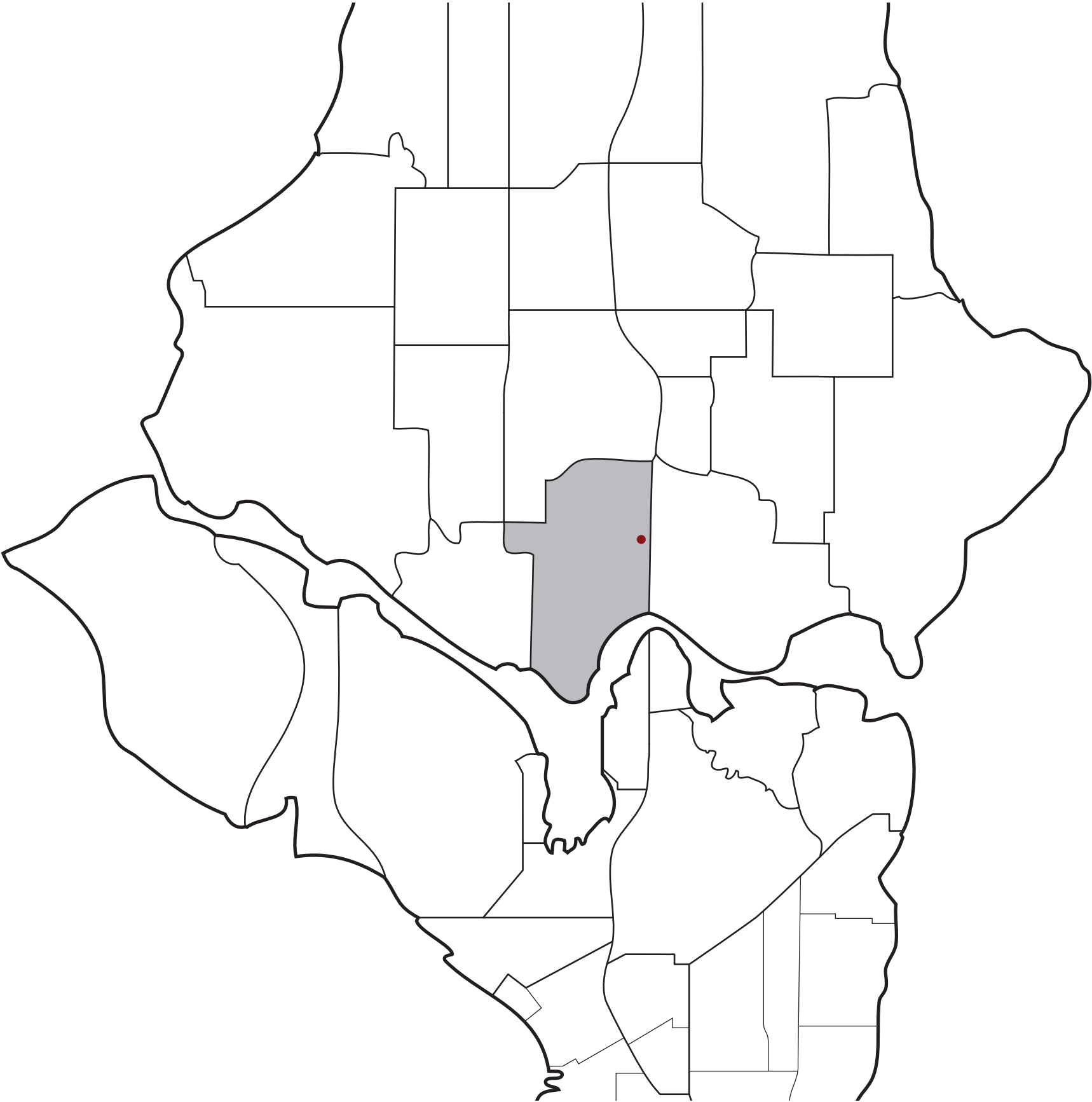


#3021273

4426 4th Ave NE **EARLY DESIGN GUIDANCE**

LIMELITE DEVELOPMENT, LLC | **S+HWorks**
ARCHITECTURE & DESIGN



ADDRESS

4426 4TH AVE NE
SDCI# 3021273

PROJECT TEAM

OWNER	LIMELITE Development, LLC
ARCHITECT	S+H Works, LLC
LANDSCAPE	Root of Design
SURVEYOR	GeoDimensions, Inc.

PROJECT INFO

ZONING	NC3-40
OVERLAYS	Frequent Transit, Wallingford RUV
LOT SIZE	5,535 sf
FAR	3.0
ALLOWABLE FAR	16,605 sf
PROPOSED FAR	10,662 sf
PROPOSED UNITS	8
PARKING STALLS	0
BICYCLE PARKING	2 REQD

PROJECT DESCRIPTION

The proposed development is 8 (4-story) townhouse units in two 4-plex structures. No parking is required or proposed. The existing structure is to be demolished.

INDEX

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VICINITY ANALYSIS

The project site is located between Wallingford and the University District where Interstate 5 passes under NE 45th St. On the west side of Interstate-5, NE 45th St hosts businesses of Wallingford's Residential Urban Village while the east side feeds into the center of University District's commercial activity. This site provides balanced access to both neighborhoods with good access to Downtown Seattle via Interstate-5. The area has experienced continuous growth in both residential and commercial development.

- SITE**
- WALLINGFORD NEIGHBORHOOD**
- WALLINGFORD RESIDENTIAL URBAN VILLAGE**
- NEIGHBORHOOD BOUNDARY**

ZONING

This site is zoned NC3-40 and lies within the Wallingford Urban Village zone. The site abuts a SF5000 zone to the south and a NC3P-40 zone to the north and east. Across 4th Ave NE the lot is zoned NC3-40. In the immediate area, lots along NE 45th St are zoned NC2 or NC3 with SF5000 zones beyond to the north and south. A viable commercial zone extends from the University District into the center of Wallingford’s commercial activity.

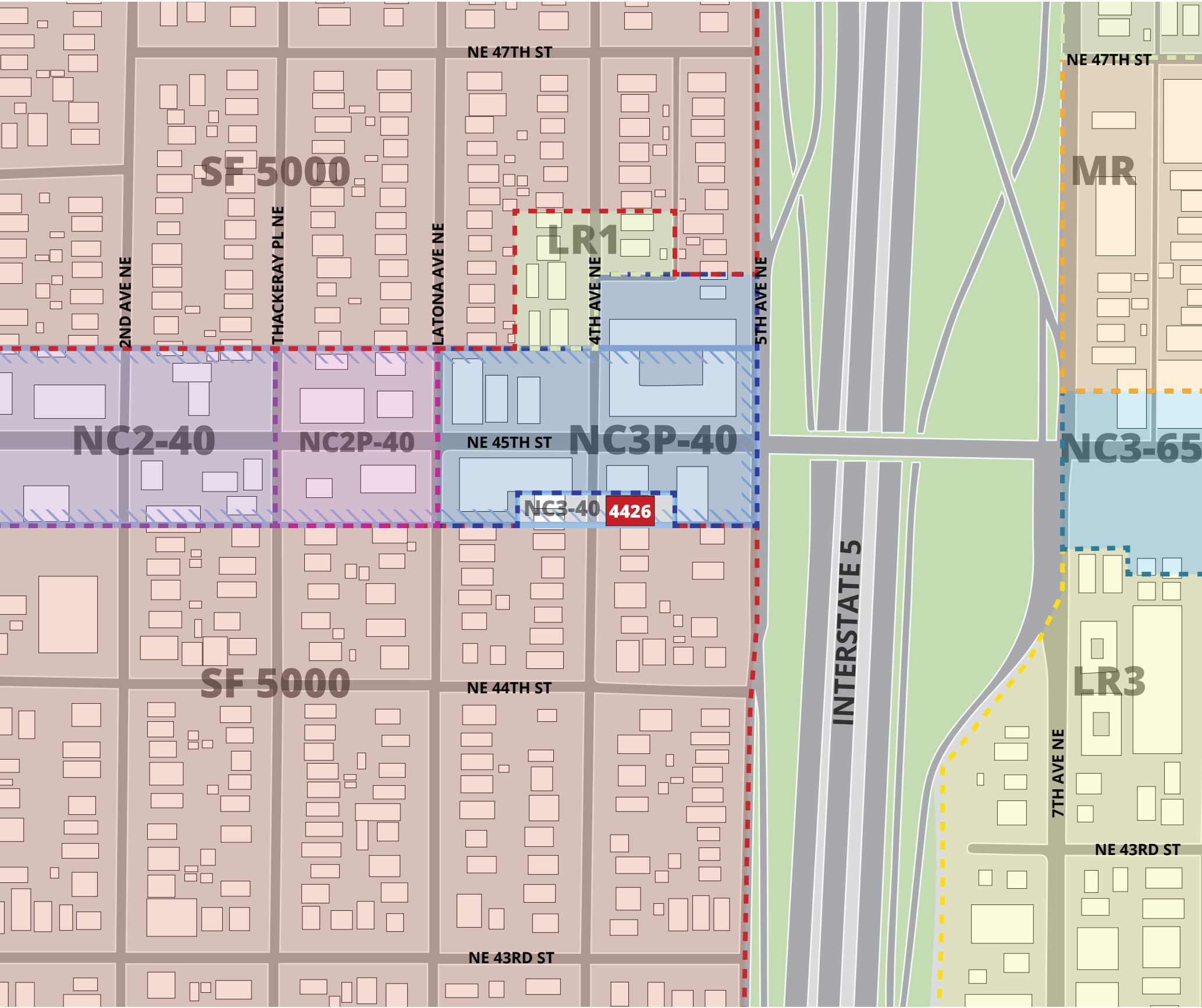
NC3 Zoning: “A larger pedestrian oriented shopping district serving the surrounding neighborhood and larger community, citywide or regional clientele; allowing comparison shopping among a range of retail businesses.” -SDCI Handout

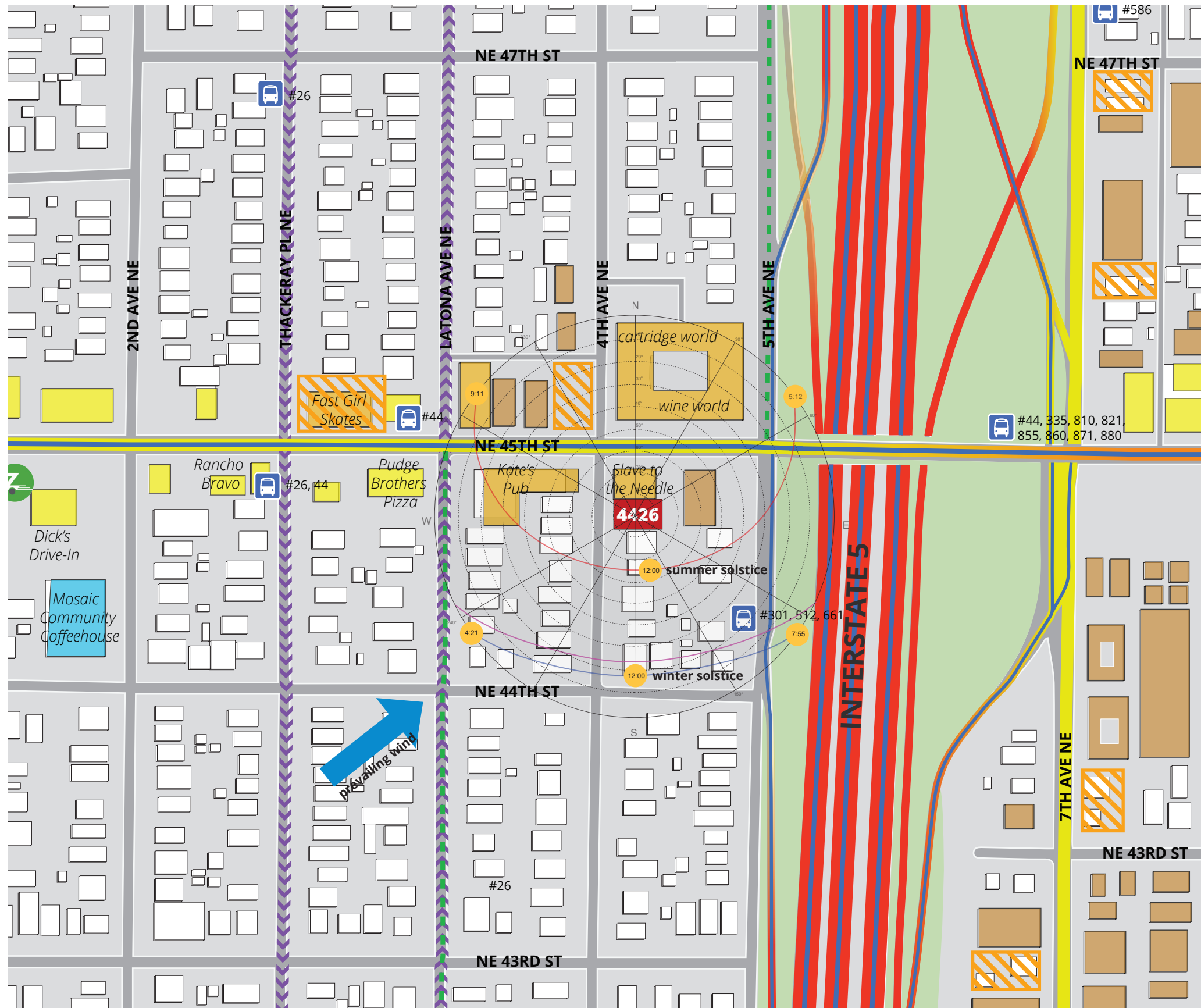
OVERLAYS

WALLINGFORD URBAN VILLAGE

ZONING

- SF 5000
- LR3
- MR
- NC2-40
- NC2P-40
- NC3-40
- NC3P-40
- NC3-65
- LR1





ADJACENCIES / CIRCULATION

NE 45th St transitions from a major arterial going through the University District to a minor arterial in Wallingford but maintains commercial viability all along. Single family homes dominate the area to the north and south of the commercial uses. On the east side of I-5, NE 45th St has experienced considerable growth in multifamily buildings. The area is well served by buses along NE 45th St and I-5 providing easy access to downtown and nearby neighborhoods. Express buses on I-5 reach Downtown Seattle in 15 minutes from a stop on 5th Ave NE two block east over from the site. This location is very walkable so most errands can be accomplished on foot. There are a variety of eating and drinking establishments within blocks of the site.

CIRCULATION

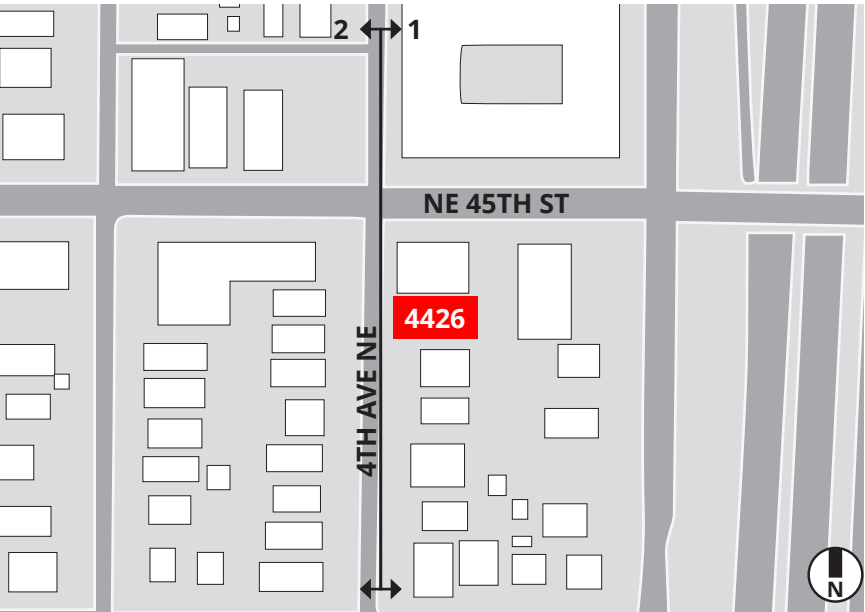


- INTERSTATE
 - MINOR ARTERIAL
 - COLLECTOR ARTERIAL
 - DEDICATED BICYCLE LANE
 - TRANSIT ROUTE
 - DESIGNATED BUS STOP
 - ZIP CAR LOCATION
-
- ### T TYPOLOGY
- SINGLE FAMILY HOME
 - MIXED-USE
 - MULTIFAMILY
 - COMMERCIAL
 - COMMUNITY CENTER
 - PERMITTING / UNDER CONSTRUCTION

1 4TH AVE NE LOOKING EAST



2 4TH AVE NE LOOKING WEST



4TH AVE NE + NE 45TH ST

4th Ave NE as a residential street intersects with the commercial strip along NE 45th St making lots directly north and south of 45th St zone transition sites. The northwest corner of NE 45th St and 4th Ave NE will be developed into a new retail space (see image to right) while the other three corners are currently occupied by commercial uses. 4th Ave NE currently allows parking on both sides. Without an alley most of the residences along 4th Ave NE park vehicles on short driveways or in a garage directly off the street or adjacent to the residence.



NW CORNER AT 4TH NE AND NE 45TH: Proposed retail office space under construction (Renderings Stuart Silk Architects)

CONTEXT CHARACTER

The existing architectural fabric of the Wallingford neighborhood varies, and is reflective of developing over time.

- Single family bungalows.
- Small scale commercial frontage.
- Character buildings that represent the neighborhood.
- Parking-oriented businesses that transition along 45th St.
- Recent development that includes a variety of architectural character.



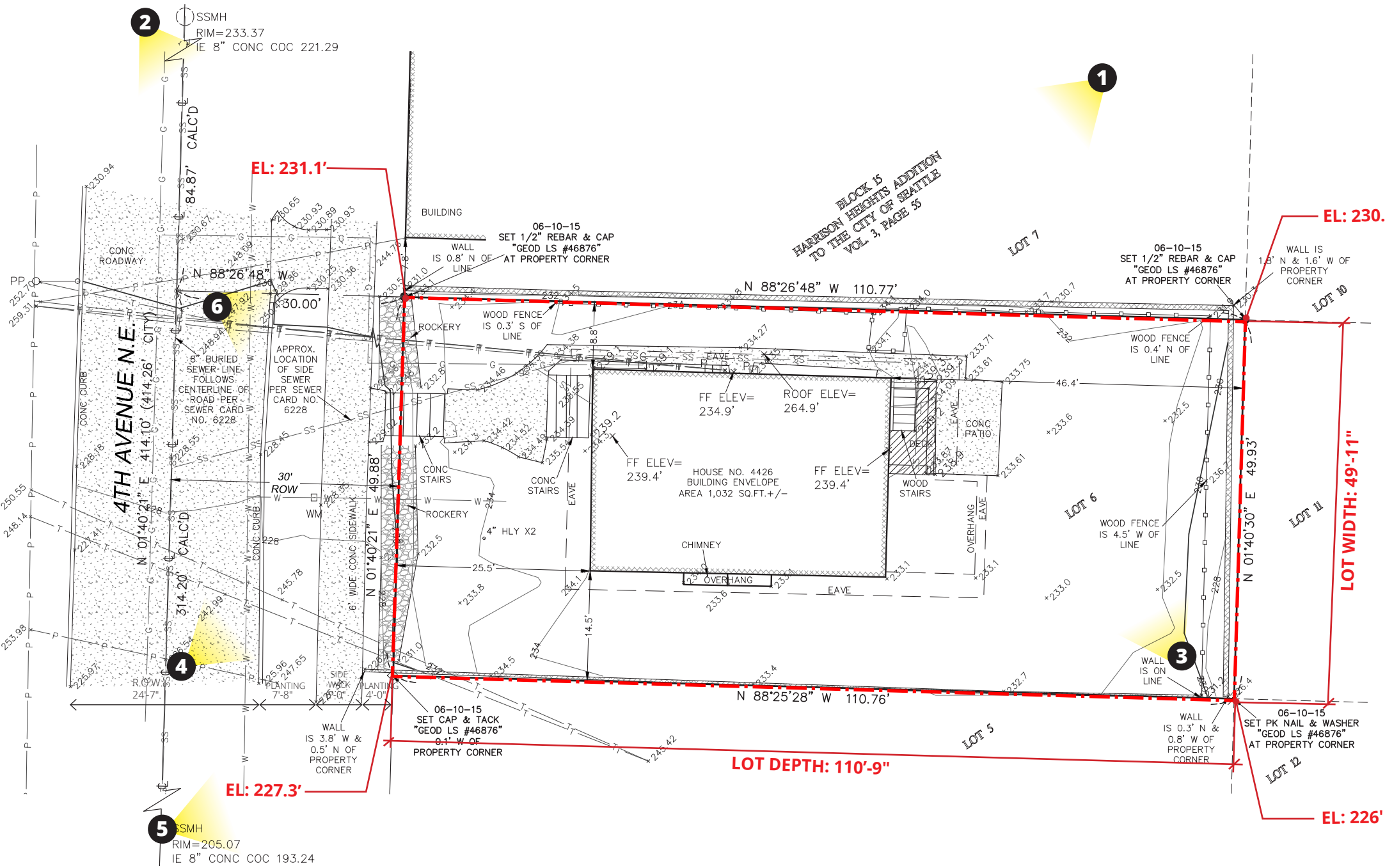
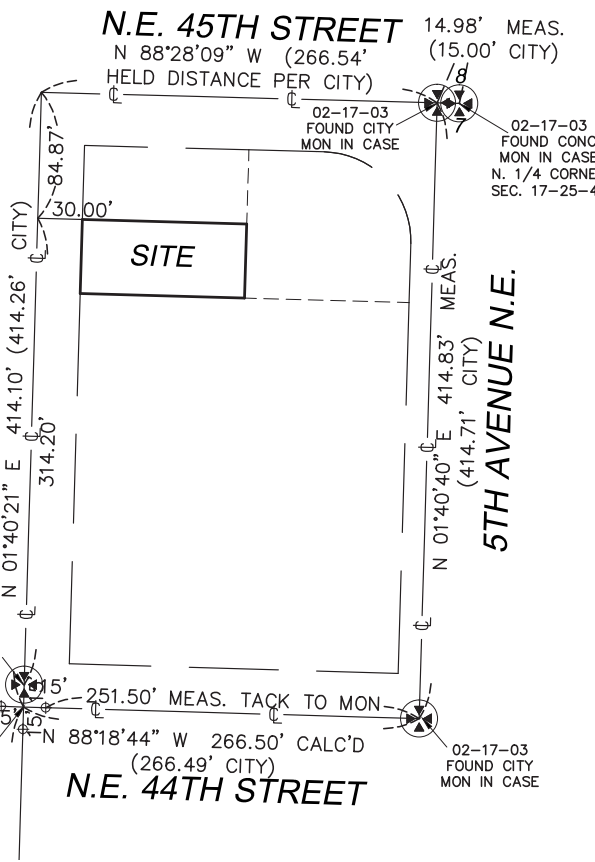
- ❶ WALLINGFORD CENTER & FORMER INTERLAKE PUBLIC SCHOOL
- ❷ INTERSTATE 5 EXPRESS LINES
- ❸ MIXED USE @ NE 45TH ST & 4TH AVE NE
- ❹ LIVE-WORK AT NE 45TH ST & MERIDIAN AVE N
- ❺ NEIGHBORHOOD GROCERY STORE (QFC)
- ❻ SLAVE TO THE NEEDLE TATTOO SHOP
- ❼ FAINTING GOAT GELATO (SMALL BUSSINESS TYPOLOGY)

EXISTING CONDITIONS

The existing structure on the site is a two-story with basement tri-plex with a partially covered deck and patio at the rear. There is no existing parking. The site topography is relatively uniform, sloping down 4' from North to South. Retaining walls at the North and South property lines make the site predominantly level. A rockery at the west edge supports 5' of slope down to the sidewalk. The R.O.W. is characterized by a planting strip and sidewalk, both of which will remain. The street parking is allowed on both sides of 4th Ave NE. There are no curb cuts existing or proposed. The existing power lines are on the west side of 4th Ave NE and do not affect the project.

LEGAL DESCRIPTION

Lot 6, block 15, Harrison Heights addition to the city of Seattle, according to the plat thereof recorded in volume 3 of plats, page 55, in King County Washington.



SURVEY

Surveyor: GeoDimensions Date: 11/06/14

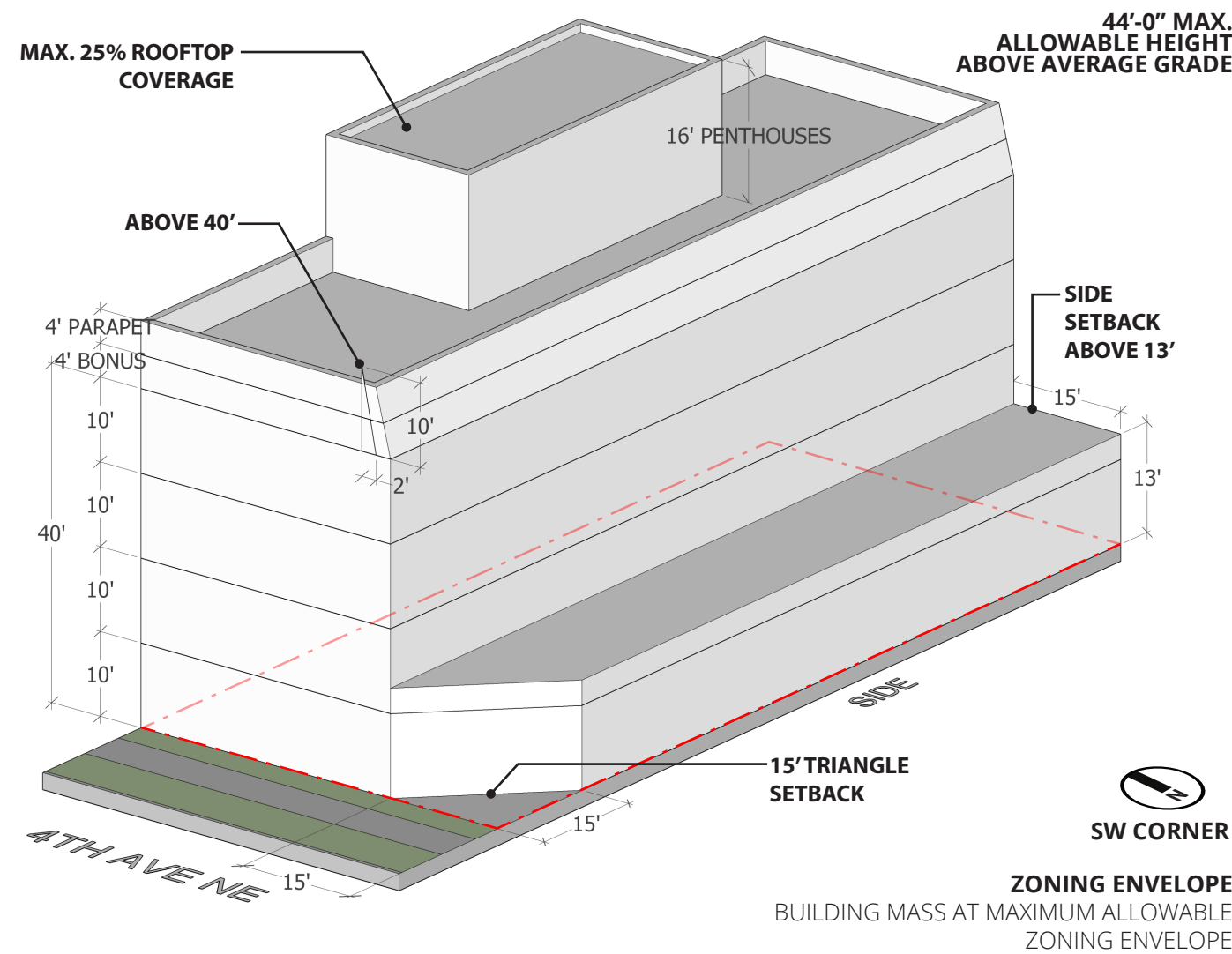
SITE CONDITIONS



ZONING STANDARDS

ZONING: NC3-40
OVERLAYS: WALLINGFORD RESIDENTIAL URBAN VILLAGE / FREQUENT TRANSIT

SMC	Code	Definition
SMC 23.47.004		PERMITTED USES Residential Use permitted outright.
SMC 23.47A.008		STREET LEVEL REQUIREMENTS <ul style="list-style-type: none">- Blank segments between 2' and 8' above the sidewalk may not exceed 20'- Total blank segments < 40% of total street facing facade- Street level street facing facade located within 10' of street lot line- Residential use facing street must have visually prominent pedestrian entry- Floor of dwelling unit facing street must be 4' above or below sidewalk grade
SMC 23.47.013		FLOOR AREA RATIO <ul style="list-style-type: none">- 3.00 for only residential use.
SMC 23.47A.012		STRUCTURE HEIGHT <ul style="list-style-type: none">- Base height limit of 40' above average grade.- Additional 4' of height if first floor at or above grade is min. 4' above sidewalk grade.- Parapets, railings etc. may extend 4' above the allowed height limit.- Stair and elevator penthouses may extend 16' above the allowed height limit with 25% maximum rooftop coverage.
SMC 23.47A.014		SETBACKS <ul style="list-style-type: none">- Front/Side: 15'x15' triangular setback required where lot abuts residential zone.- Side (abutting residential zone): 15' setback for portions of structure above 13'- Side (abutting residential zone): rate of 2' for every 10' above 40' in height.- Trash bins outside of structure to be >10' from lot line abutting residential zone.
SMC 23.47.016		LANDSCAPING <ul style="list-style-type: none">- 0.30 Green Factor required.- Street trees required.
SMC 23.47.022.A		LIGHTING AND GLARE <ul style="list-style-type: none">- Exterior lighting shall be shielded and directed away from adjacent properties.
SMC 23.47.024.A		AMENITY AREA <ul style="list-style-type: none">- 5% of gross floor area in residential use.- All residents shall have access to common and private amenity. Amenity area shall not be enclosed
SMC 23.54.015.A,K		REQUIRED PARKING <ul style="list-style-type: none">- No vehicular parking required (Urban Village + Frequent Transit).
SMC 23.54.040.A.1		<ul style="list-style-type: none">- Bicycle Parking: 1 space per 4 units (8 units / 4 = 2 spaces) , no short-term required.
		SOLID WASTE & RECYCLING <ul style="list-style-type: none">- One 2' x 6' storage area per dwelling unit.



PRIORITY GUIDELINES

CITY WIDE & WALLINGFORD GUIDELINES

CS1: NATURAL SYSTEMS AND SITE FEATURES

WALLINGFORD GUIDELINE I. LANDSCAPE DESIGN TO ADDRESS SPECIAL SITE CONDITIONS:
Maintain high-bank at the street edge, street-facing unit entries. Incorporate existing on site rockery into new proposed street edge.

CS2: URBAN PATTERN AND FORM

B.2 CONNECTION TO THE STREET
Project to establish a strong street presence consistent with neighboring residential characteristics through the use of distinct site and unit entries. Landscape and hardscape featured as secondary elements to enhance streetscape.

C.2 MID-BLOCK SITES
Massing at the street is more in keeping with the transitional nature of the site. Secondary architectural elements and simple massing articulation provide datums and rhythm at the street.

D.3 ZONE TRANSITIONS:
Sole residential use helps transition from commercial to single family. Preferred scheme locates structures centrally on site in anticipation of future development potential of NC zones to the North and East.

D.4 MASSING CHOICES:
Preferred schemes take into consideration all existing neighboring structures and uses with balanced setbacks. By providing a wider, shorter unit footprint and eliminates penthouse bulk the structures work with existing and futures neighborhood massing. This also allows for greater setbacks at the street and 360 degree views at the roof deck amenity.

WALLINGFORD GUIDELINE II STREETSCAPE COMPATIBILITY:
Use of residential characteristics at the street edge as a transition tool between zones.

CS3: ARCHITECTURAL CONTEXT + CHARACTER

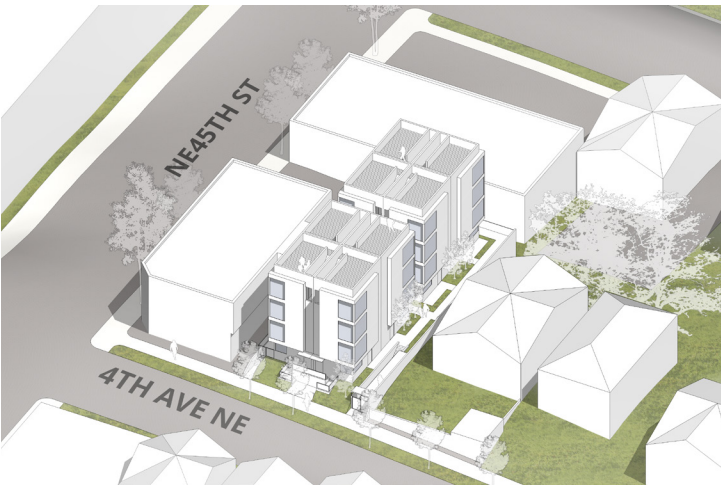
A.4 EVOLVING NEIGHBORHOODS:
Development in the immediate vicinity with similar zoning provides opportunity for contemporary design while acknowledging the changing characteristics of the neighborhood.

PL2: WALKABILITY

B.1 EYES ON THE STREET:
Street facing units orientated to maximize eyes on the street along with activity from central courtyard.

B.3 STREET-LEVEL TRANSPARENCY:
Semi-transparent screening and gates are used to keep views into and out of site access points.

WALLINGFORD GUIDELINE I RESIDENTIAL ENTRIES (i):
Well defined and unique approach to street-facing unit entries. Transparent and prominent entry provides “eyes on the street” security.



PL3: STREET LEVEL INTERACTION

A.1.c ENTRIES:
Clearly distinguished unit entries at the street from main site access points. Signage and low level lighting will be incorporated into the street level site experience.

B.2 GROUND-LEVEL RESIDENTIAL:
Units at ground floor will have a thoughtful window palette with a lifted landscape buffer similar to adjacent single-family neighbors.

DC2: ARCHITECTURAL CONCEPT

A.1 MASSING/SITE CHARACTERISTICS:
Massing to respond to site constraints. Create a strong visual connection to the street.

A.2 REDUCED PERCEIVED MASS:
Reduced scale is created by accentuating the entry and massing modulation.

B.2 BLANK WALLS:
Preferred scheme centrally locates structures to maximize glazing potential and avoid blank walls at all sides of the site.

WALLINGFORD GUIDELINE I ARCHITECTURAL CONCEPT AND CONSISTENCY (i):
Massing reflects functions, building projections break down mass while providing balance in symmetry.

WALLINGFORD GUIDELINE III RETAINING WALLS (i):
Retaining walls visible from the street will be screened, gated or used to incorporate building signage.

DC3: OPEN SPACE CONCEPT

WALLINGFORD GUIDELINE I. RESIDENTIAL OPEN SPACE:
Preferred scheme provides private patios at grade for most residential units.
Generous side yard with landscaping provides a gathering space as well as a buffer from the adjacent residential zone.

DC4: EXTERIOR ELEMENTS AND FINISHES

A. BUILDING MATERIALS:
Materials will provide both large and small scale textures, will be durable and properly detailed.

C. LIGHTING:
Lighting will be provided at site entries, unit entries, and amenity areas for security.

D. TREES, LANDSCAPING, AND HARDSCAPE MATERIALS:
Native plants will be used throughout. Landscaping will act as a privacy buffer as well as providing a sense of human scale and texture.

WALLINGFORD GUIDELINE I. LANDSCAPING TO REINFORCE DESIGN CONTINUITY WITH ADJACENT SITES (ii):
Street trees and plantings visually accessible to the public/pedestrian realm.

WALLINGFORD GUIDELINE II LANDSCAPING TO ENHANCE THE BUILDING AND/OR SITE (i):
Trellises and screen walls or gates enhance the soft and hard elements in the landscape palette.

C

SCHEME A: CODE COMPLIANT



PERSPECTIVE LOOKING AT NORTHWEST CORNER FROM NE 45TH ST



PERSPECTIVE LOOKING AT NORTHEAST CORNER FROM NE 45TH ST

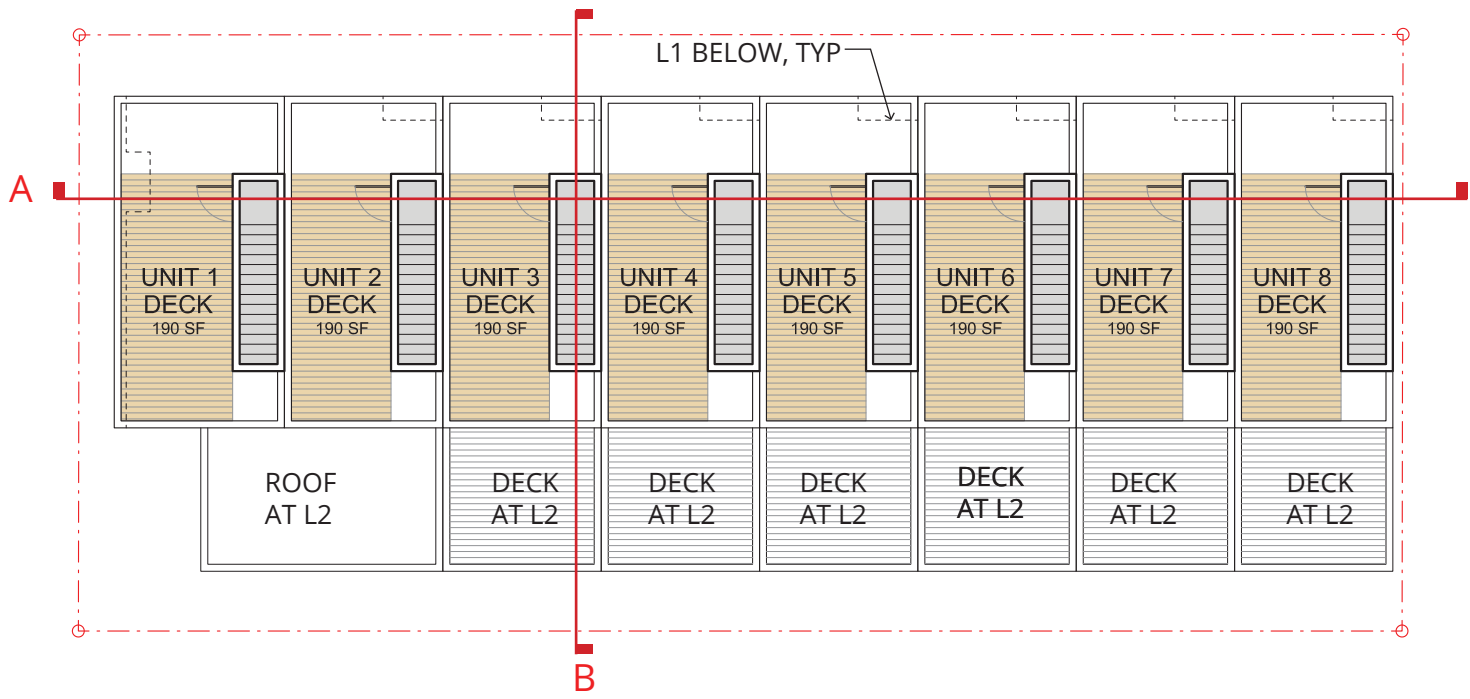


AERIAL PERSPECTIVE LOOKING AT SOUTHEAST CORNER

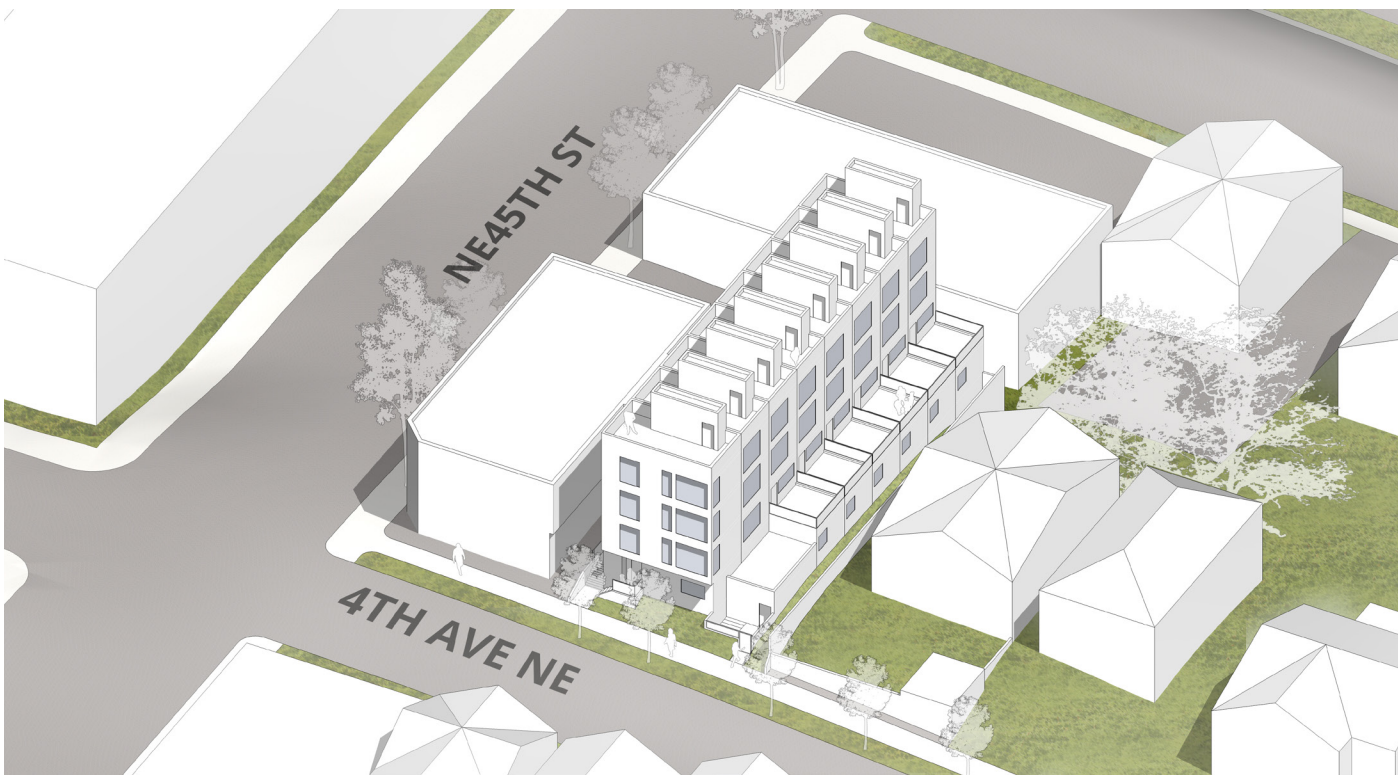


PERSPECTIVE LOOKING AT SOUTHWEST CORNER 4TH AVE NE

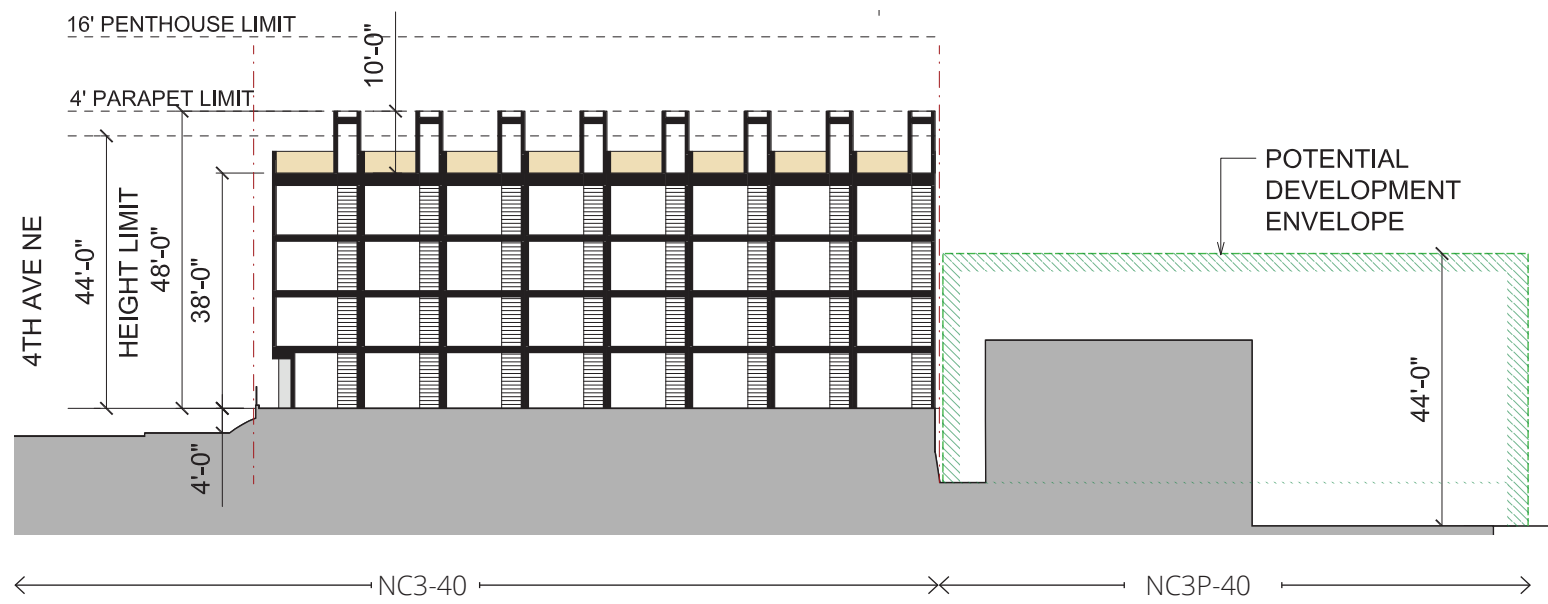
SCHEME A: CODE COMPLIANT



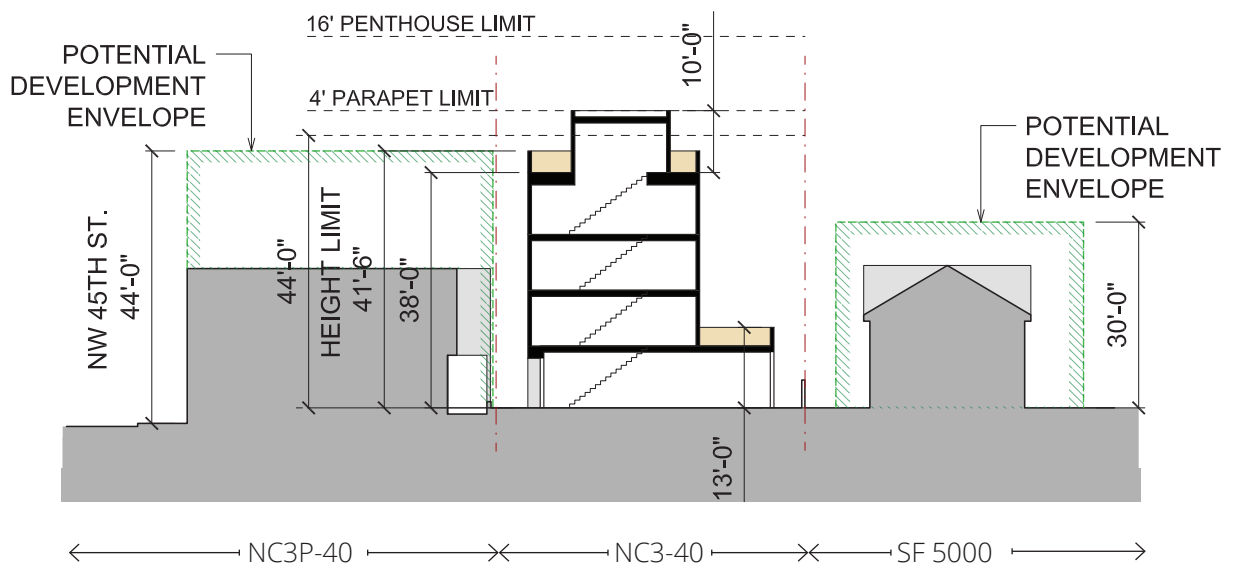
- ROOF PLAN**
SCALE: 1/16" = 1'-0"
- PRIVATE AMENITY
- RESIDENTIAL
- PROPERTY LINE
- POTENTIAL DEVELOPMENT



BIRD'S EYE VIEW FROM SOUTHWEST



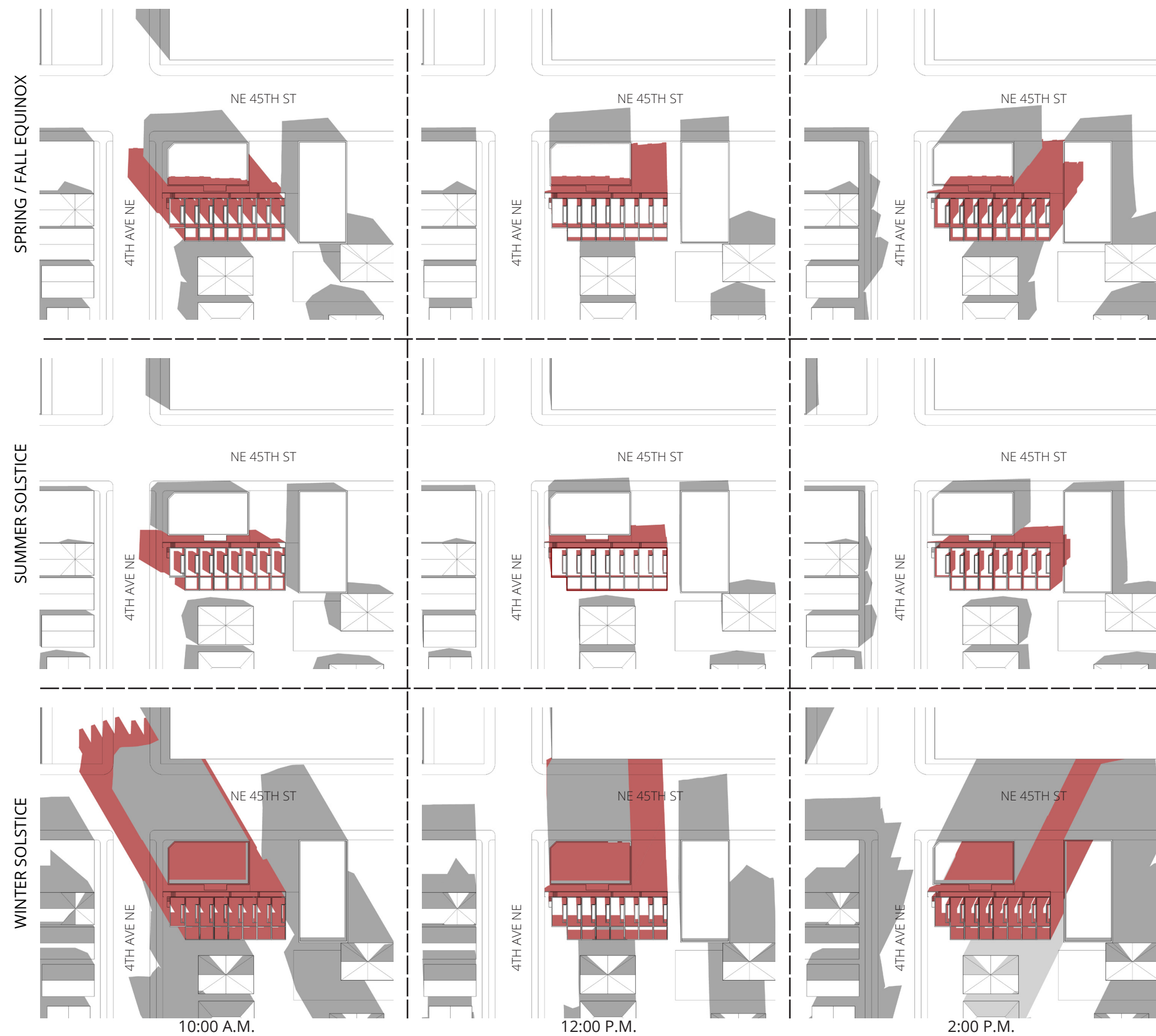
SECTION A
SCALE: 1/32" = 1'-0"



SECTION B
SCALE: 1/32" = 1'-0"

DEPARTURES: SCHEME A
NO DEPARTURES REQUESTED

SUN PATH / SHADOW STUDY: SCHEME A



SCHEME B: STAGGERED



PERSPECTIVE LOOKING AT NORTHWEST CORNER FROM NE 45TH ST



PERSPECTIVE LOOKING AT NORTHEAST CORNER FROM NE 45TH ST

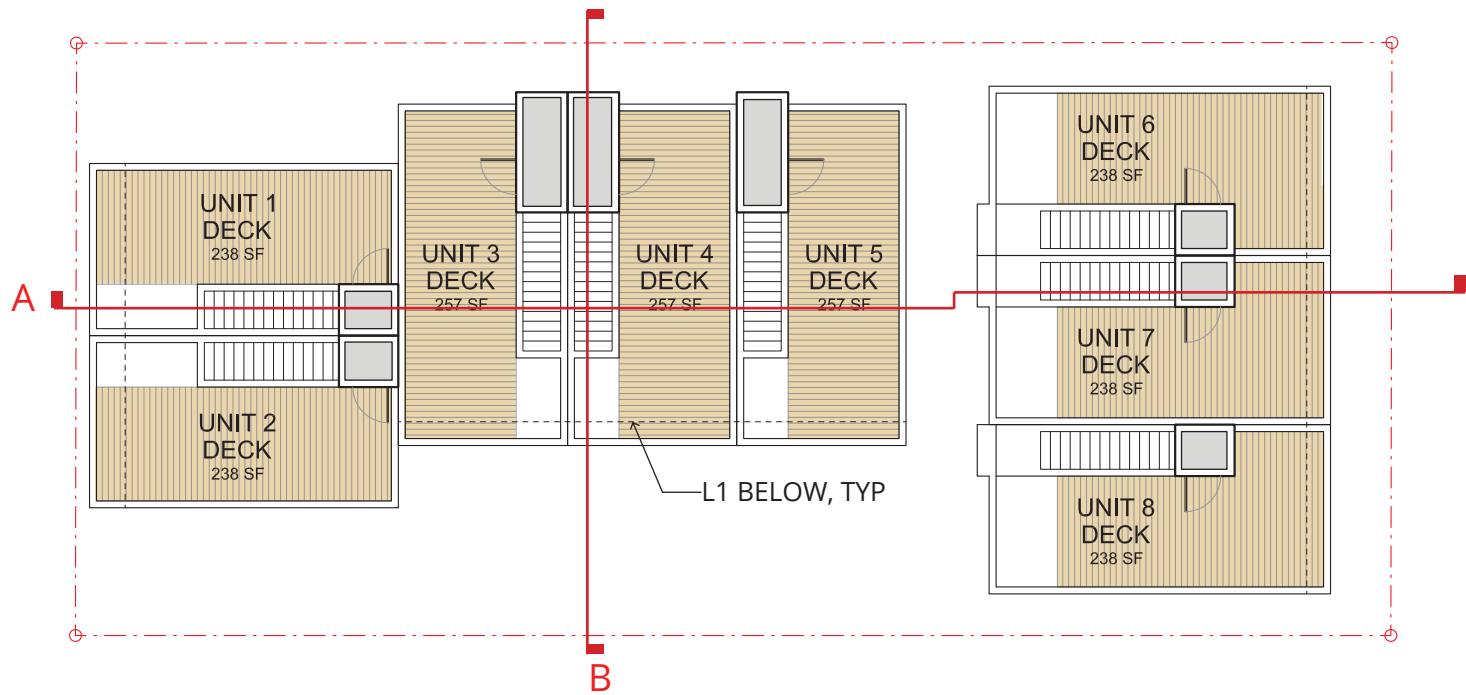


AERIAL PERSPECTIVE LOOKING AT SOUTHEAST CORNER



PERSPECTIVE LOOKING AT SOUTHWEST CORNER 4TH AVE NE

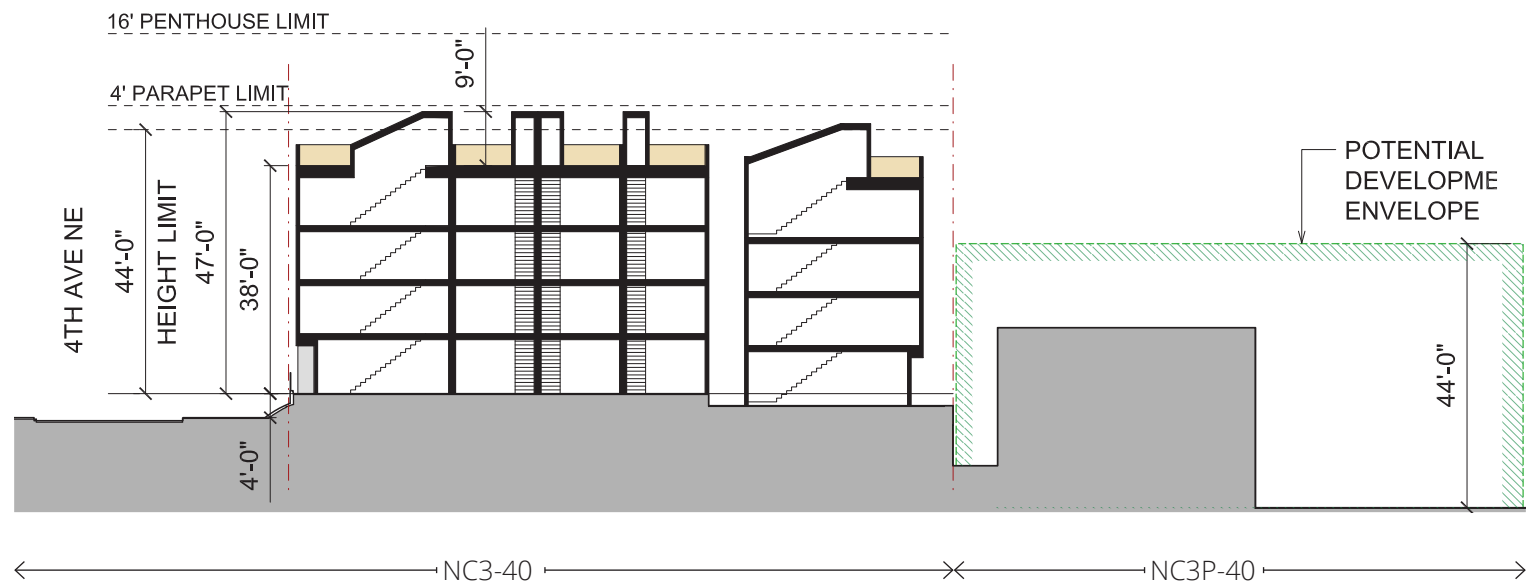
SCHEME B: STAGGERED



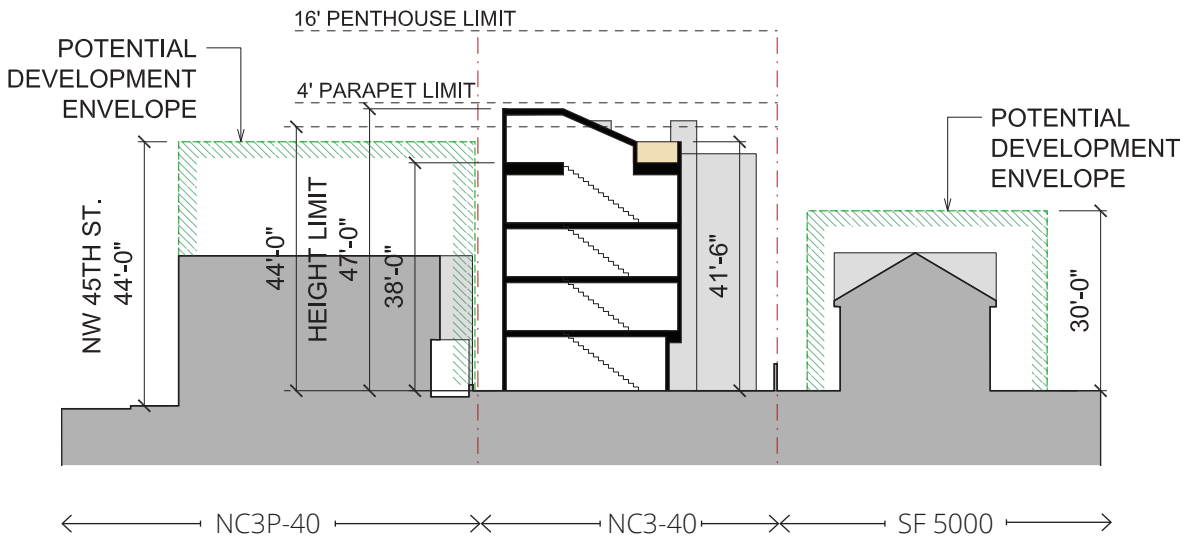
- ROOF PLAN**
SCALE: 1/16" = 1'-0"
- PRIVATE AMENITY
 - RESIDENTIAL
 - PROPERTY LINE
 - POTENTIAL DEVELOPMENT



BIRD'S EYE VIEW FROM SOUTHWEST



SECTION A
SCALE: 1/32" = 1'-0"

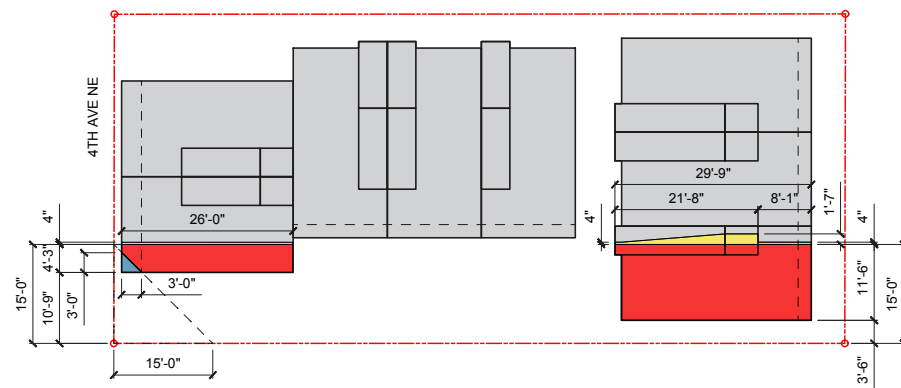


SECTION B
SCALE: 1/32" = 1'-0"

DEPARTURES: SCHEME B

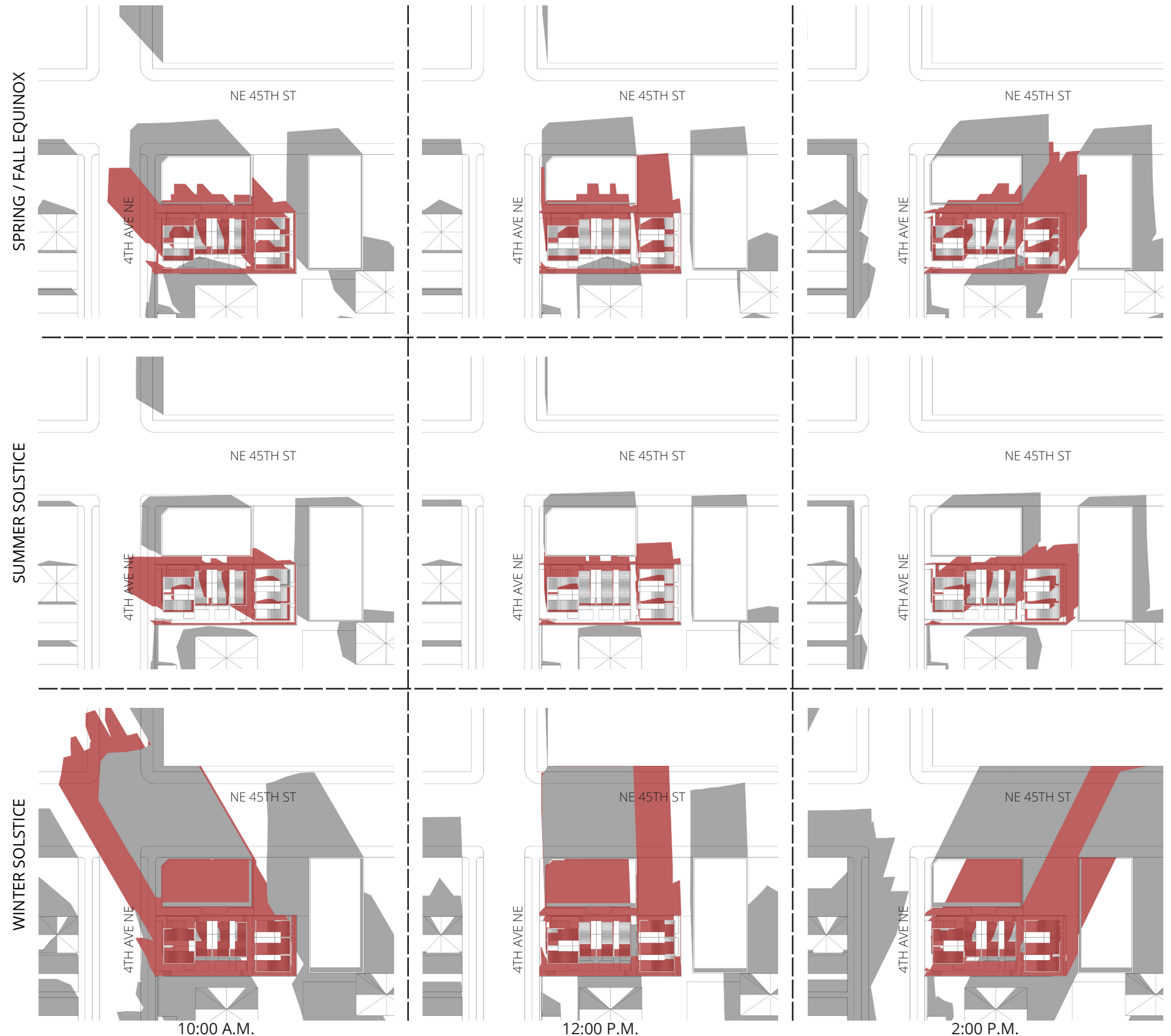
- **#1** SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone
 - REQUIRED: 15' setback above 13' up to 40' in height
 - PROPOSED: UNIT 2 = 10'-9" setback above 13' - 40' for 26' facade length
UNIT 8 = 3'-6" setback above 13'-40' for 29'-9" facade length
- **#2** SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone
 - REQUIRED: additional 2' setback for every 10' above 40' in height
 - PROPOSED: UNIT 2 = 10'-9" setback for additional 1'-6" above 40' (4" depth max.) / UNIT 8 = 3'-6" setback for additional 8' above 40' (19" depth max. @ penthouse, 4" depth max. @ parapet)
- **#3** SMC 23.47A.014.B.1 - Triangular Setback Abutting Residential Zone
 - REQUIRED: 15' x 15' triangular setback at SW parcel corner
 - PROPOSED: Encroach setback at Levels 2-Roof for 3' x 3' triangular area

***SEE DEPARTURE MATRIX ON PAGE 28 FOR PRIORITY GUIDELINES AND JUSTIFICATION**



PERSPECTIVE FROM SOUTHWEST

SUN PATH / SHADOW STUDY: SCHEME B



SCHEME C: PREFERRED

11,434 GSF
8 TOWNHOMES
2,414 SF- TOTAL PRIVATE AMENITY
542 SF - AT GRADE
1,872 SF - ROOF DECK
1.93 FAR - 10,662 GFA

POSITIVE

- Balanced massing, no penthouse bulk
- Corner window opportunities avoid direct line of sight into neighboring units
- Greater structure setback at the street
- Clear, predominant entry at street
- Equal consideration for existing residential uses to North, South and East
- Variety in amenity spaces
- Multiple units facing the street
- Wider, more flexible unit layout
- Opportunity for clear architectural concept

NEGATIVE

- Departures requested
- Greater buffer to North and East reduces buffer to the single family zone to the South.
- Trash area adjacent to single family zone

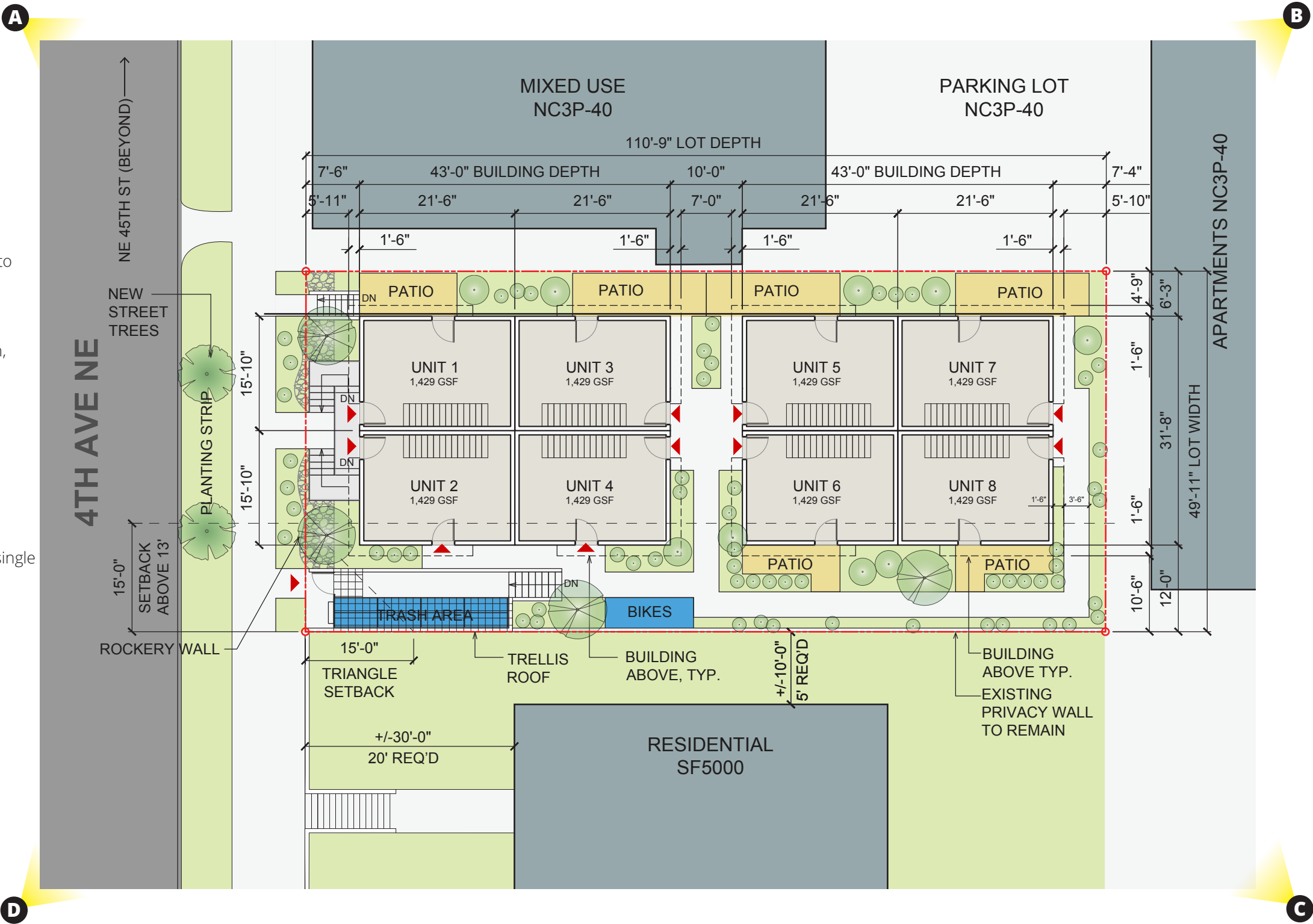
PRIMARY ENTRANCE

RESIDENTIAL

SERVICE

PRIVATE AMENITY

PERSPECTIVE VIEW ORIENTATION



SITE / STREET LEVEL PLAN

SCALE: 1/16" = 1'-0"



SCHEME C: PREFERRED



PERSPECTIVE LOOKING AT NORTHWEST CORNER FROM NE 45TH ST



PERSPECTIVE LOOKING AT NORTHEAST CORNER FROM NE 45TH ST



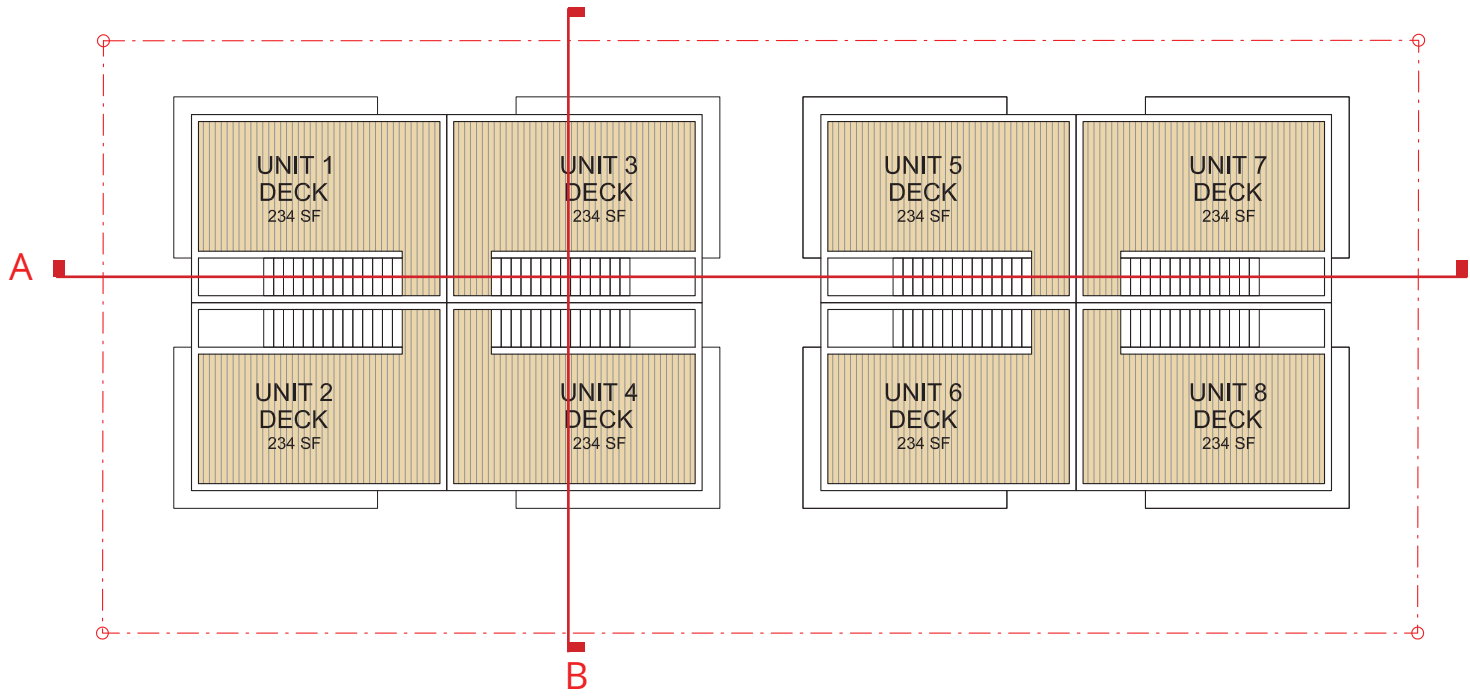
AERIAL PERSPECTIVE LOOKING AT SOUTHEAST CORNER



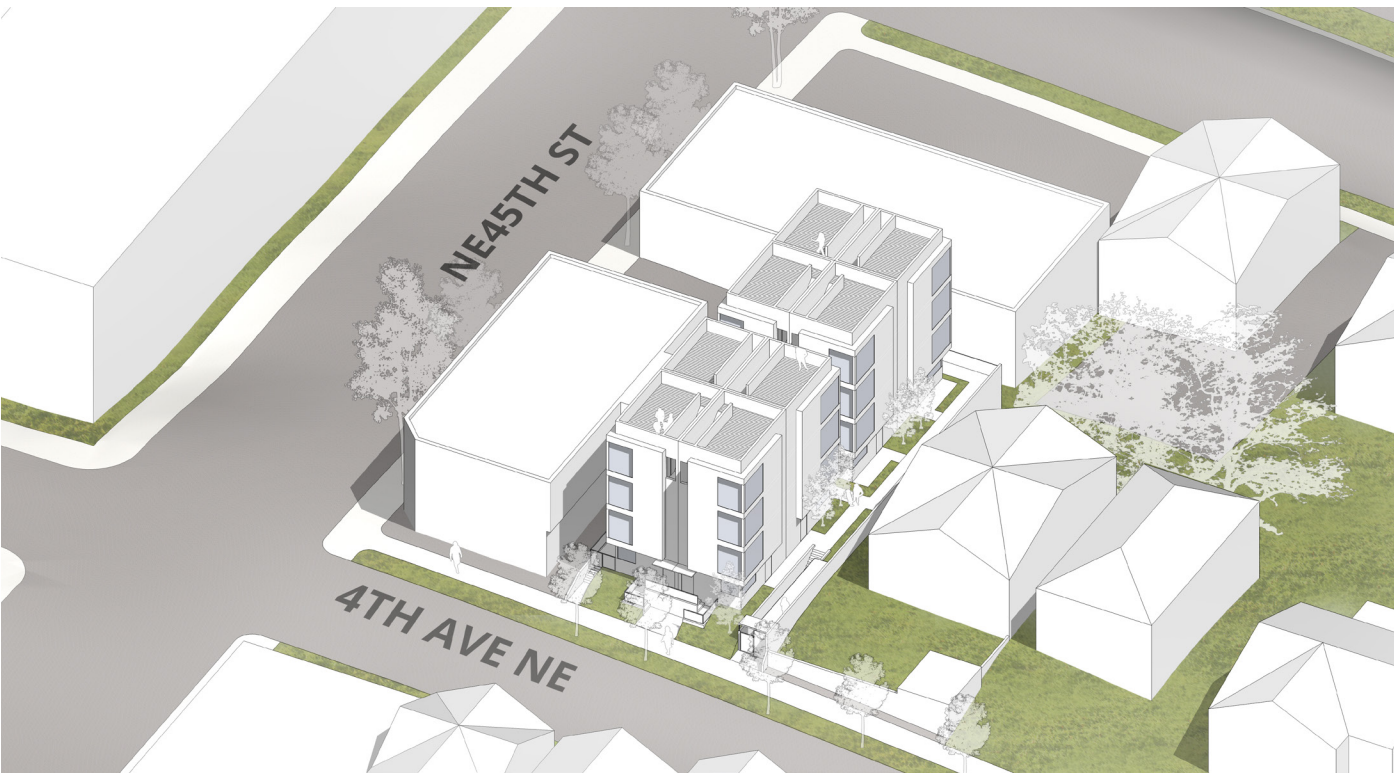
PERSPECTIVE LOOKING AT SOUTHWEST CORNER 4TH AVE NE

SCHEME C: PREFERRED

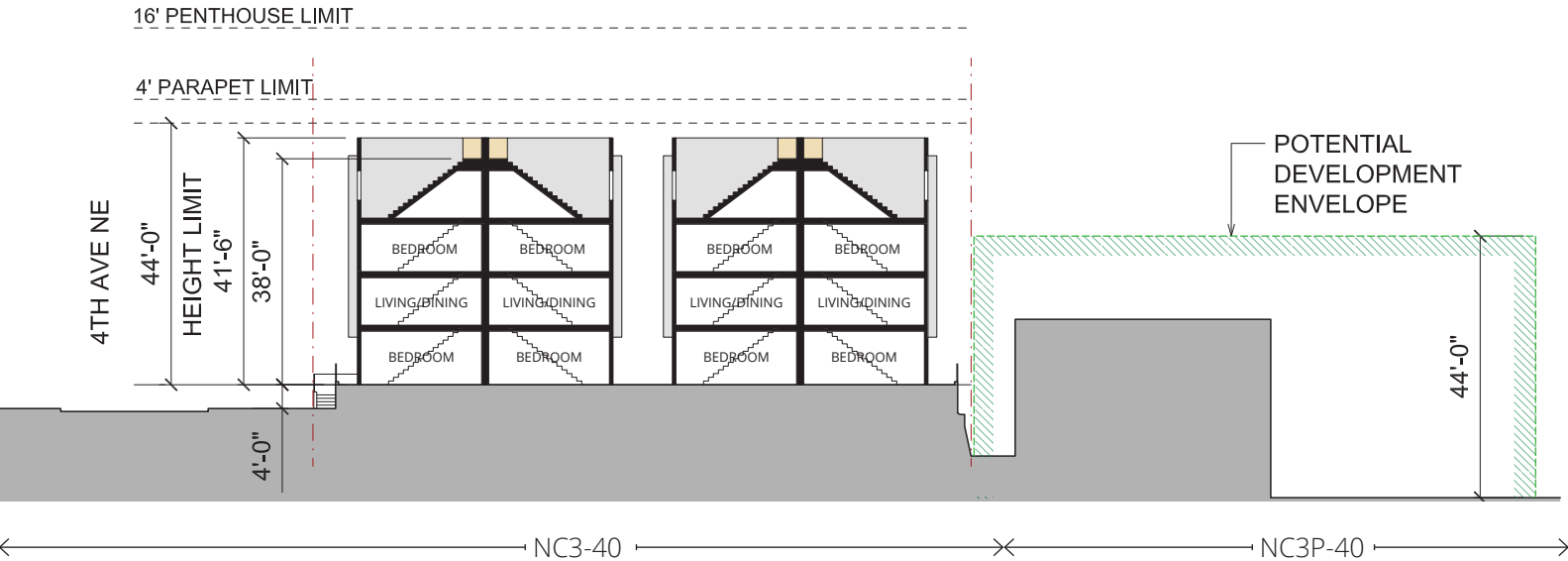
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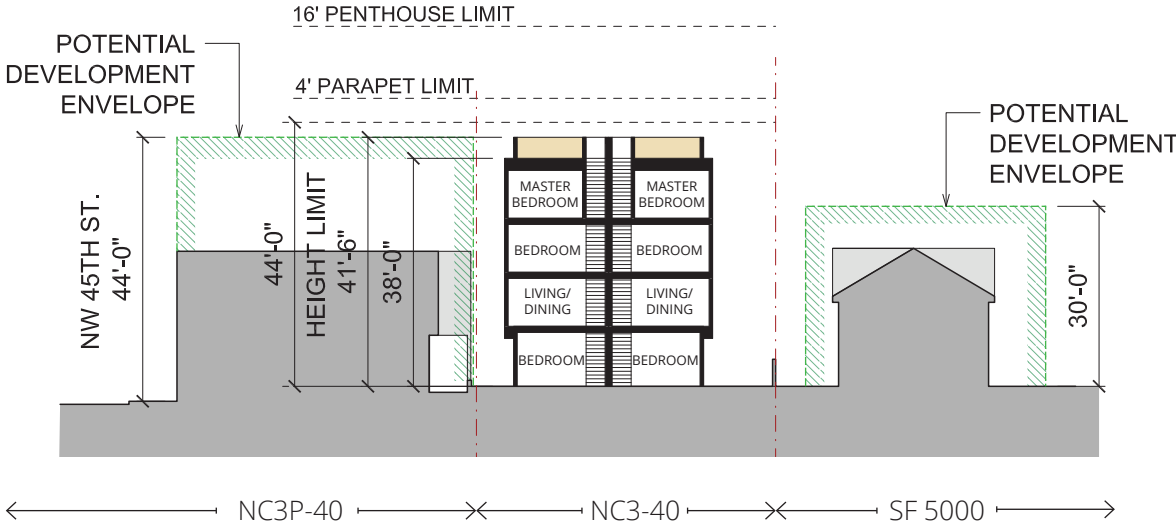
- ROOF PLAN**
SCALE: 1/16" = 1'-0"
- PRIVATE AMENITY
- RESIDENTIAL
- PROPERTY LINE
- POTENTIAL DEVELOPMENT



BIRD'S EYE VIEW FROM SOUTHWEST



SECTION A
SCALE: 1/32" = 1'-0"

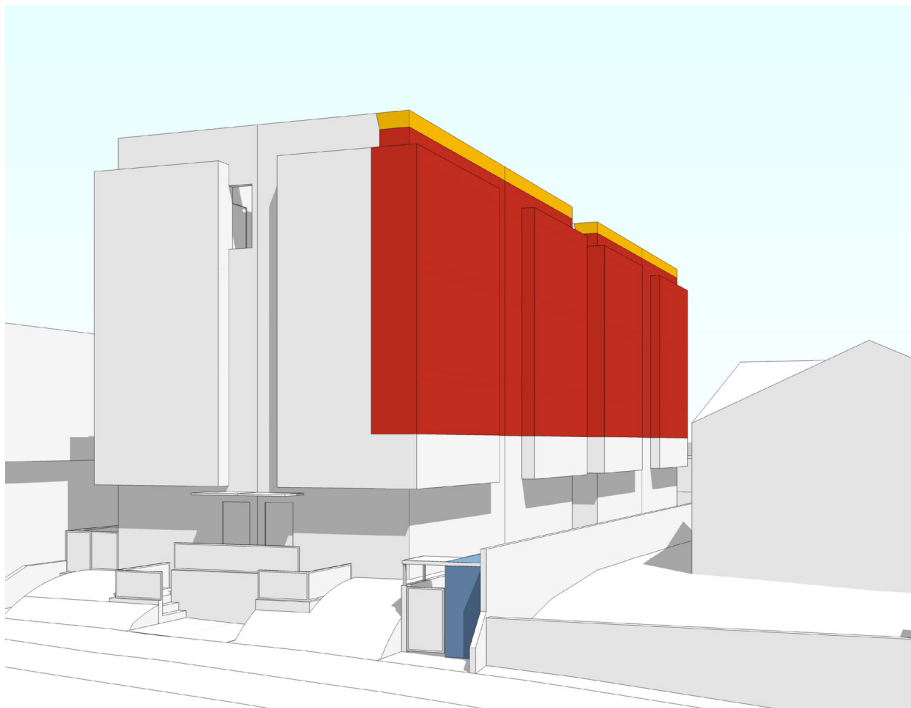
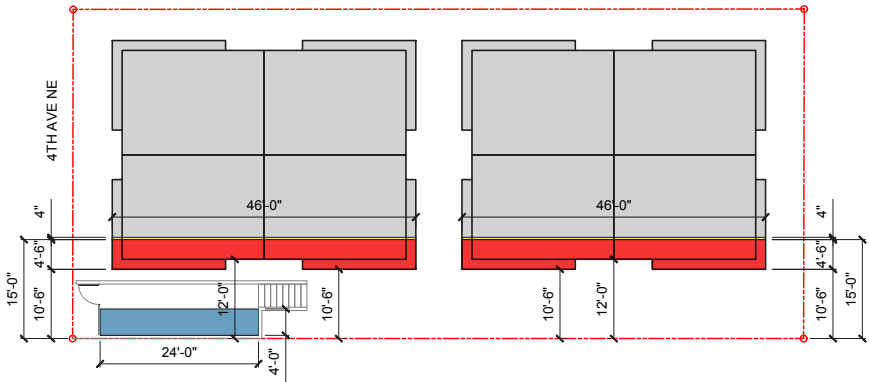


SECTION A
SCALE: 1/32" = 1'-0"

DEPARTURES: SCHEME C

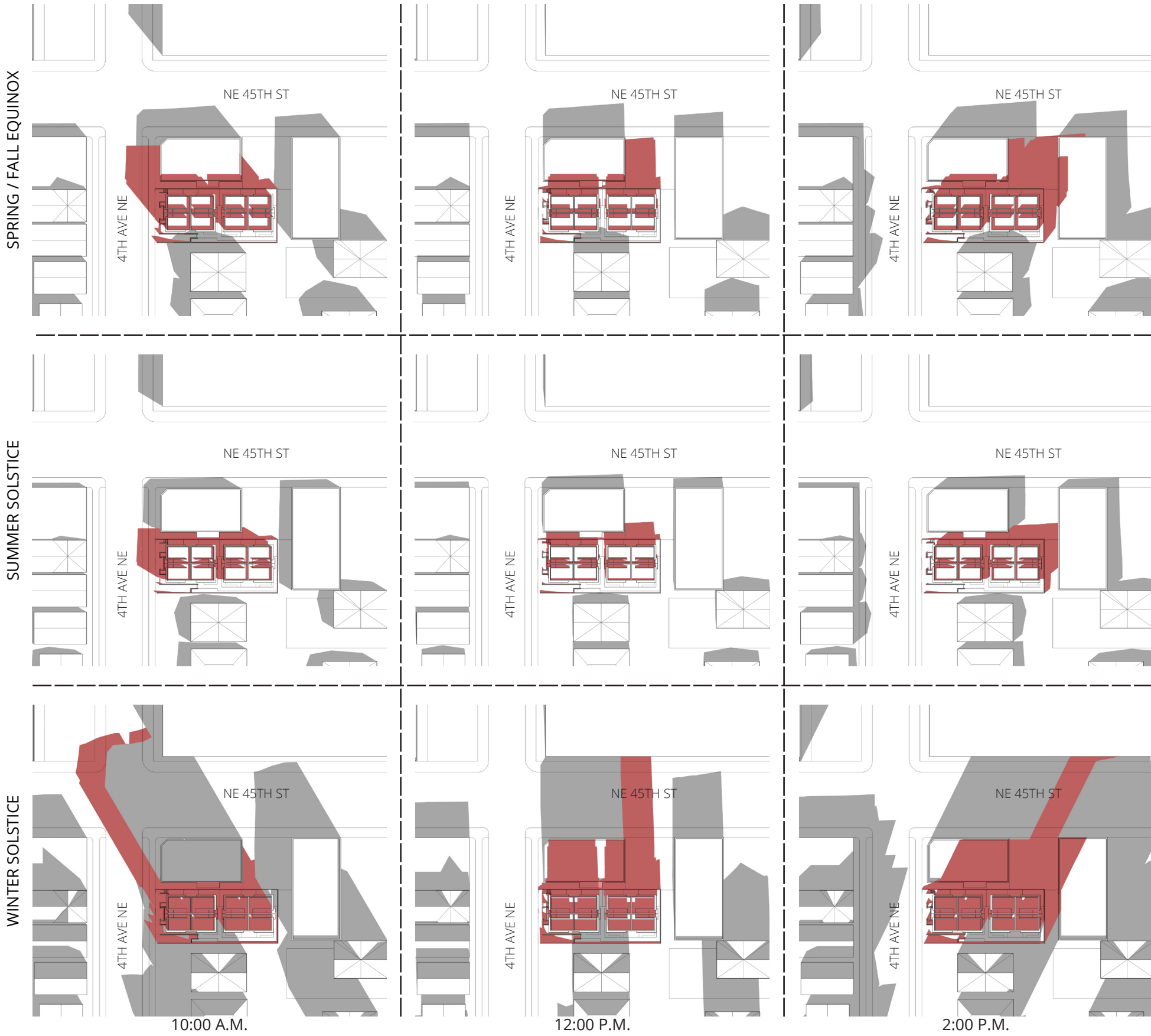
- #1 SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone
 - REQUIRED: 15' setback above 13' up to 40' in height
 - PROPOSED: 10'-6" setback above 13' - 40' for total of 92' combined facade length
- #2 SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone
 - REQUIRED: additional 2' setback for every 10' above 40' in height
 - PROPOSED: 10'-6" setback for additional 1'-6" above 40' (4" depth max.)
- #3 SMC 23.47A.014.E.8 - Dumpsters in required Setback
 - REQUIRED: Trash receptacles located outside not permitted within 10' of lot line that abuts residential zone
 - PROPOSED: Trash receptacles located within 4' of residential neighbor

*SEE DEPARTURE MATRIX ON PAGE 28 FOR PRIORITY GUIDELINES AND JUSTIFICATION



PERSPECTIVE FROM SOUTHWEST

SUN PATH / SHADOW STUDY: SCHEME C



SCHEME C.1: ALTERNATE

11,434 GSF
8 TOWNHOMES
2,366 SF- TOTAL PRIVATE AMENITY
494 SF - AT GRADE
1,872 SF - ROOF DECK
1.93 FAR - 10,662 GFA

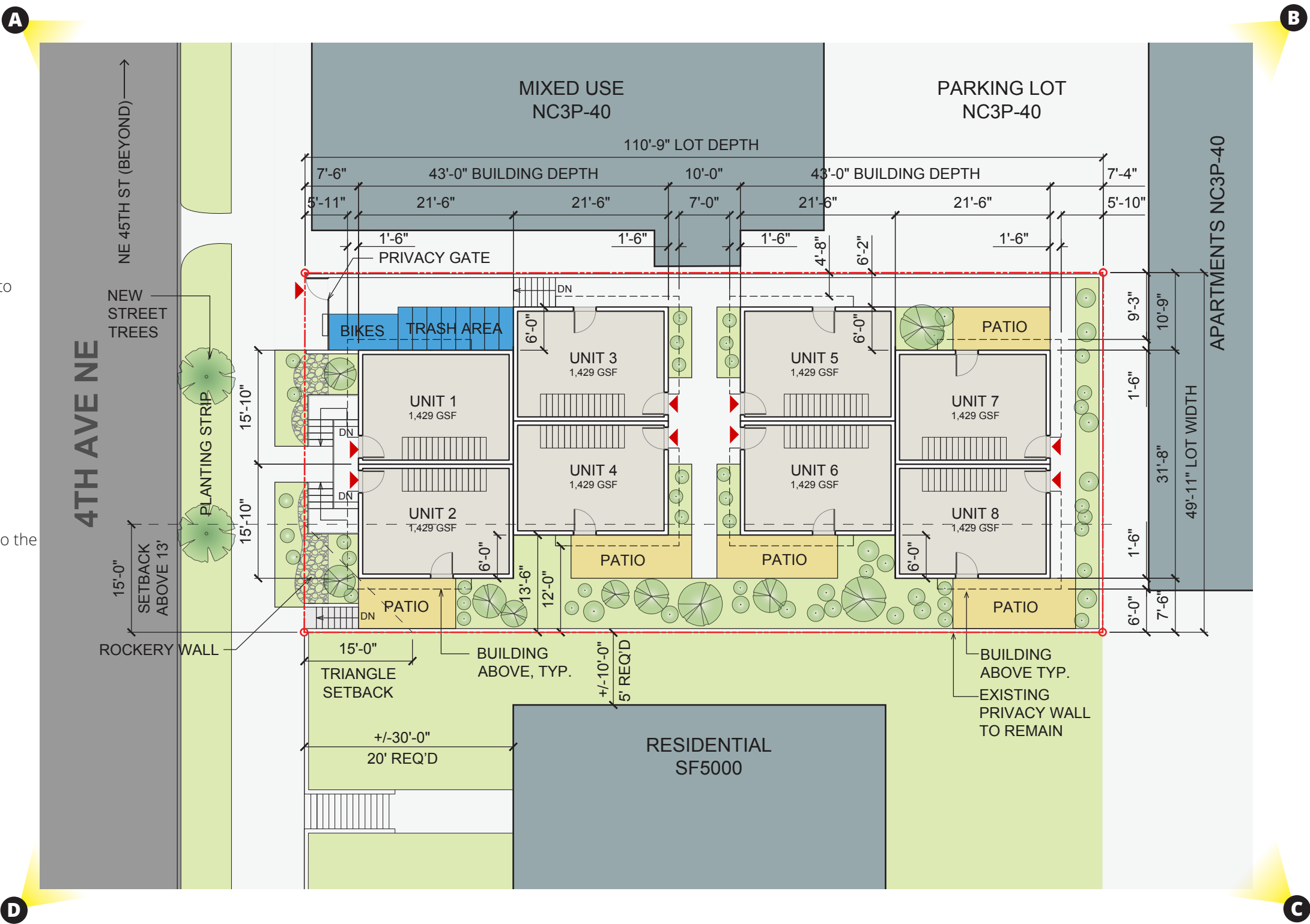
POSITIVE

- Building footprint responds south neighbor
- Balanced massing, no penthouse bulk
- Corner window opportunities avoid direct line of sight into neighboring units
- Greater structure setback at the street
- Clear, predominant entry at street
- Large private amenity opportunities at grade
- Multiple units facing the street
- Wider, more flexible unit layout
- Opportunity for clear architectural concept

NEGATIVE

- Departures requested
- Greater buffer to North and East creates smaller buffer to the single family zone to the South.
- Trash area adjacent to SF zone

- ▶ PRIMARY ENTRANCE
- RESIDENTIAL
- SERVICE
- PRIVATE AMENITY
- A PERSPECTIVE VIEW ORIENTATION



SITE / STREET LEVEL PLAN

SCALE: 1/16" = 1'-0"



SCHEME C.1: ALTERNATE



PERSPECTIVE LOOKING AT NORTHWEST CORNER FROM NE 45TH ST



PERSPECTIVE LOOKING AT NORTHEAST CORNER FROM NE 45TH ST

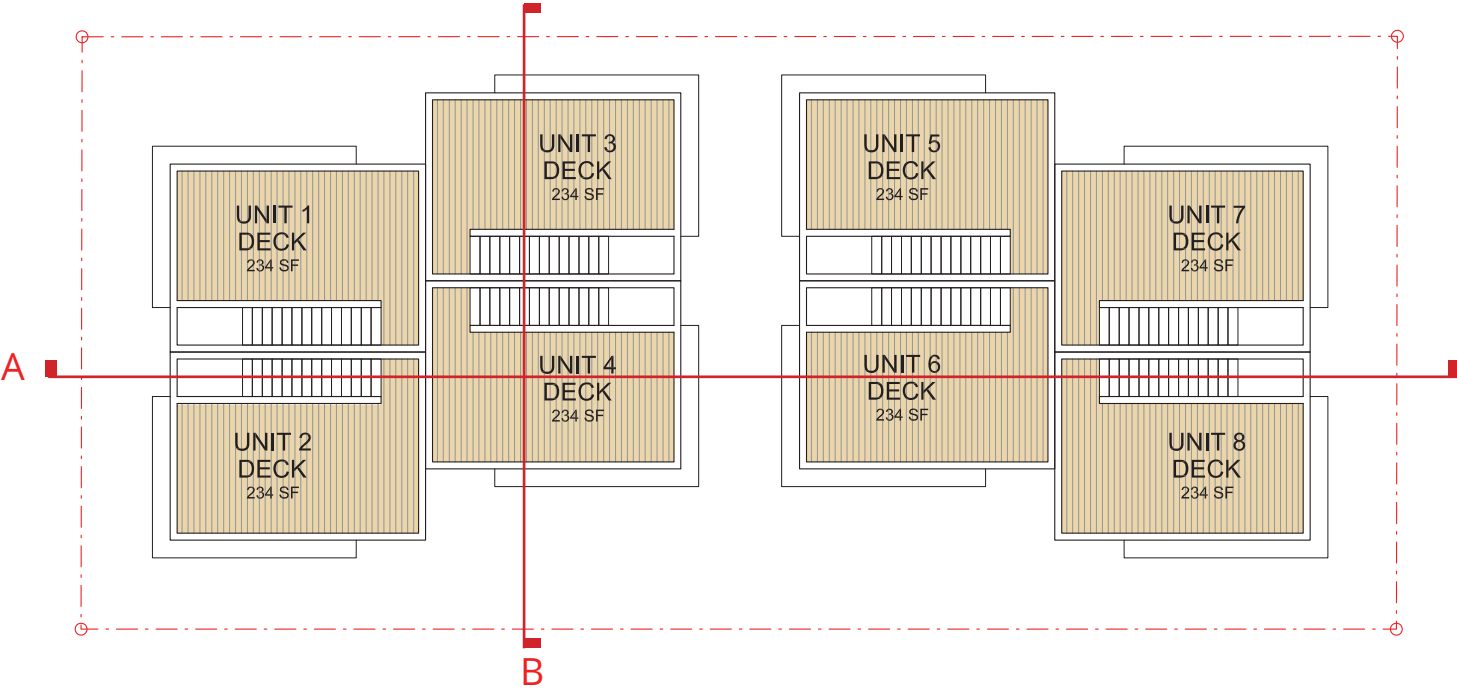


AERIAL PERSPECTIVE LOOKING AT SOUTHEAST CORNER

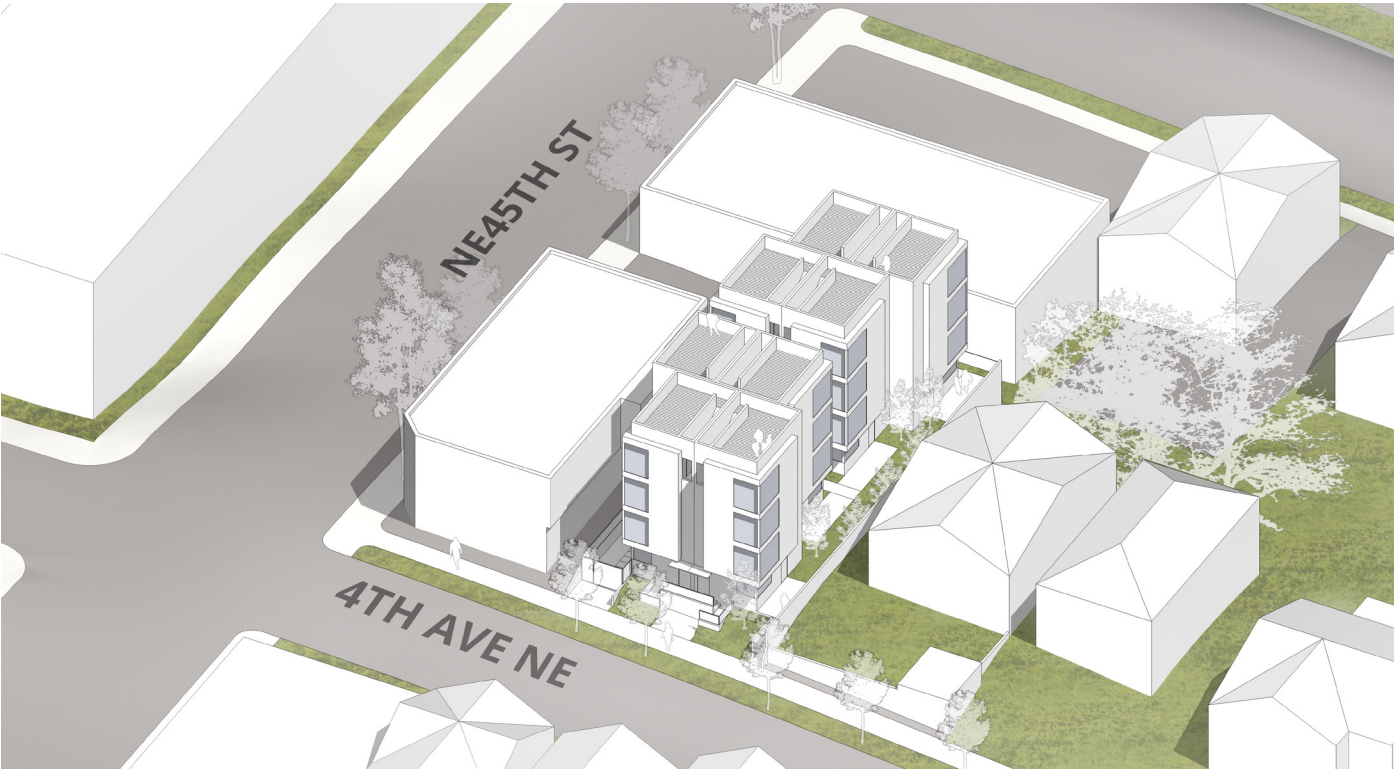


PERSPECTIVE LOOKING AT SOUTHWEST CORNER 4TH AVE NE

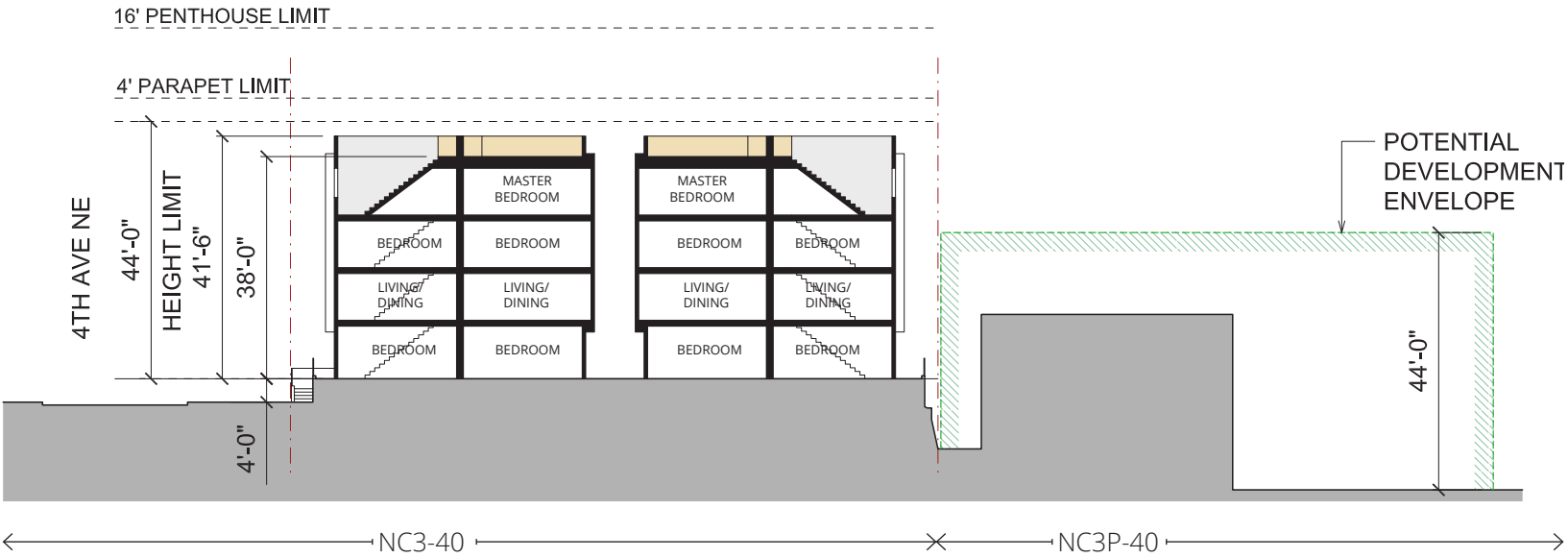
SCHEME C.1: ALTERNATE



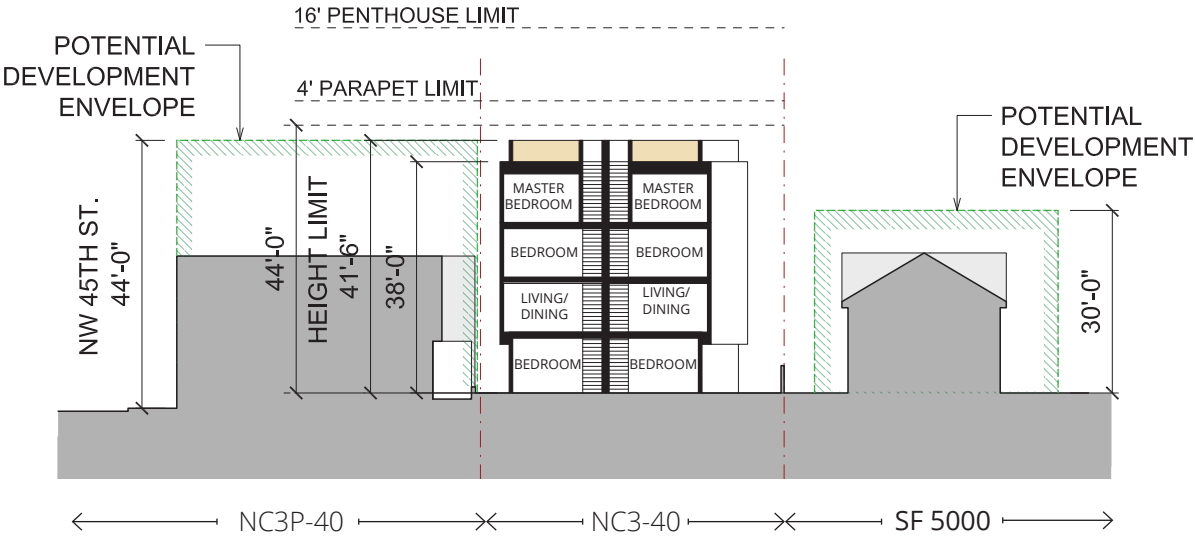
- ROOF PLAN**
SCALE: 1/16" = 1'-0"
- PRIVATE AMENITY
 - RESIDENTIAL
 - PROPERTY LINE
 - POTENTIAL DEVELOPMENT



BIRD'S EYE VIEW FROM SOUTHWEST



SECTION A

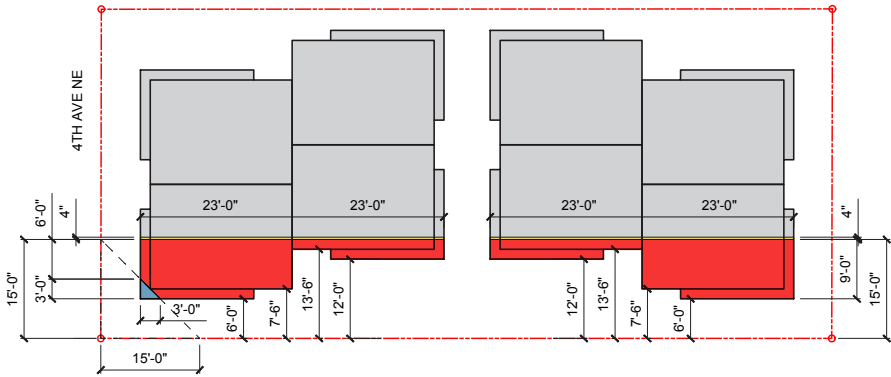


SECTION B

DEPARTURES: SCHEME C.1

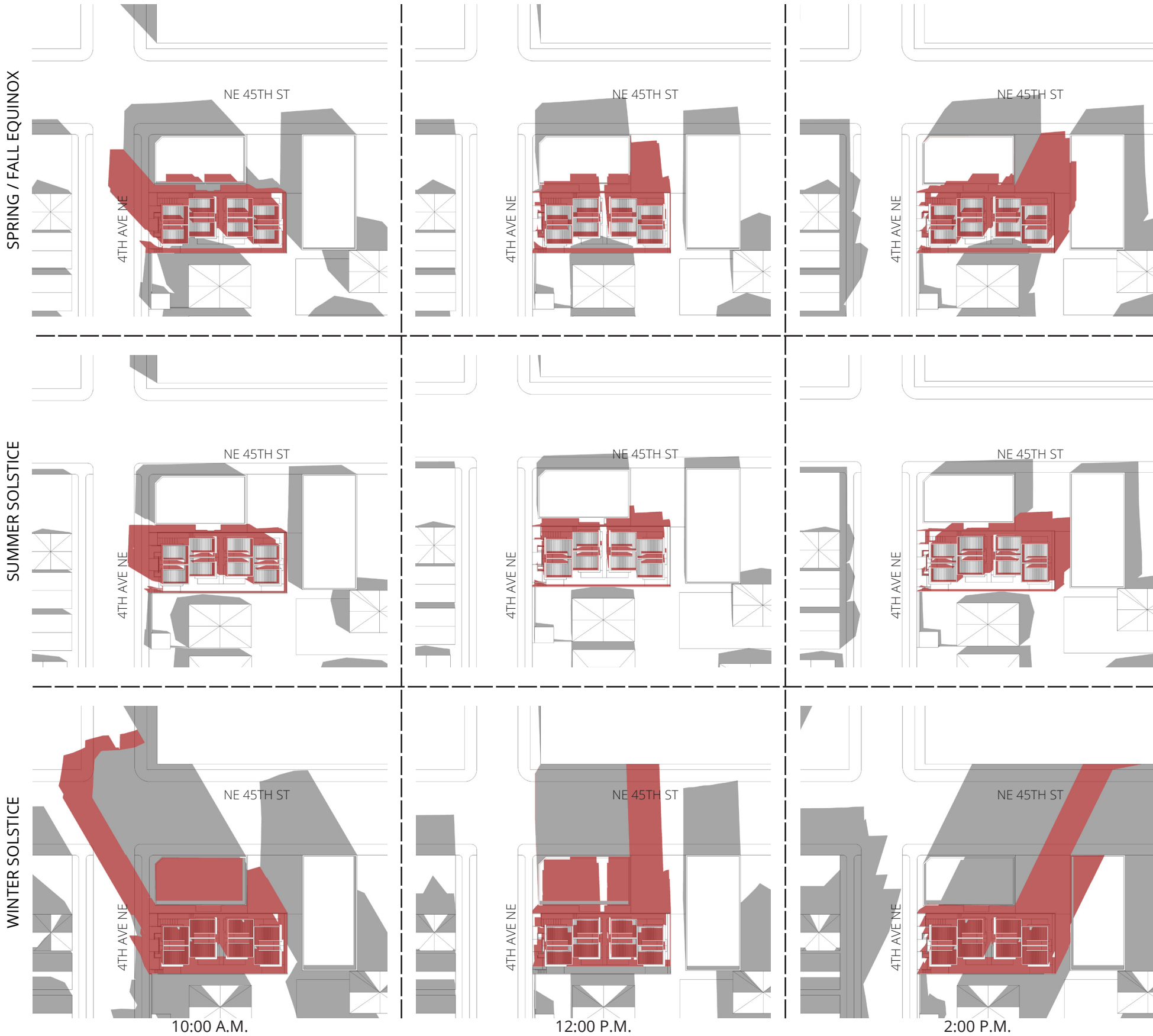
- #1** SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone
 - REQUIRED: 15' setback above 13' up to 40' in height
 - PROPOSED: 13'-6" max. setback / 6'-0" min. setback above 13' - 40' in height. 9'-6" average setback for 92' combined facade length
- #2** SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone
 - REQUIRED: additional 2' setback for every 10' above 40' in height
 - PROPOSED: maintain 9'-6" average setback for additional 1'-6" above 40' (4" depth max.)
- #3** SMC 23.47A.014.B.1 - Triangular Setback Abutting Residential Zone
 - REQUIRED: 15' x15' triangular setback at SW parcel corner
 - PROPOSED: Encroach setback at Levels 2-Roof for 3' x 3' triangular area

*SEE DEPARTURE MATRIX ON PAGE 29 FOR PRIORITY GUIDELINES AND JUSTIFICATION



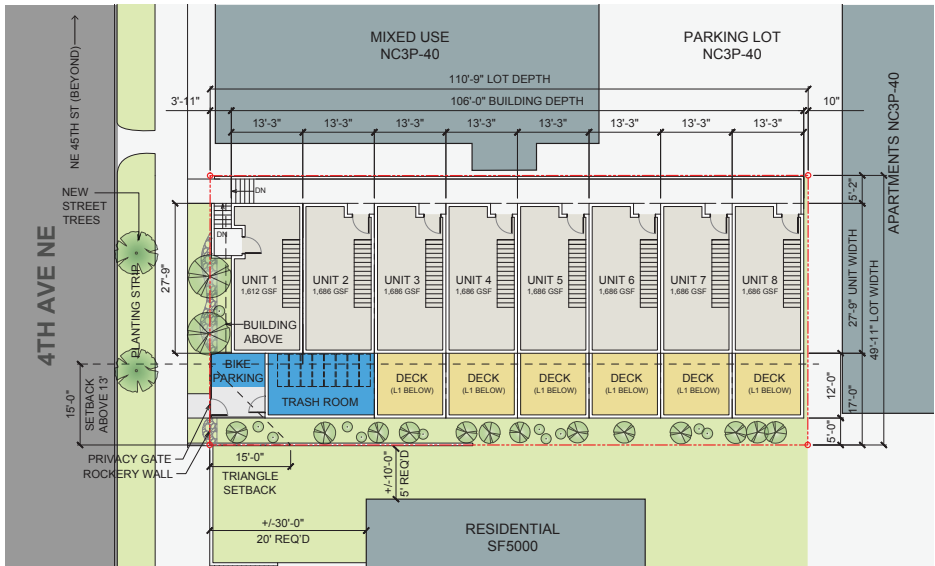
PERSPECTIVE FROM SOUTHWEST

SUN PATH / SHADOW STUDY: SCHEME C.1

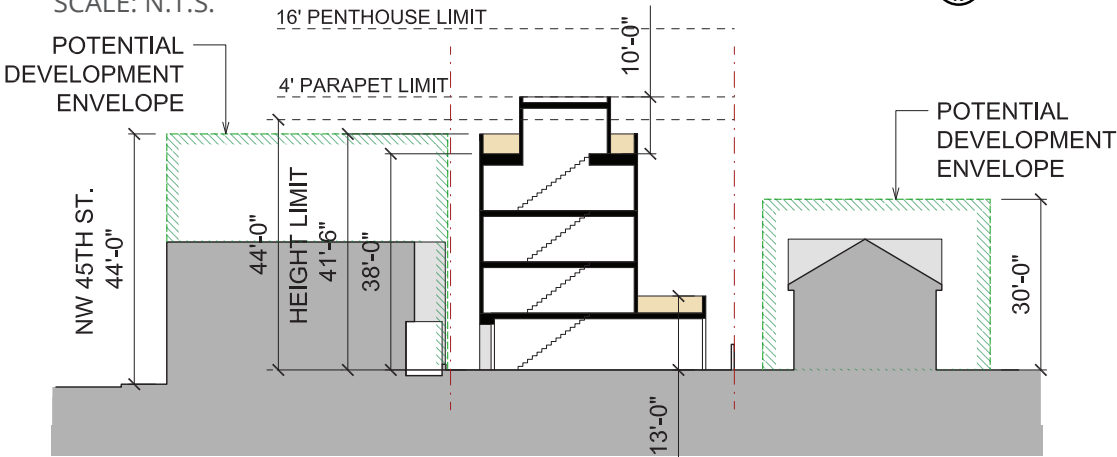


SCHEME SUMMARY

SCHEME A: COMPLIANT

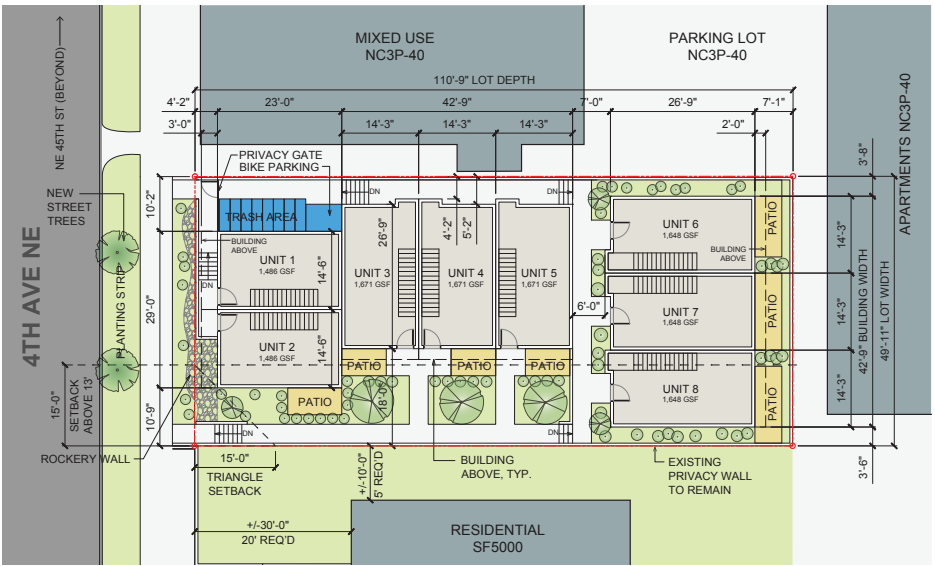


SITE PLAN
SCALE: N.T.S.

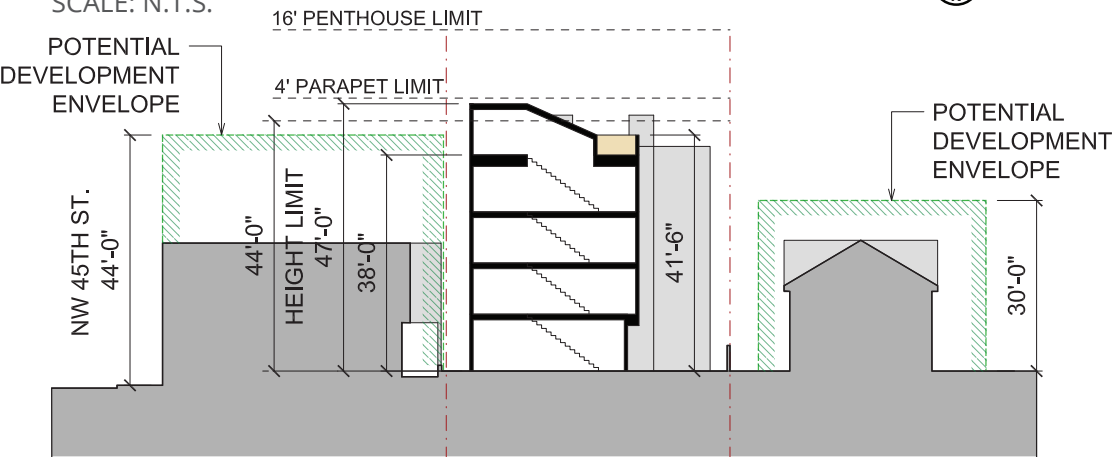


SECTION LOOKING EAST
SCALE: N.T.S.

SCHEME B: STAGGERED

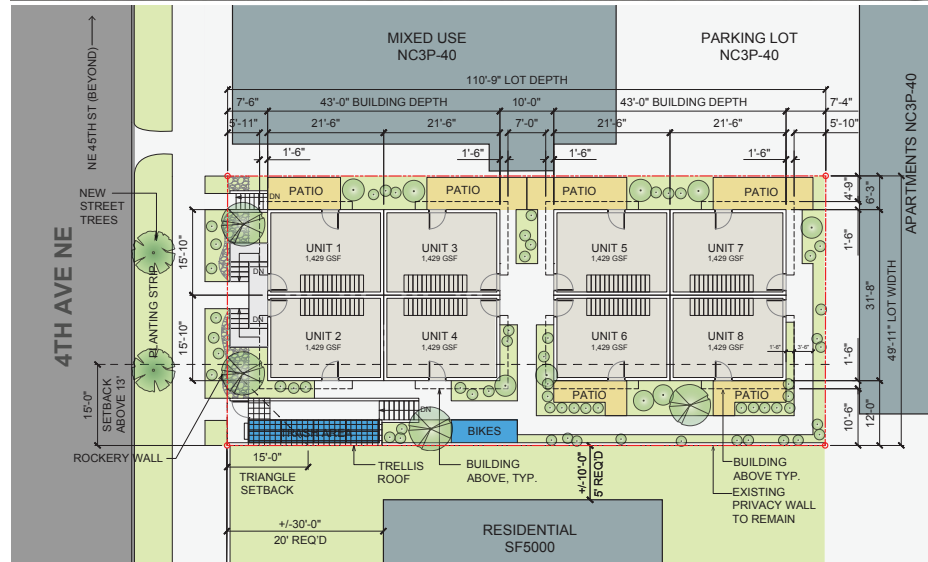


SITE PLAN
SCALE: N.T.S.

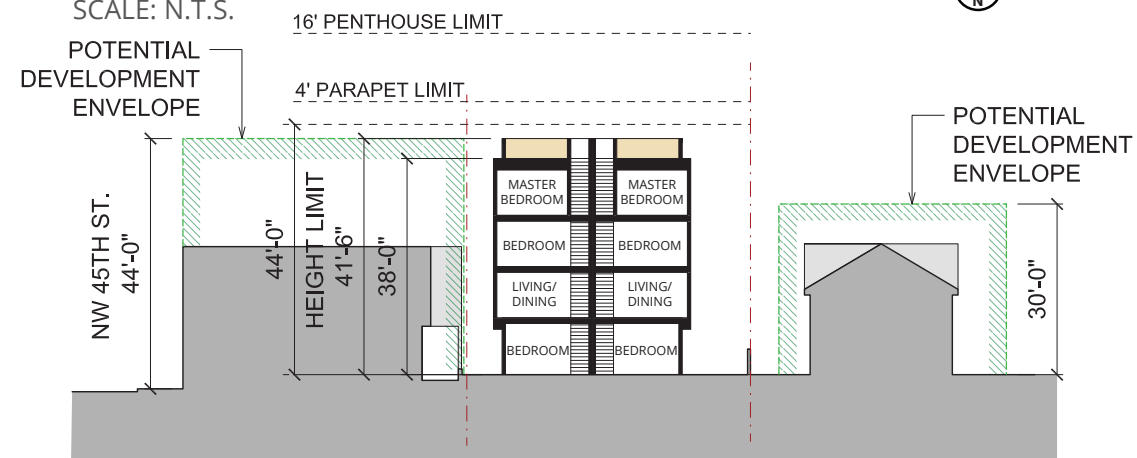


SECTION LOOKING EAST
SCALE: N.T.S.

SCHEME C: PREFERRED

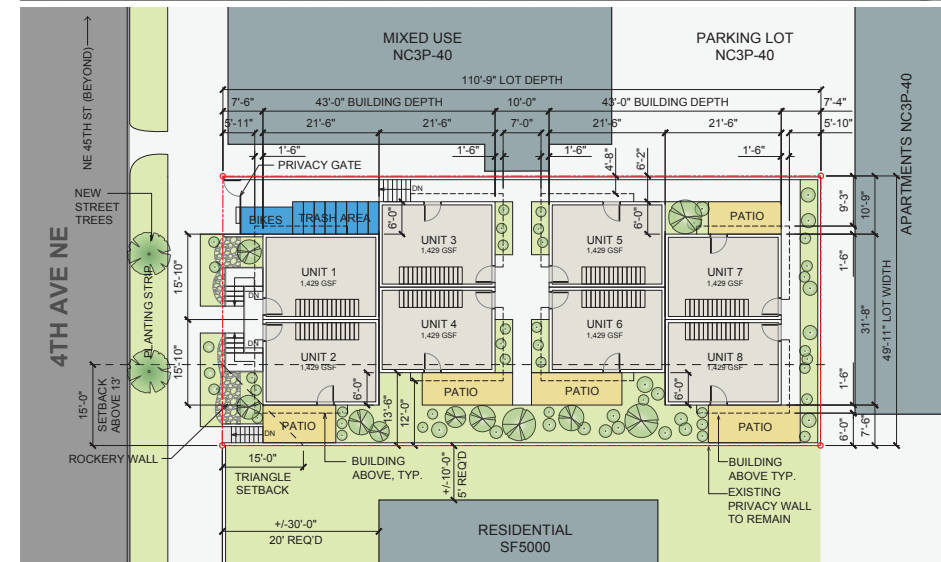


SITE PLAN
SCALE: N.T.S.

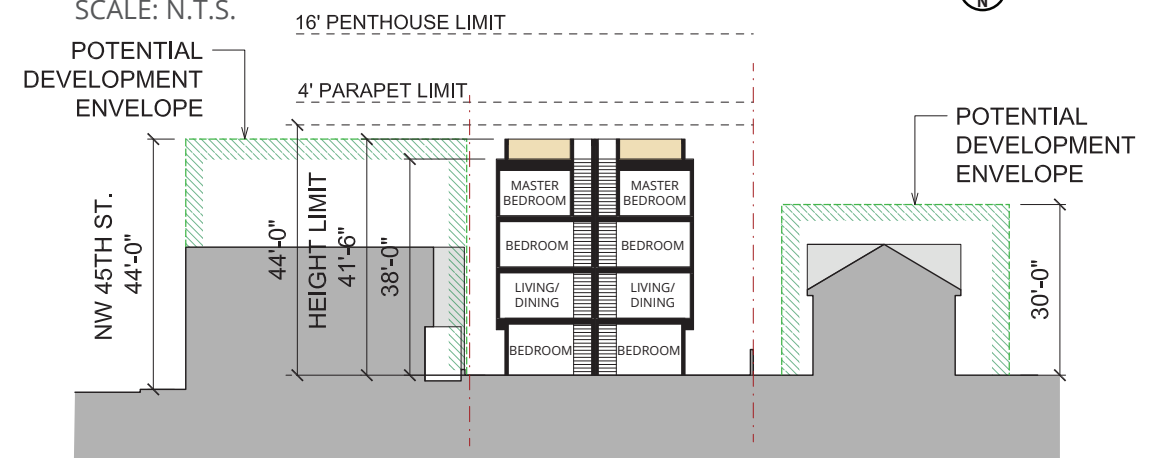


SECTION LOOKING EAST
SCALE: N.T.S.

SCHEME C.1: ALTERNATE



SITE PLAN
SCALE: N.T.S.



SECTION LOOKING EAST
SCALE: N.T.S.

DEPARTURE MATRIX

SCHEME A: CODE COMPLIANT

NO DEPARTURES REQUESTED

SCHEME B: STAGGERED

- DEPARTURE #1** SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone
 - REQUIRED: 15' setback above 13' up to 40' in height
 - PROPOSED: UNIT 2 = 10'-9" setback above 13' - 40' for 26' facade length / UNIT 8 = 3'-6" setback above 13'-40' for 29'-9" facade length

JUSTIFICATION

- GUIDELINES: DC2/A Massing, CS2/D.3 Zone Transitions, CS2/D.5 Respect for Adjacent Sites
- The siting of the units is a direct response to the location of the property to the south. A large, level landscape buffer is provided at the site where the south neighbor is closest to the property line. The units at the rear are pushed closer to the south property line to provide visibility to/from the street. The units facing the street are positioned to allow adequate space for site access and services.

- DEPARTURE #2** SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone
 - REQUIRED: additional 2' setback for every 10' above 40' in height
 - PROPOSED: UNIT 2 = 10'-9" setback for additional 1'-6" above 40' (4" depth max.) / UNIT 8 = 3'-6" setback for additional 8' above 40' (19" depth max. @ penthouse, 4" depth max. @ parapet)

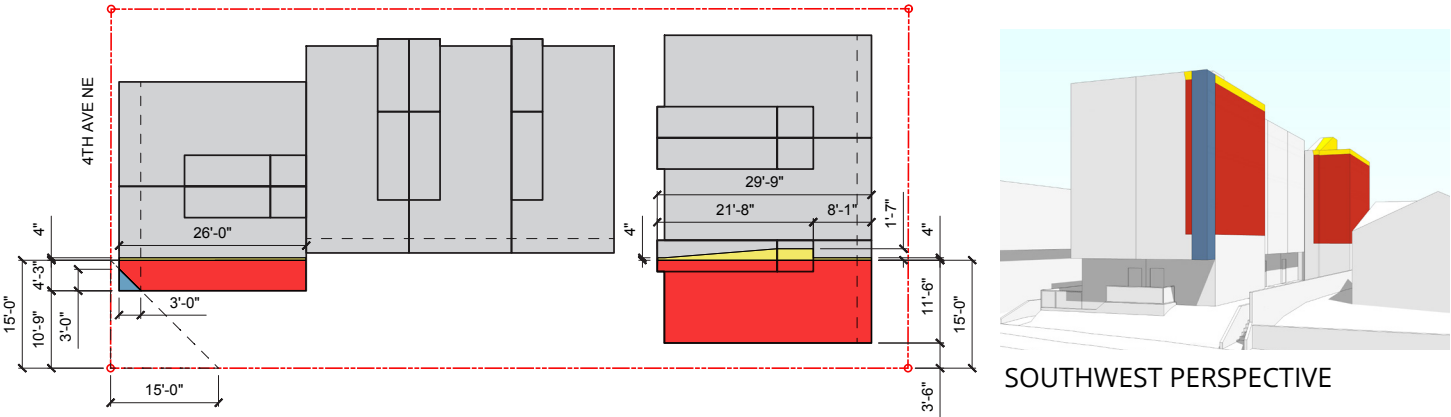
JUSTIFICATION

- GUIDELINES: CS2/D.1 Height, Bulk & Scale, DC2/B.1 Facade Composition
- The reduced setback above 40' allows the building to logically terminate with minimal additional setbacks required at the parapets. The penthouse located in the setback is as far away from the residential zone as possible, considering the justification stated in departure #1 above.

- DEPARTURE #3** SMC 23.47A.014.B.1 - Triangular Setback Abutting Residential Zone
 - REQUIRED: 15' x15' triangular setback at SW parcel corner
 - PROPOSED: Encroach setback at Levels 2-Roof for 3' x 3' triangular area

JUSTIFICATION

- GUIDELINES: PL3/B Residential Edges, CS2/D.5 Respect for Adjacent Uses
- Units facing street are pushed south to allow for site access and service uses at the NW corner; they are pushed west towards the street to allow adequate unit widths and structure setbacks for the rear units.



DEPARTURE MATRIX

SCHEME C: PREFERRED

- DEPARTURE #1** SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone

 - REQUIRED: 15' setback above 13' up to 40' in height
 - PROPOSED: 10'-6" setback above 13' - 40' for total of 92' combined facade length

JUSTIFICATION

 - GUIDELINES: DC2/A Massing, DC2/B.1 Facade Composition, DC1/A.4 Views + Connections
 - Centrally located structures offer equal consideration to the existing residential uses to the North, South and East. The wider, versus narrow unit allows for more versatile, useful interior spaces. These interior spaces accommodate corner windows which avoid direct views to the neighbors and provide enough interior circulation space to eliminate the penthouse pop-up, reducing bulk and creating a more balanced, well proportioned facade composition.
- DEPARTURE #2** SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone

 - REQUIRED: additional 2' setback for every 10' above 40' in height
 - PROPOSED: 10'-6" setback for additional 1'-6" above 40' (4" depth max.)

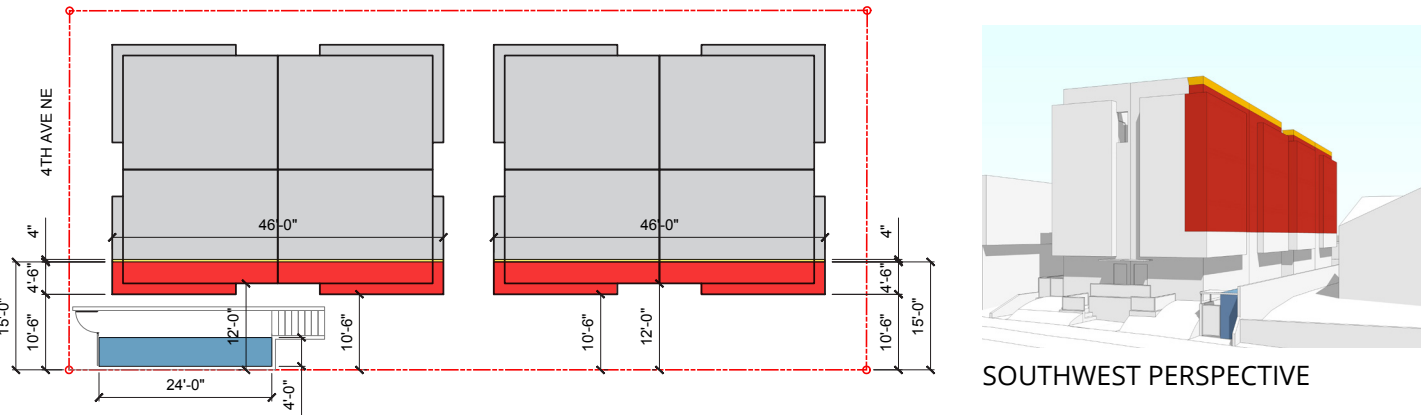
JUSTIFICATION

 - GUIDELINES: CS2/D.1 Height, Bulk & Scale, DC2/B.1 Facade Composition
 - The reduced setback above 40' allows the building to logically terminate and only occurs at the roof deck parapet for an additional 4". A solid parapet provides balance to the base and middle massing.
- DEPARTURE #3** SMC 23.47A.014.E.8 - Dumpsters in required Setback

 - REQUIRED: Trash receptacles located outside not permitted within 10' of lot line that abuts residential zone.
 - PROPOSED: Trash receptacles located within 4' of residential neighbor

JUSTIFICATION

 - GUIDELINES: PL3/2 Ensemble of Elements, DC1/C.4 Service Uses
 - SE corner of lot is protected from residential neighbor by a +/- 4' concrete retaining wall plus an additional +/- 5' of masonry block wall above that. The trash area is not visible to the south neighbor and is integrated into existing site conditions through screening, mailboxes and a trellis structure



SCHEME C.1: ALTERNATE

- DEPARTURE #1** SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone

 - REQUIRED: 15' setback above 13' up to 40' in height
 - PROPOSED: 13'-6" max. setback / 6'-0" min. setback above 13' - 40' in height. 9'-6" average setback for 92' combined facade length

JUSTIFICATION

 - GUIDELINES: DC2/A Massing, CS2/D.3 Zone Transitions, CS2/D.5 Respect for Adjacent Sites
 - The siting of the units is a direct response to the location of the property to the south. A large, level landscape buffer is provided at the site where the south neighbor is closest to the property line. The units at the street front are pushed closer to the south property line to allow adequate space for site access and services. The rear units are pushed south to allow at grade amenity opportunities to more units.
- DEPARTURE #2** SMC 23.47A.014.B.3 - Side Setback Abutting Residential Zone

 - REQUIRED: additional 2' setback for every 10' above 40' in height
 - PROPOSED: maintain 9'-6" average setback for additional 1'-6" above 40' (4" depth max.)

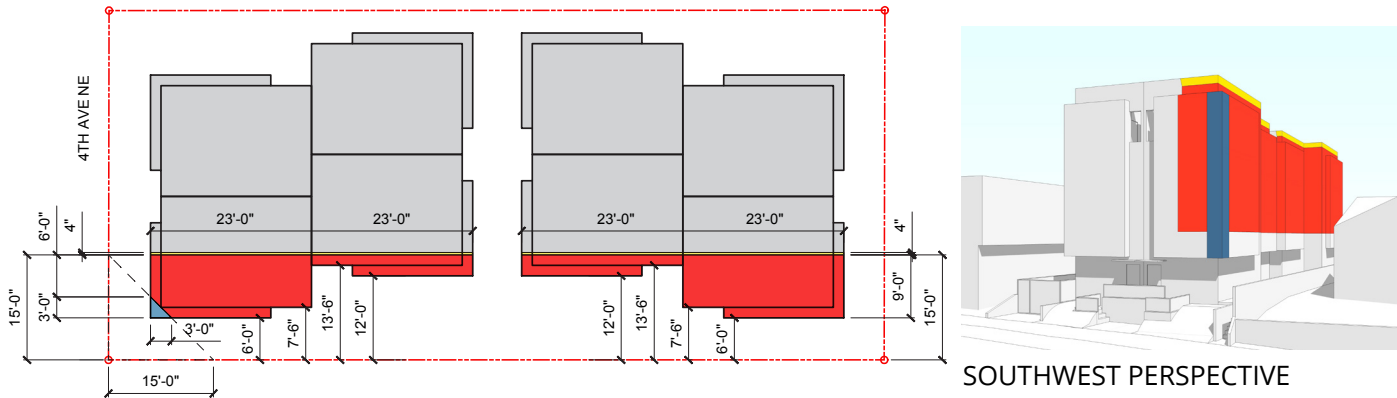
JUSTIFICATION

 - GUIDELINES: CS2/D.1 Height, Bulk & Scale, DC2/B.1 Facade Composition
 - The reduced setback above 40' allows the building to logically terminate and only occurs at the roof deck parapet for an additional 4". A solid parapet provides balance to the base and middle massing.
- DEPARTURE #3** SMC 23.47A.014.B.1 - Triangular Setback Abutting Residential Zone

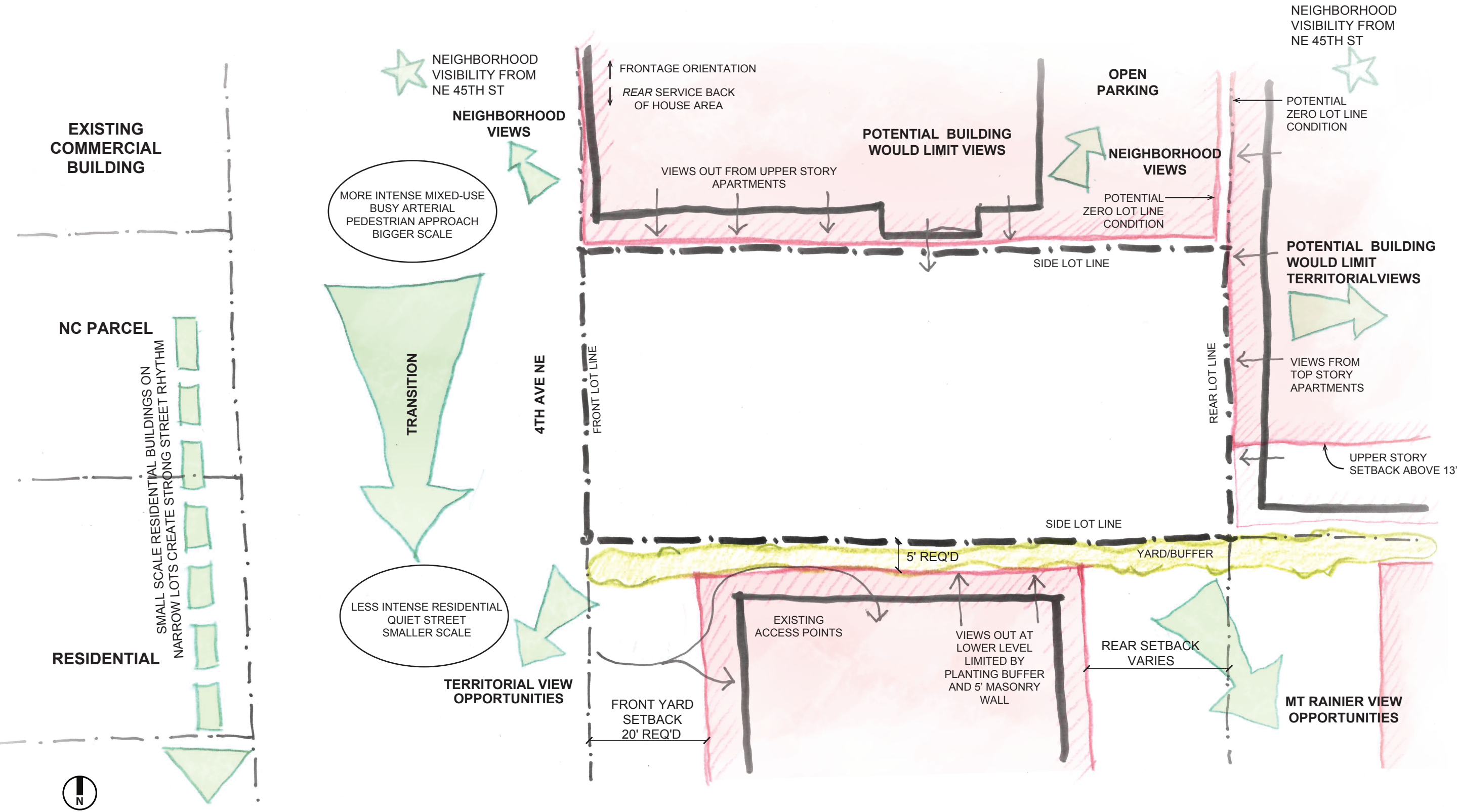
 - REQUIRED: 15' x 15' triangular setback at SW parcel corner
 - PROPOSED: Encroach setback at Levels 2-Roof for 3' x 3' triangular area

JUSTIFICATION

 - GUIDELINES: PL3/B Residential Edges, CS2/D.5 Respect for Adjacent Uses
 - Units facing street are pushed south to allow for site access and service uses at the NW corner while maintaining a healthy setback from the street lot line.



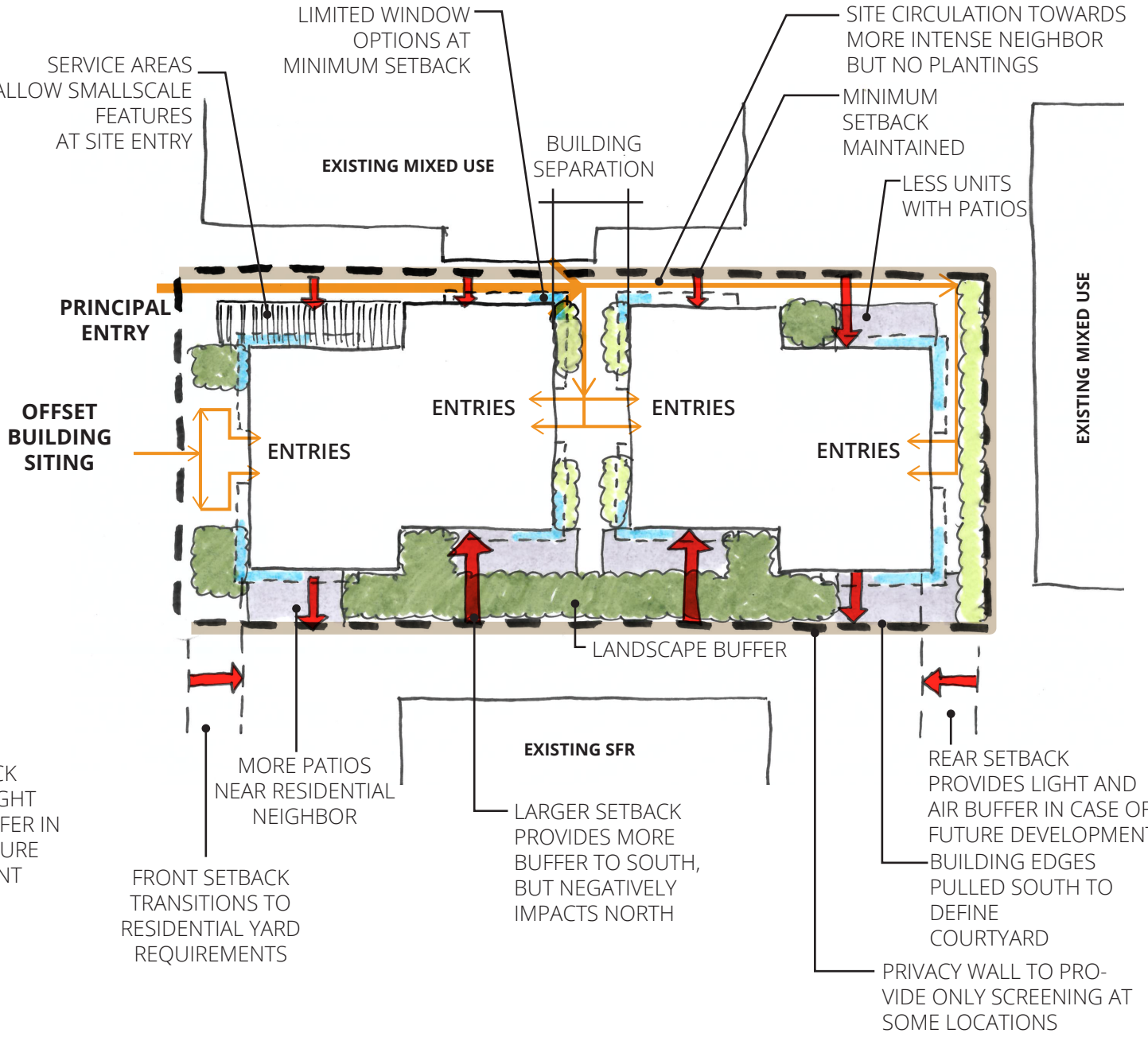
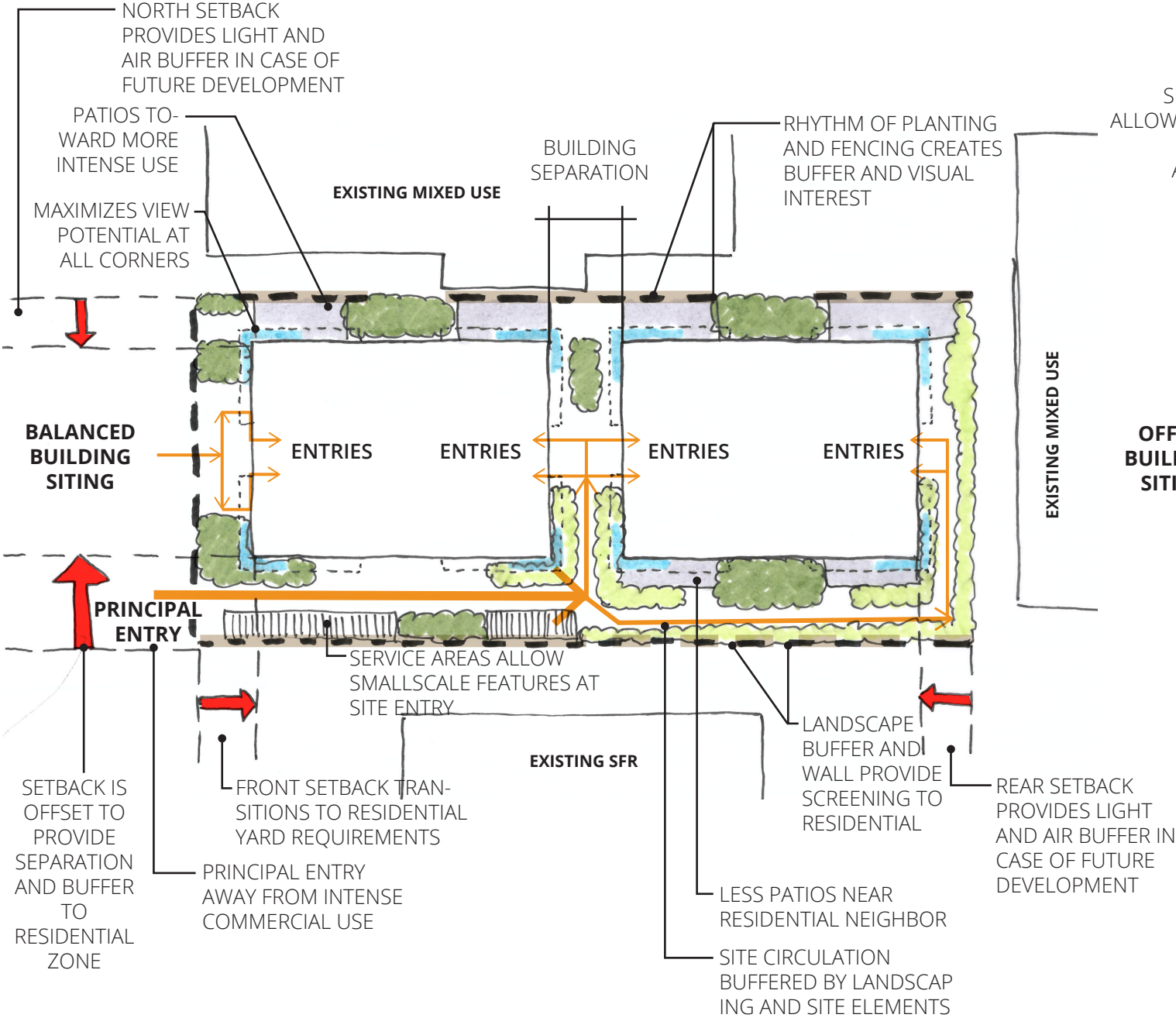
CONCEPT DEVELOPMENT: SITE CONSTRAINTS



CONCEPT DEVELOPMENT: SITE RESPONSES

SCHEME C: PREFFERED

SCHEME C.1: ALTERNATE



LEGEND

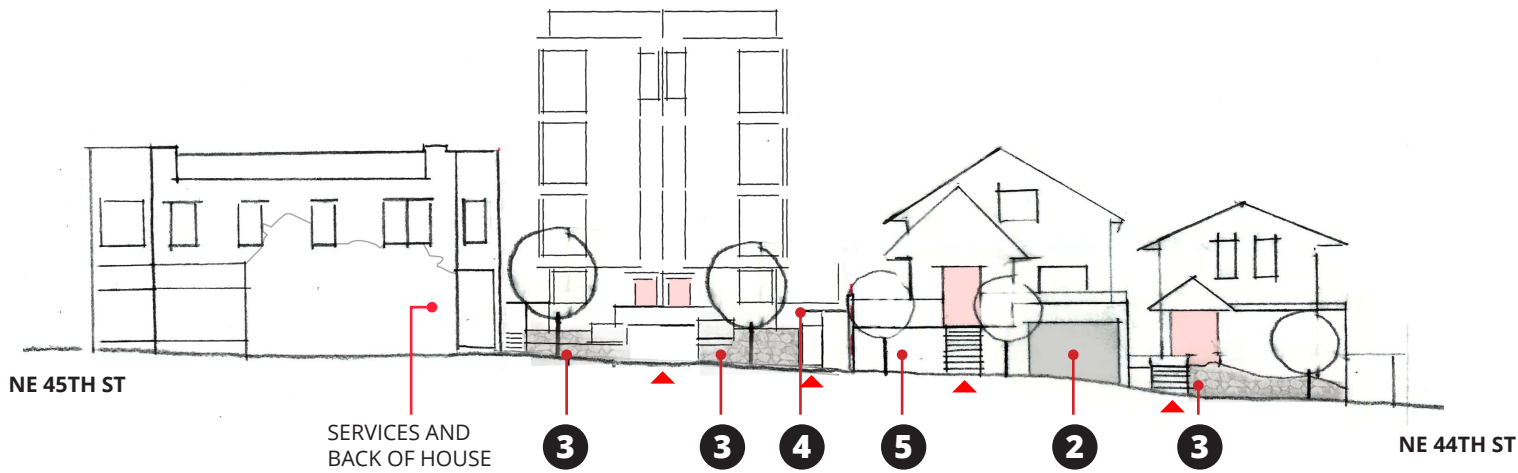
	FEATURE LANDSCAPING		PROPERTY LINE SCREENING
	SCREENING LANDSCAPING		SETBACK PRESSURE
	PRIVATE PATIO		VIEW POTENTIAL
	SERVICE AREA WITH ENCLOSURE		SITE CIRCULATION / INTENSITY

CONCEPT DEVELOPMENT: STREET PRESENCE

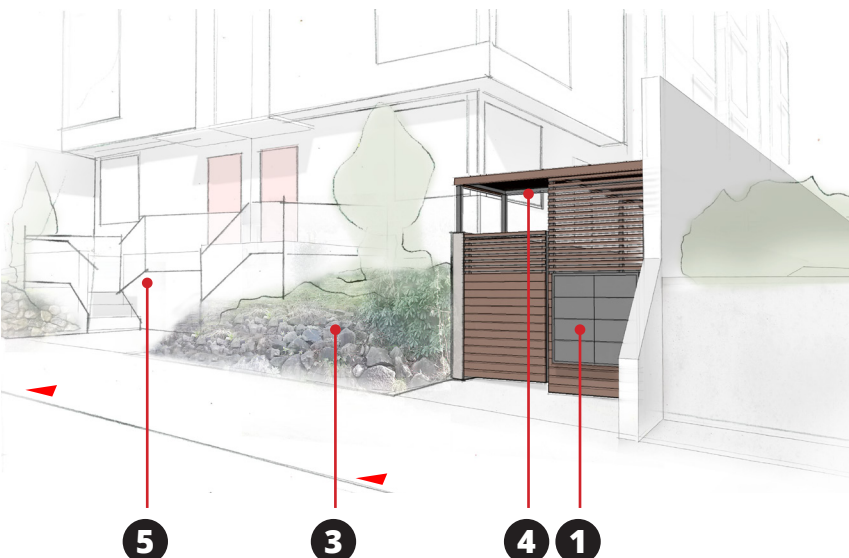
STREET ELEMENTS

- Central entry door with meandering pathway
- Garage door directly off street-screening, gates and doors as design elements
- Rockery retaining walls with plantings
- Organic elements at the street
- Collection of elements at street level with own interpretation
- Variety of roof forms

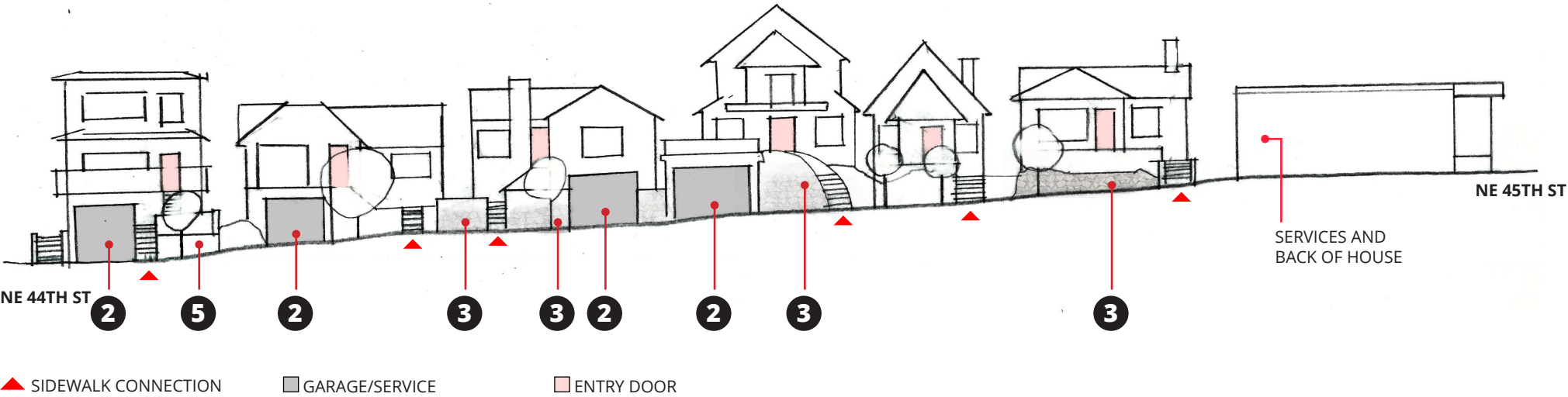
4TH AVE NE LOOKING EAST



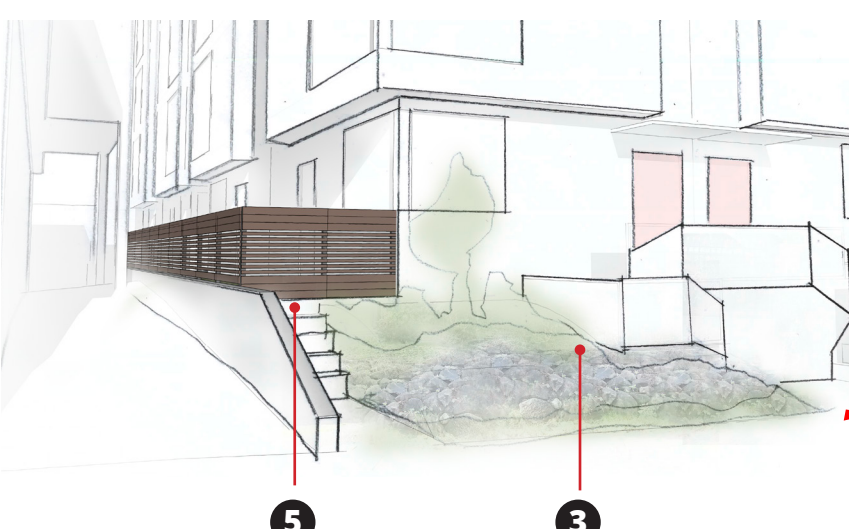
SW STREET LEVEL PERSPECTIVE



4TH AVE NE LOOKING WEST



NW STREET LEVEL PERSPECTIVE



NEIGHBORHOOD RESIDENTIAL STREET ELEMENTS



1 MULTI FAMILY MAILBOXES



2 GARAGE/SERVICE USES AT SIDEWALK EDGE



3 ORGANIC ROCKERY RETAINING WALL W/ PLANTINGS

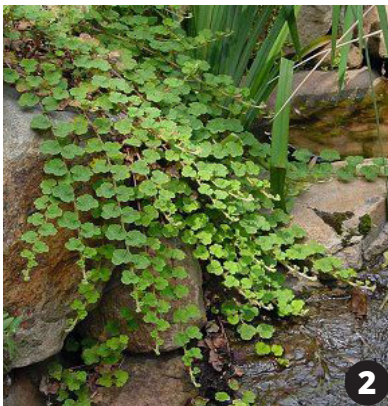
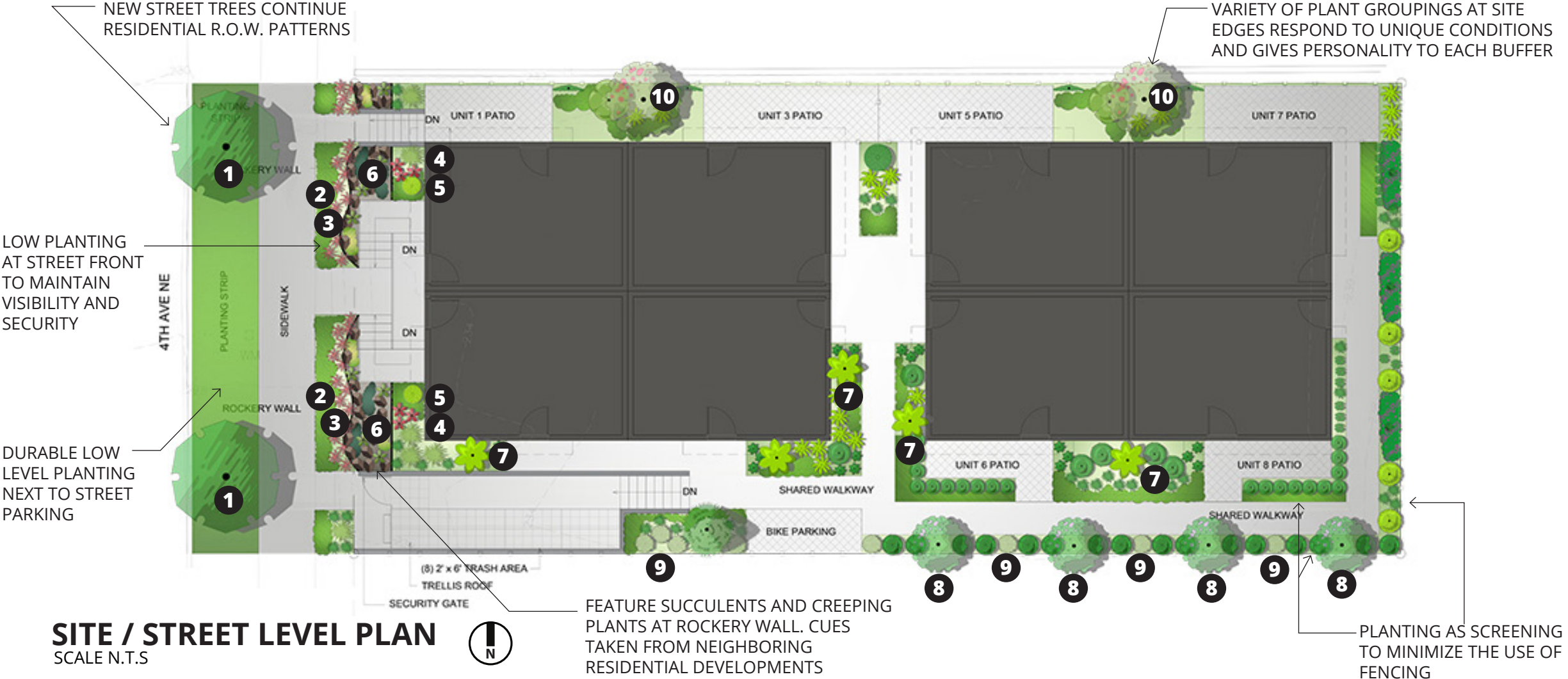


4 SHOWCASED SITE ENTRY - TRELLIS

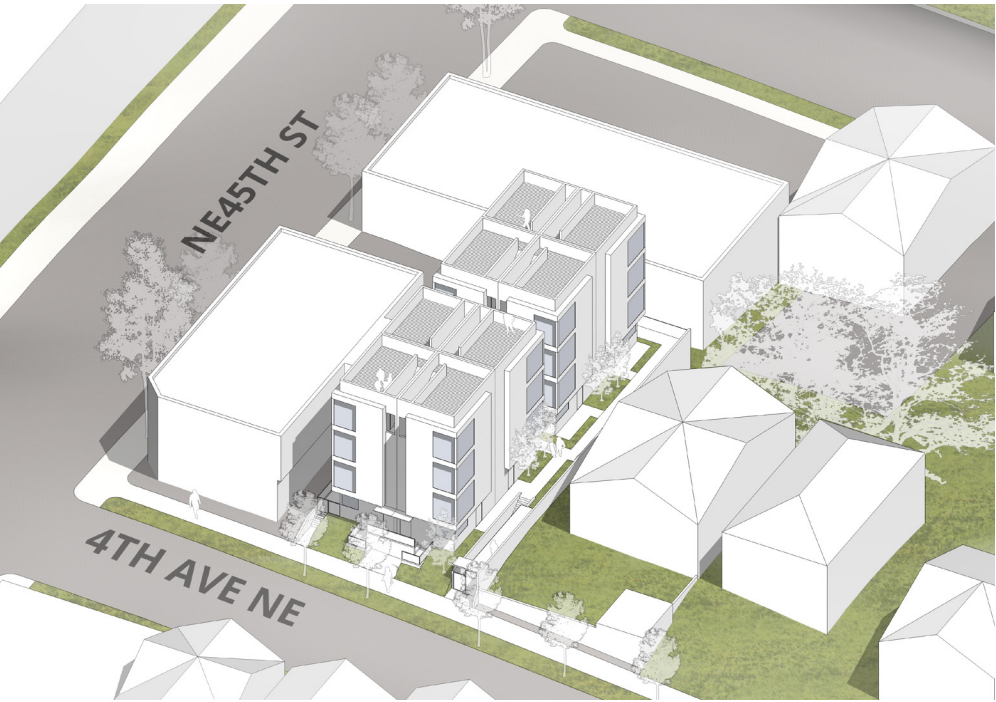
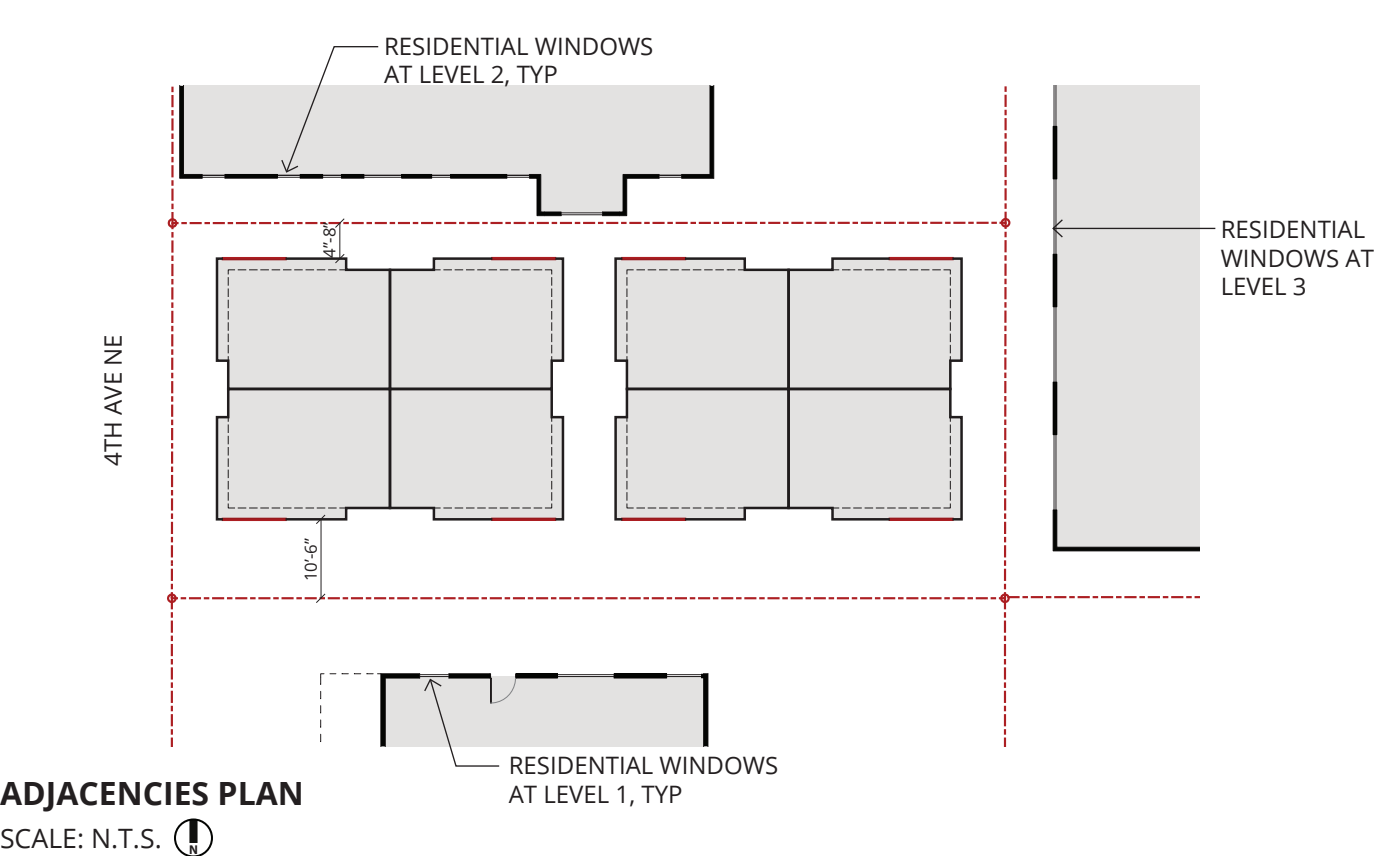


5 CONCRETE RETAINING + TERRACING

CONCEPT DEVELOPMENT: LANDSCAPE ELEMENTS



CONCEPT DEVELOPMENT: ADJACENCIES



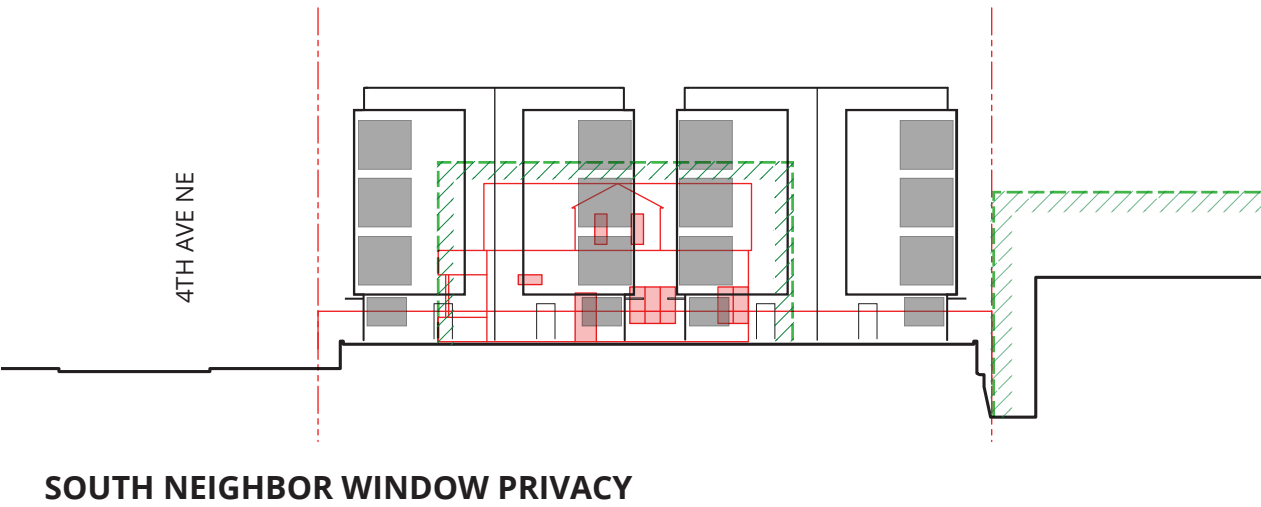
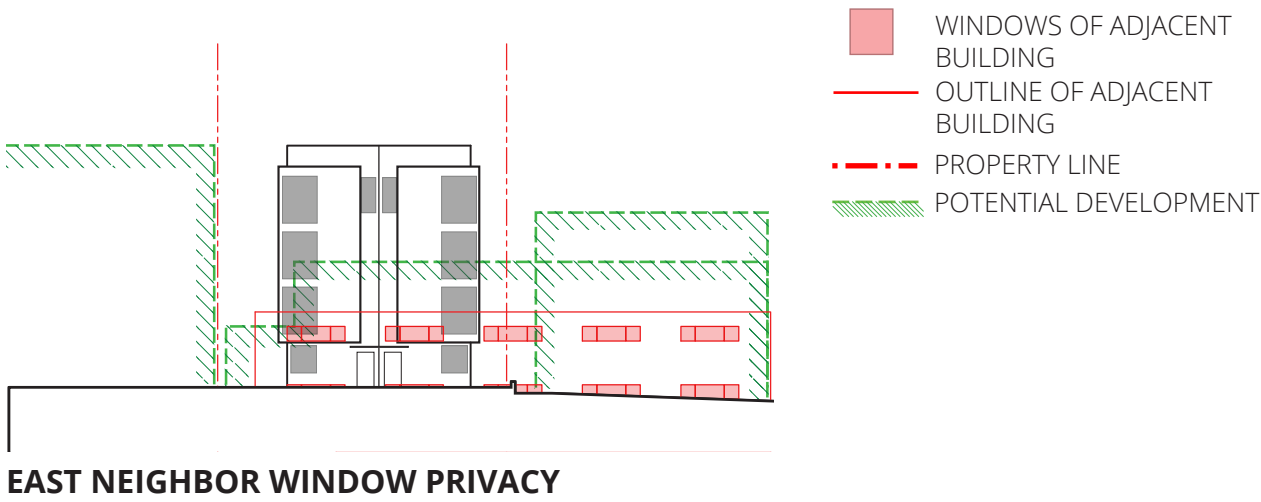
BIRD'S EYE VIEW FROM SOUTHWEST

34 | LIMELITE DEVELOPMENT, LLC | **S+HWorks**
ARCHITECTURE & DESIGN
4426 4th Ave NE **EARLY DESIGN GUIDANCE** SDCI# 3021273

ADJACENCIES

Each neighboring parcel presents a unique condition for the preferred design to respond.

- NORTH NEIGHBOR: presents the most privacy overlap based on the existing building, but the impacts are minimal. The preferred scheme sets a strong precedent for the future neighbor.
- EAST NEIGHBOR: the lower topography reduces the impact of the east building.
- SOUTH NEIGHBOR: the transition to the less intense use is enhanced by the building separation. There is a little privacy impact due to window location and screening.



RECENT WORK



5902 22ND AVE. NW



1114 16TH AVE. (PERMITTING)



1806 23RD AVE.



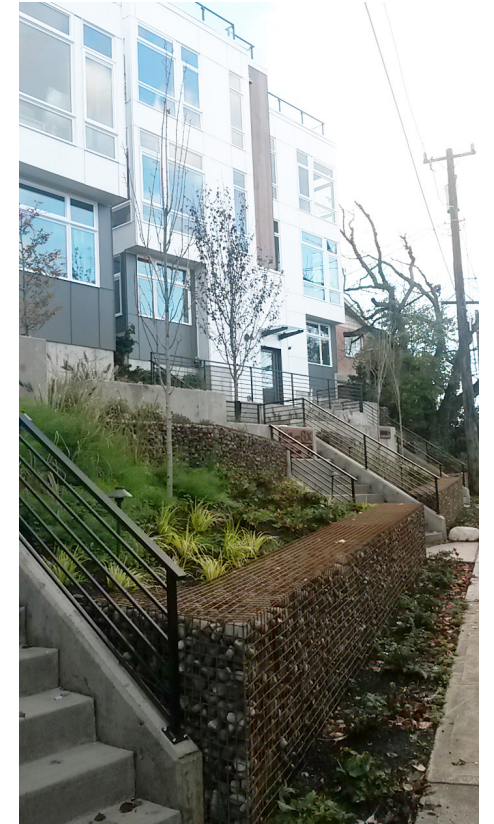
9032 + 9038 14TH AVE. NW (UNDER CONSTRUCTION)



225 27TH AVE. E



2429 8TH AVE. N



1010 E REPUBLICAN ST. (PERMITTING)

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ARCHITECTURE & DESIGN