

DESIGN RECOMMENDATION - PROJECT# 3022596

DESIGN RECOMMENDATION - PROJECT# 3020898

DESIGN RECOMMENDATION - PROJECT# 3023474

1638, 1640, & 1644 20TH AVE

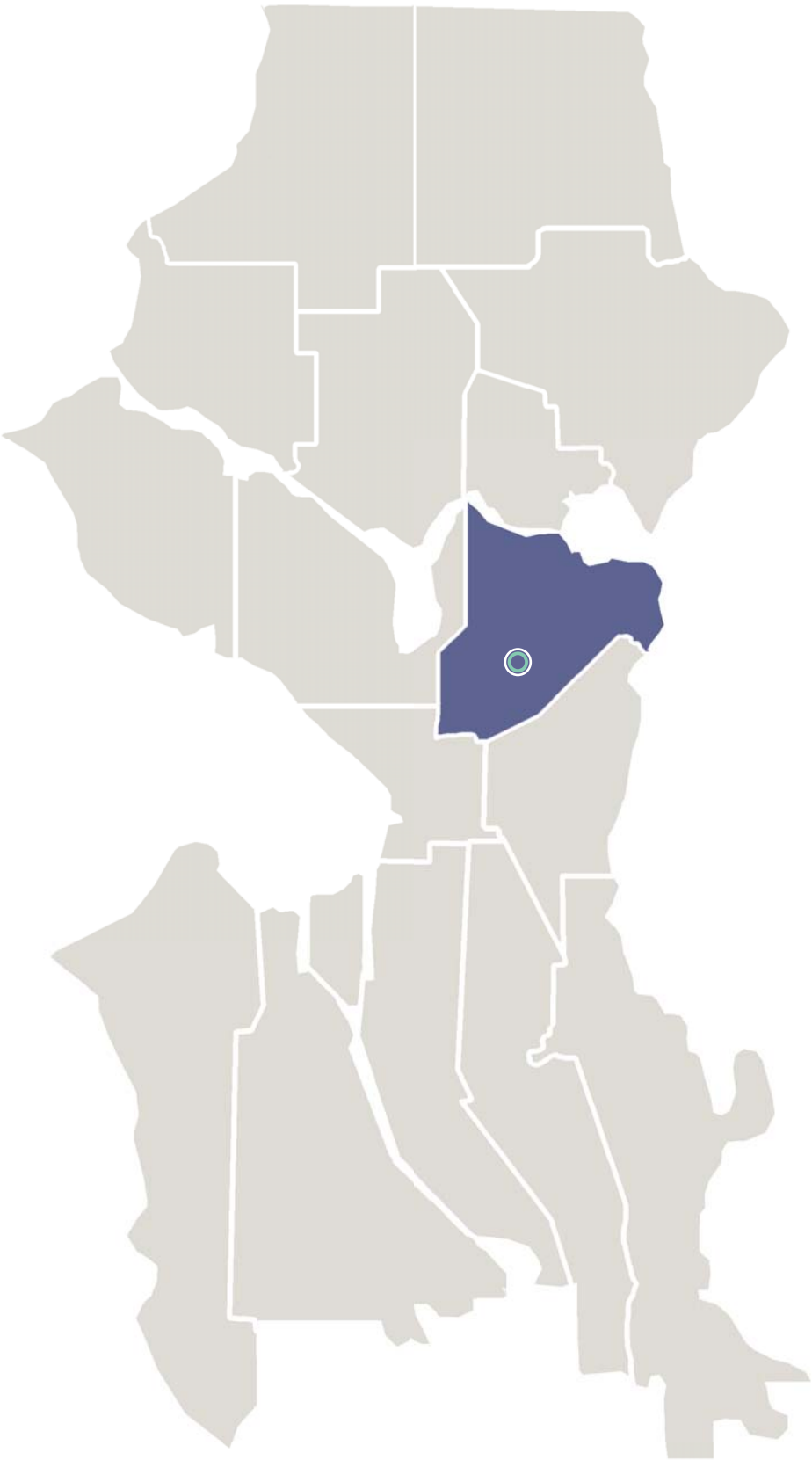
MARCH 8TH, 2017 8:00PM



PAGE INTENTIONALLY LEFT BLANK

CONTENTS

CONTEXT	CONTEXT IN SEATTLE	3
	SITE ANALYSIS	4
	LOCAL AMENITIES	5
	ZONING AERIAL DIAGRAM	6
	NEIGHBORING BUILDINGS	7
	20 TH AVE FACADES	8-9
EDG SUMMARY	PROJECT INSPIRATION	10
	CONCEPT	11
	EDG BOARD SELECTED ITERATION	12-13
	EDG BOARD COMMENTS	14
DESIGN RESPONSE	EDG RESPONSE	15
DESIGN DEVELOPMENT	DESIGN DEVELOPMENT	16
	FLOOR PLANS	17-19
	LANDSCAPE CONCEPT	20-21
	SIGNAGE	22
	EXTERIOR LIGHT FIXTURES	23
	MATERIALS	25
	COLORED ELEVATIONS	26-31
	RENDERINGS	33-29
	COURTYARD CONCEPT	36-37
	ENTRIES	38-39
APPENDIX	REQUESTED DEPARTURES	40-33
	SURVEY	45
	LOT BOUNDARY ADJUSTMENT	46-49
	POTENTIAL DESIGN GUIDELINES	50



DESIGN OBJECTIVES: This new community of 17 units will promote density in this special location. The design emphasizes the benefits of dense urban living while still providing parking for each household.

Fundamentally informed and inspired by the neighboring context, this community elegantly bridges the gap between commercial and residential areas along 20th Avenue.

KEY METRICS

ADDRESS: 1638, 1640, 1644 20th Ave, Seattle, Washington

PROJECT NUMBERS: EDG - 3022596, EDG - 3020898, EDG - 3023474

PARCEL NUMBERS: 7228501945, 7228501950

ZONE: NC2-40/LR 3

LOT SIZE: 5,247 sf NC2-40
9,744 sf LR3

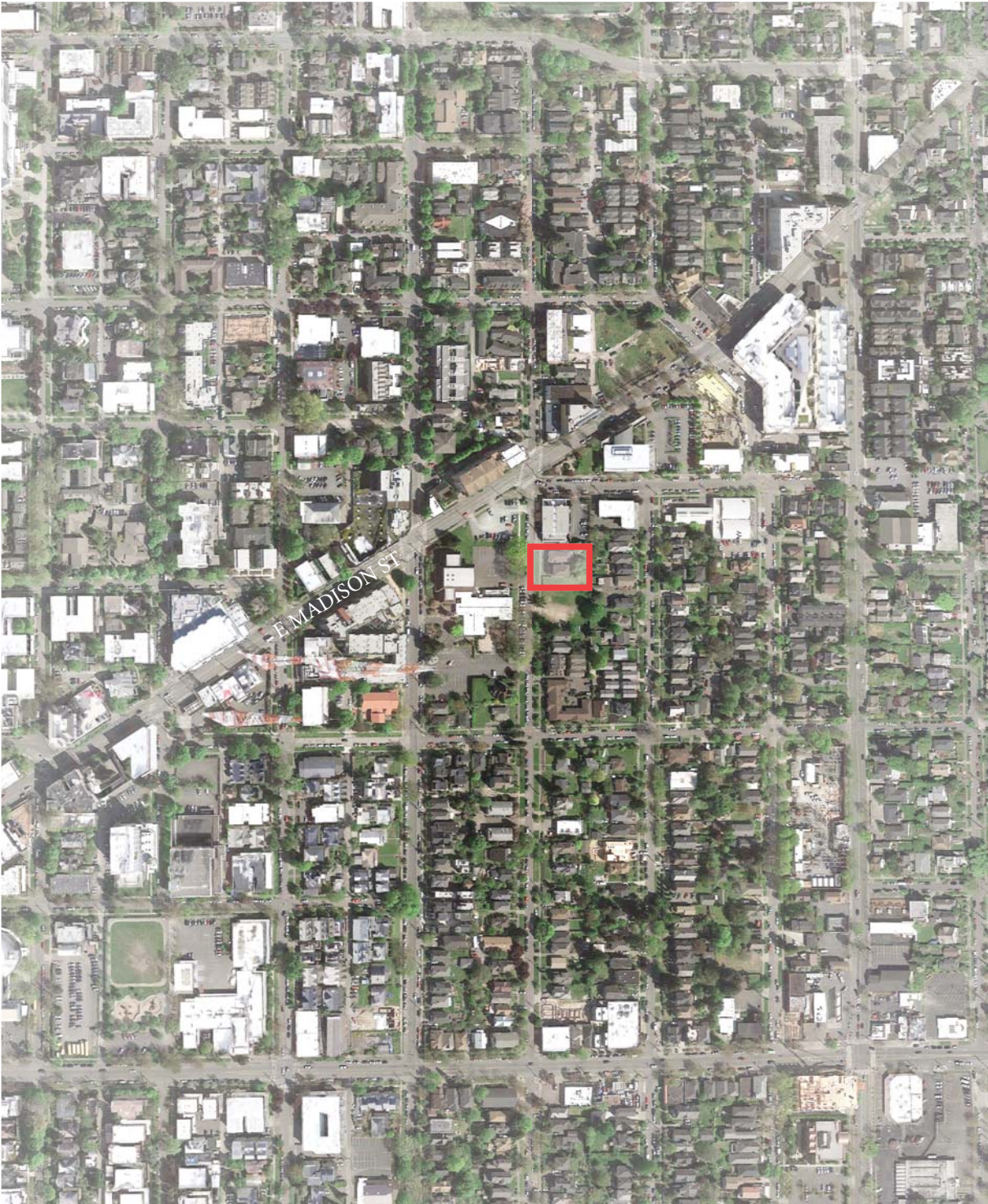
OVERLAYS: Madison-Miller Residential Urban Village

ALLOWED FAR: 3.0/3.25 in NC2-40; 1.4 in LR3 w. bonus

ALLOWED HEIGHT: 40' in NC2-40; 30' in LR3

ANALYSIS OF CONTEXT: This project is located near the intersection of 20th Ave and E Madison St in the Madison-Miller Residential Urban Village in Capitol Hill. The project site is zoned NC2-40 and LR3. The neighboring zones are NC 3P-65 including the businesses along E Madison St and RSL/TC moving more into single family homes.

Although this site does not qualify for frequent transit designation, it is located in a very walkable neighborhood.



SITE ANALYSIS

MADISON TEMPLE CHURCH OF GOD

MADISON STREET ANIMAL HOSPITAL
STARBUCKS
WESTERN UNION
SAFEWAY

FLEX TRAINING GYM

THUDSUAN KITCHEN AND BAR
BREATHE HOT YOGA
BOTI

CAYTON CORNER PARK
ANYTIME FITNESS
MT ZION BAPTIST CHURCH
TRADER JOE'S
KSTW-TV UPN CHANNEL 11
SHELL

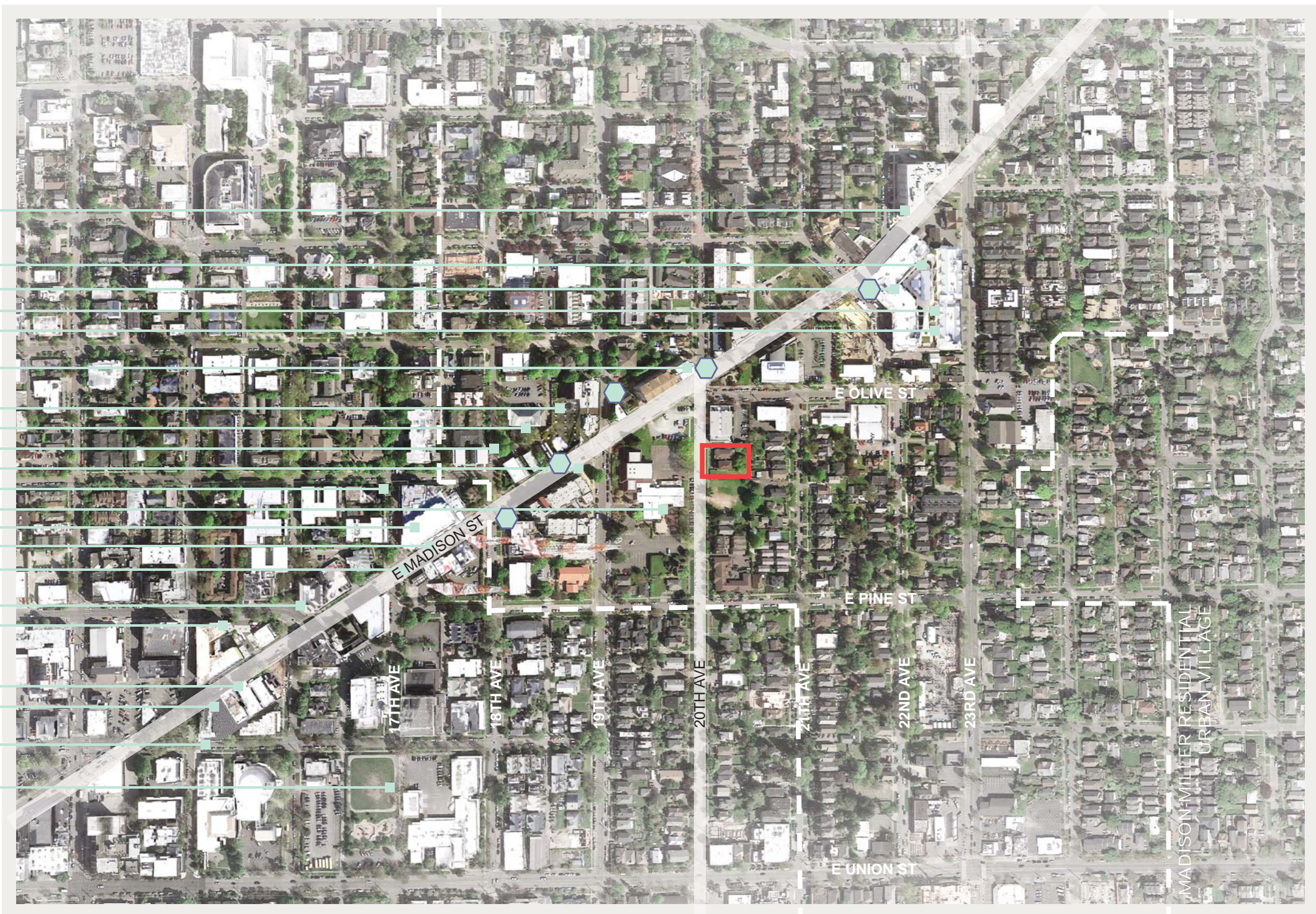
CENTRAL CO-OP
7-ELEVEN

LITTLE UNCLE
BULLITT CENTER

MCGILVRA PLACE PARK

TT MINOR PLAYGROUND

BUS STOP



LOCAL AMENITIES

It is a very walkable site with easy access to a variety of services including grocery stores, restaurants, and shops. The site also has good access to transit and major arterials which makes it a convenient location for a variety of modes of transportation. This location sits in a transition zone between a main business arterial and residential zoning.

LOCAL AMENITIES



MIXED USE DEVELOPMENT



NEIGHBORHOOD COMMERCIAL



SINGLE FAMILY HOME

ZONE TRANSITION
Z



ZONING AERIAL DIAGRAM



1



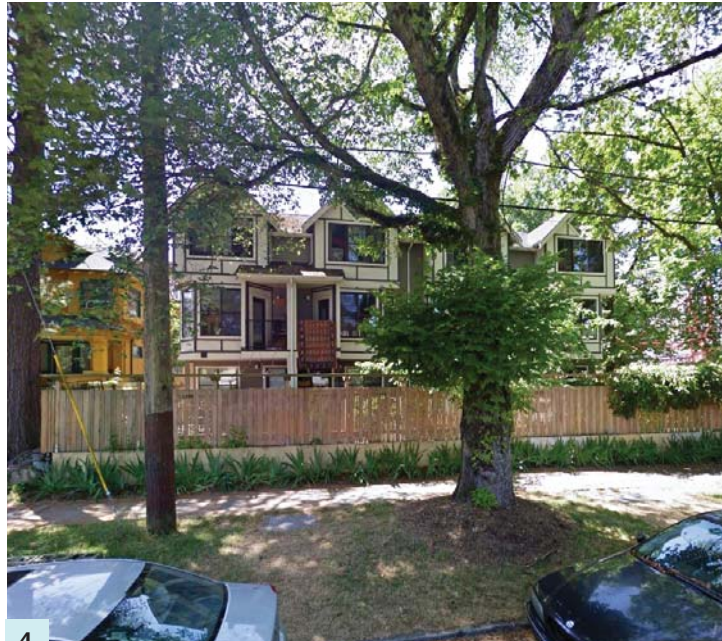
3



5



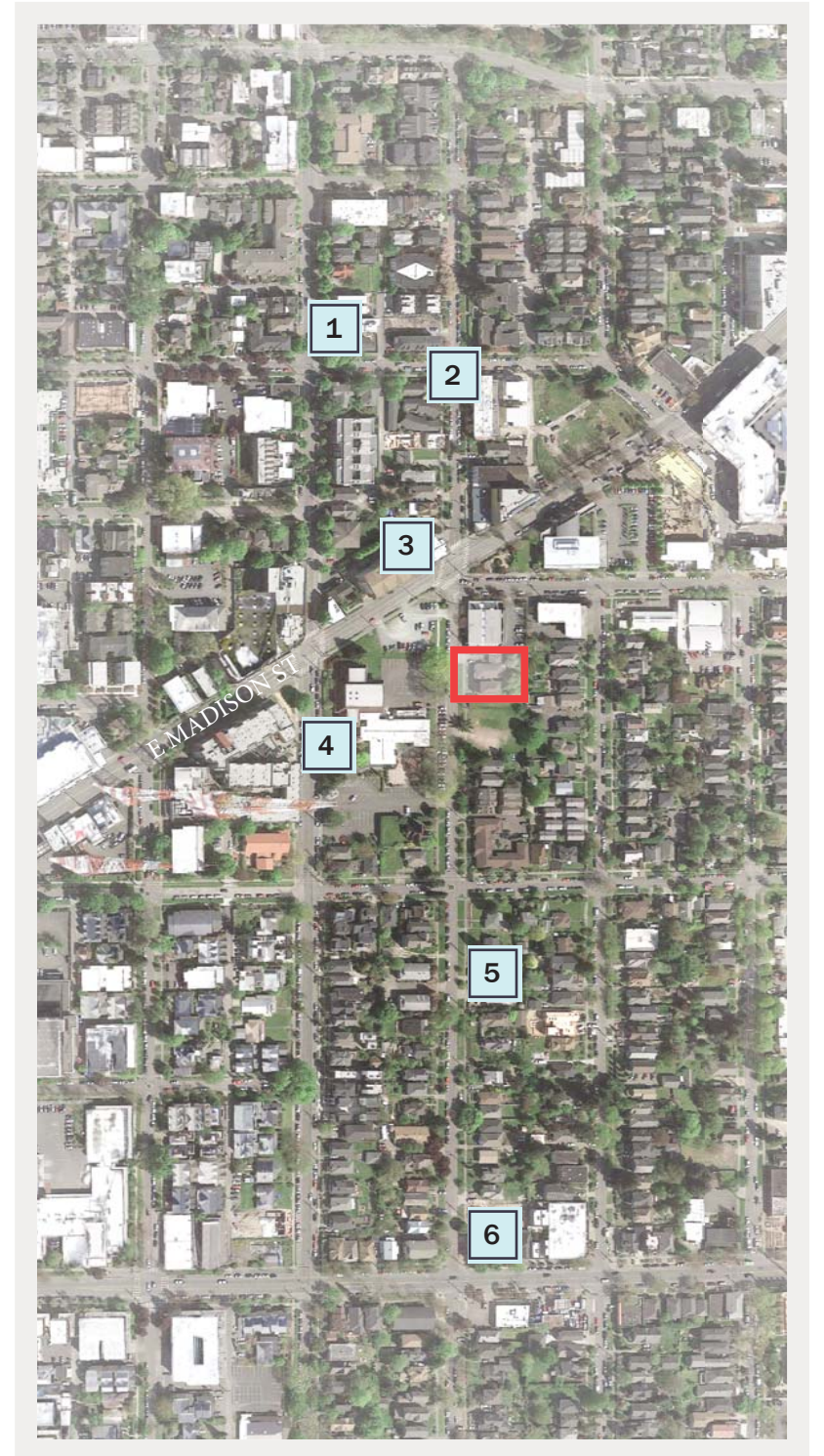
2



4



6



NEIGHBORHOOD ARCHITECTURE

The neighboring building that currently exist and those in progress feature some linear, modern, and clear massing. The adjacent projects feature a mix of commercial and residential projects with an array of styles and facade material.

NEIGHBORHOOD ARCHITECTURE



20TH AVE EAST FACING

20TH AVENUE FACADES



ACROSS THE STREET



20TH AVE WEST FACING

20TH AVENUE FACADES

COMMUNITY



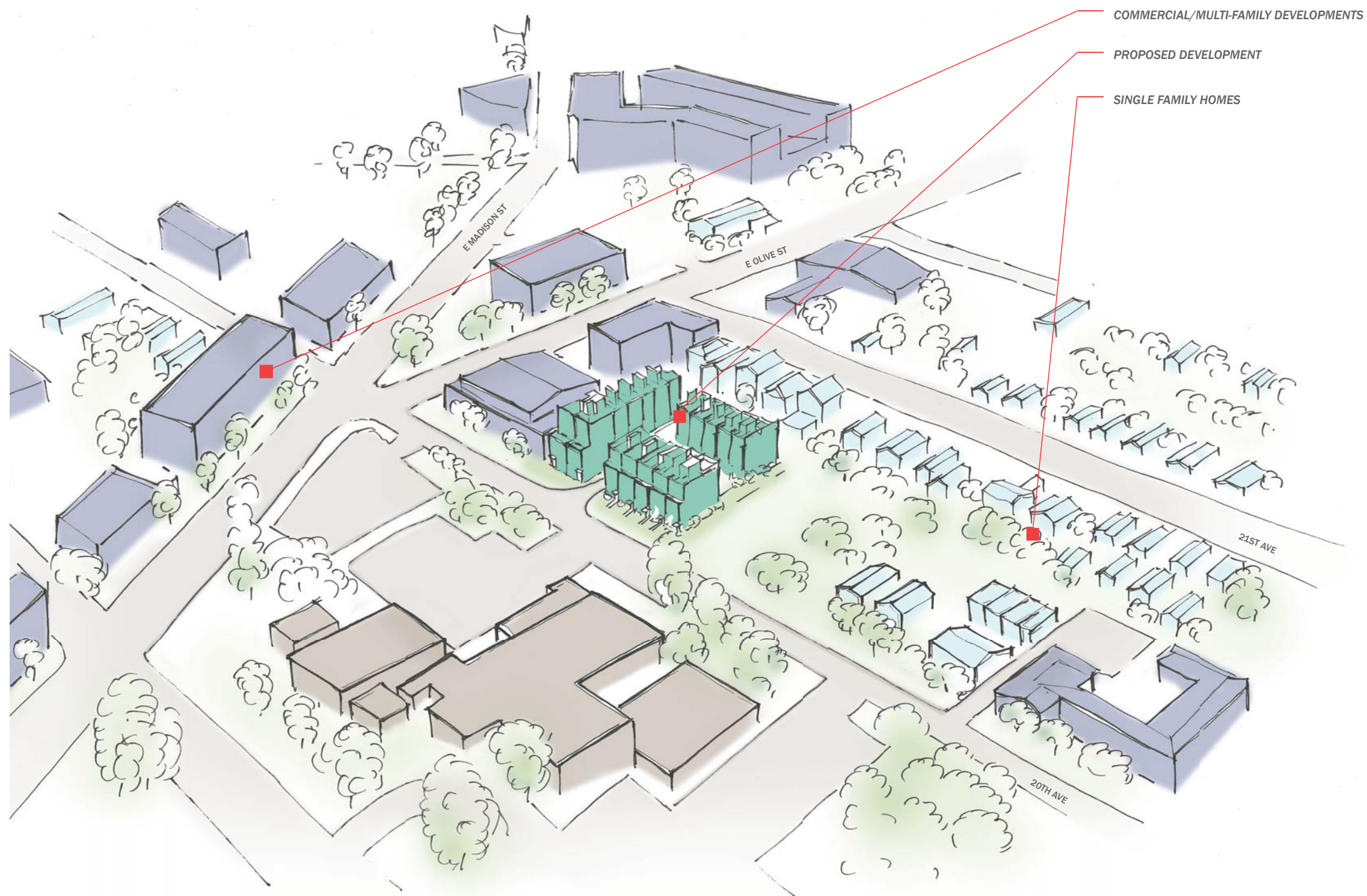
FACADES



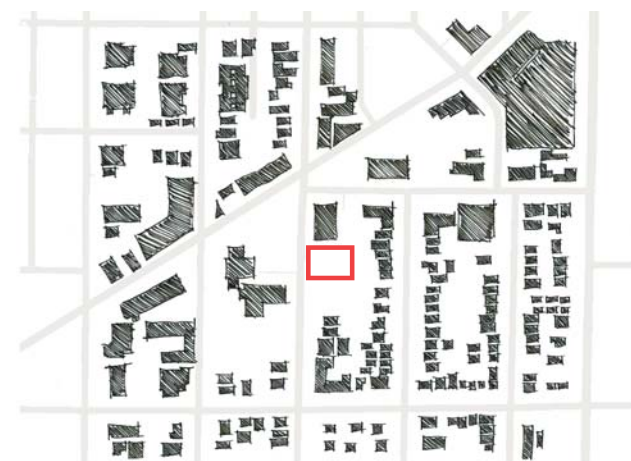
LANDSCAPES



PROJECT INSPIRATION

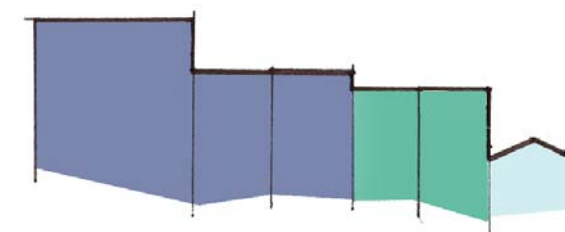


SCALE



The proposed development seeks to support the transition from large scale mixed development along E Madison St and the smaller scale, dense residential neighborhood south of the site.

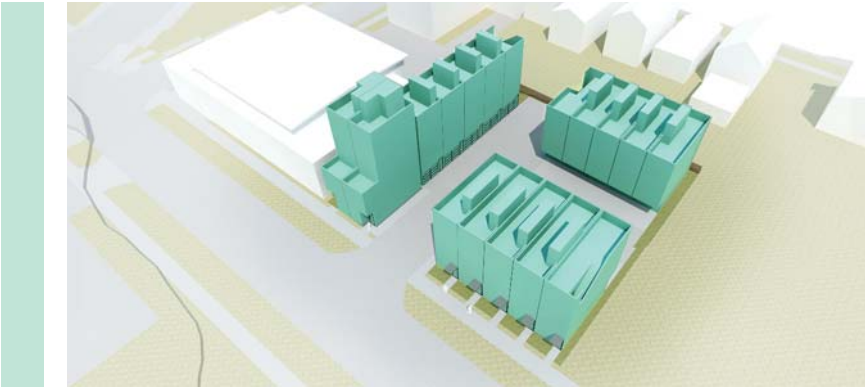
ROOF LINE



The roof line and massing of the proposed development reflects the transition from the two scales of development adjacent to the project site.

CONCEPT

EDG SECOND ITERATION: BOARD SELECTED



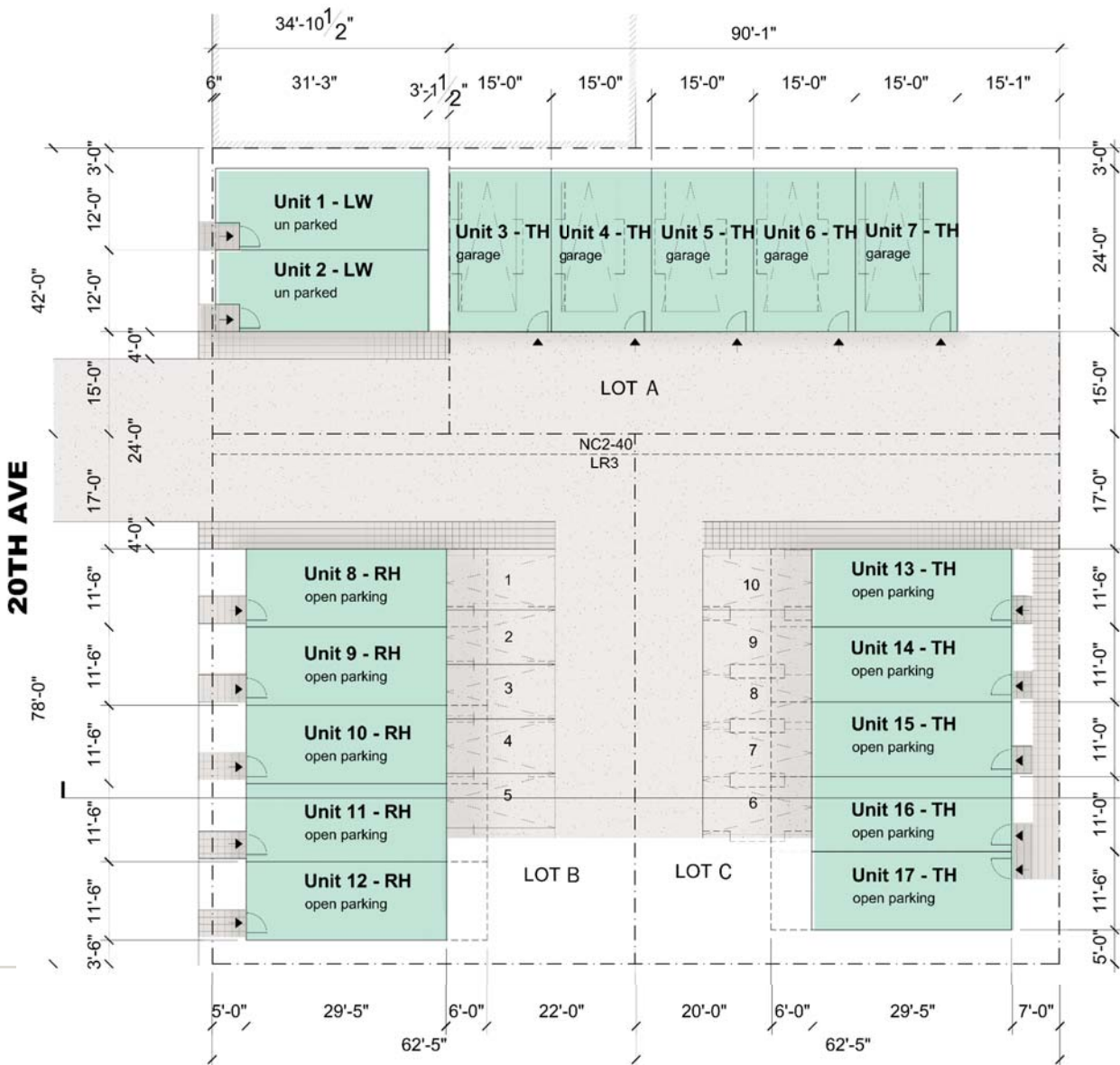
DISTINGUISHING FEATURES:

- 3-4 STORIES PLUS PENTHOUSES
- FLAT ROOFS ALLOWING FOR ROOF TOP DECKS
- 17 UNITS (15 RESIDENTIAL, 2 LIVE/WORK)
- 15 PARKING SPACES (NO PARKING REQUIRED FOR LW <1,500 sf)
- 24' DRIVE, 32' EASEMENT

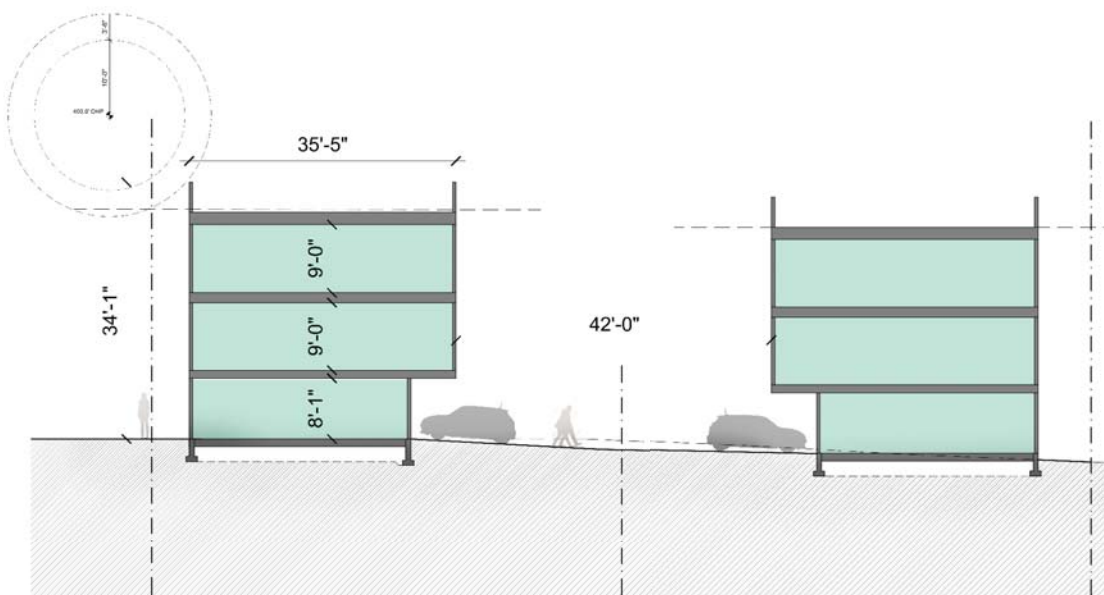
REQUESTED DEPARTURES

- No departures requested

SITE PLAN



SECTION



LOT A - Project #3023474
1644 20th Ave

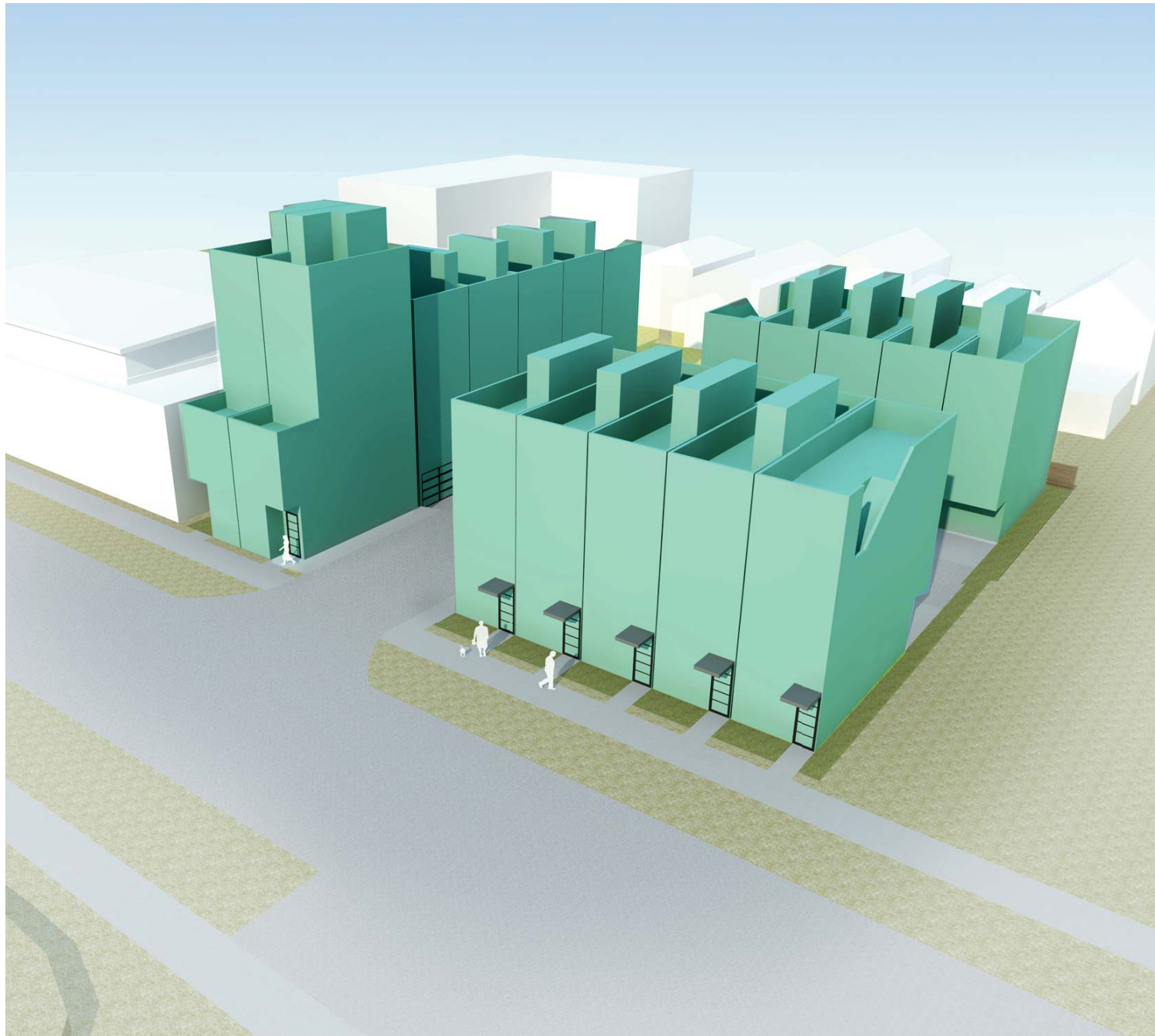
The second iteration for Lot A on this site includes two live/work units at the street and five townhouses in the back without a street front. The live/work units allow for a smooth transition from commercial to residential on 20th Ave. The townhomes help to maximize the development of the property and all units provide flat roofs for roof top decks. The live/work units are unparked and each townhouse unit includes a garage.

LOT B - Project #3022596
1638 20th Ave

The second iteration for Lot B on this site lines up five rowhouses along the front setback establishing a street presence. This level of density also plays into the transition from what was proposed on Lot A and the surrounding single family homes. The units maximize the development on the site and provide opening parking spot in the rear for each unit.

LOT C - Project #3020898
1640 20th Ave

The second iteration for Lot C on this site lines up five townhouses along the east of the lot. Meeting the required access and driveway widths to access these units, it jeopardizes the livable space surrounding the units. The units maximize the development on the site, provide flat roofs for roof top decks, and provide opening parking spot for each unit.



BIRDSEYE



VIEW FROM 20TH AVE



APPROACH FROM NORTHWEST

EDG ITERATION 2

1. NEIGHBORHOOD CONNECTION

1A

Clarify topographic/spatial relationship between the subject properties and residences to the east

- Consider grade changes between 20th and 21st Street
- Include site sections

[CS1-B, CS1-C, CS2-A, CS2-B]

1B

Establish a positive precedent for a regularized rowhouse pattern along 20th Street

[CS2-C]

2. AMENITY AREA

2A

Create a desirable gathering place for residents [grass-crete court]

- Define open space and vehicle access
- Utilize well-designed landscape materials

[DC3-A, DC3-B, DC4-D]

2B

Connect the southern amenity space to the central court

- Create the sense of a larger open space

[PL1-A, DC3-C]

2C

Define pedestrian access

- Provide clear wayfinding through parking lot
- Provide clear way to reach units at the rear of the project

[PL2-D]

3. MASSING

3A

Re-consider gable roofs

- Maintain flat roofs throughout the project

[DC2-B]

3B

Clarify vehicular circulation

- Include cars in renderings
- Include vehicular circulation dimensions and usable open space

[DC1-B, DC1-C]

3C

Reduce massing of the penthouse stairs

[CS2-D]

3D

Utilize high-quality materials

- Consider brick and wood

[CS2-D]

3E

Strive to configure more active living spaces on the ground level

- Increase interaction with the street

[PL3-A, PL3-B]

EDG RESPONSE

DISTINGUISHING FEATURES:

- 3-4 STORIES PLUS PENTHOUSES
- FLAT ROOFS ALLOWING FOR ROOF TOP DECKS
- 17 UNITS (15 RESIDENTIAL, 2 LIVE/WORK)
- 15 PARKING SPACES (NO PARKING REQUIRED FOR LW <1,500 sf)
- 13' DRIVE, 19'-3" EASEMENT

REQUESTED DEPARTURES - Lot A, B, & C

- Access and paving were reduced from the required 32' and 24' to 19'-3" and 13'.

REQUESTED DEPARTURES - Lot A

- Sight triangle reduced from two sides to one side
- Residential uses in commercial zones shall provide a 15' setback above 13' from residential zones, Commercial uses in commercial zones shall provide a 10' setback above 13' from residential zones, setback at intersection of commercial lot with side lot line and front lot line of residential lot.

REQUESTED DEPARTURES - Lot B

- 5' front set back required for row-house units in a low-rise zone. 2' requested.

4. OTHER RESPONSES

4A Urban Pattern and Form

- Identify opportunities to connect to the street and public realm [CS2-B-2]
- Provide appropriate transitions to the adjacent zones [CS2-D-3]
- Respect adjacent properties with design and site planning. [CS2-D-5]

4B Street Level Interaction

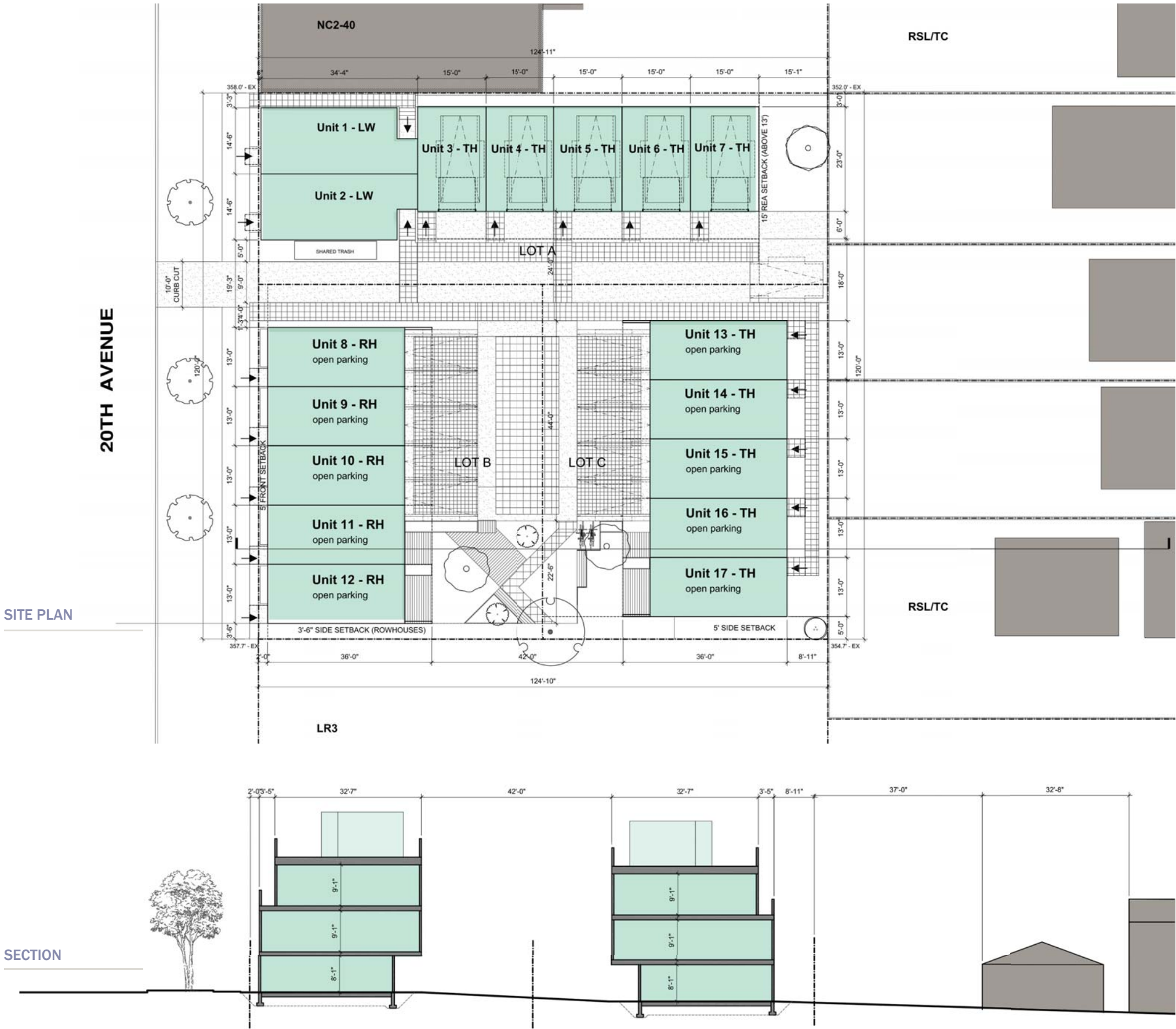
- Maintain active and transparent facades in the design of live/work units [PL3-B-3]
- Provide more intimate type of entry for residential units [PL3-A-3]

4C Architectural Concept

- Arrange the mass of the building considering the characteristics of the site [DC2-A]

4D Open Space Concept

- Design common and private open spaces to encourage social interaction [DC3-B-4]
- Develop outdoor spaces suited to the uses envisioned for the project [DC3-C-2]



DESIGN DEVELOPMENT

EDG RESPONSE



EDG RESPONSE, 20TH AVE FACADE

20TH AVENUE

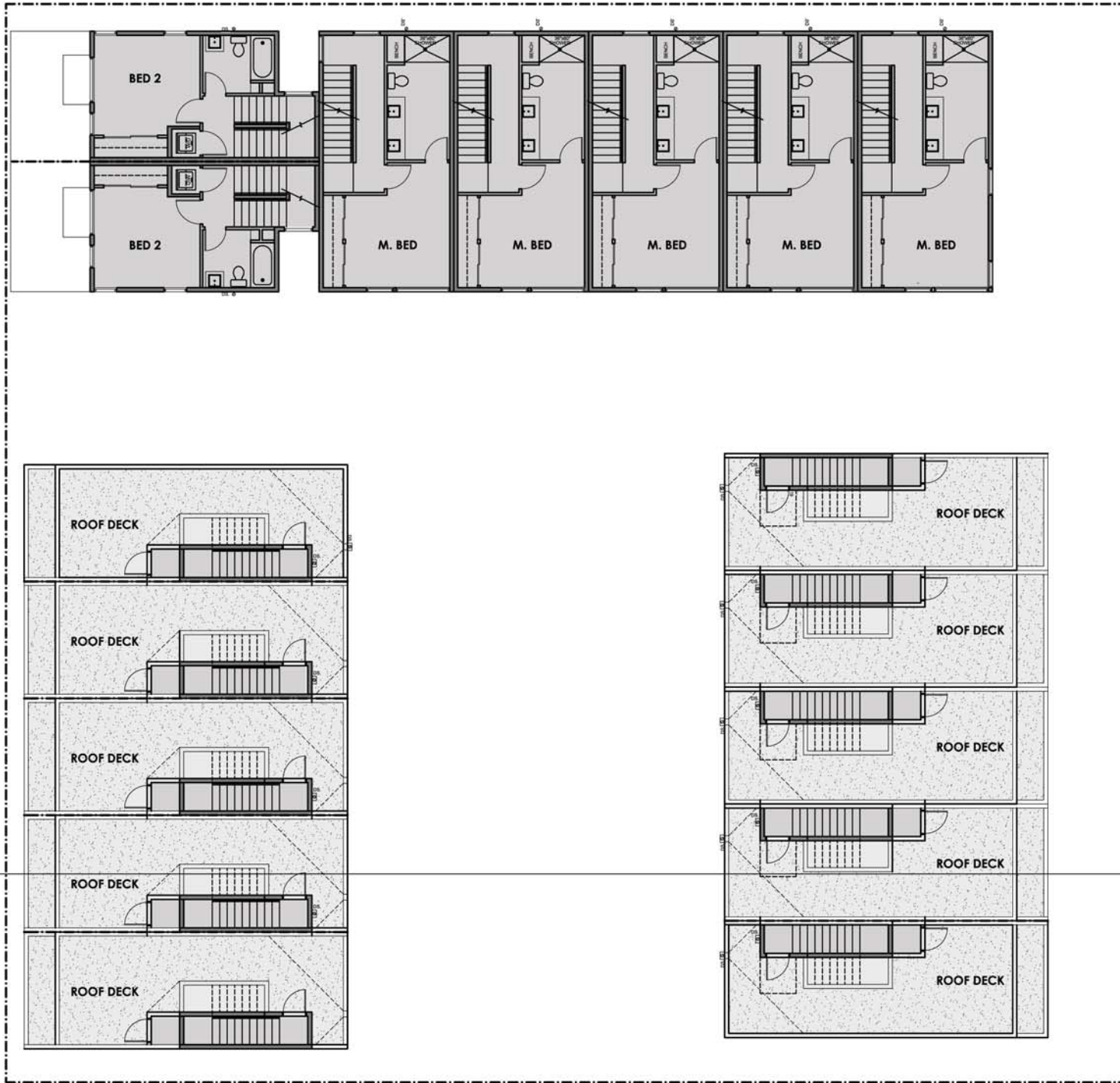


ground floor plan

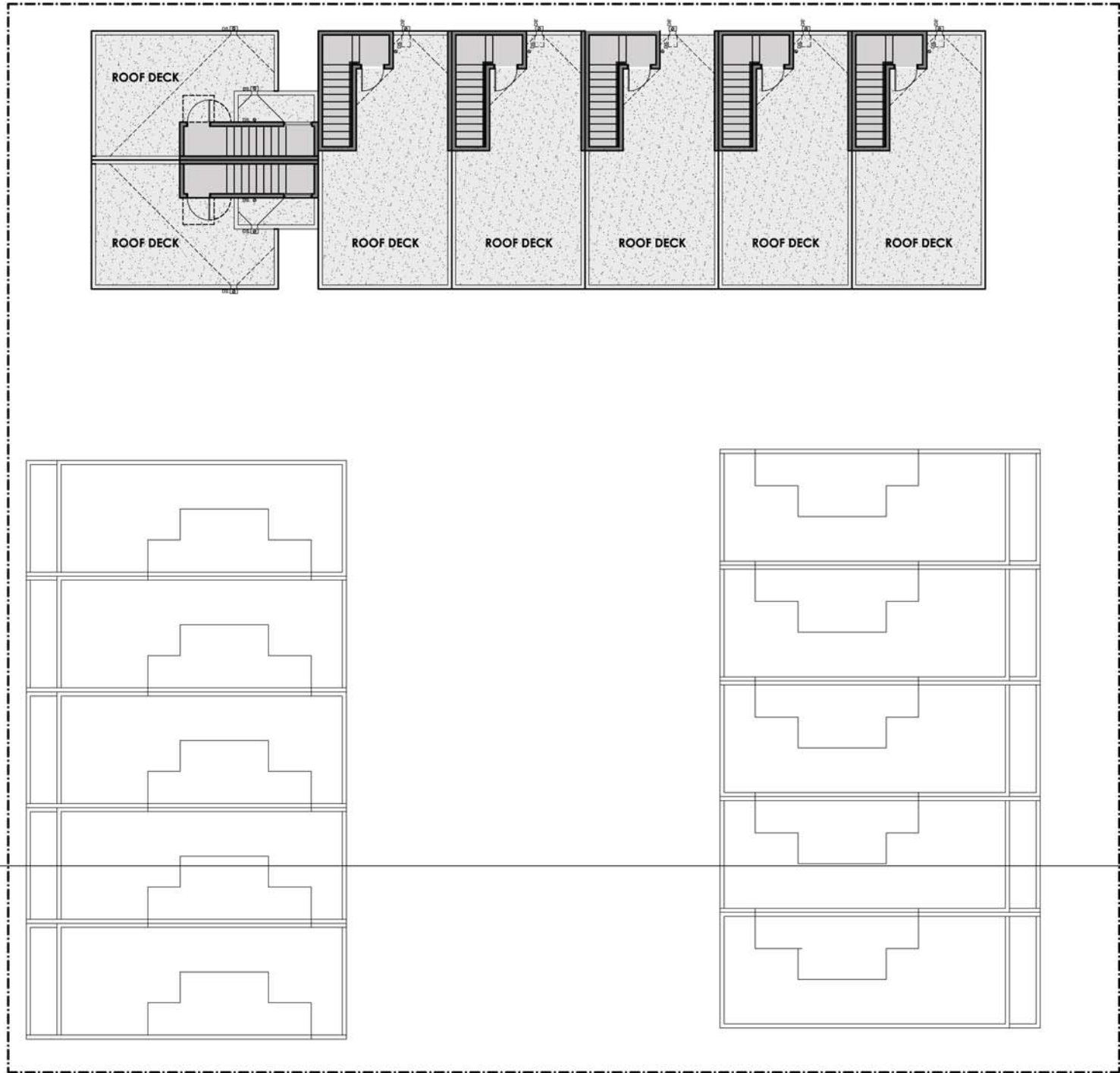
SCALE: 1"=8'



SECOND/THIRD FLOOR PLANS



fourth floor/ roof plan
SCALE: n.t.s



roof plan
SCALE: n.t.s

FOURTH FLOOR/ROOF PLANS



AUTUMN FERN



BLACK BAMBOO



BLACK MONDO GRASS



BLUE OAT GRASS



EMBERGLOW MONTBRETIA



EMERALD GREEN ARBORVITAE



DWARF FOTHERGILLA



GREENSPIRE UPRIGHT EUONYMUS



COLUMNAR BARBERRY



HORSETAIL REED GRASS



ICE DANCE JAPANESE SEDGE



NEW ZEALAND IRIS



OAKLEAF HYDRANGEA



ORANGE SEDGE

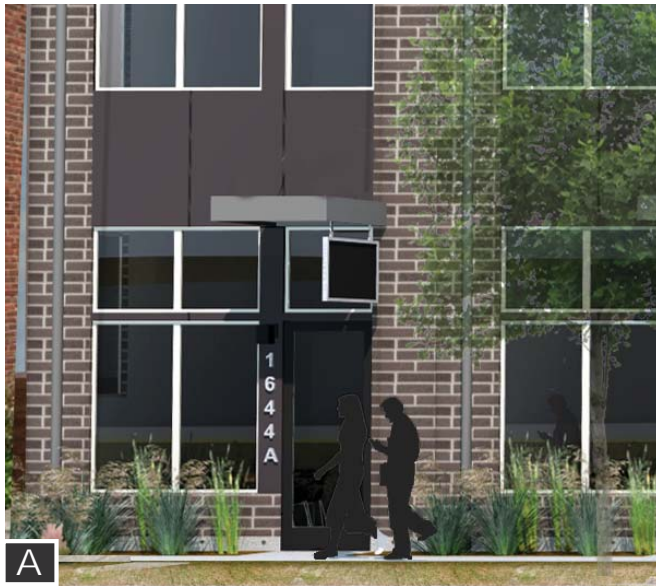


PURPLE MAIDEN GRASS

LANDSCAPE CONCEPT



A AWNING MOUNTED
LIVE/WORKS



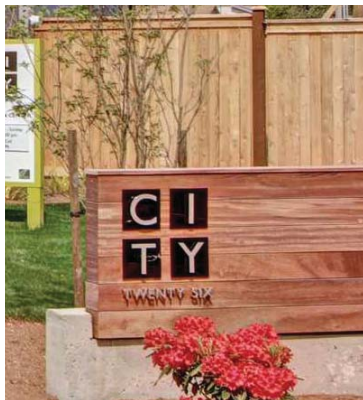
A



B WALL-MOUNTED
RESIDENTIAL ENTRIES



B



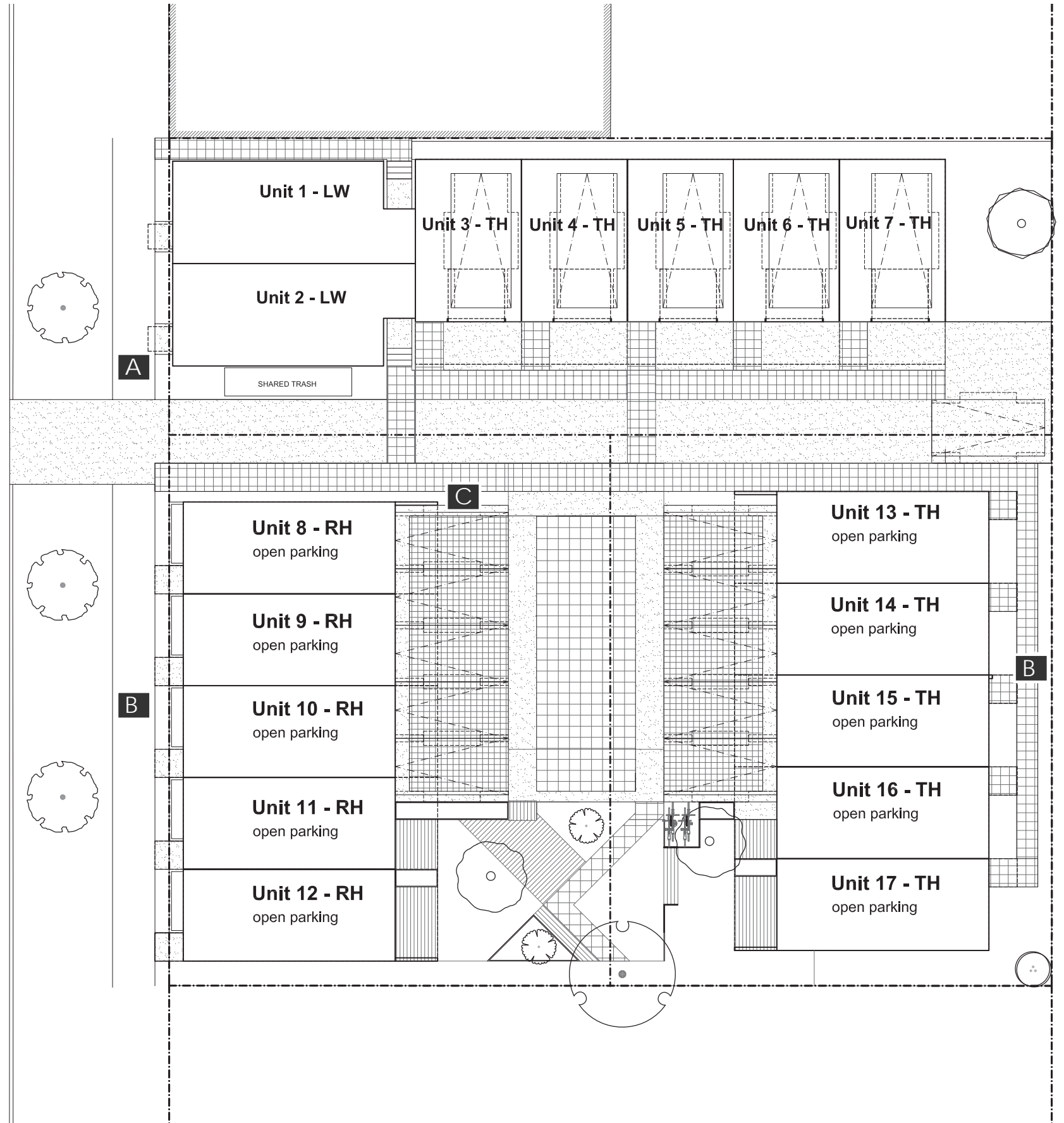
C FENCE MOUNTED
EAST UNITS, PEDESTRIAN WALK



C

SIGNAGE

20TH AVENUE





A WALL-MOUNTED DOWN LIGHT
FRONT DOORS. TRASH LOCATION,
BIKE STORAGE



B LANDSCAPE LIGHT
COURTYARD



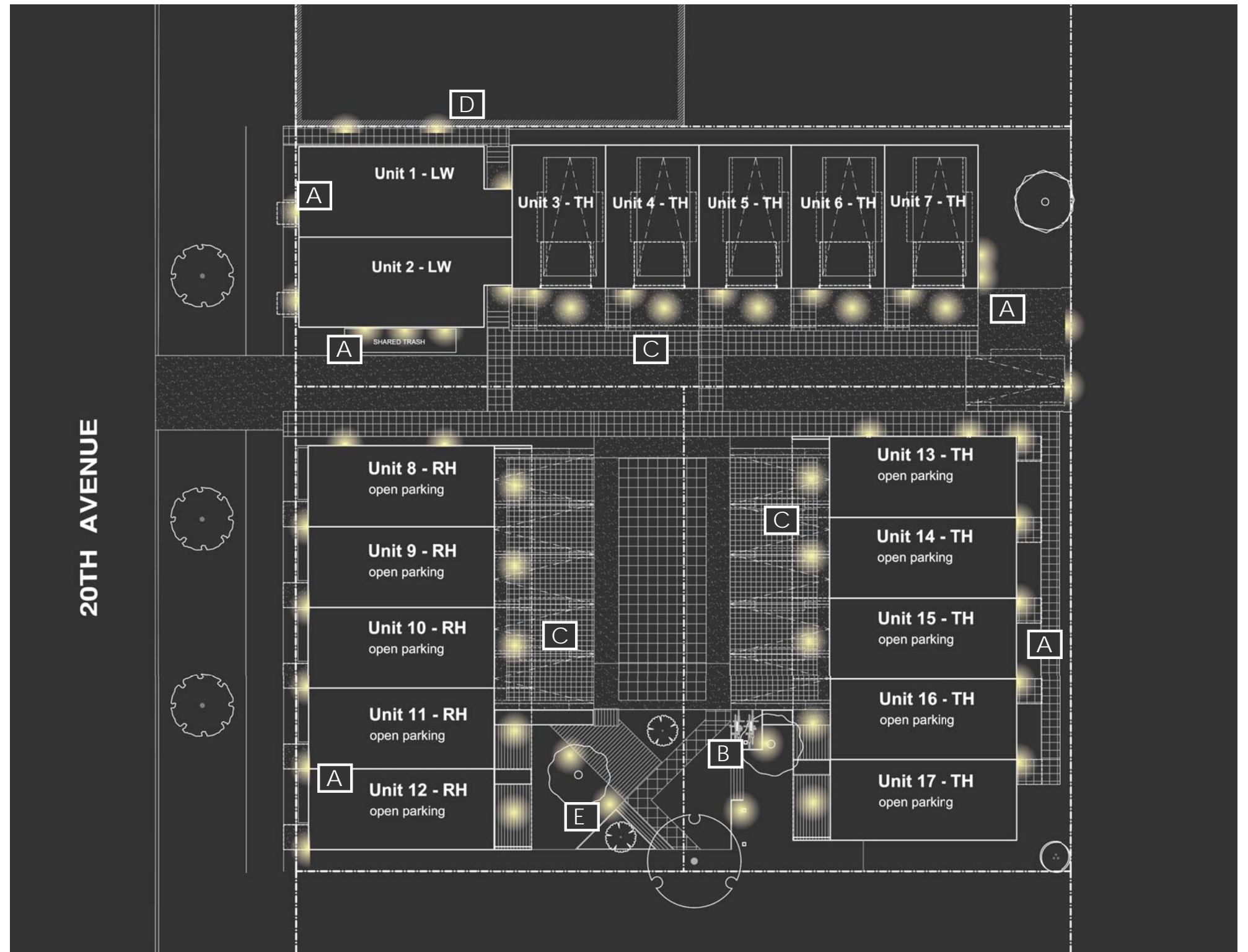
C RECESSED CEILING LIGHT
PARKING



D PATH LIGHT
FENCE LINE



E UP-LIGHT
COMMON SPACE



EXTERIOR LIGHTING

PAGE INTENTIONALLY LEFT BLANK



rural mat
hrvatske njiric helena stierlin, njiric + arhitekti
markusievac, zagreb, croatia
view from the north
njiric + arhitekti rur_04p

PRECEDENT

RURAL MAT
NJIRIC + ARCHITEKTI



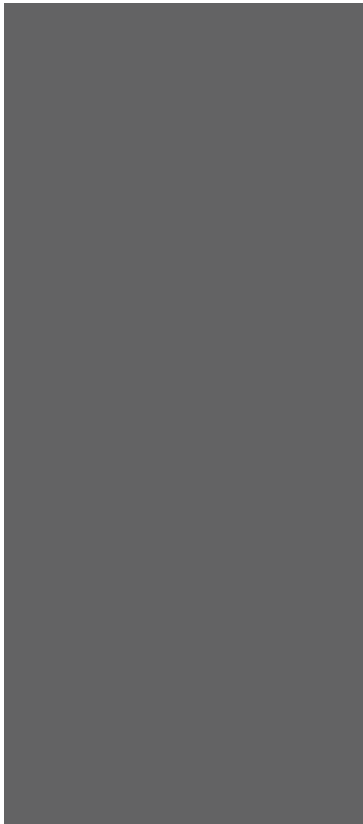
1

CEMENTITIOUS PANEL
SW 7551 - GREEK VILLA



2

CEMENTITIOUS SIDING/PANEL
SW 7018 DOVETAIL



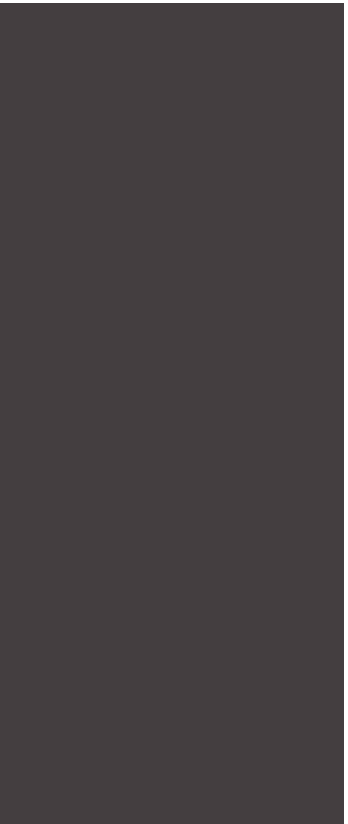
3

CEMENTITIOUS PANEL
SW 7674 PEPPERCORN



4

BRICK
MUTUAL MATERIALS - EBONY



5

CEMENTITIOUS PANEL
SW 7083 DARKROOM



6

HARDIE CEDARMILL
727 SMOKEY ALDER

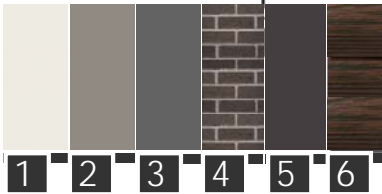
MATERIAL PALETTE





south elevation

SCALE: 1/8" = 1'-0"

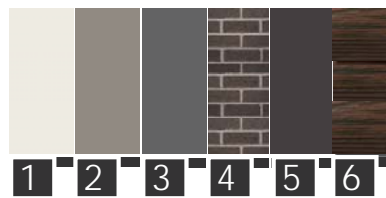


SOUTH ELEVATION



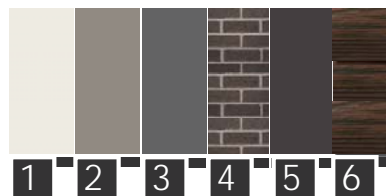
(east) elevation

SCALE: 1/8" = 1'-0"



EAST ELEVATION





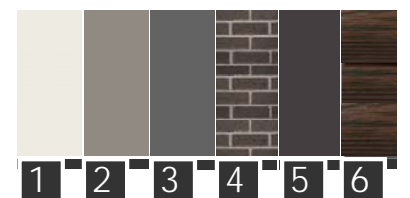
courtyard (east) elevation

COURTYARD EAST ELEVATION



courtyard (west) elevation

SCALE: 1/8" = 1'-0"



COURTYARD WEST ELEVATION

PAGE INTENTIONALLY LEFT BLANK



EDG RESPONSE, 20TH AVE FACADE

- Maintain flat roof 3A
- Reduce massing of the penthouse stairs 3C
- Utilize high-quality materials 3D
- Provide transition to the adjacent zones 4A
- Provide more intimate types of entries for residential units 4B



PARKING COURT

VIEW FROM NEIGHBORS TO THE EAST

Define open space and vehicle access

2A

Connect southern amenity space to the central court

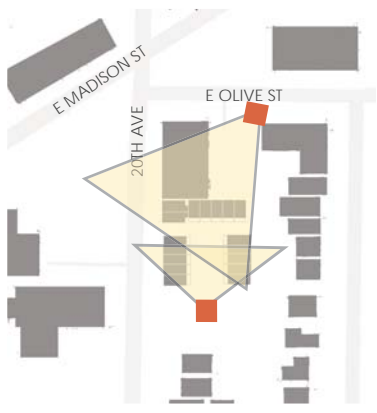
2B

Define pedestrian access

2C



VIEW FROM DRIVE LOOKING SOUTHWEST



VIEW FROM OLIVE STREET



VIEW FROM SOUTH NEIGHBORING LOT

PRECEDENTS



- Define pedestrian access (2C)
- Connect southern amenity space to the central court (2B)
- Define open space and vehicle access (2A)

- Design common and private open spaces to encourage social interaction (4D)
- Develop outdoor space suited to the uses envisioned for the project (4D)



COURTYARD CONCEPT

Define open space and vehicle access

2A

Connect southern amenity space to the central court

2B

Define pedestrian access

2C



Design common and private open spaces to encourage social interaction

4D

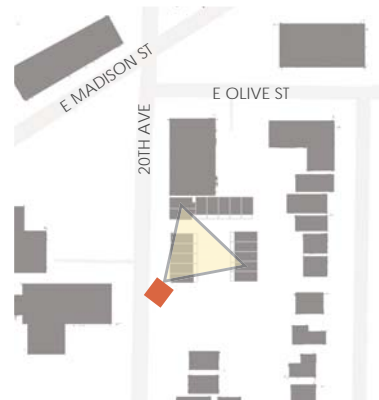
Develop outdoor space suited to the uses envisioned for the project

4D





STREET LEVEL AT LIVE/WORK UNITS



Identify opportunities to connect to the street and public realm

4A

Provide more intimate types of entries for residential units

4B



Utilize high-quality material

3D

Define pedestrian access

2C



ENTRY SEQUENCE AT ROWHOUSES

REQUESTED DEPARTURES

DEPARTURE REQUESTED FOR LOT A, B, & C

- Lot A - Project #3023474 - 1644 20th Ave
The walkway to the north side of the driveway is replaced with landscaping and the driveway width is reduced by 7' on Lot A.
- Lot B - Project #3022596 - 1638 20th Ave
The walkway to the south side of the driveway remains and the driveway width is reduced by 9' on Lot B.
- Lot C - Project #3020898 - 1640 20th Ave
The walkway to the south side of the driveway remains and the driveway width is reduced by 9' on Lot C.

DRIVEWAY WIDTH

STANDARD

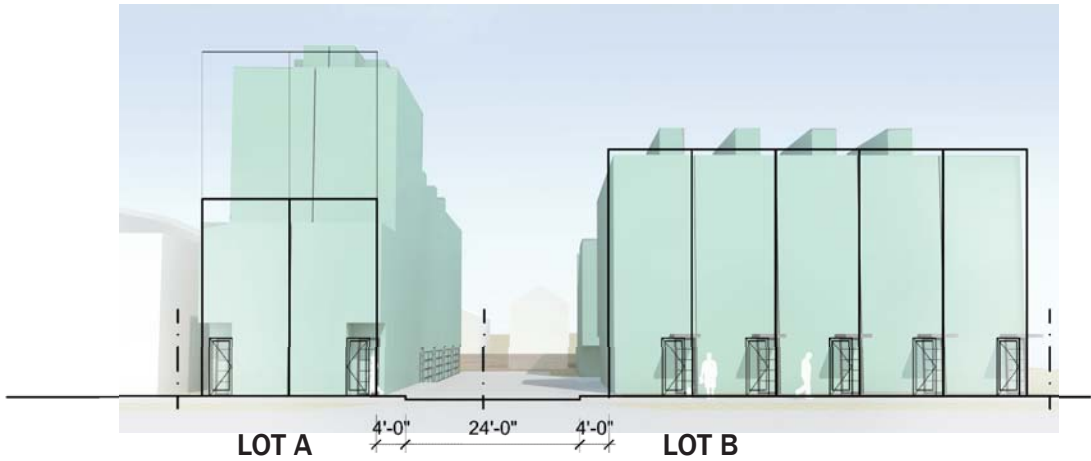
SMC 23.53.025.D. Vehicle Access easements serving ten or more residential units, easement width shall be a minimum of 32' and provide a surfaced roadway at least 24' wide.

DEPARTURE REQUESTED:

Allow for a 10' curb cut and 14' drive. Hardscape of drive to consist of 9' of concrete and 4' of pedestrian walkway made of pavers.

DEPARTURE RATIONALE:

Access and location designed to minimize the number and width of curb cuts and drive. Reduced width will reduce the visual impact of the vehicular access from the streetscape. (DC1-B1, DC1-C2, DC1-C3)

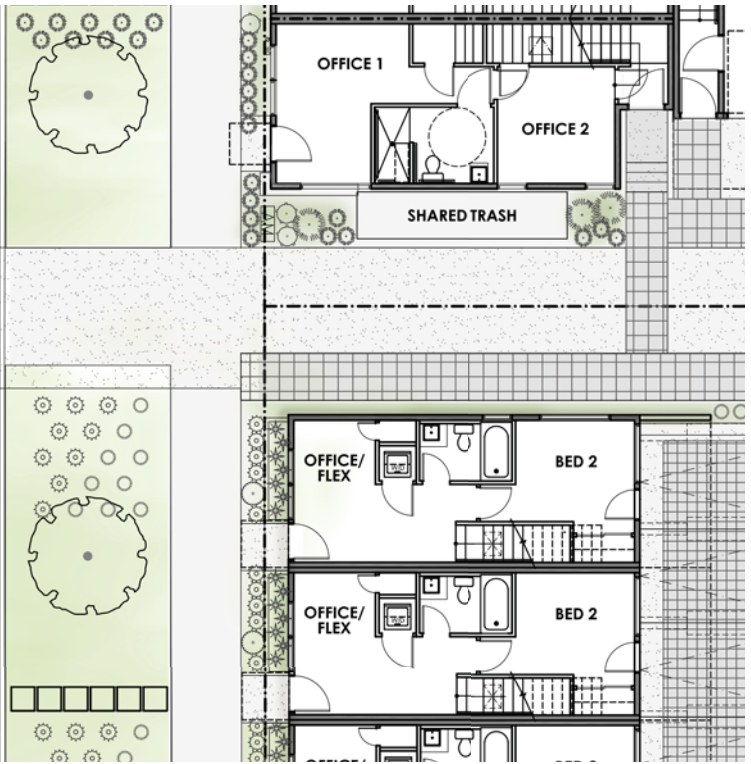


CODE COMPLIANT



DEPARTURE REQUESTED

20TH AVENUE



REQUESTED DEPARTURES

DEPARTURE REQUESTED FOR LOT A

- Lot A, Project #3023474 - 1644 20th Ave

SIGHT TRIANGLE

STANDARD

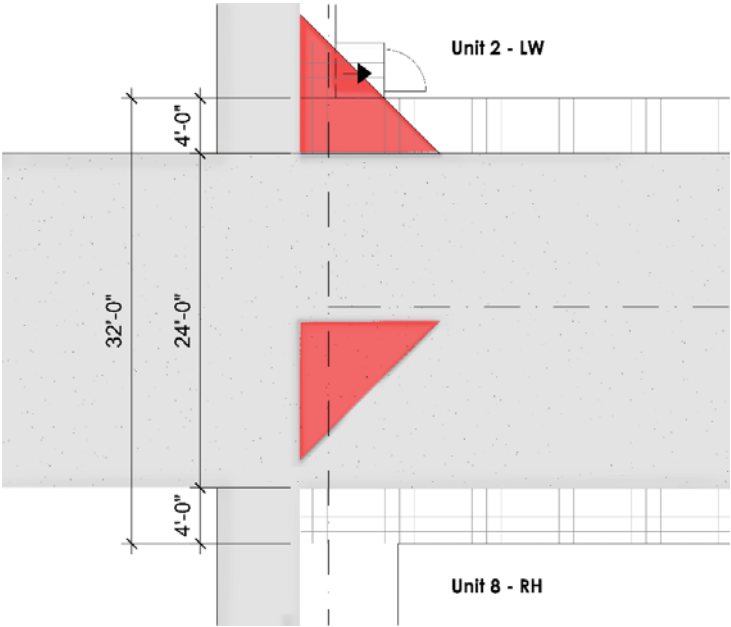
SMC 23.54.030.G.1. For exit-only driveways and easements, and two way driveways and easements less than 22 feet wide, a sight triangle on both sides of the driveway or easement shall be provided, and shall be kept clear of any obstruction for a distance of 10 feet from the intersection of the driveway or easement with a driveway, easement, sidewalk or curb intersection if there is no sidewalk.

DEPARTURE REQUESTED:

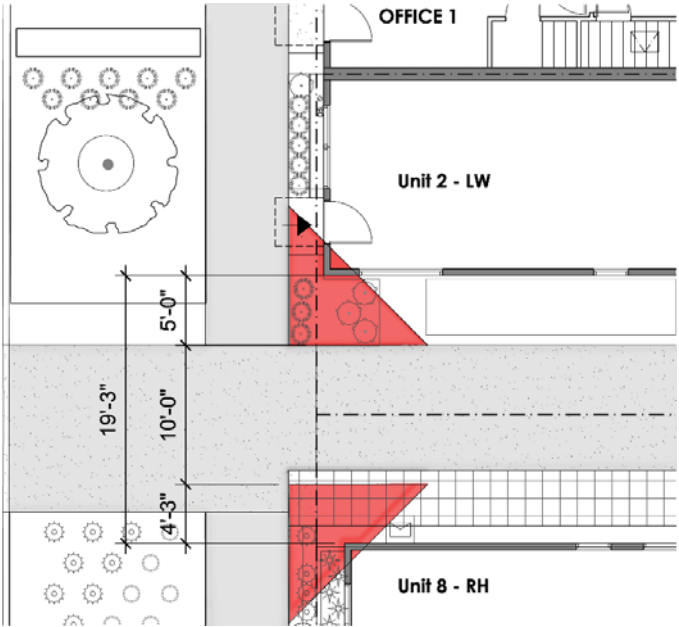
Allow for a reduced sight triangle on either side of the driveway.

DEPARTURE RATIONALE:

Reduce the setback of the live/work entries to provide a street-level experience and façade language more in keeping with the existing commercial adjacent to the north. (CS3-A1, PL3-B3)



CODE COMPLIANT



DEPARTURE REQUESTED

REQUESTED DEPARTURES

DEPARTURE REQUESTED FOR LOT A

- Lot A, Project #3023474 - 1640 20th Ave

SETBACKS FOR COMMERCIAL LOTS ABUTTING RESIDENTIAL ZONES

STANDARD
SMC 23.47A.014.B.1 A setback is required where a lot abuts the intersection of a side lot line and front lot line of a lot in a residential zone. The required setback forms a triangular area. Two sides of the triangle extend along the street lot line and side lot line 15 feet from the intersection of the residentially zoned lot's front lot line and the side lot line abutting the residentially zoned lot. The third side connects these two sides with a diagonal line across the commercially-zoned lot.

SMC 23.47A.014.B.2. A setback is required along any rear or side lot line that abuts a lot in a residential zone or that abuts a lot that is zoned both commercial and residential if the commercial zoned portion of the abutting lot is less than 50 percent of the width or depth of the lot, as follows:
a. Ten feet for portions of structures above 13 feet in height to a maximum of 65 feet;

SMC 23.47A.014.B.3. For a structure containing a residential use, a setback is required along any side or rear lot line that abuts a lot in a residential zone or that is across an alley from a lot in a residential zone, or that abuts a lot that is zoned both commercial and residential if the commercial zoned portion of the abutting lot is less than 50 percent of the width or depth of the lot, as follows:
a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet; and
b. For each portion of a structure above 40 feet in height, additional setback at the rate of 2 feet of setback for every 10 feet by which the height of such portion exceeds 40 feet

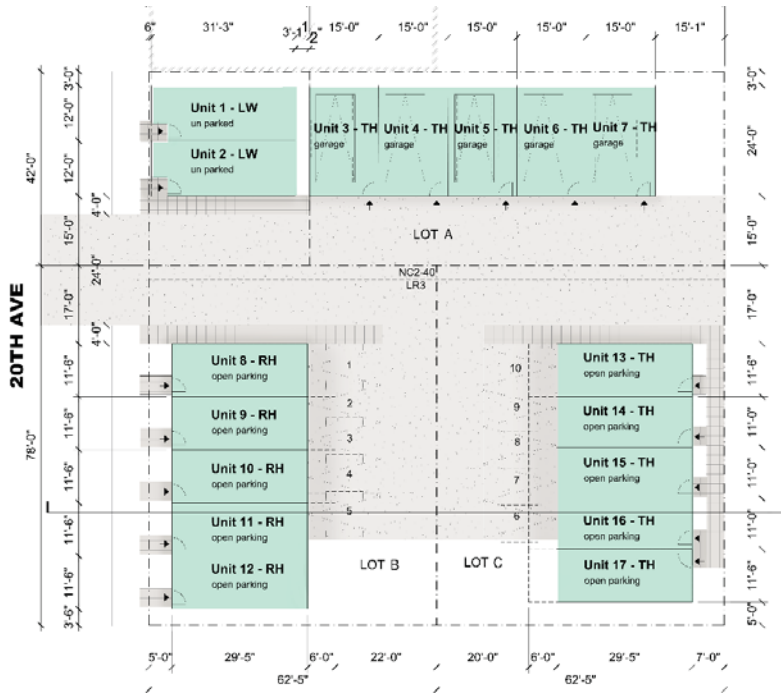
DEPARTURE REQUESTED:
Reduce 15' setback for residential units to 10', reduce 10' setback for commercial units to 9'-8". Reduce street lot line side of setback triangle to 9'-8".

DEPARTURE RATIONALE:
Reduced residential setback allows façade modulation that provides interest and focus towards the residential portions of the unit and reduces the emphasis on the garage/vehicular access. Reduced commercial setback allows increased setback of live/works adjacent to north property line. Reduced setback triangle provides for a reduced separation between live/works and street-facing residential units providing less visual impact on parking and drive. (CS2-D1, DC1-C2)

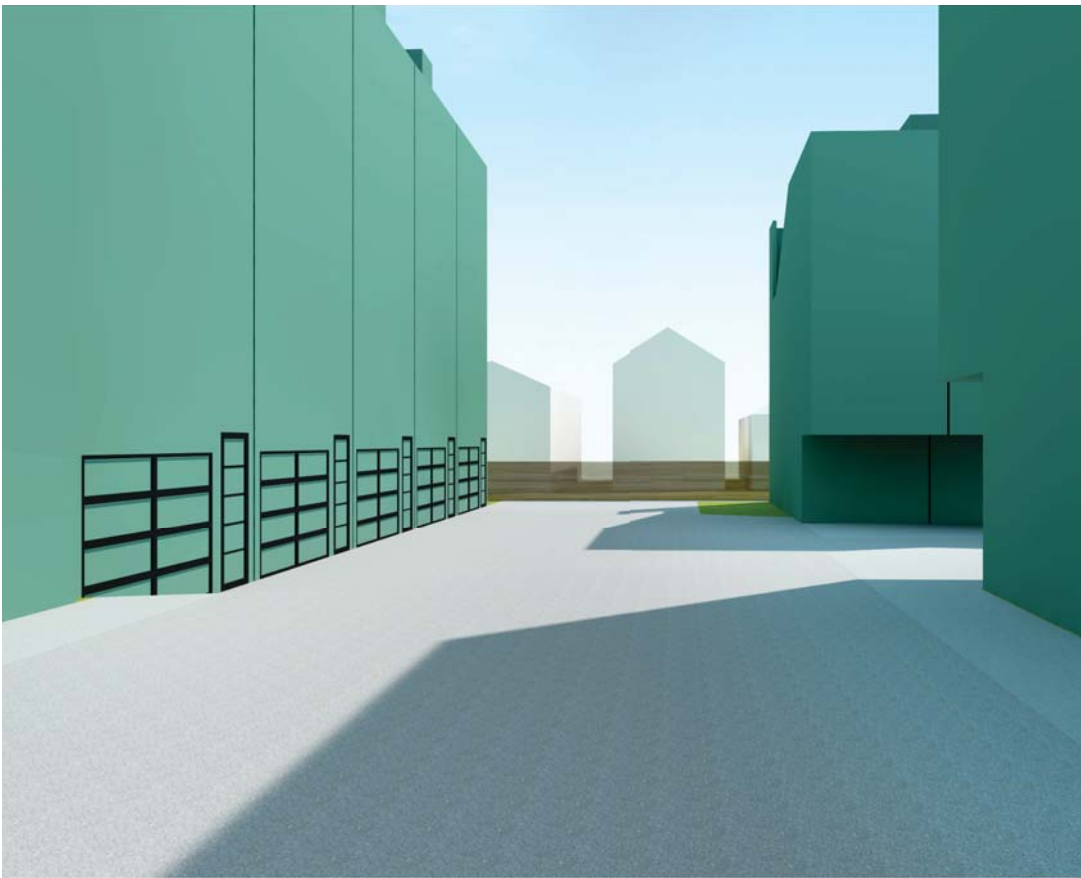
REQUESTED DEPARTURES



DEPARTURE REQUESTED



CODE COMPLIANT



DEPARTURE REQUESTED FOR LOT B

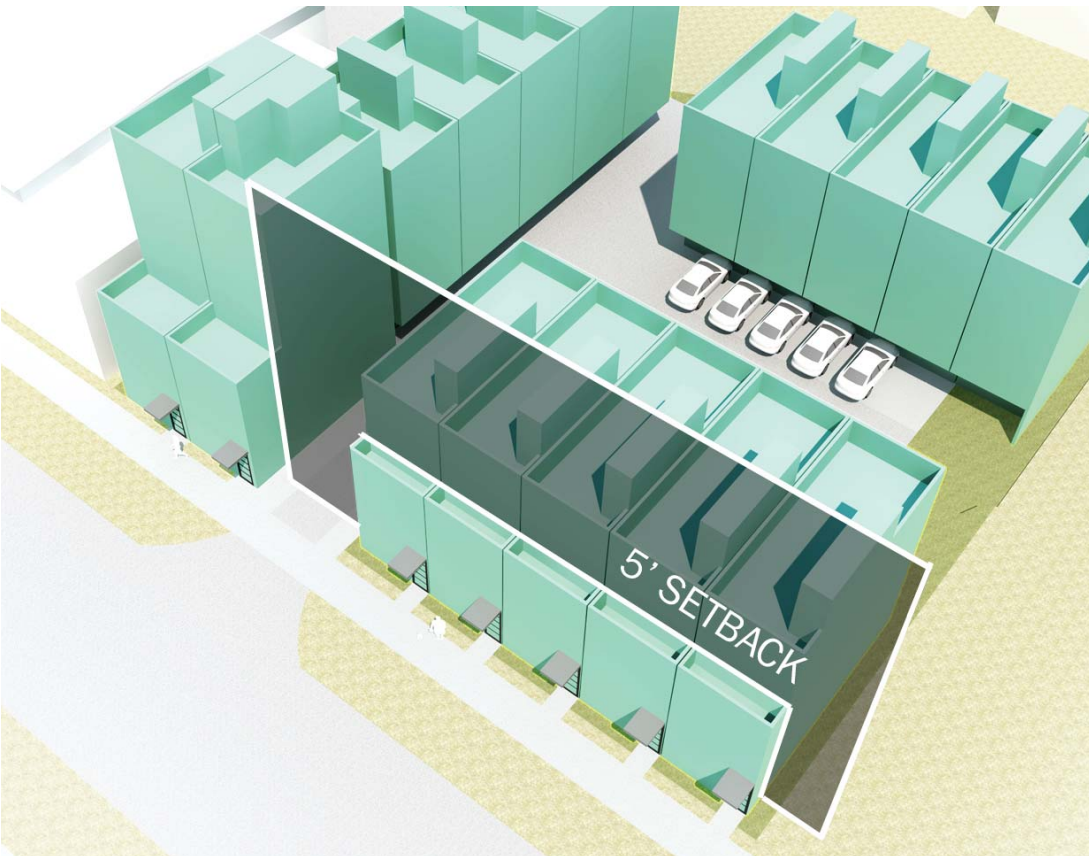
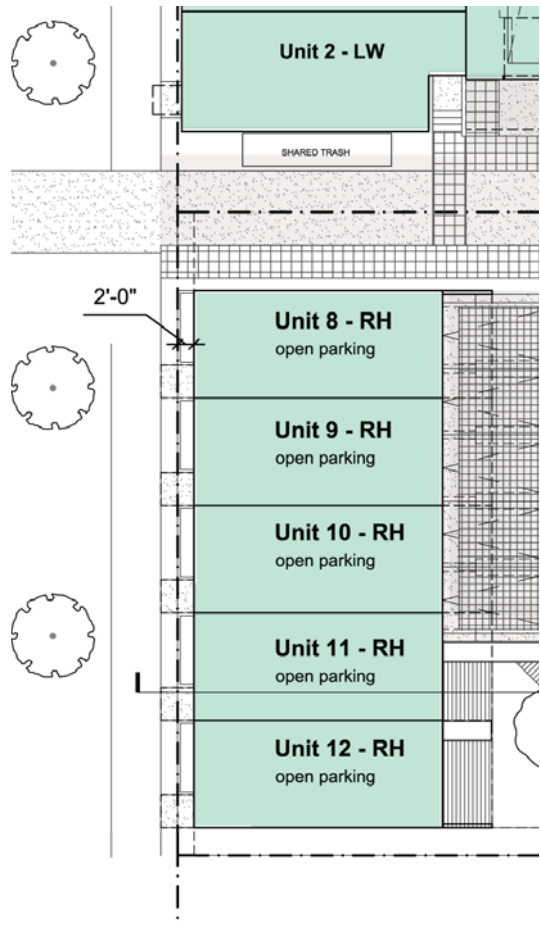
- Lot B - Project #3022596 - 1638 20th Ave

FRONT SETBACK

STANDARD
SMC 23.45.518.A. Front setback for rowhouse developments is a 5' minimum in an LR zone.

DEPARTURE REQUESTED:
Allow for a 2' front setback in LR zone for units 8-12

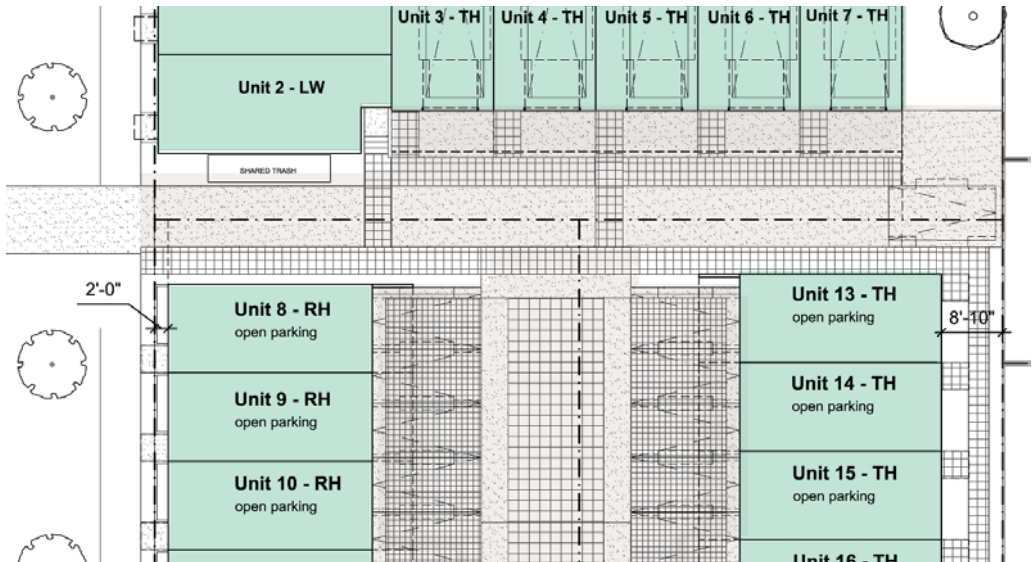
DEPARTURE RATIONALE:
This reduced front setback allows for a distinct transition along the street face between the zero setback at the commercial zone and the residential zone to the south. This shift west of rowhouse units 8-12 also allows townhouse units 13-17 to shift west and provide an increased setback of 8'-10" (5' min, 7' average required).



PORTION OF ROWHOUSES WITH <5' FRONT SETBACK

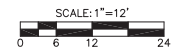
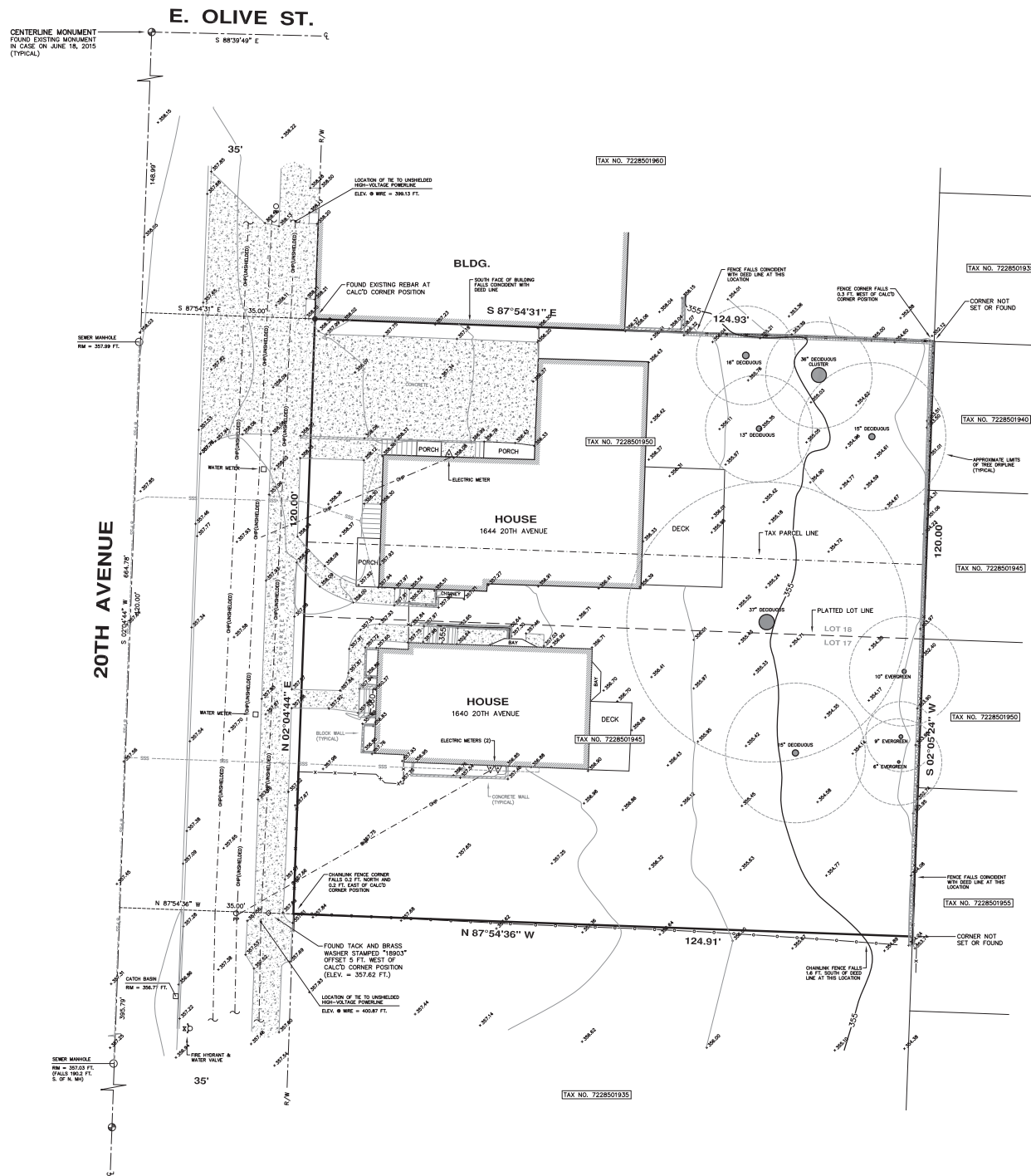


VIEW LOOKING NORTH



REQUESTED DEPARTURES

APPENDIX

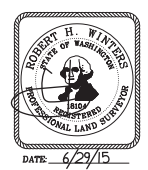


NOTES

1. THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 10 SECOND "TOTAL STATION" THEODOLITE SUPPLEMENTED WITH A 100 FT. STEEL TAPE. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.
2. CONTOUR INTERVAL = 1 FT.
3. ELEVATION DATUM = NAVD'88, AS PER DIRECT OBSERVATIONS USING GPS EQUIPMENT ON JUNE 18, 2015.
4. HORIZONTAL DATUM = NAD 83/91, AS PER DIRECT OBSERVATIONS USING GPS EQUIPMENT ON JUNE 18, 2015.
5. PARCEL AREA = 14,990 SQ. FT.
6. THIS SURVEY IS RELIANT UPON THE INFORMATION CONTAINED WITHIN FIRST AMERICAN TITLE INSURANCE COMPANY SUPPLEMENTAL REPORT FILE NO. 4220-2456124, DATED JUNE 25, 2015.
7. UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS APPROXIMATE ONLY AND IS BASED UPON CITY OF SEATTLE SEWER CARD NO. 474 AND ALSO AS PER TIES TO ABOVE GROUND STRUCTURES.
8. TAX PARCEL NO. 7228501945 & 7228501950
9. TREE DIAMETERS AND DRIPLINES DISPLAYED HEREON ARE APPROXIMATE. FOR SPECIFIC GENUS AND DIAMETER, TREES SHOULD BE EVALUATED BY A CERTIFIED ARBORIST.

PROPERTY DESCRIPTION

LOTS 17 AND 18, BLOCK 15, RENTON HILL ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 68, RECORDS OF KING COUNTY, WA.



TOPOGRAPHIC SURVEY
1640 / 1644 20TH AVE.
SEATTLE, WASHINGTON

CHADWICK WINTERS
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997
WEB: WWW.CHADWICKWINTERS.COM

PROJECT #:	15-5221
DRAWING:	15-5221TOPO.DWG
CLIENT:	ISOLA HOMES
DRAWN BY:	SAL

PROPOSED LBA

LOT A
LOT SIZE: 5,247 sf
ZONE: NC2-40
ADDRESS: 1644 20th Ave
EDG PROJECT: #3023474

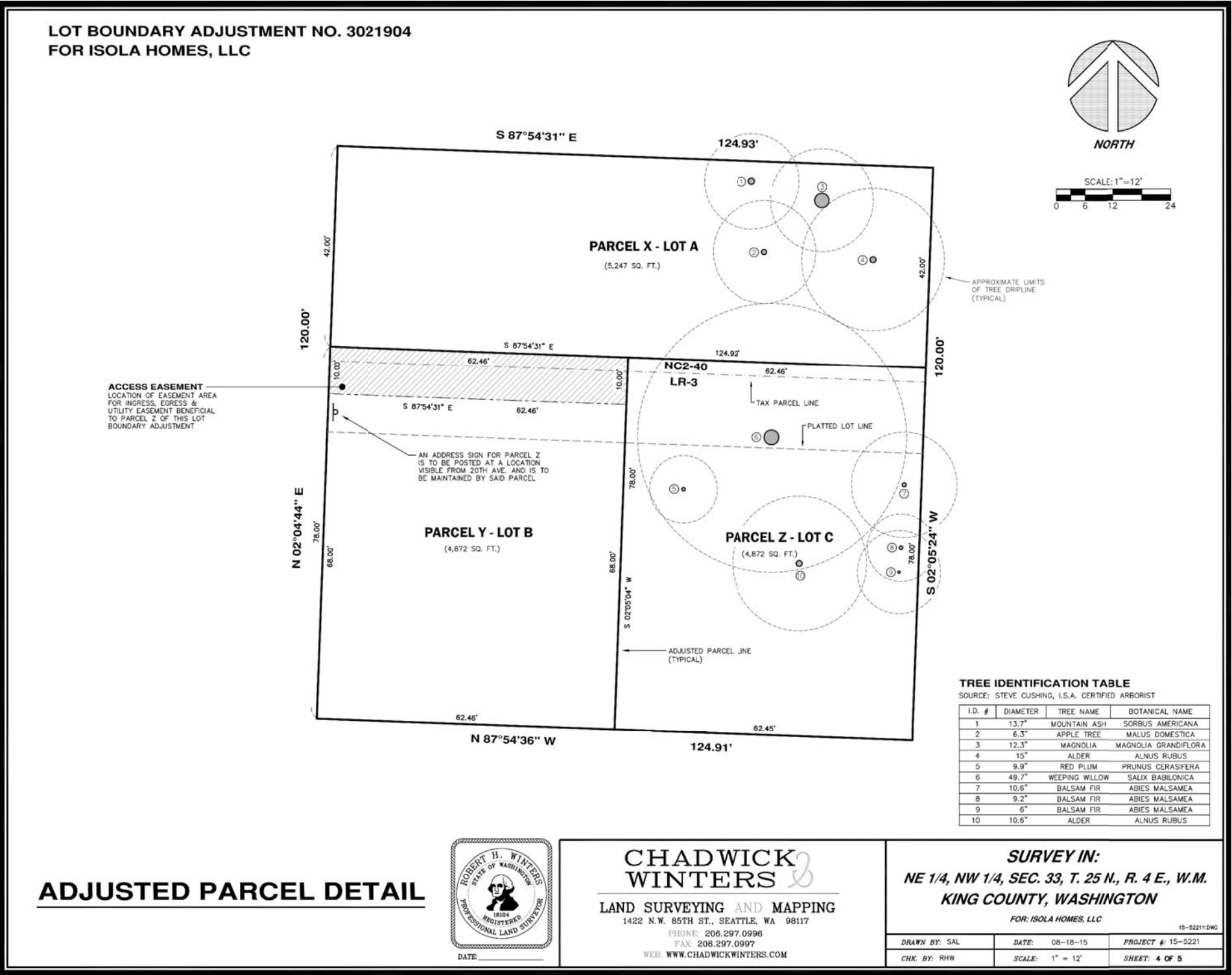
PROPOSED USE: 2 live/work units
5 townhouses

LOT B - ROWHOUSE
LOT SIZE: 4,872 sf
ZONE: LR3
ADDRESS: 1638 20th Ave
EDG PROJECT: #3022596

PROPOSED USE: 5 rowhouses

LOT C - TOWNHOUSE
LOT SIZE: 4,872 sf
ZONE: LR3
ADDRESS: 1640 20th Ave
EDG PROJECT: #3020898

PROPOSED USE: 5 townhouses

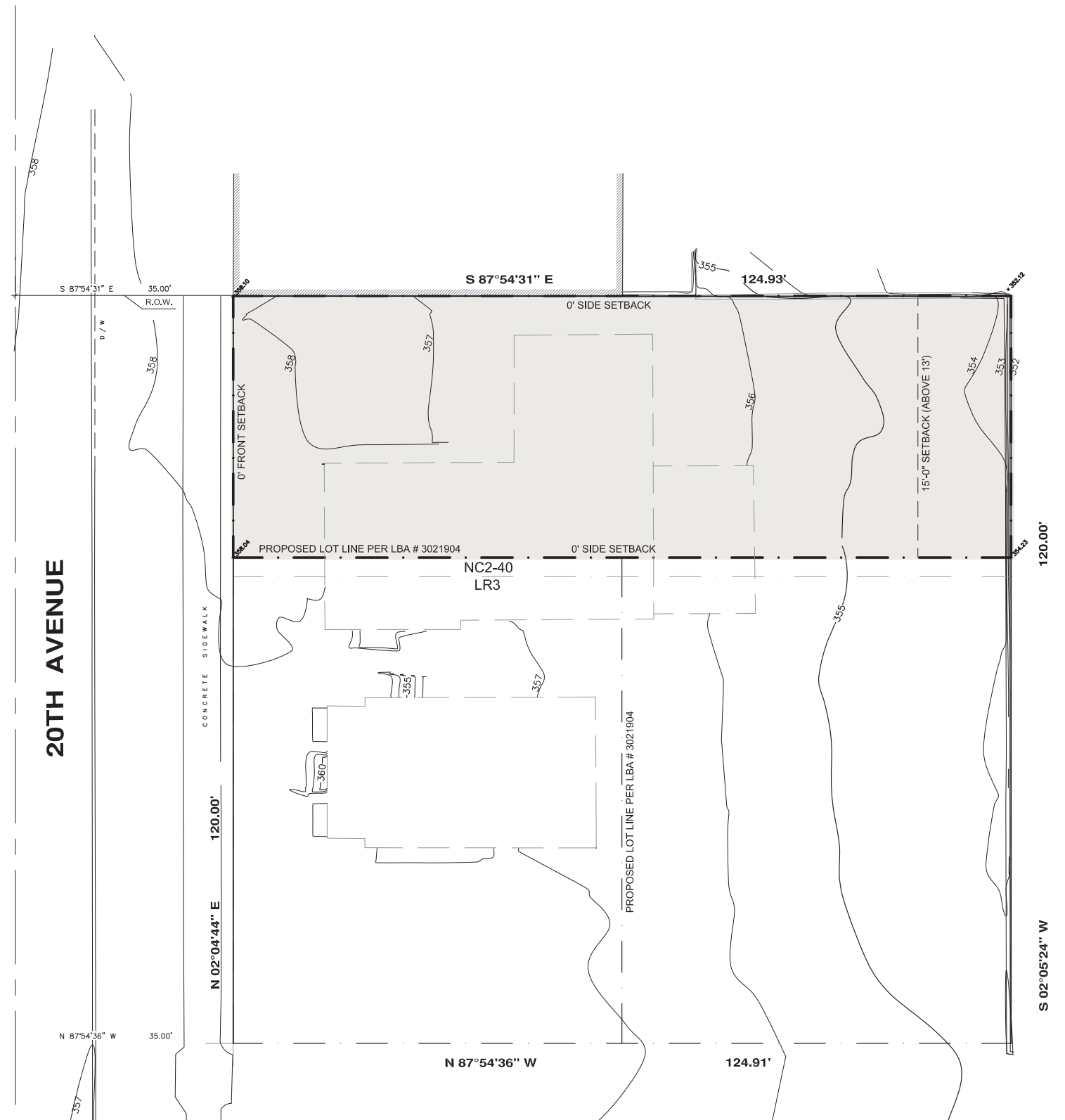


LOT BOUNDARY ADJUSTMENT

LOT A #3023474
ADDRESS 1644 20th Ave
LOT SIZE: 5,247 sf
ZONE: NC2-40
ALLOWED FAR: 5,247 sf x 3.00 = 15,741 sf
(mixed commercial/residential)
SETBACKS: 0' front setback
0' side setback (commercial)
15' side setback (residential)
0' rear setback
ALLOWED HEIGHT: 40' + 4' Parapet Allowance & 10' Penthouse

LEGAL DESCRIPTION: THAT PORTION OF LOT 18, BLOCK 15, RENTON HILL ADDITION, ACCORDING TO THE PLAT THEROF RECORDED IN VOLUME 8 OF PLATS 68, RECORDS OF KING COUNTY, WA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE N.W. CORNER OF SAID LOT 18; THENCE S 87°54'31" E ALONG THE NORTH LINE OF SAID LOT FOR A DISTANCE OF 124.93 FT.; THENCE 01°05'24" W, 42.00 FT.; THENCE N 87°54'31" W, 124.92 FT.; THENCE N 02°04'44" E, 42.00 FT. TO THE POINT OF BEGINNING



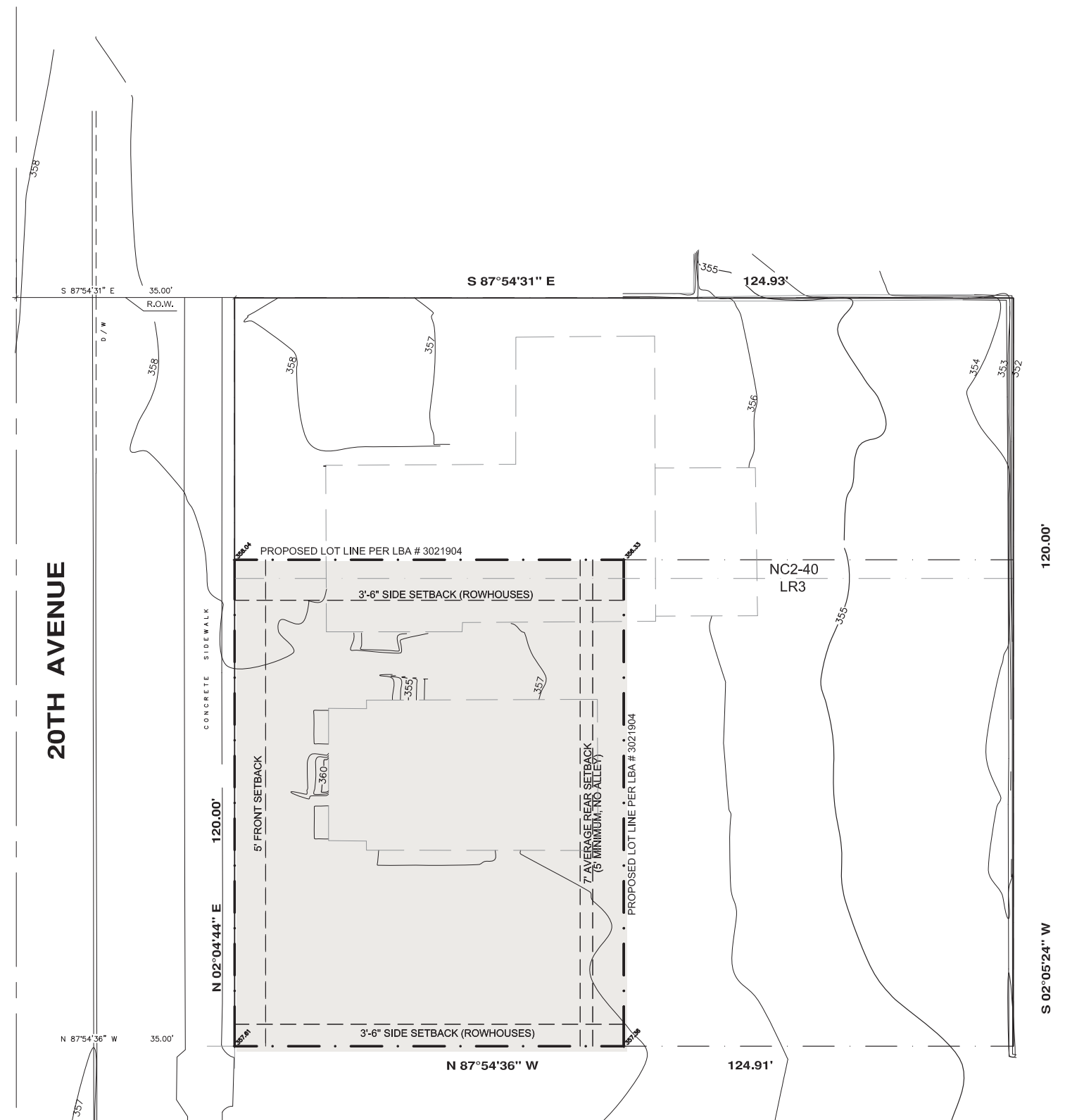
LOT A - SIZE AND FAR

LOT B #3022596
ADDRESS: 1638 20th Ave
LOT SIZE: 4,872 sf
ZONE: LR3
ALLOWED FAR: 4,872 sf x 1.4 = 6,821 sf
(RHs + green building)
SETBACKS: 5' front setback
3'6" side setback
7' rear setback
ALLOWED HEIGHT: 30' + 4' Parapet allowance & 10' Penthouse

LEGAL DESCRIPTION: THAT PORTION OF LOTS 17 AND 18, BLOCK 15, RENTON HILL ADDITION, ACCORDING TO THE PLAT THEREFORE RECORDED IN VOLUME 8 OF PLATS, PAGE 68, RECORDS OF KING COUNTY, WA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE N.W. CORNER OF SAID LOT 18; THENCE S 02°04'44" E ALONG THE WEST LINE OF SAID LOT FOR A DISTANCE OF 42.00 FT. TO THE POINT OF BEGINNING; THENCE S 87°54'31" E, 62.46 FT.; THENCE S 02°05'04" W, 78.00 FT.; THENCE N 87°54'31" W, 62.46 FT.; THENCE N 02°04'44" E, 78.00 TO THE POINT OF BEGINNING

SUBJECT TO AN EASEMENT FOR INGRESS, EGRESS AND UTILITIES AS SHOWN AND DESCRIBED AS "ACCESS EASEMENT" ON CITY OF SEATTLE SHORT LOT BOUNDARY ADJUSTMENT NO. 3021904



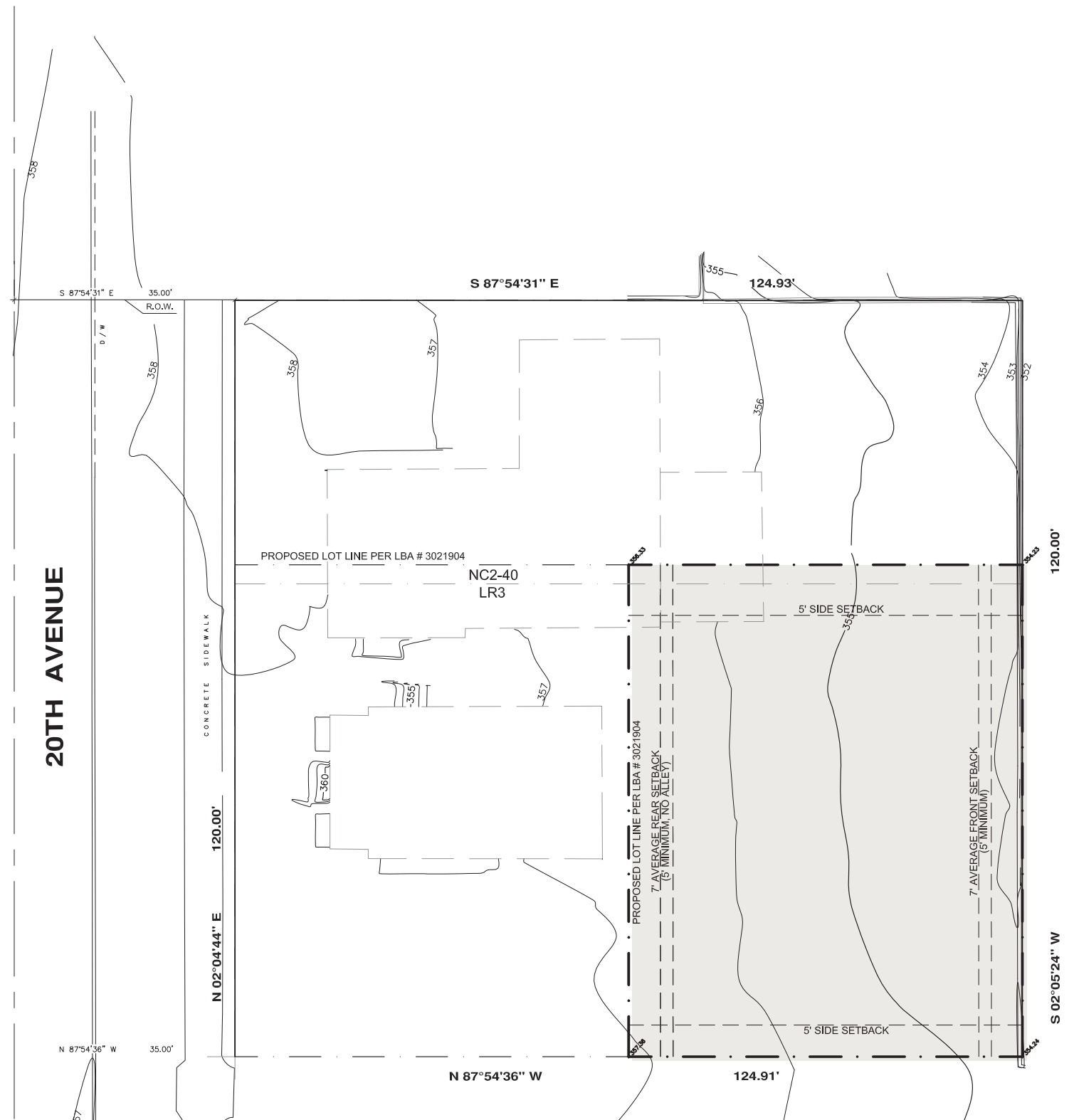
LOT B - SIZE AND FAR

LOT C #3020898
ADDRESS: 1640 20th Ave
LOT SIZE: 4,872 sf
ZONE: LR3
ALLOWED FAR: 4,872 sf x 1.4 = 6,821 sf
(THs + green building)
SETBACKS: 7' front setback
5' side setback
7' rear setback
ALLOWED HEIGHT: 30' + 4' Parapet allowance & 10' Penthouse

LEGAL DESCRIPTION: THAT PORTION OF LOTS 17 AND 19, BLOCK 15, RENTON HILL ADDITION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 68, RECORDS OF KING COUNTY, WA. BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE N.E. CORNER OF SAID LOT 18; THENCE S 02°05'24" E ALONG THE EAST LINE OF SAID LOT FOR A DISTANCE OF 42.00 FT. TO THE POINT OF BEGINNING; THENCE CONTINUING S 02°05'24" E, 78.00 FT.; THENCE N 87°54'36" W, 62.45 FT.; THENCE N 02°05'04" E, 78.00.; THENCE 87°54'31" E, 62.46 FT. TO THE POINT OF BEGINNING.

TOGETHER WITH AN EASEMENT FOR INGRESS, EGRESS AND UTILITIES AS SHOWN AND DESCRIBED AS "ACCESS EASEMENT" ON CITY OF SEATTLE SHORT LOT BOUNDARY ADJUSTMENT NO. 3021904



LOT C - SIZE AND FAR

SEATTLE DESIGN GUIDELINES		DESIGN RESPONSE
CS1. Natural Systems and Site Features Use natural systems and features of the site and its surroundings as a starting point for project design	B 1-3 Sunlight and Natural Ventilation	The proposed structure features a large common courtyard running North-South through the site. This large courtyard will not only enable daylight penetration into the site but also facilitate natural ventilation due to the northerly and southerly winds found within the Puget Sound area. Existing topography is used to locate units and open space.
	C 1-2 Topography	
CS2. Urban Pattern and Form Strengthen the most desirable forms, characteristics, and patterns of the streets, block faces, and open spaces in the surrounding area.	A 1-2 Location in the City and Neighborhood Sense of Place, Architectural Presence	From commercial to multi-family to single-family, the site is currently surrounded by a mix of density and uses. While the existing site use is currently a single family residence, this design proposes to increase the density, while maintaining a residential pedestrian experience both internally and externally. Proposed uses provide transition from NC to lowrise. The design reflects the scale, regulating lines, and texture of the existing commercial building to the north with the building articulation of the live/works which step back at the third floor. The rowhouse units provide a transition from the live/works to the north to the residential lots to the south with a proposed 2’ front setback.
	B 1-3 Adjacent Sites, Streets, and Open Spaces Site Characteristics, Connection to the Street, Character of Open Space	
	C 1-3 Relationship to the Block Mid-Block Sites	
	D 1-5 Height, Bulk, and Scale Zone Transition, Respect of Adjacent Sites	
PL1.Connectivity Complement and contribute to the network of open spaces around the site and the connections among them.	A 1-2 Network of Open Spaces Adding to Public Life, Adding to the Public Life	The proposed design features a large courtyard drive running through the site. This courtyard drive will function as a pedestrian corridor for the future residents to easily circulate the site. The courtyard drive connects to a south facing landscape courtyard. This active internal space will also provide the future residents an opportunity to interact with one another and form a sense of community within the site.
PL2.Walkability Create a safe and comfortable walking environment that is easy to navigate and well-connected to existing pedestrian walkways and features.	D 1 Wayfinding	Pedestrian walkways through the site and to each residential unit are clearly articulated with pavers. Entries are marked with awnings, address sign-age and lighting.
PL3.Street-Level Interaction Encourage human interaction and activity at the street-level with clear connections to building entries and edges.	A 1-4 Entries	Street-level residential entries will be clearly articulated with modulation, exterior finishes, and pedestrian scaled entry elements. Entries will feature landscape buffers to reinforce the public/private threshold and distinguish each individually entry as its own. Live/work units are provided with high transparency at the street level.
	B 1-4 Residential Edges Security and Privacy, Ground-level Residential, Buildings with Live/Work Uses	
DC1.Project Uses and Activities Optimize the arrangement of uses and activities on site.	B 1-2 Vehicular Access and Circulation	The design proposes a reduced width drive minimizing the visual impact of parking from the street. Landscape buffers and screening elements reduce the scale of the overall drive/courtyard. Parking area designed to serve multiple uses as a woonerf for activities such as outdoor gathering, through the hardscape & landscape design. Bicycle parking provided adjacent to the landscape courtyard.
	C 1-4 Parking and Service Uses Visual Impacts, Multiple Uses	
DC2.Architectural Concept Develop an architectural concept that will result in a unified and functional design that fits well on the site and within its surroundings.	A 1-2 Massing Site Characteristics and Uses, Reducing Perceived Mass	The site's current surrounding context consists of both residential and commercial structures, each of which conveys their respective uses with differing distinct architectural forms. The design scheme relates to the hard urban edge of the surrounding commercial structures while maintaining residential character a the rowhouses and setting precedent for future development. The design steps the massing of the structures back at the third story, reducing the height at the street edge and pedestrian sidewalk. Windows are grouped to emphasize this two story massing and clearly identify units.
	B 1-2 Architectural and Facade Composition Facade Composition, Blank Walls	
DC3.Open Space Concept Integrate open space design with the building design so that they complement each other.	A 1 Building-Open Space Relationship	The landscape courtyard supports gather of residents and outdoor activities with benches, planters, lighting, and shared deck. The threshold between the landscape courtyard and parking court is visually open with planting.
	B 1-4 Open Space Uses and Activities	
	C 1-3 Design Amenities/Features	
DC4.Exterior Elements and Finishes Use appropriate and high quality elements and finishes for the building and its open spaces.	D 1-4 Trees, Landscape, and Hardscape Materials <i>Choice of Plant Materials, Hardscape Materials, Long Range Planning, Place Making</i>	The proposed design of the drive/courtyard aims to feature larger landscaping elements along with a variety of smaller plantings to enhance the sense of a unique lively space, activating the project from the interior of the site. Courtyard enhances site with color and texture, hardscape patterns clearly identify pedestrian walks.

DESIGN GUIDELINES

PAGE INTENTIONALLY LEFT BLANK