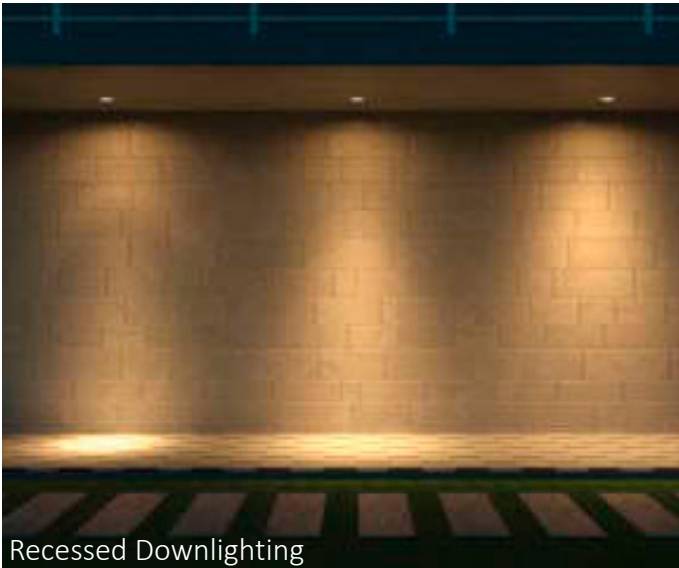
-  BUILDING SIGNAGE
-  RETAIL SIGNAGE

LIGHTING LEGEND

- ① Recessed canopy downlighting
- ② Recessed downlighting
- ③ Large decorative wall sconce (Commercial)
- ④ Small decorative wall sconce (Residential)
- ⑤ Festival rope lighting
- ⑥ Recessed step lighting
- ⑦ Directional Lighting
- ⑧ Fire Pit



Recessed Canopy Downlighting



Recessed Downlighting



Wall Sconce



Step Lighting



Step Lighting

LIGHTING LEGEND

- ① Recessed canopy downlighting
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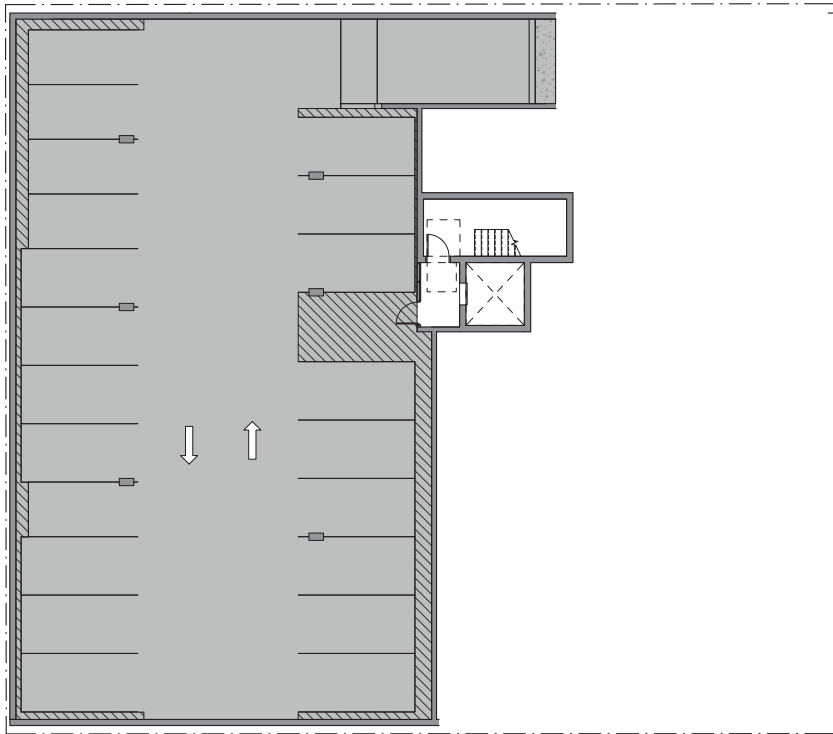
Fire Pit



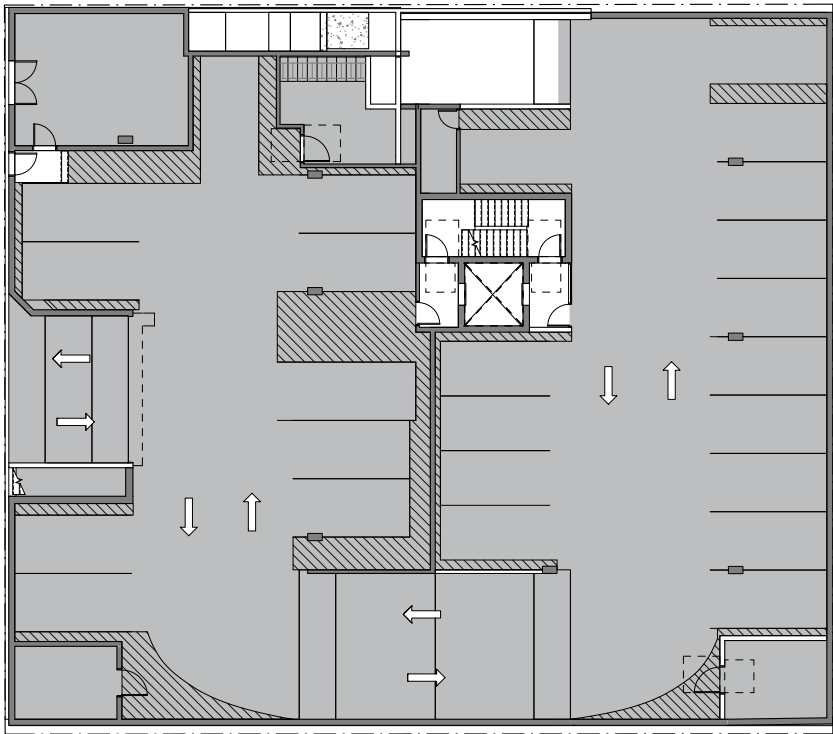
Recessed Downlighting



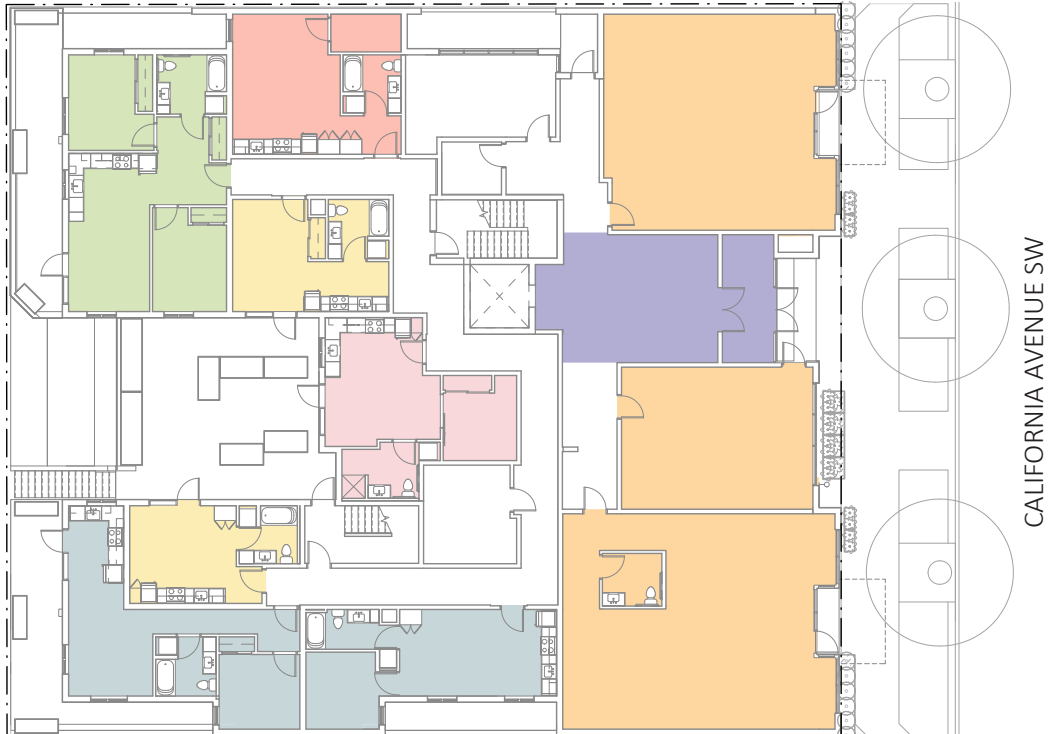
Rope Lighting



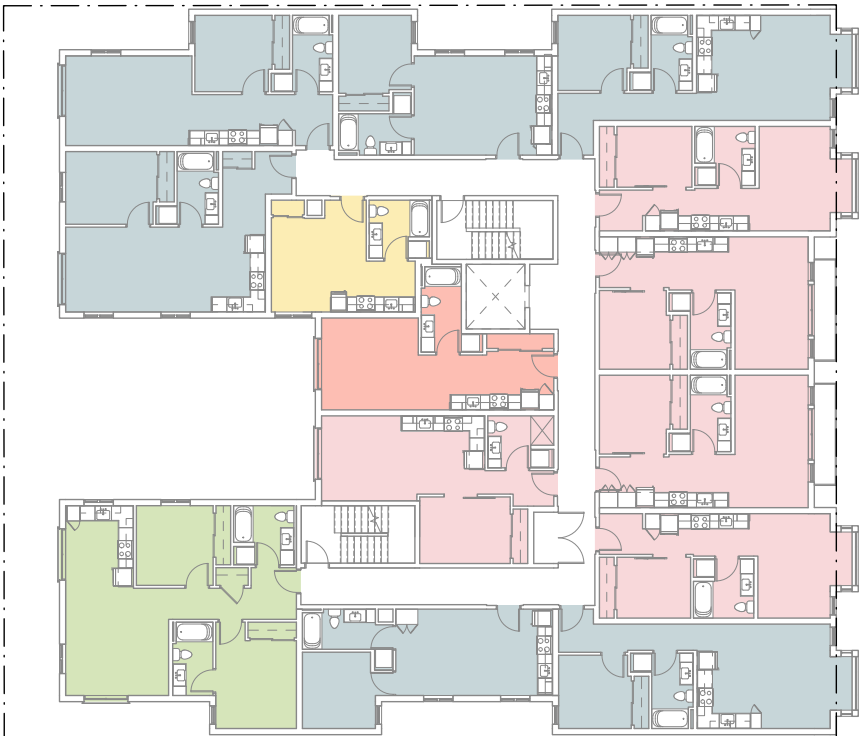
PARKING LEVEL 2



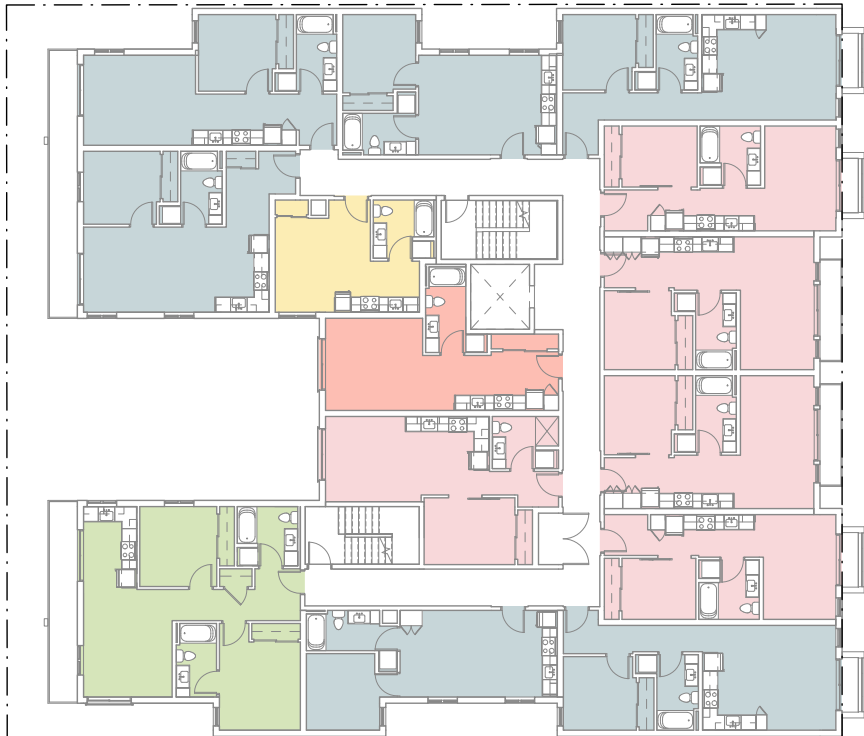
PARKING LEVEL 1



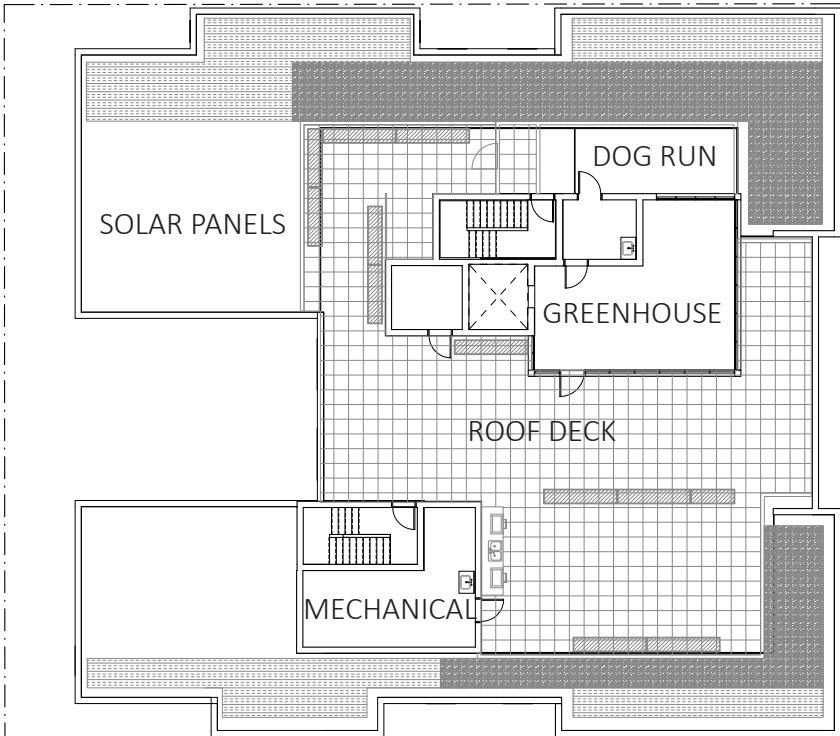
LEVEL 1



LEVEL 2-3



LEVEL 4



ROOF LEVEL

- PARKING
- LOBBY/AMENITY
- RETAIL
- SMALL EFFICIENCY
- STUDIO
- URBAN ONE BEDROOM
- ONE BEDROOM
- TWO BEDROOM