

4035 Stone Way N- Proposed New Residential Construction Project (SDCI #3024349)

Presentation Package

SEATTLE DESIGN REVIEW- NORTHEAST BOARD

October 17th, 2016 | Early Design Guidance Meeting 1
May 22th, 2017 | Design Review Recommendation Meeting 1

PROJECT SUMMARY

The proposed building located at 4035 Stone Way N in Wallingford’s NC2P-40 zone within the Wallingford Residential Urban Village overlay. The proposed building will be 3 levels of residential over 1 level of combined residential and commercial containing 49 units, 2,443 square feet of retail and 33 parking stalls. There is one level of below-grade parking that will be accessed from N 41st Street.

The lot fronts N 41th Street to the north, Stone Way N to the east, a shared property line to the south and a shared property line to the west, abutting single family residential (SF5000). The site area is 114’x120’ and the site slopes down from north to south along Stone Way N.



4035 Stone Way N
Design Proposal Cover Page for SDCI #3024349

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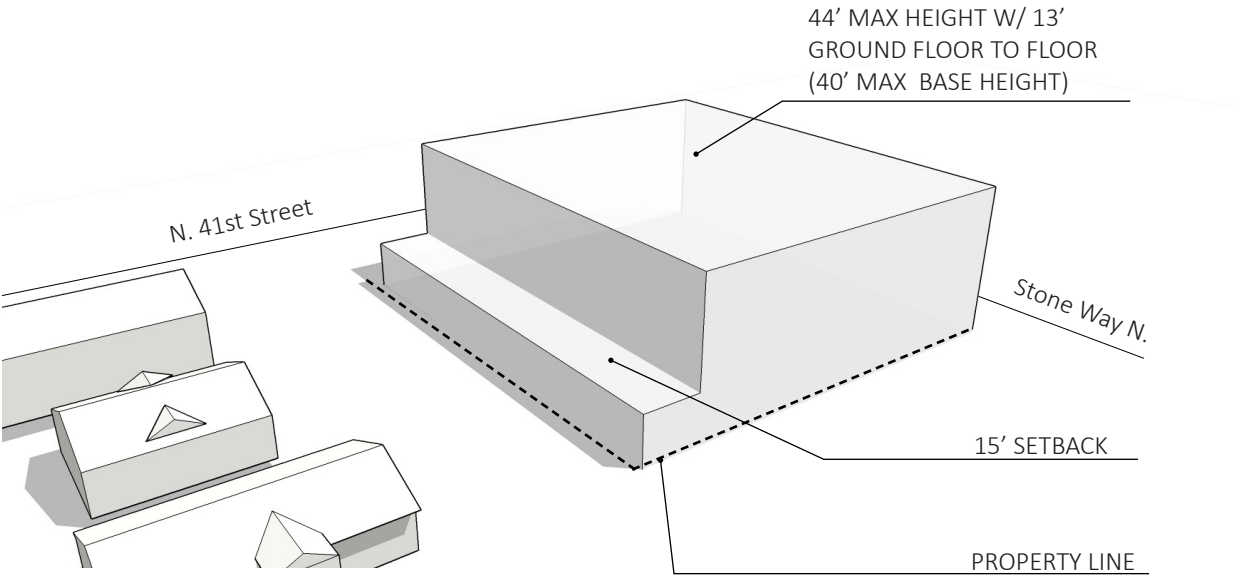


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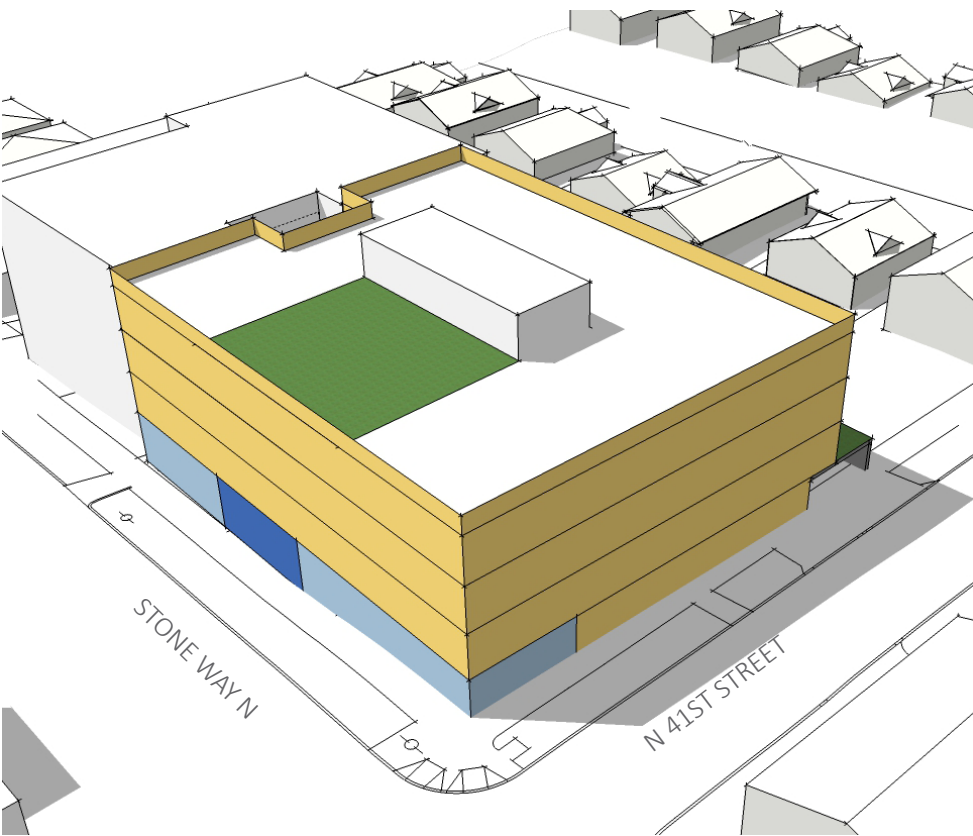
ZONING ANALYSIS

Lot Size:	13,600 sf
Zoning & Overlays:	NC2P-40 (Neighborhood Commercial) Wallingford Residential Urban Village Overlay Pedestrian Overlay
Street Designations:	Stone Way North- Principal Pedestrian Street
Permitted Uses: (23.47A.005)	Residential, Commercial
Setback Requirements: (23.47A.014)	A 15’ setback is required along any rear or side lot line that abuts a lot in a residential zone for structures containing a residential use, above 13’ to a maximum of 65’.
Structure Height: (23.47A.012)	Base: 40’ The height of a structure may exceed the otherwise applicable limit by up to 4’ per 23.47A.012.A.1.a.



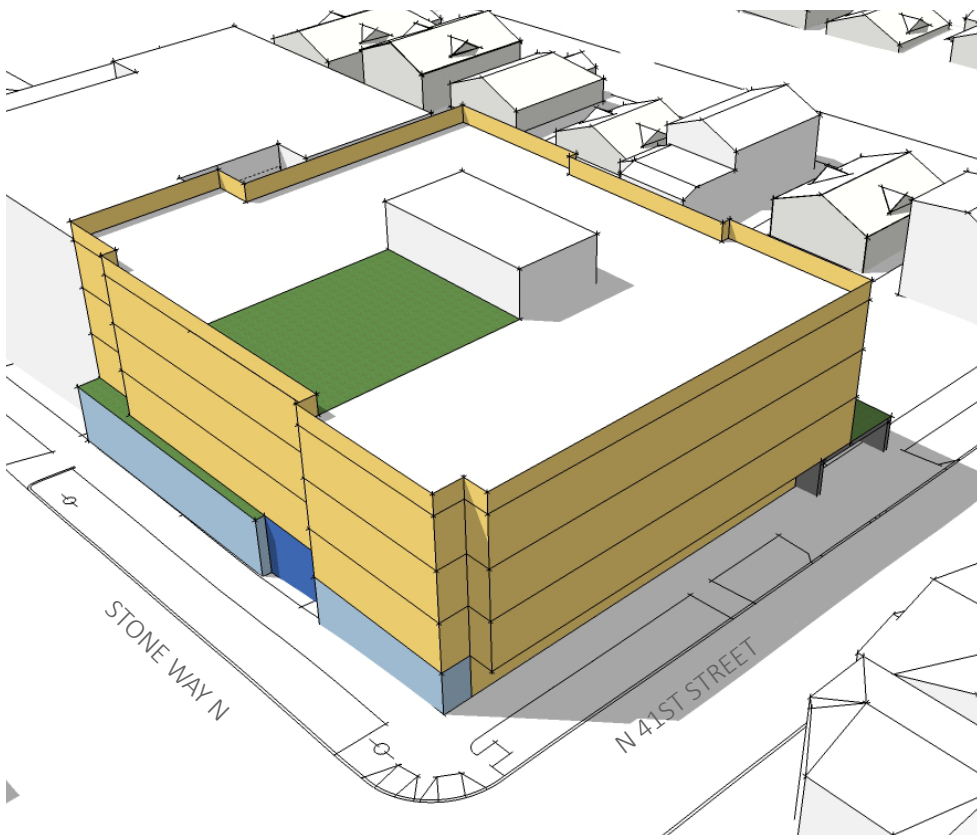






Option A (Code Compliant)

- Pros
- Continuous massing along Stone Way enhances perspective down the street and provides a strong urban edge.
- Cons
- Continuous facades on Stone Way and North 41st eliminate the modulation that is characteristic of the neighborhood building fabric.
 - Lack of modulation along North 41st does not provide adequate transition between the residential and commercial zones along the street front.
 - Lack of modulation at west facade does not break massing down for transition to single family homes.
 - Relies solely on material transitions to articulate the base, middle and top.
 - Abrupt faces along rights of way do not promote pedestrian scale and eliminate potential for landscaped building entries.
 - Lack of modulation prevents definition the building corner and the corner site as a whole.
 - Main building entry not located at corner reduces prominence.
 - Split commercial space reduces flexibility for potential retailers.



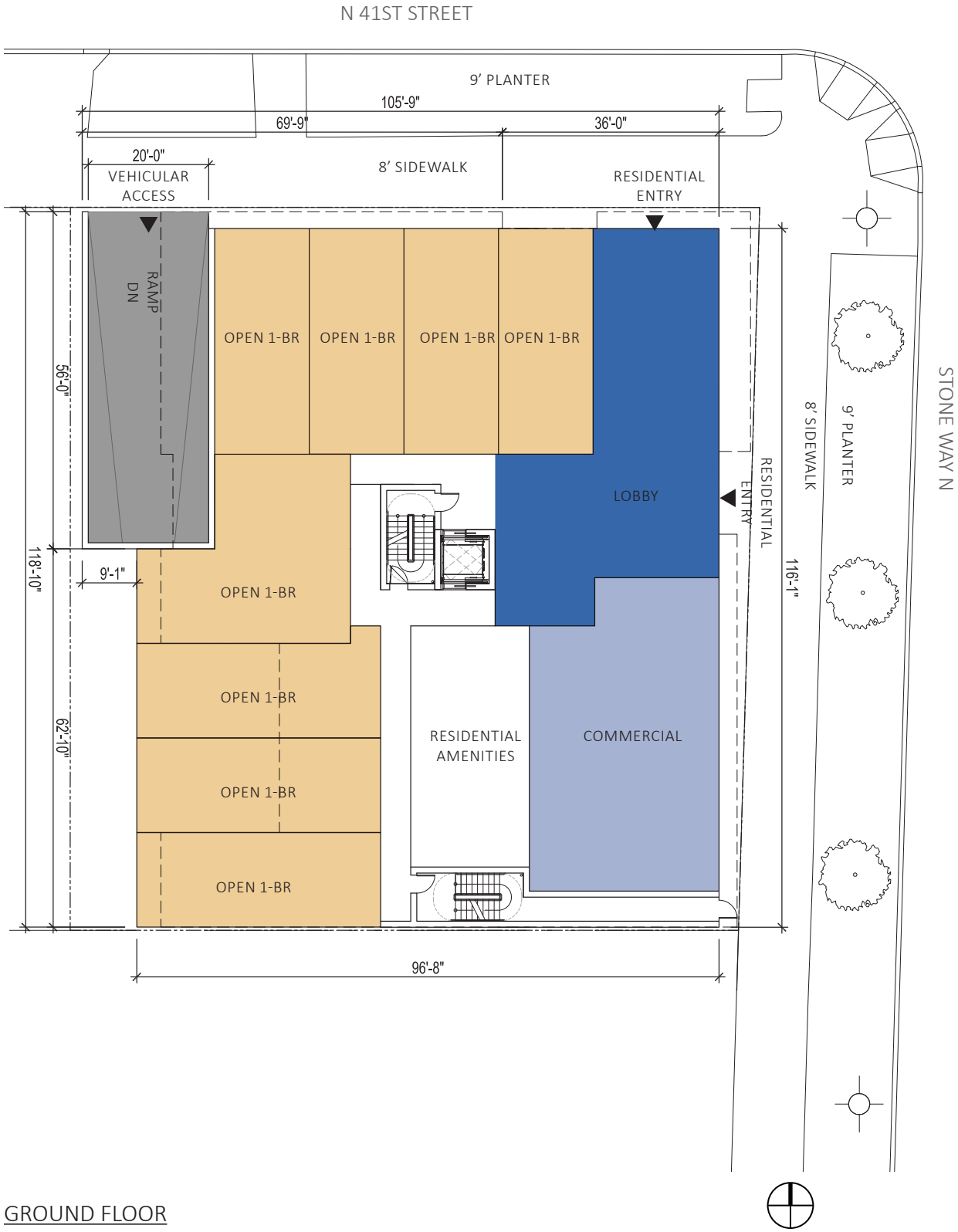
Option B

- Pros
- Eroded facade along Stone Way articulates the facade and creates a variety of scales at the street front.
 - Protruding ground floor articulates the base and middle geometries.
 - Recessed residential levels along Stone Way allows for balcony opportunities to activate the east facade.
 - Recessed ground floor along North 41st allows for landscaped transitions between the right of way and building.
- Cons
- Continuous face along North 41st eliminates modulation that is characteristic of the neighborhood building fabric.
 - Minimal modulation at west facade does not break massing down for transition to single family homes.
 - Abrupt faces along rights of way do not promote pedestrian scale and eliminate potential for landscaped building entries.
 - Lack of modulation on North 41st prevents definition the building corner and the corner site as a whole.
 - Main building entry not located at corner reduces prominence.

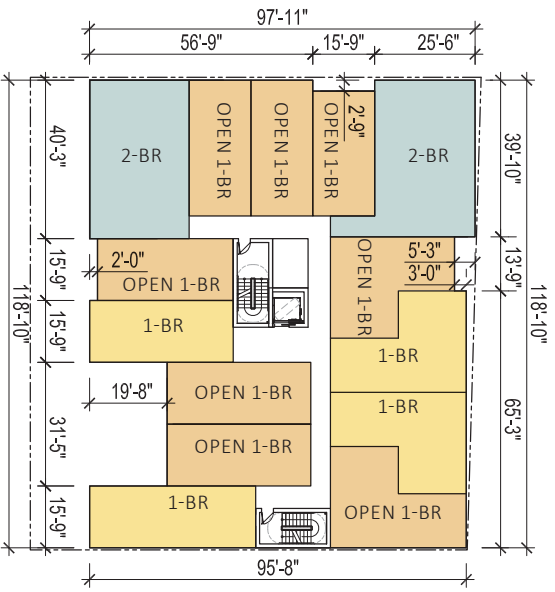


Option C (Preferred Scheme)

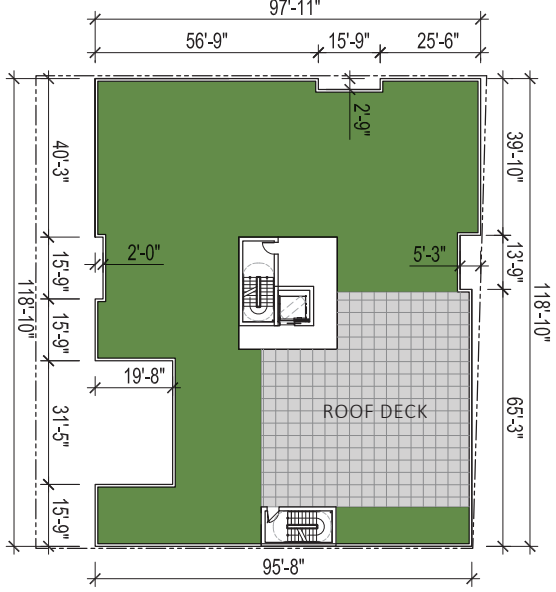
- Pros
- Modulation along Stone Way N articulates the facade and creates a variety of scales at the street front.
 - Modulation along North 41st provides for a scaled transition between the residential and commercial zones along the street front.
 - Building modulation and tiered outdoor areas provide setbacks and transitions on the west facade facing the residential zone.
 - Recessed ground floor along both streets provides a pedestrian scale to enhance the street front experience with landscaping, weather protection and lighting.
 - Defined corner massing lends prominence to the site and provides a focal point for the intersection.
 - Corner lobby provides a main building entry to activate the block corner and give presence to the mass above.
 - Recesses on both facades provide balcony opportunities to activate the facades
 - Consolidated commercial space provides an opportunity for large anchor tenant or division into smaller tenants.



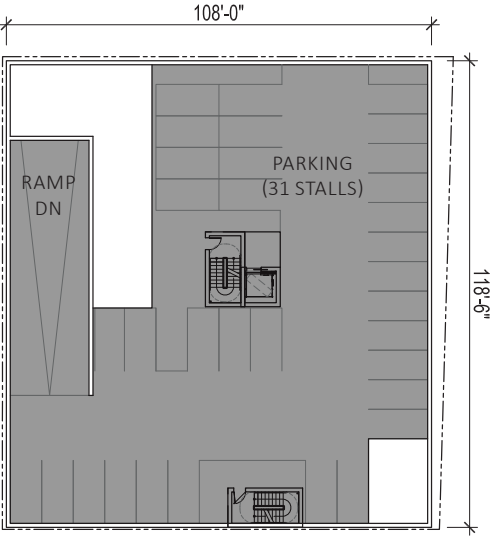
GROUND FLOOR



LEVEL 2 - LEVEL 4



ROOF PLAN



PARKING

WHAT WE HEARD...

- **MASSING :**

Base, Middle & Top
Contextural Design Cues and Details
Main Lobby Entry Deliniation

- **MASSING AND TRANSITION TO ABUTTING DEVELOPMENT :**

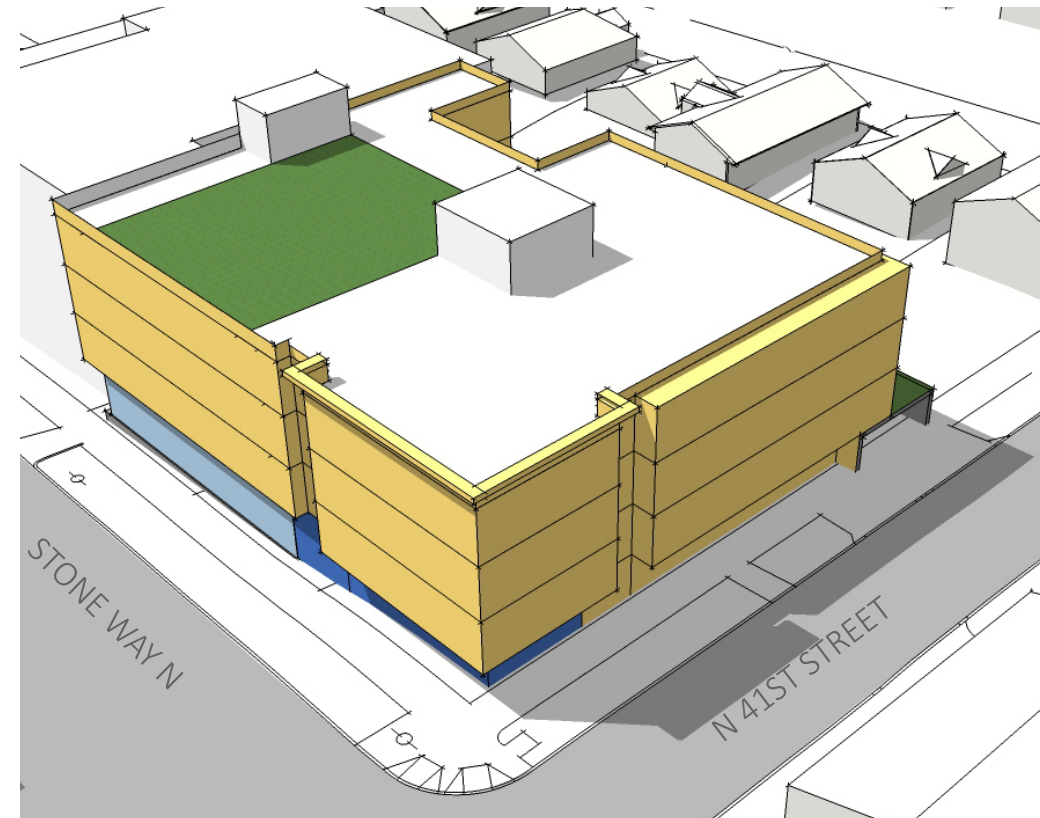
Transitions from Commecial to Residential Character
Perceived Height, Bulk, and Scale for Single Family Development
Terraces / Courtyards / Balconies
Privacy of Adjacent Single Family Development

- **STREET LEVEL & ENRTY :**

Overhead Protection
Activate Northeast Corner at Stone Way N and N 41st Steet
Maximize Commercial Space / Small Retail Spaces
Relocate Lobby Entry
Vehicular Access and Bike Access & Storage
Retain Street Trees / Quality of Landscape & Location

- **MATERIALS :**

Finishes / Exterior Materials
Brick Base Highly Supported
Exterior Lighting & Signage



AERIAL FROM EDG MEETING #1 : SCHEME "C"

Lobby ■
Commercial ■
Residential ■



PROPOSED DESIGN

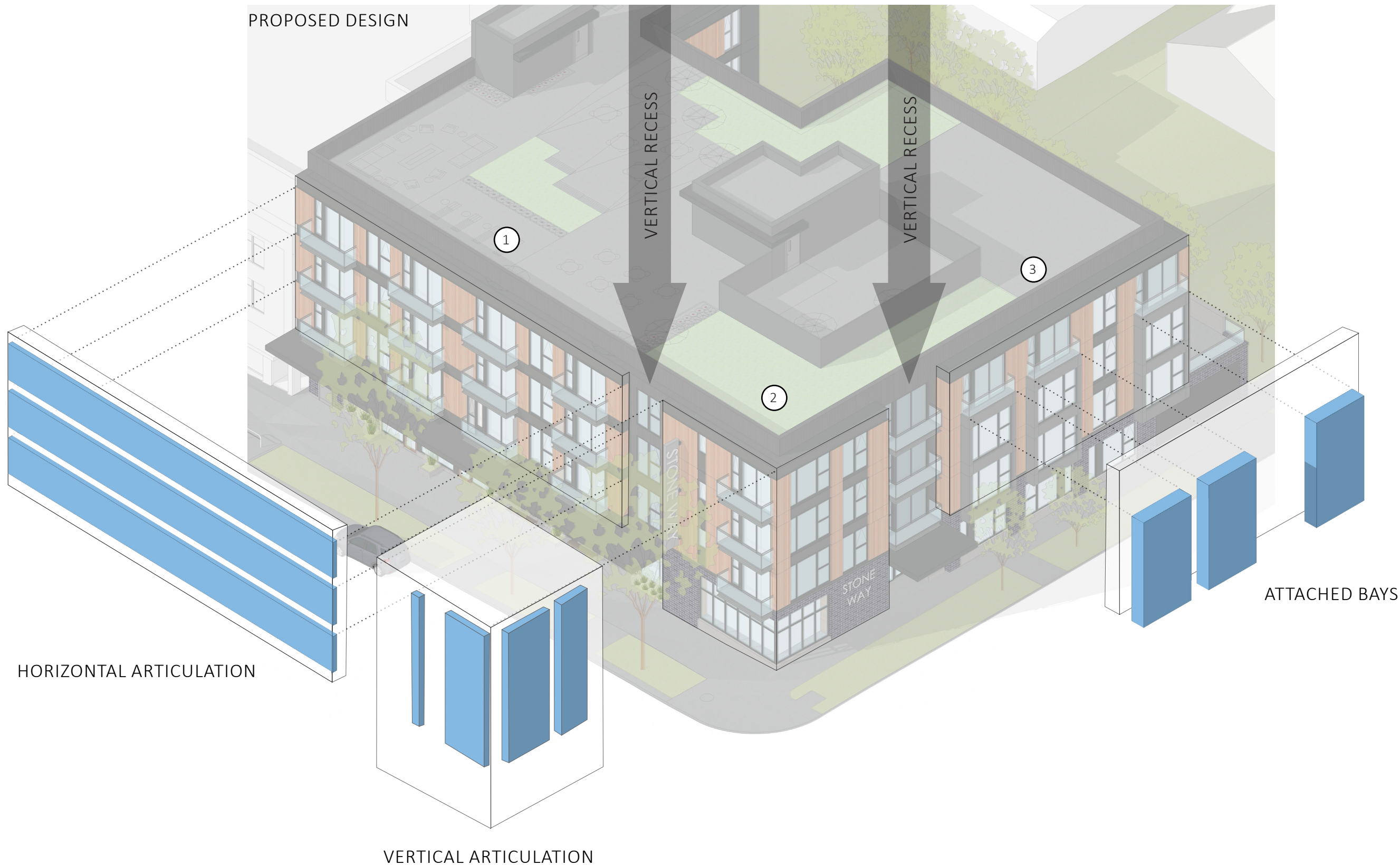






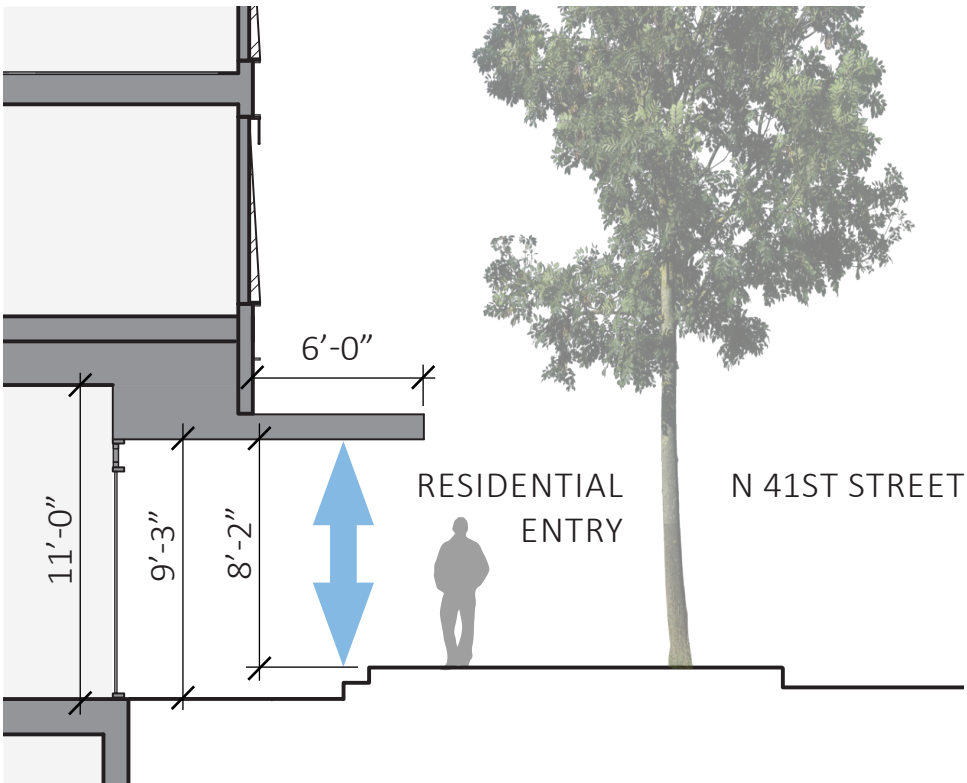
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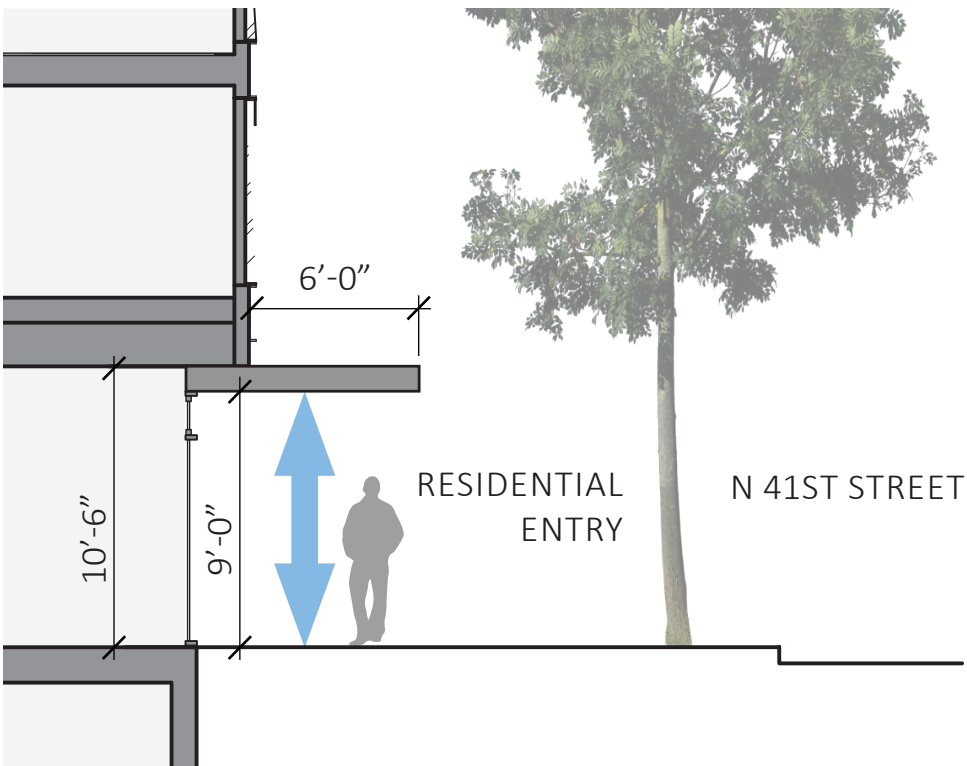
CORNER AT STONE WAY AND N 41ST: PREVIOUS



SECTION OF ENTRY : PREVIOUS



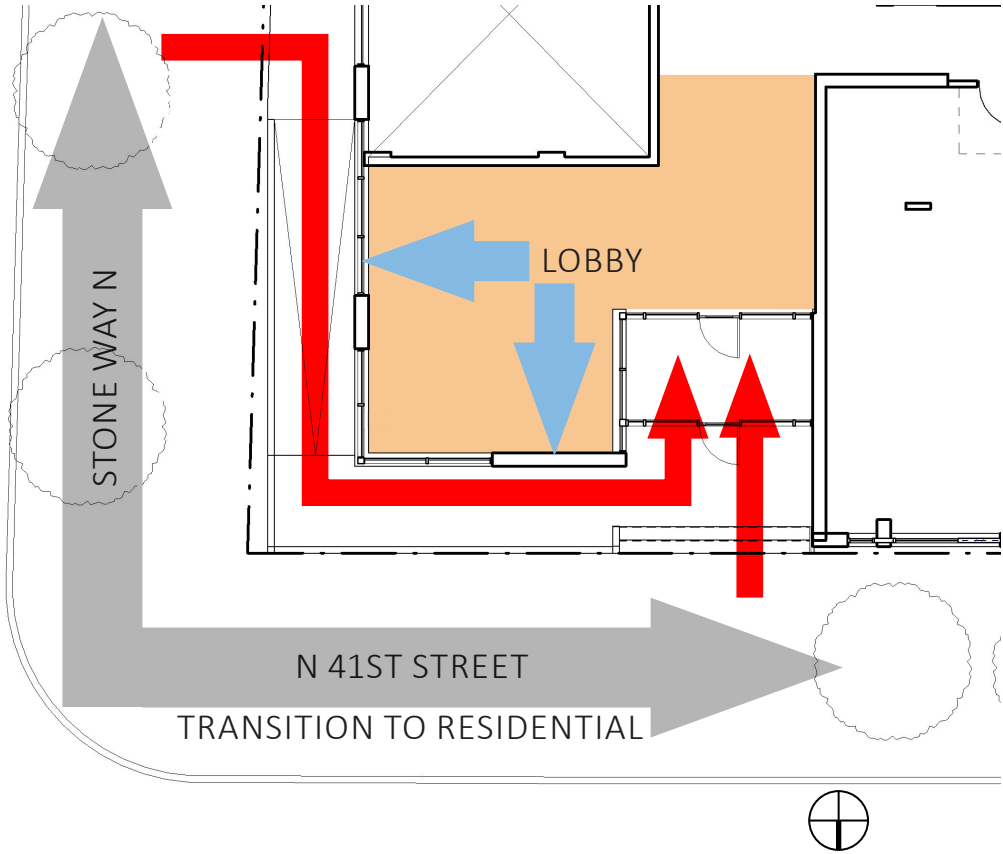
CORNER AT STONE WAY AND N 41ST: PROPOSED



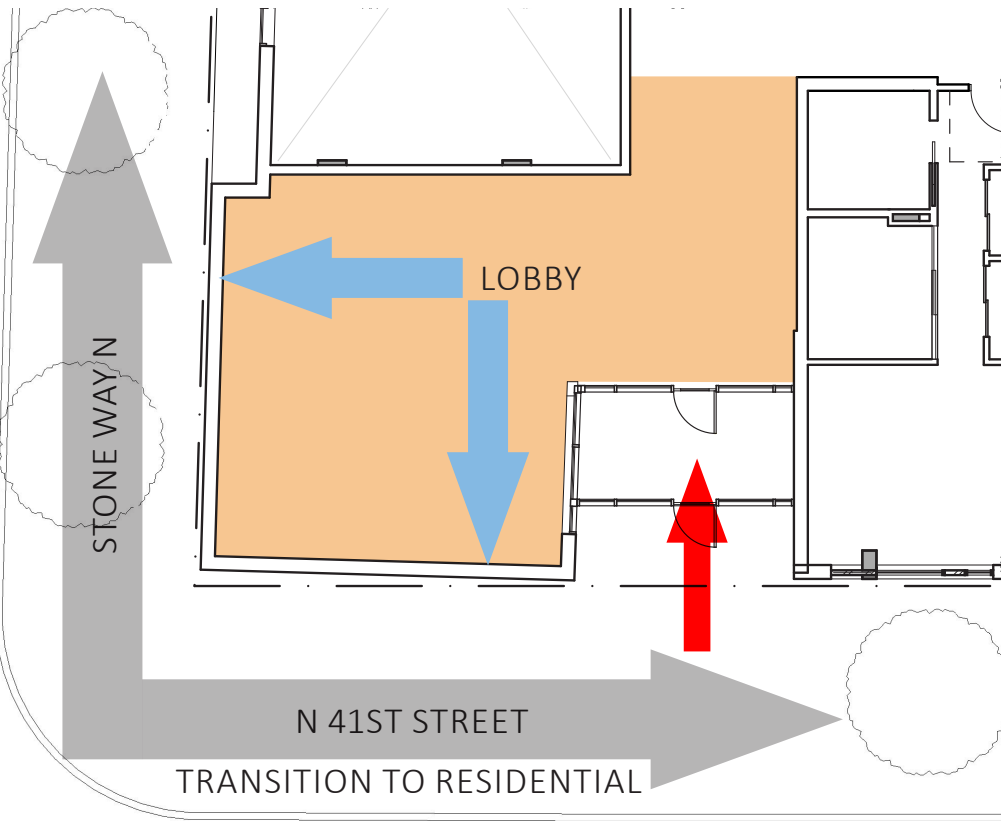
SECTION OF ENTRY : PROPOSED

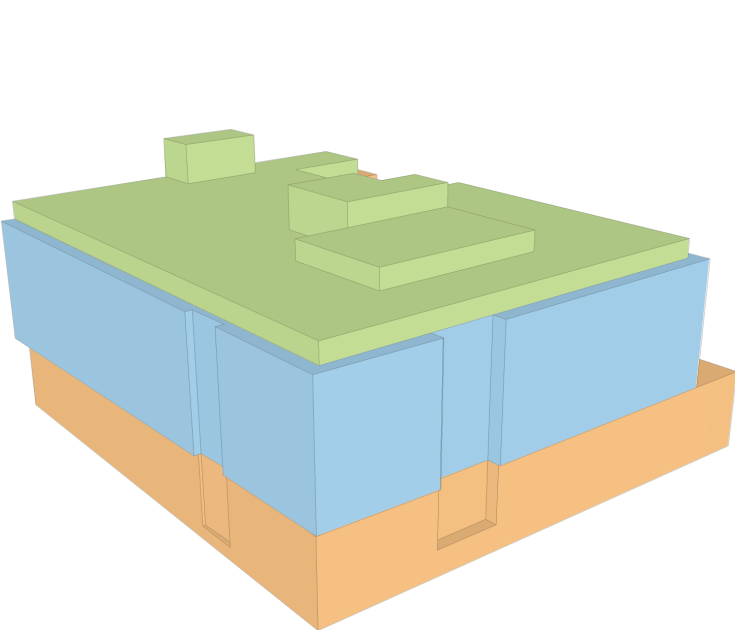


CORNER AT STONE WAY AND N 41ST: PREVIOUS

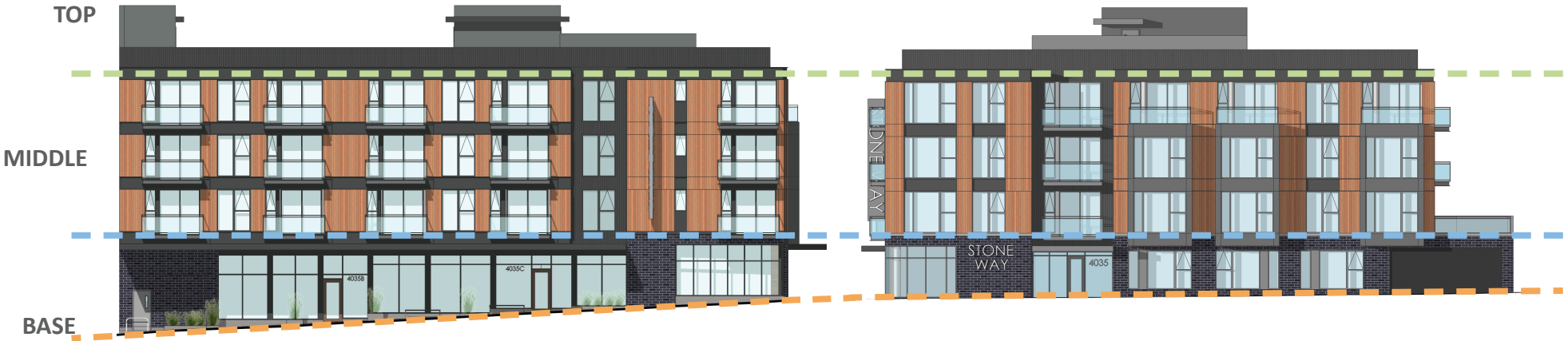
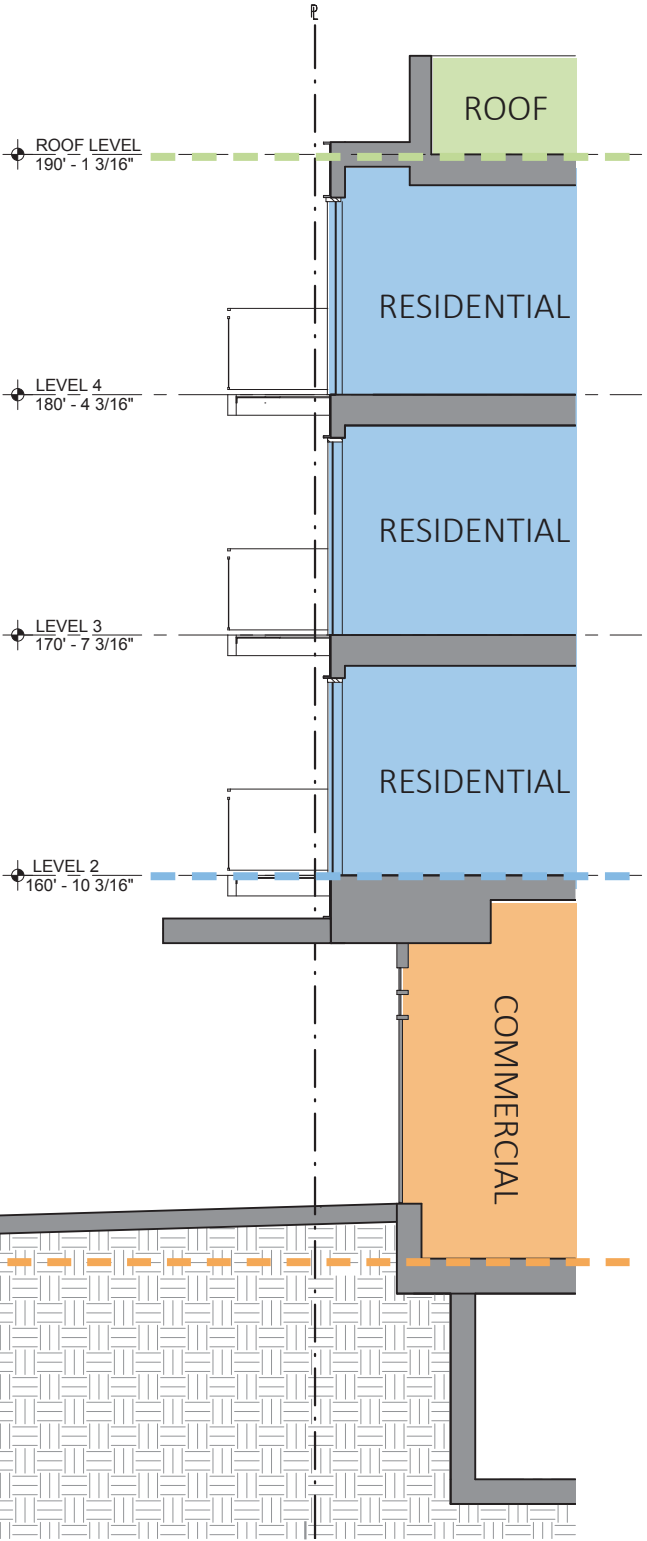
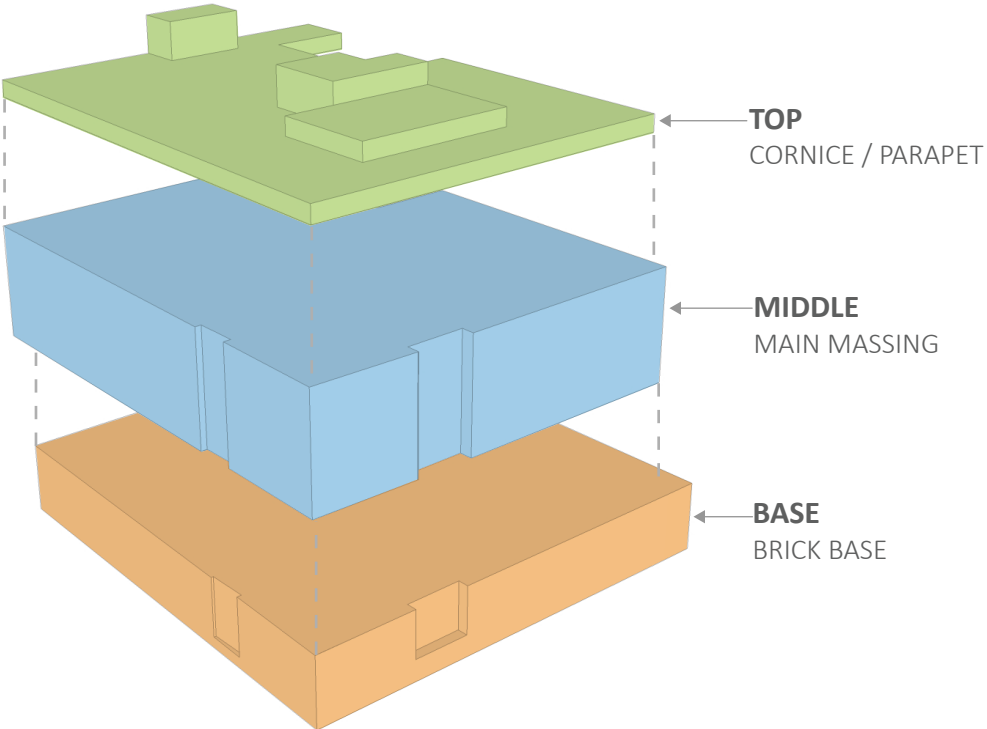


CORNER AT STONE WAY AND N 41ST: PROPOSED





AXON VIEW

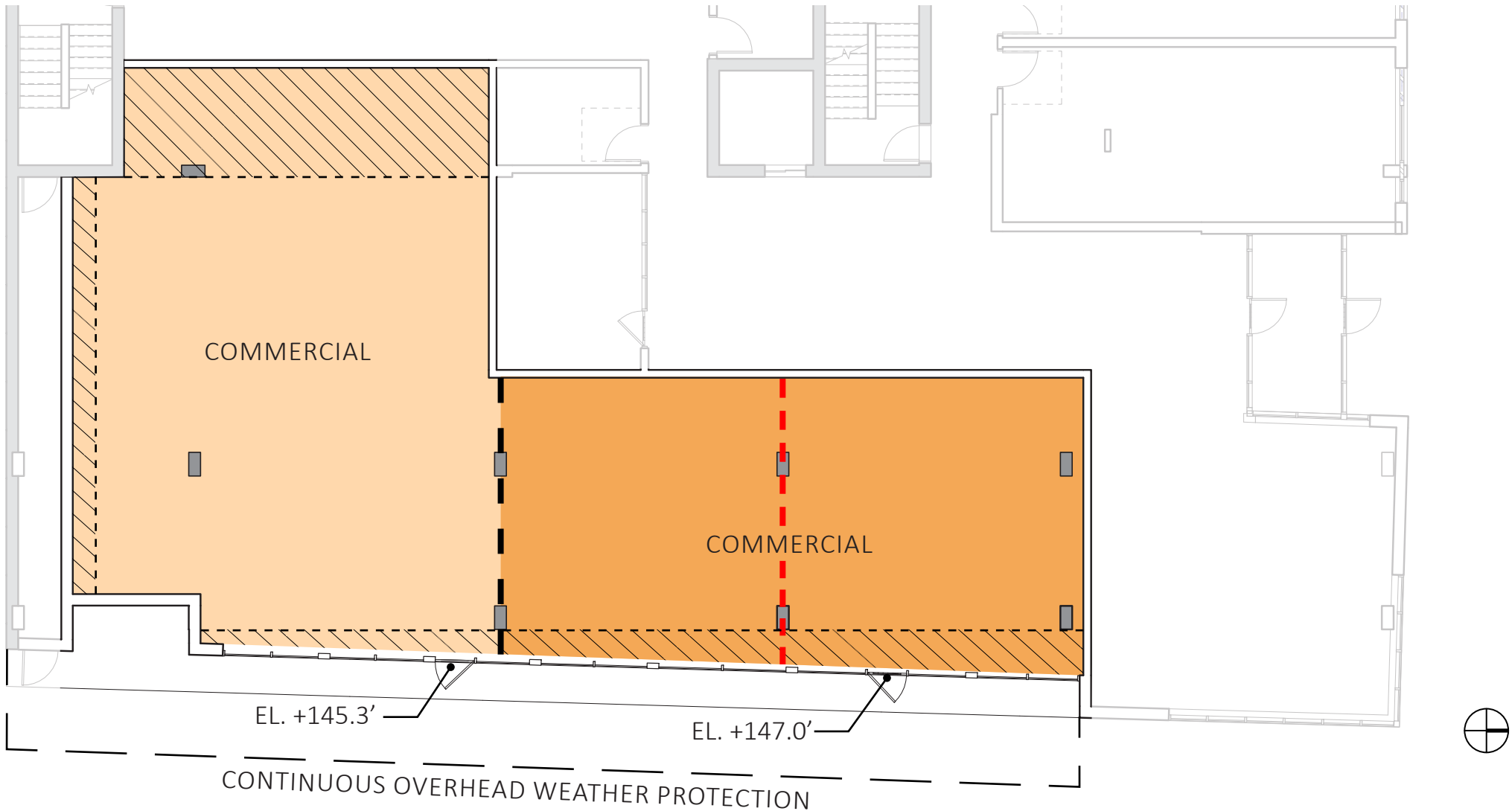


EAST ELEVATION

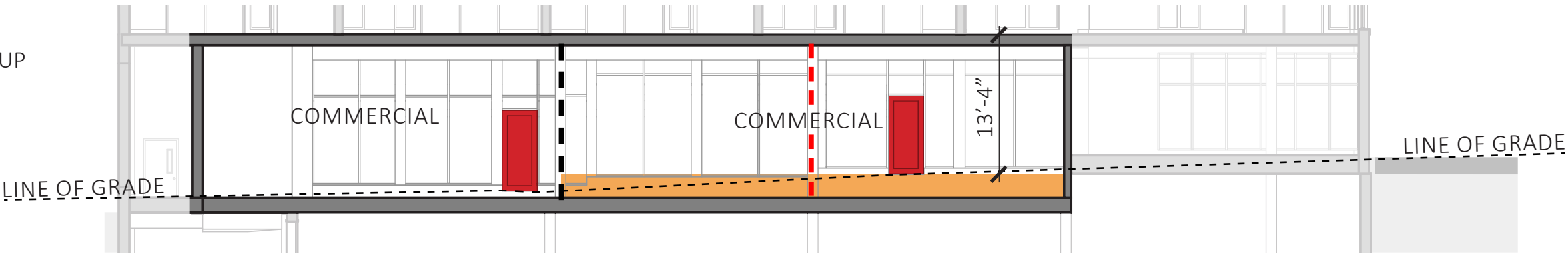
NORTH ELEVATION

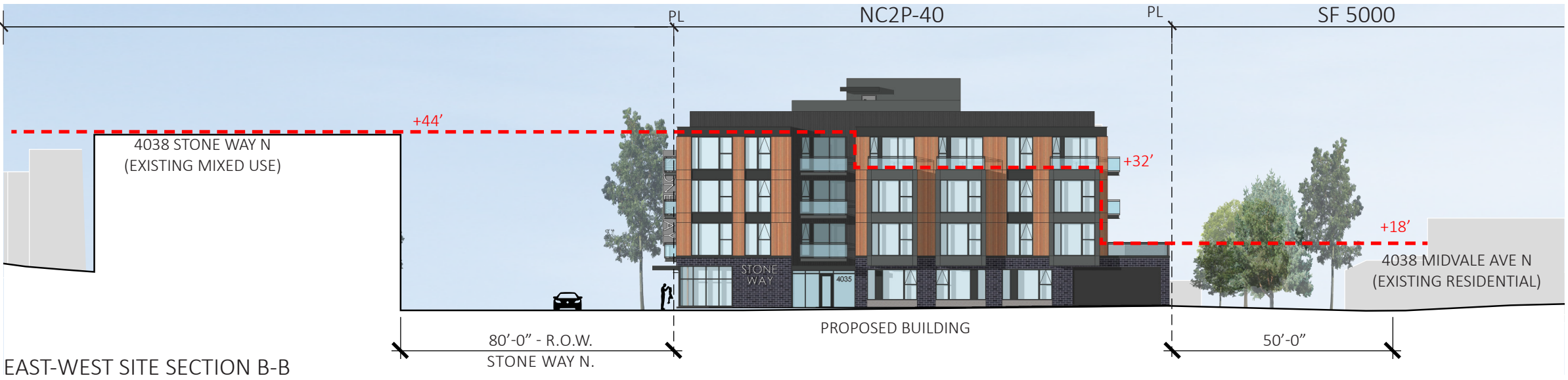
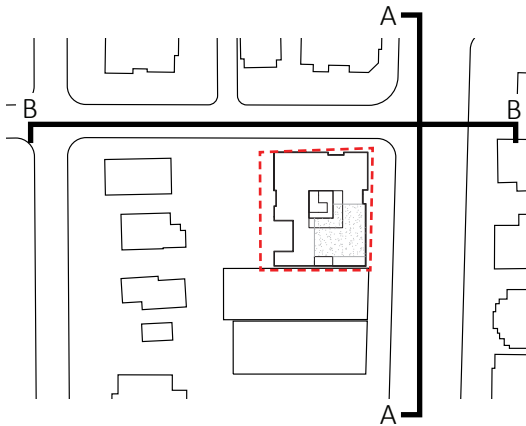
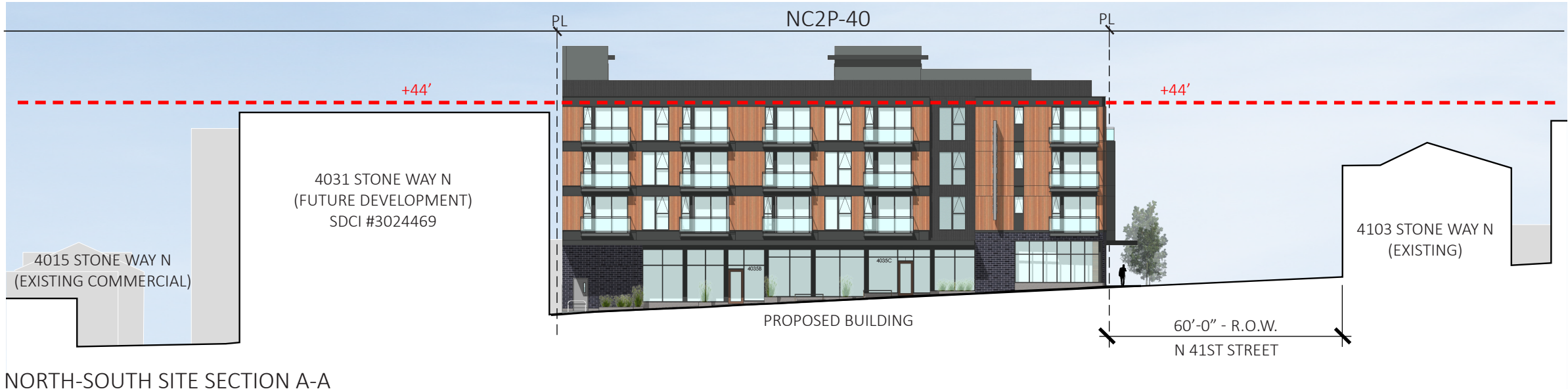
SPACE PLAN: HEIGHT VARIATION

- LOW
- HIGH
- AREA OF INCREASED COMMERCIAL AREA FROM PREVIOUS SCHEME



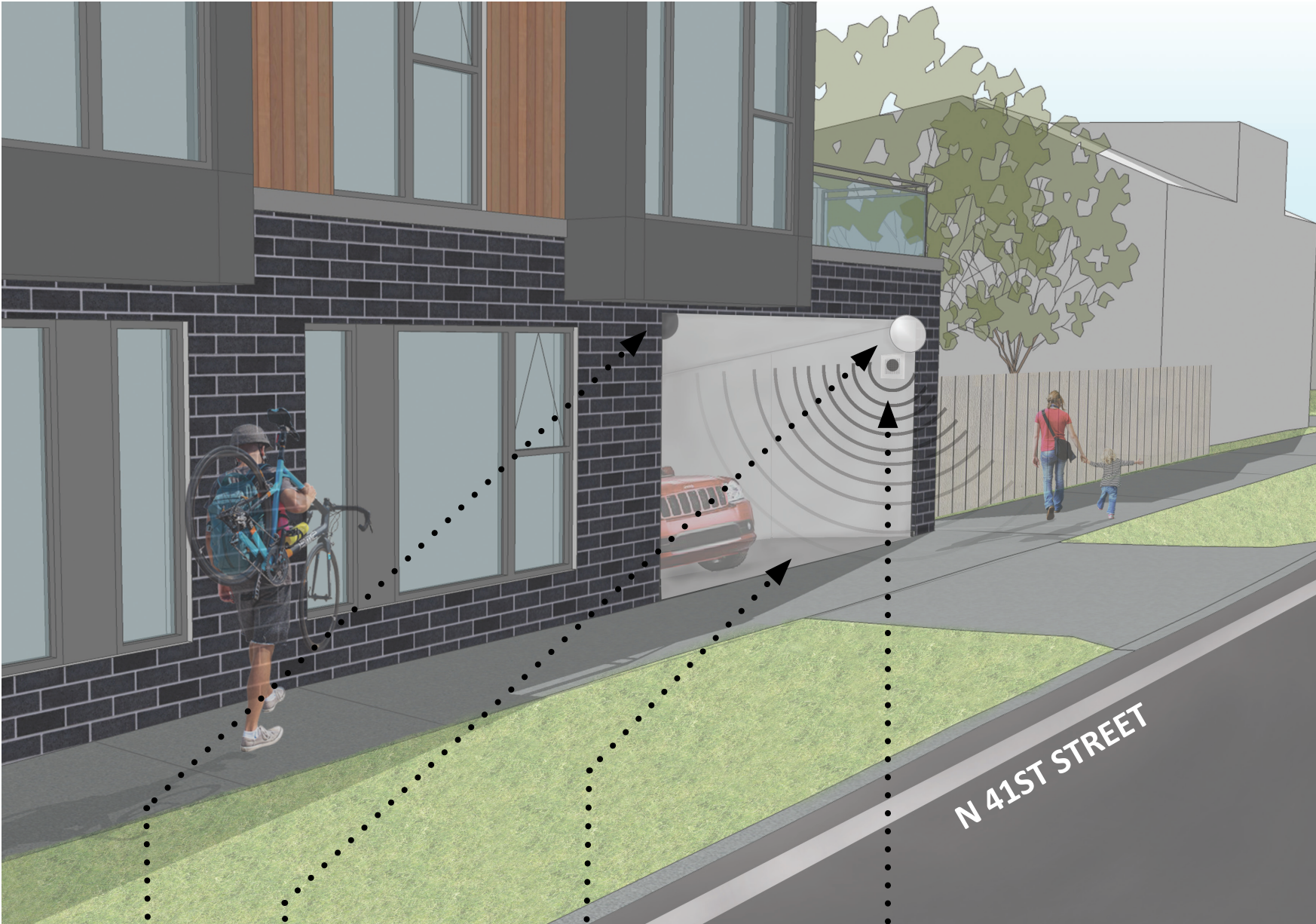
SECTION:
SHOWING TENANT FLOOR BUILD-UP





GARAGE ENTRY - SIGHT TRIANGLE DEPARTURE

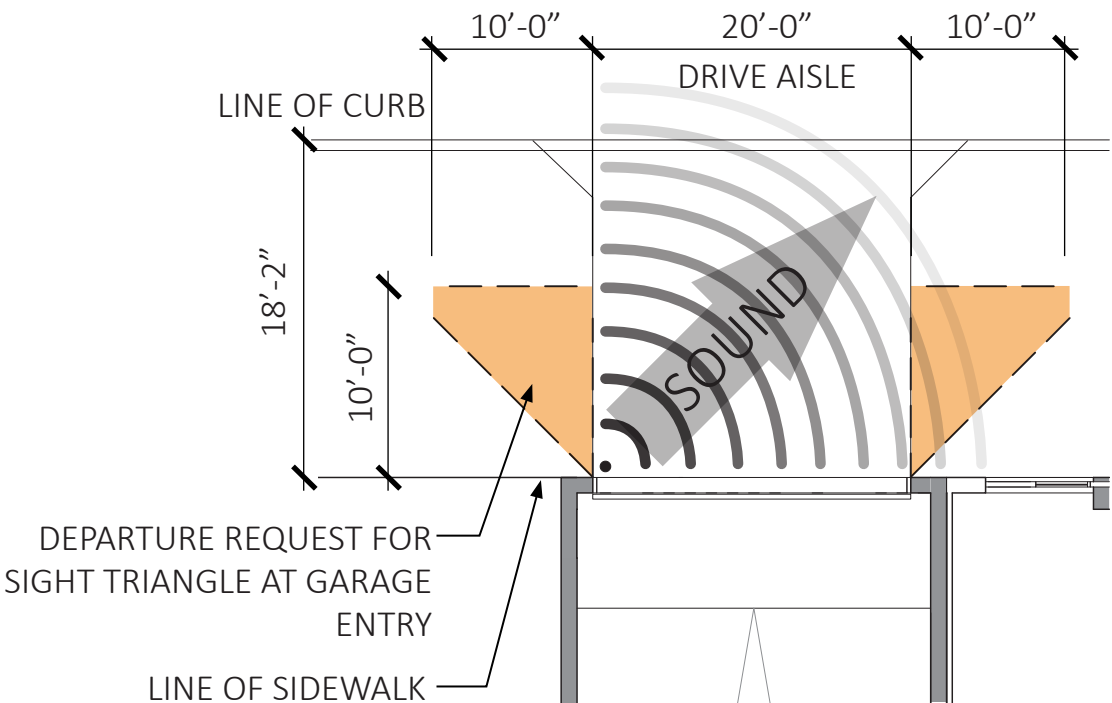
To maintain pedestrian safety at the garage entrance mirrors and/ or early warning alarm systems will be installed to provide and enhance pedestrian safety on the proposed two-way driveway (20’ feet wide). The reduction in the sight triangle will minimize the vehicular impact on the street and sidewalk, relieving the need for a single 10’ wide driveway for both entry and exit.

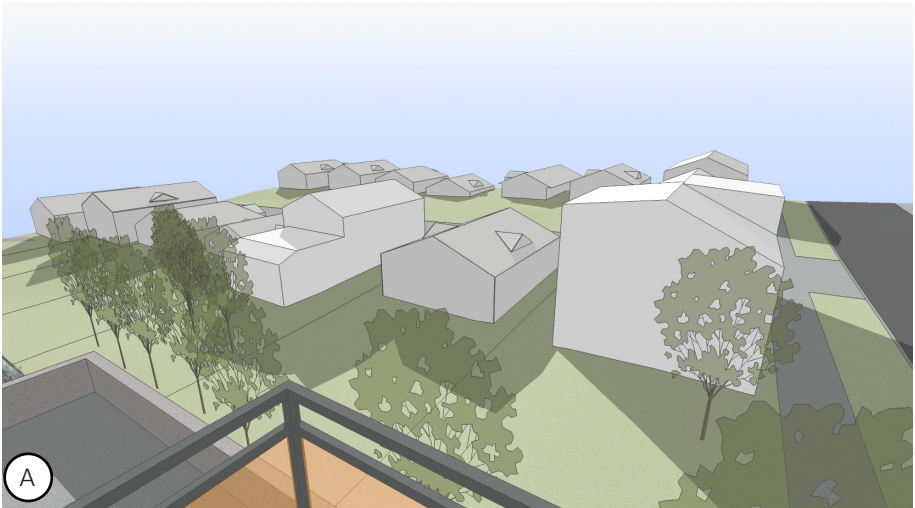


LOOKING WEST ON N 41ST

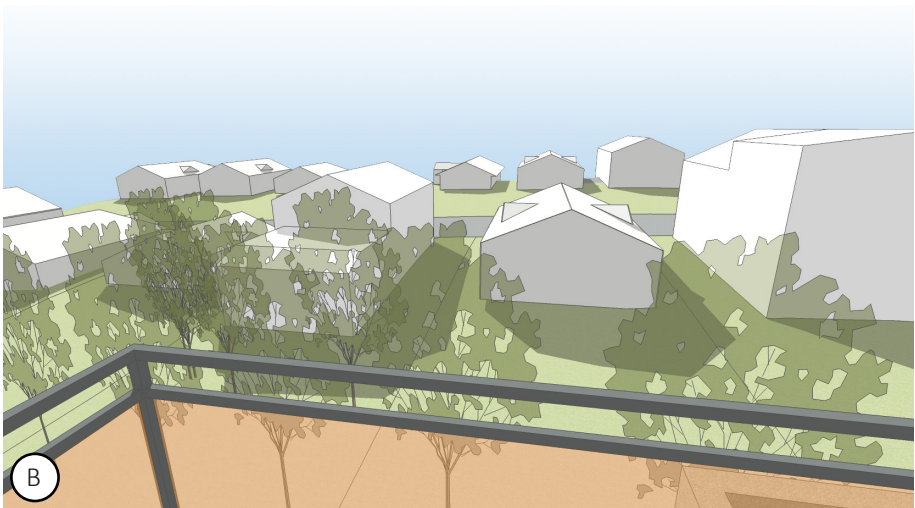


LOOKING EAST ON N 41ST

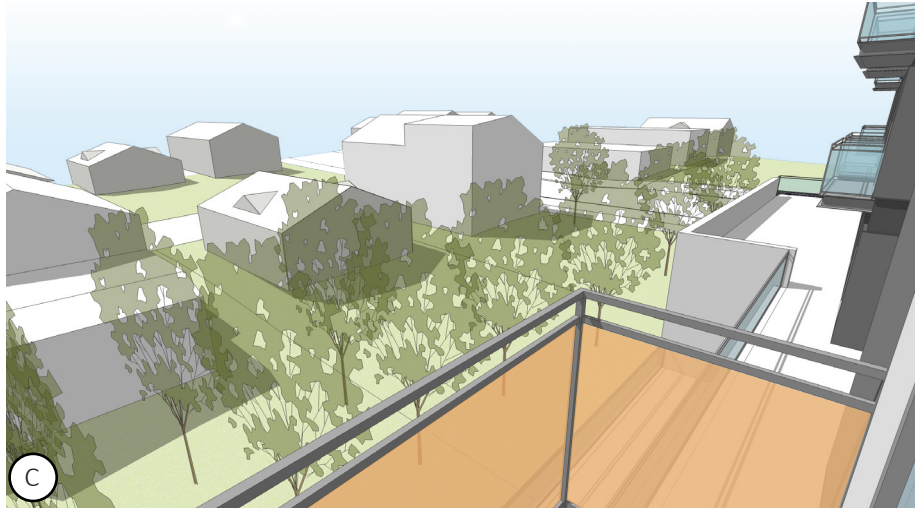




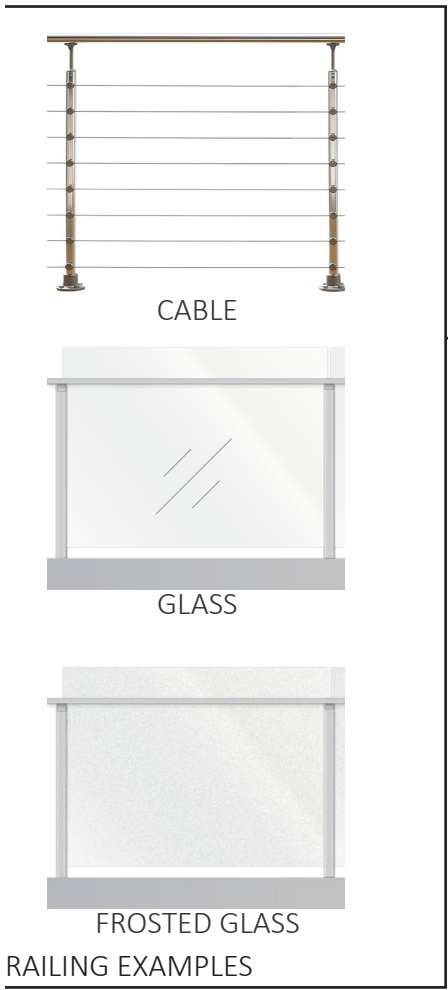
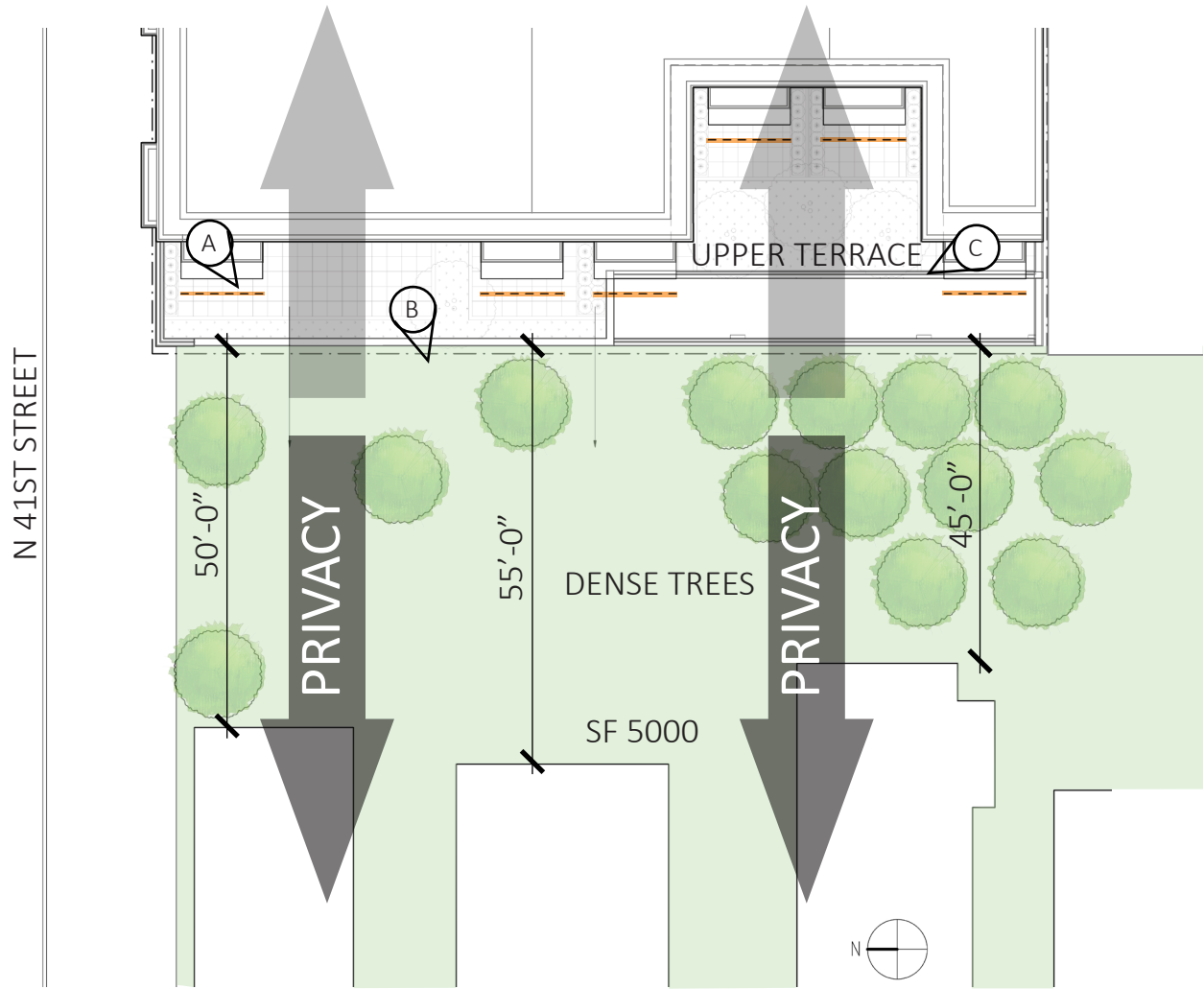
LEVEL 4 BALCONY SOUTHWEST VIEW



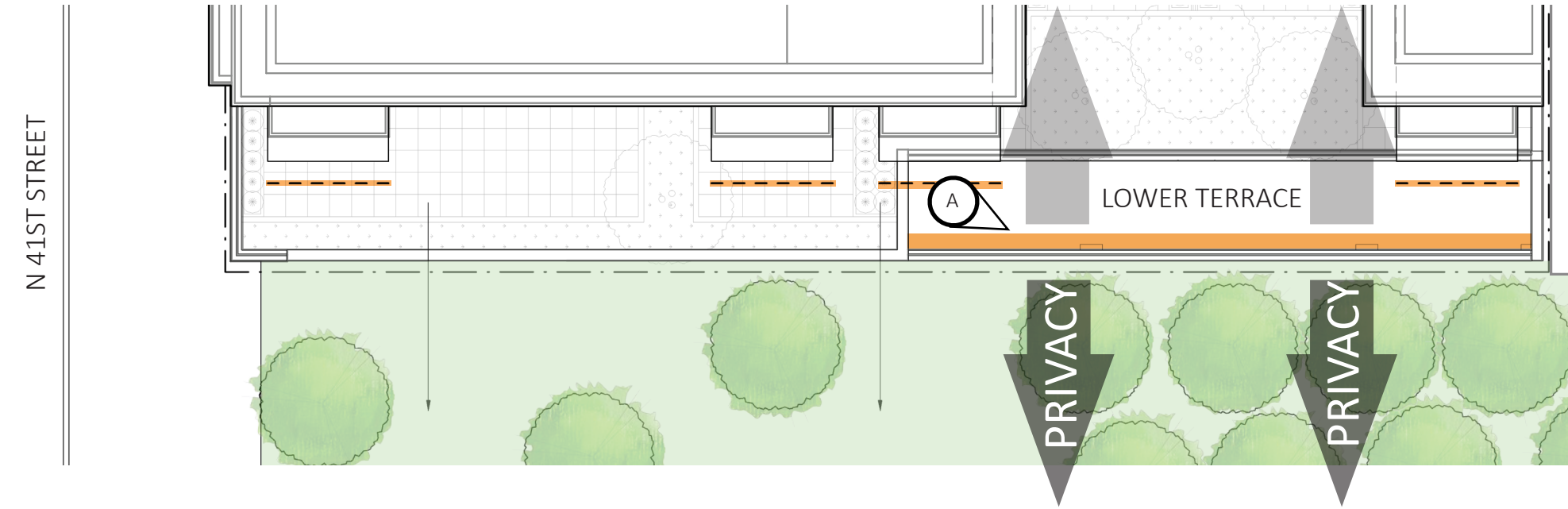
LEVEL 3 BALCONY SOUTH VIEW



LEVEL 4 BALCONY NORTHWEST VIEW



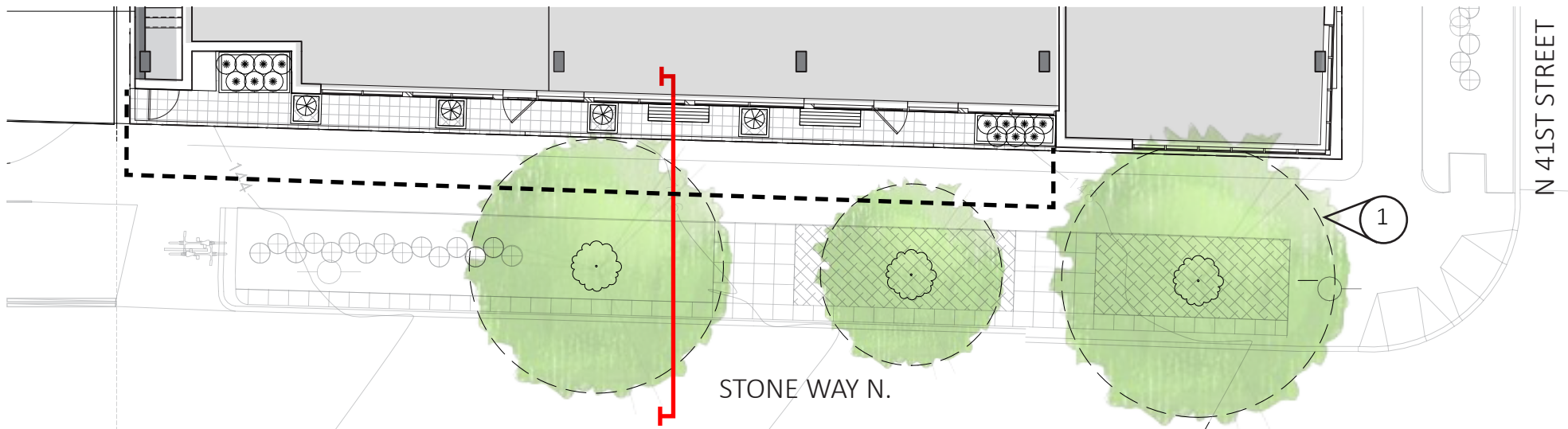
SECTION THROUGH UPPER TERRACE



SINGLE FAMILY RESIDENTIAL

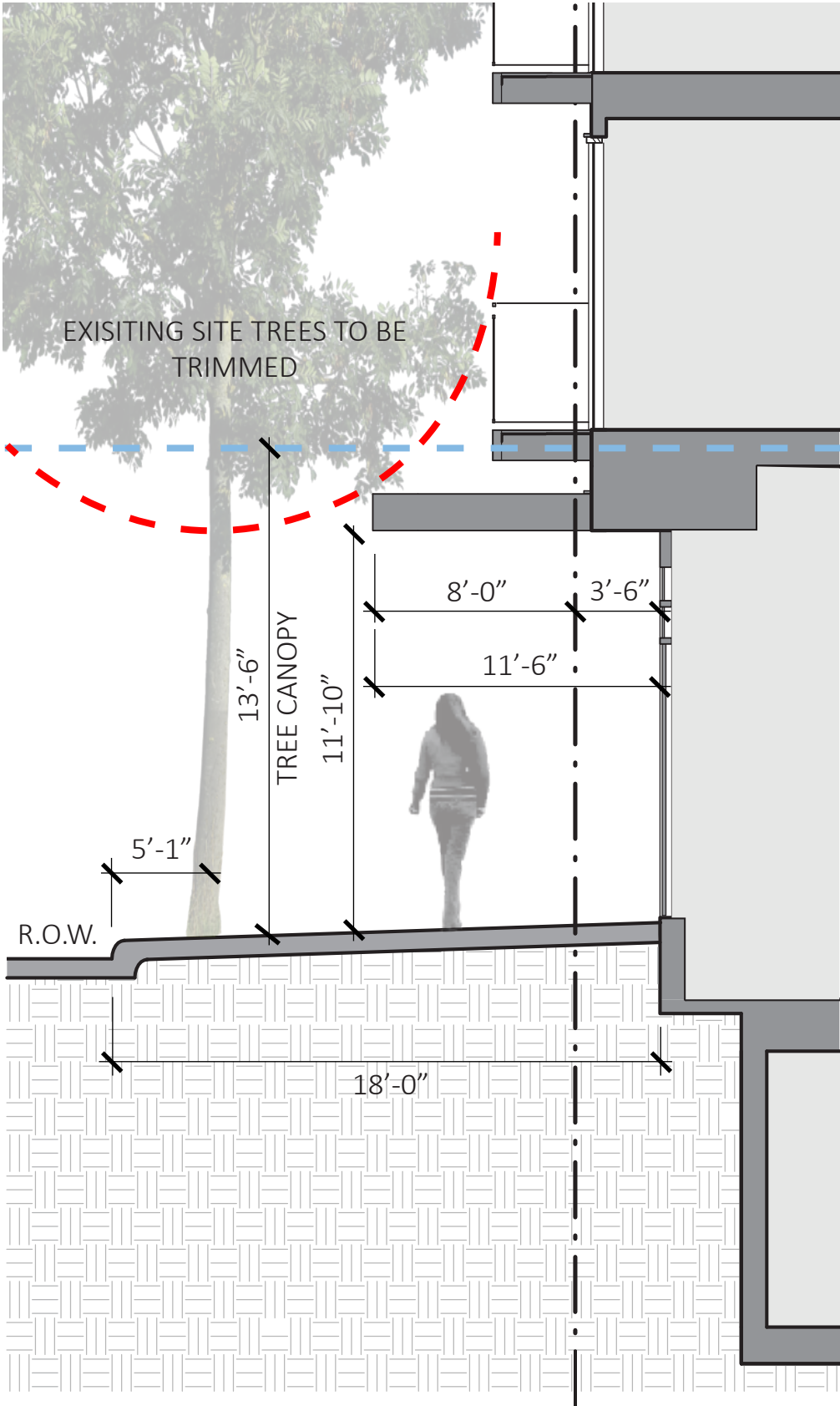


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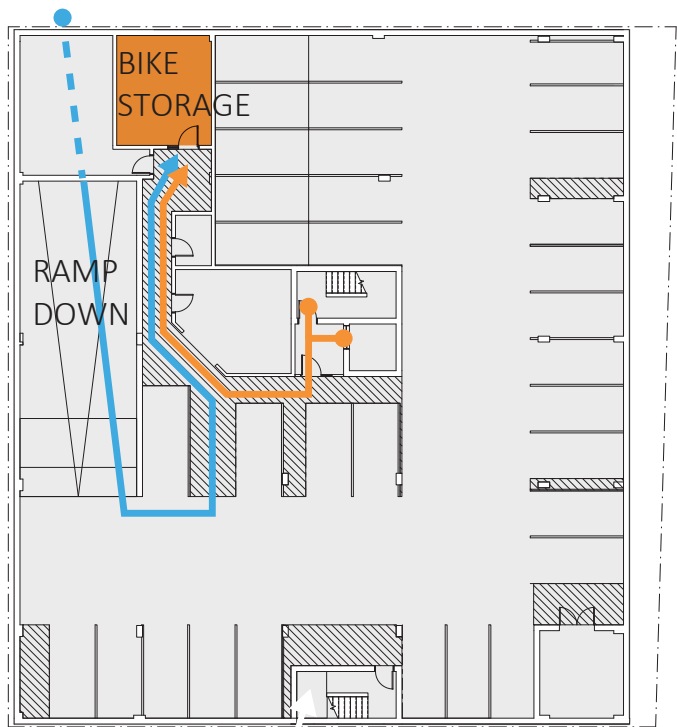


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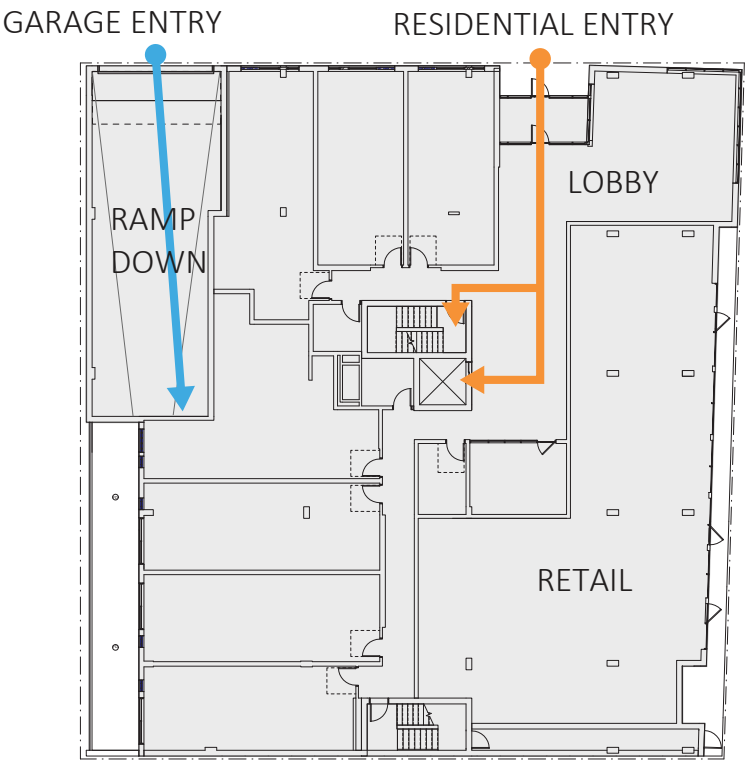
22 May 2017





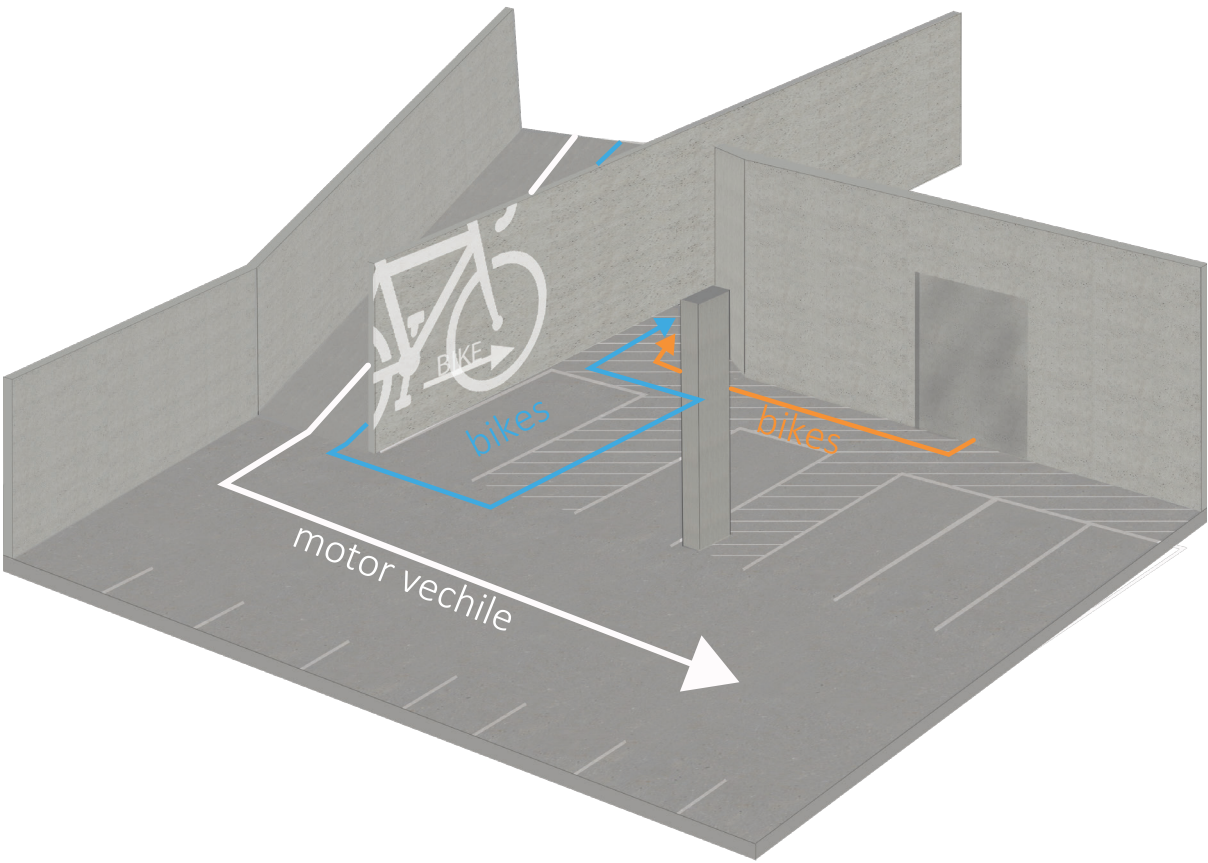


GARAGE LEVEL

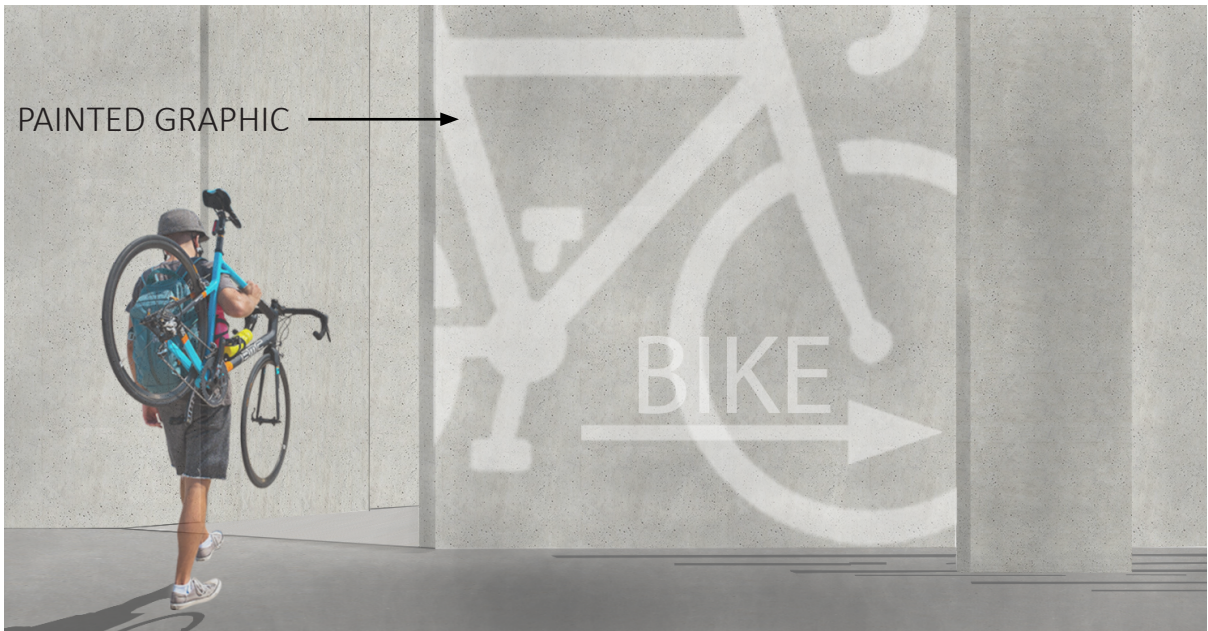


LEVEL 1

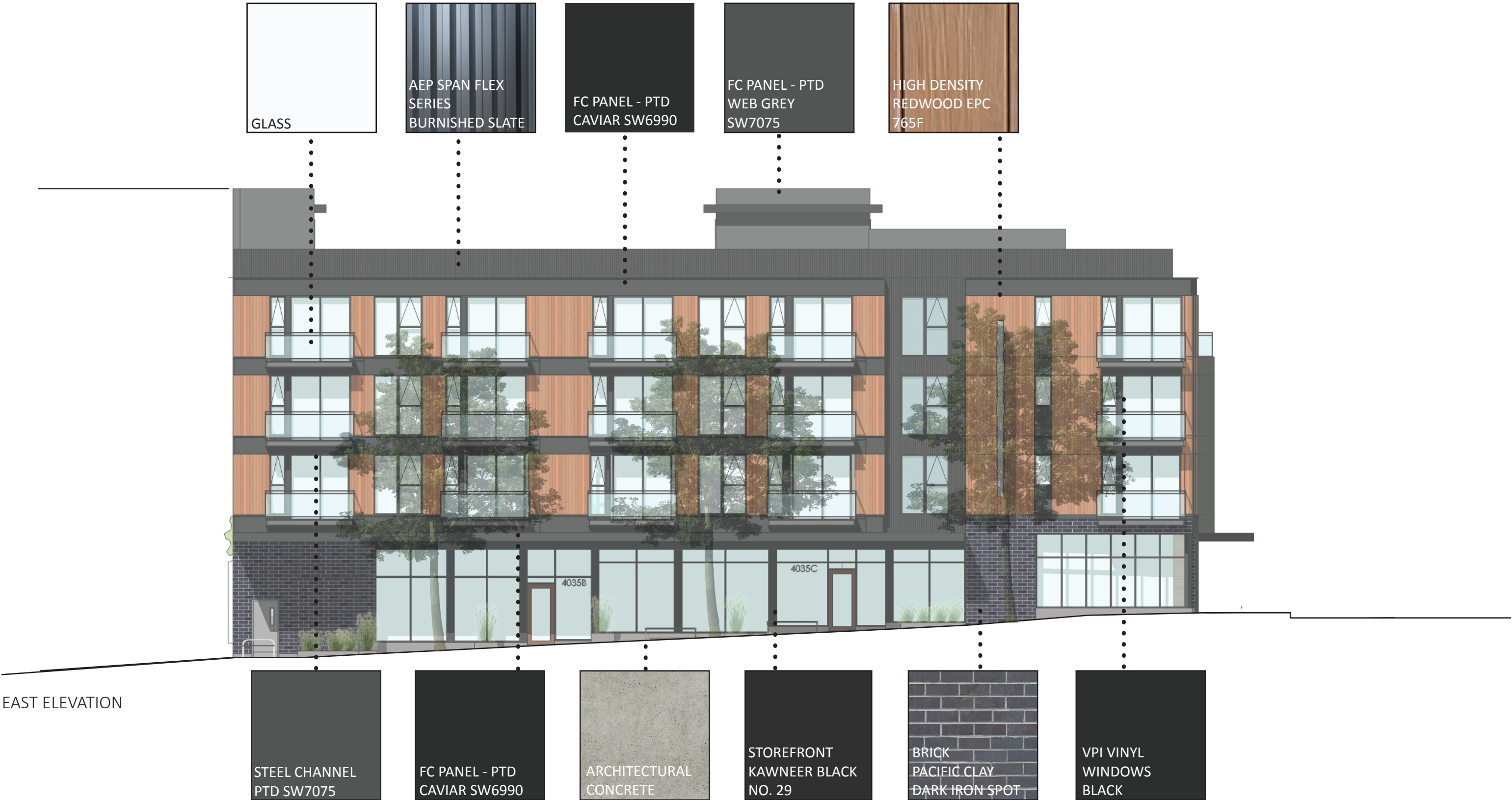
STONE WAY N

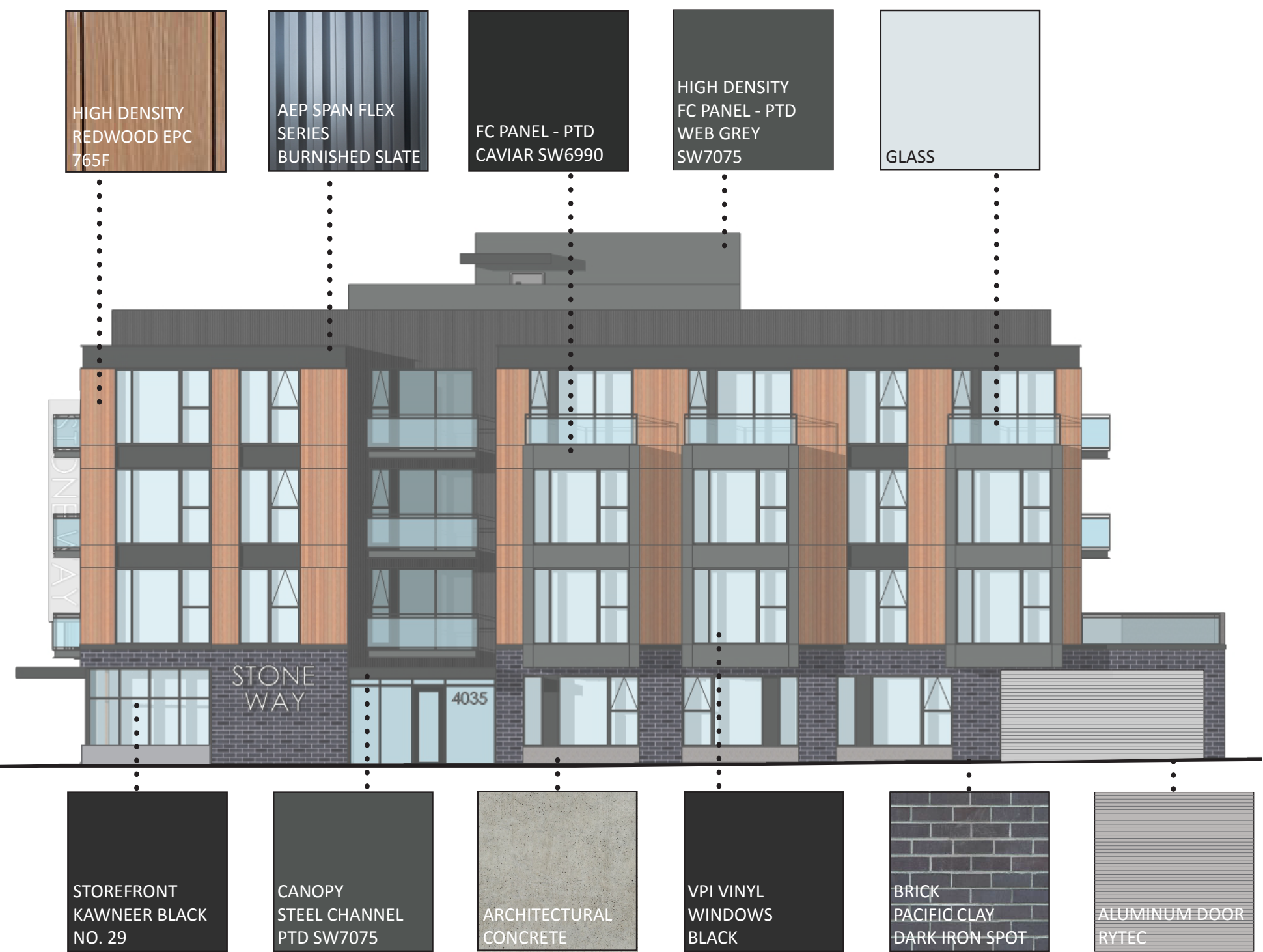


AXON PERSPECTIVE OF BIKE ROOM



PATH TO GARAGE BIKE ROOM PERSPECTIVE

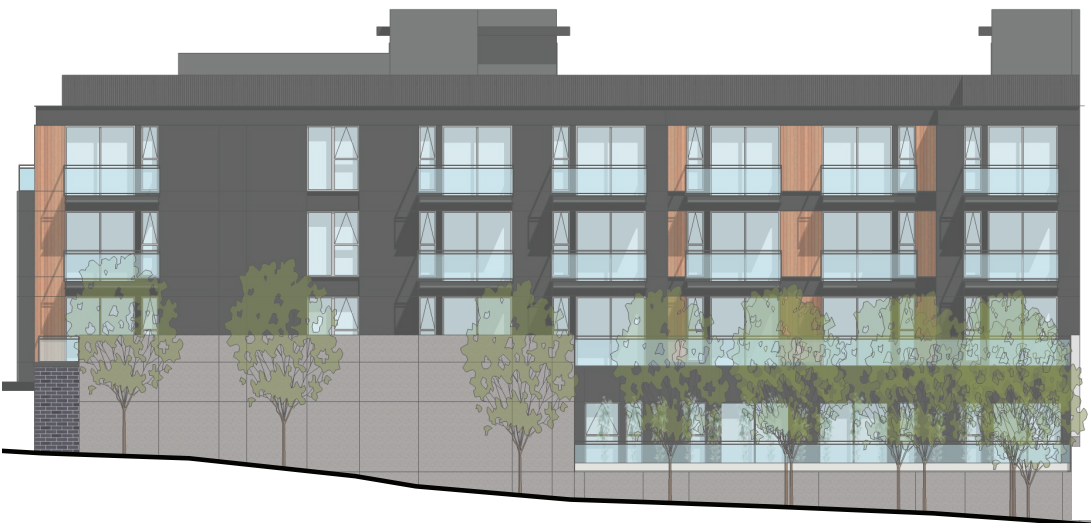




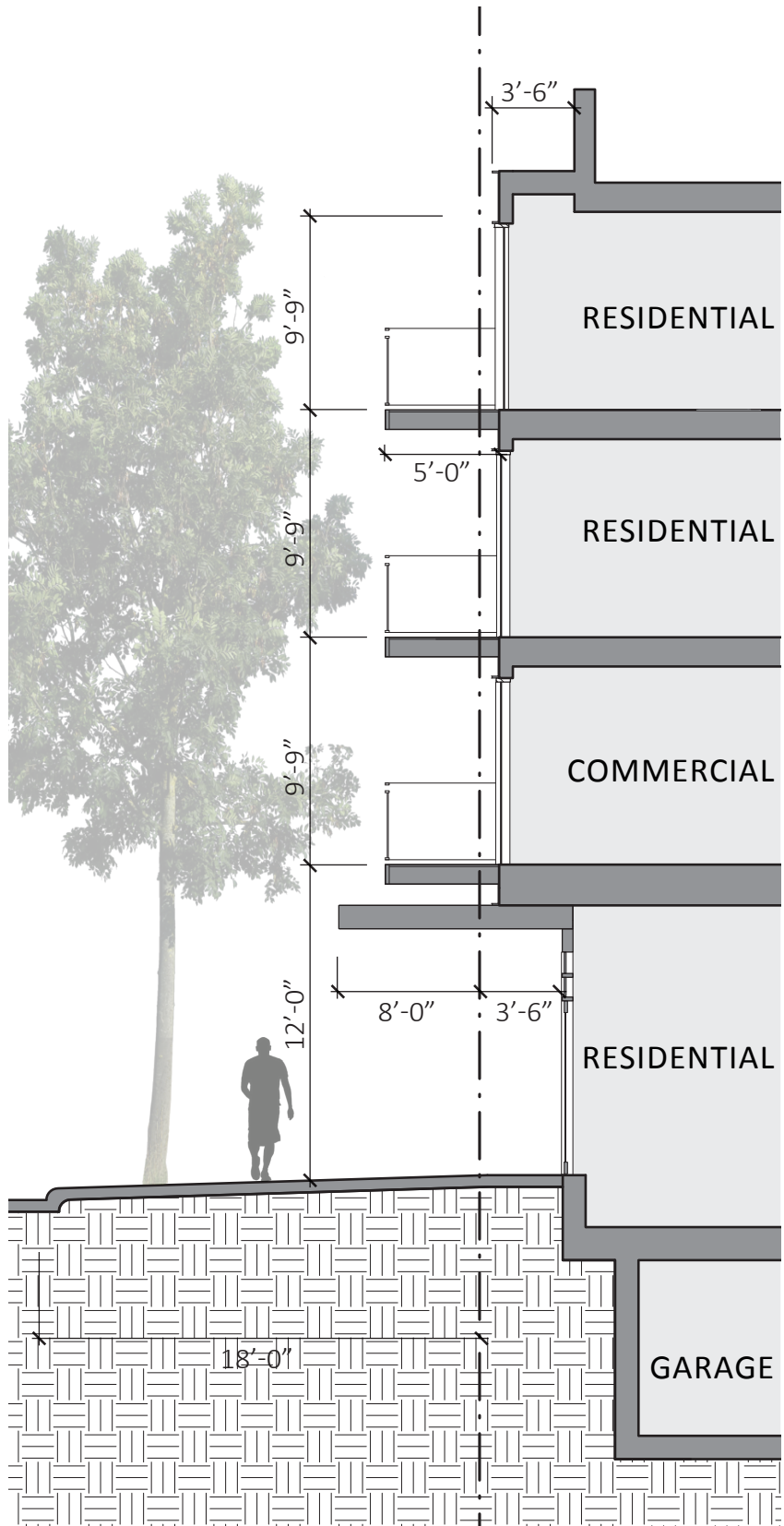
NORTH ELEVATION



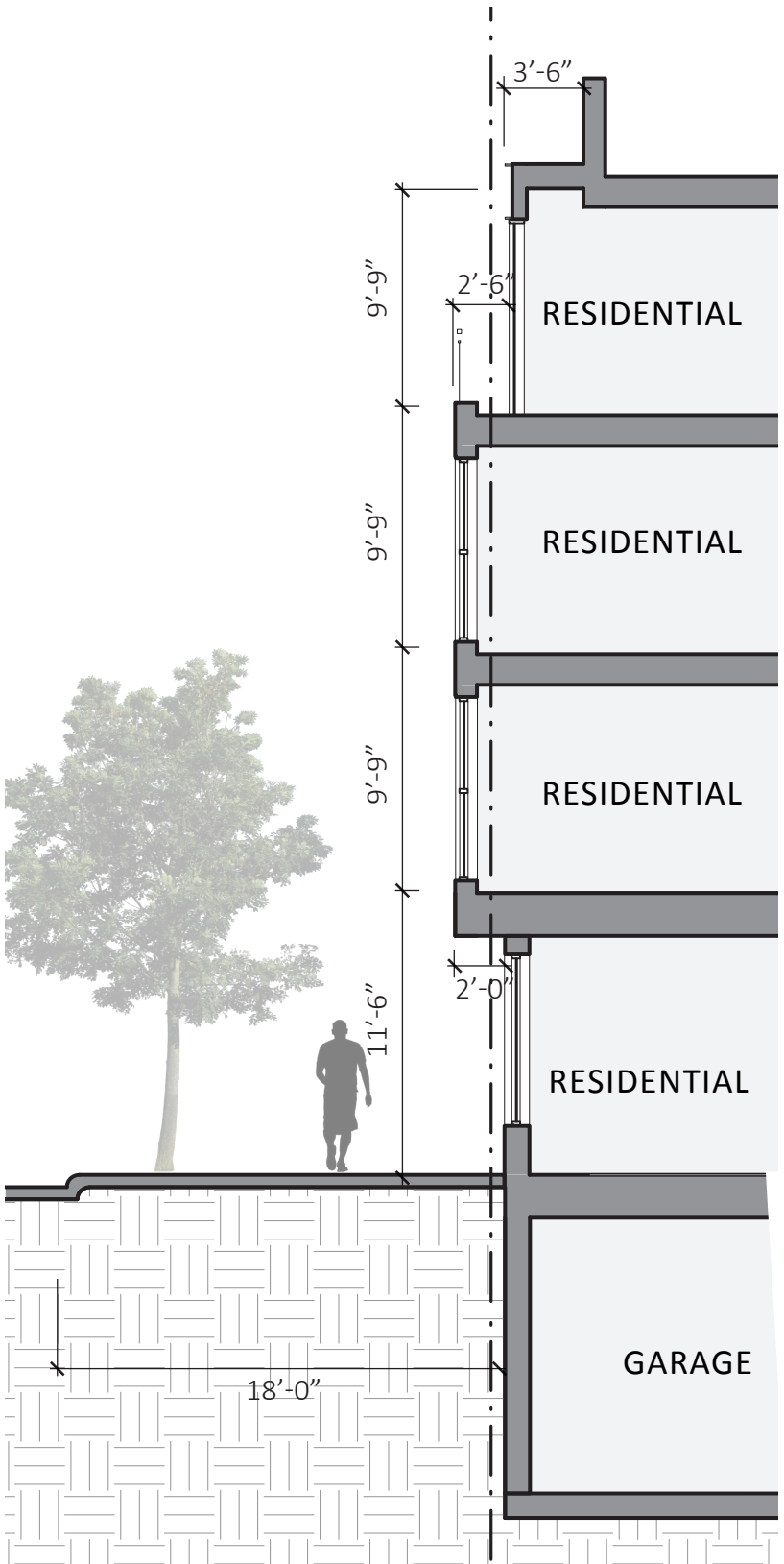
EAST ELEVATION



WEST ELEVATION



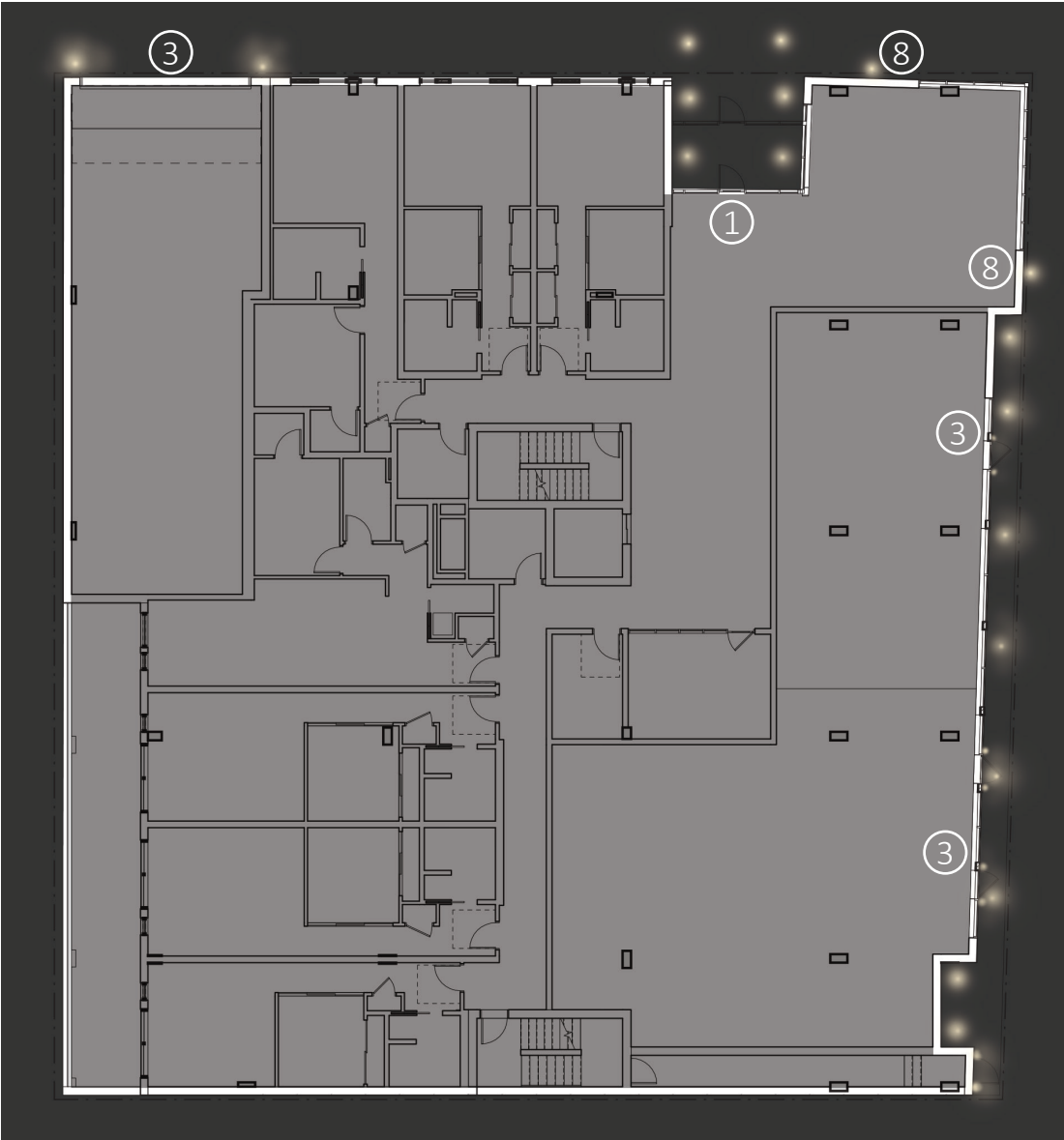
STONE WAY ELEVATION



N 41ST STREET ELEVATION

LIGHTING LEGEND

- ① Recessed canopy downlighting
- ② Recessed bay downlighting
- ③ Large decorative wall sconce (Commercial)
- ④ Small decorative wall sconce (Residential)
- ⑤ Festival rope lighting
- ⑥ Patio bollard lighting
- ⑦ Recessed step lighting
- ⑧ Wall Washer



LIGHTING LEGEND

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- ② Recessed bay downlighting
- ③ Large decorative wall sconce (Commercial)
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- ⑥ Patio bollard lighting
- ⑦ Recessed step lighting
- ⑧ Wall Washer



ROOF PLAN



FESTIVAL LIGHTING



BOLLARD LIGHTING



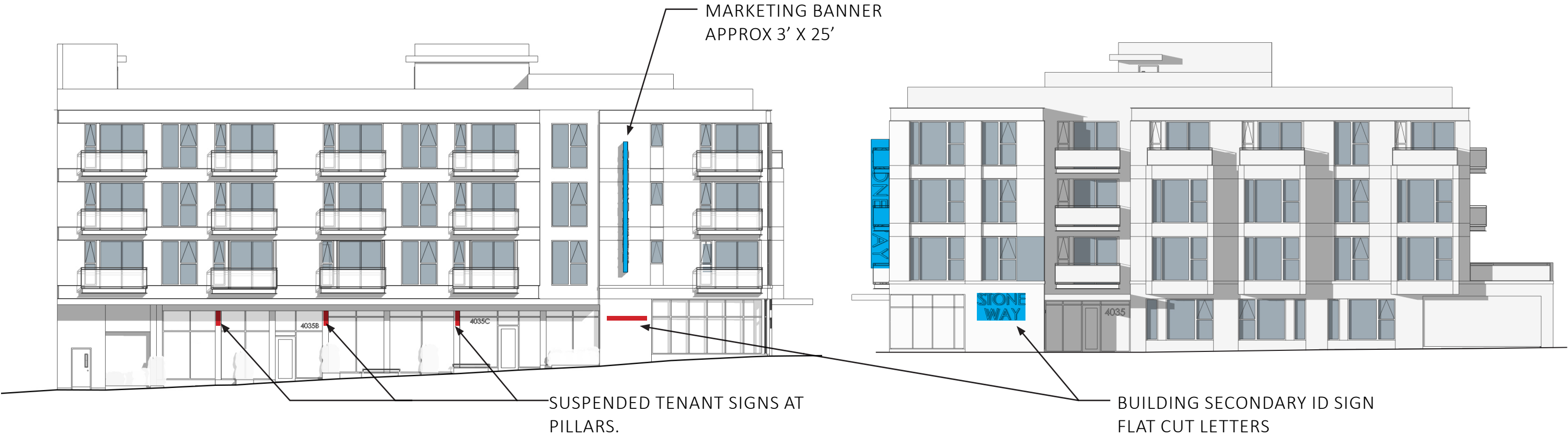
WALL SCONCE

CONCEPTS FOR RETAIL & COMMERICAL TENANTS SIGNAGE



CONCEPTS FOR MULTI-FAMILY STRUCTURE SIGNAGE





SEPERATE PERMIT FOR SIGNAGE

RENDERED LANDSCAPE PLAN



FAZIO
ASSOCIATES INC.
LANDSCAPE ARCHITECTS

PLANT PALETTE



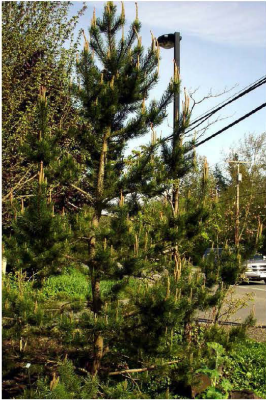
EXISTING STREET TREES ON
STONE WAY



EXISTING STREET TREES ON
N. 41ST STREET



JAPANESE MAPLE



SHORE PINE



VINE MAPLE



SKY PENCIL JAPANESE HOLLY



RUFO BAMBOO



DAVID'S VIBURNUM



HEAVENLY BAMBOO



KELSEY DOGWOOD



GOLDFLAME SPIREA



DEER FERN



SLOUGH SEDGE



KINNIKINNICK



GREENROOF

CONCEPT IMAGERY FOR SITE ELEMENTS & FEATURES



STRING LIGHTS



OUTDOOR KITCHEN



PET PARK



FIREPIT



INTEGRATED BIOPLANTER



RAISED PLANTERS WITH TREES, SHRUBS & GROUNDCOVER



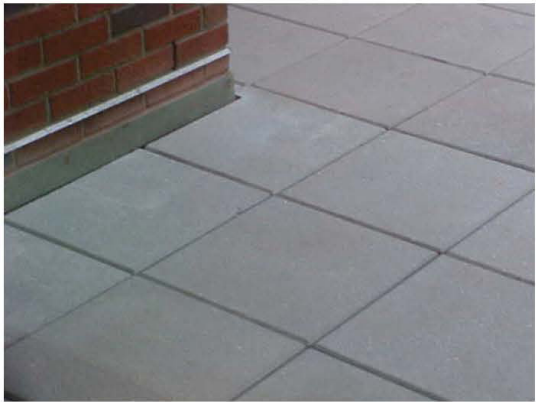
RAISED PLANTERS WITH BAMBOO



RAISED PLANTERS AT GROUND LEVEL ENTRIES



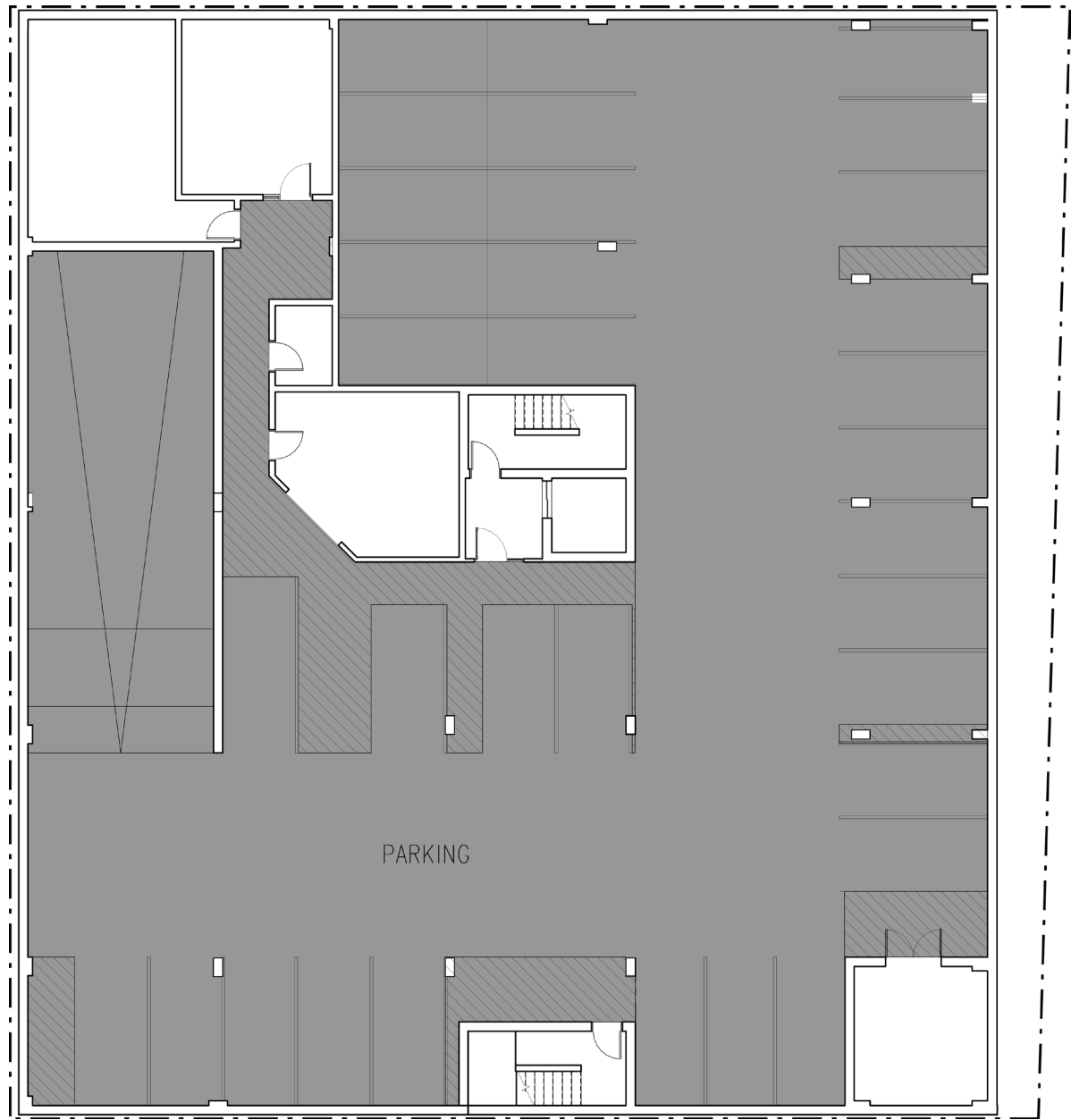
BENCH



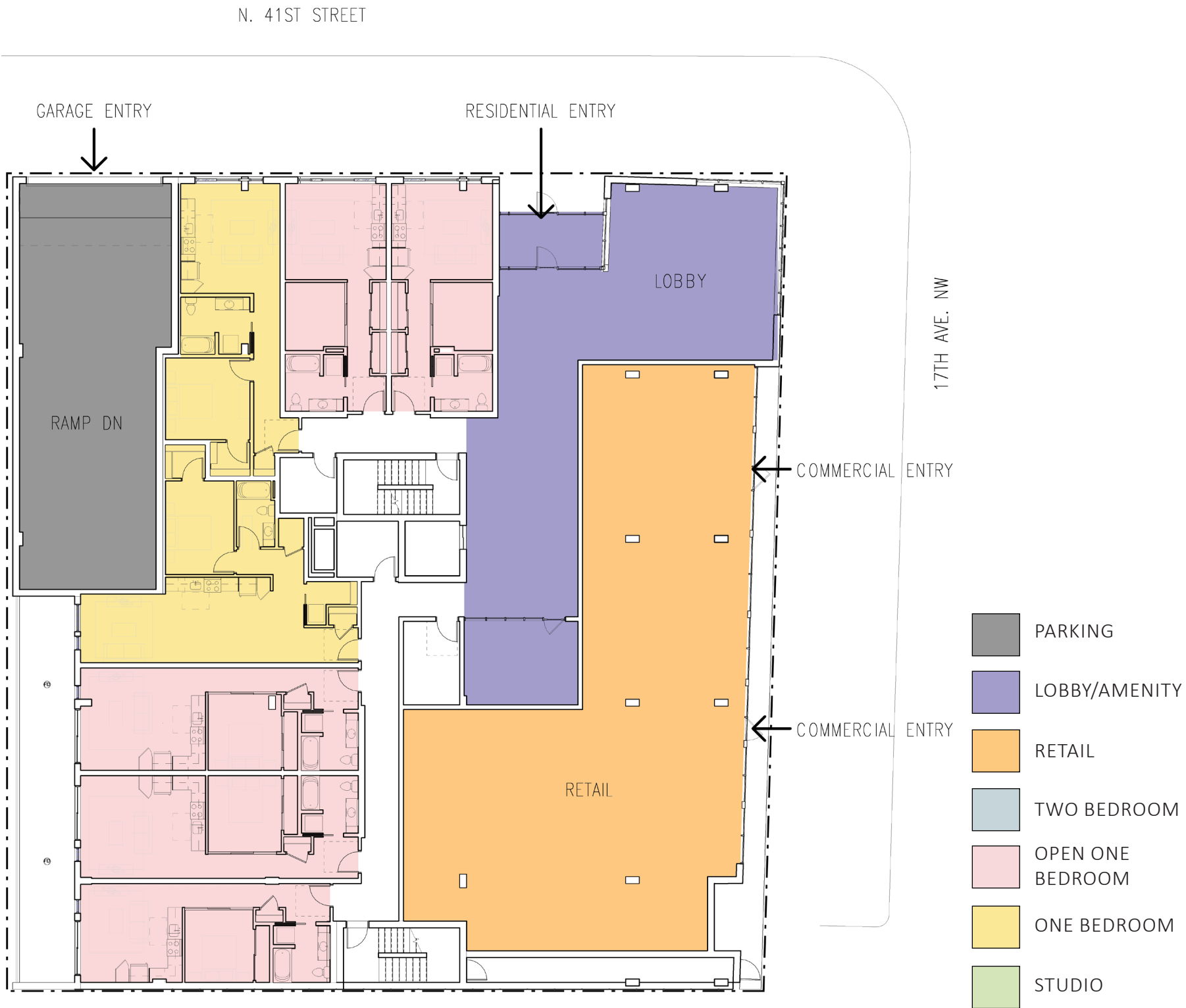
PEDESTAL PAVERS



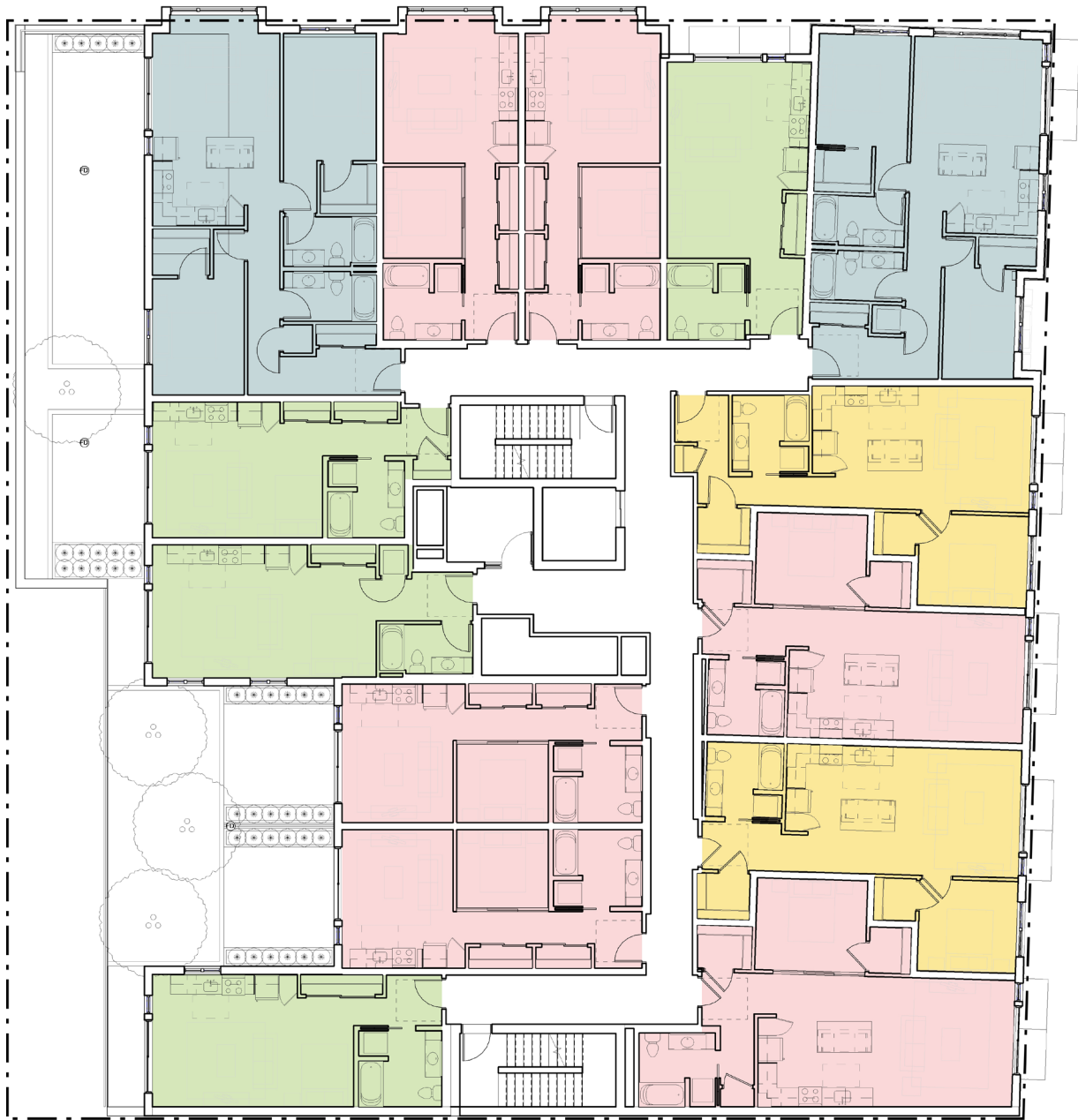
PEDESTAL WOOD DECKING SYSTEM



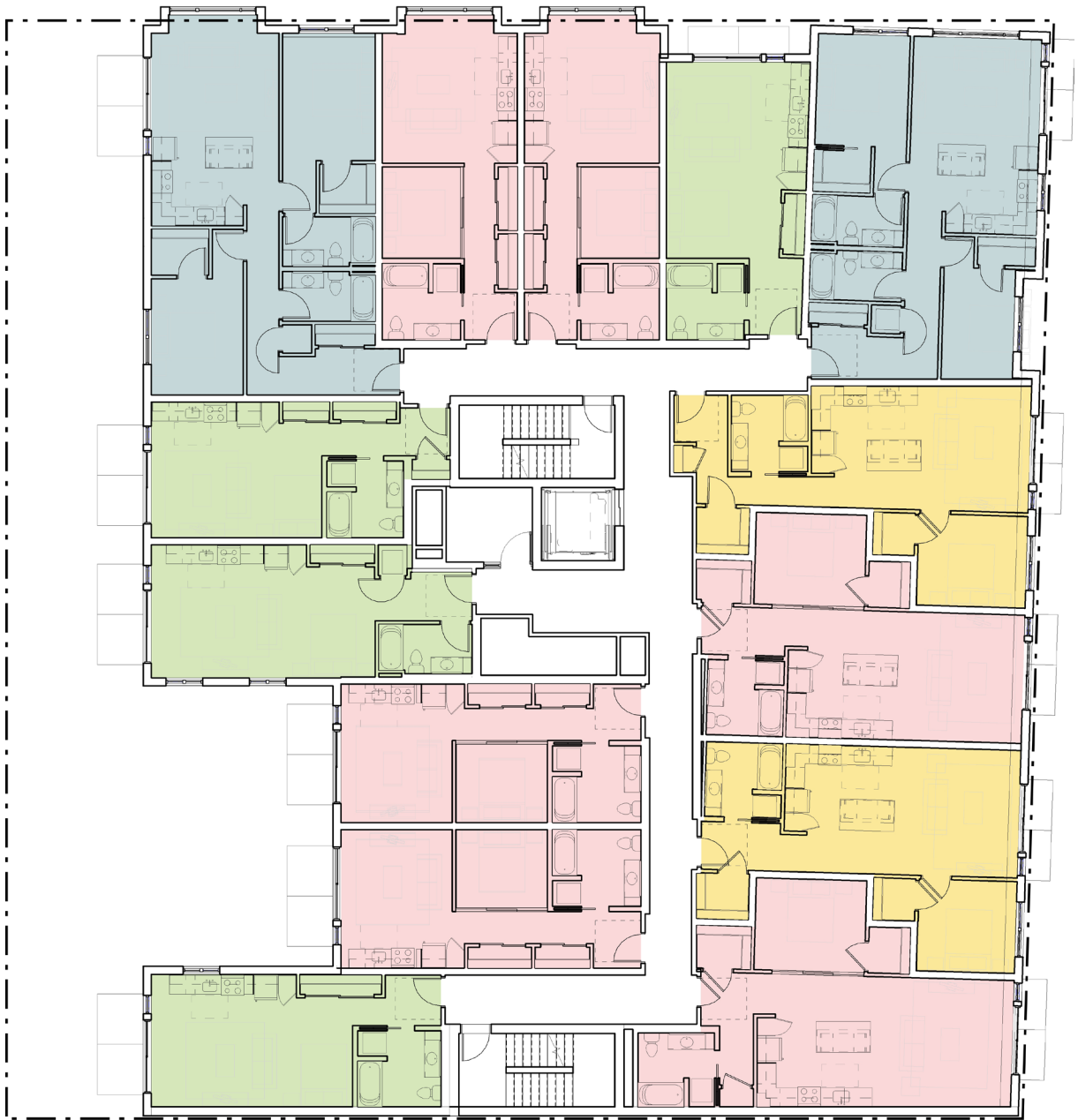
GARAGE LEVEL



GROUND FLOOR LEVEL

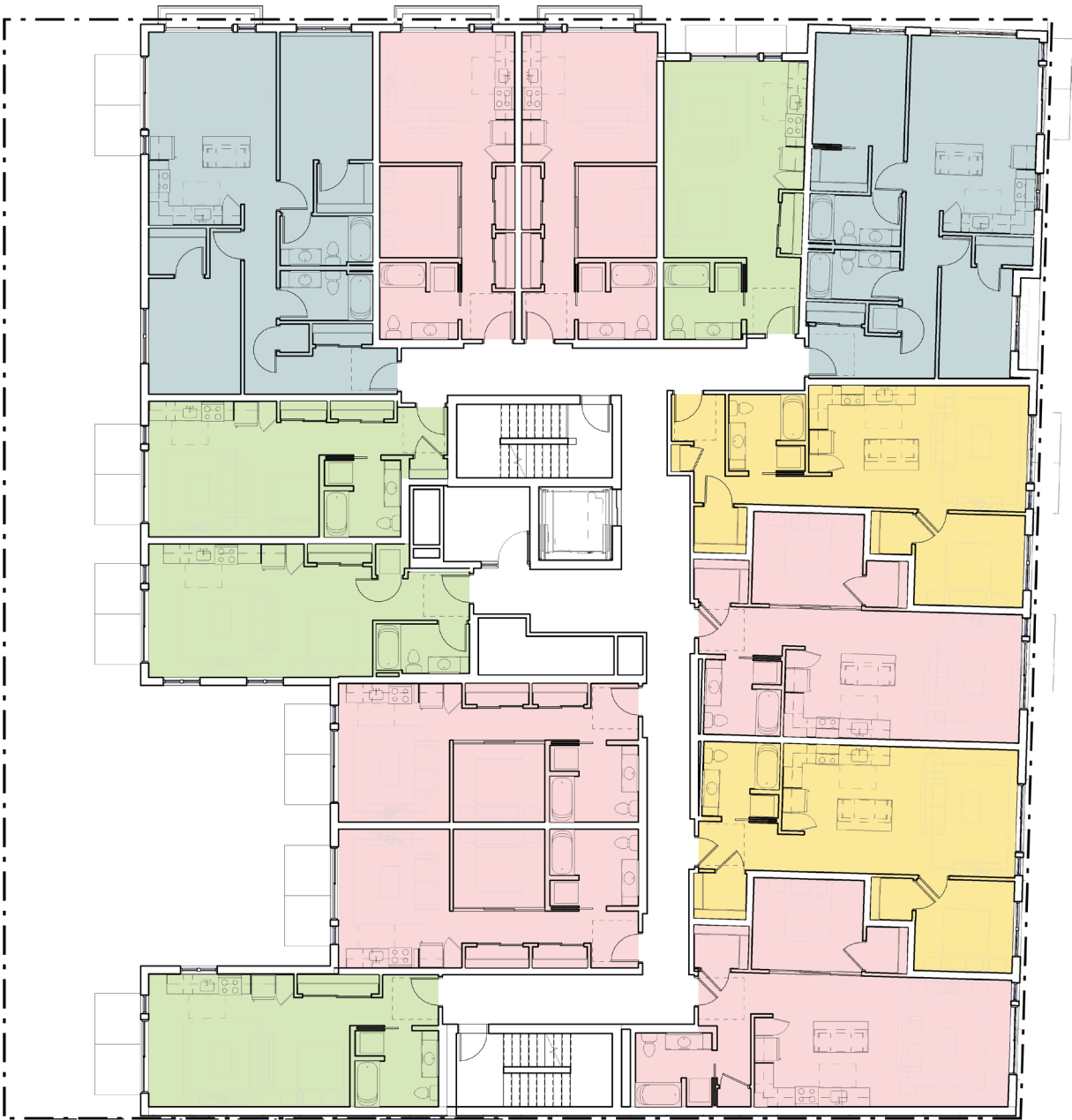


2ND FLOOR LEVEL

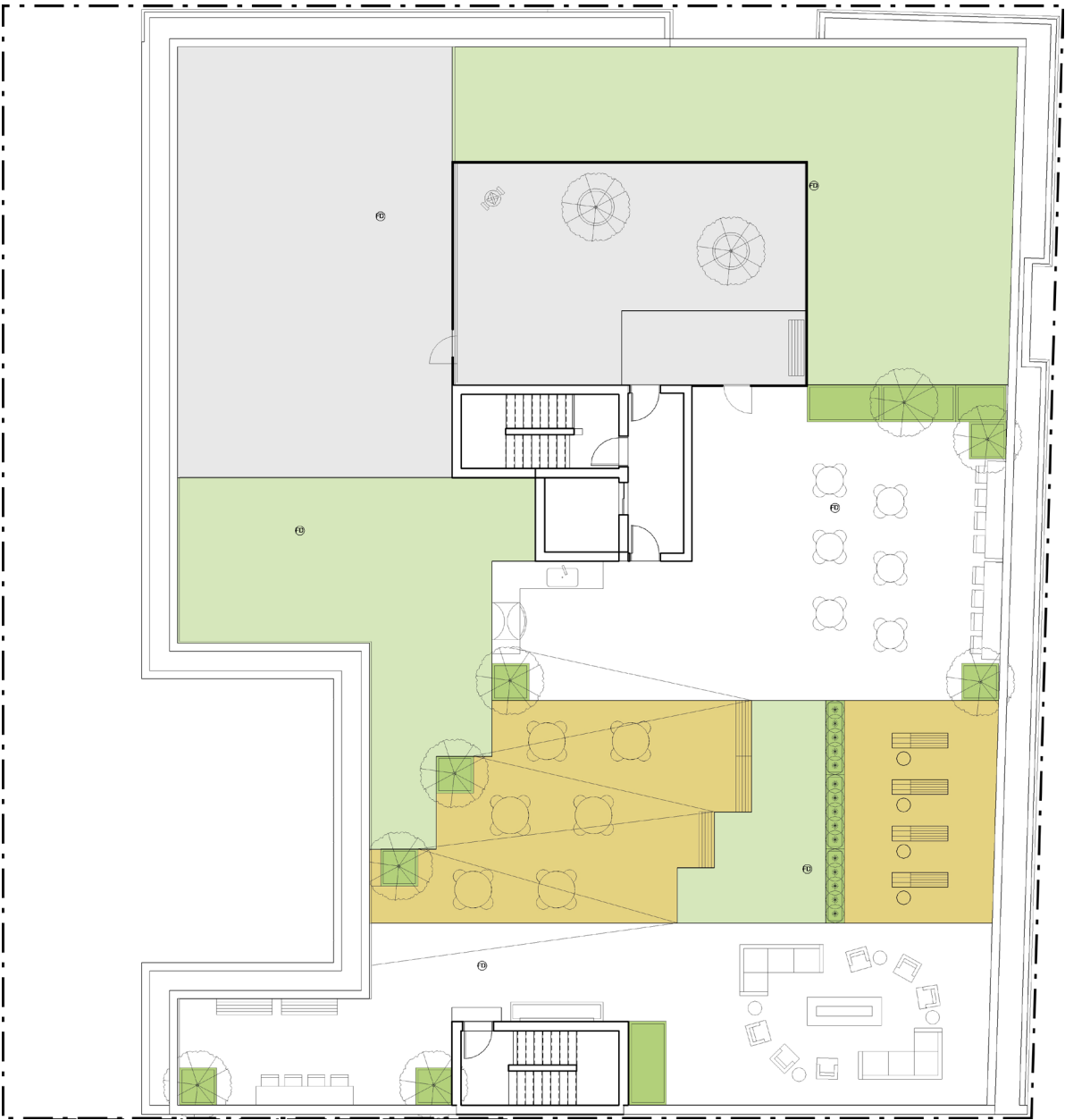


3RD FLOOR LEVEL

- PARKING
- LOBBY/AMENITY
- RETAIL
- TWO BEDROOM
- OPEN ONE BEDROOM
- ONE BEDROOM
- STUDIO

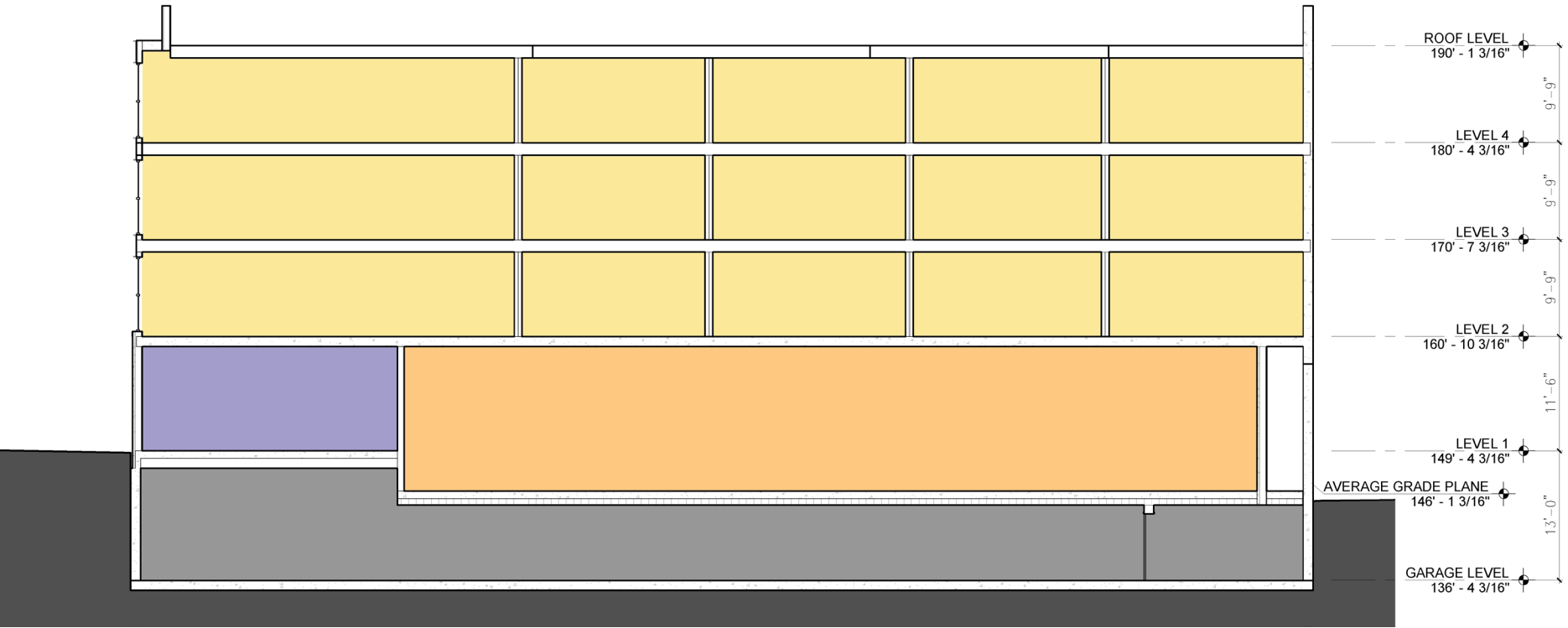


4TH FLOOR LEVEL

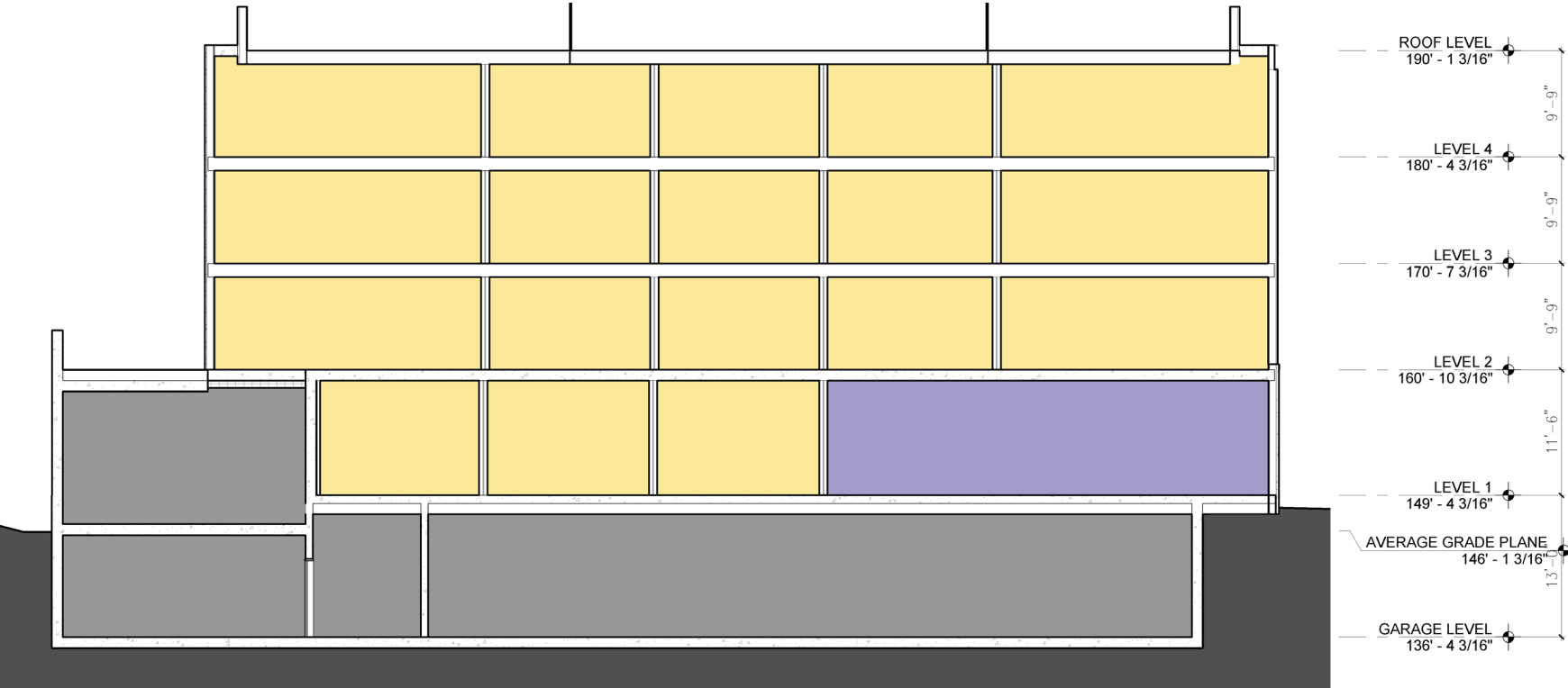


ROOF FLOOR LEVEL

- PARKING
- LOBBY/AMENITY
- RETAIL
- TWO BEDROOM
- OPEN ONE BEDROOM
- ONE BEDROOM
- STUDIO



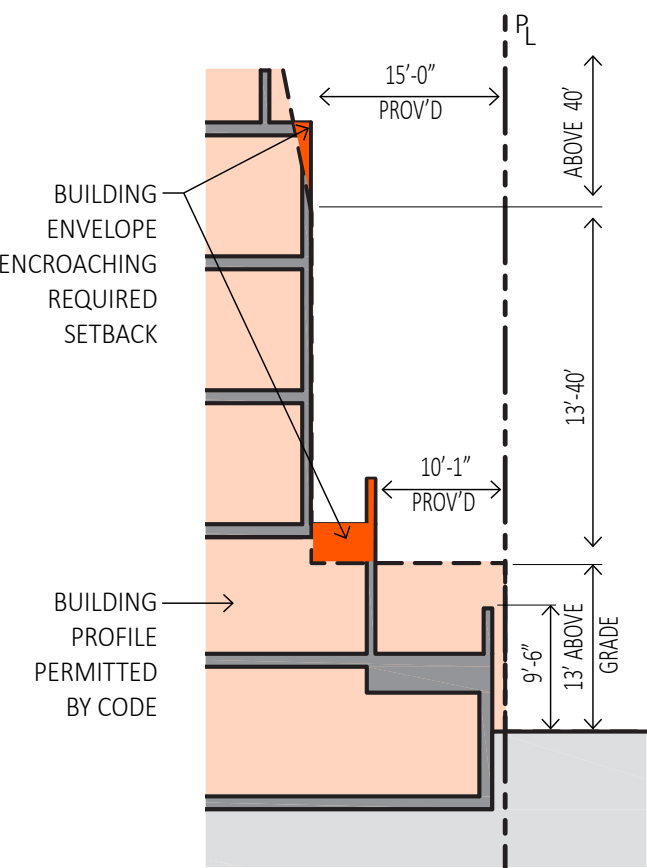
EAST-WEST SECTION



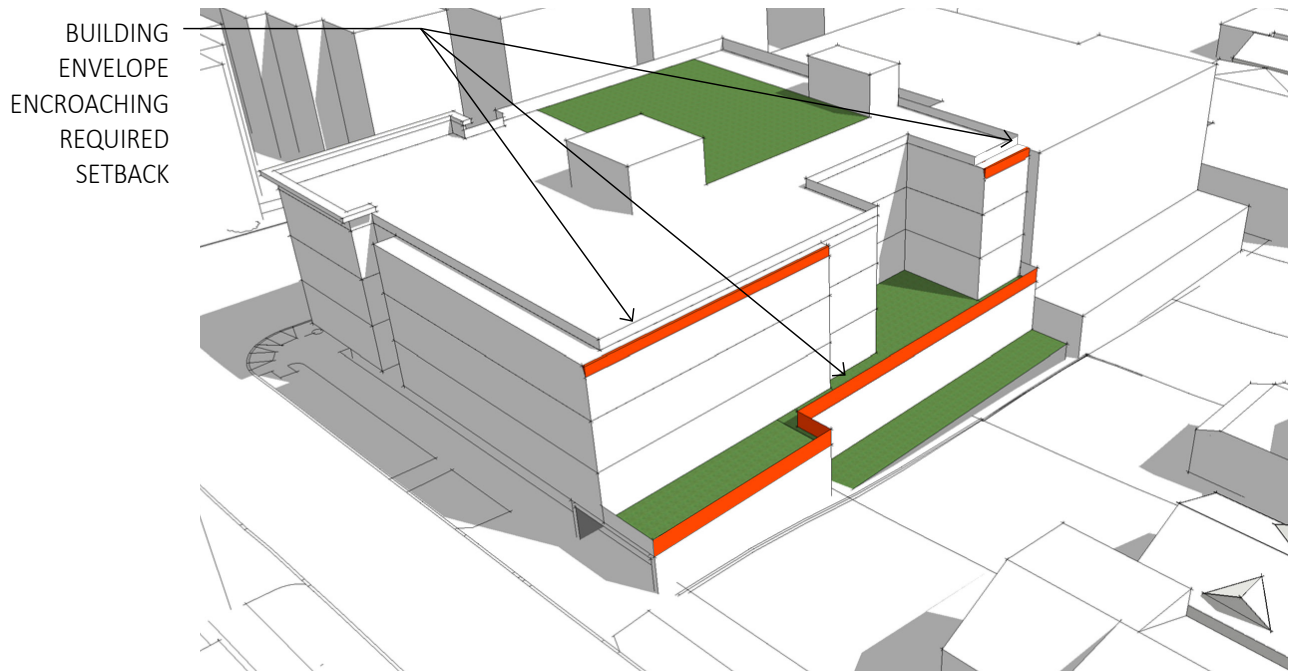
NORTH-SOUTH SECTION

- PARKING
- LOBBY/AMENITY
- RETAIL
- RESIDENTIAL

DEPARTURE #1	
SMC 23.47A.014.B.3 Setback Abutting a Side or Rear Lot Line of a Residentially-Zoned Lot	
REQUIRED SETBACK	
For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone, as follows:	
a. 15' for portions of structures above 13 feet in height to a maximum of 40 feet; and	
b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet.	
PROVIDED AT WEST PROPERTY LINE	
a. 10'-0" provided at the 1st floor	
b. 15'-0" provided at the 2nd- 4th floor	
JUSTIFICATION	
1. The building floor elevations are set by the grades along Stone Way N, which are higher than the west property line. The building is terraced along the west property line to transition to the SF 5000 zone with landscaping and outdoor space, however, the steep grades prohibit reducing the building elevation without losing the below-grade parking.	
SUPPORTED DESIGN GUIDANCE	
<ul style="list-style-type: none">CS2.B.2 Connection to the StreetCS2.II.i. Streetscape CompatibilityCS2.D.4 Height, Bulk and Scale- Massing Choices	

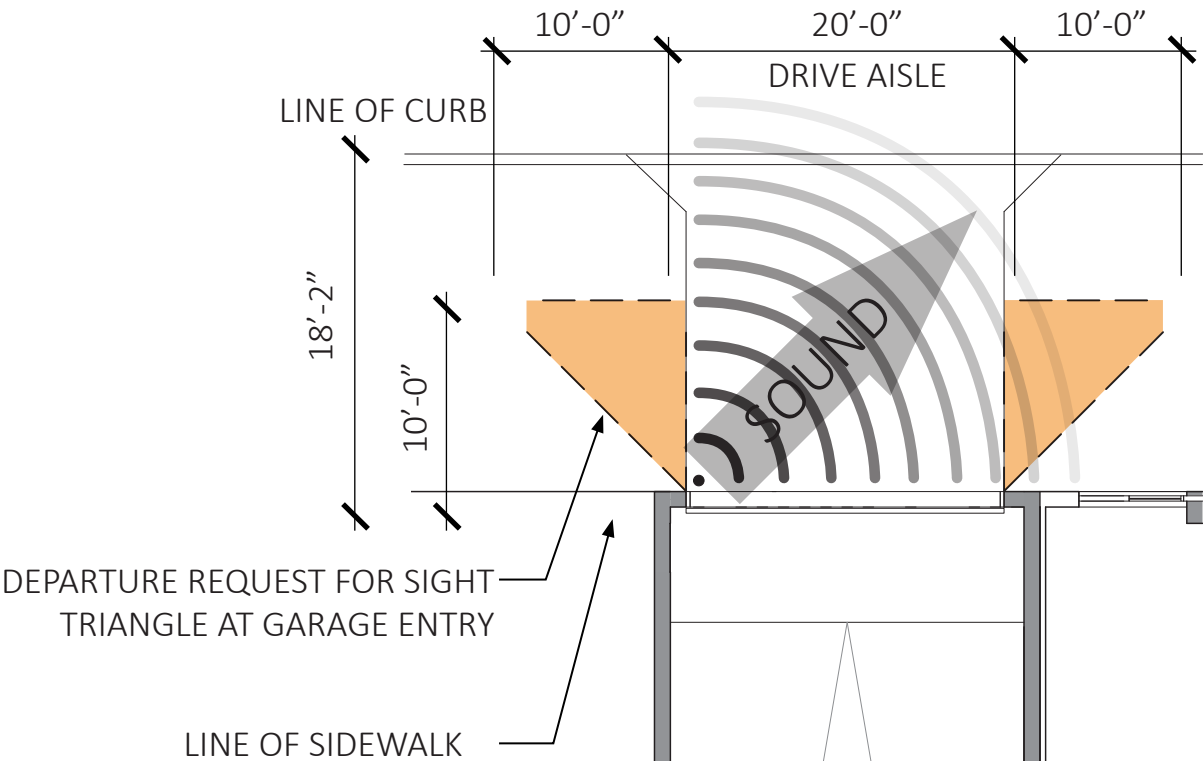


SECTION DIAGRAM- WEST PROPERTY LINE

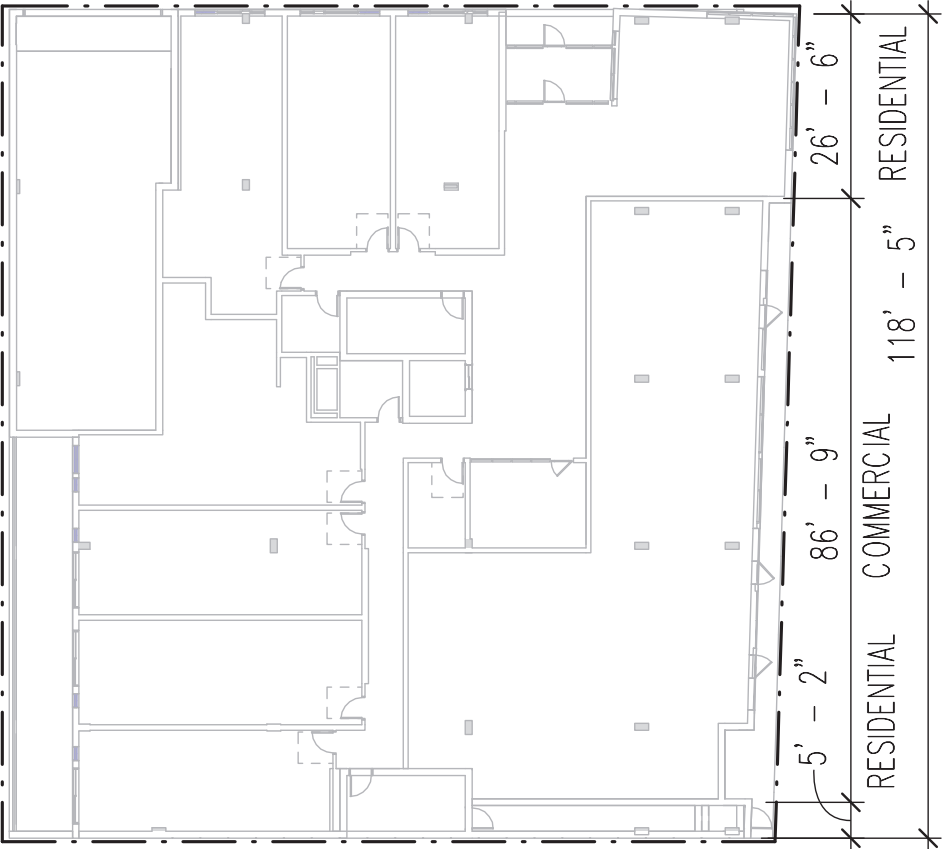


AXONOMETRIC DIAGRAM- WEST PROPERTY LINE

DEPARTURE #3
SMC 23.54.030.G.1 - SIGHT TRIANGLE
PERMITTED SIGHT TRIANLE
For exit-only driveways and easements, and two driveways and easements less than 22 feet wide, a sight triangle on both sides of the driveway or easement shall be provided and shall be kept clear of any obstruction for a distance of 10 feet from the intersection of the driveway or easement with a driveway, easement, sidewalk, or curb intersection if there is no sidewalk
PROPOSED DRIVEWAY
Mirrors and/or an early-warning alarm system will be installed to provide and enhance pedestrian safety on the proposed two-way driveway (20 foot wide). The reduction in the sight triangle will minimize the vehicular impact on the street and sidewalk, relieving the need for a single 10 foot wide driveway for both entry and exit.
PROPOSED
To allow for an obstruction on one side of the sight triangle in order to maintain a 20 foot wide two-way driveway.
JUSTIFICATION
<div>1. Per the project pre-submittal meetings, sdot prefers the curb cut and parking access to be located off of n 41st street, as far from the intersection as possible. The proposed location reuses the existing curb-cut on n 41st street.</div> <div>2. The grades at this corner are the highest on the site, el 150. The grade of the ground floor is el 145, to provide accessible entry off of stone way n and provide 13' floor to floor, within the allowable height.</div> <div>3. If a code compliant, site triangle was provided, the garage entrance and ramp would need to setback 10' from the sidewalk, thus pushing the ramp further into the building, resulting in fewer parking stalls in the below grade parking garage. Parking is not required on the site, but is an important component of the development to mitigate the impact of added parking on the residential neighborhood to the west. Additionally, pushing back the ramp 10' would result in the loss of the northernmost residential unit positioned above the ramp on the ground floor above.</div>

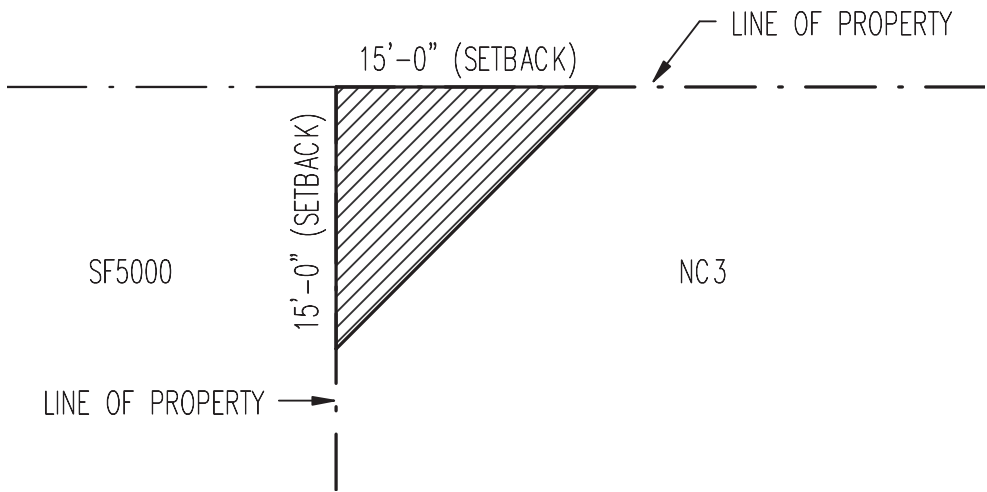
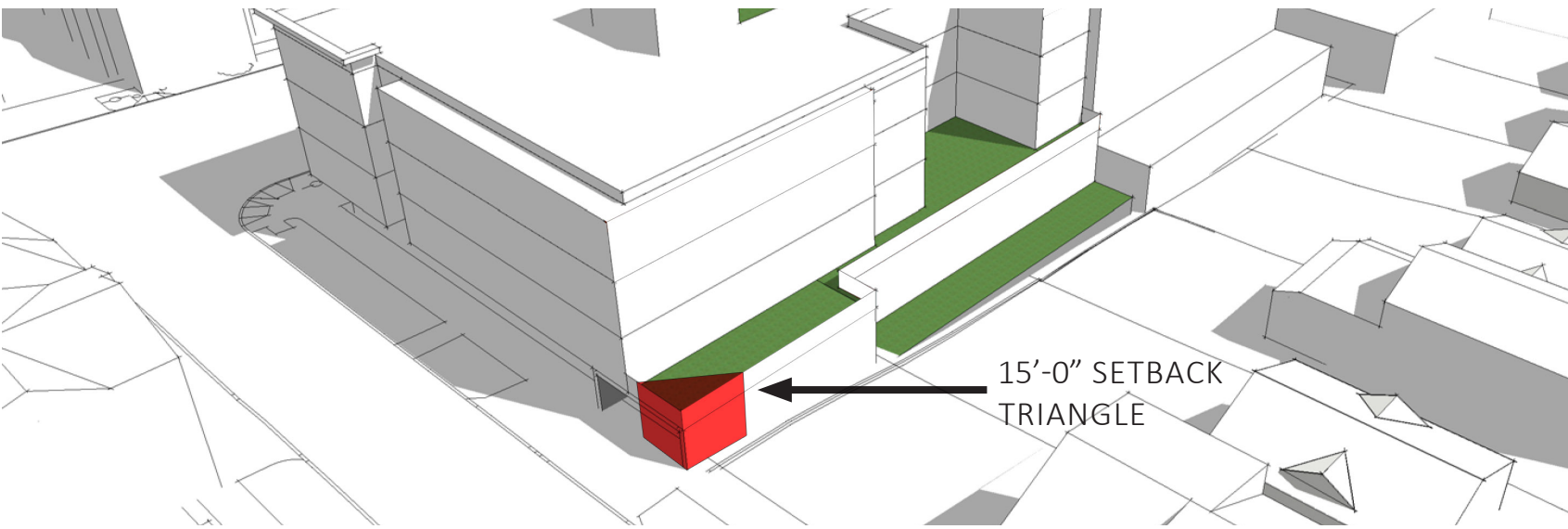


DEPARTURE #4	
SMC 23.47A.005	Street Level Uses
REQUIRED RESIDENTIAL USES ALONG STONE WAY N (Pedestrian Designated Street)	
1.	A minimum of 80 percent of the width of a structure’s street-level street-facing façade that faces a principal pedestrian street shall be occupied by uses listed in subsection 23.47a.005.d.1. The remaining 20 percent of the street frontage may contain other permitted uses and/or pedestrian entrances.
1.	In all nc zones, residential uses may occupy, in the aggregate, no more than 20 percent of the street-level street-facing facade in the following circumstances or locations: <div><div>a.</div><div>In a pedestrian-designated zone, facing a designated principal pedestrian street; total frontage = 118.42’</div></div>
PROVIDED RESIDENTIAL USES ALONG STONE WAY N	
Required residential frontage (118.42’ x 0.20) = 23.67’ (20%) Provided residential frontage = 31.67’ (26.74%) Required commercial frontage (118.42’ x 0.80) = 94.74’ (80%) Provided commercial frontage = 86.75’ (73.26%)	
JUSTIFICATION	
The board has requested a more prominent and activated corner at 41st and stone way. In order to meet this request, the previously proposed ramp and overhang at the corner were removed and the corner walls shifted toward the property lines on the north and west. As a result, the lobby occupies a larger footprint along stone way. Therefore, a departure request has been included for the residential uses to occupy 27% of the street-facing façade, in lieu of 20%. The commercial space would result in 73% of the façade, in lieu of the code required 80%.	
SUPPORTED DESIGN GUIDANCE	
<div><div>•</div><div>CS2.B.2</div><div>Connection to the Street</div></div> <div><div>•</div><div>CS2.II.i.</div><div>Streetscape Compatibility</div></div>	

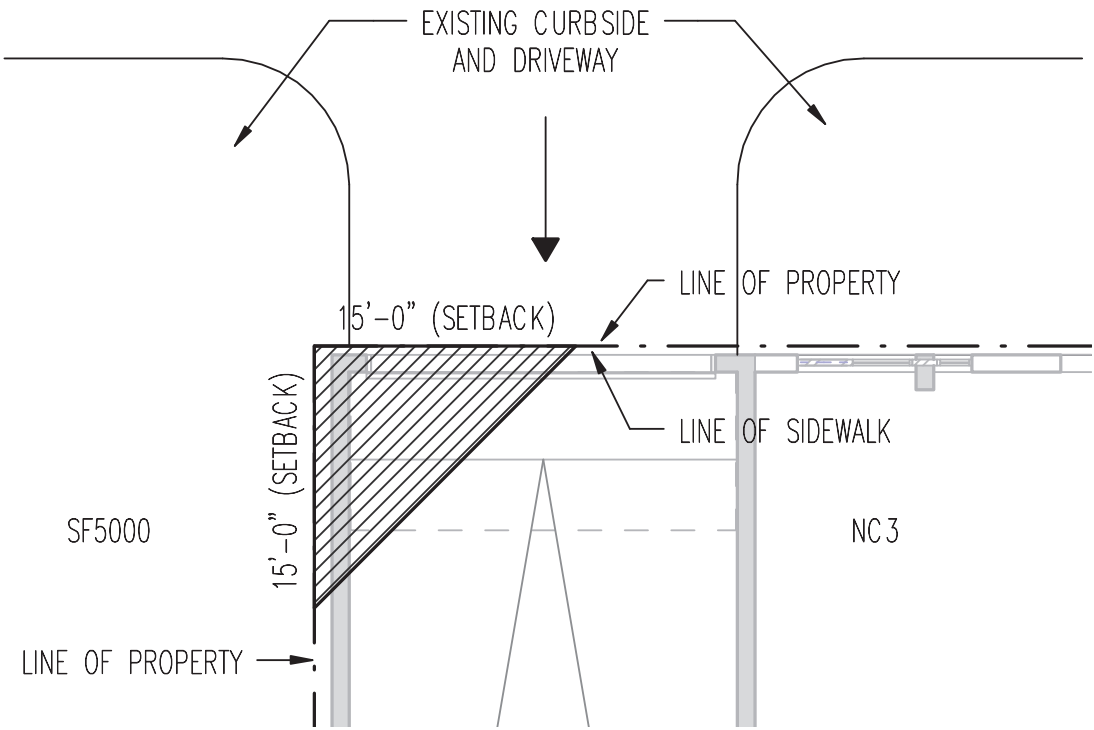


LEVEL 1- STREET LEVEL USUES DIAGRAM

DEPARTURE #5	
SMC 23.47A.014	Street Level Uses
SITE SETBACK	
<p>A setback is required where a lot abuts the intersection of a side lot line and front lot line of a lot in a residential zone. The required setback forms a triangular area. Two sides of the triangle extend along the street lot line and side lot line 15 feet from the intersection of the residentially zoned lot's front lot line and the side lot line abutting the residentially zoned lot. The third side connects there two sides with a diagonal line across the commercially-zoned lot per SMC 23.47A.014.B.1.</p>	
PROPOSED:	
No setback	
JUSTIFICATION:	
<div><div>1.</div><div>Per the project pre-submittal meetings, SDOT prefers the curb cut and parking access to be located off of n 41st street, as far from the intersection as possible. The proposed location reuses the existing curb-cut on n 41st street.</div></div> <div><div>2.</div><div>The grades at this corner are the highest on the site, el 150. The grade of the ground floor is el 145, to provide accessible entry off of stone way n and provide 13' floor to floor, within the allowable height.</div></div> <div><div>3.</div><div>If a code compliant, side yard setback was provided, the garage entrance and ramp would need to setback 15' from the sidewalk, thus pushing the ramp further into the building, resulting in fewer parking stalls in the below grade parking garage. Parking is not required on the site, but is an important component of the development to mitigate the impact of added parking on the residential neighborhood to the west. Additionally, pushing back the ramp 15' would result in the loss of two residential units positioned above the ramp on the ground floor above.</div></div>	

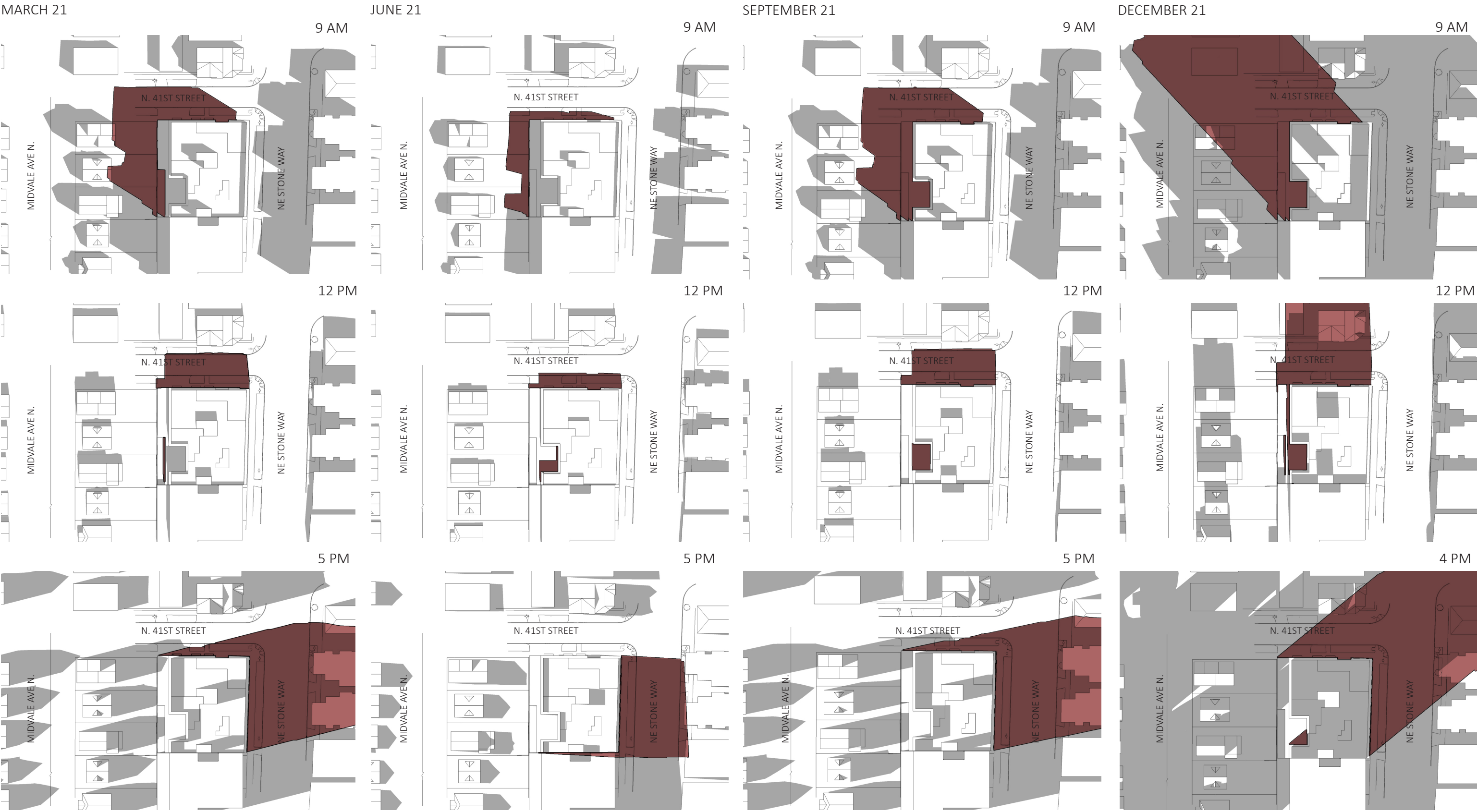


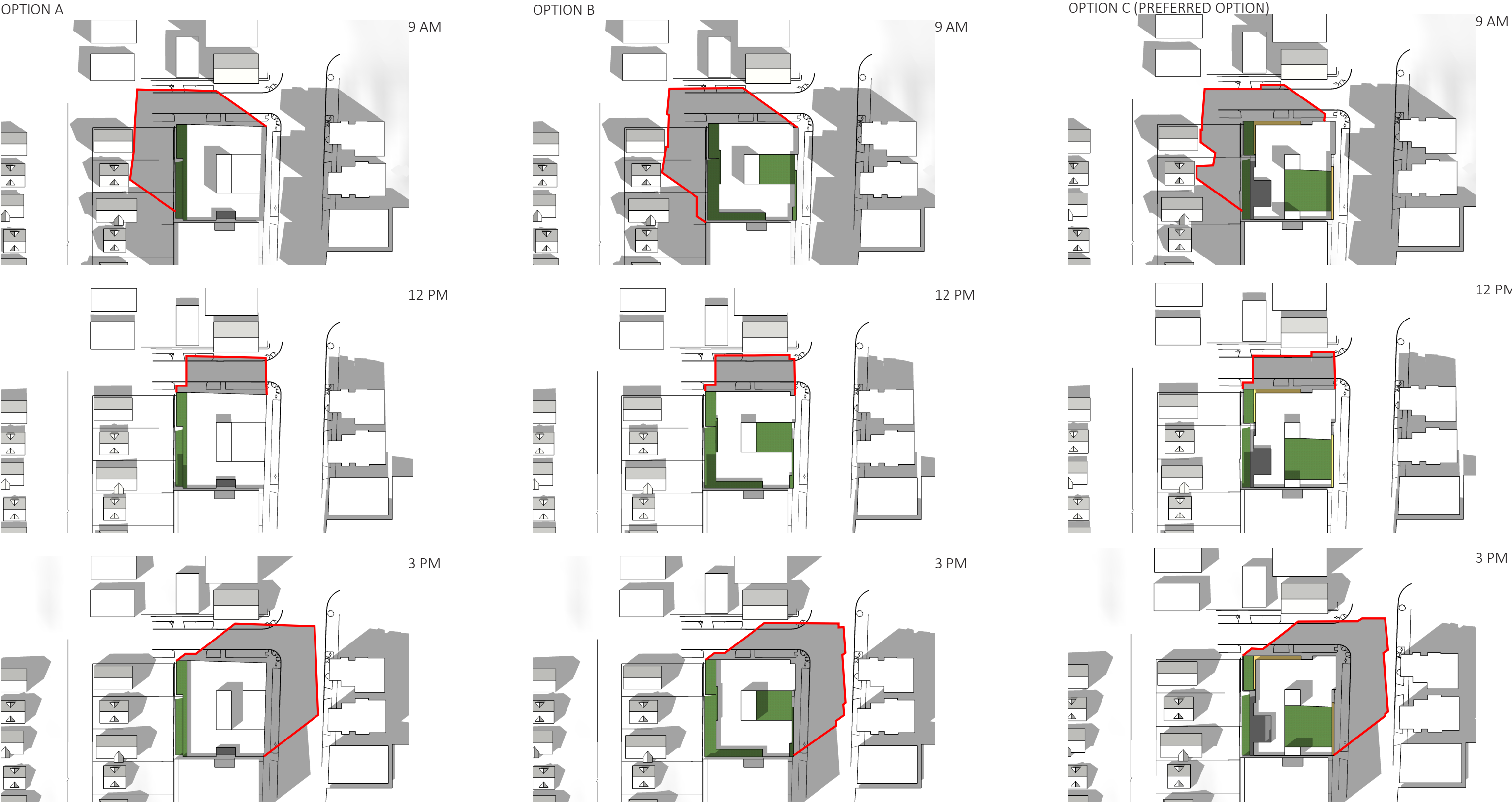
GARAGE ENTRY- SETBACKS DIAGRAM



GARAGE ENTRY- EXISTING CURB & DRIVEWAY DIAGRAM

MASSING SHADOW STUDY







DRAVUS APARTMENTS



BELAY APARTMENTS



ARGENS



DOWNTOWNER 2



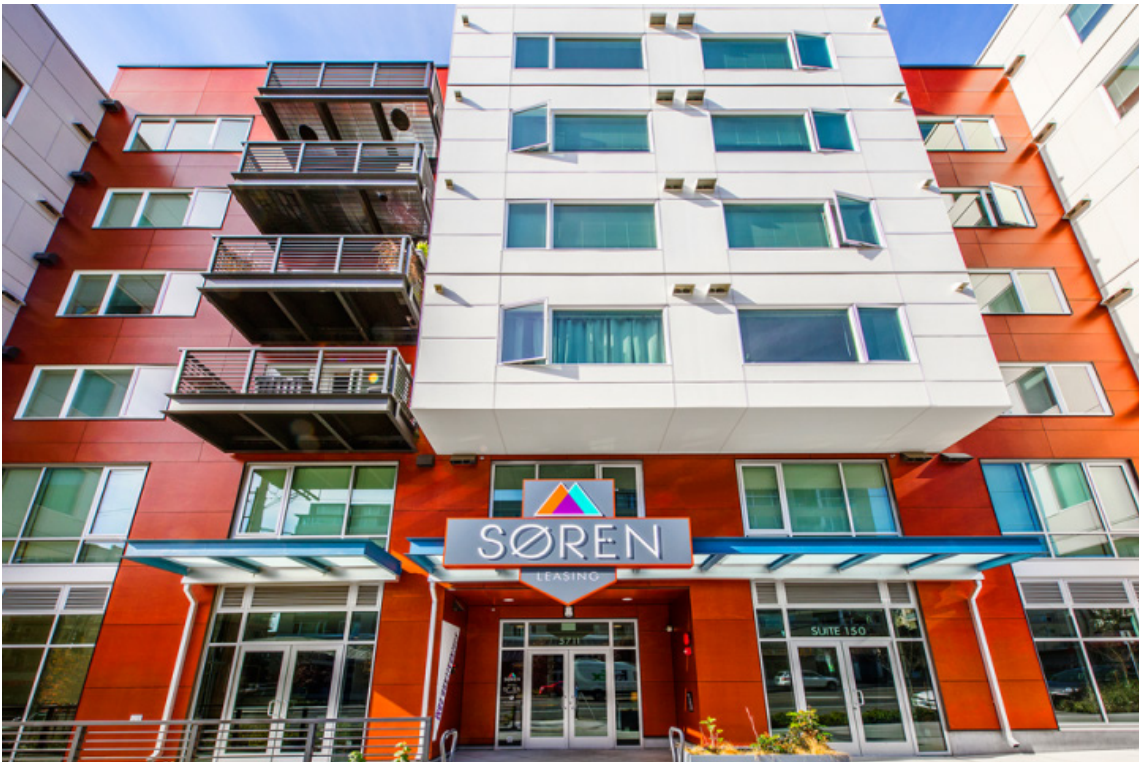
2134 WESTERN



THE VALDOK



HJARTA CONDOS



SØREN APARTMENTS



KEELSON APARTMENTS

NEIGHBORHOOD CONTEXT & PRECEDENTS

The project site is located at the southwest corner of Stone Way N and N 41st Street. Stone Way N has been identified as neighborhood commercial corridor that links the north end of Lake Union to N 45th Street commercial corridor. The street is designated NC2P-40. Most of the new construction on the commercial corridor consists of 4 story mixed use developments with modulated roof lines and lively pedestrian edges. Directly to the west of the site is a SF 5000 zone, which is defined by bungalows and craftsman houses with street trees.



1 4201 STONE WAY NORTH
The project located at 4201 Stone Way N is currently in the design review process. The design provides corner treatment of glazing and canopies to define the ground floor plane, per the design guidelines.



2 3801 STONE WAY NORTH
The project located at 3801 Stone Way N demonstrates roof and parapet modulation, as well as a top, middle and base, per the design guidelines.



3 3636 STONE WAY NORTH
The project located at 3636 Stone Way N demonstrates roof and parapet modulation, building modulation to define entries, per the design guidelines.



4 3920 STONE WAY NORTH
The project located at 3920 Stone Way N demonstrates building modulation and eave extensions to break up the building facade, per the design guidelines.



5 4301 STONE WAY NORTH
The project located at 4301 Stone Way N demonstrates roof and parapet modulation, as well as a top, middle and base, per the design guidelines.



6 4111 STONE WAY NORTH
The project located at 4111 Stone Way N demonstrates corner treatment of glazing and massing articulation to define the entry, per the design guidelines.





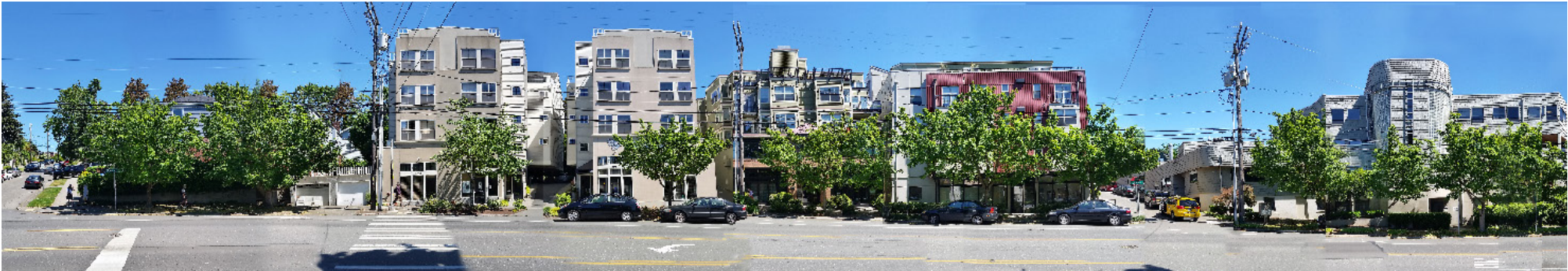
(A) 41st Looking North



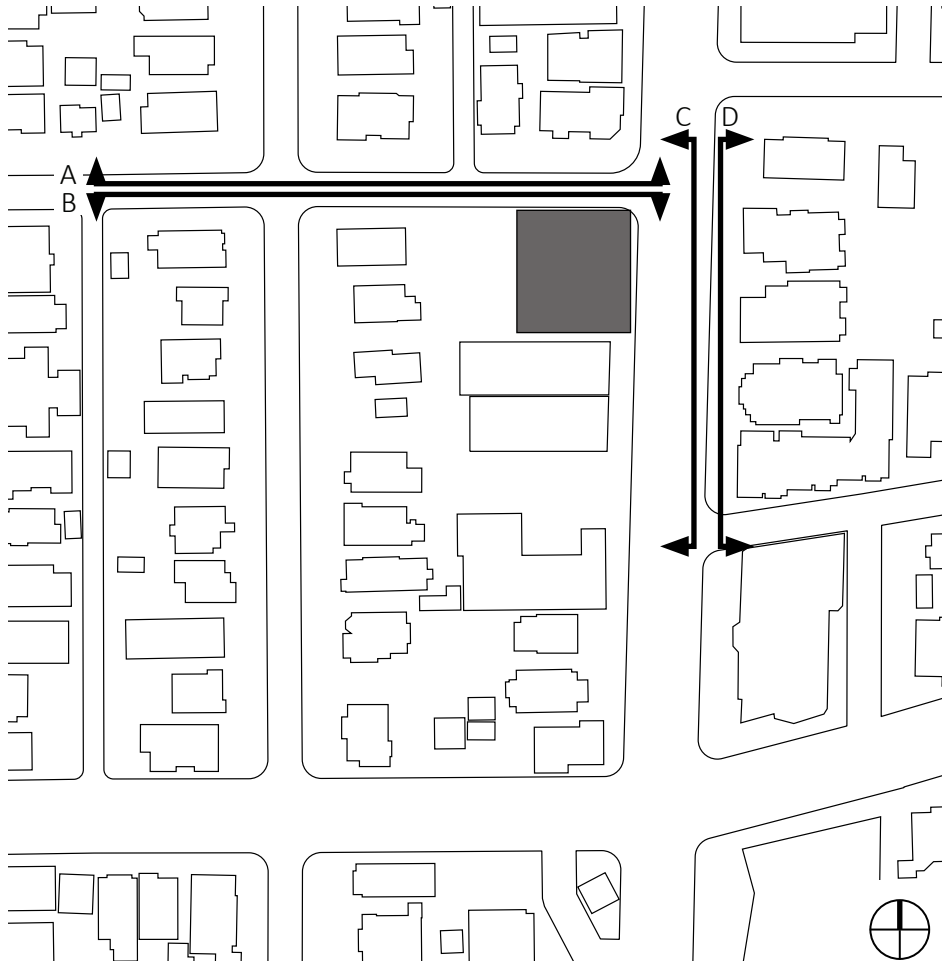
(B) 41st Looking South

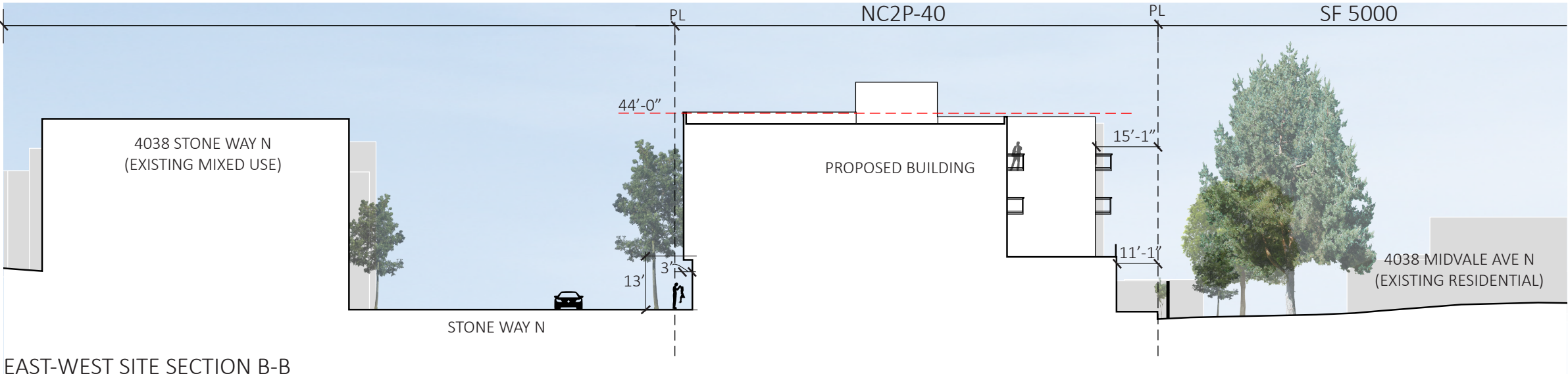
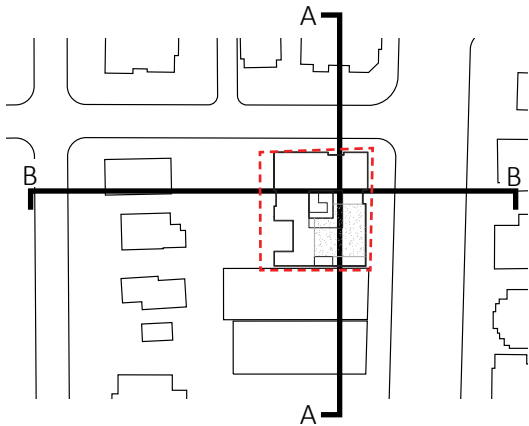
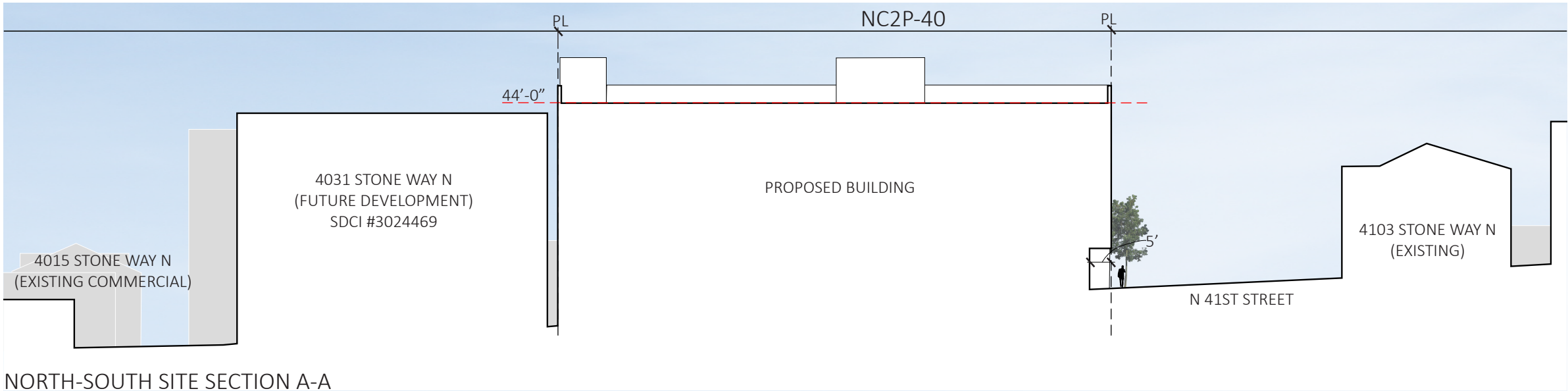


(C) Stone Way Looking West



(D) Stone Way Looking East







(A) 4038 STONE WAY N



(B) 4038 MIDVALE AVE N



(C) 4031 STONE WAY N



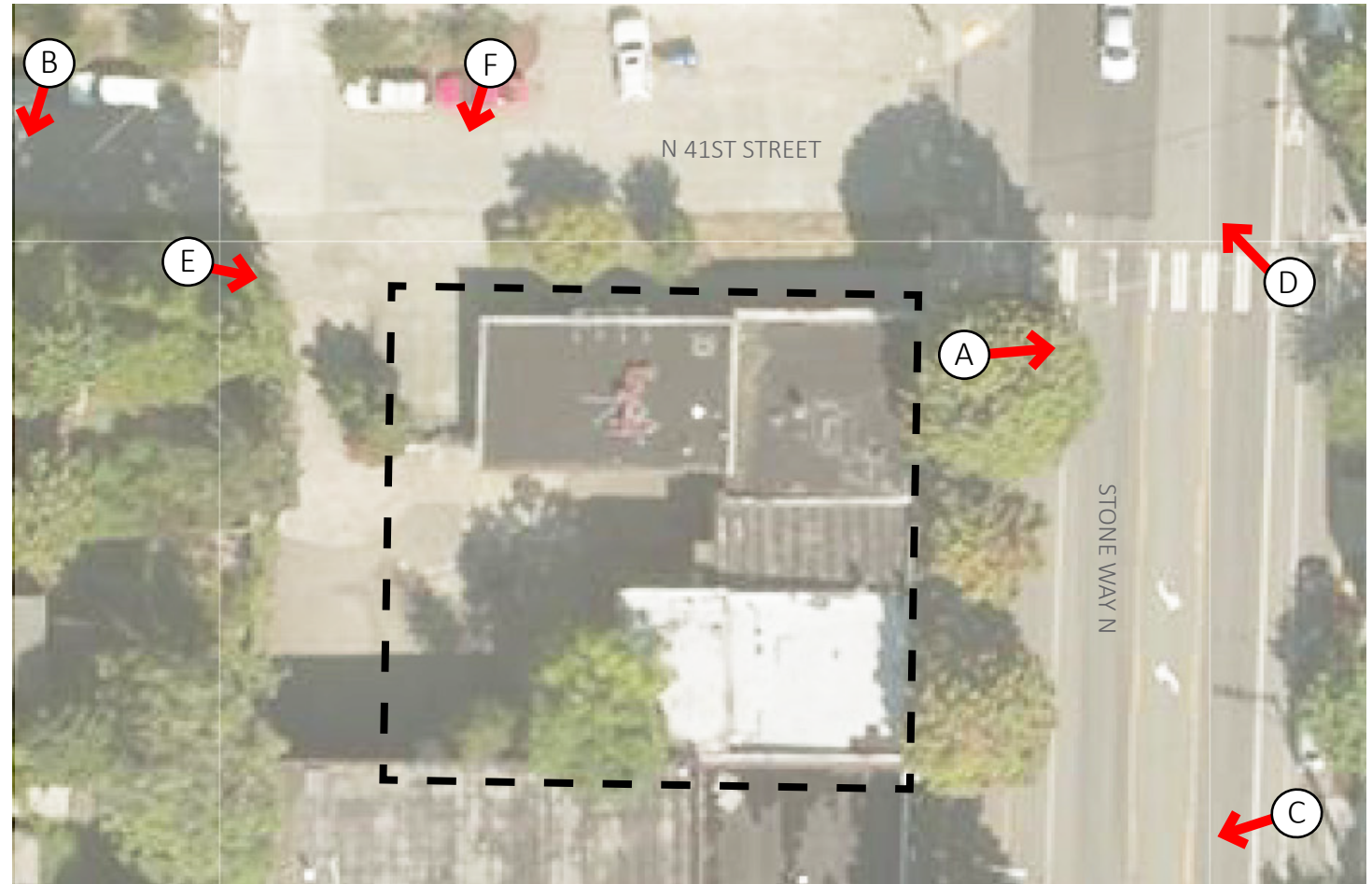
(D) 4103 STONE WAY N



(E) NW CORNER OF SITE, LOOKING EAST



(F) NW CORNER OF SITE, LOOKING SW



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FAR (23.47A.013): 3.25 (x 13,600 SF Lot)
44,200 SF Allowable Area

Proposed FAR:

Commercial (Retail):	1,550 SF	42,755 SF
Residential Uses	40,805 SF	
Mechanical/Services:	400 SF	
Additional Square Footage:		
Parking/Mechanical:	12,800	
Total	55,555 SF	

Required Landscaping: (23.47A.016) Green factor score of .30 or greater

Amenity Space (23.47A.024)
5% residential gross floor area dedicated for Residential Amenity Area

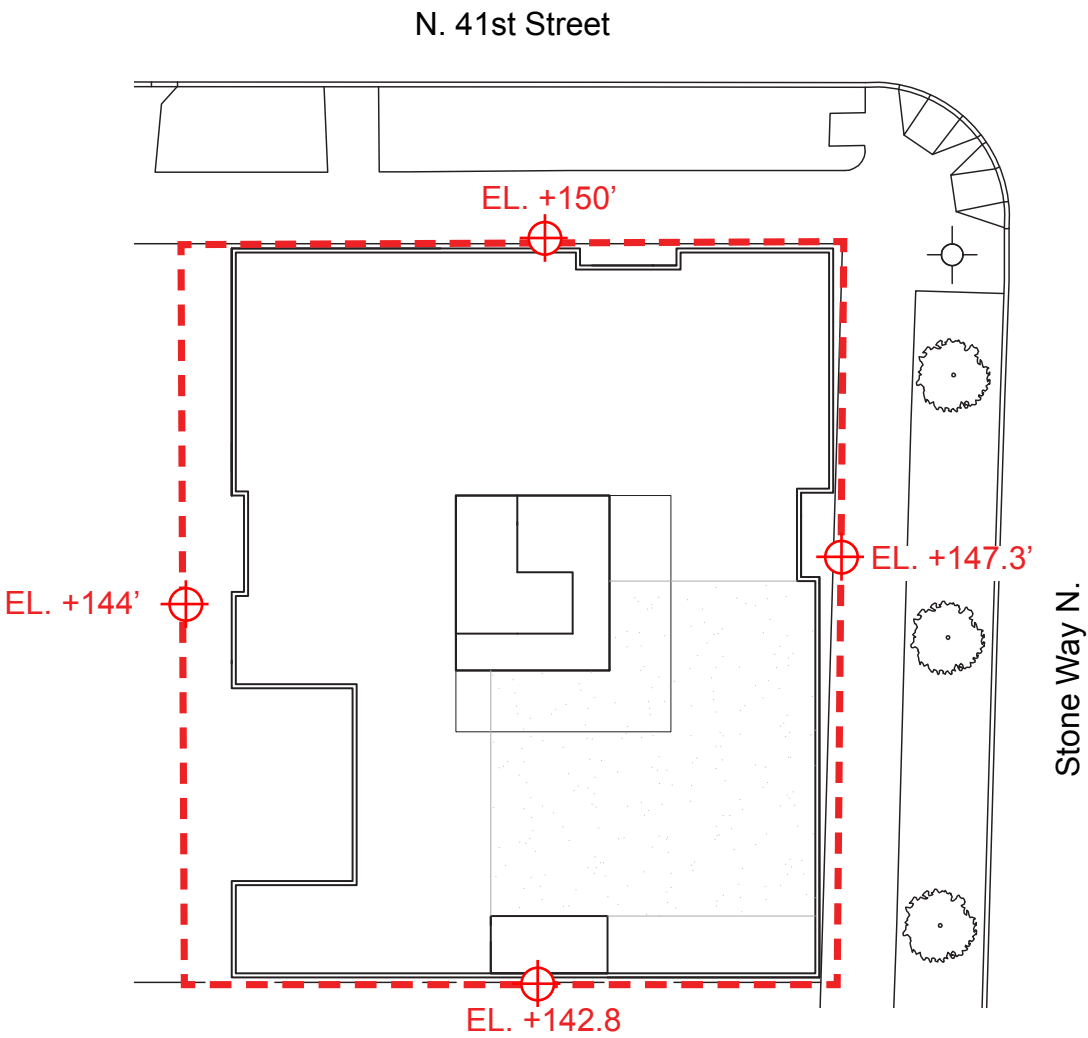
Required:	40,805sf x .05 =	<u>2,040.20 sf</u>
Provided:	L1- Lobby:	2,100 sf
	L1- Courtyard:	550 sf
	L2- Courtyard:	500 sf
	Roof- Deck:	<u>749 sf</u>
	Total:	3,899 sf

Parking Requirements (23.54.015 Table A & Table B)
Required: No parking is required in urban villages within the frequent transit service.
Provided: 34 stalls
*Table A.II.J for 23.54.015) For all non-residential uses in urban villages that are located within 1,320 feet of a street with frequent transit service, no parking is required.
**Table B.II.M for 23.54.015) For all residential uses in urban villages that are located within 1,320 feet of a street with frequent transit service, no parking is required.

Parking Location and Access (23.47A.032)
If access is not provided from an alley and the lot abuts only one street, access is permitted from the street, and limited to one two-way curb cut.
Provided: Single curb-cut parking access from Stone Way North

Solid Waste Calculation (23.54.040)
Minimum area for shared storage space for solid waste containers for 26-50 dwelling units: 375 sf. Minimum area for 5,001-15,000 sf of non-residential development: 125 sf. Mixed-use developments shall meet 50 percent of the requirement for non-residential use.

Required Residential (46 units):	375 sf
Required Non-Residential:	<u>125 sf x .50 = 62.5 sf</u>
Required Total:	437.5 sf



$$\frac{(114.5 \times 150) + (120.1 \times 147.3) + (111 \times 142.8) + (120 \times 144)}{465.6} = 146.1' \text{ Average Grade Level}$$

Structure Height Measurement (Director's Rule 4-2012)
Formula 2: Enclosing Rectangle- The average grade level is calculated by first drawing the smallest rectangle that encloses the entire structure, including all occupied area. The average grade level is calculated as the average of the elevation of existing lot grades at the midpoints, measured horizontally, of each side of this rectangle.

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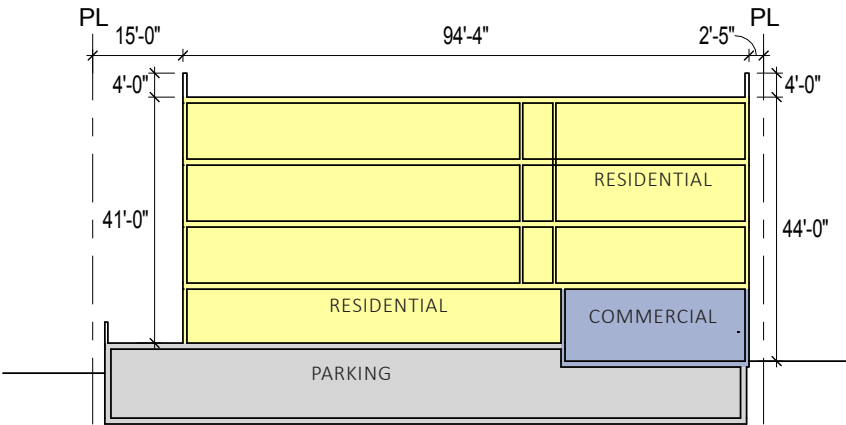
MASSING OPTION A
Code Compliant- No Departures

- Pros
- Continuous massing along Stone Way enhances perspective down the street and provides a strong urban edge.
- Cons
- Continuous facades on Stone Way and North 41st eliminate the modulation that is characteristic of the neighborhood building fabric.
 - Lack of modulation along North 41st does not provide adequate transition between the residential and commercial zones along the street front.
 - Lack of modulation at west facade does not break massing down for transition to single family homes.
 - Relies solely on material transitions to articulate the base, middle and top.
 - Abrupt faces along rights of way do not promote pedestrian scale and eliminate potential for landscaped building entries.
 - Lack of modulation prevents definition the building corner and the corner site as a whole.
 - Main building entry not located at corner reduces prominence.
 - Split commercial space reduces flexibility for potential retailers.

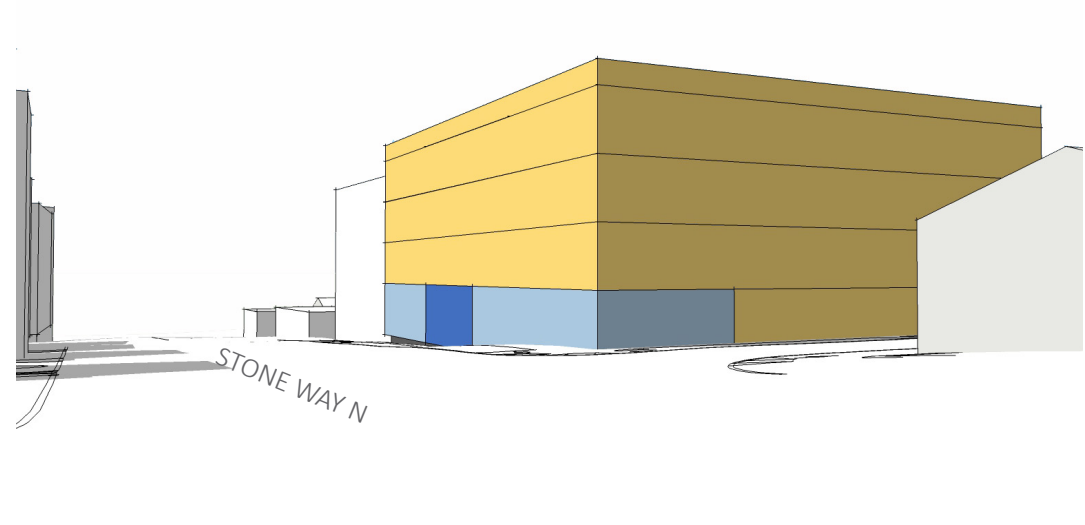
Lobby ■
Commercial ■
Residential ■
Live/Work ■



AERIAL VIEW LOOKING SOUTHWEST



PERSPECTIVE LOOKING NORTHWEST



PERSPECTIVE LOOKING SOUTHWEST



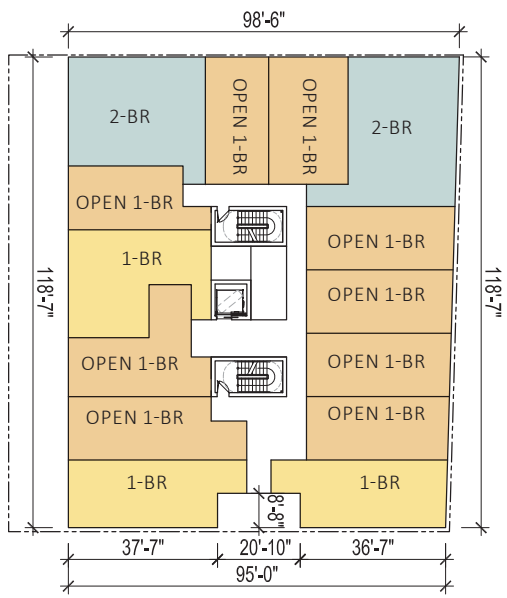
PERSPECTIVE LOOKING NORTHEAST

MASSING OPTION A

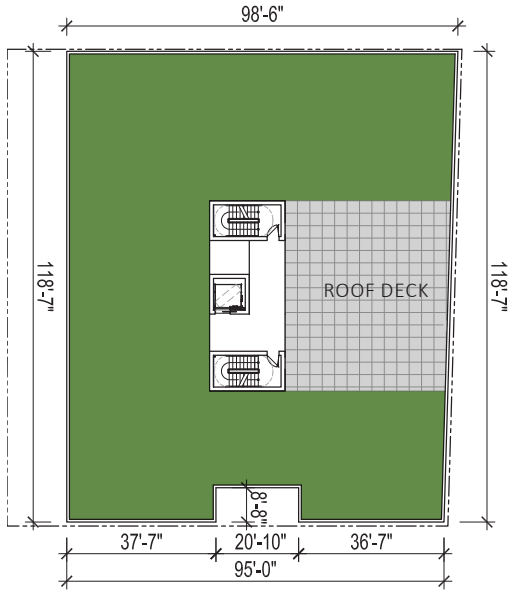
Code Compliant- No Departures



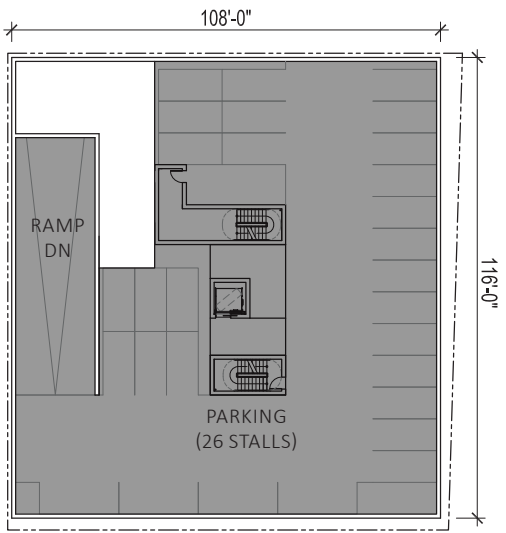
GROUND FLOOR



LEVEL 2-LEVEL 4



ROOF PLAN

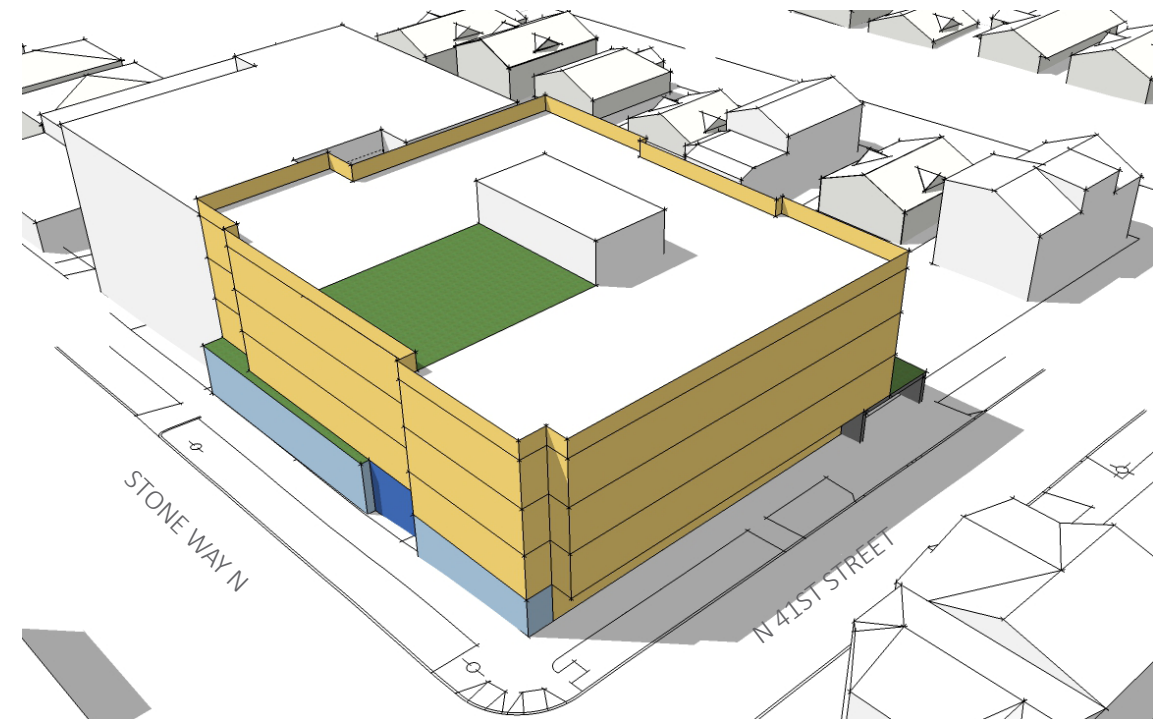


PARKING

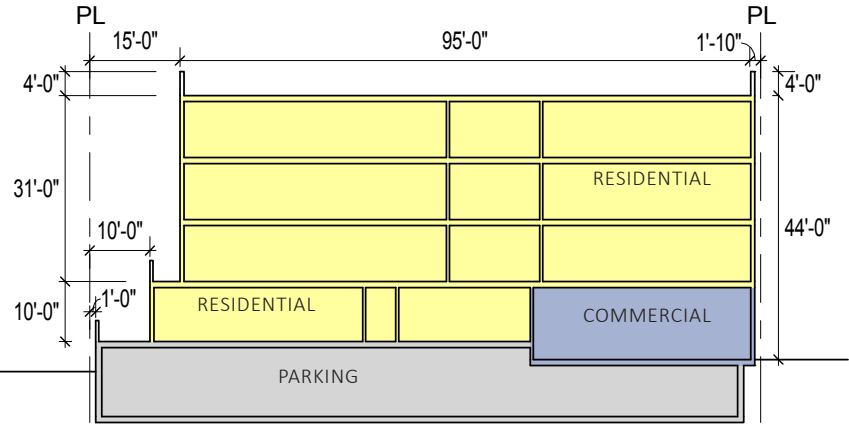
MASSING OPTION B

- Pros
- Eroded facade along Stone Way articulates the facade and creates a variety of scales at the street front.
 - Protruding ground floor articulates the base and middle geometries.
 - Recessed residential levels along Stone Way allows for balcony opportunities to activate the east facade.
 - Recessed ground floor along North 41st allows for landscaped transitions between the right of way and building.

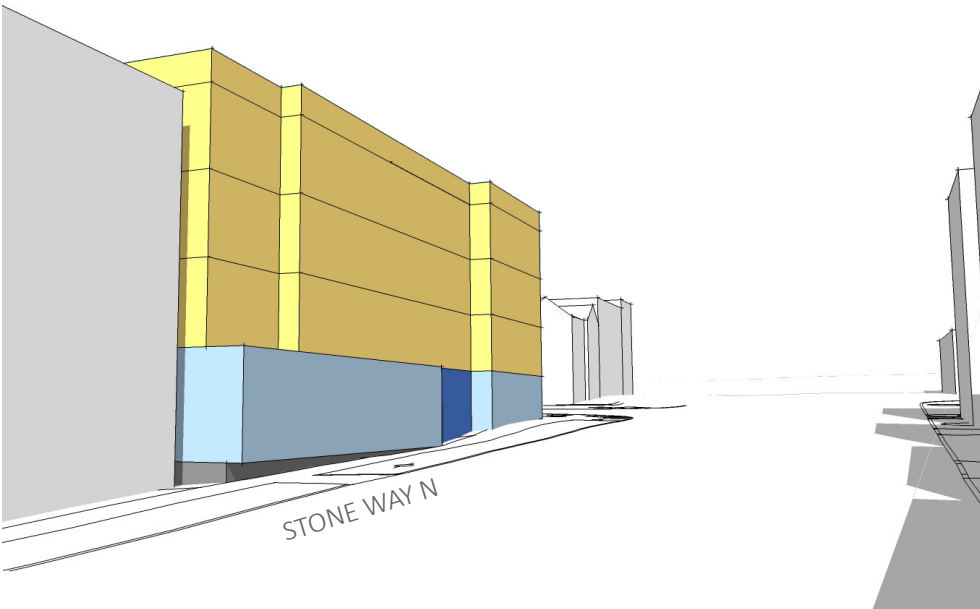
- Cons
- Continuous face along North 41st eliminates modulation that is characteristic of the neighborhood building fabric.
 - Minimal modulation at west facade does not break massing down for transition to single family homes.
 - Abrupt faces along rights of way do not promote pedestrian scale and eliminate potential for landscaped building entries.
 - Lack of modulation on North 41st prevents definition the building corner and the corner site as a whole.
 - Main building entry not located at corner reduces prominence.



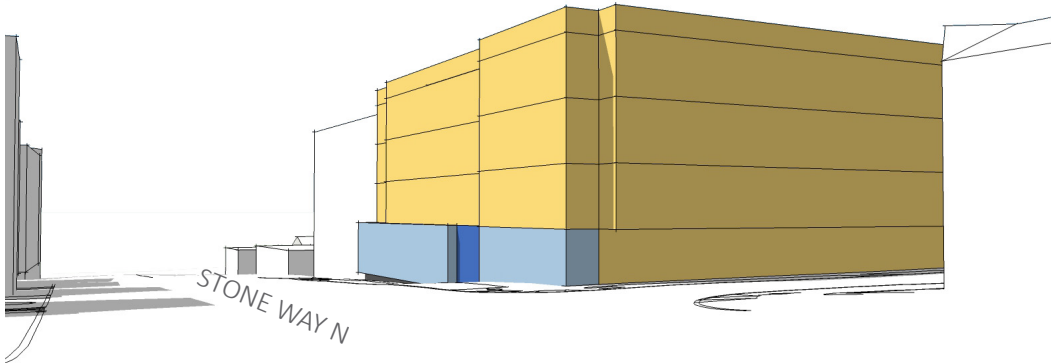
AERIAL VIEW LOOKING SOUTHWEST



- Lobby■
Commercial■
Residential■
Live/Work■



PERSPECTIVE LOOKING NORTHWEST



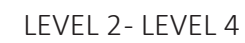
PERSPECTIVE LOOKING SOUTHWEST



PERSPECTIVE LOOKING NORTHEAST



22 May 2017



RELEVANT DESIGN GUIDELINES

(Wallingford Design Guidelines & Seattle Design Guidelines)

CONTEXT AND SITE

CS2.I.ii Responding to Site Characteristics

The site is located at the corner of Stone Way N and N 41st Street. The preferred scheme has located a series of outdoor patios and terraces along the west facade to take advantage of sun exposure.

CS2.B.2 Connection to the Street

CS2.II.i Streetscape Compatibility

The Neighborhood board has supported ground floor setbacks along Stone Way N to preserve the existing street trees. The preferred scheme provides a 5' ground floor setback to provide streetscape compatibility with neighboring property.

CS2.C.1 Corner Site

CS2.III.i, iv Corner Lots

CS3.I.iii,iv,v Base, Middle, Top

The site is located at the corner of Stone Way N and N 41st Street. The preferred scheme provides a ground floor recess, which will accommodate pedestrian activities. The upper floor building mass defines the street edge, while the parapets are extended to give visual interest.

CS2.D.4 Height, Bulk and Scale - Massing Choices

There are SF 5000 lots located to the west of the site. The proposed scheme has a series of landscape plazas that transition to the upper floors. In addition, a modulated courtyard is located in the middle of the west elevation to reduce the perceived mass from the neighboring lots.

PUBLIC LIFE

PL2.I Pedestrian Open Spaces and Entrances

PL2.B Safety and Security

1 Eyes on the Street

2 Lighting for Safety

3 Street-Level Transparency

The proposed development will incorporate ground floor storefront along Stone Way N at the commercial and residential entries. The preferred scheme has recessed the ground floor to provide weather protection and down lighting at the sidewalk level.

PL3.A.C Common Entries to Multi-Story Residential Buildings

The preferred scheme locates the residential entry at the residential lobby. Building modulates to signify the residential entry and the modulation provides a recess at the primary building entrance.

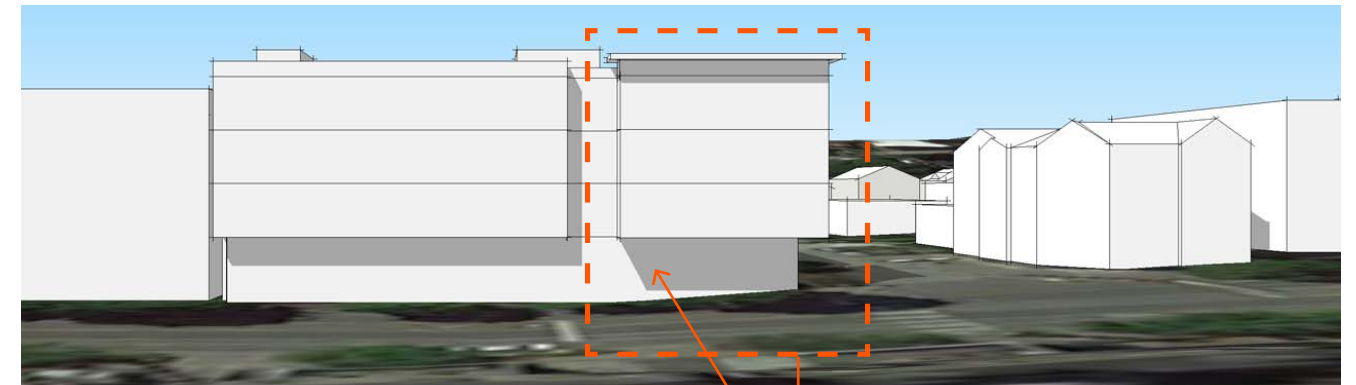
PL3.II Human Activity

The preferred scheme provides a ground floor recess, which will accommodate pedestrian activities. Patios along the west elevation and balconies will be incorporated at the building facades to encourage human activity and outdoor use.

4035 Stone Way N

Design Review Recommendation Meeting - SDCI #3024349

22 May 2017



PL3.A.C

CS2.C.1, CS2.III.i, iv

CS3.I.iii

CS3.I.iv

CS3.I.v

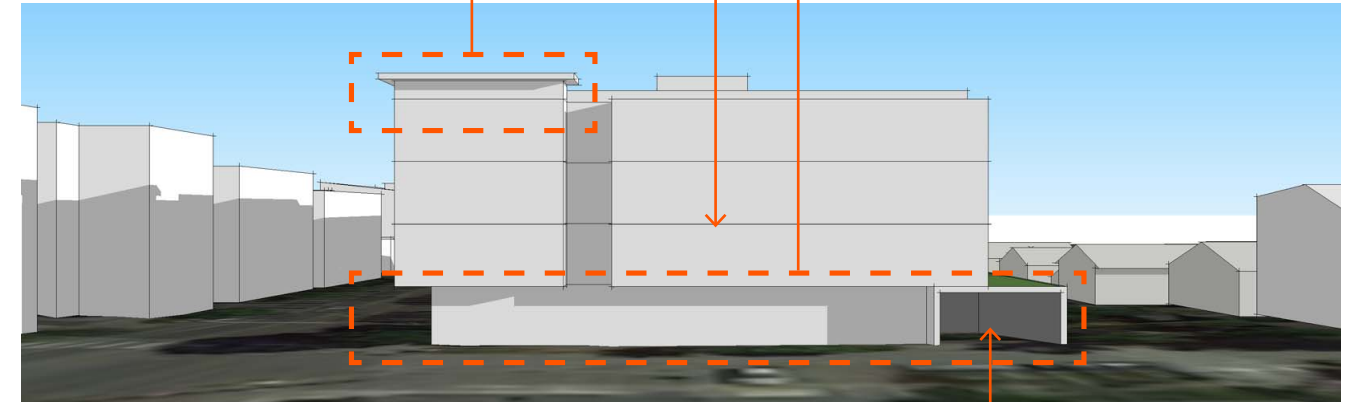
Entries to Residential Buildings

Corner Site

Base

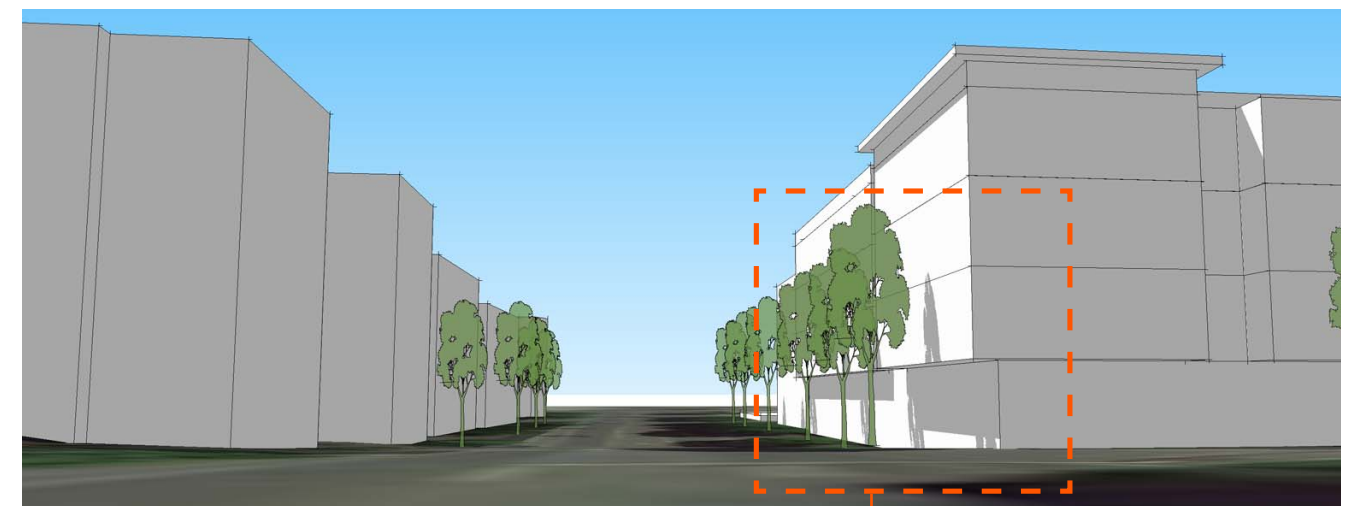
Middle

Top



DC1.I.i

Parking and Vehicle Access



CS2.B.2

CS2.II.i

Connection to the Street

Streetscape Compatibility

DESIGN CONCEPT

DC1.B.1 Access Location and Design

The parking garage entry has been located on N 41st Street to reduce the pedestrian conflict along Stone Way N, per direction from SDOT.

DC1.C.1 Below-Grade Parking

DC1.I.i Parking and Vehicle Access

Parking is not required when located in the Urban Village with frequent transit service within 1/4 mile, but the preferred scheme provides a full level of below grade parking.

DC2.B.1 Architectural and Facade Composition - Facade Composition

All of the elevations to be designed with a high level of window and material articulation. The preferred scheme provides a ground floor recess, which will accommodate pedestrian activities. The upper floor building mass defines the street edge, while the parapets are extended to give visual interest.

DC2.D.1 Human Scale

DC2.II Human Scale

The commercial/retail and residential spaces are recessed to provide planters adjacent to the sidewalk, which will define the building entries.



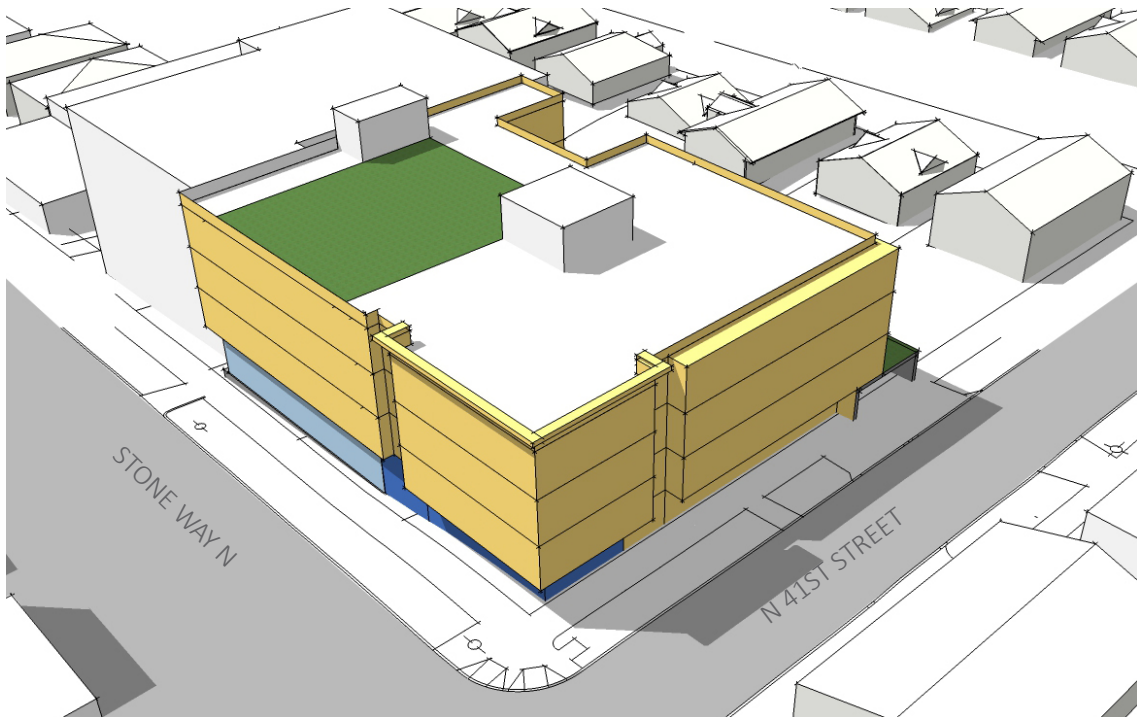
CS2.D.4

CS2.I.i

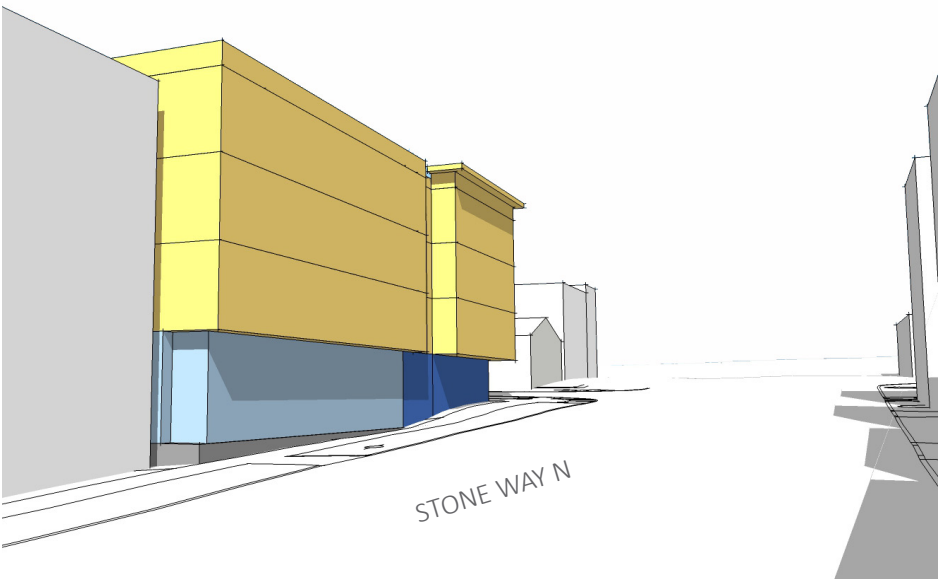
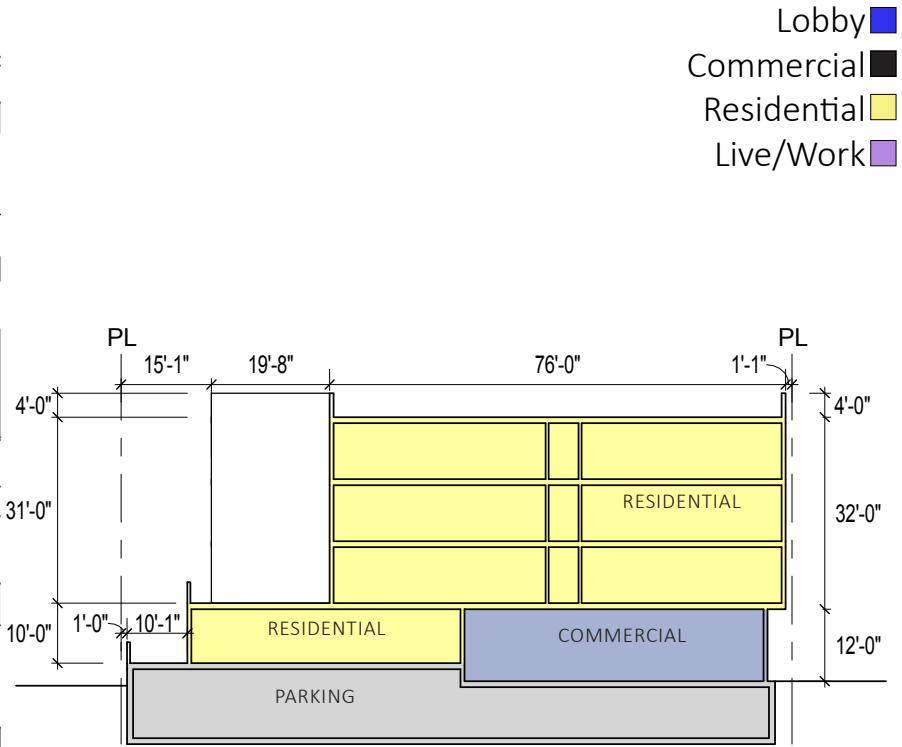
Massing Choices
Responding to Site Characteristics

MASSING OPTION C (PREFERRED SCHEME)

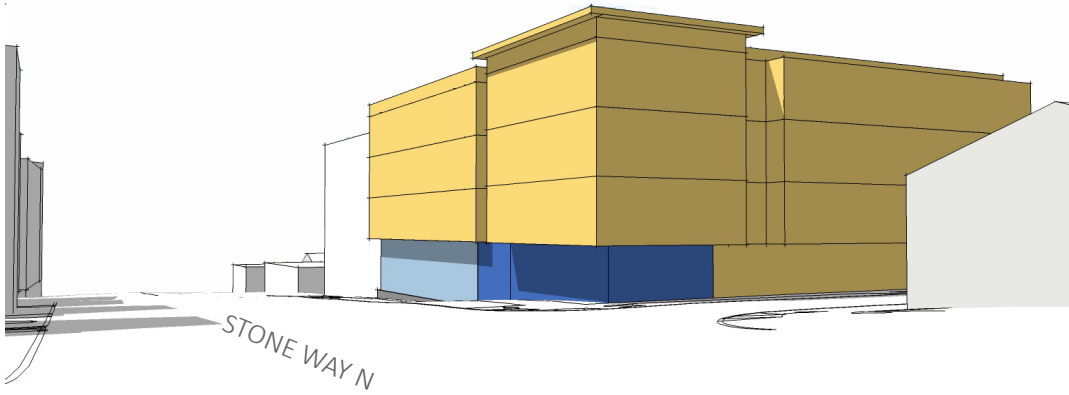
- Pros
- Modulation along Stone Way N articulates the facade and creates a variety of scales at the street front.
 - Modulation along North 41st provides for a scaled transition between the residential and commercial zones along the street front.
 - Building modulation and tiered outdoor areas provide setbacks and transitions on the west facade facing the residential zone.
 - Recessed ground floor along both streets provides a pedestrian scale to enhance the street front experience with landscaping, weather protection and lighting.
 - Defined corner massing lends prominence to the site and provides a focal point for the intersection.
 - Corner lobby provides a main building entry to activate the block corner and give presence to the mass above.
 - Recesses on both facades provide balcony opportunities to activate the facades
 - Consolidated commercial space provides an opportunity for large anchor tenant or division into smaller tenants.



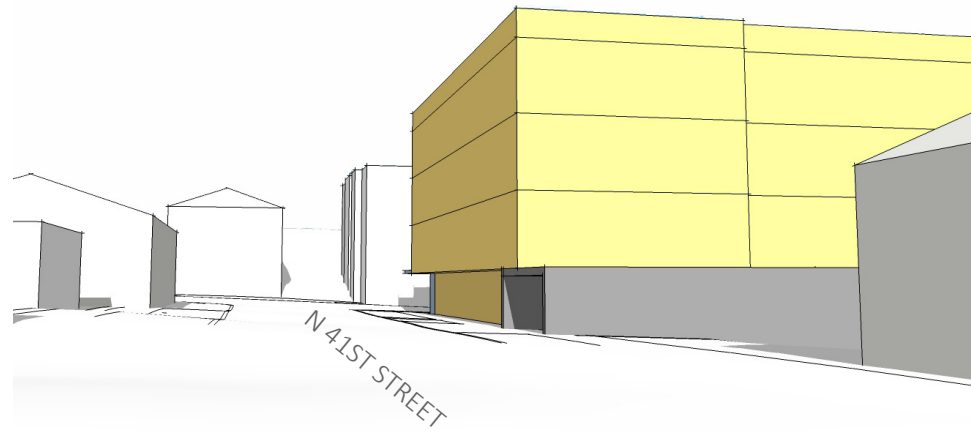
AERIAL VIEW LOOKING SOUTHWEST



PERSPECTIVE LOOKING NORTHWEST



PERSPECTIVE LOOKING SOUTHWEST



PERSPECTIVE LOOKING NORTHEAST