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image - Sylvia's Scenario Blog

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PROJECT INFORMATION

ADDRESS: 4754 Fauntleroy Way SW
OWNER: Holland Partner Group
ARCHITECT: Mithun
LANDSCAPE ARCHITECT: Fazio and Associates

The applicant proposes to build a 7-story mixed use structure containing 108 residential units with 10 live/work units, and parking for approximately 100 vehicles will be provided below grade and accessed from the alley to the east of the site. The building will be approximately 80' in height and approximately 127,000 gsf in total building area. The existing retail structure would be demolished. No departures are currently proposed.

..... Pedestrian District Streetscape Standards*

Design Guidelines for New Mixed Use Development*

Project Site (outside the Design Guidelines for New Mixed Use Development)

*designated by the West Seattle Junction Design Guidelines

N

FAUNTLEROY WAY APARTMENTS | DESIGN RECOMMENDATION

April 6, 2017

MITHUN

3

URBAN DESIGN ANALYSIS

EXISTING SITE

WEST SEATTLE JUNCTION URBAN VILLAGE BOUNDARY

FUTURE BUILDING: **THE WHITTAKER**

Two, 7-story structures with 389 residential units over 62,792 sq ft of retail space (Project #3013803 - under construction)

PROJECT SITE: **4754 Fauntleroy Way SW**

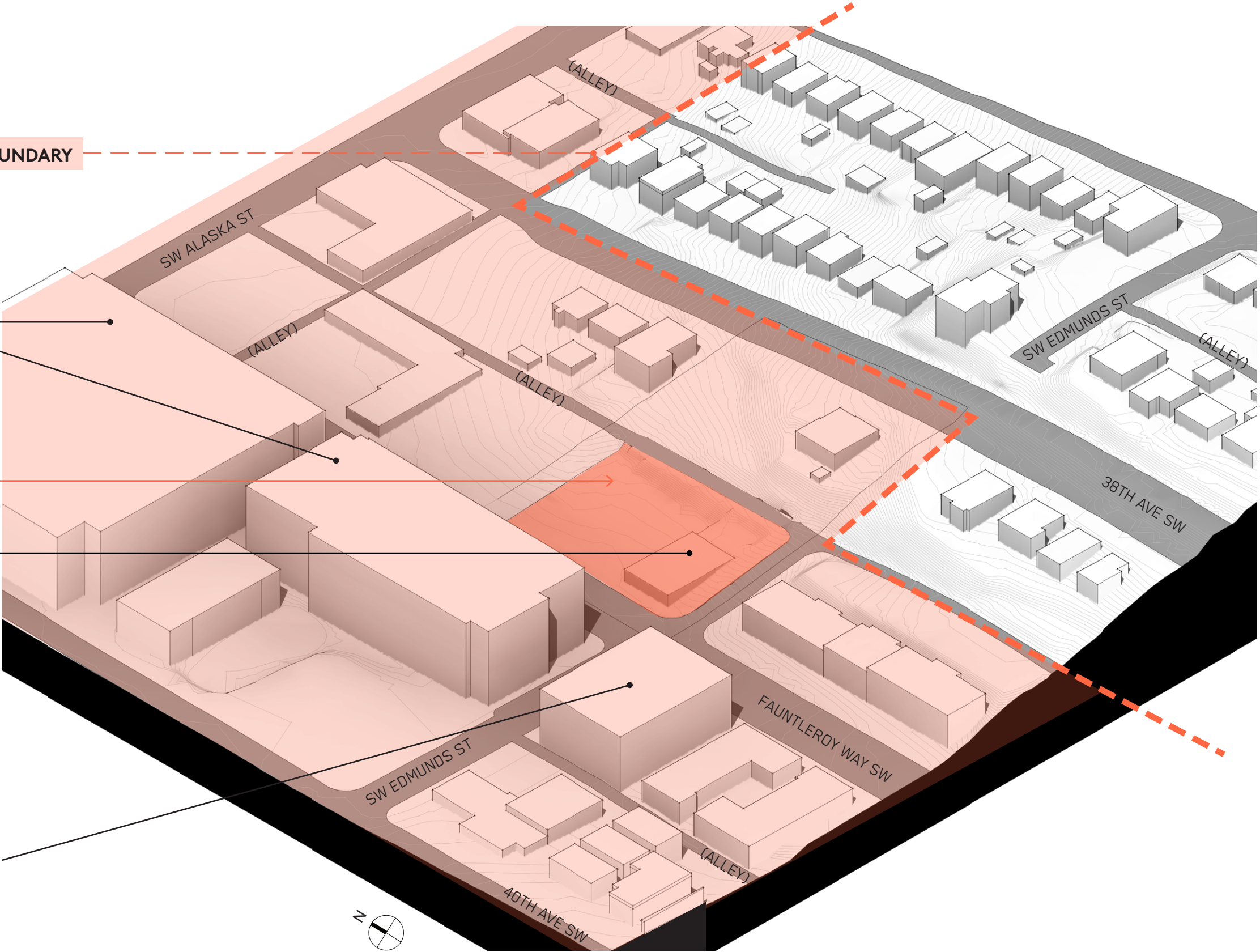
EXISTING BUILDING: **CAPITOL LOANS**

(to be demolished)



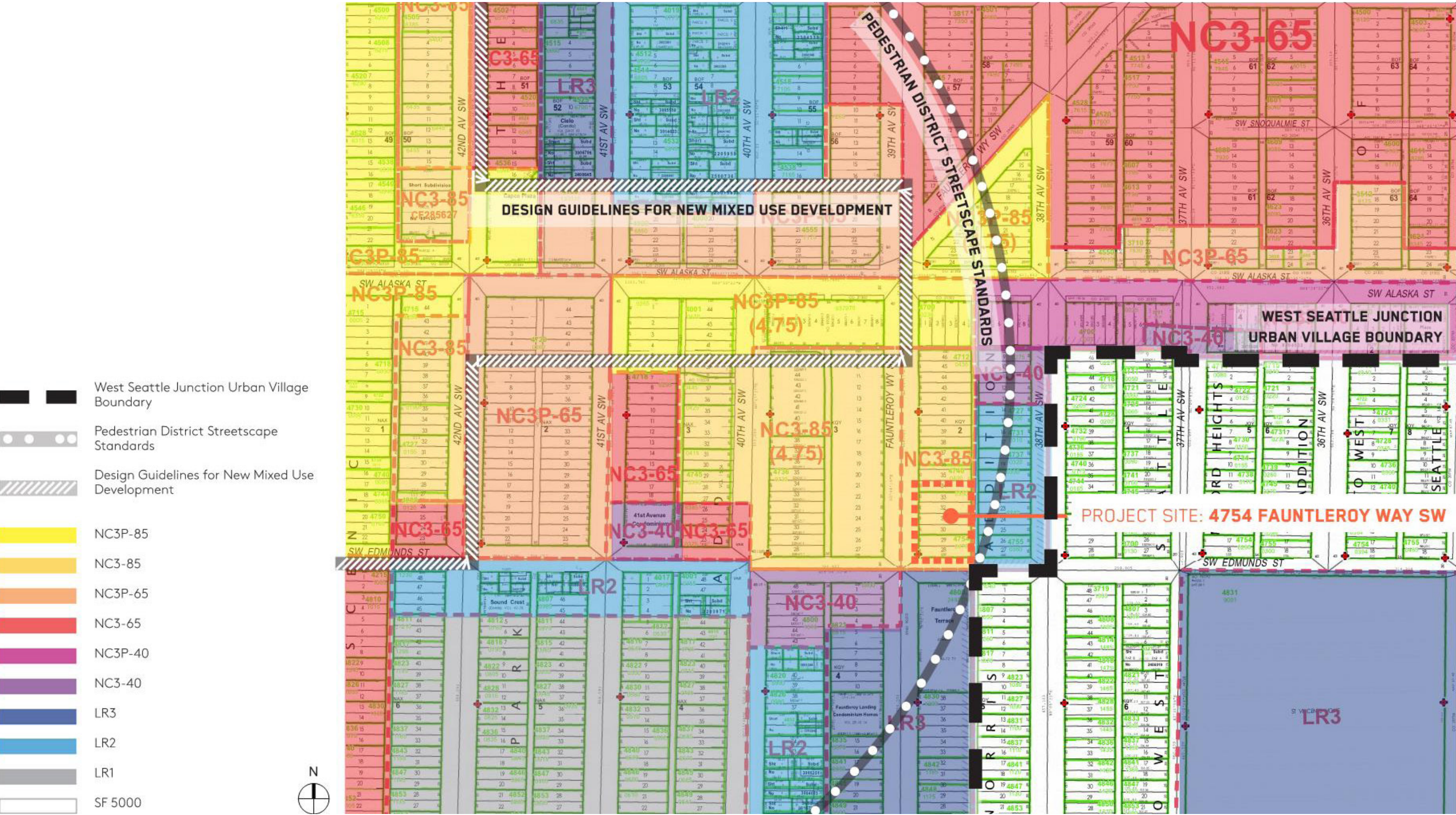
FUTURE BUILDING: **4801 FAUNTLEROY WAY SW**

4-story structure with 53 residential units, one live-work unit, and 2,575 sq ft of retail space (Project #3020235 - under review)



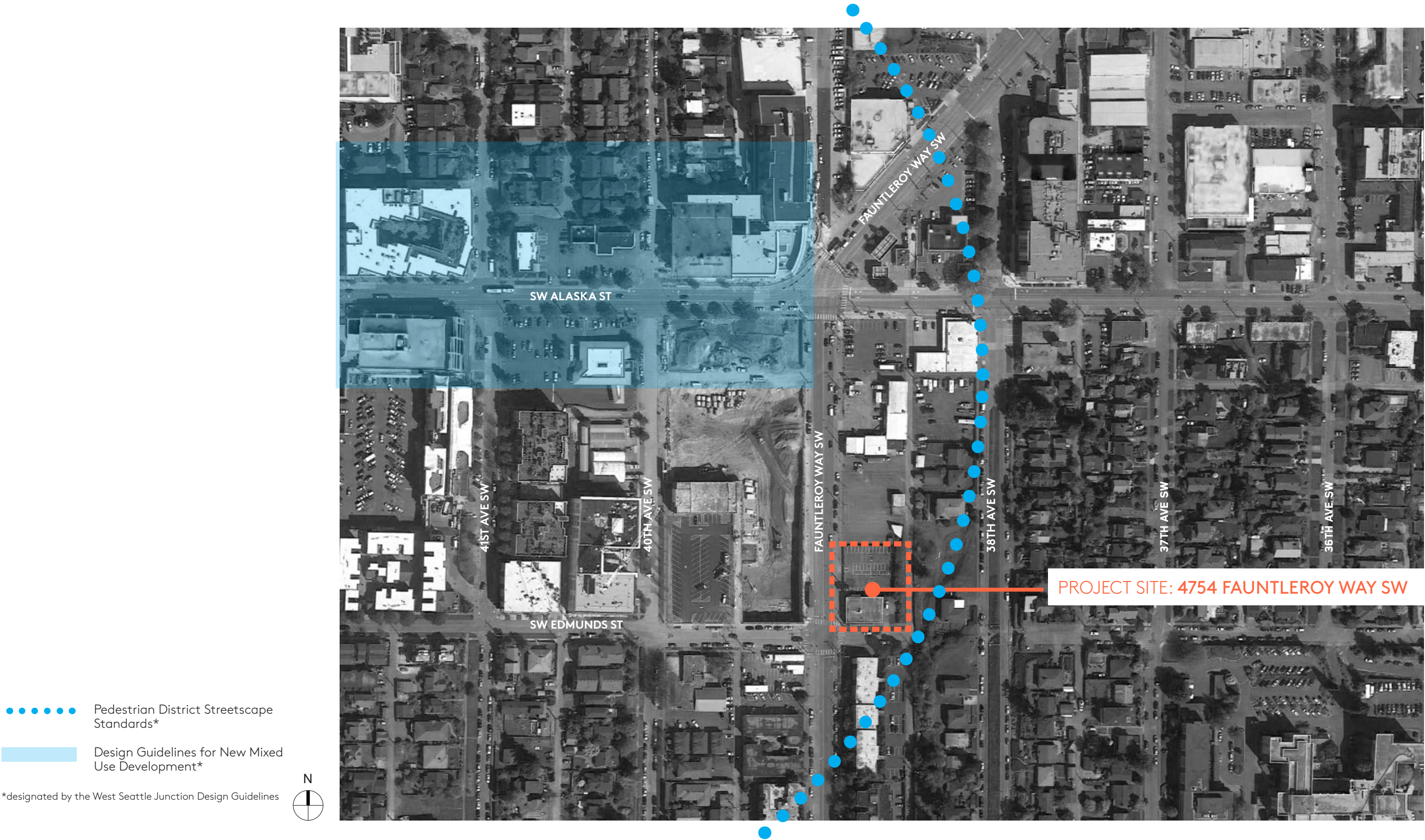
URBAN DESIGN ANALYSIS

ZONING MAP



URBAN DESIGN ANALYSIS

AERIAL PHOTOGRAPH



URBAN DESIGN ANALYSIS

SURROUNDING USES AND STRUCTURES



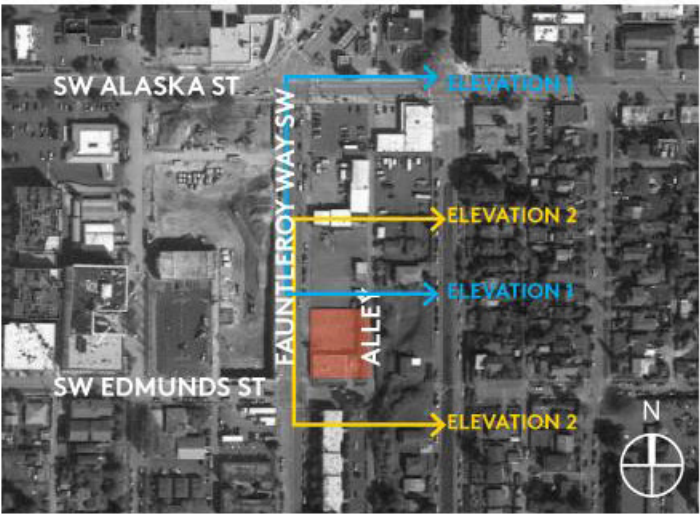
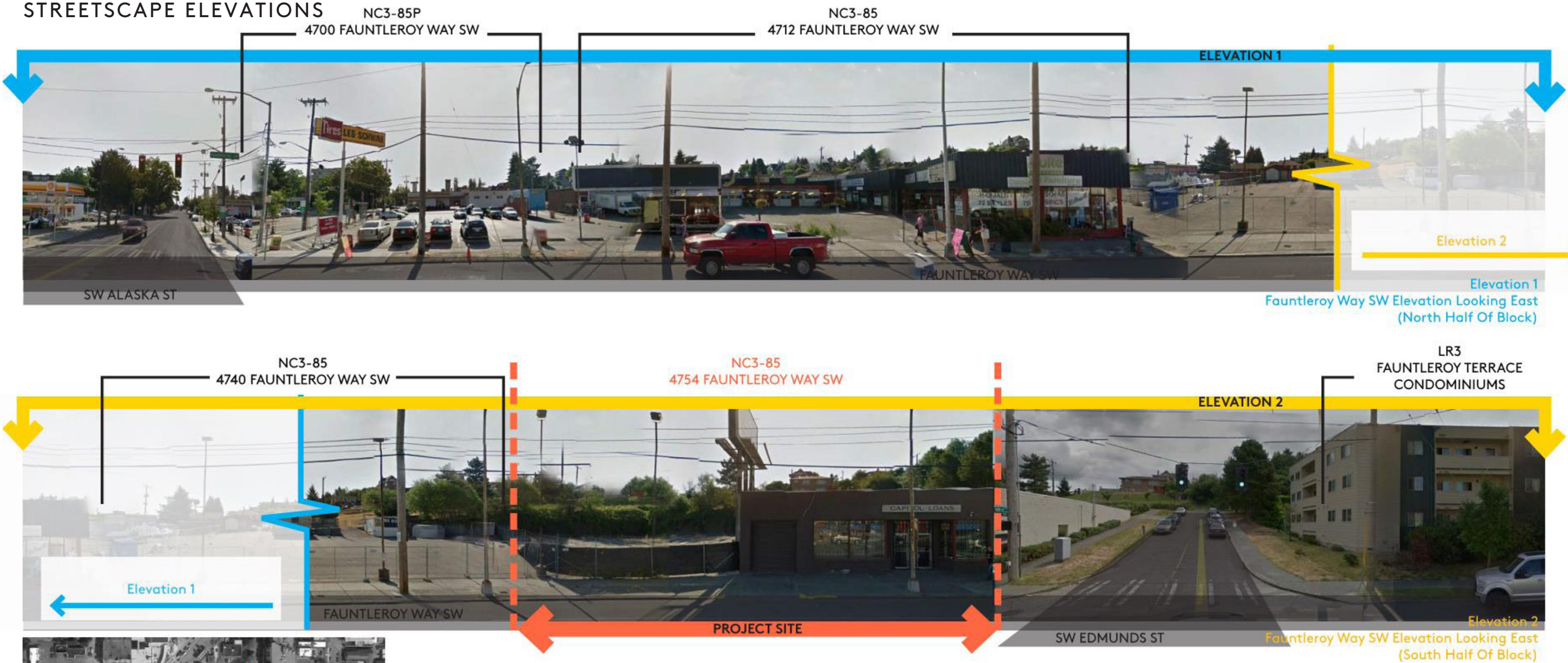
URBAN DESIGN ANALYSIS

ACCESS OPPORTUNITIES MAP



URBAN DESIGN ANALYSIS

STREETSCAPE ELEVATIONS



SITE ANALYSIS

TECHNICAL SITE INFORMATION

LOCATION: The site is located on the Northeast corner of the intersection of SW Edmunds street and Fauntleroy Way SW

LOT SIZE: 21,020 SF (0.4826 acres)

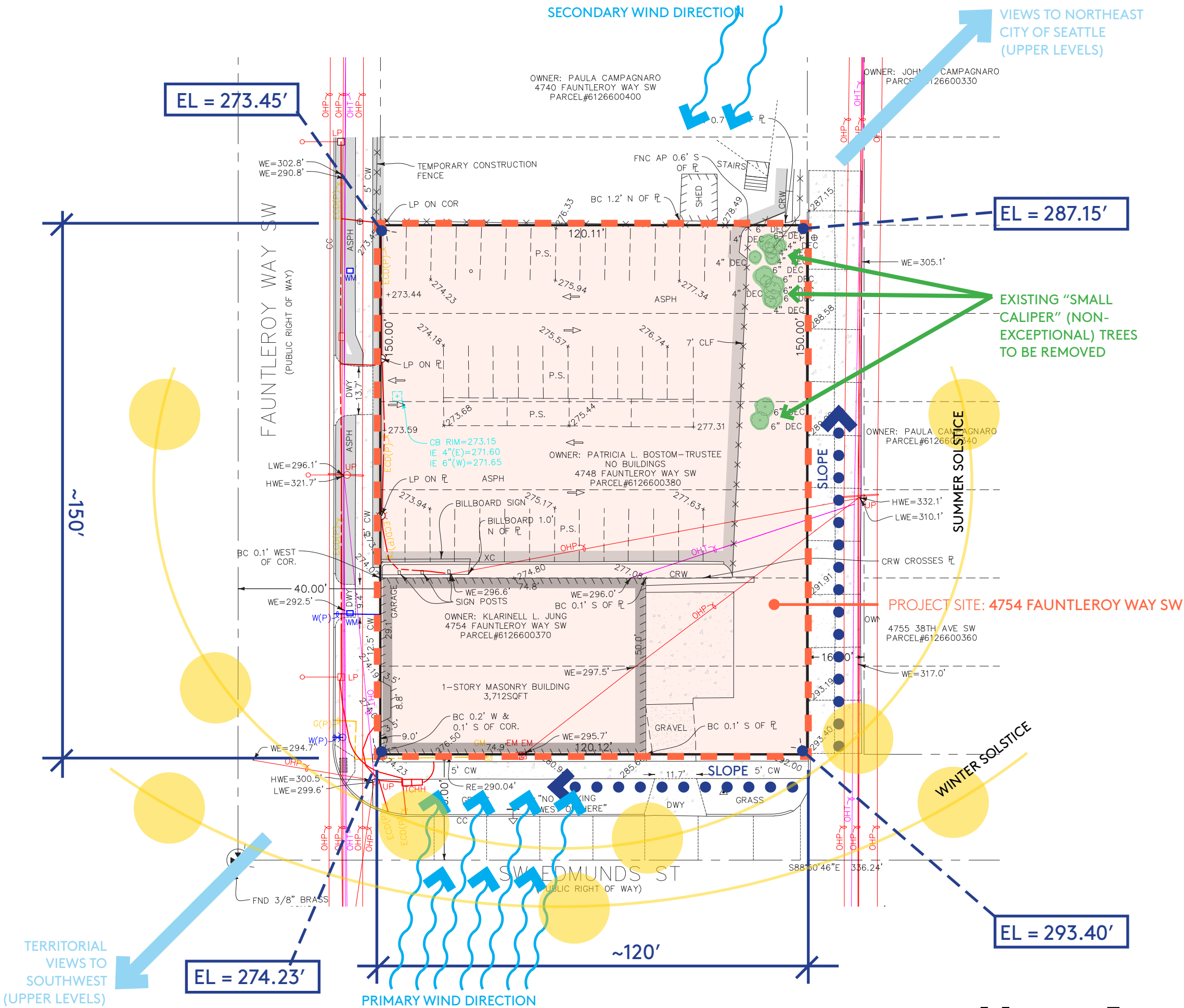
LEGAL DESCRIPTION:
North Parcel - Lots 30, 31, 32 and 33, Block 2, Norris addition to West Seattle, an addition to the City of Seattle as recorded in volume 14 of plats, page 93, records of King County, Washington. Situate in the city of Seattle, County of King, State of Washington.

South Parcel - Lots 28 and 29 in Block 2 of Norris' addition to West Seattle, as per plat recorded in volume 14 of plats, page 93, records of King County auditor; situate in the City of Seattle, County of King, State of Washington

EXISTING SITE: The project site consists of two rectangular shaped parcels bounded by Fauntleroy Way SW on the west, SW Edmunds Street to the south, a 16 foot wide paved alley to the east and a vacant parking lot to the north. An existing one story vacant commercial building currently occupies the southern parcel and an existing paved parking lot occupies the northern parcel. The combined parcels are approximately 18,000 square feet. The combined parcels measure approximately 150' north to south and 120' east to west.

The site slopes steeply up SW Edmunds Street to the alley with an overall grade change of approximately 20 feet (16% slope). The alley slopes down from SW Edmunds Street to the north approximately six feet. Fauntleroy Way SW slopes gently down to the north approximately one foot.

A cluster of trees of +/-6" caliper exist along the alley to the north and are not considered exceptional. Overhead high voltage power lines run along the east side of the alley.



ZONING DATA

LAND USE CODE

ZONE.	NC3-85 (Neighborhood Commercial 3, 85' height limit),	
URBAN CENTER OVERLAY.	West Seattle Junction Hub Urban Village overlay.	
23.47A.005.C – STREET LEVEL USES.	Residential uses at street level are limited in aggregate to 20% of the street-level street facing façade. This applies to this site since it resides in a zone that is 85' or higher.	<ul style="list-style-type: none">•Live/work non-residential use is provided along Fauntleroy and Edmonds except for the corner residential lobby and entry which is less than 20% of the façade length of each street.
23.47A.008 – STREET-LEVEL DEVELOPMENT STANDARDS.	<ul style="list-style-type: none">•Location:<ul style="list-style-type: none">-Street level, street facing facades must be located within 10-feet of the street lot line, except for sidewalks, plazas, or open space is provided.•Depth of non-residential uses at grade:<ul style="list-style-type: none">-Non-residential uses shall extend an average depth of at least 30' and a minimum depth of 15' measured from the street facing façade.-No more than 50% of the structure's footprint is required to be non-residential.•Height:<ul style="list-style-type: none">-13' minimum floor-to-floor height for non-residential uses.•Live/work units:<ul style="list-style-type: none">-Permitted along street-level, street-facing facades.	<ul style="list-style-type: none">•Provided sidewalks, plaza and open space at the ground level between the property line and the building façade.•Provided non-residential use is an average depth of 30', and a minimum depth of 15' measured from the street level, street facing façade along Fauntleroy Way and SW Edmonds Street.
23.47A.012 – STRUCTURE HEIGHT.	•85' height limit.	•Provided 13' minimum floor-to-floor height at the street level shall be provided along Fauntleroy Way and SW Edmonds Street for non-residential uses.
23.47A.013 – FLOOR AREA RATIO.	•FAR limit is: <ul style="list-style-type: none">-4.5 for any single use within a mixed-use structure.-6 for all uses on lot occupied by a mix of uses.	<ul style="list-style-type: none">•Provided 13' minimum floor-to-floor height at the street level shall be provided along Fauntleroy Way and SW Edmonds Street for non-residential uses.•Live/work units are provided along Fauntleroy and SW Edmonds Street.•Provided approximately 79'-10".
23.47A.014 – SETBACK REQUIREMENTS – EXHIBIT C FOR 23.47A.014 SETBACKS FOR STRUCTURES WITH RESIDENTIAL USES WHEN ABUTTING A RESIDENTIALLY-ZONED LOT.	<ul style="list-style-type: none">•Setbacks are required for lots that abut a residentially zoned lot or across the alley from a residentially zoned lot.<ul style="list-style-type: none">-A setback of fifteen feet for portions of the structure above 13 feet in height to a maximum of 40'.-Above 40' in height, additional setback at the rate of 2 feet setback for every 10-feet by which the structure exceeds 40' (23.47A.014.B.3.a).-One-half the width of an abutting alley may be counted as part of the required setback. The alley width and the location of the rear lot line shall be determined prior to any dedication that may be required for alley improvement purposes (23.47A.014 B.4).	<ul style="list-style-type: none">•LR2 Across Alley - Project complies with residential setback requirements across the alley from the residential zone. 17'-25' setback provided from 13'-40' in height.•NC3-85 Adjacent Site – No setbacks required.•LR3 Across Edmonds – No setbacks required.•NC3-85 Across Fauntleroy – No setbacks required.
23.47A.016 – LANDSCAPING AND SCREENING STANDARDS.		<ul style="list-style-type: none">•Greenfactor score of 0.3 or greater is required.•Street trees are required.•Greenfactor score of 0.3 will be provided with site and ROW landscaping.•The Director, in consultation with the Director of Transportation, will determine the number, type and placement of street trees to be provided.
23.47A.024 – AMENITY AREA.		<ul style="list-style-type: none">•Amenity areas are required in an amount equal to 5% of the total gross floor area in residential use. Excludes mechanical and parking area.<ul style="list-style-type: none">-May not be enclosed-Minimum horizontal dimension of 10-feet, no less than 250 SF.-Private balconies and decks shall have a minimum area of 60 SF and no horizontal dimension shall be less than 6-feet.-All residents shall have access to at least one private amenity area.
23.47A.030 – REQUIRED PARKING AND LOADING.		<ul style="list-style-type: none">•Off-street parking per requirements of 23.54.015•Loading berths are required for certain commercial uses according to the requirements of Section 23.54.035.•No parking is required for residential use within an urban village if with 1,320 feet of a street with frequent transit service.•Project is providing 103 below grade parking spaces.
23.47A.032 – PARKING LOCATION AND ACCESS.		<ul style="list-style-type: none">•Access:<ul style="list-style-type: none">-Access to parking shall be from the alley, or if the Director determines that alley access is infeasible, the Director may allow street access.•Parking access is provided from the southern alley location.
23.54.040- SOLID WASTE & RECYCLABLE MATERIALS STORAGE AND ACCESS.	<ul style="list-style-type: none">•Shared Storage Space for Solid Waste Containers<ul style="list-style-type: none">-if 100 or more units 575 square feet plus 4 square feet for each additional unit above 100.-50 percent of the requirement for non-residential development (125 sf).	$575sf + (4sf \times 8) = 607sf$ $125sf \times .5 = 63sf$ $607sf + 63sf = 670sf \text{ total}$



SITE PHOTOS

ELEVATION OF SITE FROM SW EDMUNDS ST LOOKING NORTH

THE WHITTAKER (SOUTH BUILDING)



SITE PHOTOS

ELEVATION OF SITE FROM SW EDMUNDS ST LOOKING EAST

THE WHITTAKER (SOUTH BUILDING)

FAUNTLEROY WAY CONDOMINIUMS



SITE ANALYSIS

SURROUNDING SITES CONTEXT INFORMATION

ADDRESS: 4748 Fauntleroy Way SW
PARCEL: #6126600380
EXISTING BUILDING: None - Vacant Commercial
LOT AREA: 12,000 sf

ADDRESS: 4754 Fauntleroy Way SW
PARCEL: #6126600370
EXISTING BUILDING: Retail Store - Capitol Loans
LOT AREA: 6,000 sf

Future Mid Block Connection

Important Pedestrian Connector

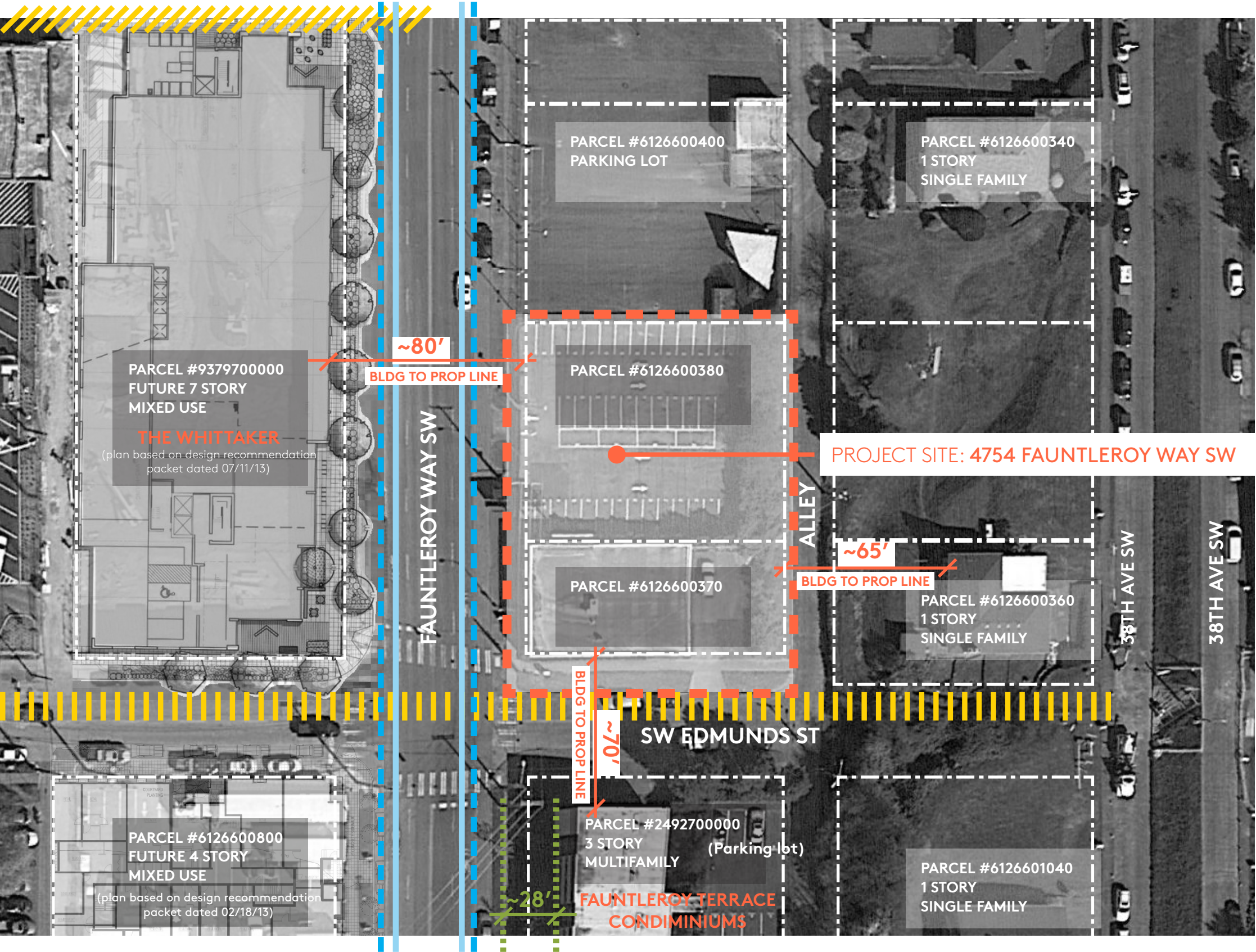
Metro Transit Route

Bicycle Friendly Route

Front Yard Setback

Parcels

N



DEVELOPMENT OBJECTIVES

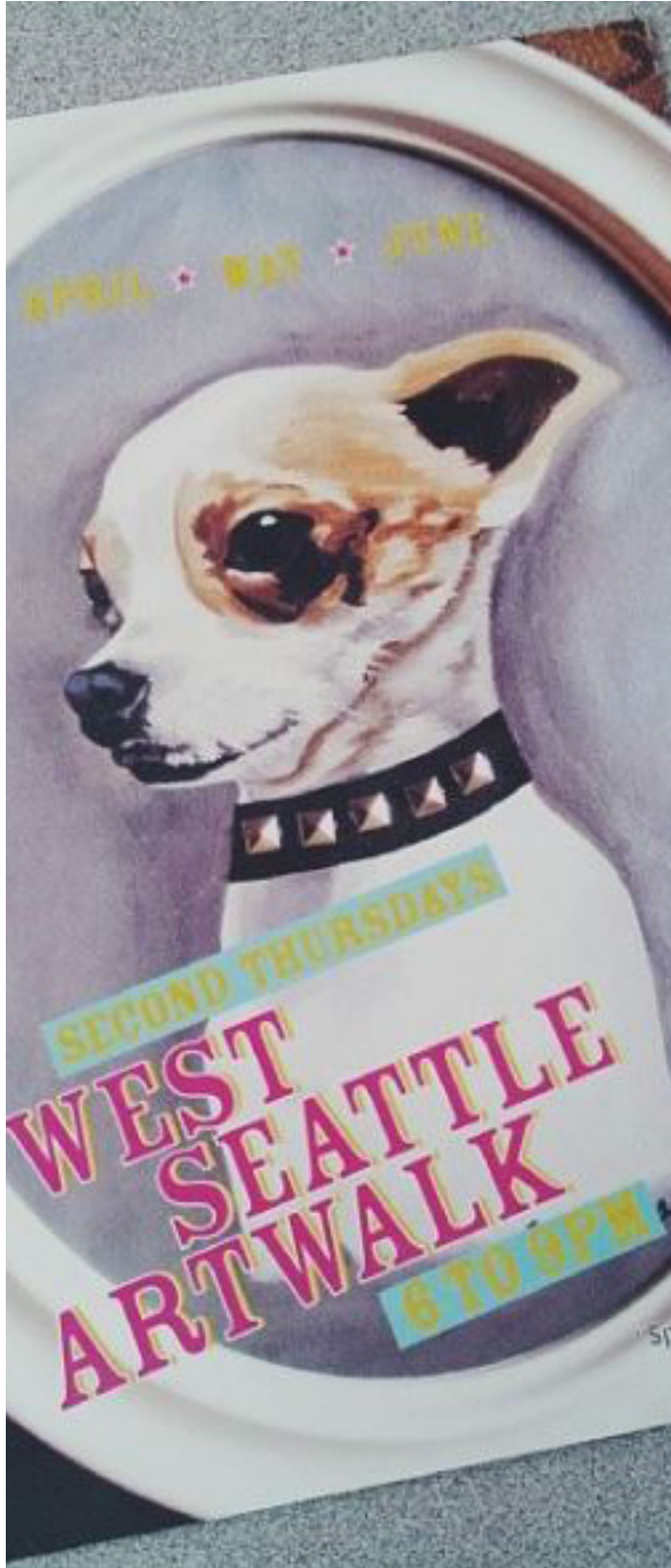


image - @westseattlejunction instagram

Our objective is to provide walkable, transit-oriented housing, with activated ground level live-work units for West Seattle residents that fit within the neighborhood's current and future context

- Create a **VIBRANT PEDESTRIAN ENVIRONMENT** with landscaping and well organized live-work entries
- **ACTIVATE AND PROMOTE PEDESTRIAN STREET ACTIVITY WHILE PROVIDING A TRANSITION** from the commercial zone to the residential zones at the pedestrian level.
- Support SW Edmunds Street as an **IMPORTANT PEDESTRIAN CONNECTOR FROM THE COMMERCIAL ZONE TO THE RESIDENTIAL ZONE** to the east as noted in the West Seattle Junction Urban Village plan.
- Work with the topography to establish a **STRONG CONCEPTUAL APPROACH TO MASSING** of building with 3 elements working in harmony: a ground related base; a simple residential mass reflecting the urban pattern and form along Fauntleroy; and a setback and modulated residential form along the east allowing for greater separation from the low-rise zone.
- Focus on a **HOLISTIC DESIGN THAT UNIFIES RESIDENTIAL AND NON-RESIDENTIAL USES** around all facades of the project.
- Provide a **SIMPLIFIED APPROACH TO MODULATION** that is expressive of the form and detailing of the project.
- Take cues from the surrounding sites by **INCREASING THE SETBACKS** at the alley, responding at the corner to the precedent across Fauntleroy (not required) and responding to the front yard setback along Fauntleroy of the condominiums across Edmunds.
- Design the ground level plaza and upper level amenity deck to **TAKE ADVANTAGE OF SOLAR EXPOSURE** on west and south sides.

DESIGN CONCEPT - THE FOUNDRY

EDG APPROVED OPTION



image - Shanna Christie (via SPD Blotter)

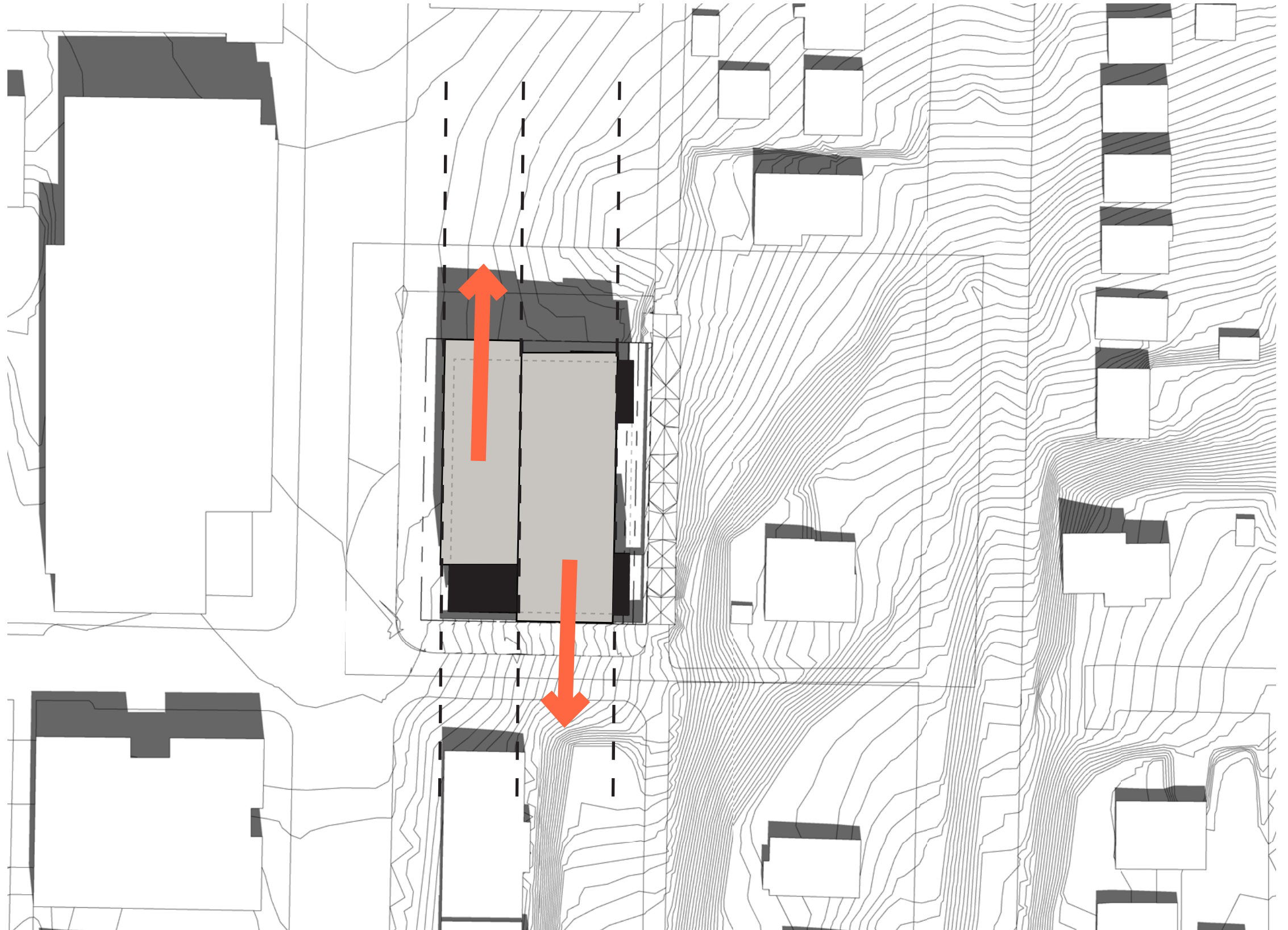
DESIGN CONCEPT - THE FOUNDRY

EDG APPROVED OPTION

- Using cues from the neighborhood of West Seattle, the preferred design concept uses some of the industrial language of the history and context of the site.
- The design concept of the foundry is rooted in the familiar view of West Seattleites as they cross over the West Seattle bridge over the Nucor steel plant. The hot steel bars slide past each other and activate the industrialized process of steel production.
- The building is designed as two bars sliding past each other and held together by a heavy base. The language of light and heavy is expressed through different materials that are integrated through all facades to keep the building designed as a cohesive form.



images - Shanna Christie (via SPD Blotter) and Seattle Times



EDG DESIGN PROPOSAL

APPROVED OPTION

PROS:

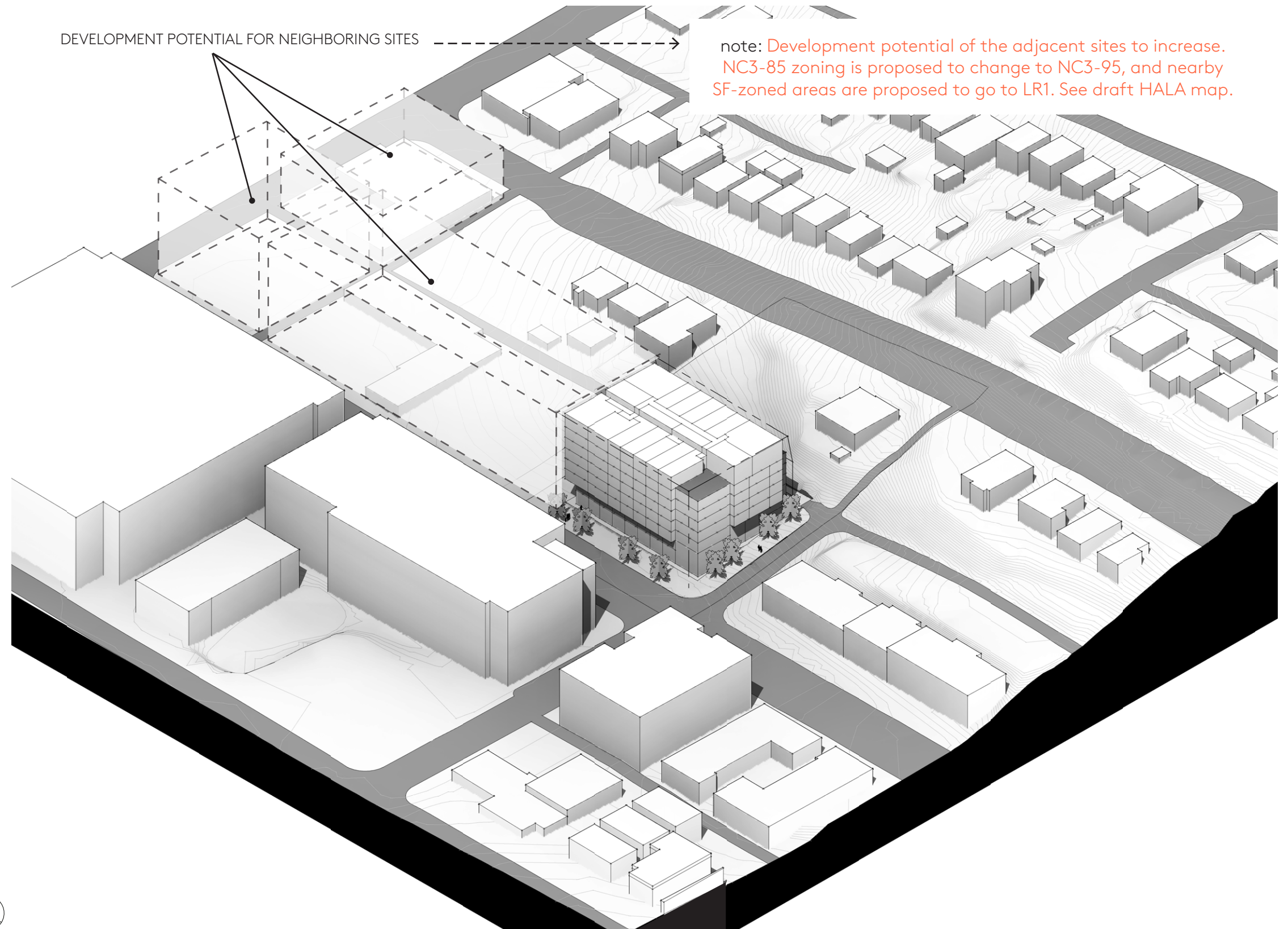
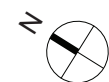
- The building supports SW Edmunds St as an important pedestrian connector through the commercial zone to the residential zone, as well as creating a pedestrian oriented streetscape through an increased 14' +/- setback from the property line along Fauntleroy Way
- The primary entry is located through a vibrant pedestrian oriented plaza at the corner of Fauntleroy & Edmunds
- Simple, modulated massing responds to the existing context and allows for a strong conceptual approach that is appropriate for the scale of the building
- The SW corner modulation reflects the massing of The Whittaker building across Fauntleroy and is encouraged by the West Seattle Design Guidelines
- The massing nests itself within the topography and fits within the current zoning setbacks.
- An integrated design between residential and non-residential uses connects the neighborhood at a site, merging low and high density zones to the west and east of the site
- Live/work units are optimally sized and have a full 2nd level of living area, allowing the ground level to be dedicated to work. The live work units have been elevated above the sidewalk to create privacy, texture and visual interest from the street.
- Parking is accessed through the alley

CONS:

- Non-residential FAR is not maximized

POTENTIAL DEPARTURES:

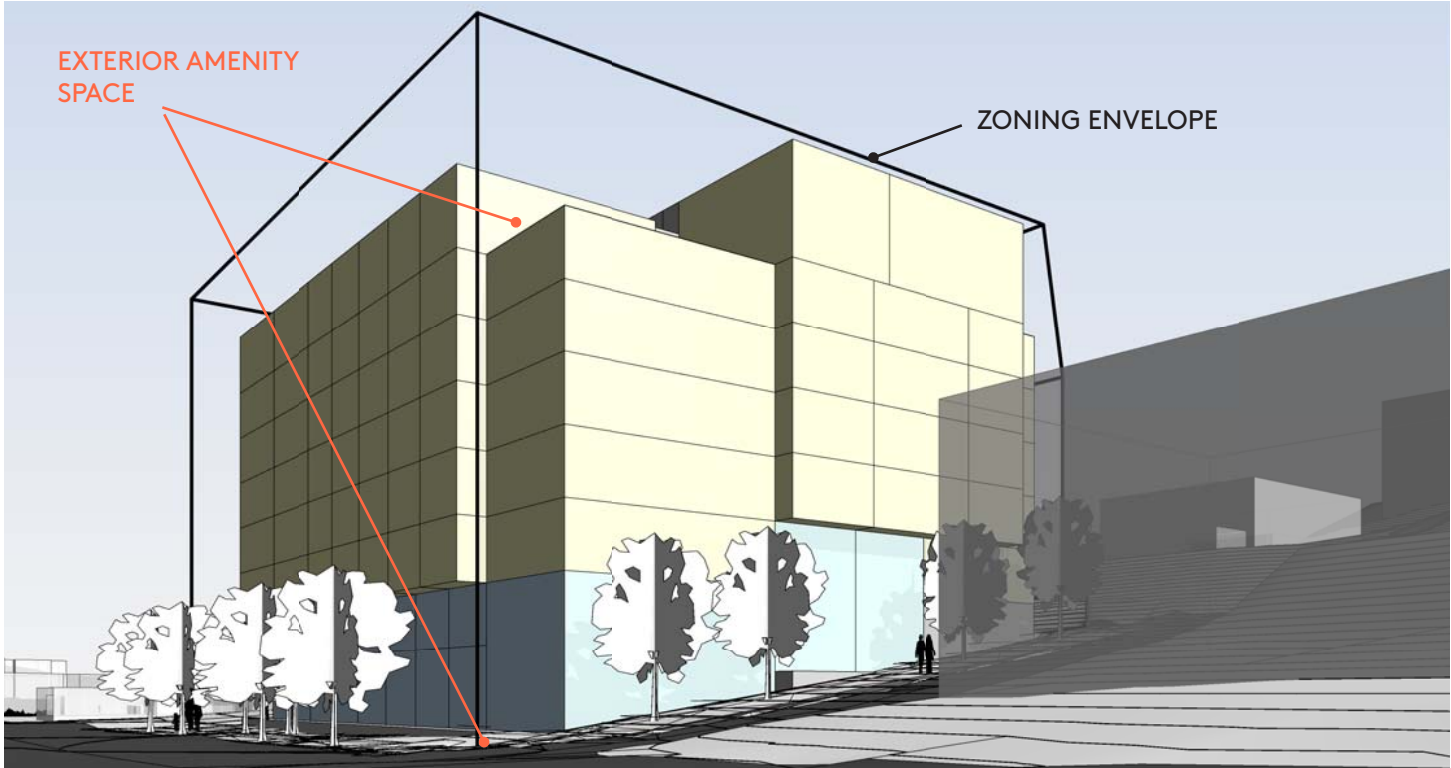
- None



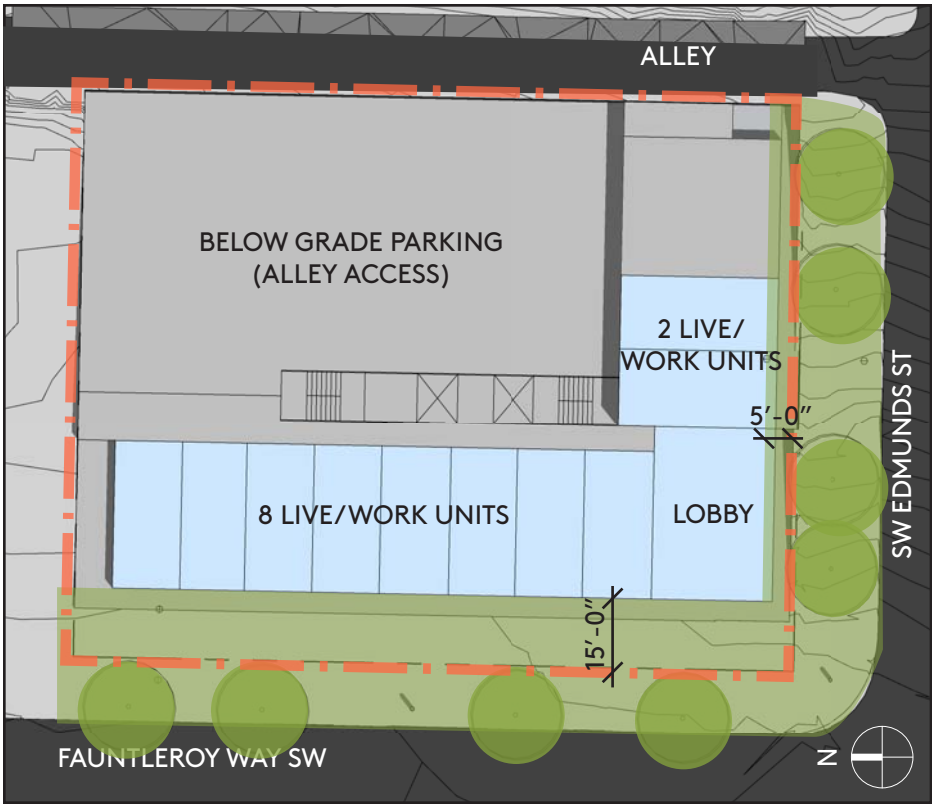
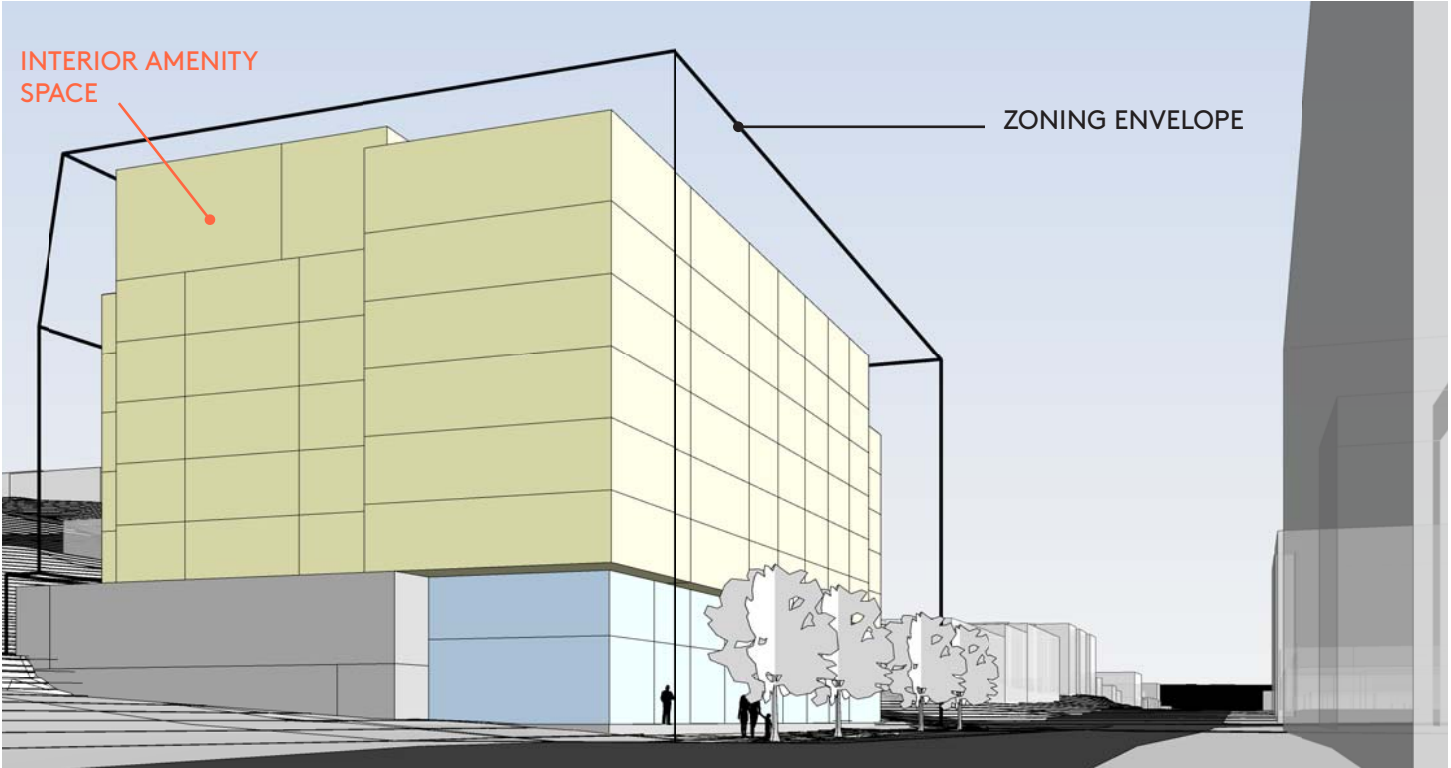
EDG DESIGN PROPOSAL

APPROVED OPTION

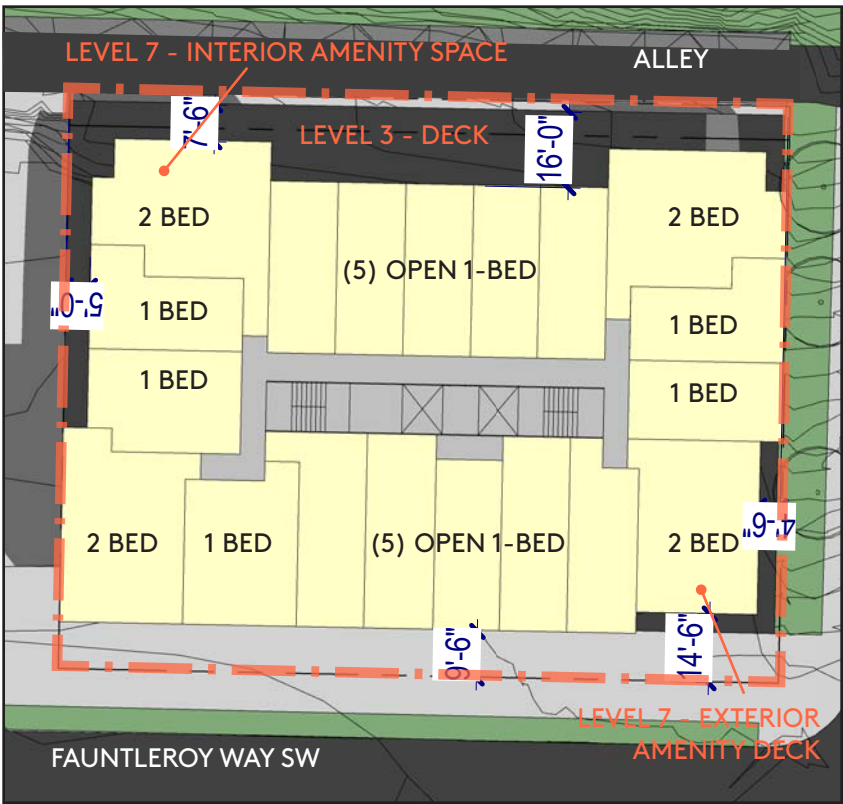
Street Level View 1 from Southwest



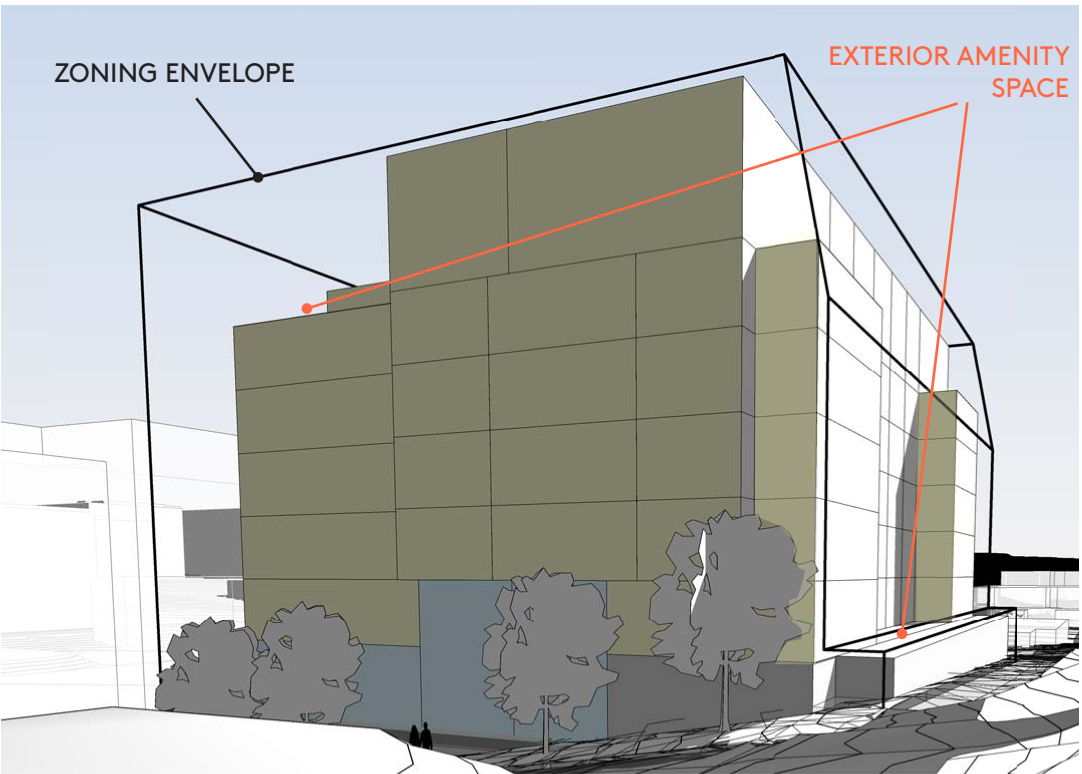
Street Level View 2 from Northwest



Ground Level Plan Diagram



Typical Upper Level Plan Diagram

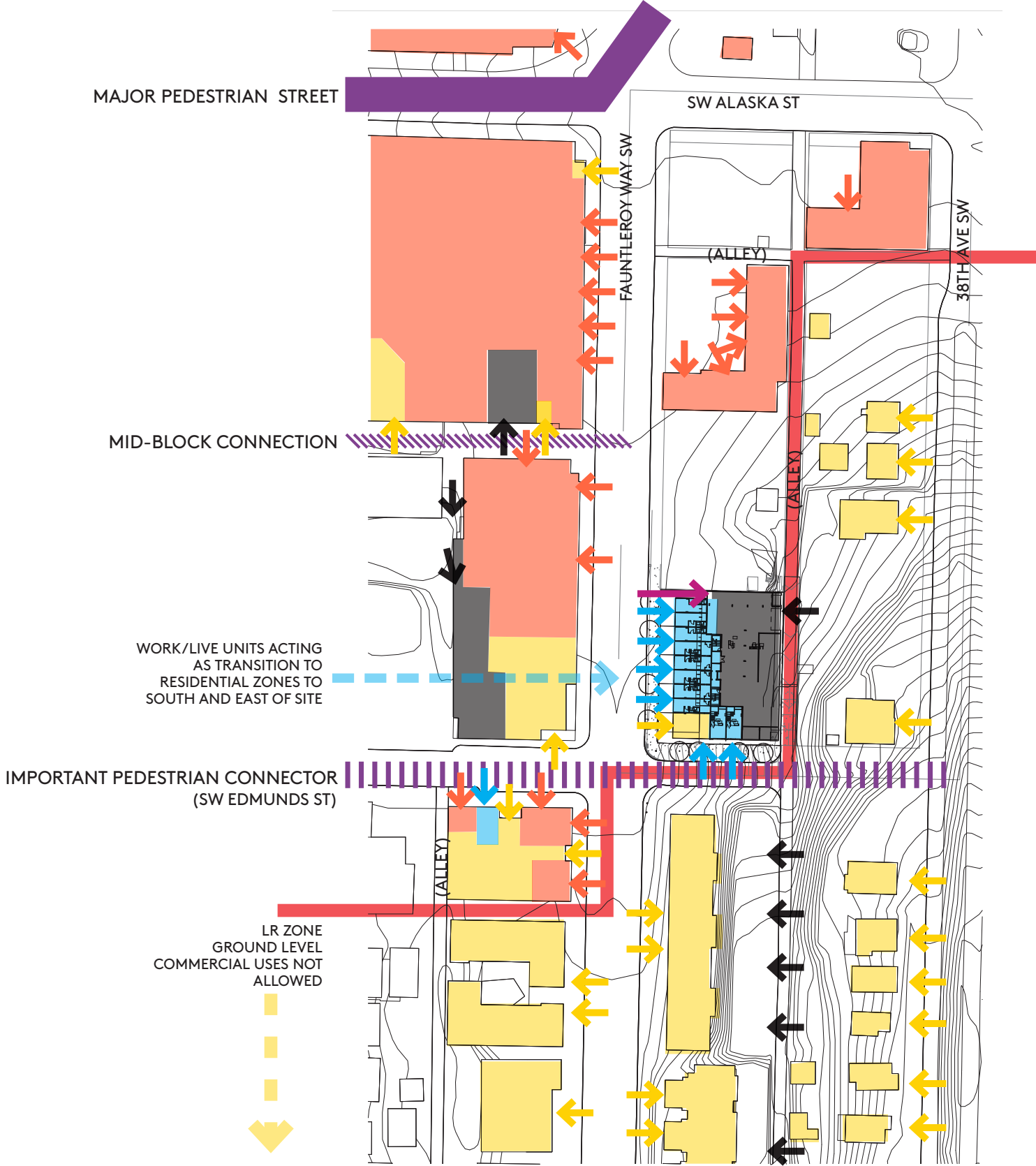
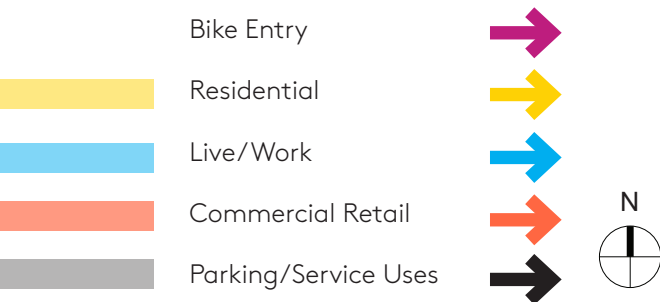


Street Level View 3 from Northeast

EDG DESIGN PROPOSAL

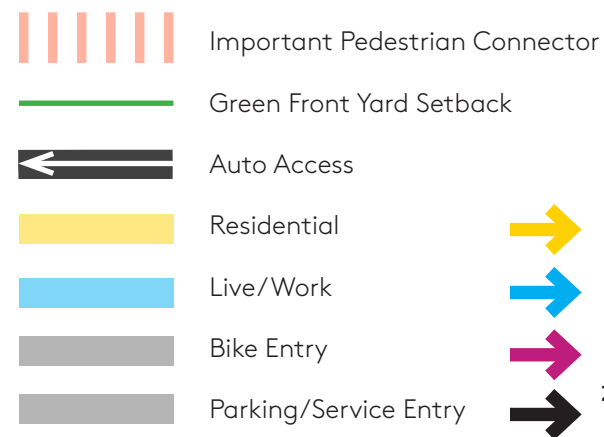
APPROVED OPTION - USES AND ENTRIES AT GROUND LEVEL

- Connection between primarily residential uses at south and east of site to primarily commercial uses at north and west of project site are bridged with work/live uses to be inhabited by appropriate density of commercial activity
- Commercial entry at corner of Edmunds and Fauntleroy, activating corner of street with relationship to The Whittaker project
- No entries along Fauntleroy across from project site at The Whittaker
- Alley access to parking structure similar to Fauntleroy Way Condominiums
- Entries to Live/Work units activated along both Fauntleroy Way and Edmunds Street



APPROVED OPTION - GROUND FLOOR PLAN

- Ground level setback is similar to Fauntleroy Terrace Condominiums
- Enhanced pedestrian streetscape provides a transition from the heavier use commercial zone to the north



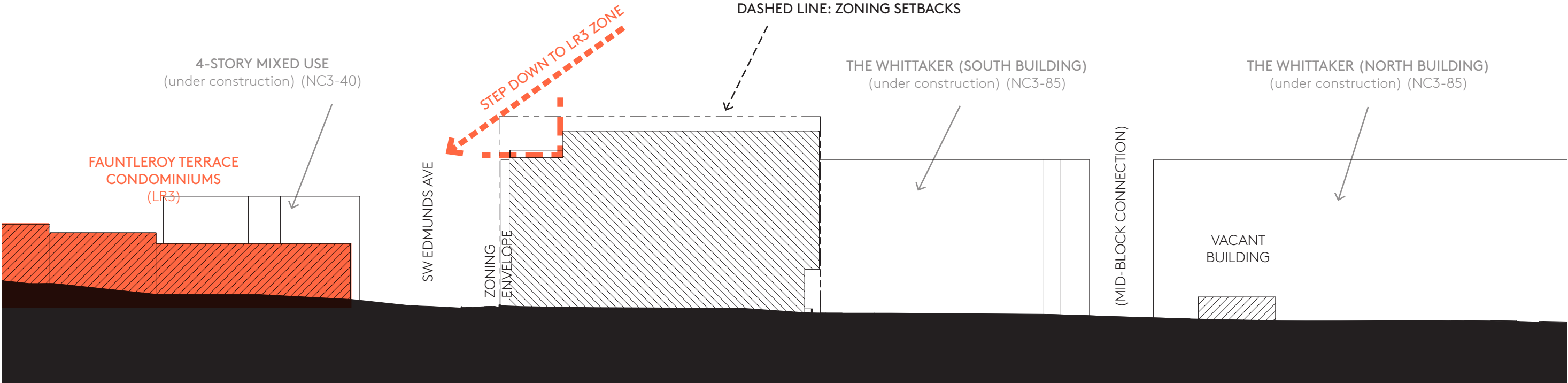
DESIGN PROPOSAL

APPROVED OPTION - CONCEPTUAL SKETCH FROM SOUTHWEST

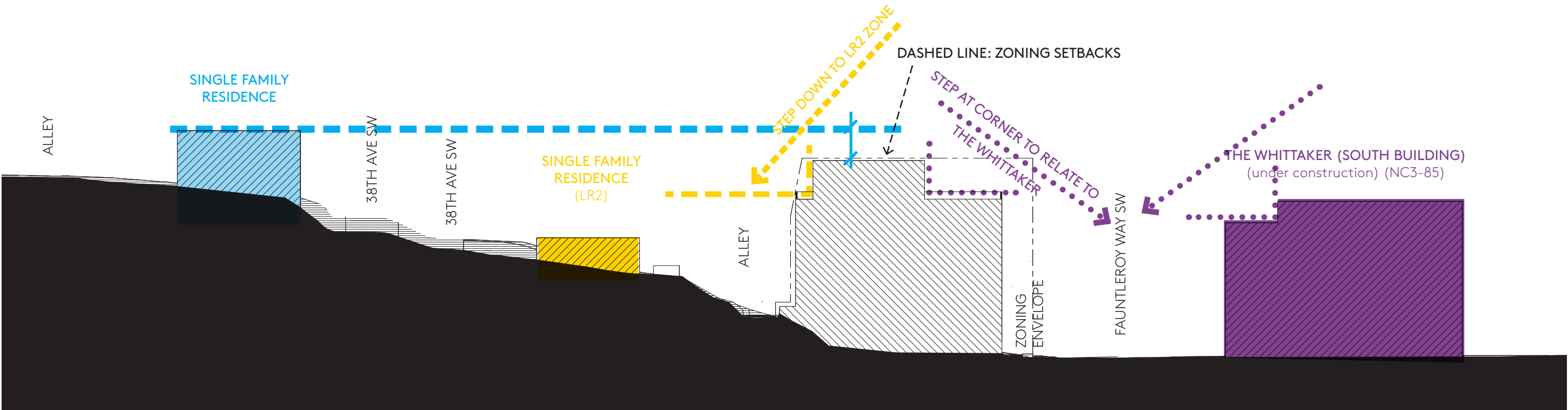


APPLICANT PRIORITY DESIGN GUIDELINES

URBAN PATTERN AND FORM - HEIGHT, BULK, SCALE



Site Section Parallel To Fauntleroy Ave SW Looking West



Site Section Parallel To SW Edmunds St Looking South

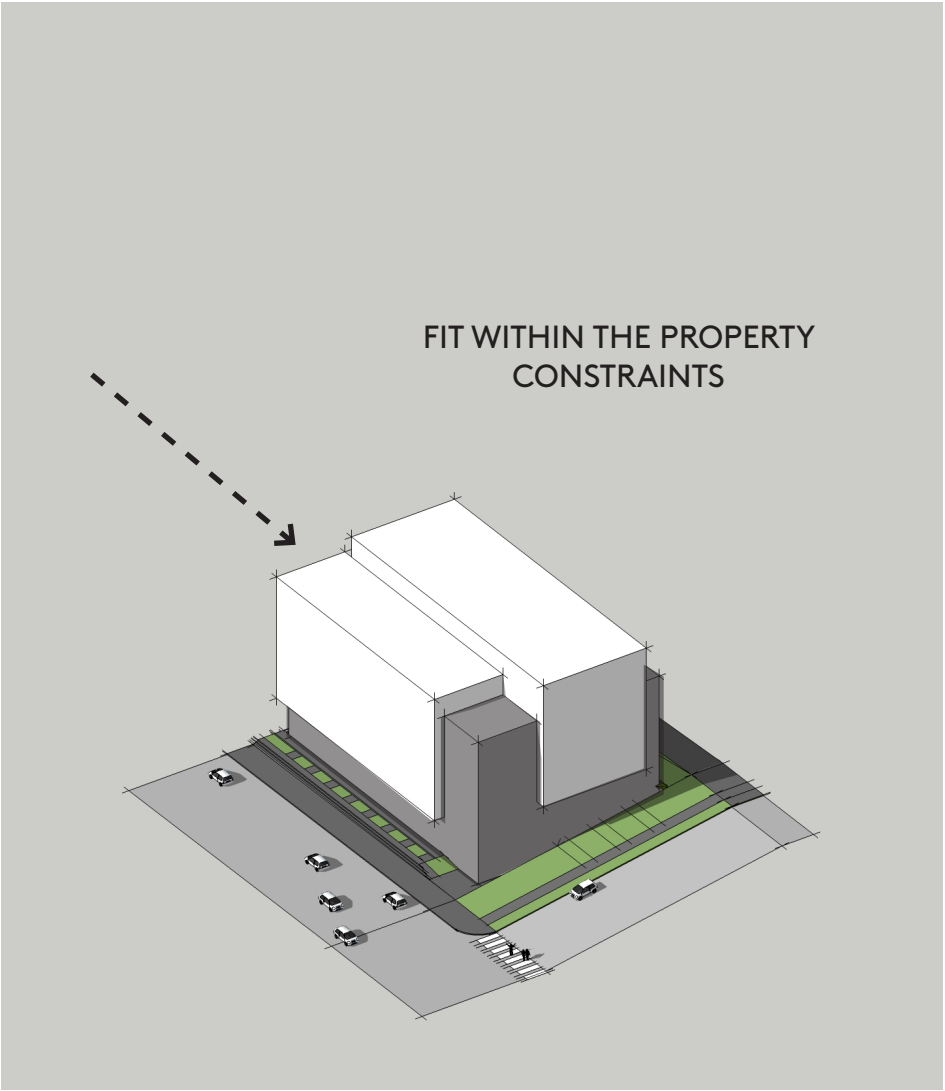
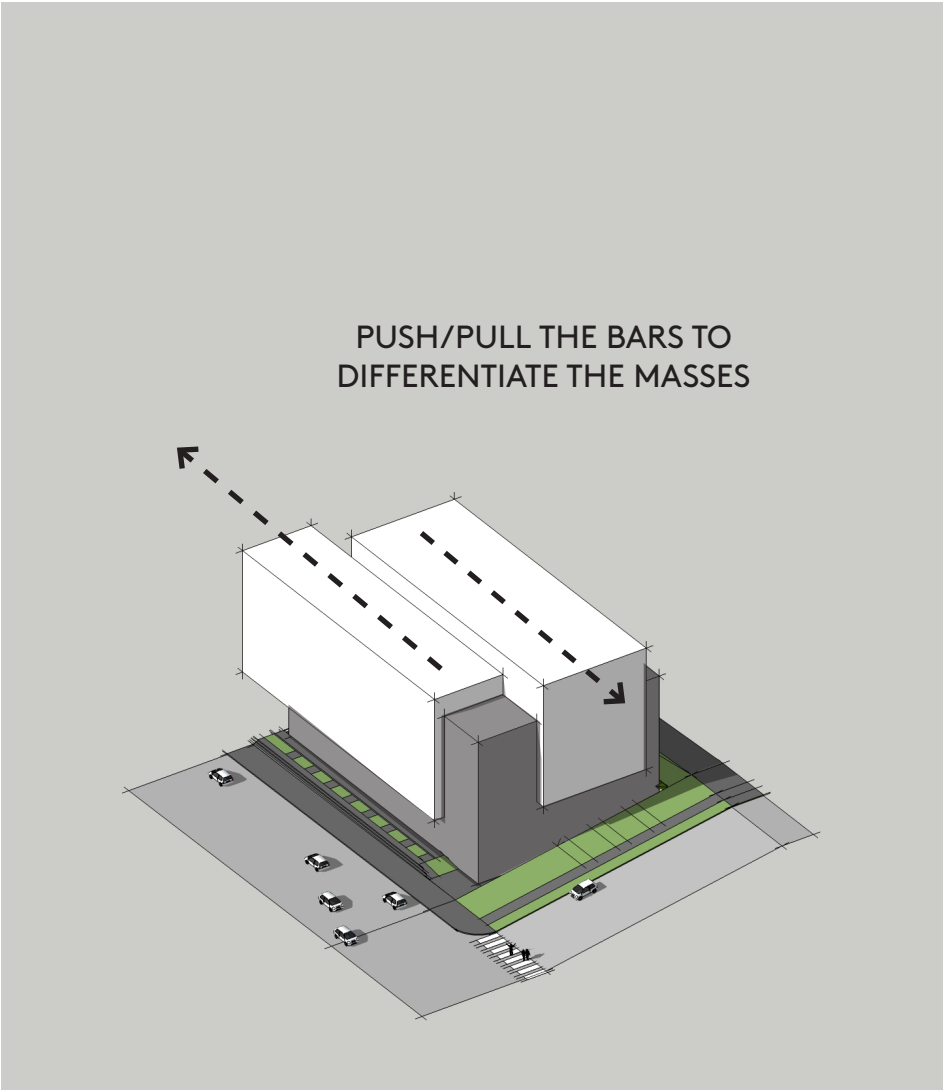
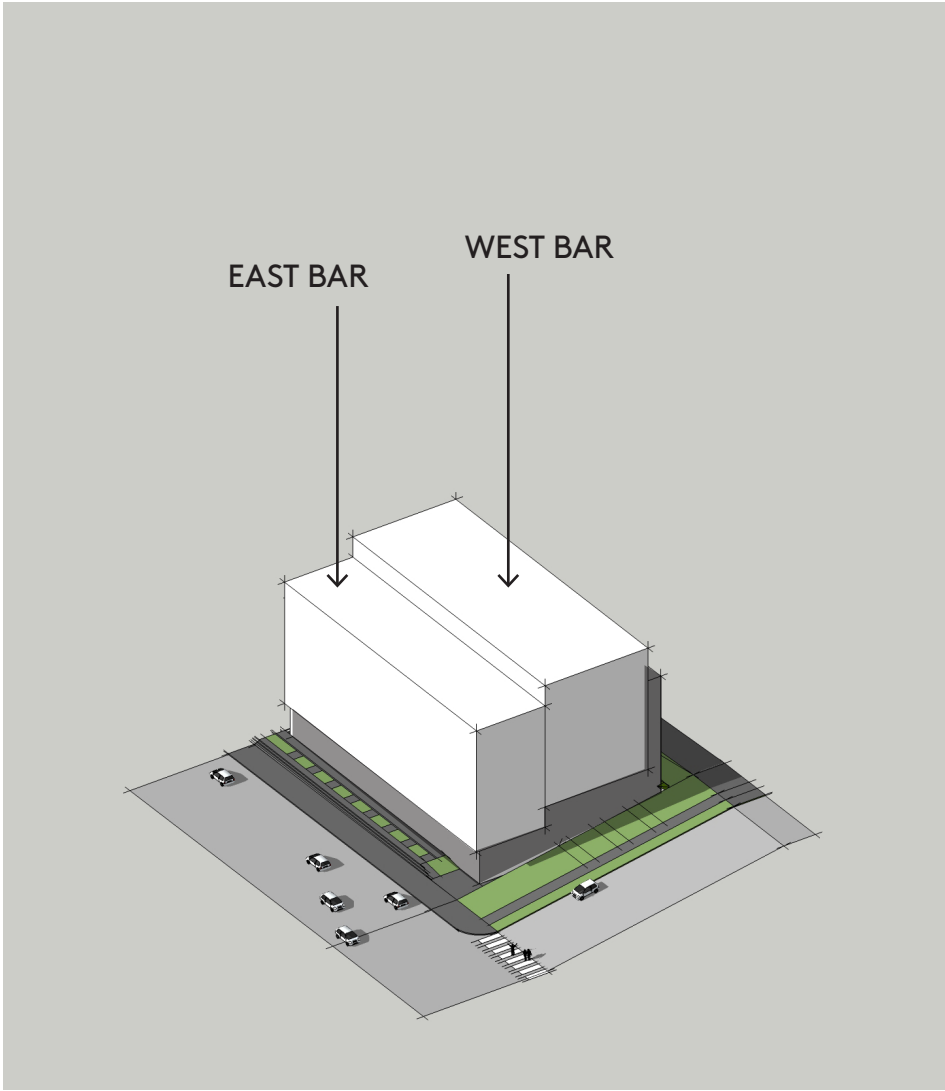
UPDATED DESIGN



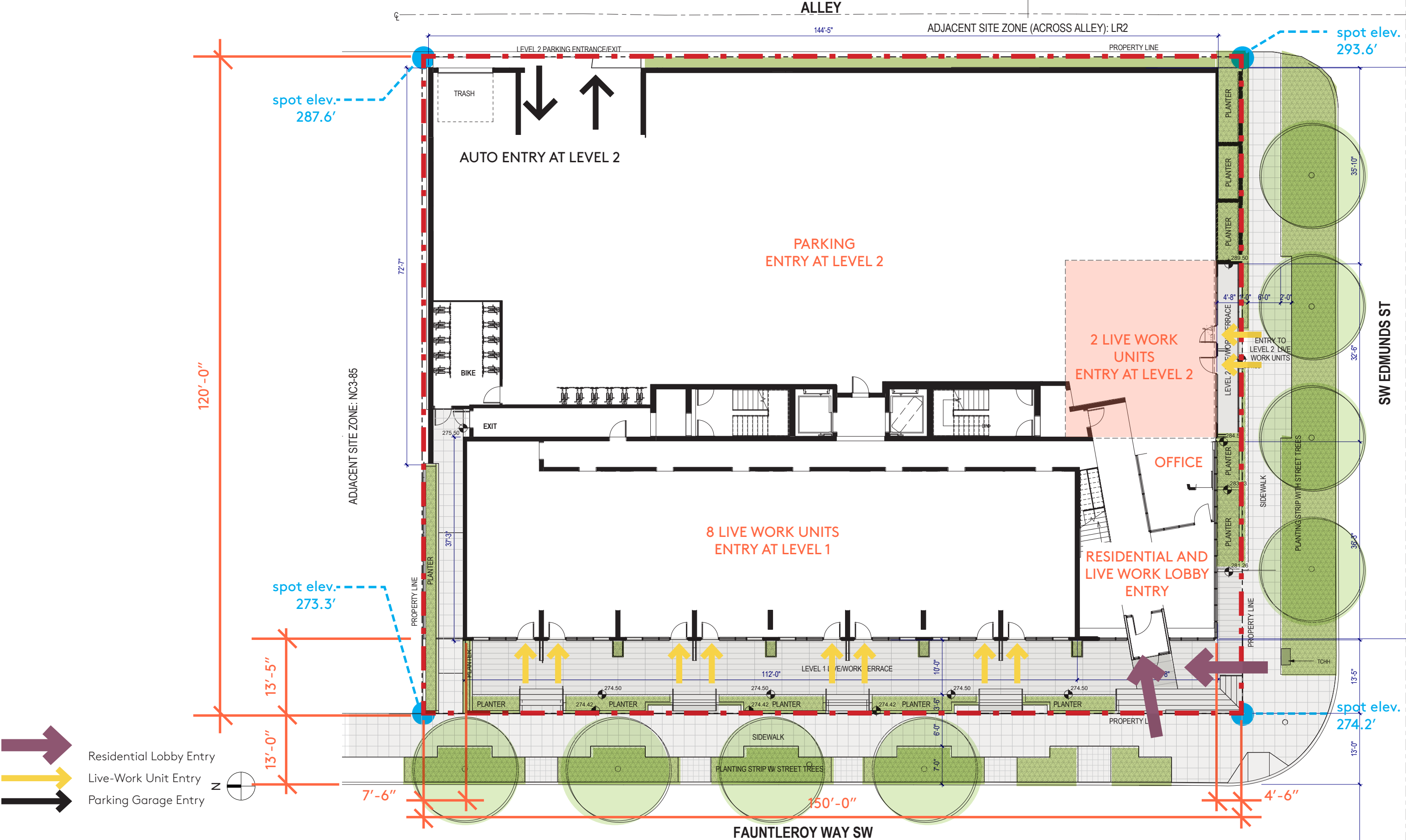




FORM CONCEPT

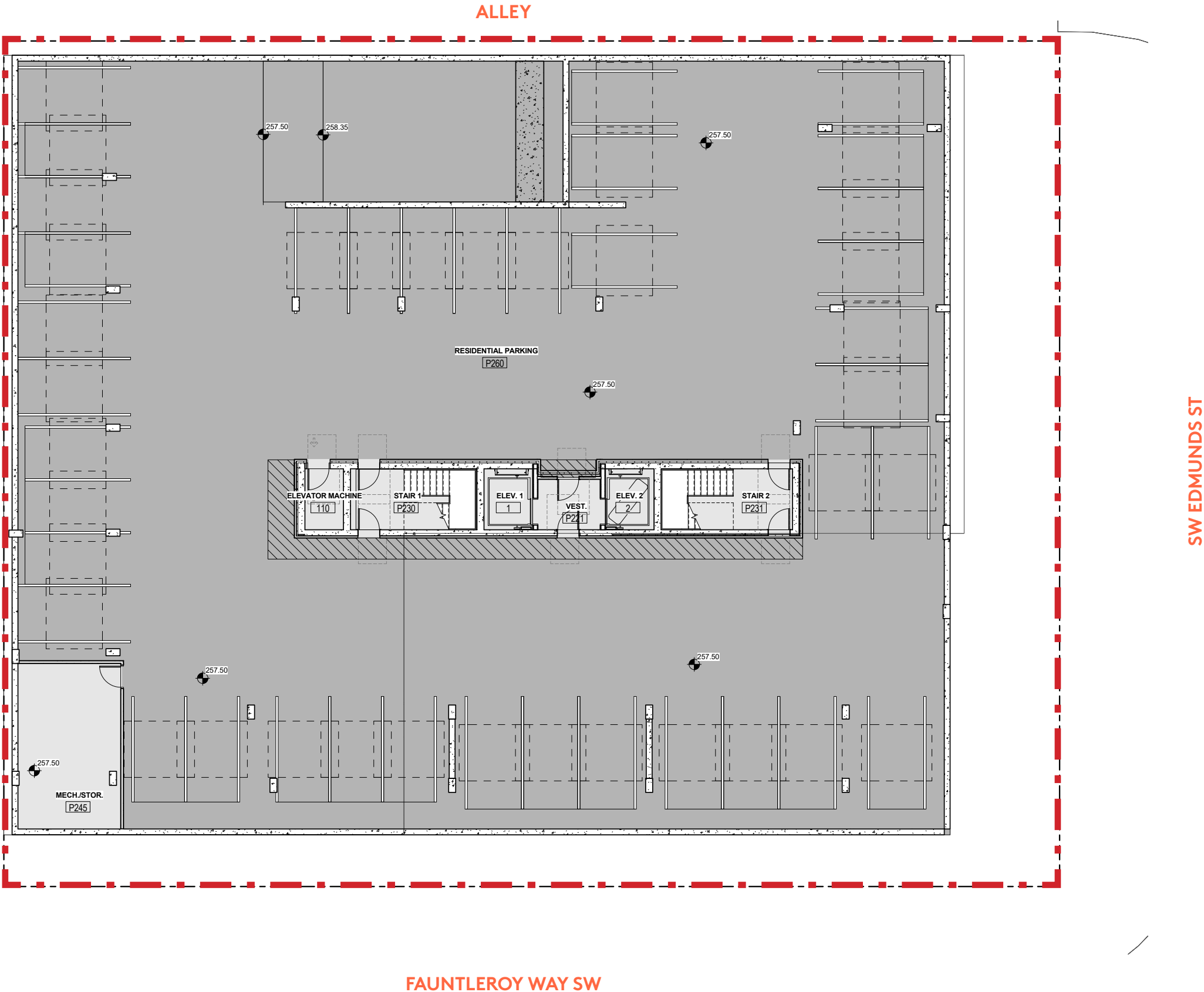
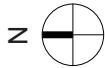


COMPOSITE SITE PLAN



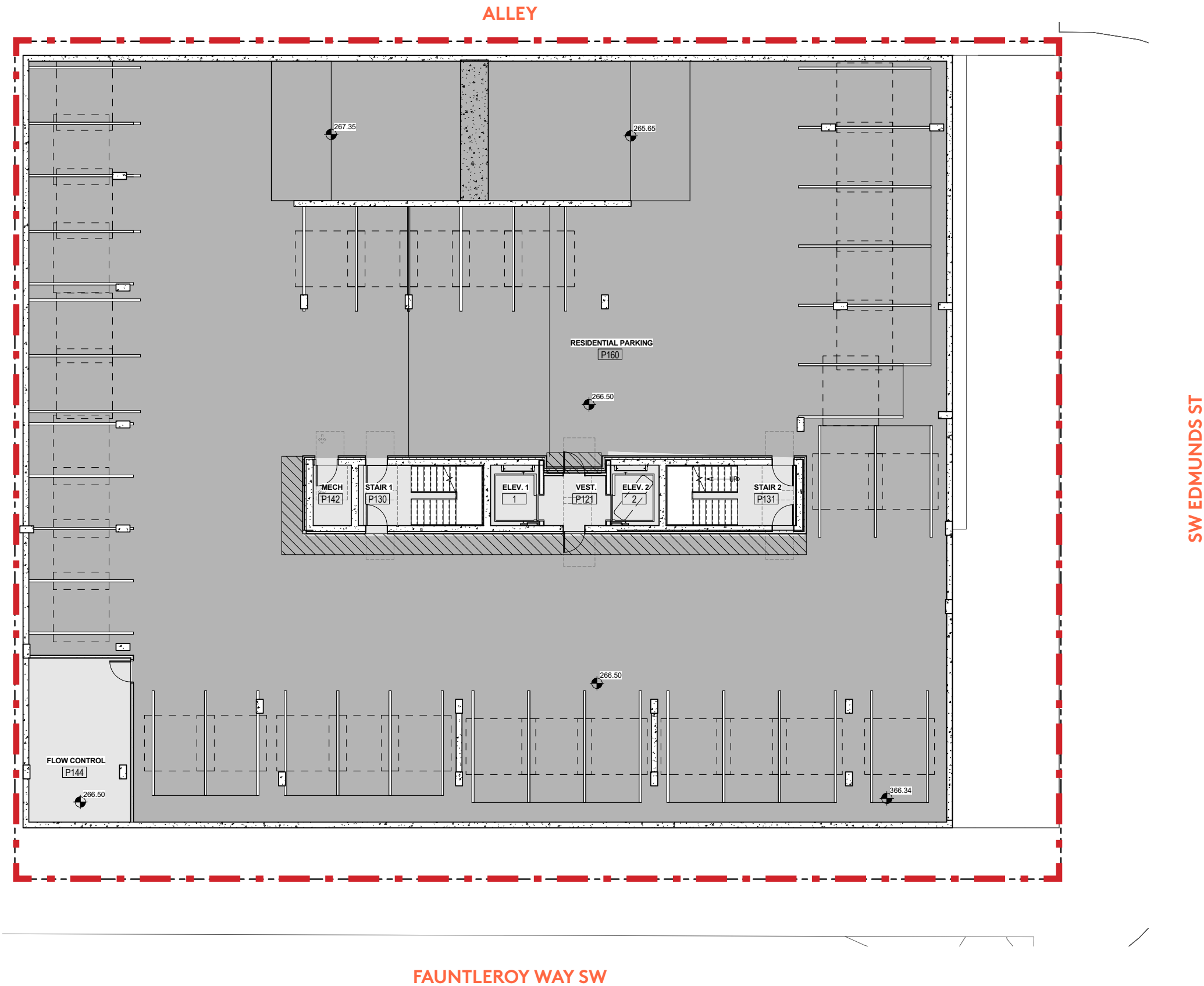
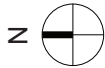
P2 PLAN

- Property Line
- Live-Work
- Office
- Residential & Live-Work Lobby
- Urban One Bed
- One Bed
- Two Bed
- Accessible Unit
- Outdoor Deck
- Parking
- Support

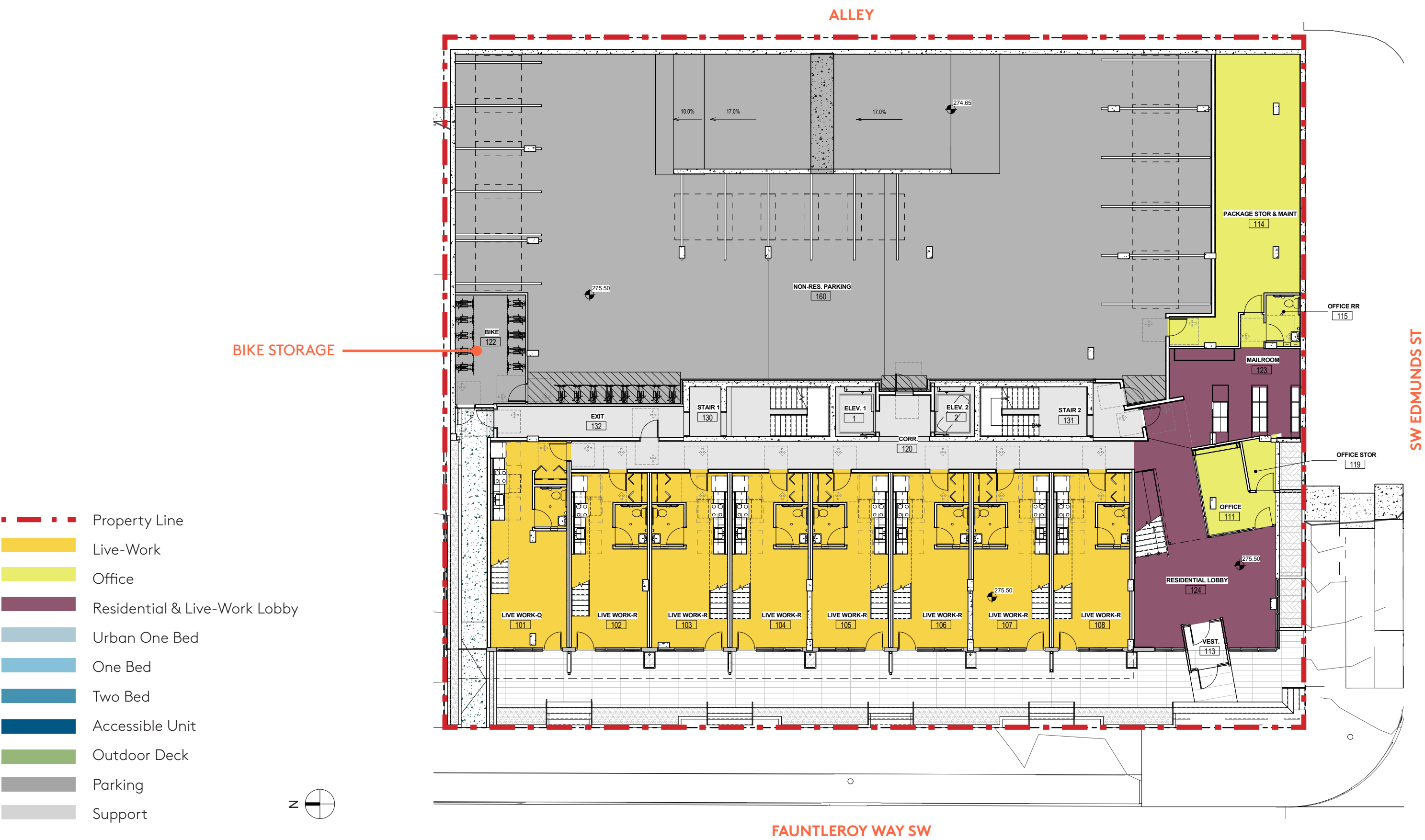


P1 PLAN

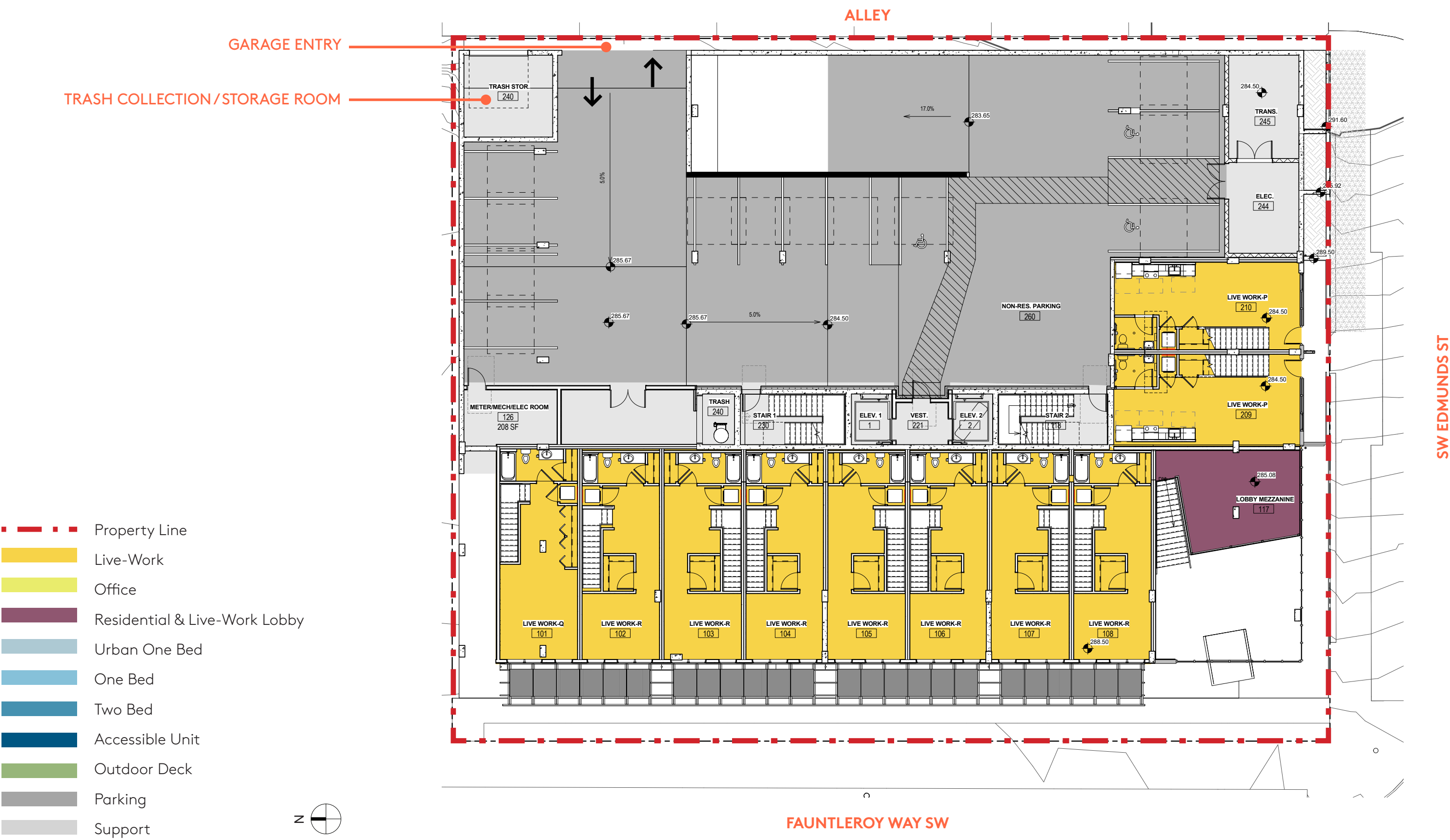
- UPDATE PLAN
- Property Line
 - Live-Work
 - Office
 - Residential & Live-Work Lobby
 - Urban One Bed
 - One Bed
 - Two Bed
 - Accessible Unit
 - Outdoor Deck
 - Parking
 - Support



LEVEL 1 FLOOR PLAN



LEVEL 2 FLOOR PLAN



LEVEL 3 FLOOR PLAN



TYPICAL LEVEL FLOOR PLAN

TITLE 1



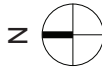
LEVEL 8 FLOOR PLAN

TITLE 1



Expected view from level 8 Amenity Room to Downtown Seattle

- Property Line
- Live-Work
- Office
- Residential & Live-Work Lobby
- Urban One Bed
- One Bed
- Two Bed
- Accessible Unit
- Outdoor Deck
- Parking
- Support



WEST ELEVATION



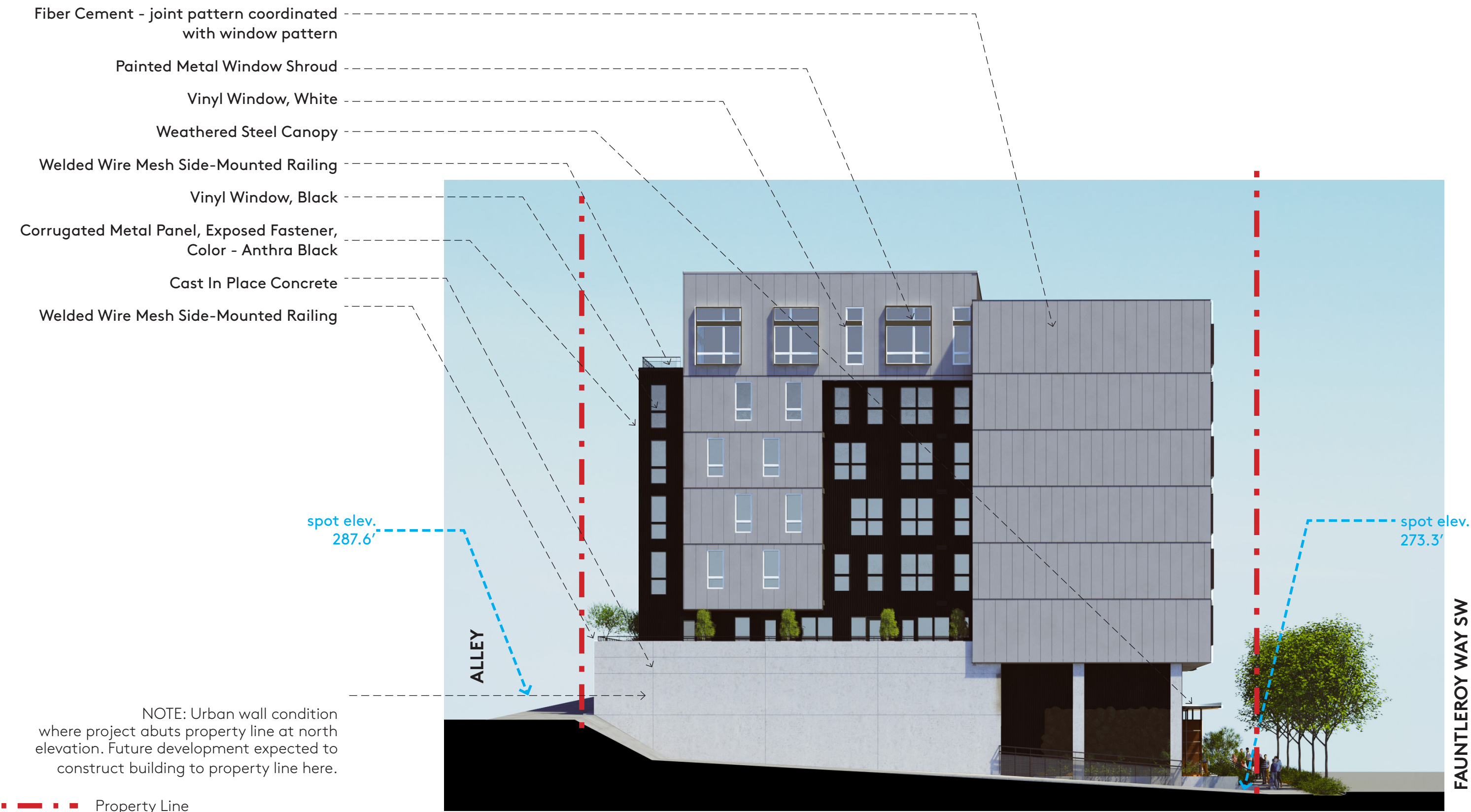
SOUTH ELEVATION



EAST ELEVATION

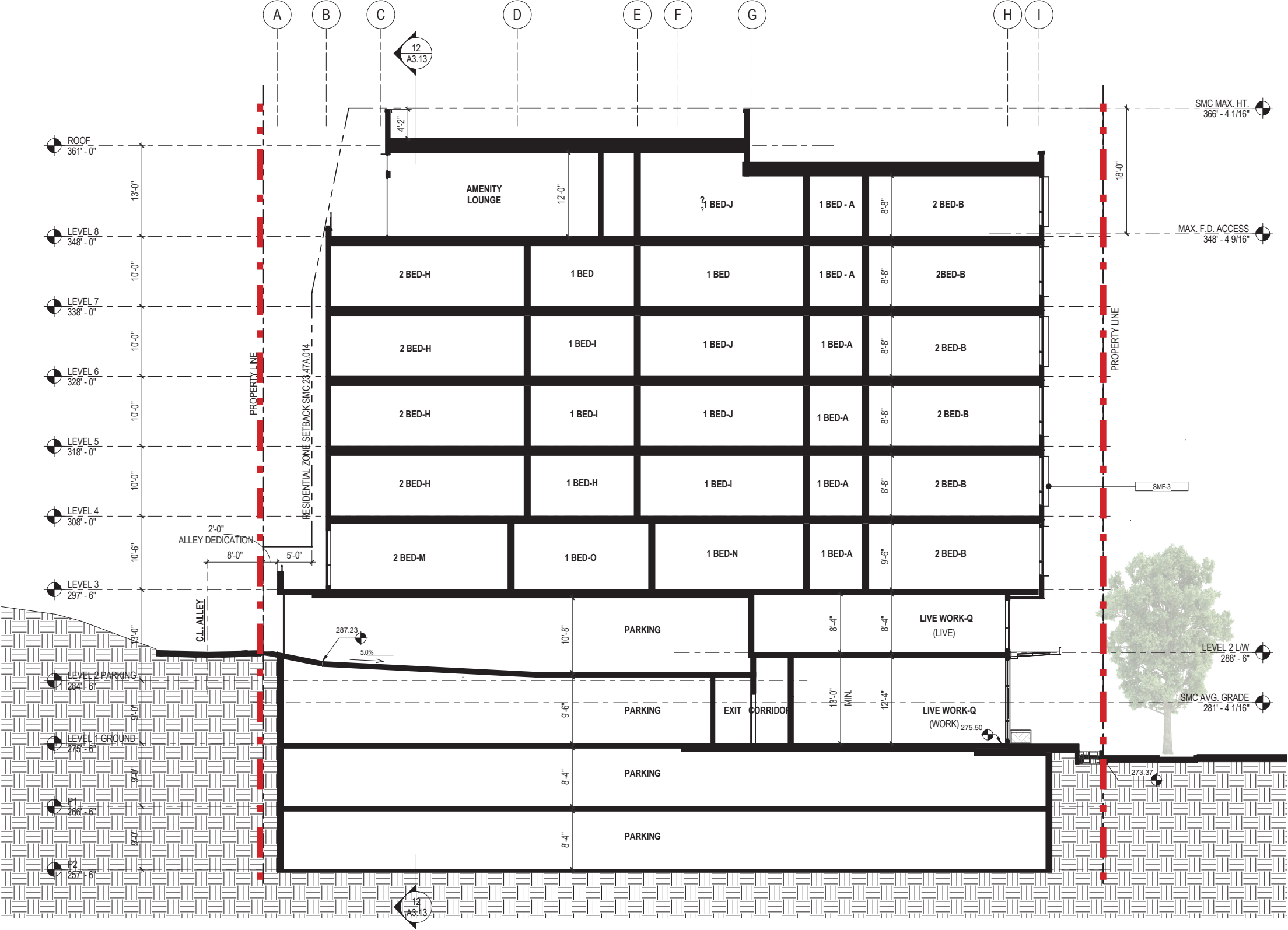


NORTH ELEVATION



BUILDING SECTION

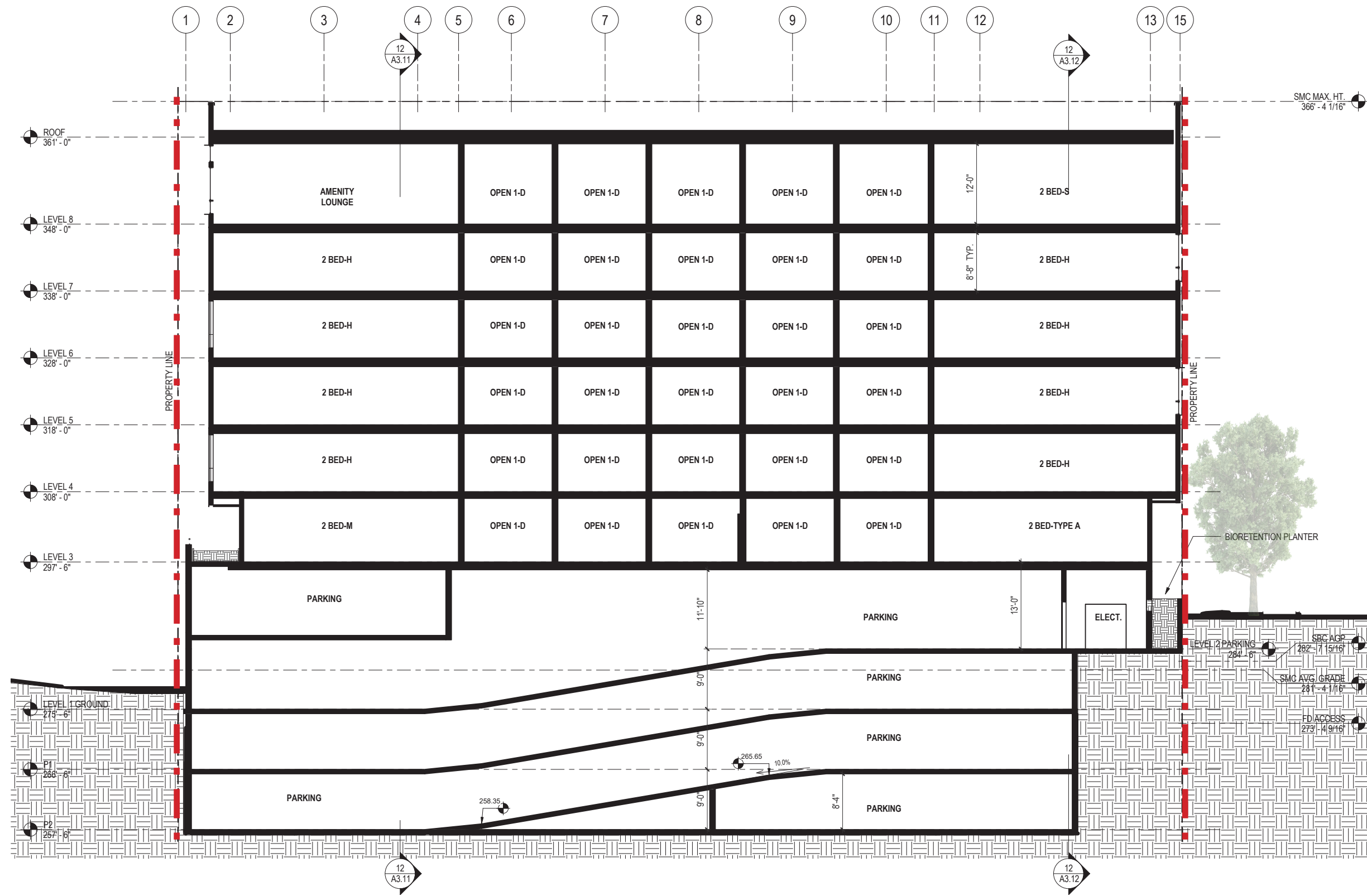
TRANSVERSE SECTION



■ ■ ■ ■ ■ Property Line

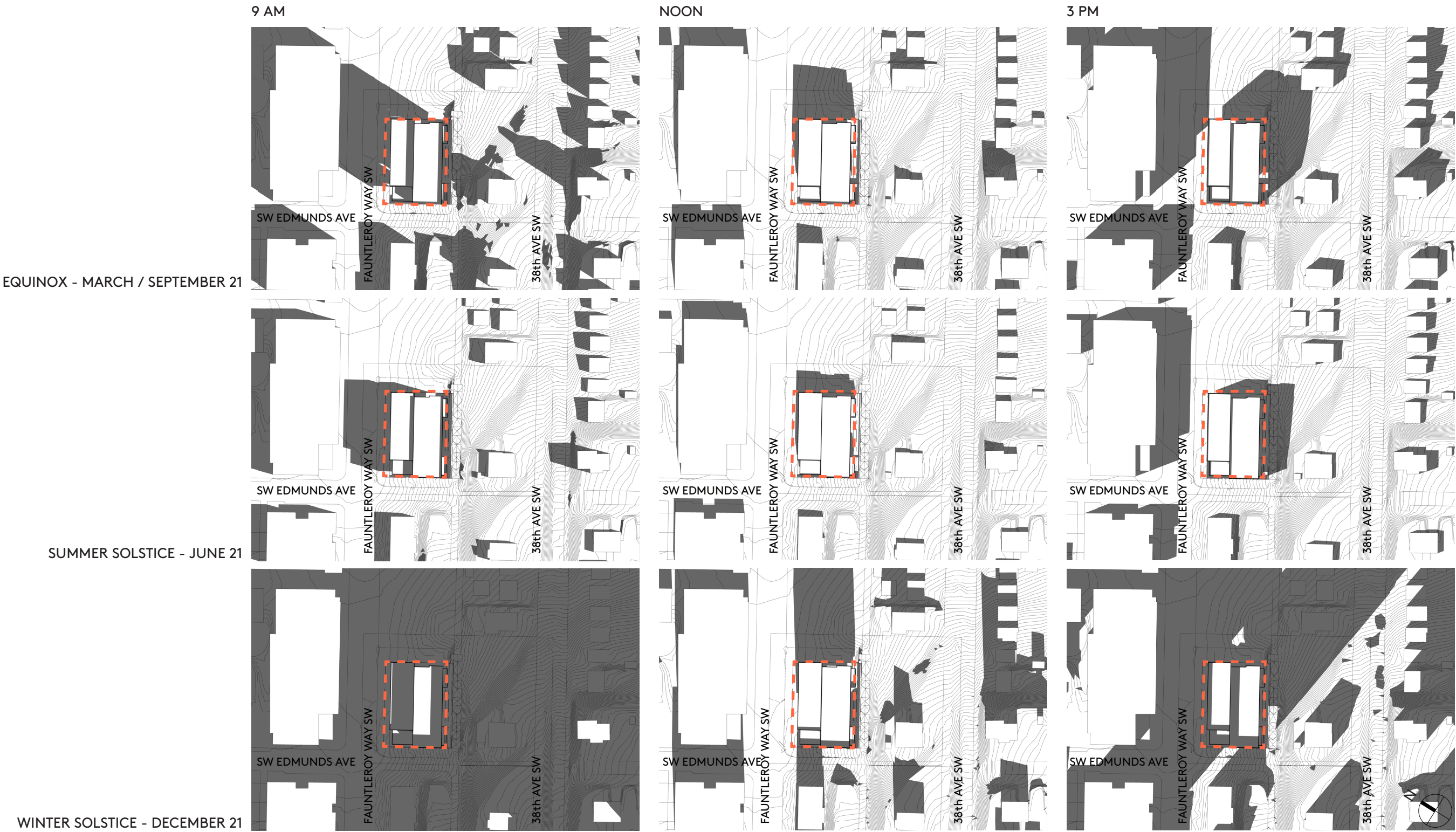
BUILDING SECTION

LONGITUDINAL SECTION



DESIGN PROPOSAL

SUN/SHADOW ANALYSIS



RESPONSES TO EARLY DESIGN GUIDANCE

SUMMARY OF EDG BOARD RECOMMENDATIONS

1. MASSING AND DESIGN CONCEPT

PRIORITIES AND BOARD RECOMMENDATIONS		APPLICABLE DESIGN REVIEW GUIDELINES	PAGE # FOR RESPONSES
a.	The Board unanimously supported the design of Option 3, the preferred option, noting that it was handsome with appropriate articulation while maintaining some simplicity.	CS2-D, DC2-A, DC2-B	46
b.	There was support for the “foundry” design concept of two shifting bars on a solid base (shown on page 27 of the EDG packet), noting it was strong and simple. The Board agreed that the rendering on page 35 was less compelling because the concept appeared lost in the materials. The applicant should explore minor adjustments to the massing and additional ways to further strengthen the design concept expression. This could be achieved through materiality, shifting parapet heights, or other ways.	CS2-D, DC2-A, DC2-B, DC4-A	46, 49, 50
c.	The massing and setbacks were successful at transitioning to the lower residential zones and generally, the building was well sited being nestled into the hillside.	CS2-D, CS2-B	51
d.	The Board supported the massing response to the SW corner and entry.	CS2-II, PL3-A, DC2-A	47
e.	For the next meeting, the applicant should include perspectives of the NW corner as well as additional information on the alley treatment and services.	CS2-II, DC2-B	63, 64

2. STREET-LEVEL INTERACTION AND USE

PRIORITIES AND BOARD RECOMMENDATIONS		APPLICABLE DESIGN REVIEW GUIDELINES	PAGE # FOR RESPONSES
a.	The Board recognized the public comments regarding commercial uses at grade along Fauntleroy and agreed that commercial at this location was desirable, directing the applicant to reexamine the feasibility of a commercial only space.	CS2-B-2, CS2-I	55
b.	Incorporate ways to activate the ground floor to achieve a sense of commercial activity though interior programing and design of the setback. Consider separating the live portion from the work portion as much as possible to achieve this.	CS2-B-2, CS2-I, PL1-A-2, PL1-B, PL1-C, PL3-C, DC1-A	56, 57
c.	The street-level design and public/private transition on Fauntleroy appears very residential and should be more linear and commercial in nature. The setback design should be a secondary public space (as opposed to private residential spaces) with wider sidewalks and an increased public realm.	PL1-A, PL1-B, PL2-II, PL3-B, PL3-C	58
d.	There was unanimous support for the generous depth of the setbacks proposed at grade. This should be maintained.	S2-B-2, CS2-I, PL3-C	
e.	Views from the sidewalk to the raised live-work patios should be unobstructed with any landscaping in the raised concrete planters maintaining visibility and porosity.	PL2-B, PL2-II	59
f.	Explore how the foundry design concept could be expressed at grade in the landscape and hardscape.	DC3-A-1, DC4-D-1, DC4-D-2, DC4-D-4	61
g.	The Board supported the grade response and corner entry setting the grade.	CS1-C, PL3-A, PL4-A	60
h.	The Board supported the design response to the steeper grade along SW Edmunds St. with live-work units stepping up the slope.	CS1-C, CS2-D-3	52

SUMMARY OF EDG BOARD RECOMMENDATIONS

3. DETAILING AND MATERIALS

PRIORITIES AND BOARD RECOMMENDATIONS		APPLICABLE DESIGN REVIEW GUIDELINES	PAGE # FOR RESPONSES
a.	The Board expressed general support for the direction of the concept sketch (shown on pg. 35), noting detailing and façade composition would be very important. Specifically, the Board noted that the detailing of the materials would be critical to making the building and expression of the design concept successful. The materials should be simple but very well detailed on all facades to make a strong, quality expression.	DC2-B, DC2-C, DC2-D, DC2-I-ii	65
b.	The Board recognized the public comments regarding color and noted this project is in a gateway location and should embrace the opportunity to tie together the existing, wide variety of color application in the vicinity. The Board also noted that the applicant has a successful history of thoughtful and rich color pallets on previous projects and would like to see that applied here.	DC4-A, CS2-A	66
c.	For the Recommendation meeting, the applicant should provide additional information on the rooftop design including treatment of mechanical units.	DC2-B-1	67
d.	Provide additional information on the bicycle storage and consider the how future light rail should influence the project design.	PL4-B, PL4-C	70
e.	Existing signage in the vicinity is quite large and can have a suburban scale and character. The Board directed the applicant not to look at the existing scale of signage in the neighborhood but instead to focus on how it integrates within the scale and composition of their building.	DC2-I-ii, DC4-I, DC4-B	69
f.	For the next meeting the applicant should provide additional details on lighting, specifically looking at illumination of the street-level setback along Fauntleroy.	DC4-C, PL2-II, DC2-I-ii	68

RESPONSE TO EDG BOARD RECOMMENDATIONS

SW CORNER PERSPECTIVE

1a. The board unanimously supported the design of Option 3, the preferred option, noting that it was **handsome with appropriate articulation while maintaining some simplicity.**



1b. There was support for the **"foundry" design concept of two shifting bars on a solid base, noting it was strong and simple.** The Board agreed that the rendering on page 35 was less compelling because the concept appeared lost in the materials. The applicant should **explore minor adjustments to the massing and additional ways to further strengthen the design concept expression.** This could be achieved through materiality, shifting parapet heights, or other ways.

- Parapet heights differentiate the two bars
- Materials kept simple and boldly contrasted between the two conceptual masses to keep legibility across all facades
- Concept expression extends around all four sides of the building



RESPONSE TO EDG BOARD RECOMMENDATIONS

SW CORNER PERSPECTIVE

1d. The board supported the massing response to the SW corner and entry.

- Project activates the corner site with the primary building entry at grade at the corner of Fauntleroy Way SW and SW Edmunds St
- Entries to all live-work units are located at the same grade as the main entry- creating a raised platform for secondary public space along Fauntleroy.



RESPONSE TO EDG BOARD RECOMMENDATIONS

SW CORNER PERSPECTIVE

LU-4. - *There should be **more visual contrast between the corner mass and the two bar elements.** At EDG the masses were depicted in black and white. While the color doesn't have to directly correlate to EDG there should be more distinction.*

- The color palette has been modified for a more distinct representation of the 'foundry' concept through metal-based, authentic colors.
- The exterior material colors have been updated to be similar to what was shown during the EDG presentation - the bars are now shown as a warm grey while the base is a dark grey metal material.



RESPONSE TO EDG BOARD RECOMMENDATIONS

SOUTH FACADE PERSPECTIVE

1b. There was support for the "foundry" design concept of two shifting bars on a solid base, noting it was strong and simple. The Board agreed that the rendering on page 35 was less compelling because the concept appeared lost in the materials. The applicant should explore minor adjustments to the massing and additional ways to further strengthen the design concept expression. This could be achieved through materiality, shifting parapet heights, or other ways.

- Parapet heights, and raised ceiling heights at the east mass differentiate the two bars
- Detailing through extruded window shrouds at the bars further abstracts the foundry concept as each unit acts as a conceptually stacked steel billet



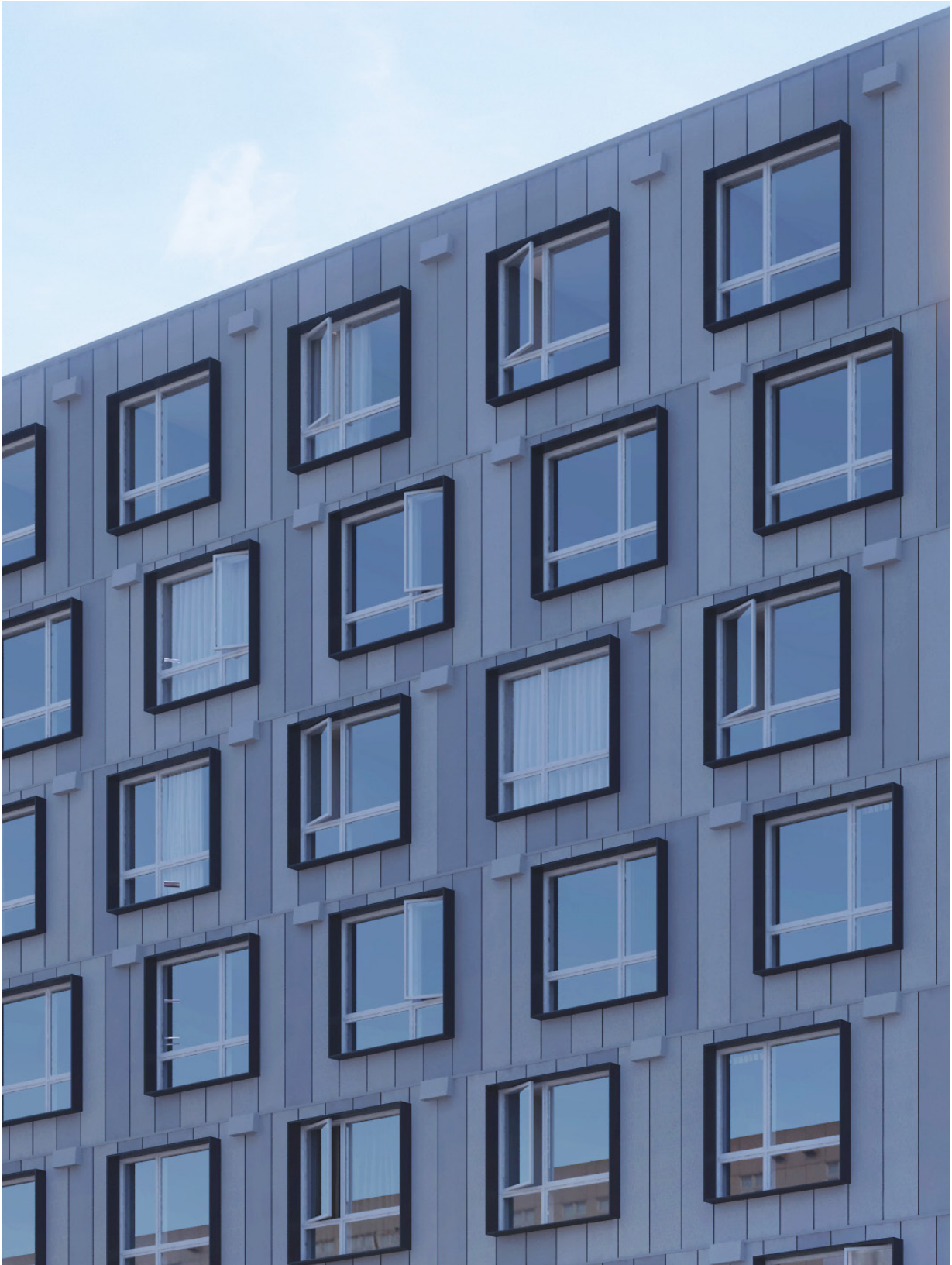
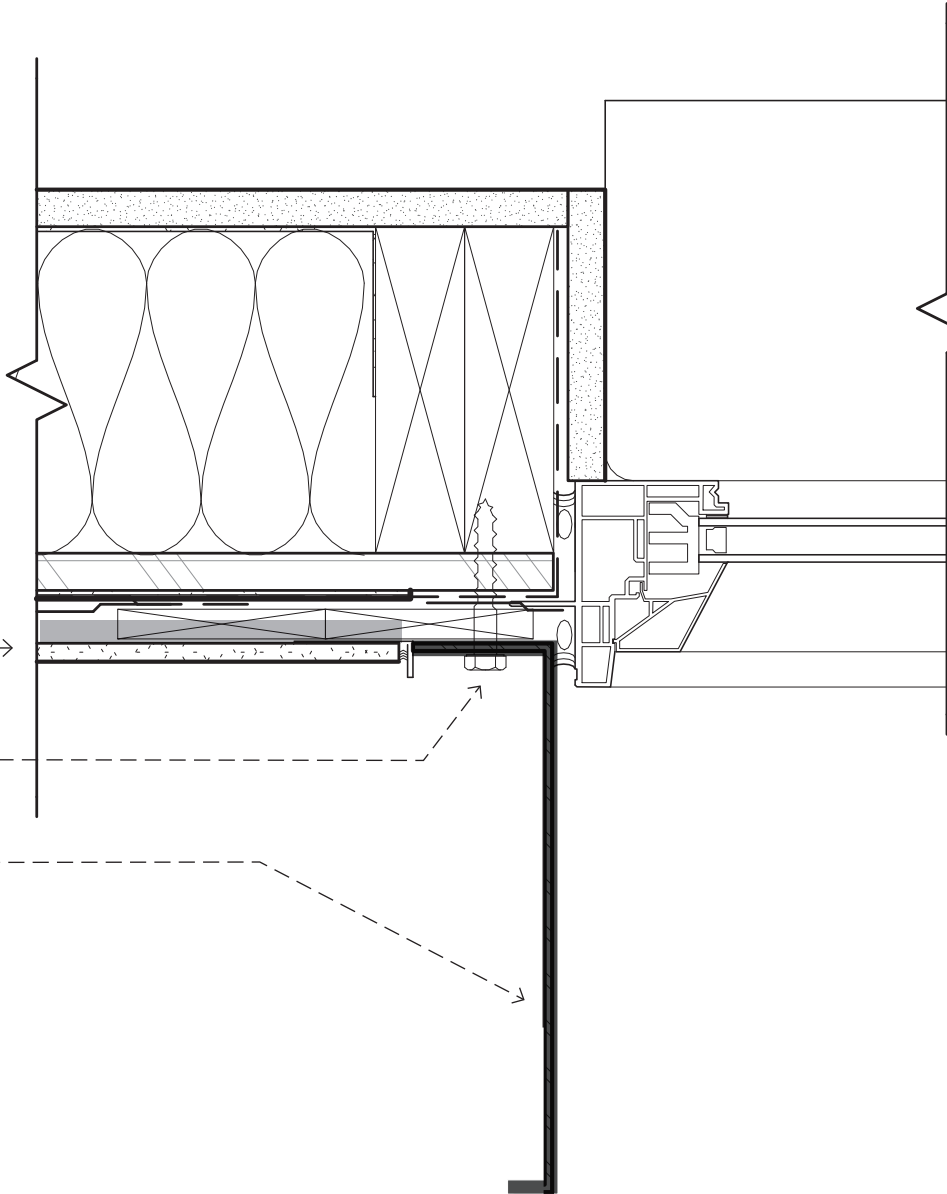
EXTRUDED BAR WINDOW DETAIL AT FIBER CEMENT

WINDOW SHROUD DETAIL

1b. There was support for the “foundry” design concept of two shifting bars on a solid base, noting it was strong and simple. The Board agreed that the rendering on page 35 was less compelling because the concept appeared lost in the materials. The applicant should explore minor adjustments to the massing and additional ways to further strengthen the design concept expression. This could be achieved through materiality, shifting parapet heights, or other ways.

Detailing around the living area windows of each unit emphasizes the extruded sliding bars around the building

- Fiber Cement ----->
- Exposed Fasteners attached to doubled furring strip (connection to fiber cement is adjacent) ----->
- Painted Metal Brake Metal Shape ----->



RESPONSE TO EDG BOARD RECOMMENDATIONS

SOUTH FACADE PERSPECTIVE

1c. The massing setbacks were successful at transitioning to the lower residential zones and generally, the building was well sited being nestled in the hillside.

- Taller portion of building is situated into topography for lessened impact
- Setbacks and massing heights proposed at EDG are maintained and finessed



RESPONSE TO EDG BOARD RECOMMENDATIONS

SOUTH FACADE PERSPECTIVE

2h. The Board supported the design response to the steeper grade along SW Edmunds St with live-work units stepping up the slope.

- The two live-work units along Edmunds St allow for a gentle transition from the residential zones to the east of the site to the heavy commercial to the west of the site
- The pathway along Edmunds is designated as an 'Important Pedestrian Connector' in the West Seattle Neighborhood Guidelines, and the live-work units aim to provide visual interest for the pedestrians along this corridor

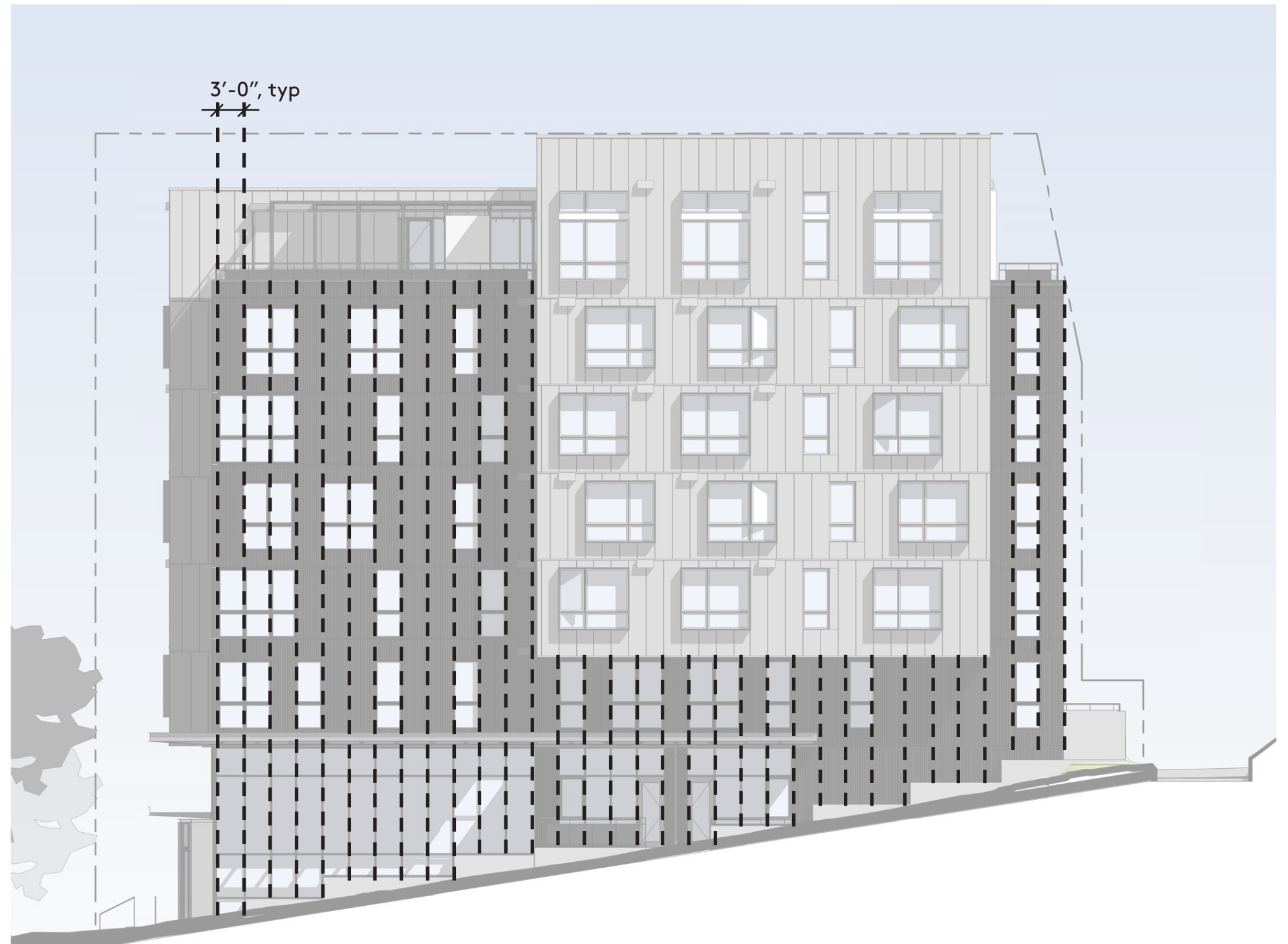


WINDOW GRID ORGANIZATION

SOUTH ELEVATION

LU-7. - At EDG, the corner mass contained windows and siding materials of roughly the same size and windows that wrapped the corner. These austere modern touches were emphasized and encouraged in the Board's guidance. *Revise the corner mass to include larger panel sizes, larger windows, and wrapped corner windows.*

- Corrugated metal panel cladding is utilized throughout the project as a holistic design element that unifies residential and non-residential uses around all sides of the building.
- The alignment of windows uses a rigorous underlying grid with offset windows that are taller than the windows on the 'bars'.
- Playful grid-alignment of windows at the metal panel is integrated along all facades of the building including the storefront along the ground level.
- The proposed design includes the same number of corner windows as was shown in the EDG packet, but with a more refined pattern which works with the layout of the apartment units.

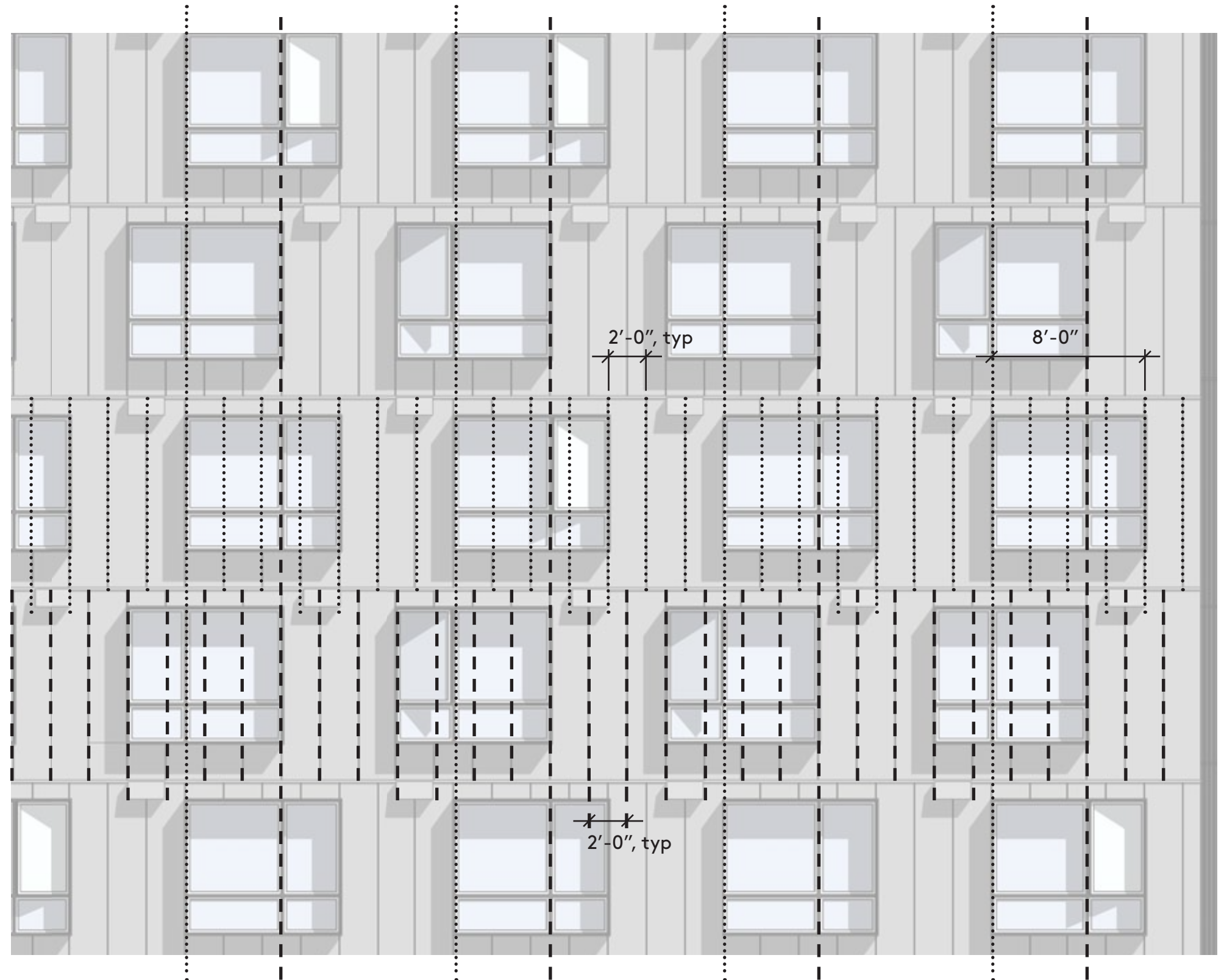


WINDOW GRID ORGANIZATION

ENLARGED ELEVATION AT FIBER CEMENT BOARD

LU-5. - The two bar elements are muddled by the small size of the hardie panels and the vents.
Detail the hardie so it works more closely with the windows and further resembles the character sketch on page 35 of the EDG packet. Consider using vent stacks instead of wall vents to simplify the facades.

- The reveals of fiber cement panels are ½" and will be painted to match the panels, which minimizes the visible impact of the joint pattern on the bars- ultimately strengthening the two bar elements as uniform masses.
- The scale of the fiber cement reveals breaks up the bar mass and provides simple detailing along all facades.
- The panels are carefully coordinated with the window sizes and locations to create a unified building skin.



RESPONSE TO EDG BOARD RECOMMENDATIONS

PERSPECTIVE ALONG FAUNTLEROY AT SECONDARY PUBLIC SPACE

2a. The board recognized the public comments regarding commercial uses at grade along Fauntleroy and agreed that commercial at this location was desirable, directing the applicant to reexamine the feasibility of a commercial only space

- Commercial only space is not feasible at this time.
- Building is designed to support a commercial only space in the future if desired and can be supported by the neighborhood.
- The walls separating the live/work units may be removed and any plumbing that serves the live work unit would be removed or capped to accommodate a commercial use.



RESPONSE TO EDG BOARD RECOMMENDATIONS

PERSPECTIVE ALONG FAUNTLEROY AT SECONDARY PUBLIC SPACE

2b. Incorporate ways to activate the ground floor to *achieve a sense of commercial activity through interior programming and design of the setback.* Consider separating the live portion from the work portion as much as possible to achieve this.

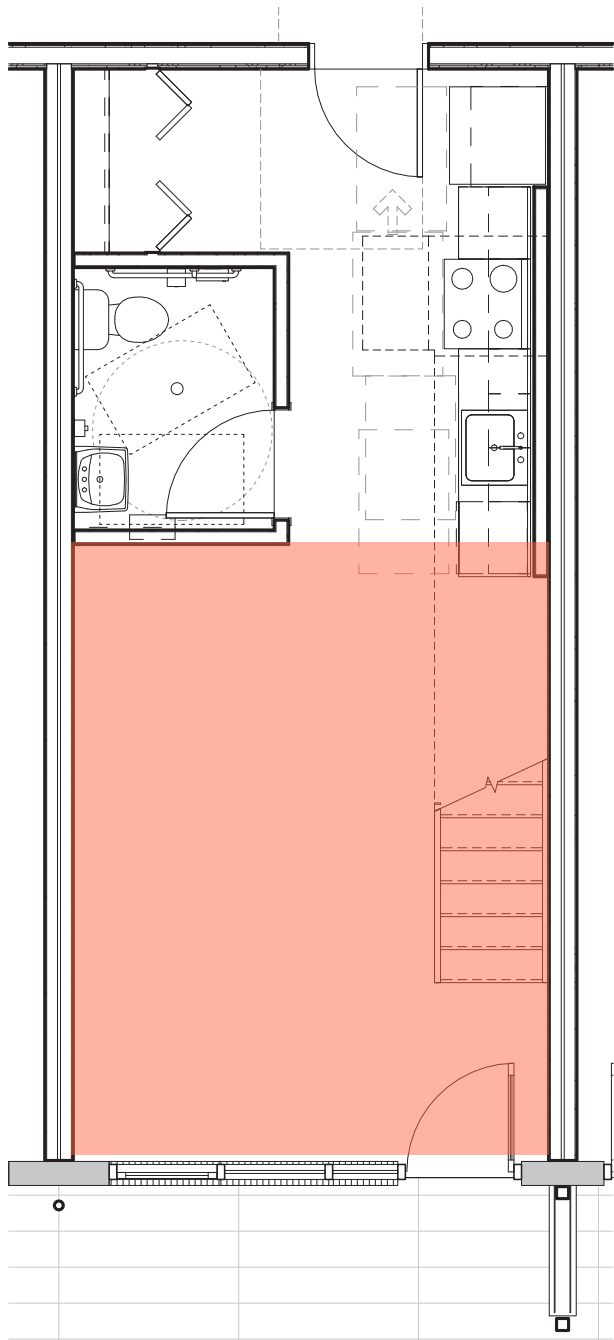
- A sense of commercial activity is promoted along the base with the generous setback provided for a secondary public space for pedestrians and residents to interact
- Widened sidewalks at grade and along 'dock' create spaces for live-work units to spill out their uses - an extra layer for ancillary activities such as sidewalk vending and seating
- Large storefront windows create visual interest for pedestrians and activate the commercial walkway
- Signage is integrated with the building for commercial uses



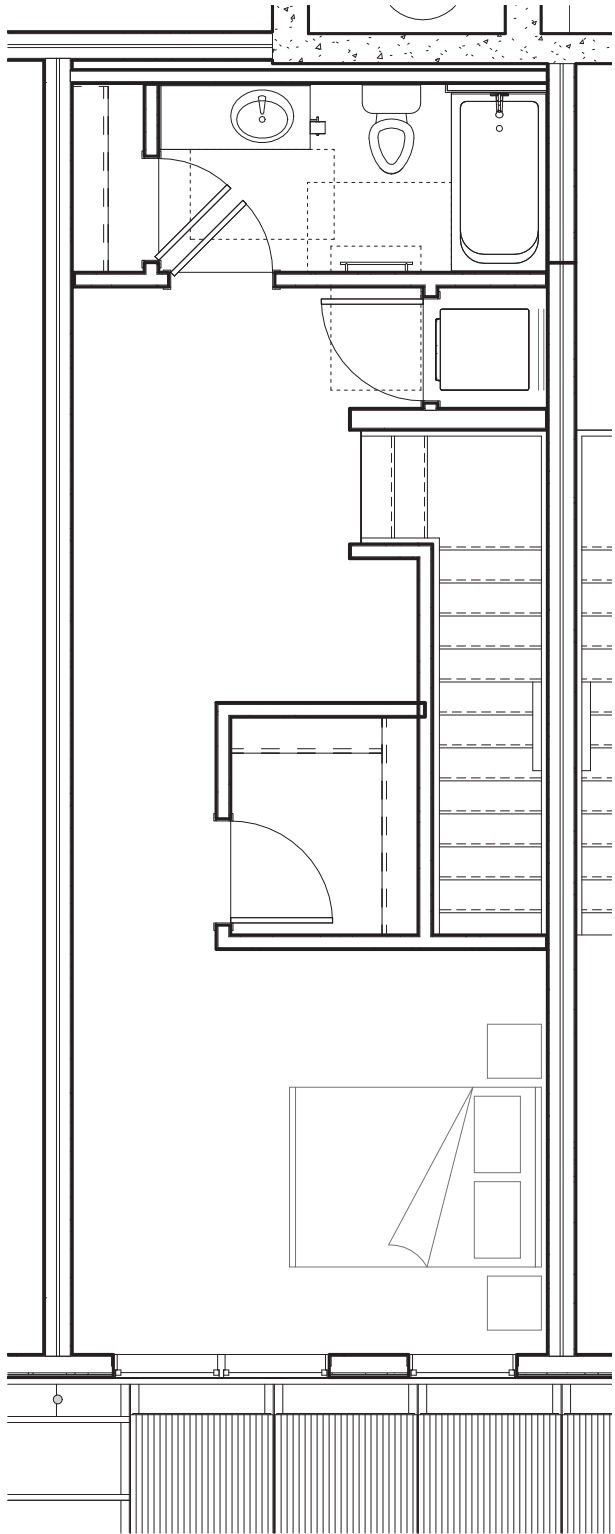
TYPICAL LIVE WORK PLAN

2b. Incorporate ways to activate the ground floor to achieve a sense of commercial activity through interior programming and design of the setback. Consider separating the live portion from the work portion as much as possible to achieve this.

- Residential uses are located on second level, with minimal accessible uses on ground level oriented away from front entry



GROUND LEVEL



SECOND LEVEL

Work

RESPONSE TO EDG BOARD RECOMMENDATIONS

PERSPECTIVE ALONG FAUNTLEROY AT SECONDARY PUBLIC SPACE

2c. The street-level design and public/private transition on Fauntleroy appears very residential and should be more linear and commercial in nature. The setback design should be a secondary public space (as opposed to private residential spaces) with wider sidewalks and an increased public realm.

- Pavers, planters, and canopy activate linear space and invite passer-bys to engage with storefronts
- Multiple stairways, and unobstructed walkway allow for entry at different points of site
- Fully accessible space invites everyone to all live-work units along sloping site
- Widened sidewalks at grade and along 'dock' create spaces for live-work units to spill out their uses - an extra layer for ancillary activities such as sidewalk vending and customer seating.



RESPONSE TO EDG BOARD RECOMMENDATIONS

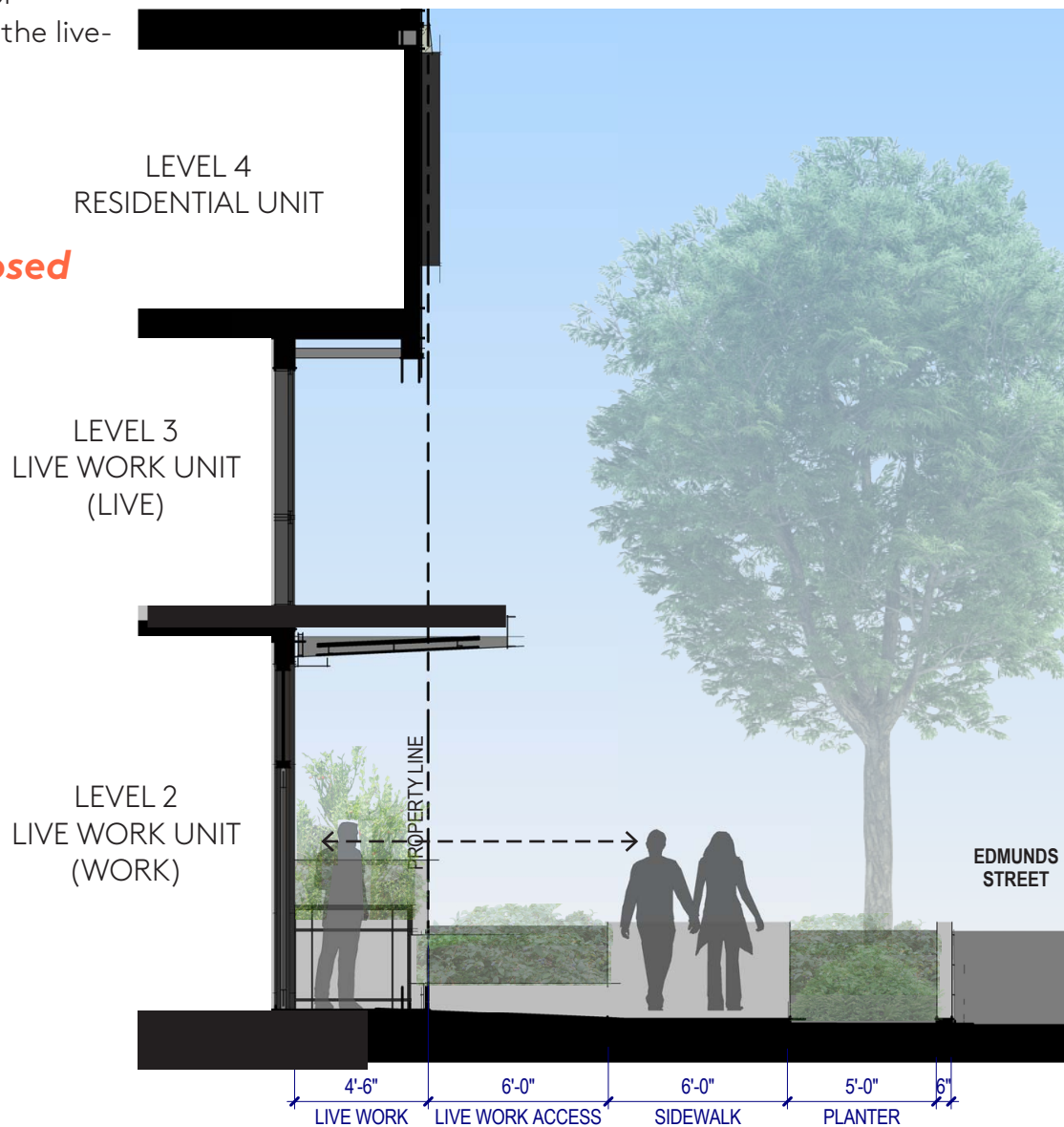
SECTIONS THROUGH LIVE-WORK ENTRIES AND SIDEWALKS AT FAUNTLEROY AND EDMUNDS

2e. Views from the sidewalk to the raised live-work patios should be unobstructed with any landscaping in the raised concrete planters maintaining visibility and porosity.

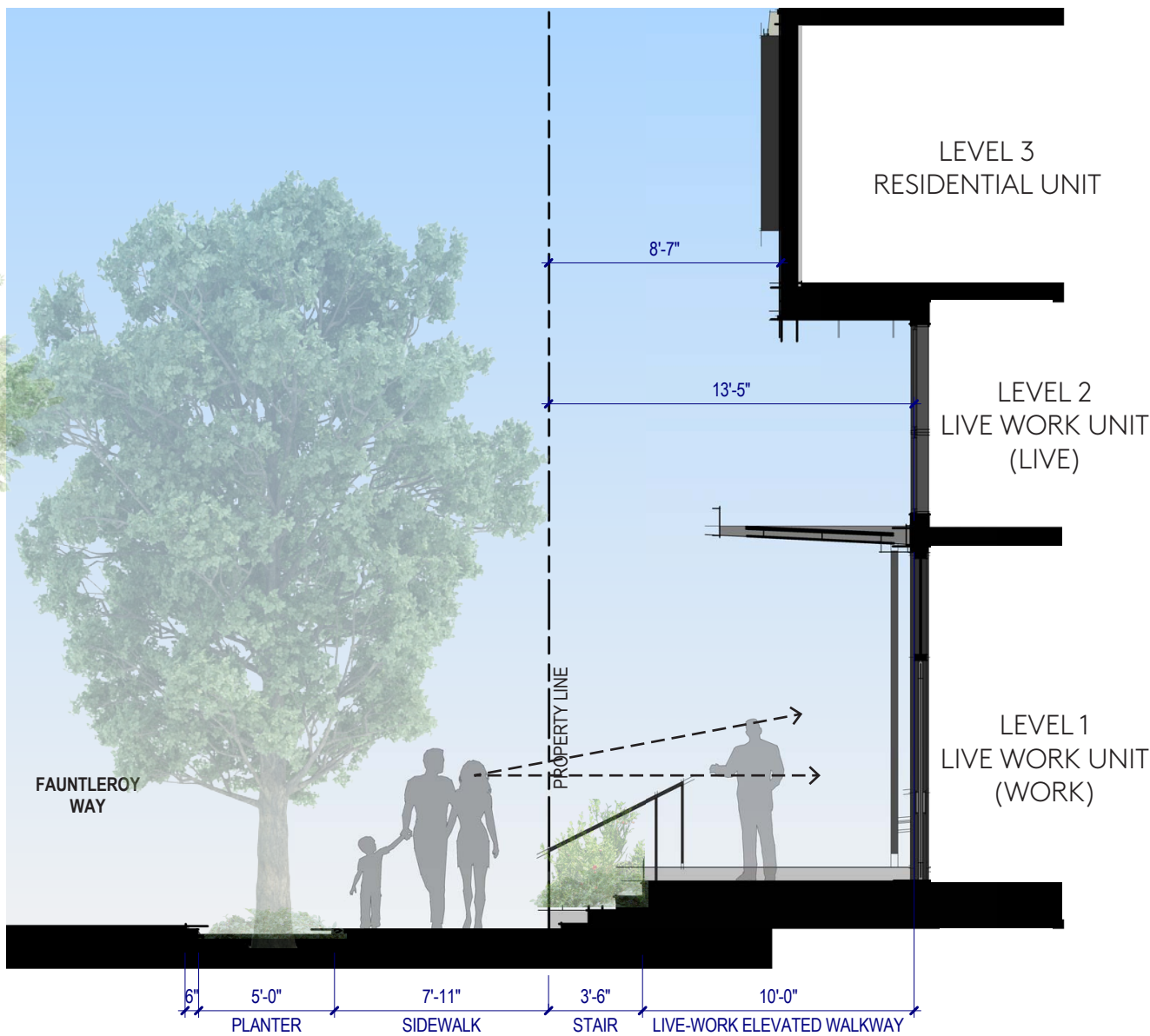
- Planting plans have been redesigned to allow views from the sidewalk to the raised live-work units to be unobstructed for visibility into commercial portions of the live-work units

2d. There was unanimous support for the generous depth of the setbacks proposed at grade. This should be maintained.

- Setbacks maintained from EDG meeting



Section at SW Edmunds St



Section at Fauntleroy Way SW

RESPONSE TO EDG BOARD RECOMMENDATIONS

FAUNTLEROY & EDMUNDS CORNER PERSPECTIVE

2g. The board supported the grade response and corner entry setting the grade.

- Gateway project located at busy corner of SW Edmunds St and Fauntleroy Way SW
- Pedestrian accessibility is prioritized at the active corner where a platform extends to collect people to visit and walk along the live-work units
- Corner is heavily glazed to act as a beacon of light at night and create visual interest during the day with an exposed mezzanine



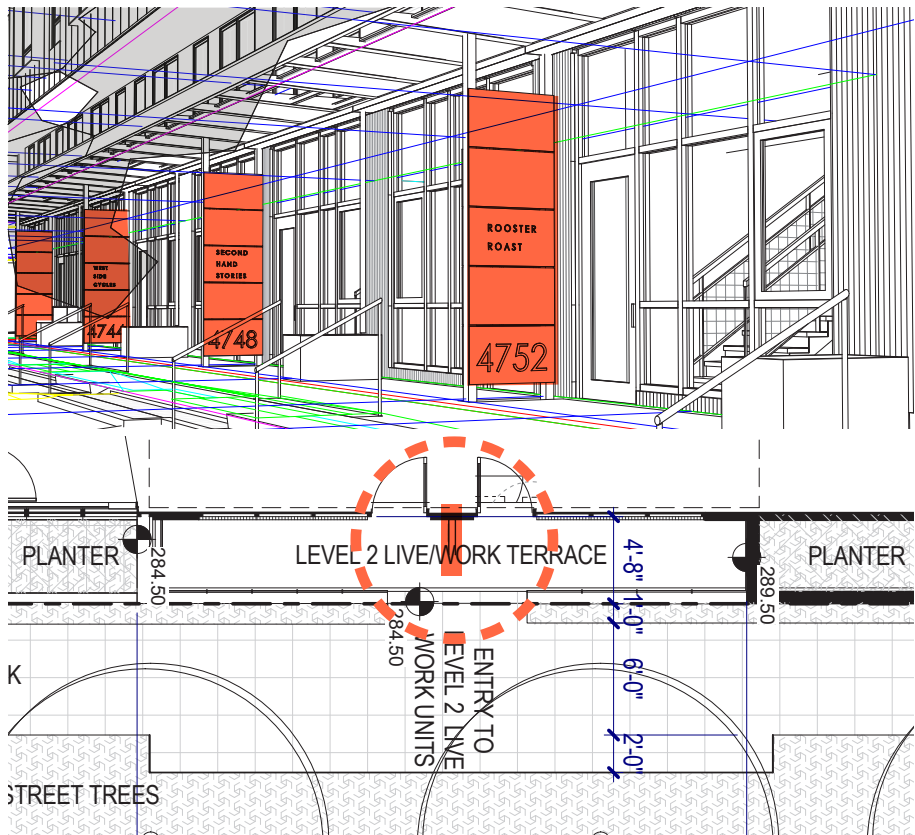
SIGNAGE CONCEPT PLAN

3e. Existing signage in the vicinity is quite large and can have a suburban scale and character. The Board directed the applicant not to look at the existing scale of signage in the neighborhood, but instead to focus on how signage integrates within the scale and composition of the building.

- Signage integrated with scale and composition of building
- Two scales of signage: live-work unit signage, and overall building signage



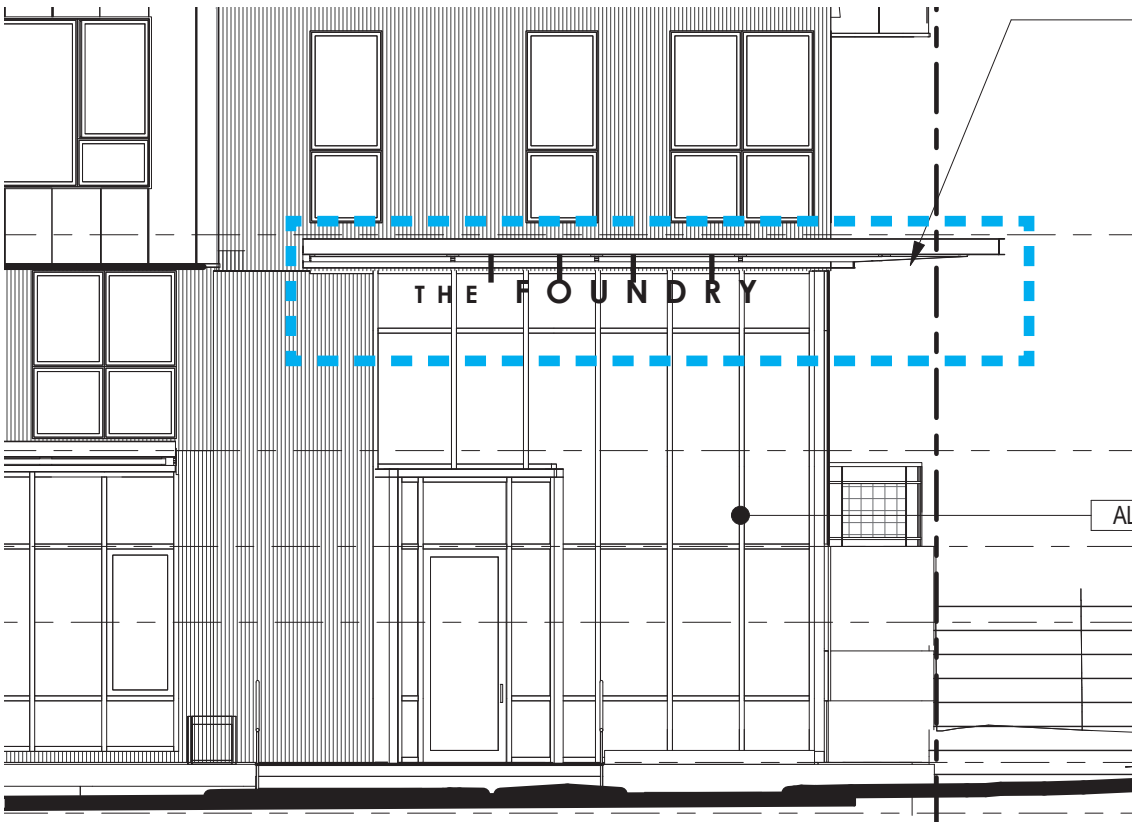
Live-Work Unit Signage:
Signage walls - 4'-0" x 11'-0"
with 4'-0" x 2'-0" customizable piece for business logo/signage to be integrated



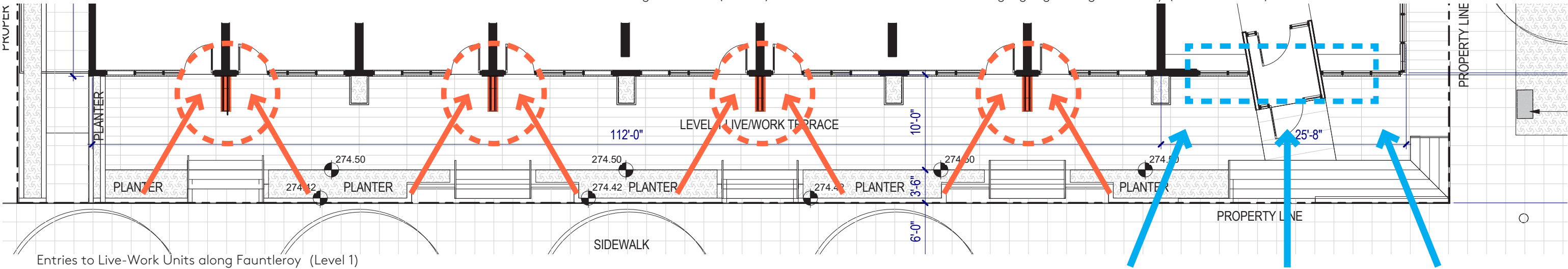
Entries to Live-Work Units along Edmunds (Level 2)



Building Signage:
Building Name - 1'-0" tall lettering located above entry at canopy



Building Signage along Fauntleroy (West Elevation)



Entries to Live-Work Units along Fauntleroy (Level 1)

WEATHERED STEEL SIGNAGE WALL DETAIL

PERSPECTIVE AT LIVE-WORK ENTRY ON FAUNTLEROY

LU-6. - Corner Mass- Include an exhibit in the recommendation packet that demonstrates the detail implied at EDG. The EDG packet implied a wood reveal and soffit recessed on the corner mass.

- The 'warm' material displayed at EDG along the corner mass has been detailed with weathered steel panels along the canopy and at entries to live work units
- Weathered steel contributes to the project's conceptual reference of a metal foundry and is a more dynamic material at the ground level

Painted Steel Posts Welded to Canopy struts
-painted to match canopy steel system

Sign lighting integrated with canopy supports

Weathered Steel Panels with exposed fasteners
-removable to be customized with logo of live-work business

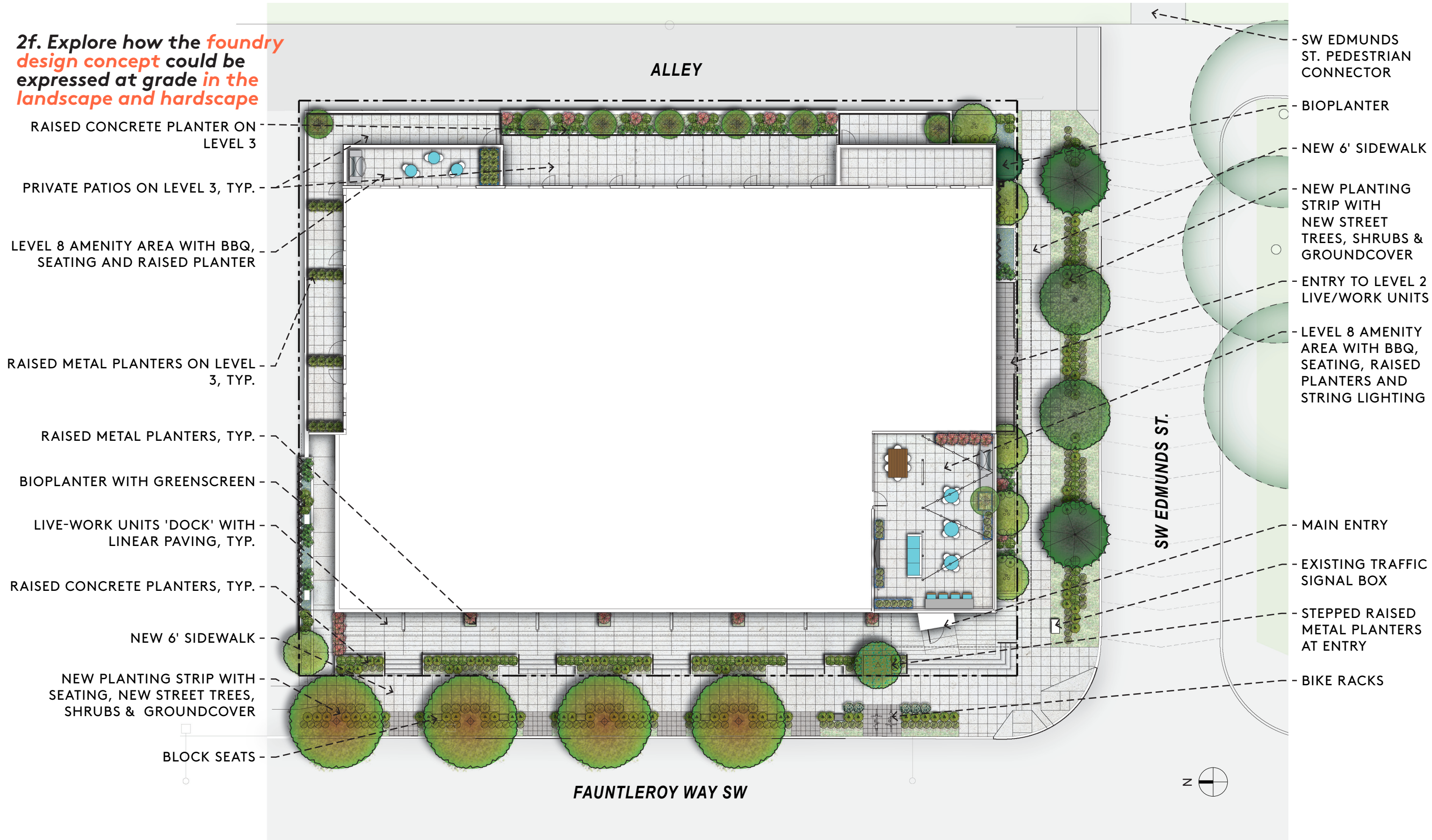
unit number displayed as part of signage wall

gravel pit to collect rust from walls
-sloped canopy directs debris to gutter system along facade



COMPOSITE SITE PLAN

2f. Explore how the *foundry design concept* could be expressed at grade in the landscape and hardscape



SITE DESIGN CONCEPT

2f. Explore how the **foundry design concept** could be expressed at grade in the **landscape and hardscape**

- The site elements incorporate simple, industrial materials of weathered steel and concrete
- Raised planters soften transition with grade change, define circulation and spatial relationships, and enhance pedestrian experiences
- Widened sidewalks at connections to street and steps up to 'dock' allow for integrated seating and 'pause' places.
- Planting strip treatment establishes buffer from vehicular traffic while enhancing the streetscape
- Simple bike racks reinforce linear bar concept
- Linear paving at the live-work 'dock' encourages pedestrian movement along the storefront windows



PLANT PALETTE



PATRIOT ELM (STREET)



BLACK TUPELO (STREET)



INCENSE CEDAR (STREET)



GINKGO



SHORE PINE



VINE MAPLE



STAGHORN SUMAC



RUFA BAMBOO



DAVID'S VIBURNUM



HEAVENLY BAMBOO



KELSEY DOGWOOD



GOLDFLAME SPIREA



ENGLISH LAVENDER



DEER FERN



SLOUGH SEDGE



KINNIKINNICK



EVERGREEN CLEMATIS

RESPONSE TO EDG BOARD RECOMMENDATIONS

NORTHWEST CORNER PERSPECTIVE

1e. For the next meeting, the applicant should *include perspectives of the NW corner as well as additional information on the alley treatment and services.*

- Potential future building to north of site zoned as NC3-85'
- All facades of the building integrate the 'foundry' massing and material concept of the sliding bars along the heavy base
- Residential units are set inward to provide higher levels of light in anticipation of maximized development of property adjacent to the site



RESPONSE TO EDG BOARD RECOMMENDATIONS

NORTHEAST CORNER - ALLEY SERVICES PERSPECTIVE

1e. For the next meeting, the applicant should include perspectives of the NW corner as well as **additional information on the alley treatment and services.**

- Garage entry/exit is located in alley, at northeast of site, to avoid entering/exiting concerns at Edmunds and alley intersection
- Trash storage/pick up location is at northeast corner of building at the alley



MATERIALS PALETTE

3a. The board expressed general support for the direction of the concept sketch, noting detailing and facade composition would be very important. Specifically the Board noted that the **detailing of the materials would be critical** to making the building and expression of the design concept successful. The **materials should be simple but very well detailed on all facades** to make a strong, quality expression.

- Materials and colors reminiscent of metal foundry
- Colors use spectrum from surrounding projects as basis for grey and allows the muted color scheme to be non-competing with wide array of neighborhood palette
- Weathering steel along base, at underside of canopy and at privacy wing walls, provides warmth at pedestrian scale as well as a tactile expression of metal over time



MATERIALS PALETTE

3b. The board recognized the public comments regarding color and noted this project is in a gateway location and should embrace the opportunity to tie together the existing, wide variety of color application in the vicinity. The Board also noted that the applicant has a successful history of thoughtful and rich color palettes on previous projects and would like to see that applied here.

- Project naturalizes the use of color in the area where many varying palettes create confusion and visual overload
- Cast in Place Concrete Walkway
- Landscape Palette
- Metal Panel (color, profile)
- Railing and Handrail Welded Wire Mesh
- Anodized Aluminum Storefront
- Painted Metal Window Shroud
- Vinyl window in Metal Panel
- Vinyl Window in Fiber Cement
- Fiber Cement Paint Color
- Weathered Steel
- Vinyl Window Profile

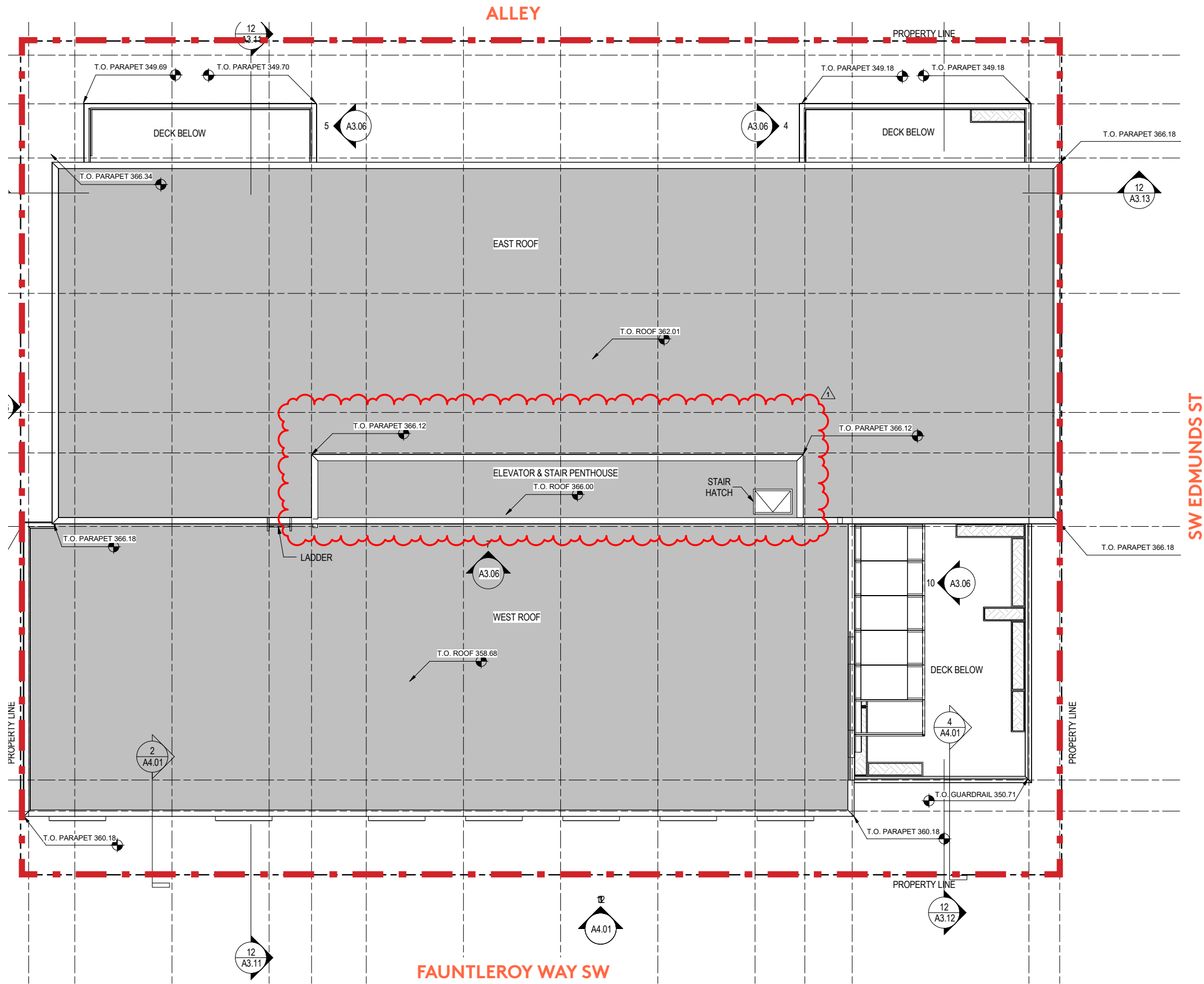
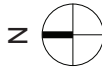


ROOF PLAN

ZONING-2. - Plan sheets A3.01, A3.02, A3.03, A3.04 show the maximum height at 366' 4 1/16" above sea level. If there is mechanical equipment on the roof or a stair penthouse, please label the location of these features on the elevations.

3c. For the recommendation meeting, the applicant should provide additional information on the rooftop design including treatment of mechanical units.

- Mechanical units to be contained within taller east-bar, and won't be visible to pedestrians, or residents of surrounding properties
- With centrally-focused roof mechanical units, the height of the building will obscure unsightly units within conceptual massing of the sliding bars



EXTERIOR LIGHTING PLAN

3f. For the next meeting, the applicant should provide additional details on lighting, specifically looking at illumination of the street-level setback along Fauntleroy.

(Δ) Overhead



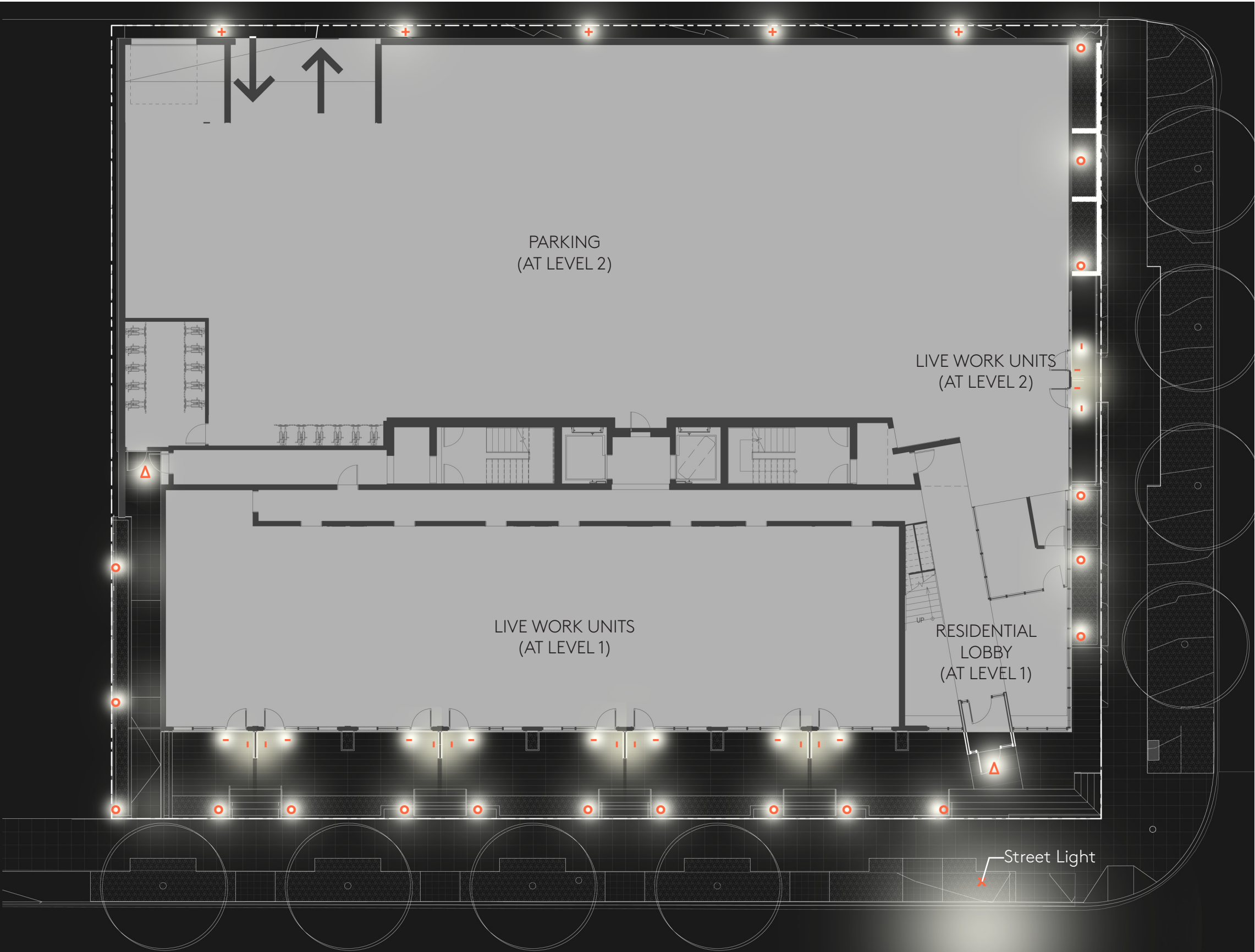
(○) Bollard



(-) Sign Lighting

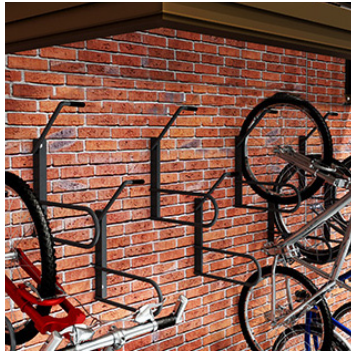


(+) Wall Pack

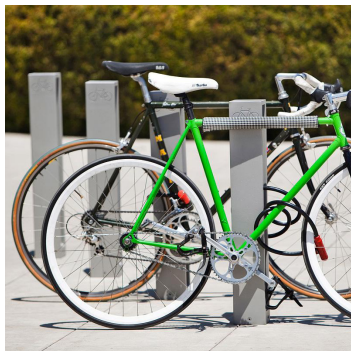


BICYCLE STORAGE

3d. Provide additional information on the bicycle storage and consider how the future lightrail should influence the project design.



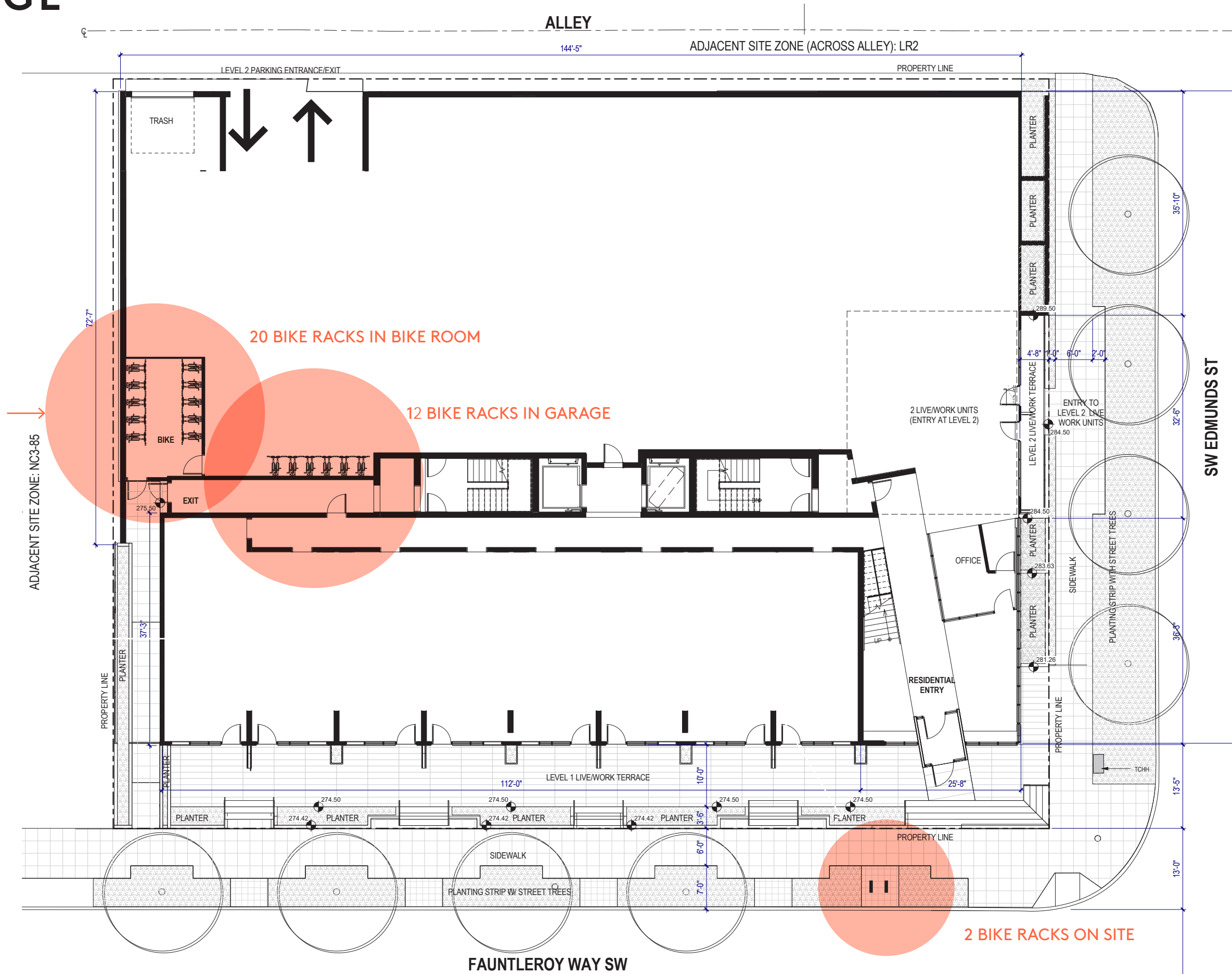
Bike Room Storage



Capitol Bike Rack



Bike Rack - Rust Finish



RESPONSE TO EDG - CONTEXT & SITE

CS2 - URBAN PATTERN AND FORM: Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area

CS2-B ADJACENT SITES, STREETS, AND OPEN SPACE

DESIGN GUIDELINE		PROPOSED RESPONSE
CS2-B-1	SITE CHARACTERISTICS: Allow characteristics of sites to inform the design, especially where the street grid and topography create unusually shaped lots that can add distinction to the building massing	The building is located on the northeast corner of the intersection of Fauntleroy Way SW and SW Edmunds St. The massing responds by stepping down towards Fauntleroy Way SW and at the corner and having special material consideration along this façade and gateway element at the intersection of Fauntleroy Way SW and SW Edmunds St. The base of both street frontages are also reserved for commercial uses.
CS2-B-2	CONNECTION TO THE STREET: Identify opportunities for the project to make a strong connection to the street and public realm	The project is designed to create an active pedestrian space at the ground level by setting the building back 13 feet from the property line and creating a 27 foot wide pedestrian zone at Fauntleroy. This also serves as an urban transition to the front yards directly to the South across SW Edmunds. The design of the building includes commercial live-work units that engage the street front space with outdoor seating, signage, and active uses. This serves as a transition to the less intensive residential uses to the south of the site to the large scale commercial uses to the north of the site.
CS2-B-3	CHARACTER OF OPEN SPACE: Contribute to the character and proportion of surrounding open spaces	The site of the mixed uses building is adjacent to the active and designated pedestrian connector at SW Edmunds St, south of building, and has increased setback at the South base to expand and enliven the pedestrian experience. Additional active commercial live-work space fronts SW Edmunds St.

CS2-D HEIGHT, BULK, AND SCALE

DESIGN GUIDELINE		PROPOSED RESPONSE
CS2-D-1	EXISTING DEVELOPMENT AND ZONING: Review the height, bulk, and scale of neighboring buildings as well as the scale of development anticipated by zoning for the area to determine an appropriate complement and/or transition	Proposed development meets development guidelines for the site zoned as NC3-85'. The height of the proposed building is similar to the Whittaker (building across Fauntleroy Way). The bulk and scale of the building is reduced to break the massing along the block, and the building is proposed to be approximately half the width of the Whittaker, across the street. The scale is appropriately situated within the sloped site to reduce the scale of massing. The structure is also set back from the site to the east greater than that required, with modulated and stepped massing.
CS2-D-2	EXISTING SITE FEATURES: Use changes in topography, site shape, and vegetation or structure to help make a successful fit with adjacent properties	The site is located on a steep slope that increases in grade 20' from the west to the east side of Edmunds street. The building reacts by stepping up with the slope -reducing the visual impact of the height, but maximizing the amount of housing. A special corner element lowers the building at SW Edmunds and Fauntleroy Way, as well as additional modulation and stepping to the East.
CS2-D-3	ZONE TRANSITIONS: For projects located at the edge of different zones, provide an appropriate transition or complement to the adjacent zone(s). Projects should create a step in perceived height, bulk and scale between the anticipated development potential of the adjacent zone and the proposed development	Proposed building is situated within a dynamic topographic zone where the building's height is stepped with the grade which has reduced impact at the less height-intensive zones to the east of the site. The project's gateway corner steps down towards the South and steps down to modulate the East facade.
CS2-D-4	MASSING CHOICES: Strive for a successful transition between zones where a project abuts a less intense zone	The project massing steps down with the grade, has a special corner element that steps down towards the South, and steps down and modulates the East facade. Project proposes live-work units along Fauntleroy and Edmunds to act as appropriate transitions between the residential uses to the south and east of the site to the commercial uses to the north and west of the site. Smaller scale commercial uses will reduce the impact of larger scale uses while also bringing in appropriate levels of commercial activity to the neighborhood-commercial zone.

RESPONSE TO EDG - CONTEXT & SITE

CS2 - URBAN PATTERN AND FORM: Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area

CS2-D HEIGHT, BULK, AND SCALE

DESIGN GUIDELINE		PROPOSED RESPONSE
CS2-D-5	RESPECT FOR ADJACENT SITES: Respect adjacent properties with design and site planning to minimize disrupting the privacy of residents in adjacent buildings	Building will have minimal impact to the privacy of residents in adjacent buildings as it is not situated directly adjacent to any structures. The nearest buildings are 65 feet to the East across the alley, and 70 feet to the South separated by SW Edmunds St. The proposed landscape plan also includes plantings to increase privacy along Fauntleroy Way SW and SW Edmunds St as well as at the alley to the West.

CS2-I STREETScape COMPATIBILITY

DESIGN GUIDELINE		PROPOSED RESPONSE
CS2-I-i	STREET WALL SCALE: Reduce the scale of the street wall with well-organized commercial and residential bays and entries, and reinforce this with placement of street trees, drop lighting on buildings, benches and planters	The scale of the street wall is reduced with the overall width of the building only being 150 feet wide along Fauntleroy Way SW. The south building of the Whittaker complex(the building across Fauntleroy Way) is 290 feet wide in comparison. This is in addition to the reduced scale of the mass stepping down to follow the slope and the generous setback from Fauntleroy Way . The entries of the live-work units further break up the street wall scale by providing small wing walls which provide signage and designate the commercial bays. Plantings and other landscape elements such as added stairways to live-work units break up the massing of the building and allow for pedestrians to enter and interact more fluidly with the commercial units.
CS2-I-ii	PUNCTUATE STREET WALL: Provide recessed entries and ground-related, small open spaces as appropriate breaks in the street wall	The project creates a punctuated rhythm at the live-work units through structural bays and provides recessed setback areas for the commercial activity to occur. The breaks in the street wall are further enhanced by the canopy system that reduces the scale of the ground level units and small wing walls to accentuate the work spaces and provide signage opportunities at the commercial entries.

CS2-II CORNER LOTS

DESIGN GUIDELINE		PROPOSED RESPONSE
CS-II-i	REINFORCE STREET CORNERS: New buildings should reinforce street corners, while enhancing the pedestrian environment	The proposed building reinforces the street corner with a stepped down mass which references the Whittaker across Fauntleroy Way and designates the residential entry. The base of the corner is transparent with 21 foot tall lobby ceilings and a visible mezzanine that steps up with the site along Edmunds Street - activating both sides of the corner for pedestrians to engage with the building. The special entry weathered steel portal and canopy further marks the residential entry and celebrates the corner.
CS-II-ii	HUMAN-SCALED OPEN SPACE: Public space at the corner, whether open or enclosed, should be scaled in a manner that allows for pedestrian flow and encourages social interaction. To achieve a human scale, these spaces should be well defined and integrated into the overall design of the building. Consider: a. providing seating; b. incorporating art that engages people; c. setting back corner entries to facilitate pedestrian flow and allow for good visibility at the intersection	The primary entry into the building and onto the landscaped 'dock' (open pedestrian space along the base at the live-work units) is located at grade on the corner of Fauntleroy and Edmunds. The site experiences a slope down along Fauntleroy at this point and up along Edmunds at this point, so it becomes the focal and accessible entry to all parts of the building. The area between the sidewalk and commercial live-work spaces is further enhanced with plantings, stairways to the live-work units, and special detailing at the commercial entries.
CS2-II-iii	NEIGHBORHOOD GATEWAYS: Building forms and design elements and features at the corner of key intersections should create gateways for the neighborhood. These buildings should announce the block through the inclusion of features that grab one's interest and mark entry. See guidelines for Gateway location map.	The entry at the corner reinforces the whole-building concept of the 'foundry.' It uses materials and cues to create an active gateway through the design of the portal entry into the lobby and the mezzanine within the lobby. The highly transparent corner includes meeting spaces for the residents of the live-work units, the leasing office, and the residential units on the upper levels to commingle and occupy the space. This is visible to pedestrians and traffic along Fauntleroy and Edmunds and will activate the neighborhood through the various uses at the exterior and interior of the building. The accentuated gateway element uses material change, color, and different window pattern to emphasize the distinctive corner gateway.

RESPONSE TO EDG - PUBLIC LIFE

PL1 CONNECTIVITY: Complement and contribute to the network of open spaces around the site and the connections among them

PL1-I HUMAN ACTIVITY

DESIGN GUIDELINE		PROPOSED RESPONSE
PL1-I-ii	PUBLIC SPACE TRADE-OFF: In exchange for a loss of development potential at the ground floor, the Design Review Board is encouraged to entertain requests for departures to exceed the lot coverage requirement for mixed use projects	The project creates an active pedestrian space at the ground level by setting the bulding back from the sidewalk to create an extended pedestrian zone at Fauntleroy Way SW. This also serves as an urban transition to the front yards directly to the South across Edmunds. No departure is requested for this additional open space.
PLI-iii	RECESSED ENTRIES: When a setback is not appropriate or feasible, consider maximizing street level open space with recessed entries and commercial display windows that are open and inviting	The approved massing includes a generous setback at the ground level along Fauntleroy Way and Edmunds Street. Live-work units are further designed with maximized commercial display windows and small wing-walls integrated with overhead canopies that separate and create an appropriately human-scaled open environment.

PL2 WALKABILITY: Create a safe and comfortable walking environment that is easy to navigate and well connected to existing pedestrian walkways and features

PL2-II PEDESTRIAN OPEN SPACES AND ENTRANCES

DESIGN GUIDELINE		PROPOSED RESPONSE
PL2-II-i	STREET AMENITIES: Streetscape amenities mark the entry and serve as way finding devices in announcing to visitors their arrival in the commercial district. Consider incorporating the following treatments to accomplish this goal: a. pedestrian scale sidewalk lighting; b. accent pavers at corners and midblock crossings; c. planters; d. seating	Pedestrian scaled bollard lighting is provided in the planters along Fauntleroy Way SW and SW Edmunds Street. Accent pavers are designed to orient the pedestrians in the north-south directon at the elevated walkway as well as accented pavers at the vestibuled lobby entrance which are oriented with the angle of the vestibule to welcome residents and visitors to the building at the corner of the site. Planters are located in betweent the live work units and the sidewalk along Fauntleroy Way SW as well as on the elevated pedestrian walkway. The building is also offset along Edmunds Ave SW to allow planters to act as buffers adjacent to the sidewalk at the slope. Seating is provided along the sidewalk on Fauntleroy.
PL2-II-ii	PEDESTRIAN-ENHANCED STOREFRONTS: Pedestrian enhancements should especially be considered in the street frontage where a building sets back from the sidewalk	The storefronts are enhanced at the setback ground level of the building by providing spaces for residents of the live-work units to expand their display of goods outwards and provide seating and tables to patrons depending on the use and needs of the business type. The units are also designed with maximized storefront at the ground level for optimal transparency to promote the commercial activity.

RESPONSE TO EDG - PUBLIC LIFE

PL3 STREET LEVEL INTERACTION: Encourage human interaction and activity at the street-level with clear connections to building entries and edges

PL3-A ENTRIES

DESIGN GUIDELINE		PROPOSED RESPONSE
PL3-A-1	DESIGN OBJECTIVES: Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street	Primary entries are designed to be obvious, identifiable and distinctive with clear lines of sight through large storefront walls along the ground level. The live-work units are enhanced by generous windows and details to accentuate the work spaces and provide clearly identifiable commercial entries. The main lobby is located at the highly trafficked corner of Fauntleroy and Edmunds and is visibly connected to the street with large storefront windows, as well as material details that respond to the whole building concept and create visual interest to pedestrians.
PL3-A-2	COMMON ENTRIES: Multi-story residential buildings need to provide privacy and security for residents but also be welcoming and identifiable to visitors	Common entry to the residential units is located at the southwest corner of the site. The entry has 21 foot tall ceilings and is easily designated with high levels of transparent glazing and signage. The lobby also includes a proposed mezzanine for identification along the steep slope along Edmunds Street.
PL3-A-3	INDIVIDUAL ENTRIES: Ground related housing should be scaled and detailed appropriately to provide for a more intimate type of entry	The ground related live-work units have been designed with individual entries separated with wing walls, canopies, and plantings to enhance the pedestrian environment
PL3-A-4	ENSEMBLE OF ELEMENTS: Design the entry as a collection of coordinated elements including the door(s), overhead features, ground surface, landscaping, lighting, and other features	The ensemble of elements is designed with the whole-building concept of the ‘foundry’ which includes metal-based detail elements including a weathered steel canopy, metal planters at the live-work units along the ‘dock’ and metal panel façade details at the ground level. Patterns of all facade elements, ground textures, lighting, and plantings are also designed to strengthen the concept through careful detailing.

PL3-B RESIDENTIAL EDGES

DESIGN GUIDELINE		PROPOSED RESPONSE
PL3-B-3	BUILDINGS WITH LIVE/WORK USES: Maintain active and transparent facades in the design of live/work residences. Design the first floor so it can be adapted to other commercial use as needed in the future	The first floors of the live-works are designed with 10 foot tall storefront walls with integrated operable awning windows to allow optimal amounts of transparency to activate the commercial uses at the base. The first floor layout of these units have all front uses to be commercial, and only include kitchens, ADA bathrooms, and storage to occupy this first level. The second level of these units includes a bedroom, closet space(s), laundry unit, and separate bathroom. There are no permanent walls separating the live-work spaces allowing for combination and/or adaptation to other commercial uses in the future.
PL3-B-4	INTERACTION: Provide opportunities for interaction among residences and neighbors	Interaction among residences and neighbors is designed to occur at the front ‘dock’ design element along Fauntleroy at the live-work units (and a smaller similar element along Edumunds in front of the two live-work units). The building has been set back 13 feet from the property line for increased opportunities for landscape and pedestrians to create west and south facing sunny spaces for commercial and pedestrian activity to occur.

RESPONSE TO EDG - PUBLIC LIFE

PL3 STREET LEVEL INTERACTION: Encourage human interaction and activity at the street-level with clear connections to building entries and edges

PL3-C RETAIL EDGES

DESIGN GUIDELINE		PROPOSED RESPONSE
PL3-C-1	POROUS EDGE: Engage passerby with opportunities to interact visually with the building interior using glazing and transparency. Create multiple entries where possible and make a physical and visual connection between people on the sidewalk and retail activities in the building	Transparency is maximized at the commercial levels of the live-work units which allows for increased engagement of pedestrians to the ‘work’ portions of these units. Multiple entries are designed along the street front of Fauntleroy/Edmunds, and the primary residential lobby is marked by a two story transparent element at the gateway corner.
PLE-C-2	VISIBILITY: Maximize visibility into the building interior and merchandise displays. Consider fully operational glazed wall-sized doors that can be completely opened to the street, increased height in lobbies, and/or special lighting for displays	Visibility into the ground level live-work units is maximized with tall storefront walls for increased display of goods, services, signage, and lighting of commercial uses. The main two story residential lobby utilizes extensive windows to help distinguish the gateway corner.
PL-C-3	ANCILLARY ACTIVITIES: Allow space for activities such as sidewalk vending, seating, and restaurant dining to occur. Consider setting structures back from the street or incorporating space in the project design into which retail uses can extend	An increased setback of 13 feet from the property line at the ground level allows the commercial live-work units to sell their goods, add signage boards, or include seating and tables for patrons.

DC1 PROJECT USES AND ACTIVITIES: Optimize the arrangement of uses and activities on site

DC1-A ARRANGEMENT OF INTERIOR USES

DESIGN GUIDELINE		PROPOSED RESPONSE
DC1-A-1	VISIBILITY: Locate uses and services frequently used by the public in visible or prominent areas, such as at entries or along the street front	All live-work units are located with street frontages along Fauntleroy Way SW and SW Edmunds Street to maximize visibility for pedestrian and vehicular traffic. The primary residential entry (and locations for shared meeting spaces of live/work units) is located at the highly visible corner of Fauntleroy Way SW and SW Edmunds Street. All entries and ground level uses are maximized with transparent glazing for activating the interior uses to the exterior. The entrance to the parking area is located along the alley at the east of the site to minimize the impact of cars and increase pedestrian safety.
DC1-A-2	GATHERING PLACES: Maximize the use of any interior or exterior gathering spaces	Gathering places are included at the increased set back along Fauntleroy Way and Edmunds Street for pedestrians and non-residents to enjoy. Residents of the building have access to shared meeting spaces in the lobby, an exterior roof deck on the top level , and a large amenity room with small deck for internal community gathering and events.
DC1-A-3	FLEXIBILITY: Build in flexibility so the building can adapt over time to evolving needs, such as the ability to change residential space to commercial space as needed	The live/work units are designed to maximize commercial activity at the ground level. The stair is hidden behind the front door of each unit to maximize the visibility into the work portion of the units. There are no permanent walls separating the live-work spaces allowing for combination and/or adaptation to other commercial uses in the future if retail becomes more feasible at this location.
DC-A-4	VIEWS AND CONNECTIONS: Locate interior uses and activities to take advantage of views and physical connections to exterior spaces and uses	See DC1-A-1 for response.

RESPONSE TO EDG - DESIGN CONCEPT

DC2 ARCHITECTURAL CONCEPT: Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings

DC2-B ARCHITECTURAL AND FACADE COMPOSITION

DESIGN GUIDELINE		PROPOSED RESPONSE
DC2-B-1	FACADE COMPOSITION: Design all building facades - including alleys and visible roofs - considering the composition and architectural expression of the building as a whole. Ensure that all facades are attractive and well-proportioned	The proposed design uses the concept of two sliding bars held together by a solid base as the architectural expression. All parts of the building have been developed to respond to the concept and it can be followed through all exterior facades of the building.
DC2-B-2	BLANK WALLS: Avoid large blank walls along visible facades wherever possible. Where expanses of blank walls retaining walls, or garage facades are unavoidable, include uses or design treatments at the street level that have human scale and are designed for pedestrians	Facades along Fauntleroy and Edmunds have extensive windows for transparency into the commercial live-work residences, as well as planters for visual dynamics. At the north side of the building (which abuts the property line), and the east side (along the alley) - the exposed concrete walls have been designed with human scale reveals and open air garage doors. The east wall is of low scale and the building steps back to allow for a smaller scale and outdoor space for residents

DC1-D SCALE AND TEXTURE

DESIGN GUIDELINE		PROPOSED RESPONSE
DC2-D-1	HUMAN SCALE: Incorporate architectural features, elements, and details that are of human scale into the building facades, entries, retaining walls, courtyards, and exterior spaces in a manner that is consistent with the overall architectural concept	Multiple elements and details including storefronts at ground level, windows at upper levels, canopies, metal panel details, lighting fixtures, signage and landscape elements are incorporated consistently into the building design, to help provide human scale and a relationship to the whole-building conceptual design.
DC2-D-2	TEXTURE: Design the character of the building, as expressed in the form, scale, and materials, to strive for a fine-grained scale, or “texture”, particularly at the street level and other areas where pedestrians predominate	A fine-grained scale is proposed with a unique weathered steel canopy/wing wall design element which will warm the ground level as well as provide visual and tactile interest for pedestrians and residents. Rust from these design elements will be collected, to reduce the impact of these dynamic elements. The overall concept of the building is reinforced by the ‘bars’ being of one color and material, with a special pattern, and the base of the building “holding” the ‘bars’ built from textured metal.

DC2-I ARCHITECTURAL CONCEPT AND CONSISTENCY

DESIGN GUIDELINE		PROPOSED RESPONSE
DC2-I-i	INTEGRATE UPPER-LEVELS: New multi-story developments are encouraged to consider methods to integrate a building’s upper and lower levels. This is especially critical in areas zoned NC-65’ and greater, where more recent buildings in the Junction lack coherency and exhibit a disconnect between the commercial base and upper residential levels as a result of disparate proportions, features and materials. The base of new mixed-use buildings - especially those zoned 65’ in height and higher - should reflect the scale of the overall building. New mixed-use buildings are encouraged to build the commercial level, as well as one to two levels above, out to the front and side property lines to create a more substantial base	The new mixed use building is designed with an encompassing full-building concept. The approved massing design takes cues from the local foundry where sliding bars of metal slide over solid machinery to be shaped. The proposed building creates two ‘bars’ of residential units clad in fiber cement panels that reduce the scale of the building by sliding as separate masses over a metal panel ‘base’. The metal panel ‘base’ extends beyond the ground floor on all facades to enhance the representation of the solid ‘base’. The fiber-cement clad bars are also enhanced with the same material framing the windows and allowing for articulation through fenestration at the upper levels, but still referencing the same material of the base. The modulation of the bars and base is clearly referenced throughout all facades of the proposed building, as is having a simplified palette of materials and colors.
DC2-I-ii	COHESIVE ARCHITECTURAL CONCEPT: The use and repetition of architectural features and building materials, textures and colors can help create unity in a structure. Consider how the following can contribute to a building that exhibits a cohesive architectural concept: a. facade modulation and articulation; b. windows and fenestration patterns; c. trim and moldings; d. grilles and railings; e. lighting and signage	See DC2-I-i for response.

RESPONSE TO EDG - DESIGN CONCEPT

DC3 OPEN SPACE CONCEPT: Integrate open space design with the building design so that they complement each other

DC4 EXTERIOR ELEMENTS AND FINISHES: Use appropriate and high quality elements and finishes for the building and its open spaces

DC3-B OPEN SPACE USES AND ACTIVITIES

DESIGN GUIDELINE		PROPOSED RESPONSE
DC3-B-1	MEETING USER NEEDS: Plan the size, uses, activities, and features of each open space to meet the needs of expected users, ensuring each space has a purpose and function	The primary open spaces provided are the pedestrian walkway along Fauntleroy and the corner entry. The Fauntleroy elevated walkway is scaled for residents and patrons of the live-work units to utilize with room for tables, chairs, and general spillover of the commercial units. Small wing walls between entries to these units provides privacy and contain each unit to a more managable people-scaled space. The lobby entry which is located at the gateway corner of Fauntleroy Way SW and SW Edmunds St is sized and glazed to activate the building lobby and office with pedestrians. The vestibule is oriented at an angle for pedestrians who might be entering from either Edmunds or Fauntleroy.
DC3-B-2	MATCHING USES TO CONDITIONS: Respond to changing environmental conditions such as seasonal and daily light and weather shifts through open space design and/or programming of open space activities	The primary pedestrian spaces (located in front of the live/work units) are at the south and west sides of the site where natural light is most common and will help enrich the area. Canopies are also present at these area for weather protection at entries to units and for seating at commercial live/work units.
DC3-B-3	CONNECTIONS TO OTHER OPEN SPACE: Site and design project related open spaces to connect with, or enhance, the uses and activities of other nearby public open space where appropriate	The pedestrian corner at SW Edmunds St and Fauntleroy Way SW is activated as a gateway location with a 13 foot setback at the front of the building at the lobby. The Whittaker (new construction across the street) has a similar pedestrian oriented corner with seating and planters which influenced the design and location of this primary building entry. Along Fauntleroy, the design has an elevated walkway for residents to enjoy and for pedestrians/patrons to use for window shopping and spillover of the commercial space at the live-work units. This setback is similar to the building setback of the Fauntleroy Terrace Condominiums. The walkway along Edmunds is widened at the entries to the live-work units to provide relief and a small gathering space of pedestrians for walkers from the walkway up Edmunds.

DC4-A EXTERIOR ELEMENTS AND FINISHES

DESIGN GUIDELINE		PROPOSED RESPONSE
DC4-A-1	EXTERIOR FINISH MATERIALS: Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged	The building proposes to use dark corrugated metal panel at accessible and key areas of the building for a visually unique material with accents of weathered steel at the commercial entries of the live/work units as well as at the portal entrance to the residential lobby. These metal details work with the concept of the 'foundry' by bringing in simple and well detailed materials to reference the local industrial nature of West Seattle. The upper levels of the building consist of cementious panels in a pattern referencing the layout of the 'stacked bar' windows which protrude beyond the facade of the building.
DC4-A-2	CLIMATE APPROPRIATENESS: Select durable and attractive materials that will age well in Seattle's climate, taking special are to detail corners, edges, and transitions	Materials have been selected for their durability and appropriateness within Seattle's climate. The base of the building is composed of durable metal panel and detailed to withstand abuse. The base also includes weathered steel panels detailed appropriately to recieve any potential runoff. The transition between the metal panel and fiber cement panels is also detailed to accentuate the material abstraction of the 'foundry' concept, but also to withstand appropriate weather concerns with durable painted cap flashing at the tops of walls. Windows are vinyl, with other elements in steel painted with a durable coating.

RESPONSE TO EDG - DESIGN CONCEPT

DC4 EXTERIOR ELEMENTS AND FINISHES: Use appropriate and high quality elements and finishes for the building and its open spaces

DC4-B SIGNAGE

DESIGN GUIDELINE		PROPOSED RESPONSE
DC4-B-1	SCALE AND CHARACTER: Add interest to the streetscape with exterior signs and attachments that are appropriate in scale and character to the project and its environments	Individual tenant signage will have a consistency in scale and type with the ability for each tenant to express their identity and promote their unique business adding vitality and vigor to the public realm.
DC4-B-2	COORDINATE WITH PROJECT DESIGN: Develop a signage plan within the context of architectural and open space concepts, and coordinate the details with façade design, lighting, and other project features to complement the project as a whole, in addition to the surrounding context	The building signage will celebrate the concept of the foundry as well as reacting to the active pedestrian corner site. A hierarchy of signage that provides identification, neighborhood character and that is integrated into the building architecture is proposed. Signage material quality, detailing and lighting will be consistent with the building architecture.

DC4-C LIGHTING

DESIGN GUIDELINE		PROPOSED RESPONSE
DC4-C-1	FUNCTIONS: Use lighting both to increase site safety in all locations used by pedestrians and to highlight architectural or landscape details and features such as entries, signs, canopies, plantings, and art	Site lighting occurs at all entries of live-work units- allowing for signage to be enhanced for residents/business owners. Lighting also occurs for safety of residents by illuminating pedestrian zone in front of units. The lobby entrance and portal will be brightly lit from within the space with accent lighting as an expression of the space will spill out
DC4-C-2	AVOIDING GLARE: Design project lighting based upon the uses on and off site, taking care to provide illumination to serve building needs while avoiding off-site night glare and light pollution	Lighting has been designed to provide illumination that serves the building’s needs as well as avoiding off-site night glare and light pollution.

DC4-D TREES, LANDSCAPE, AND HARDSCAPE MATERIALS

DESIGN GUIDELINE		PROPOSED RESPONSE
DC4-D-1	CHOICE OF PLANT MATERIALS: Reinforce the overall architectural and open space design concepts through the selection of landscape materials	The landscape materials proposed for the project were chosen to reinforce the Foundry concept through plant color, scale and texture. The plant palette of drought tolerant planting support the sustainable design measures of the project while also supporting the right balance of transparency and privacy of the Live/Work units and the adjacent streetscape.
DC4-D-2	HARDSCAPE MATERIALS: Use exterior courtyards, plazas, and other hard surfaced areas as an opportunity to add color, texture, and/or pattern and enliven public areas through the use of distinctive and durable paving materials. Use permeable materials wherever possible	Linear paving at the Live/Work ‘Dock’and Main Entry encourages pedestrian movement along the storefront windows (North-South circulation) as well breaks down the scale to a pedestrian scale when the spaces are accessed from the public sidewalk. The linear paving also reinforces the foundry and bar concept that is the story that is presented throughout the project.
DC4-D-3	LONG RANGE PLANNING: Select plants that upon maturity will be of appropriate size, scale and shape to contribute to the site as intended	The planting palette consists of low maintenance plants that will thrive in their proposed locations (streetscape and activating spaces) and functions (Bio planters and reinforcing green storm-water strategies).
DC4-D-4	PLACE MAKING: Create a landscape design that helps define spaces with significant elements such as trees	The landscape materials proposed for the project were chosen to reinforce the Foundry concept through plant color, scale and texture. The use of Black Tupelo (tree); Heavenly Bamboo, Kelsey Dogwood and Goldflame Spirea (shrubs); and Kinnikinnick (groundcover) reinforce the Foundry concept as these plants will illuminate vibrant reds and yellows at various stages throughout the year. These plants are proposed along the public streetscape and the spatial transitions to maximize their visibility to the public and to the casual passerby.