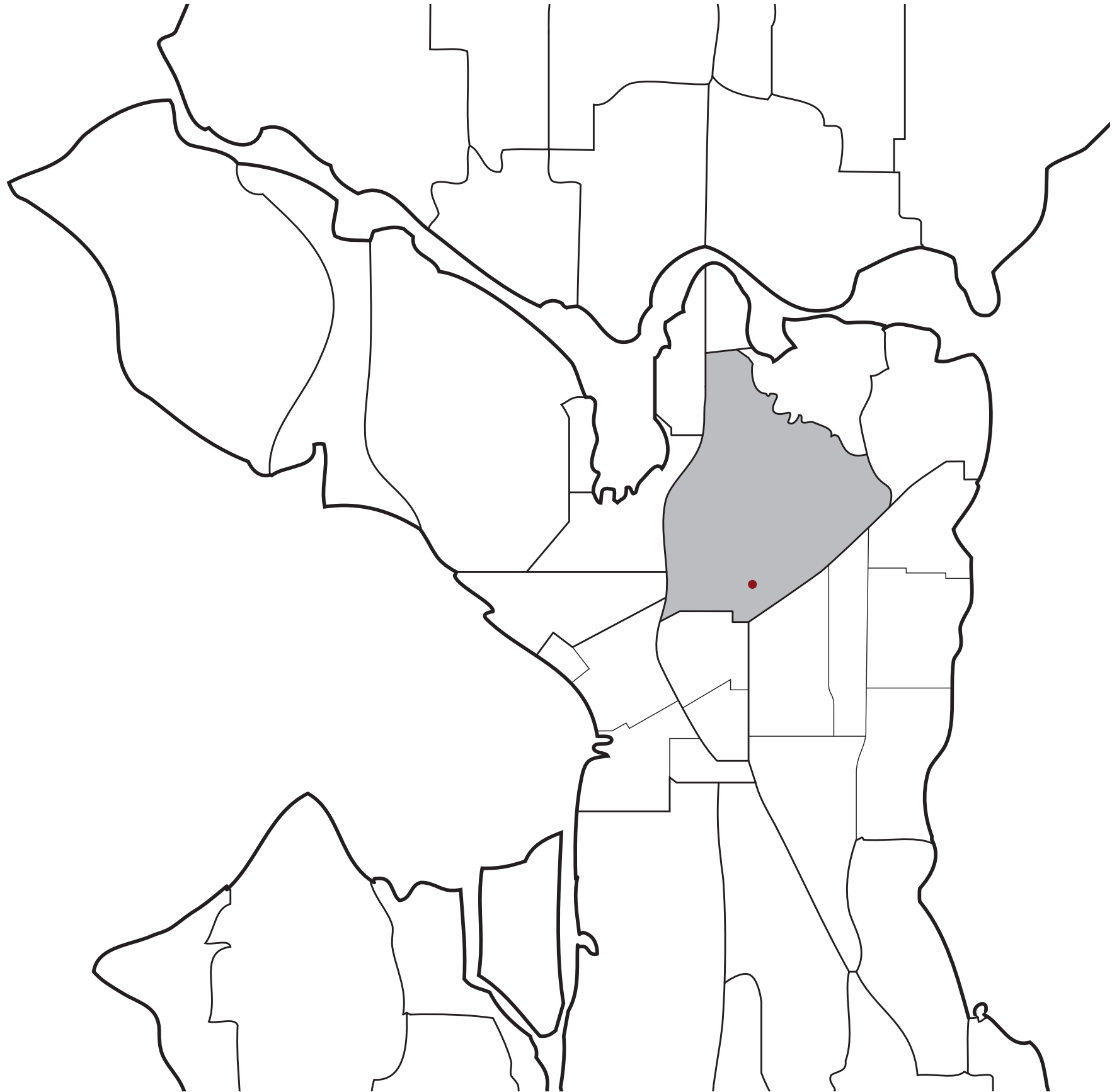


#3019265

1715 12TH AVE **RECOMMENDATION MEETING**

JOHNSON & CARR | **S+HWorks**
ARCHITECTURE + DESIGN



ADDRESS

1715 12TH AVE
DPD# 3019265

PROJECT TEAM

OWNER	Johnson & Carr
ARCHITECT	S+H Works, LLC
LANDSCAPE	GHA Landscape Architects
SURVEYOR	Emerald Land Surveying, Inc.

PROJECT INFO

ZONING	NC3-40
LOT SIZE	4,845 SF
FAR	4.0
ALLOWABLE FAR	19,380 SF
PROPOSED FAR	3.43
PROPOSED UNITS	34
COMMERCIAL SQ.FT.	801 SF
PARKING STALLS	0
BICYCLE PARKING	25

PROJECT DESCRIPTION

The proposed project involves the demolition of an existing commercial building and the construction of a four story (plus basement) mixed-use building containing 34 Small Efficiency Dwelling Units and a commercial space. The project will have an elevator and roof deck.






INDEX

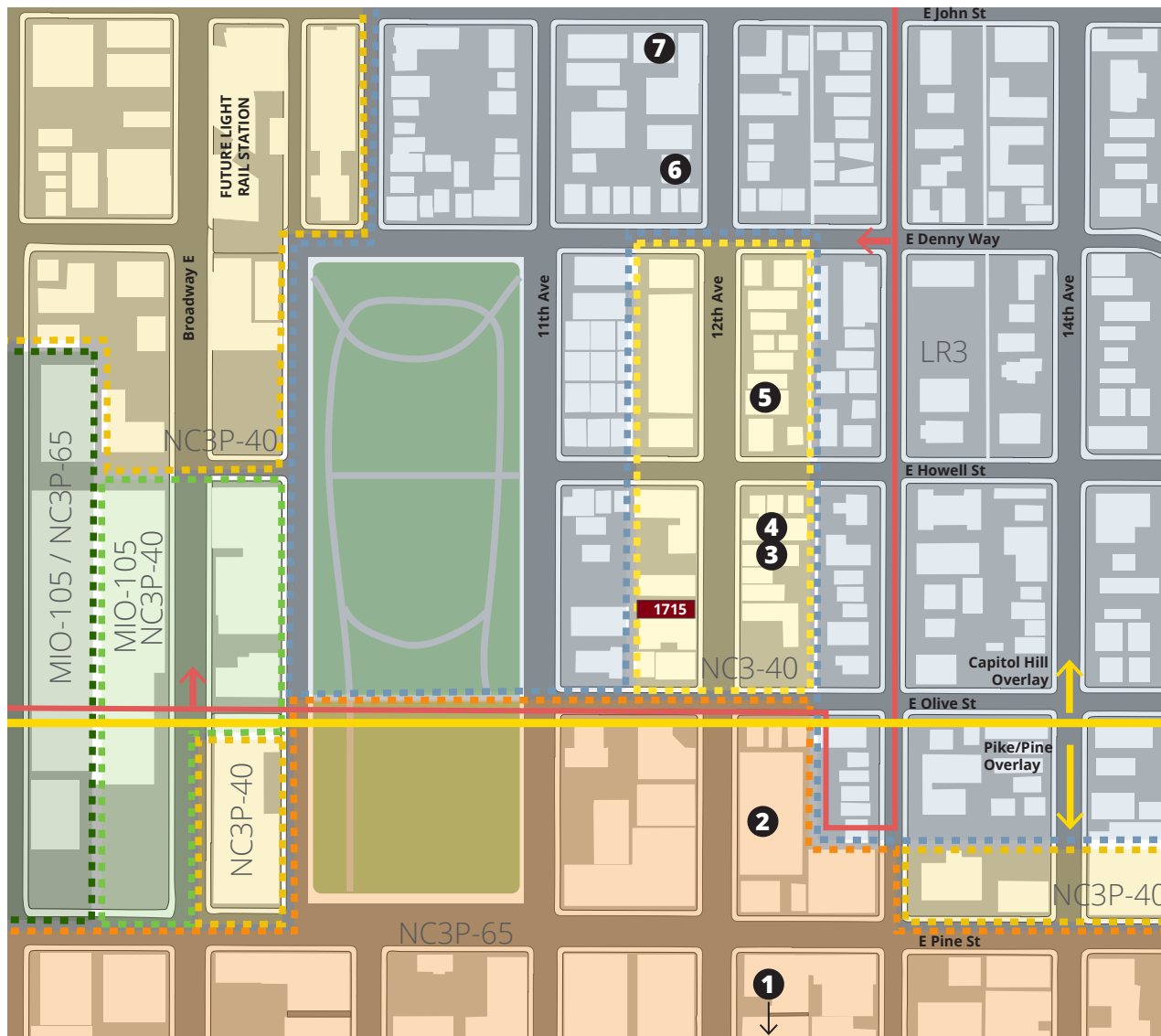
PROJECT INFO PROPOSAL	ii
VICINITY ANALYSIS	1
SITE ANALYSIS	2-3
SURVEY EXISTING CONDITIONS	4-5
EDG SUMMARY	6-9
RECOMMENDATIONS RESPONSE	10
STUDIES + DEVELOPMENT	11
PERSPECTIVES	12-15
PLANS	16-17
SECTIONS	18
ELEVATIONS	19-21
LANDSCAPE PLAN	22-24
REAR YARD + ROOF DECK ELEMENTS	25
LIGHTING PLAN	26
SIGNAGE + FABRICATION	27
PRIVACY FOR NORTH NEIGHBOR	28
SHADOW STUDY	29
ZONING ANALYSIS	30
DEPARTURES	31
RECENT DEVELOPMENTS	32



VICINITY ANALYSIS

The proposed development is located within both the Capitol Hill Urban Center Village and the Capitol Hill Station Overlay District, and sits just north of the Pike/Pine corridor. There is an abundance of mixed-use development along 12th Ave with a wide variety of restaurants, retail and nightlife located within blocks of the site. The greater Capitol Hill area has been going through a period of steady growth as well as major public transit infrastructure improvements.

-  NEIGHBORHOOD BOUNDARY
-  CAPITOL HILL URBAN CENTER VILLAGE
-  PIKE / PINE URBAN CENTER VILLAGE
-  CAPITOL HILL STATION OVERLAY DISTRICT
-  SITE

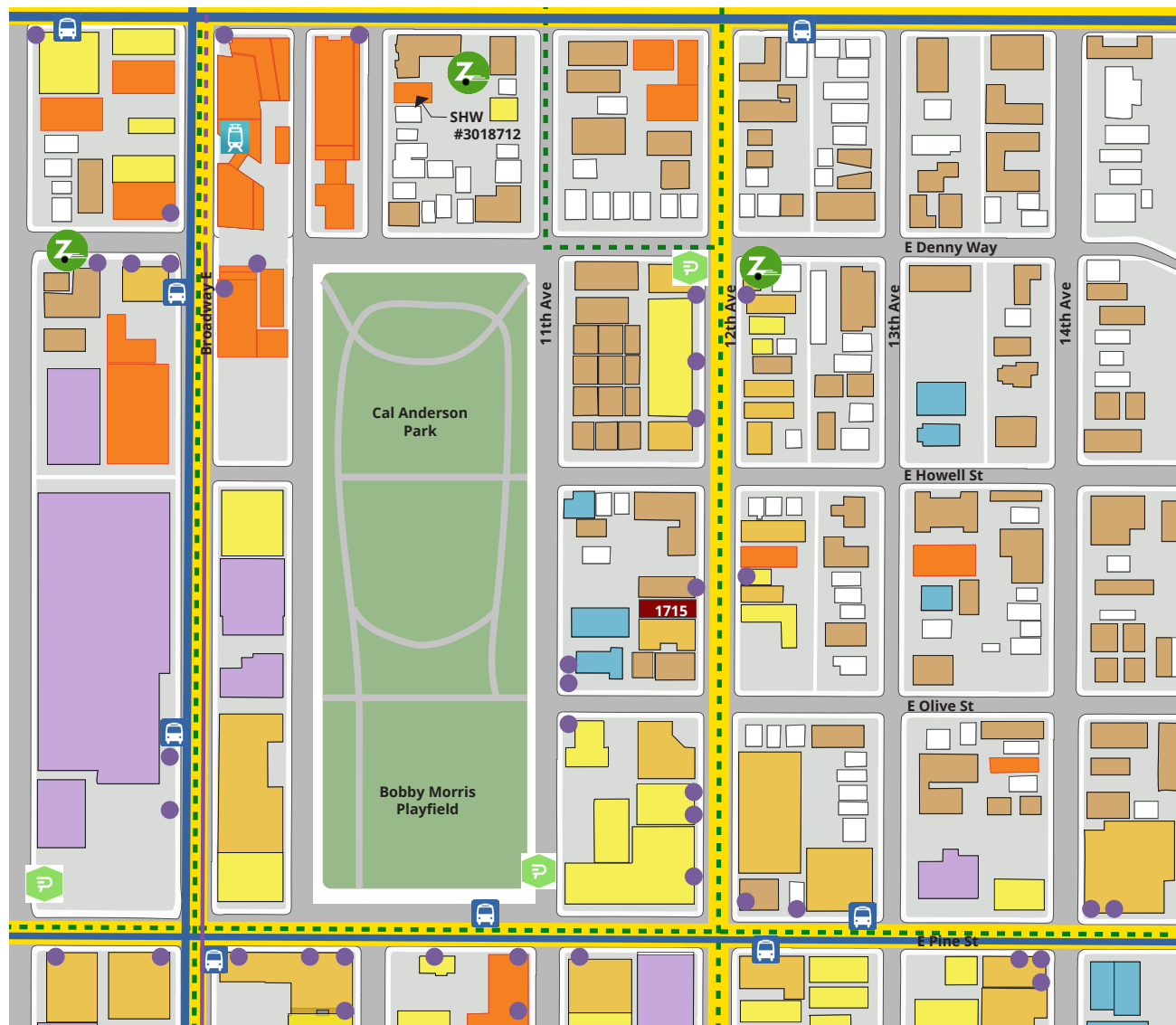


ZONING | NEW DEVELOPMENT

This area of Capitol Hill has a wide variety of zoning. The site is located within a NC3-40 zone. While the 12th ave corridor is less intensively developed than either Broadway or the Pike/Pine corridor, it has relatively continuous commercial uses south of Denny. Retail and service businesses on the block primarily serve the local neighborhood.

The site is bordering a LR3 zone, which continues to the east and north as the neighborhood transitions from mixed-use to low-rise residential. To the south of the site is the Pike/Pine corridor, where the NC3P-65 zoning allows for more intensive commercial use.

- URBAN CENTER VILLAGE OVERLAY
- CAPITOL HILL STATION OVERLAY
- LR3
- NC3P-65
- NC3P-40
- NC3-40
- MIO-105/ NC3-40
- MIO-105/ NC3P-65



ADJACENCIES | CIRCULATION

The vicinity contains a variety of mixed-use, multi-family, and single-family structures, with the site positioned between the busy commercial corridor of Pike/Pine to the south and the quieter residential area to the north and east. There is a new 4-story, multi-family development to the immediate south, and a mid-century multi-family structure to the north. Several religious structures are situated along the west side of the block, along with Cal Anderson Park one block to the west.

The proposed location allows easy access via walking or biking to restaurants, coffee shops, grocery stores, retail, and green spaces. 12th Ave features a sharrow bicycle lane, making access even easier. In addition, there are frequent transit bus routes a few blocks to the north and south, which connect to most of the central area neighborhoods.

- MINOR ARTERIAL
- BICYCLE FRIENDLY ROUTE
- FUTURE STREETCAR
- TRANSIT ROUTE
- DESIGNATED BUS STOP
- ZIPCAR LOCATIONS
- PRONTO CYCLE
- CITY OWNED BIKE RACK
- PERMITTING / PERMITTED / UNDER CONSTRUCTION
- SINGLE FAMILY
- COMMERCIAL
- MIXED-USE
- MULTI-FAMILY
- INSTITUTIONAL/CIVIC
- RELIGIOUS

RECENT 12TH AVE DEVELOPMENTS



1 1200 PIKE



2 1660 12TH AVE



3 1720 12TH AVE
(UNDER CONSTRUCTION)



4 1728 12TH AVE (S+H WORKS)



5 1806-1812 12TH AVE (JOHNSON/CARR)



6 109 12TH AVE E



7 1113 E. JOHN ST

EXISTING CONDITIONS

The existing 1909 wood frame single family structure (converted to retail) and its garage will be removed, as well as associated driveways, porches, fencing, and other site work. The existing structures have been reviewed by the Department of Neighborhoods for landmark designation and deemed non-significant. The large Big Leaf Maple trees that hug the property line to the west will remain and be protected. The site is relatively sloped with the east side approximately 5 ft higher than the west edge. There is a stone retaining wall just beyond the west property line, where the grade drops another 9 ft to the neighboring parking lot. There is not an existing planting strip or street trees along the sidewalk, but both will be provided.

The recently completed south neighbor is built out to the property line. The north neighbor is held back from the property line. The main south facade (with windows) is 3'-8" from the property line. However, non-conforming bay windows are located within 1'-6" of the property line. These windows would not be allowed under current building code requirements.

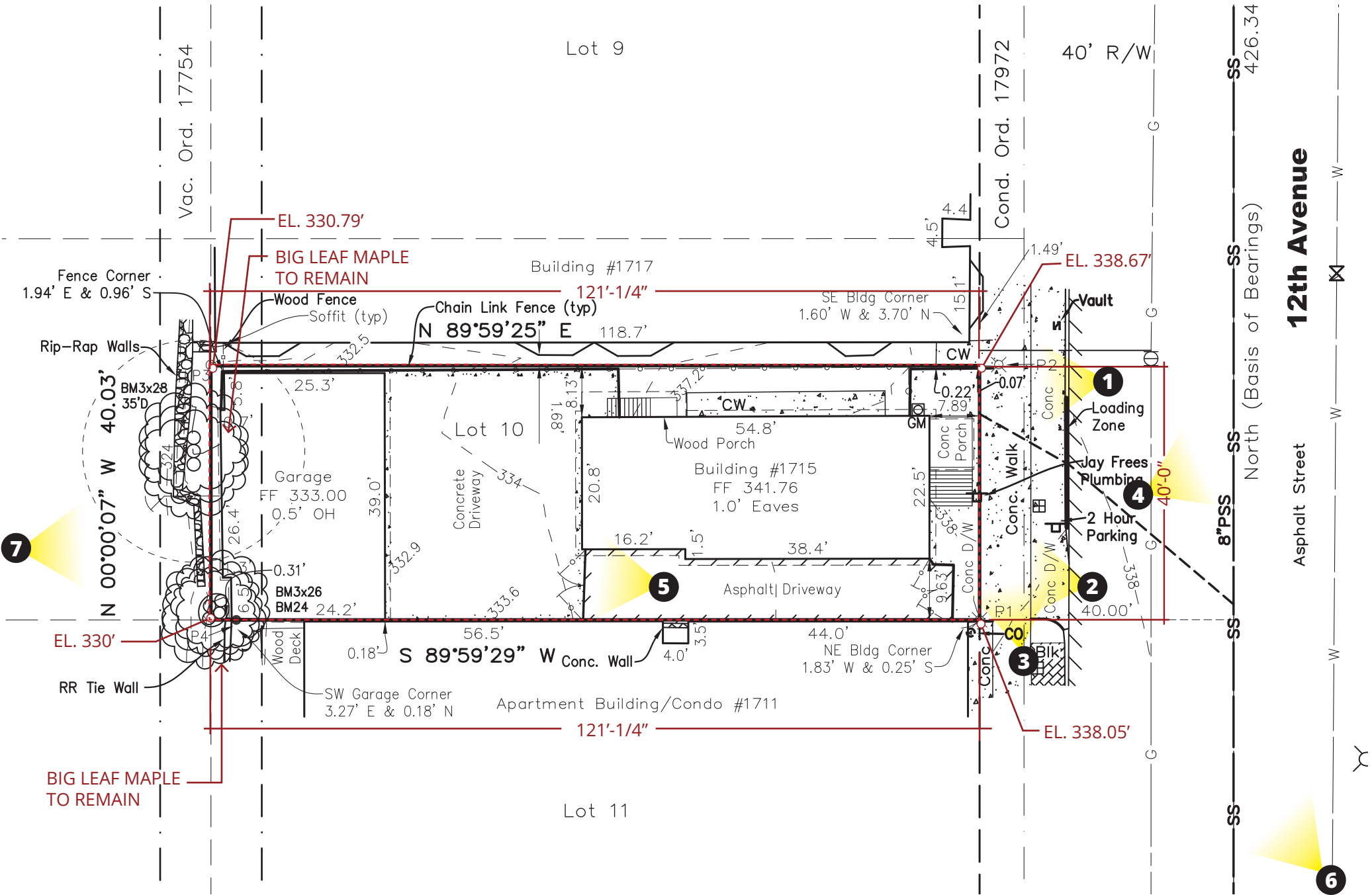
LEGAL DESCRIPTION

The South 40 feet of lot 10, Block 28, of John H. Nagles Second Addition to the city of Seattle, as per plat recorded in volume 5 of plats, page 67, records of King County Auditor.

Except the east 7 feet thereof condemned in King County Superior Court cause number 61479 under City of Seattle Ordinance number 17972 for widening of 12th ave;

Together with that portion of vacated alley under City of Seattle ordinance number 17754.

Situate in the City of Seattle, County of King, State of Washington.



SURVEY

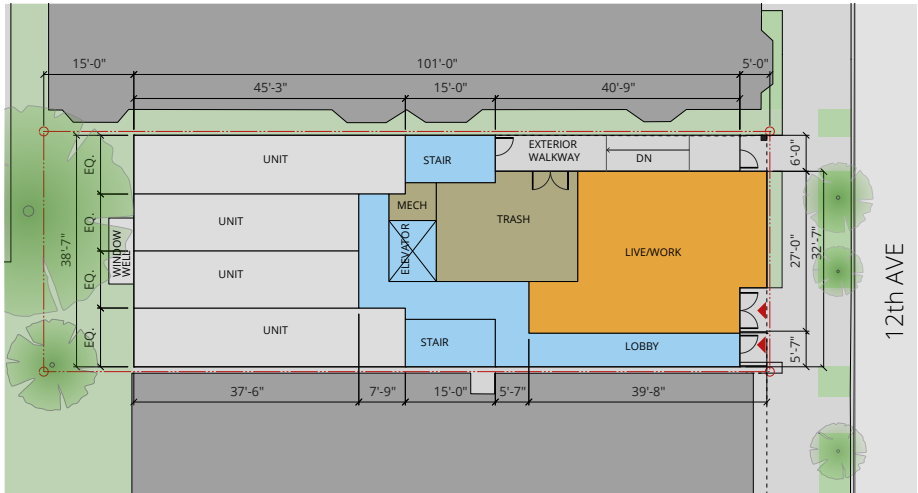
Surveyor: Emerald Land Surveying, Inc. Date: 01/13/15

EXISTING CONDITIONS

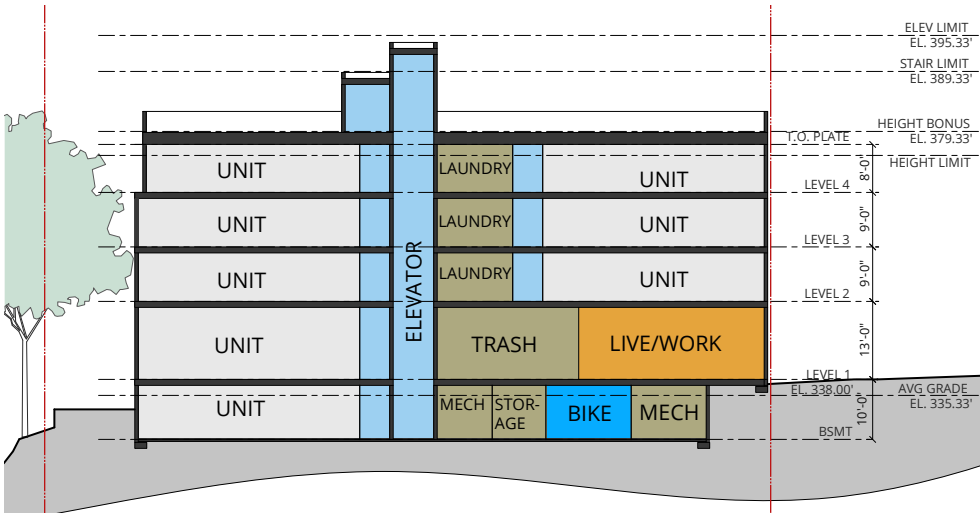


EDG - SCHEME SUMMARY (IMAGES & TEXT FROM EDG PACKET)

SCHEME A

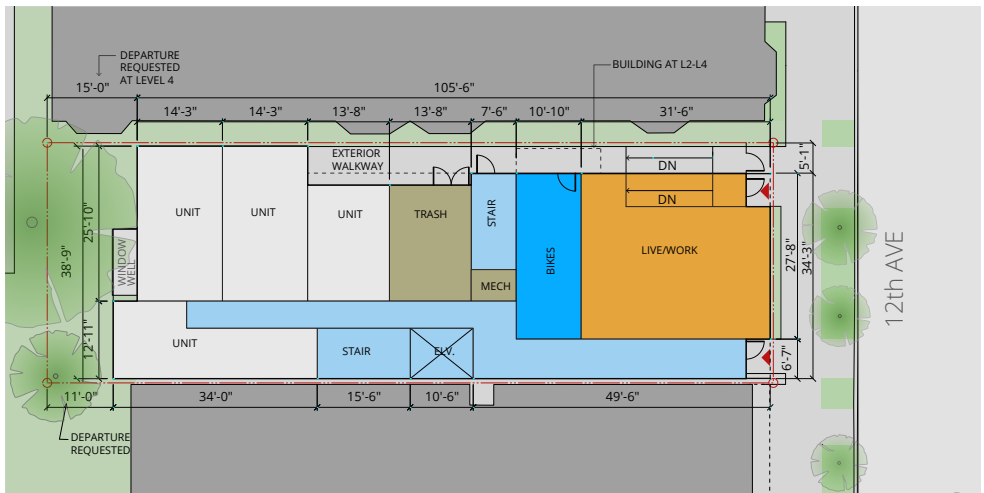


SITE PLAN (NTS)

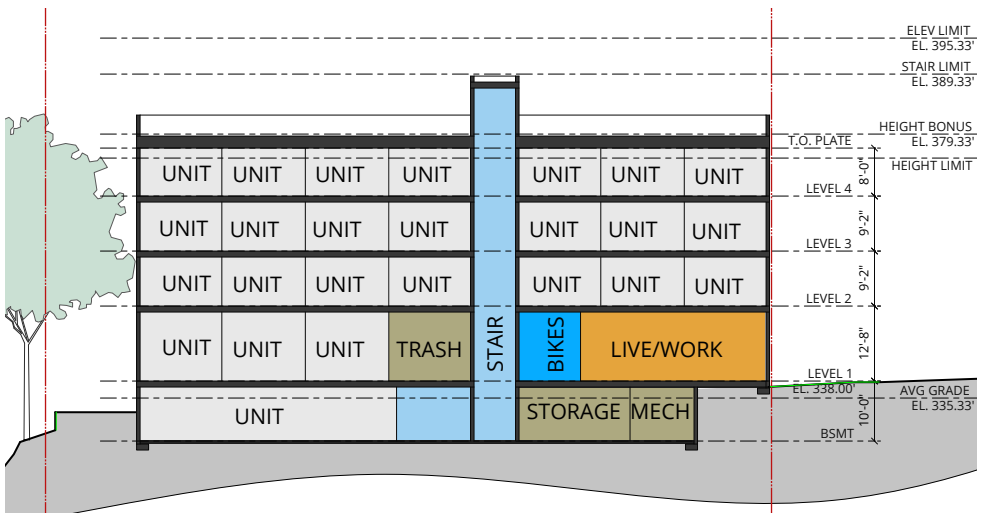


SECTION (NTS)

SCHEME B

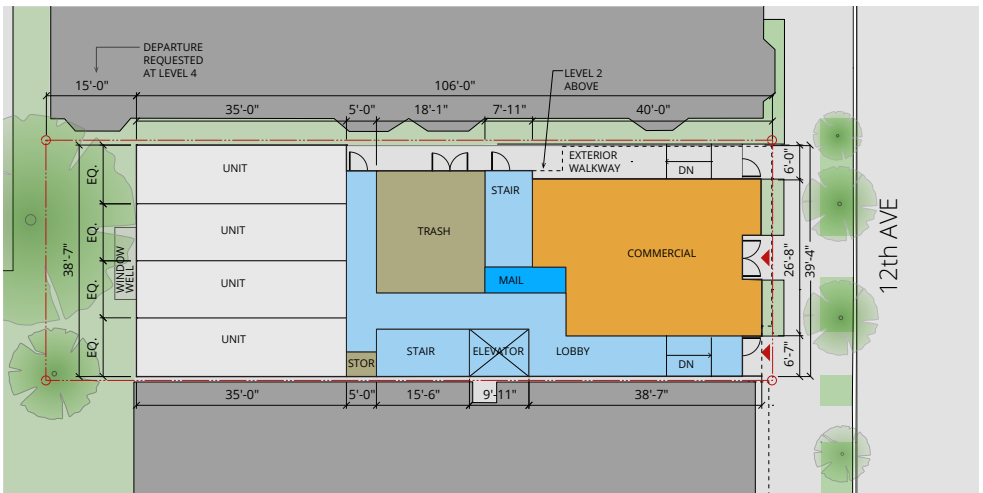


SITE PLAN (NTS)

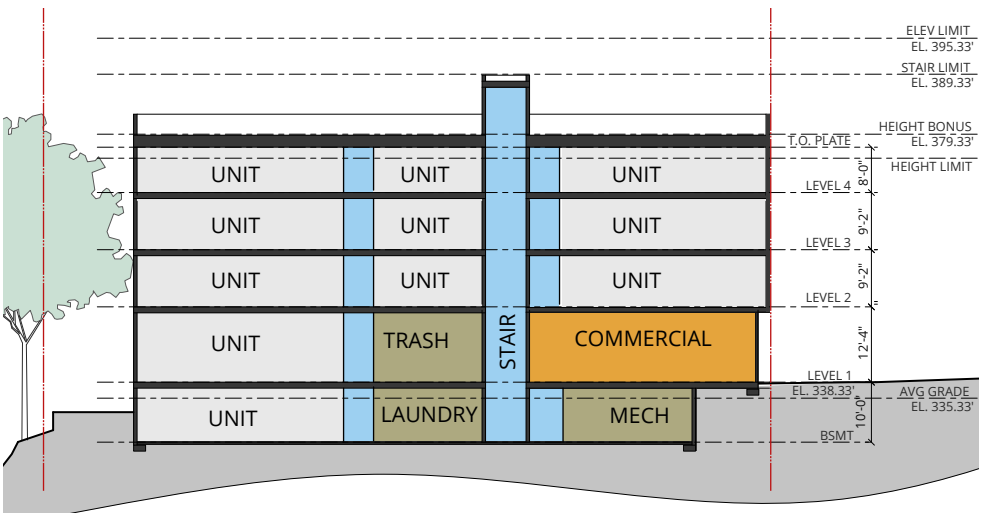


SECTION (NTS)

SCHEME C (PREFERRED)



SITE PLAN (NTS)



SECTION (NTS)

SCHEME C: PREFERRED

DEPARTURE #1

- SMC 23.47A.012 Height
- Required: 13' at ground level
- Provided: 12'-4" at ground level

JUSTIFICATION

The site slopes from east to west, establishing an experientially lower average grade along the street front. A reduction in commercial height is requested to provide the ideal commercial entrance location & sidewalk elevation, while providing more desirable residential ceiling heights. Because the property is relatively narrow, the reduced height will still provide a volume that is proportional to the overall commercial width and depth. The floor framing will also reduce the amount of infrastructure below the floor, resulting in a more appealing commercial volume.

Guidelines: CS2/D.1 (Existing Development & Zoning), Cap Hill PL3/I (Human Activity), DC1/A.1 (Visibility).



DEPARTURE #2

- SMC 23.47A.014 Setbacks
- Req'd: 2' for every 10' above 40'
- Provided: 1'-11" reduction; Maintain 15' over upper most 9'-6"

JUSTIFICATION

Prominent west facade abuts the parking lot of an established institutional use (not a residential use). This reduces the need for an upper setback to transition to the less intense use. Extending the 15' setback allows for more coherent massing from 11th Avenue & Cal Anderson.

Guidelines: CS2/D.1 (Existing Dev. & Zoning), CS2/C.2 (Mid-Block Sites), DC1/A.4 (Views & Connections).



EDG - CONCEPT DEVELOPMENT: STREET FACADE *(IMAGES & TEXT FROM EDG PACKET)*



FENESTRATION DEVELOPMENT

The infill development along 12th Avenue is beginning to establish a continuous street wall, and provides a rigorous window pattern. The preferred scheme utilizes simple modulation, plus a rhythmic and hierarchical fenestration palette to create visual interest and variety on the block.

Guidelines: CS2/C.2 (Mid-block Sites), CS3/A.4 (Evolving Neighborhoods), DC2/B.1 (Facade Composition)

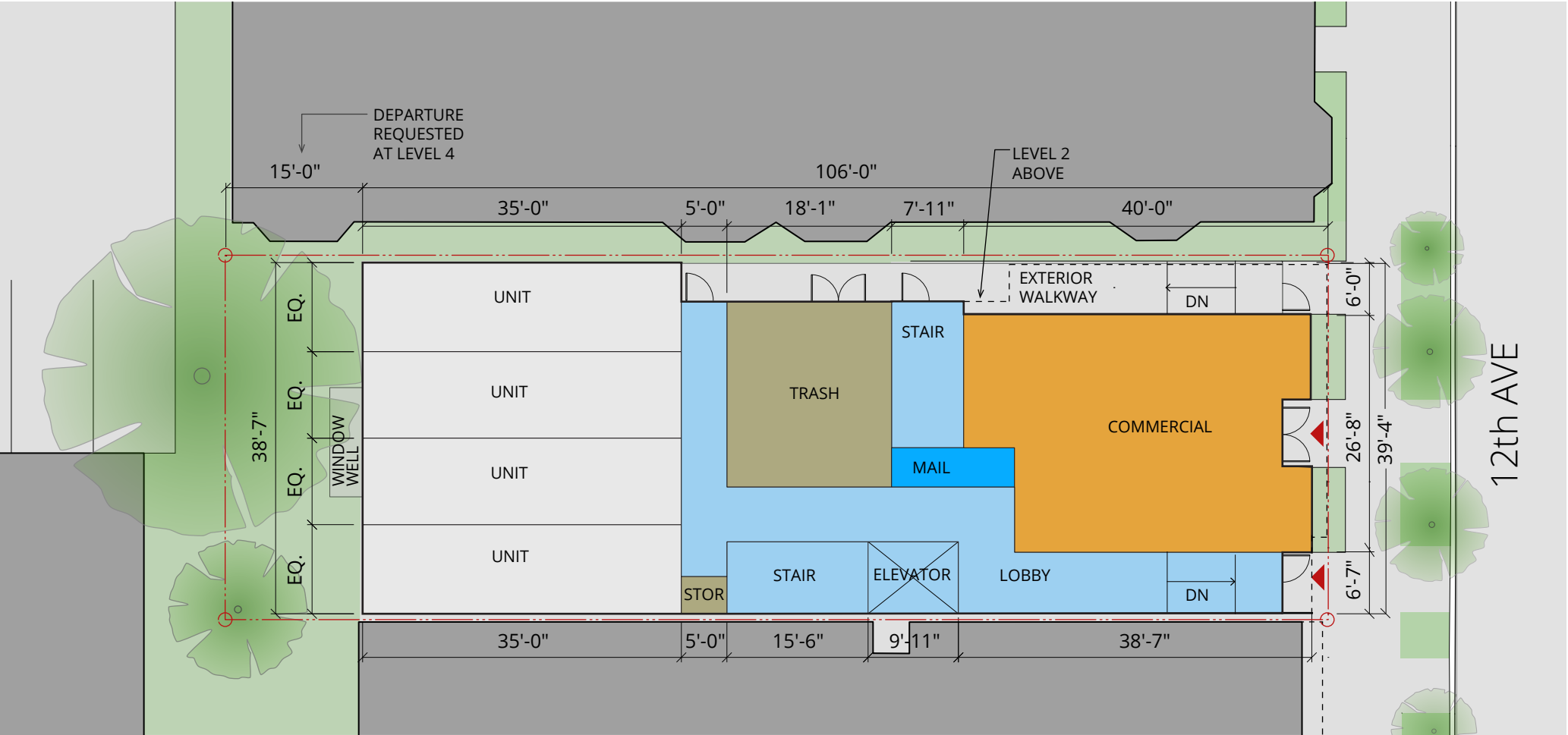
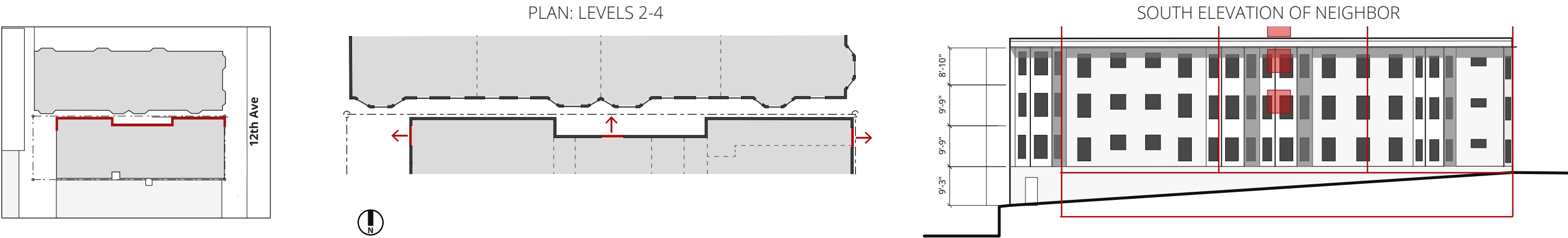
STREET FACING FACADE DEVELOPMENT

- Recent infill development uses a variety of strategies to break down the street facade, including the following:
- develop a 'podium' to differentiate the mixed-use components.
 - use a limited palette of materials and rigorous window pattern to develop the facade.
 - use a variety of materials to create the illusion of modulation.

The preferred scheme proposes the following strategies:

- provide a high quality material on the ground-level and upper stories to avoid the 'podium', visually connecting the building to the ground and enhancing the pedestrian experience.
- create actual modulation to provide break down the facade.
- use a simple material palette to differentiate the modulation and balance the overall composition.
- reinforce the modulation with a window palette that provides visual interest.





SITE / STREET LEVEL PLAN
SCALE: 1/16" = 1'-0"



PRIVACY TO NORTH NEIGHBORS:
PREFERRED SCHEME

The north neighbor's south facade is located 3'-8" from the property line, with bay windows within 1'-6". Windows have been provided along the facade, although they are non-conforming.

Preferred scheme creates a large light well at the center of the building, allowing a better balance of separation & privacy.

Guidelines: CS1/B.2 (Daylight & Shading), CS2/D.1 (Existing Dev. & Zoning), CS2/D.2 (Respect for Adjacent Sites)

- ▶ PRIMARY BUILDING ENTRANCES
- BUILDING SERVICE
- RESIDENTIAL
- CIRCULATION
- COMMON
- COMMERCIAL

FEEDBACK/GUIDANCE

1 MASSING

1A MASSING

- GUIDELINES: CS1-B-2, CS2-B, CS2-III
- SUPPORTED MASSING OF PREFERRED SCHEME.
 - PROVIDE ADDITIONAL INFORMATION ABOUT RELATIONSHIP TO NORTH NEIGHBOR.

1B WINDOW WELLS

- GUIDELINES: CS1-B-2
- DESIGN THE WINDOW WELLS TO CREATE ACCESS TO VIEWS, LIGHT AND AIR.

1C ROOF DECK AMENITY

- GUIDELINES: CS1-B-2, CS2-B-3, DC3-C
- SUPPORTED ROOF DECK AMENITY.

2 RESPECT FOR ADJACENT SITES & SETBACK

2A RELATIONSHIP TO NORTH NEIGHBOR

- GUIDELINES: CS2-D-5, DC2-B-1
- MINIMIZE THE DISRUPTION OF PRIVACY FOR THE NORTH NEIGHBORS
 - PROVIDE MORE INFORMATION ABOUT THE NORTH FACADE, INCLUDING OVERALL ARCHITECTURAL EXPRESSION AND VISUAL INTEREST.

3 ENTRIES & STREETSCAPE

3 STREETScape

- GUIDELINES: CS2-B-2, PL3
- SUPPORTED THE STREET LEVEL USES AND PROPOSED ENTRIES.

3A NORTH CORRIDOR

- GUIDELINES: PL3-A-1, PL3-A-4, PL3-C-1, PL3-C-2, DC4-C-1
- REFINE THE DESIGN TO PROVIDE DEFENSIBLE SPACE.
 - CONSIDER HOW TO VISUALLY CONNECT THE SPACE.

3B RESIDENTIAL ENTRY

- GUIDELINES: PL-3-A-1, PL3-A-2, PL3-A-4, PL3-B-1
- CONSIDER THE RESIDENTIAL ENTRY, AND HOW IT RELATES TO THE PROPORTIONS OF THE OTHER ENTRIES.

3C BICYCLE CONNECTIONS

- GUIDELINES: PL4-B-2
- CONSIDER ACCESS AND INTERNAL CONNECTIONS FOR BICYCLISTS.

4 FACADE COMPOSITION & MATERIALS

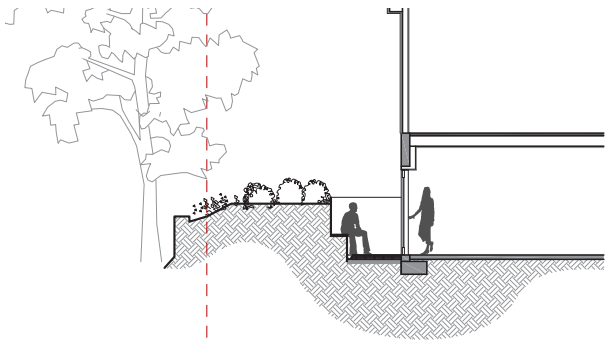
4A MATERIALS

- GUIDELINES: DC2-B-1, DC2-D-2, DC2-C-2, DC4-A-1, DC4-II
- CONSIDER TREATMENT OF ALL VISIBLE FACADES.
 - CONSIDER THE MATERIALS AS THEY RELATE TO THE COMPOSITION OF THE BUILDING AS A WHOLE.

RESPONSE



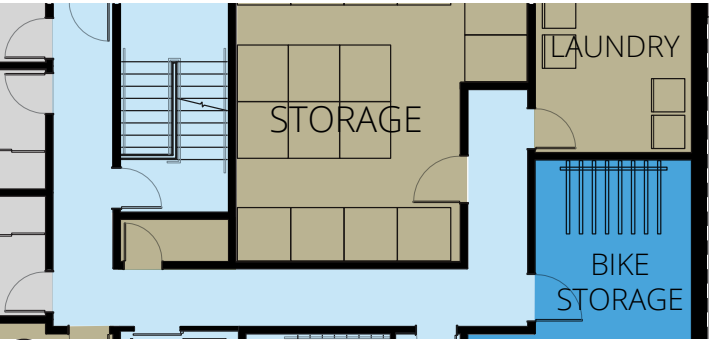
1A PG. 12, 13



1B PG. 25



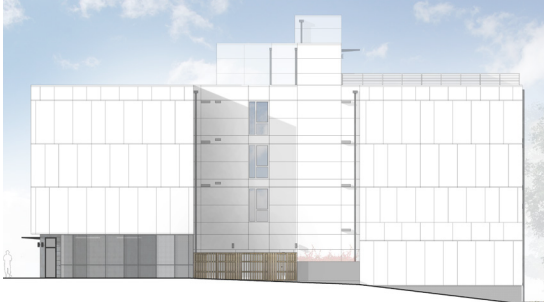
3A PG. 15



3C PG. 17



1C PG. 22, 25, 26



2A PG. 15, 20, 26, 27, 28



3B PG. 14



4A PG. 19

STUDY PROCESS

MULTIPLE STUDIES WERE PREPARED TO CONSIDER THE RELATIONSHIP OF THE MASSING AND THE MATERIALS. FEEDBACK INCLUDED THE FOLLOWING PARAMETERS:

- THE NORTH FACADE SHOULD BE LIGHTER TO PROVIDE MORE AMBIENT LIGHT TO NEIGHBORS.
- THE WEST FACADE MASSING SHOULD REFLECT THE CONFIGURATION OF THE EAST FACADE.
- THE CONTINUITY OF MATERIALS SHOULD BE CONSISTENT AROUND BUILDING CORNERS (EVEN IF NOT VISIBLE).

THE FOLLOWING RELATIONSHIPS WERE EXPLORED, LEADING TO THE FINAL PROPOSAL:

- HOW TO TREAT THE DARK ACCENT MASSING TO LIMIT IMPACT ON NEIGHBORS.
- HOW TO INTEGRATE ACCENT METAL ONTO ALL FACADES.
- HOW TO LIGHTEN THE OVERALL PALETTE TO ALLOW A WHITE MASSING ADJACENT TO THE NORTH NEIGHBORS.



5) CORTEN BASE / WHITE ACCENT MASSING
CONCLUSION: *WHITE & CORTEN NOT COMPATIBLE, CORTEN WOULD BLEED ON MATERIALS BELOW*



6) CORTEN BASE / GRAY ACCENT MASSING
CONCLUSION: *GRAY & CORTEN NOT COMPATIBLE, CORTEN WOULD BLEED ON MATERIALS BELOW*



7) GRAY METAL BASE / WHITE ACCENT MASSING
CONCLUSION: *WHITE & GRAY METAL MORE COMPATIBLE, SATISFIES MORE OF DESIGN PARAMETERS*



1) EDG SCHEME: CORTEN BASE / DARK ACCENT MASSING / WEST MASSING & MATERIALS VARIED FROM EAST
CONCLUSION: *NORTH FACADE TOO DARK, NO MATERIAL OR MASSING RELATIONSHIP BETWEEN ELEVATIONS.*



2) CORTEN BASE / DARK ACCENT MASSING / WEST MASSING & MATERIALS RELATED TO EAST / WHITE NORTH
CONCLUSION: *STILL TOO DARK, CORTEN WOULD BLEED ON MATERIALS BELOW*



3) CORTEN BASE / DARK ACCENT MASSING / NORTH FACADE TRANSITION STUDY
CONCLUSION: *TRANSITION NOT SUCCESSFUL, RELATIONSHIP BETWEEN FACADES NOT STRONG*



4) CORTEN BASE / DARK ACCENT MASSING / NORTH FACADE GRADIENT STUDY
CONCLUSION: *TRANSITION NOT SUCCESSFUL, CORTEN WOULD BLEED ON MATERIALS BELOW*



VIEW FROM NORTHEAST





VIEW FROM SOUTHEAST



DESIGN RESPONSE

3 ENTRIES & STREETSCAPE

RESIDENTIAL ENTRY:

- RECESSED ENTRY IS CLEARLY DELINEATED FROM SIDEWALK.
- SCALE OF ENTRY IS PERCEIVED AS PRIVATE AND RESIDENTIAL; DIFFERENTIATES FROM COMMERCIAL.
- MATERIALS, SIGNAGE, LIGHTING AND INTERIOR VIEW FURTHER DEFINE ENTRY.

BICYCLE CONNECTIONS:

- BIKE STORAGE IN BASEMENT, ACCESSED THROUGH LOBBY.
- OVERSIZED ENTRY DOOR TO MAKE ACCESS EASIER.

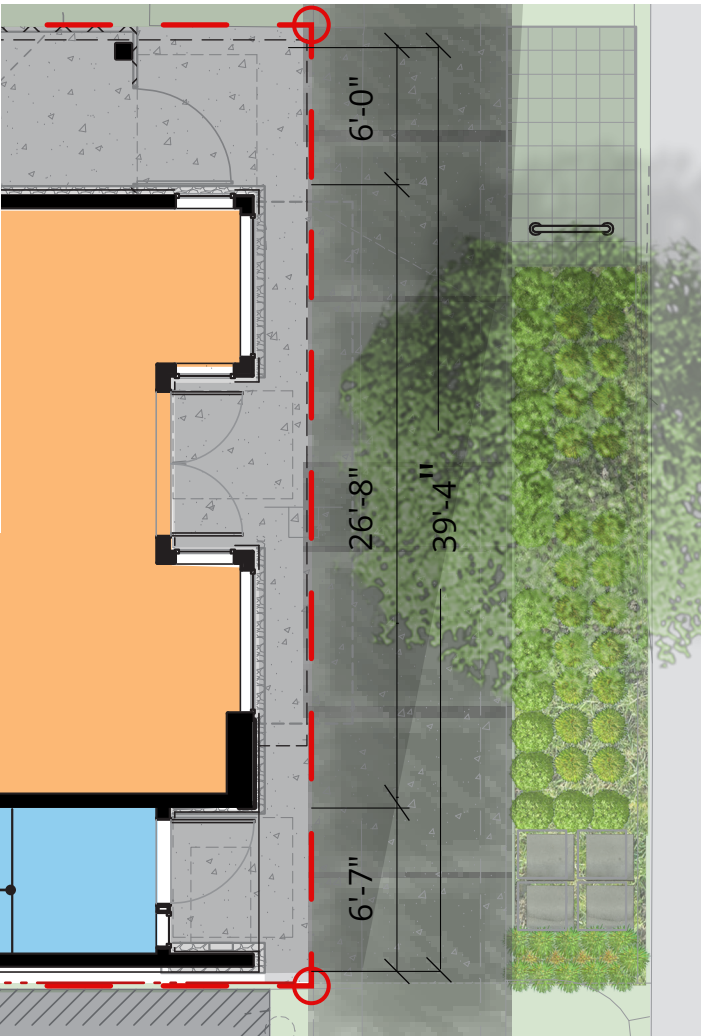
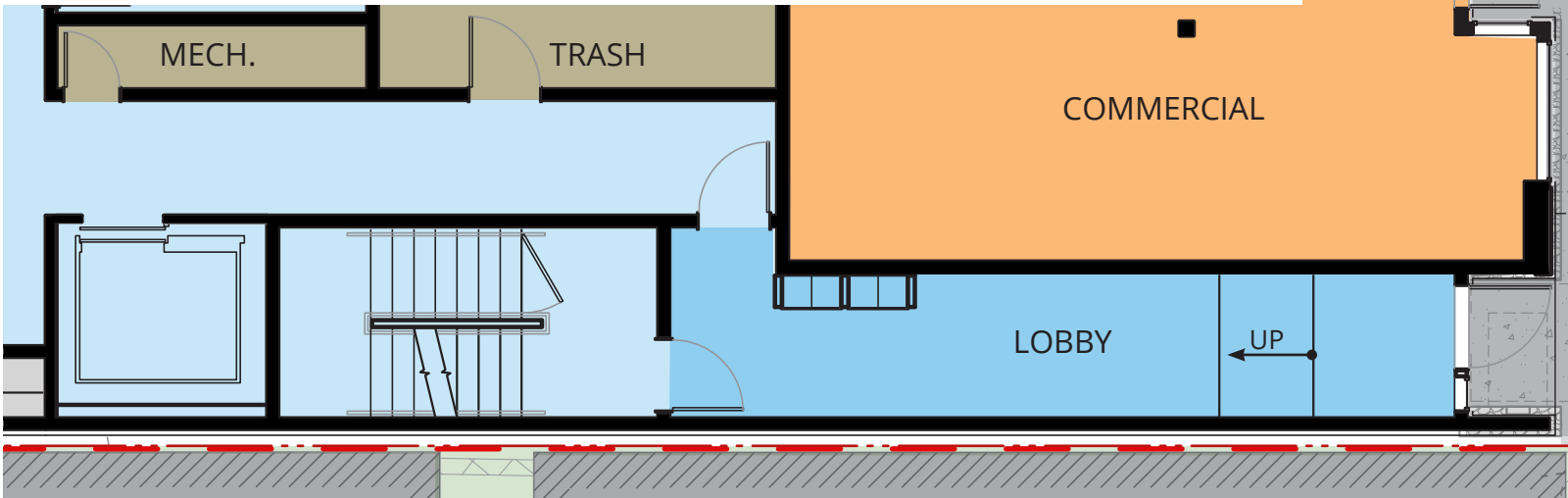
4 FACADE COMPOSITION & MATERIALS

RELATIONSHIP TO SOUTH NEIGHBOR:

- MATERIALS AND MASSING CLEARLY DISTINGUISH BUILDING, WHILE MAINTAINING A STRONG STREET RHYTHM.



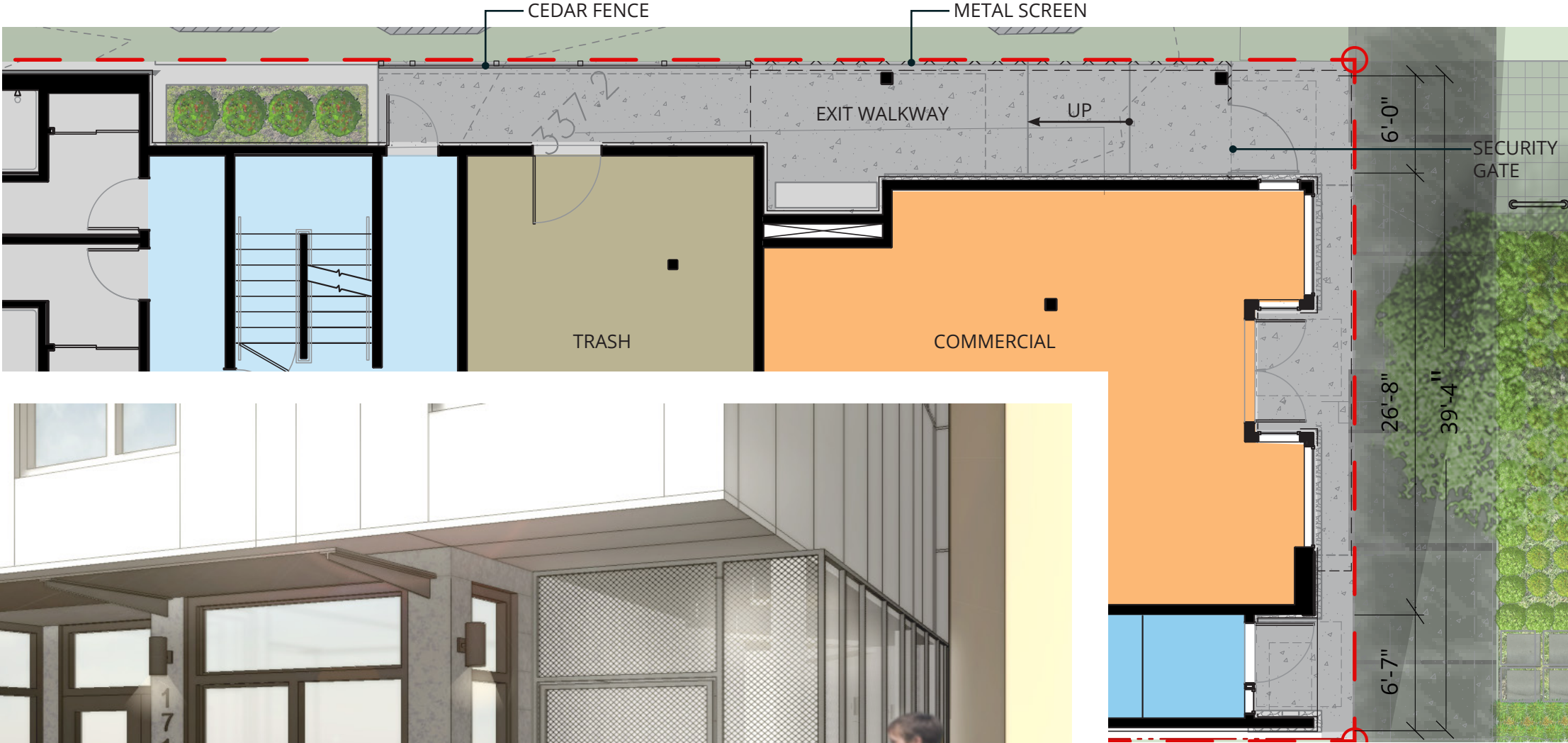
PARTIAL BASEMENT PLAN (N.T.S.)



PARTIAL ENTRY PLAN (N.T.S.)

VIEW FROM NORTHEAST

 PARTIAL ENTRY PLAN (N.T.S.)



DESIGN RESPONSE

2 ADJACENT SITES & SETBACKS

NORTH NEIGHBOR:

- LIGHT MATERIAL PALETTE ALLOWS FOR MORE AMBIENT LIGHT BETWEEN BUILDINGS.

3 ENTRIES & STREETSCAPE

NORTH CORRIDOR:

- RECESSED GATE ALLOWS FOR CORNER WINDOW IN COMMERCIAL SPACE.
- GATE & FENCING ESTABLISHES DEFENSIBLE SPACE.

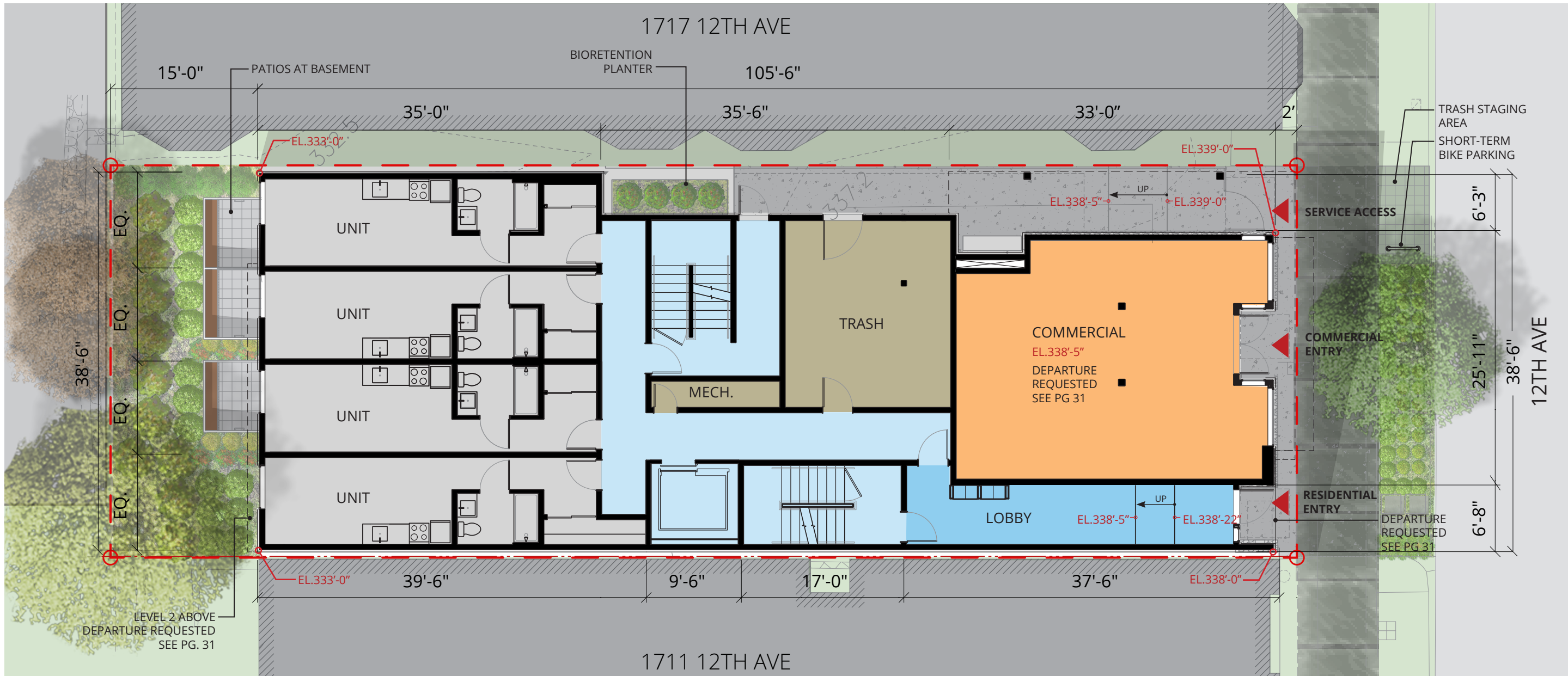
4 COMPOSITION & MATERIALS

- PANEL PATTERN CREATES VISUAL INTEREST AT ZERO-LOT LINE CONDITION.
- PERMEABLE MATERIAL ALLOWS FOR VISIBILITY AND SECURITY IN SIDE YARD.
- EXTEND METAL PANEL ALONG NORTH ELEVATION TO ARTICULATE MASSING.

NOTE: STREET TREES NOT SHOWN FOR CLARITY

COMPOSITE SITE PLAN

SCALE: 3/32" = 1'-0"

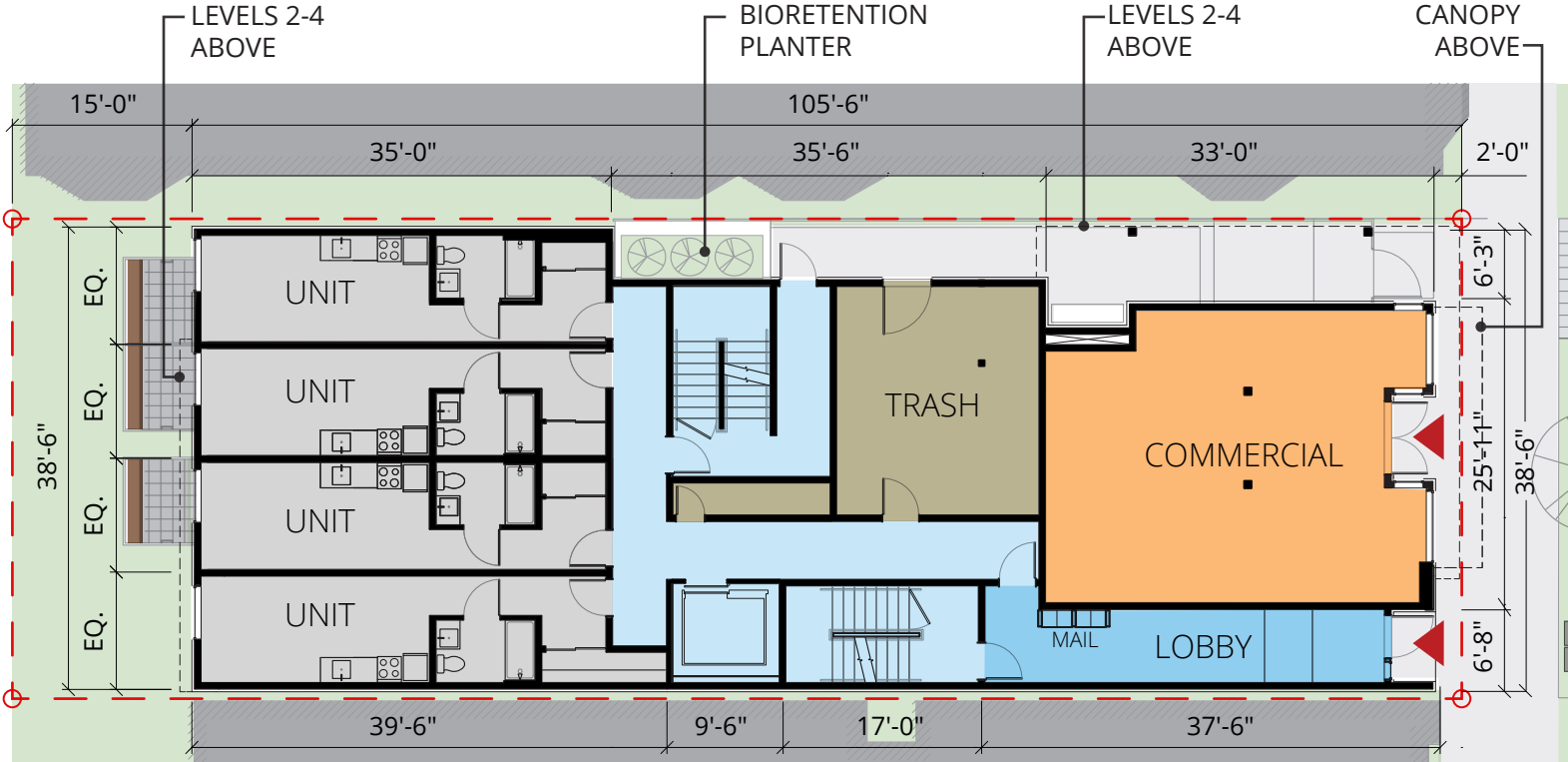


- COMMERCIAL
- BLDG. SERVICE
- RESIDENTIAL
- CIRCULATION / CORE
- COMMON
- PRIMARY ENTRY

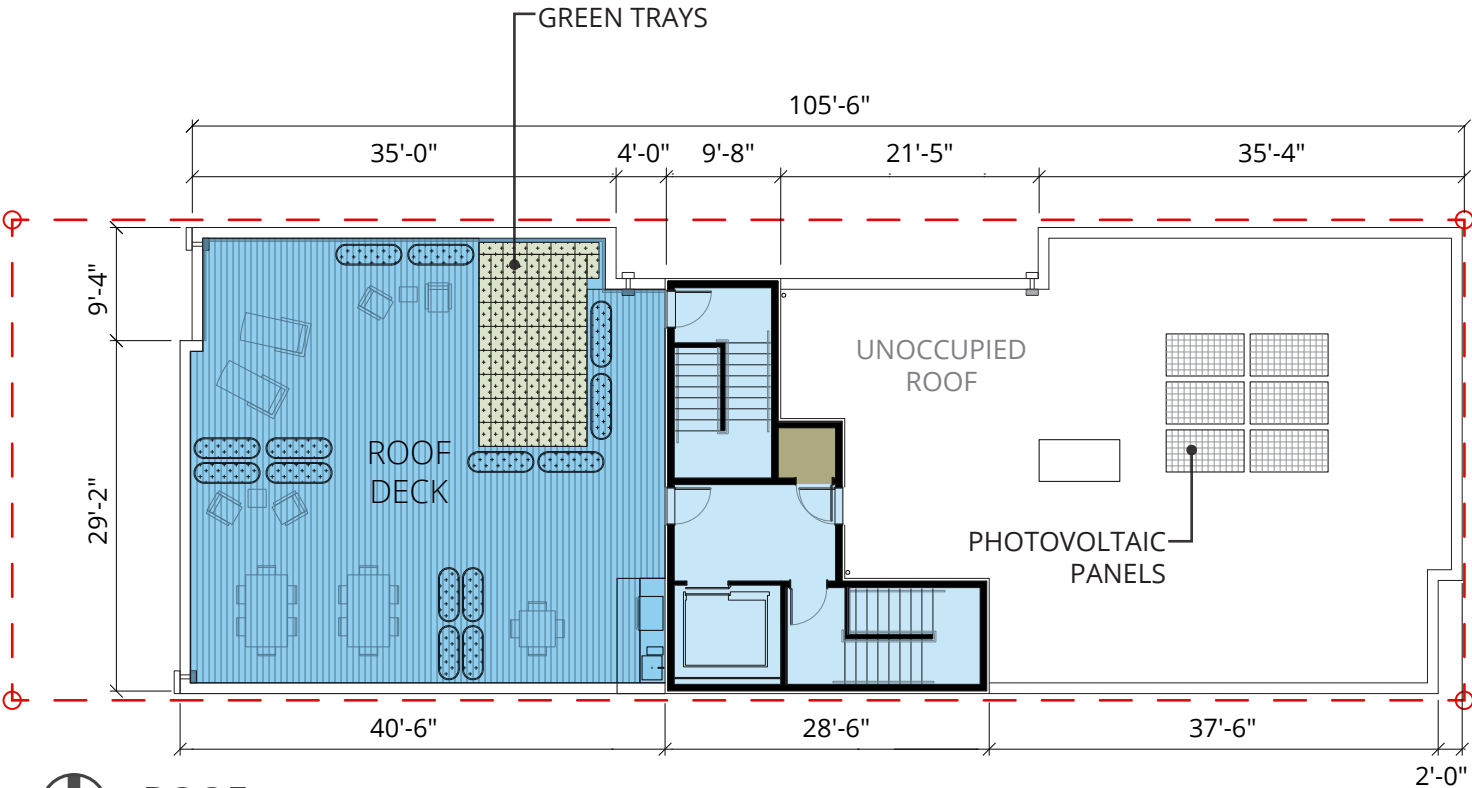
BUILDING PLANS

SCALE: 1/16" = 1'-0"

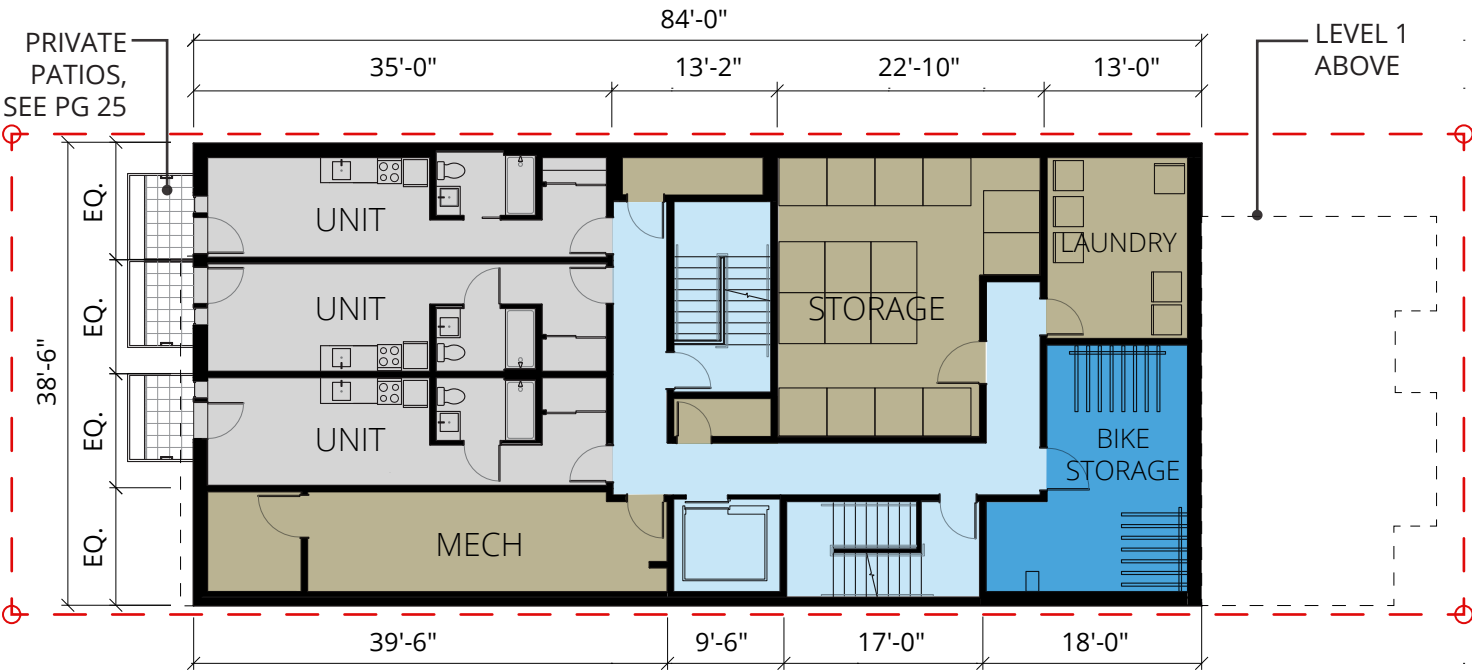
- COMMERCIAL
- BLDG. SERVICE
- RESIDENTIAL
- CIRCULATION / CORE
- COMMON
- PRIMARY ENTRY



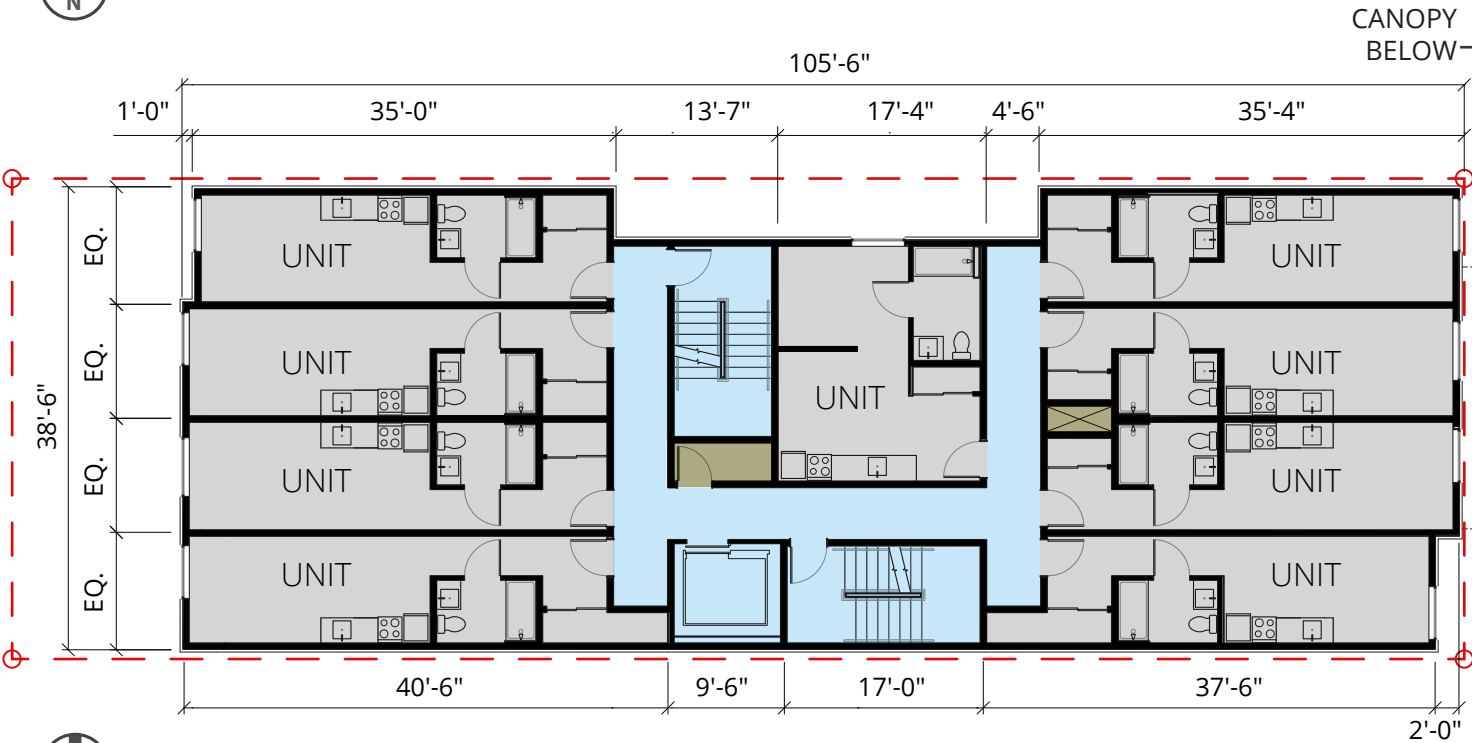
LEVEL 1



ROOF



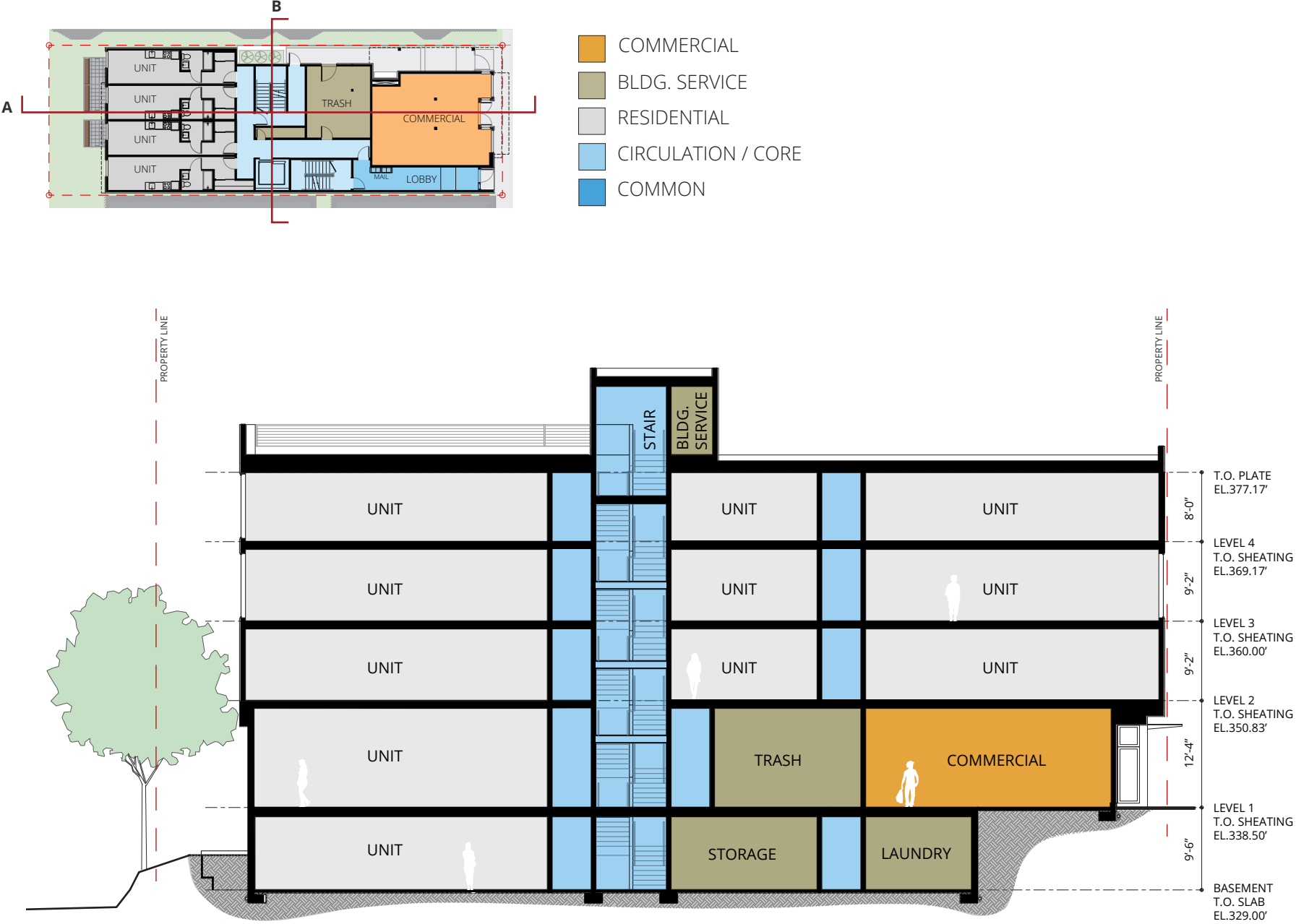
BASEMENT



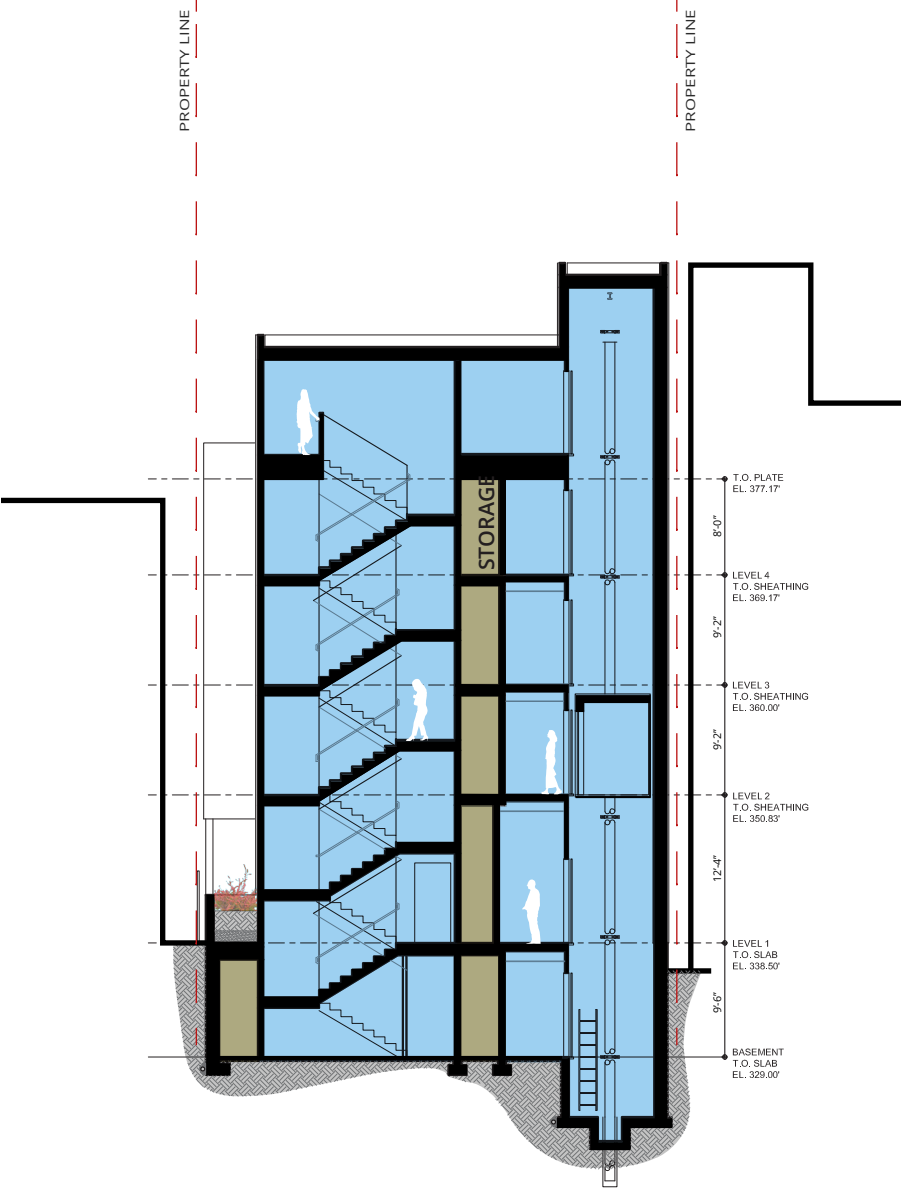
LEVEL 2-4

BUILDING SECTIONS

SCALE: 1/16" = 1'-0"

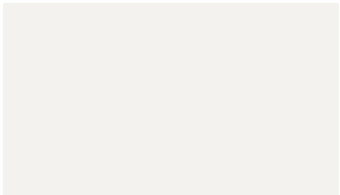


SECTION A



SECTION B

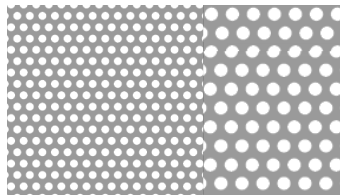
EAST ELEVATION (12TH AVE)
SCALE: 3/32" = 1'-0"



PAINTED FIBER CEMENT
PANEL, WHITE



FLUSH PANEL METAL
SIDING, GALVALUME



PERFORATED METAL
SCREENING



BLACK VINYL WINDOWS



WHITE VINYL WINDOWS



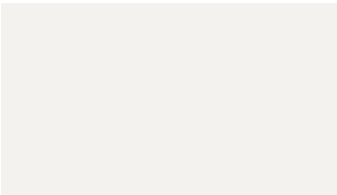
BLACK STOREFRONT
WINDOWS



POWDER COATED CANOPY

NORTH ELEVATION

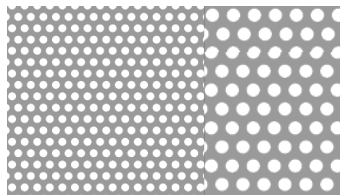
SCALE: 3/32" = 1'-0"



PAINTED FIBER CEMENT
PANEL, WHITE



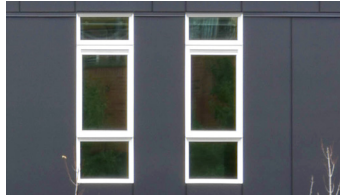
FLUSH PANEL SIDING,
GALVALUME



PERFORATED METAL
SCREENING



EXPOSED CONCRETE



WHITE VINYL WINDOWS



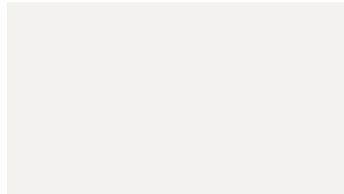
NATURAL CEDAR FENCE



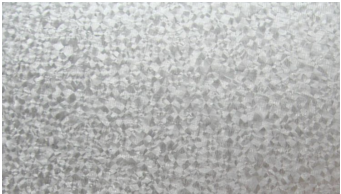
POWDER COATED CANOPY

WEST ELEVATION

SCALE: 3/32" = 1'-0"



PAINTED FIBER CEMENT
PANEL, WHITE



FLUSH PANEL SIDING,
GALVALUME



EXPOSED CONCRETE



WHITE VINYL WINDOWS



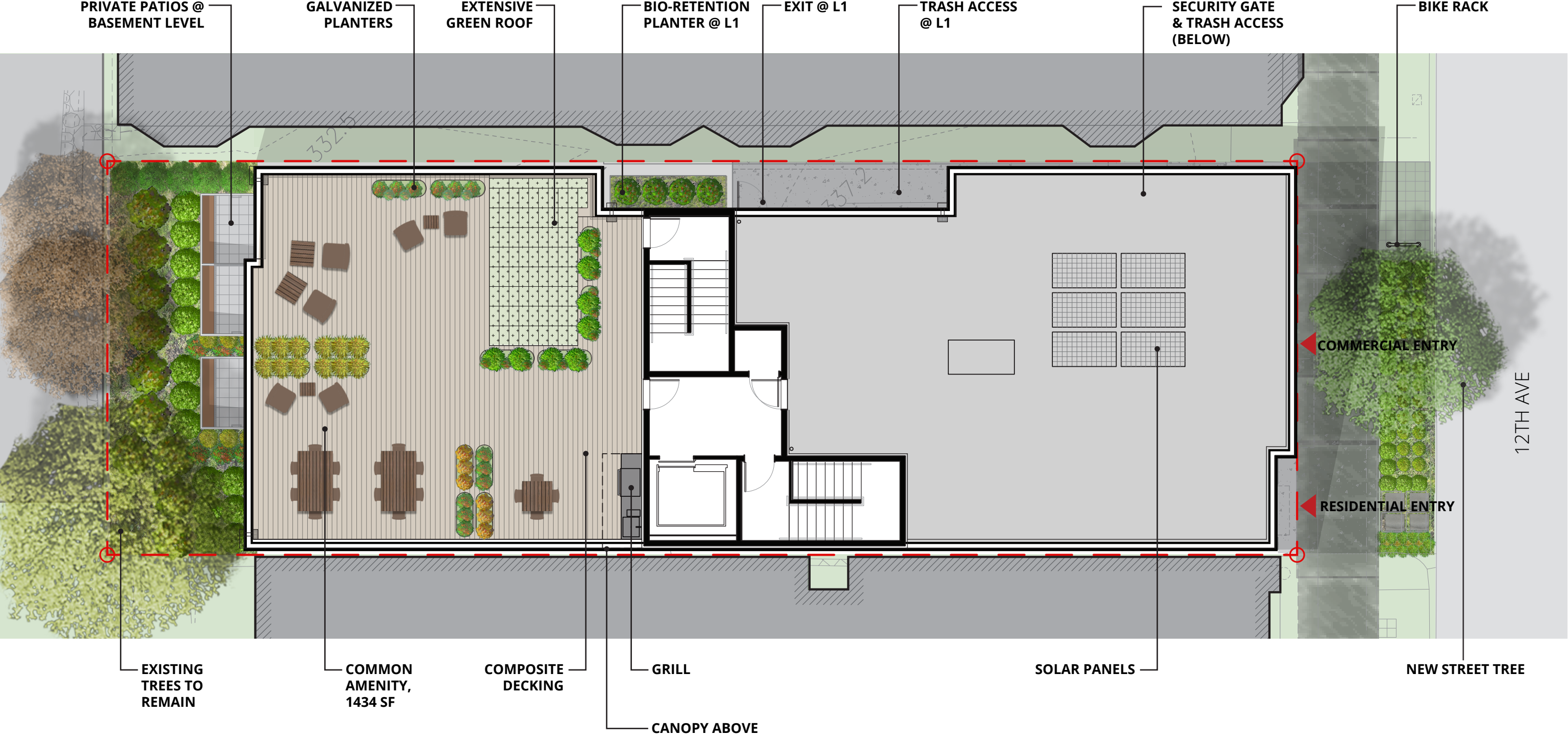
BLACK VINYL WINDOWS



POWDER COATED CANOPY

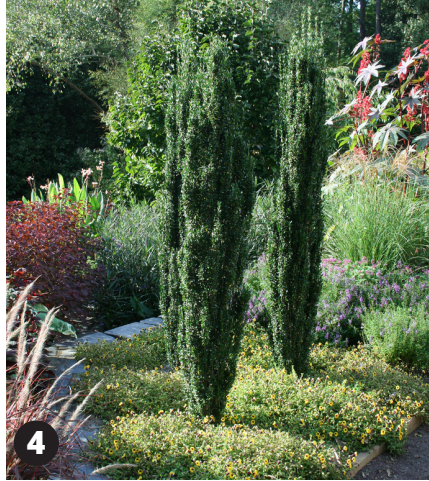
LANDSCAPE PLAN

SCALE: N.T.S



LANDSCAPE ELEMENTS

RIGHT-OF-WAY



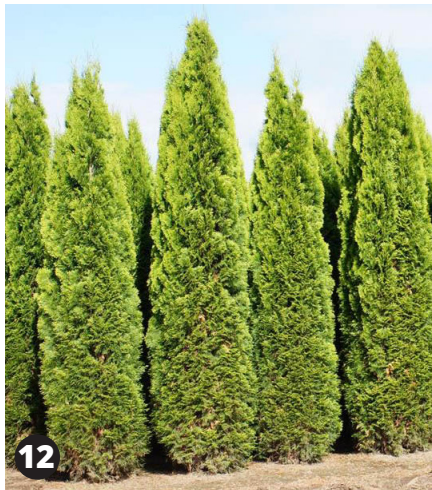
- (left to right)
- 1. 'Magnolia Denudata' Yulan Magnolia
 - 2. 'Prunus Mt Vernon' Mt Vernon Laurel
 - 3. Carex Morrow II 'Ice Dance'
 - 4. Ilex Crenata 'Sky Pencil'
 - 5. Midwinter Fire Redtwig Dogwood

REAR YARD

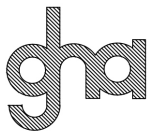


- 6. Arbutus Compacta
- 7. Green Spire Pyramidalis
- 8. 'Sasa Vetchii' Kuma Bamboo Grass
- 9. Rosemary Arp
- 10. Angelina Stone Crop

ROOF DECKS



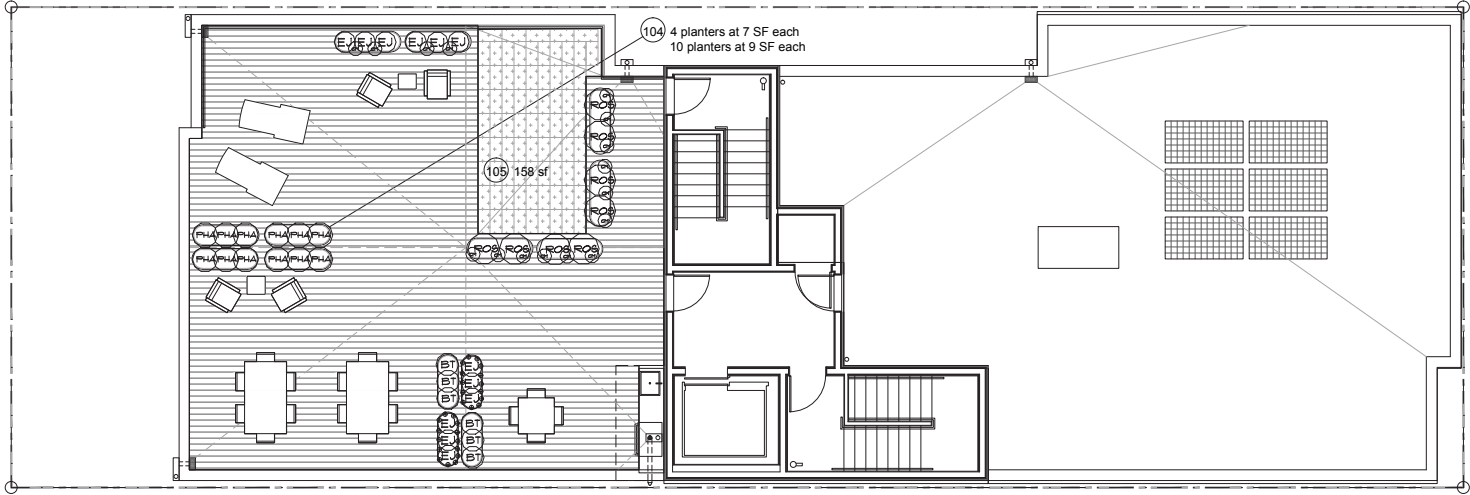
- 11. 'Hakonechloa Macra' Japanese Forest Grass
- 12. Emerald Green Pyramidalis
- 13. Moonbeam Coreopsis
- 14. 'Phyllostachys Aurea' Golden Bamboo
- 15. Sunjoy Gold Pillar Barberry



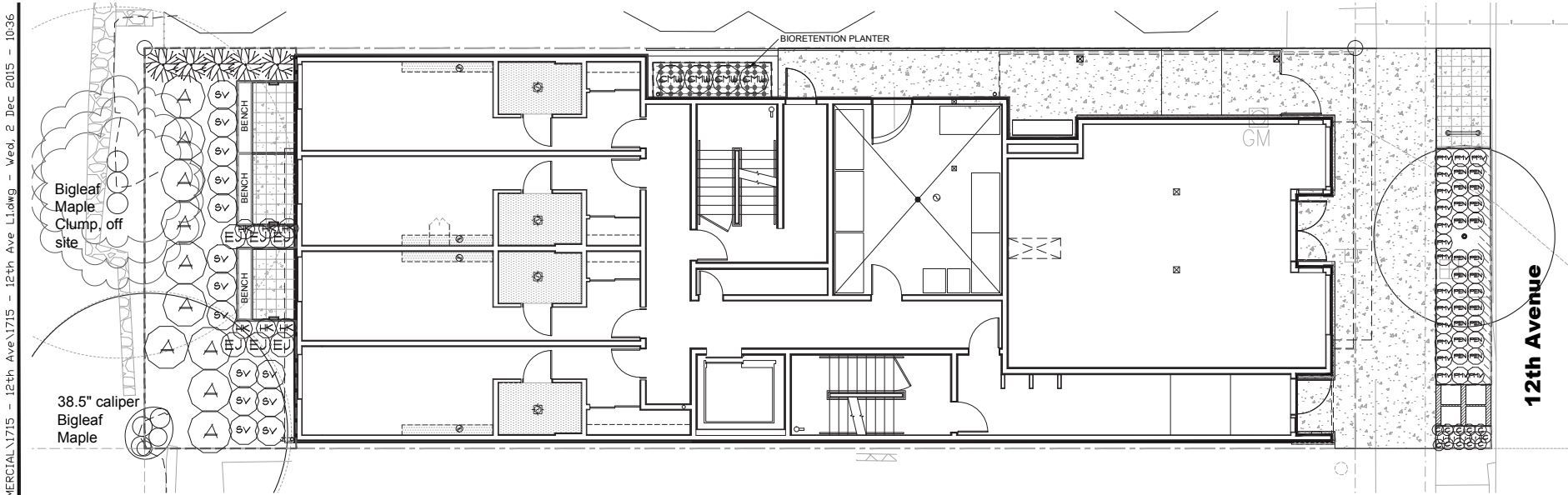
GHA Landscape Architects

LANDSCAPE PLAN

SCALE: N.T.S



ROOF DECK



GROUND LEVEL

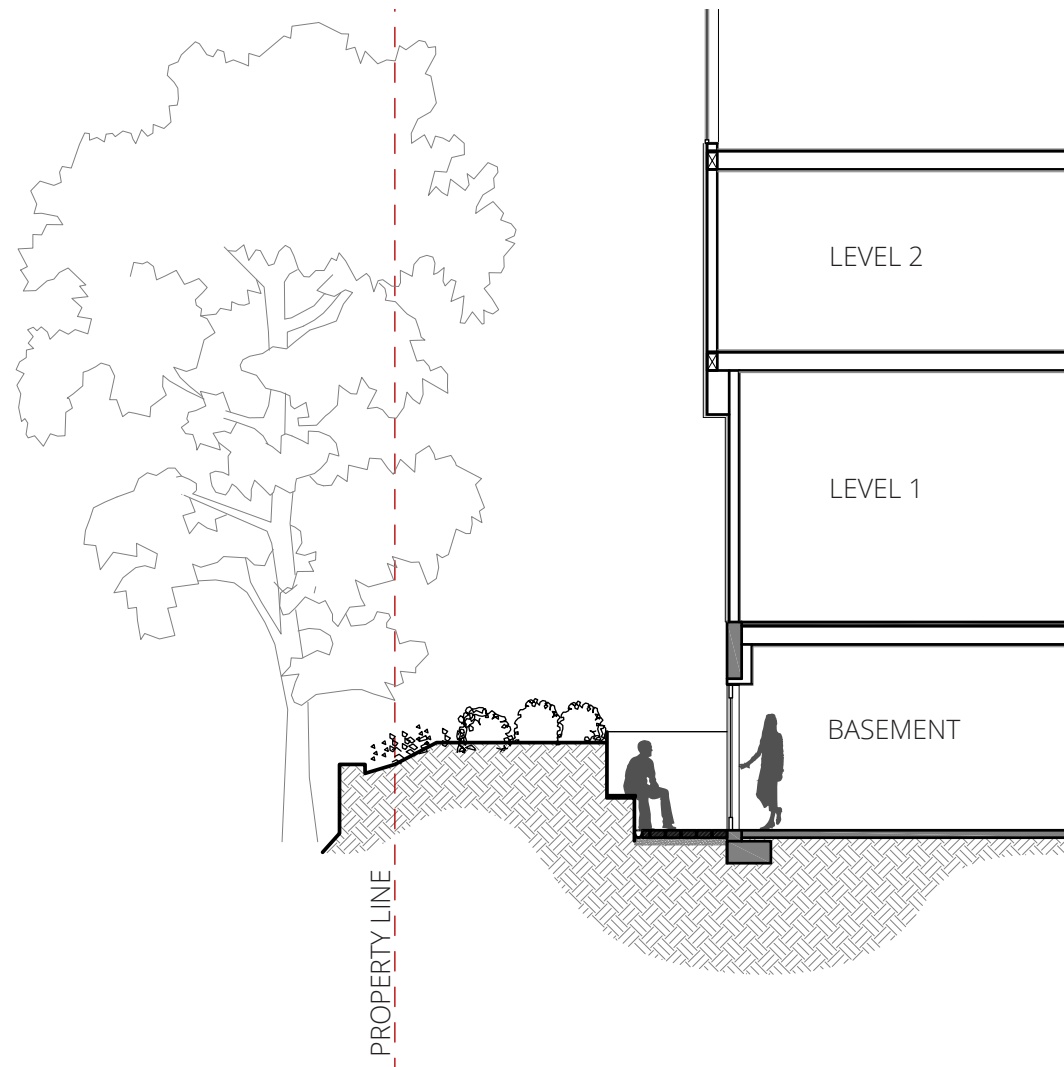
PLANT SCHEDULE

QUANT	BOTANICAL NAME	COMMON NAME	SIZE	
1	MAGNOLIA DENUDATA	YULAN MAGNOLIA	2.0" CAL	
	STREET TREE FORM			
56 #	ACORUS GRAMINEUS 'OBOROZUKI'	GRASSY-LEAVED SWEET FLAG	1 GAL	
10 #	ARBUTUS U. COMPACTA	COMPACT STRAWBERRY BUSH	2 GAL	
6 #	BERBERIS THUNBERGII 'MARIA' P.P.	SUNJOY® GOLD PILLAR BARBERRY	2 GAL	
11 #	CAREX MORROWII 'ICE DANCE'	ICE DANCE SEDGE	1 GAL	
16 #	COREOPSIS 'MOONBEAM'	MOONBEAM COREOPSIS	1 GAL	
4 #	CORNUS S. MIDWINTER FIRE	MIDWINTER FIRE REDTWIG DOGWOOD	2 GAL	
18 #	EUONYMUS GREEN SPIRE	GREEN SPIRE EUONYMUS	2 GAL	
6	HAKONECHLOA MACRA	JAPANESE FOREST GRASS	2 GAL	
4 #	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	2 GAL	
22 #	PENNISETUM 'HADELN'	DWARF FOUNTAIN GRASS	2 GAL	
17 #	PRUNUS MT VERNON	MT VERNON LAUREL	1 GAL	
12 #	ROSMARINUS 'ARP'	ROSEMARY ARP	2 GAL	
14 #	SASA VEITCHII	KUMA BAMBOO GRASS	2 GAL	
42 #	SEDUM RUPESTRE 'ANGELINA'	ANGELINA STONECROP	1 GAL	
5 #	THUJA 'EMERALD GREEN'	EMERALD GREEN PYRAMIDALIS	6-7'	
12 #	PHYLLOSTACHYS AUREA	GOLDEN BAMBOO	2 GAL	
12 #	RUBUS PENTALOBUS 'EMERALD CARPET'	CREEPING RUBUS	1 GAL	24" O.C.
18 #	THYMUS PSEUDOLANUGINOSUS	WOOLLY THYME	4" pots	8" O.C.

REAR YARD + ROOF DECK ELEMENTS

REAR YARD SECTION

* DRAWING NOT TO SCALE



ROOF DECKING



BAMBOO COMPOSITE DECKING

PLANTERS

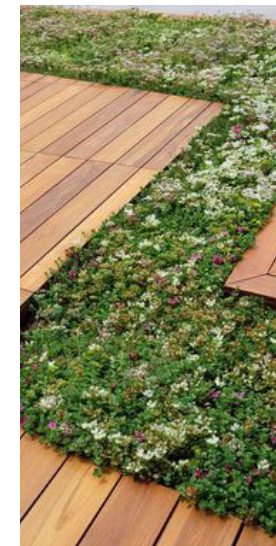


98 & 123 GALLON HORSE TROUGH PLANTERS

ROOF SEATING CONCEPTS



GREEN TRAY SYSTEMS



SEEDUM GREEN TRAYS



DESIGN RESPONSE

1 MASSING

WINDOW WELLS:

- HEIGHT OF WINDOW WELL MINIMIZED.
- SEATING INTEGRATED INTO WELL FOR AMENITY AND TO INCREASE DAYLIGHT.
- LOW PLANTING CREATES VISUAL INTEREST AND ALLOWS VISIBILITY.

ROOF DECK AMENITY:

- PLANTERS DIVIDE SPACE INTO MULTIPLE AREAS.
- VIEWS MAXIMIZED TO THE WEST.

SITE LIGHTING PLAN

SCALE: N.T.S



1 HANGING UP-LIGHT
FIXTURE



2 STEP LIGHT



3 WALL SCONCE



4 WALL SCONCE, BLACK



5 LANDSCAPE LIGHT

EAST ELEVATION

SCALE: N.T.S

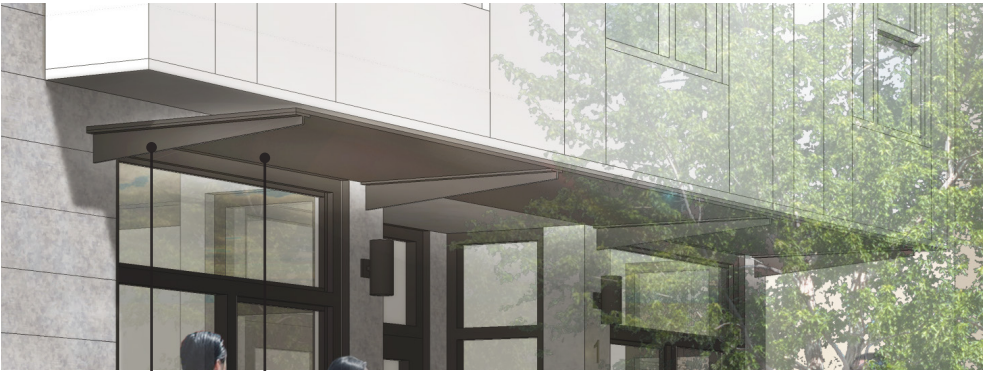


BACK-LIT PERFORATED METAL ENTRY SOFFIT W/ OPAQUE RESIDENTIAL ADDRESSING

SCONCES AT SIDEWALK
COMMERCIAL CANOPY

COMMERCIAL ADDRESSING
PERFORATED SECURITY GATE

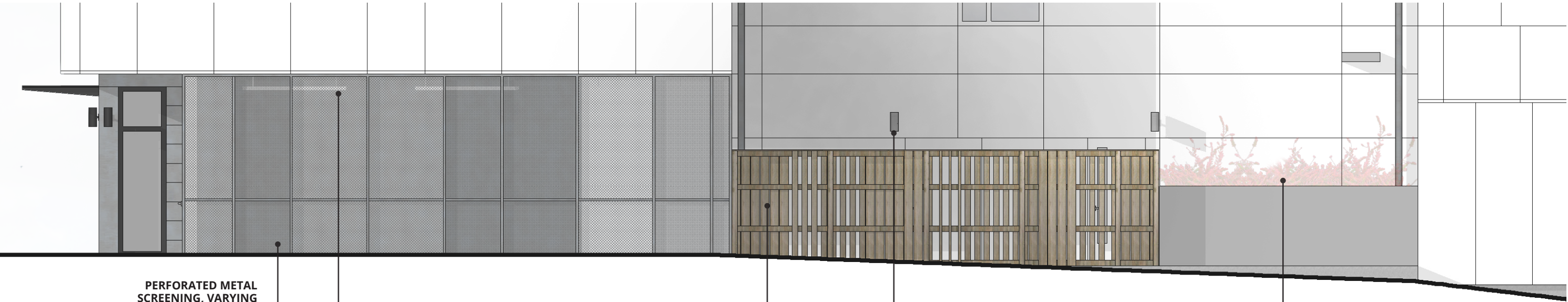
CANOPY



STEEL CANOPY, POWDER COATED BLACK
STEEL BRACKETS, POWDER COATED BLACK

NORTH ELEVATION

SCALE: N.T.S



PERFORATED METAL SCREENING, VARYING OPACITY RESPONDS TO PANEL PATTERN
UPLIGHTS BEHIND SCREENING FOR AMBIENT SECURITY LIGHTING

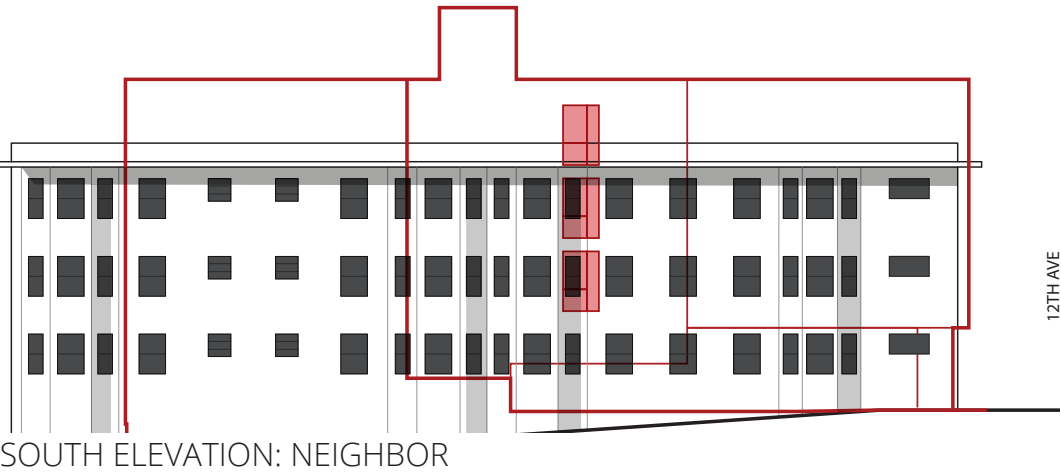
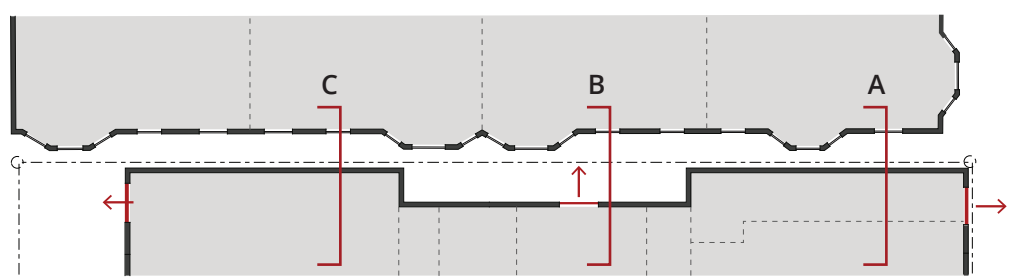
CEDAR FENCING ESTABLISHES SMALLER SCALE, PATTERN RESPONDS TO PANEL PATTERN

SCONCES PROVIDE INDIRECT LIGHTING

BIORETENTION PLANTER ADDS INTEREST IN NORTH YARD

PRIVACY TO NORTH NEIGHBORS

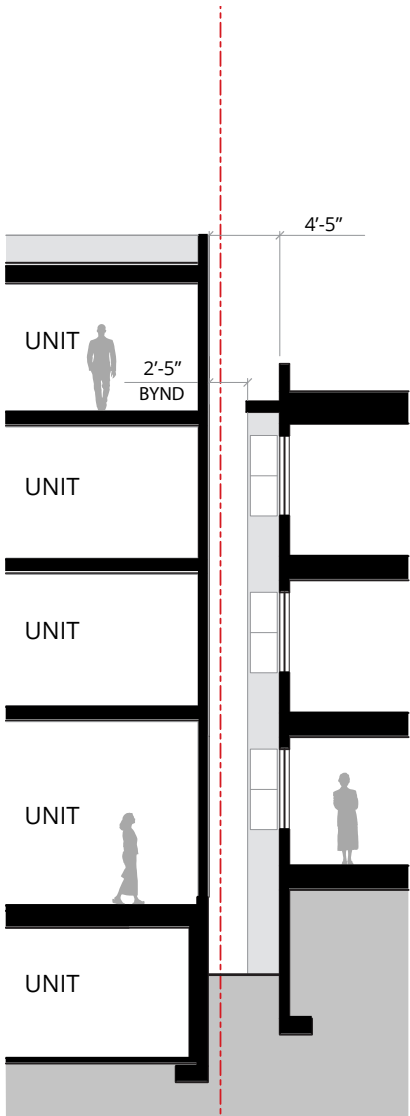
PLAN: LEVELS 2-4



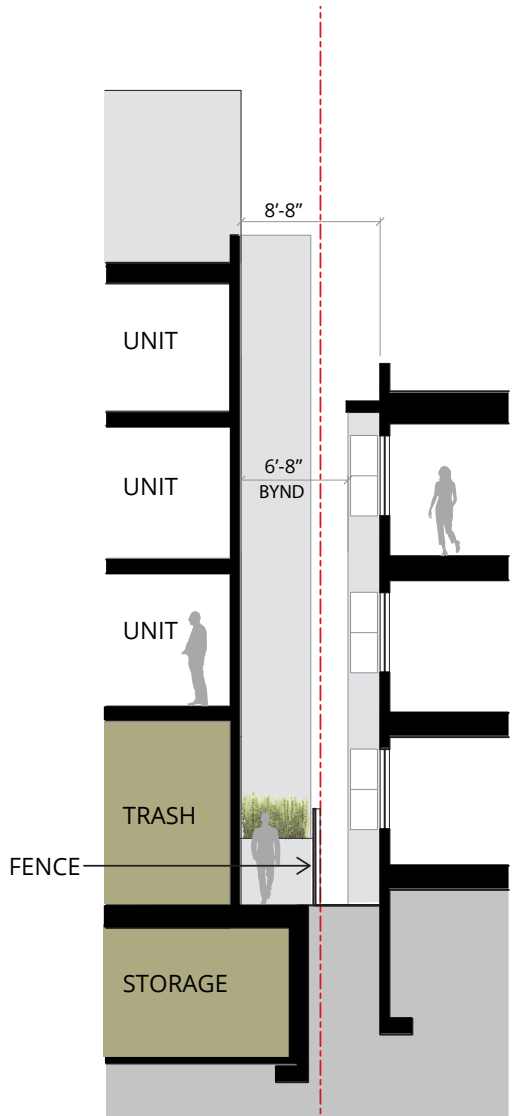
SOUTH ELEVATION: NEIGHBOR



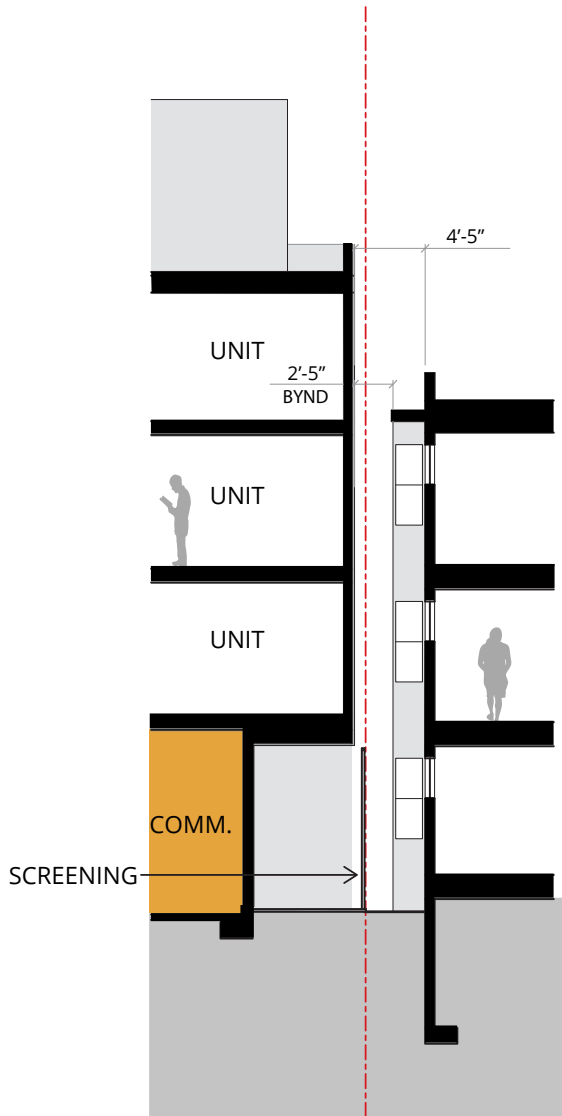
NORTH ELEVATION



SECTION C



SECTION B



SECTION A

DESIGN RESPONSE

1 MASSING

- A LARGE LIGHT WELL IS ESTABLISHED AT THE CENTER OF THE BUILDING TO ALLOW MORE AMBIENT LIGHT AND SEPARATION TO NORTH.
- WEST MODULATION IS PULLED AWAY FROM NORTH PROPERTY LINE TO PROVIDE ADDITIONAL SEPARATION.

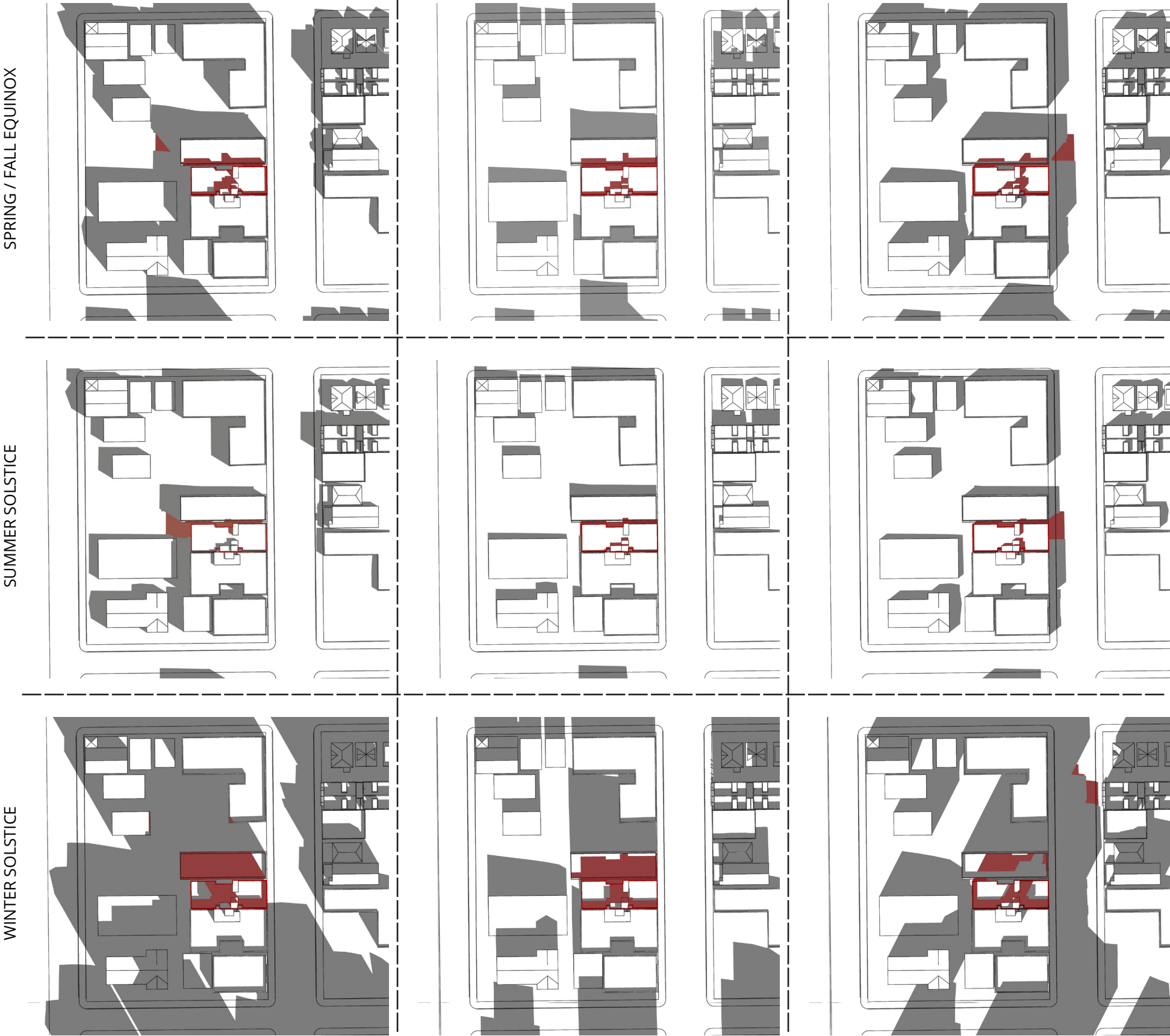
2 ADJACENT SITES & SETBACKS

- 8'-8" SEPARATION AT LIGHT WELL, 4'-5" TYPICAL SEPARATION, 2'-5" SEPARATION AT MINIMUM.
- WINDOW OVERLAP OCCURS AT 8'-8" SEPARATION. INTERIOR CONFIGURATION GREATLY LIMITS PRIVACY CONFLICTS.
- OFFSET GROUND FLOORS AND MASSING/WINDOW ADJACENCIES LIMIT OPPORTUNITY FOR PRIVACY CONFLICT AT NORTH WALKWAY.
- REAR YARD IS LIMITED TO LANDSCAPING AND PRIVATE PATIOS TO LIMIT NOISE IMPACTS.

4 FACADE COMPOSITION & MATERIALS

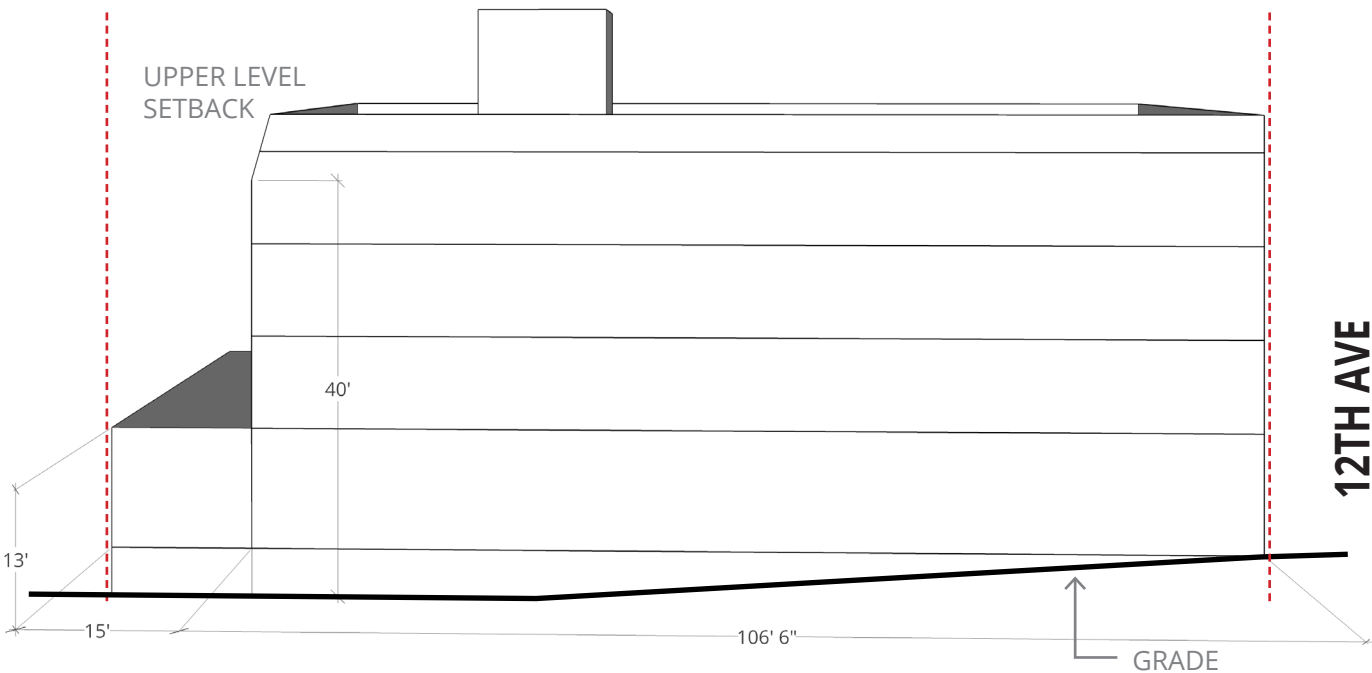
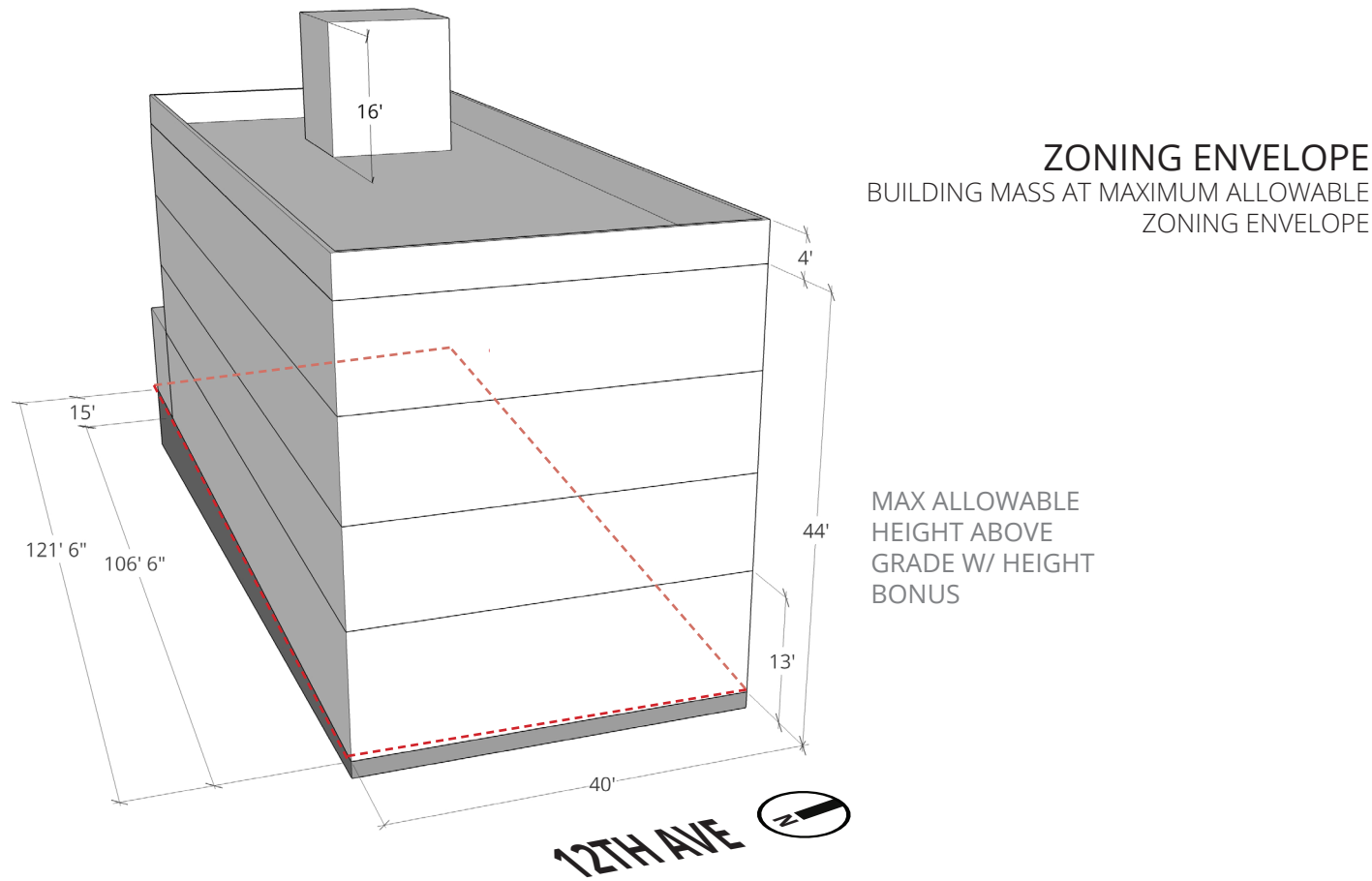
- LIGHT & BRIGHT PANEL FINISH MAXIMIZES REFLECTIVE LIGHT.
- PANEL PATTERN CREATES SUBTLE VISUAL INTEREST AND VARIETY FOR BLANK WALL CONDITION.
- SCREENING & FENCES INTENTIONALLY DESIGNED & TRANSITIONED TO LIMIT VISUAL CLUTTER FOR NEIGHBOR.

SUN PATH / SHADOW STUDY



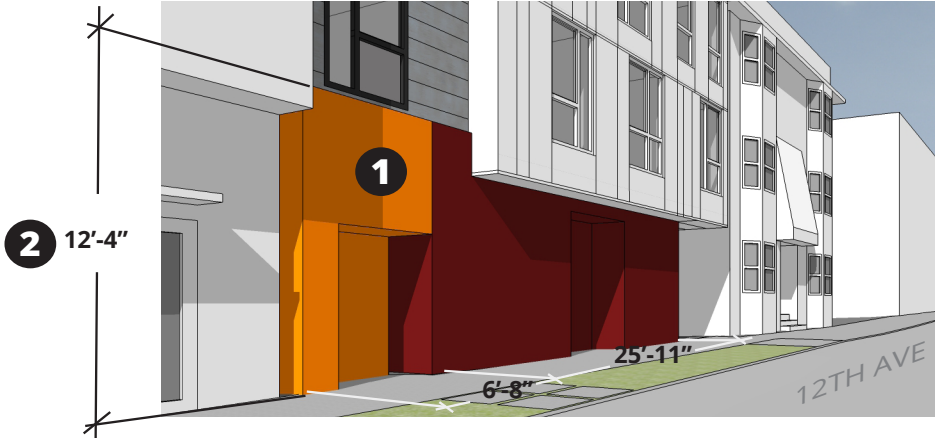
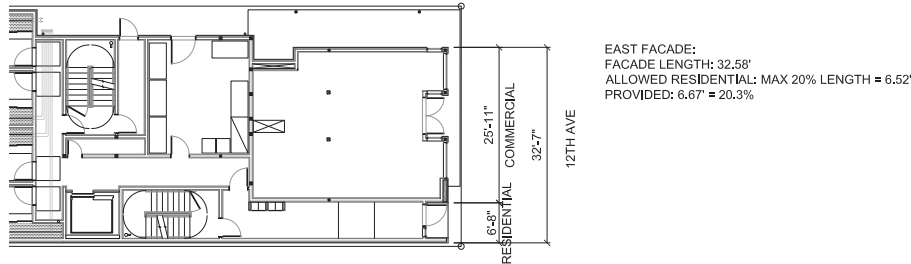
ZONING: NC3-40
OVERLAYS: CAPITOL HILL URBAN CENTER VILLAGE / CAPITOL HILL STATION DISTRICT / FREQUENT TRANSIT

SMC Code	Definition
SMC 23.47A.004	SMC Code PERMITTED USES Uses permitted outright: eating drinking establishments, lodging, offices, sales & service, residential & live work. Live work is considered a commercial use.
SMC 23.47A.005	STREET-LEVEL USES Residential uses are limited to 20% of the ground floor street-level facade when facing an arterial.
SMC 23.47A.008	STREET-LEVEL DEVELOPMENT STANDARDS - Blank facades may not exceed 20' in width or 40% of the facade within 2' and 8' above sidewalk grade. - 60% transparency required between 2' and 8' above sidewalk grade. - 15' min and 30' average commercial depth required. - Commercial at grade shall have a minimum 13' floor-to-floor height. - Street facing facades shall be within 10' of the lot line.
SMC 23.47A.012	HEIGHT - Base height limit of 40' above average grade. - Additional 4' of height for having a 13' minimum floor-to-floor height at ground level. - Parapets, railings etc. may extend 4' above the allowed height limit. - Stair and elevator penthouses may extend 16' above the allowed height limit.
SMC 23.47A.013	FLOOR AREA RATIO 4.0 FAR allowed for mixed-use development within the Station Area Overlay District.
SMC 23.47A.014	SETBACKS - 15' rear setback above 13' required when containing a residential use and abutting a lot in a residential zone. - Additional setback of 2' horizontal for every 10' vertical above 40' is required.
SMC 23.47A.016	LANDSCAPING - 0.30 Green Factor required.
SMC 23.47A.024	AMENITY AREA - 5% of total floor area in residential use shall be provided as amenity area. - All residential shall have access to a common or private amenity area. - Common Amenity: minimum 250 sf, 10' min. dimension. Private decks & balconies shall be 60 sf min., 6' min. dimension.
SMC 23.54.015	REQUIRED PARKING - No vehicular parking required (Urban Center Village). - Bicycle Parking: - Residential, Long Term: .75 spaces per 1 SEDU, 1 space per 4 units. - Commercial, Long Term 1 per 12,000 SF, Short Term, 1 per 4,000 sf.
SMC 23.54.040	SOLID WASTER & RECYCLING - Residential (26-50 units): 375sf. - Commercial (0-5,000 sf): 82sf. - Mixed-use building must meet the storage requirement for the residential portion of the structure + 50% of the commercial requirement. - 12' minimum horizontal dimension.



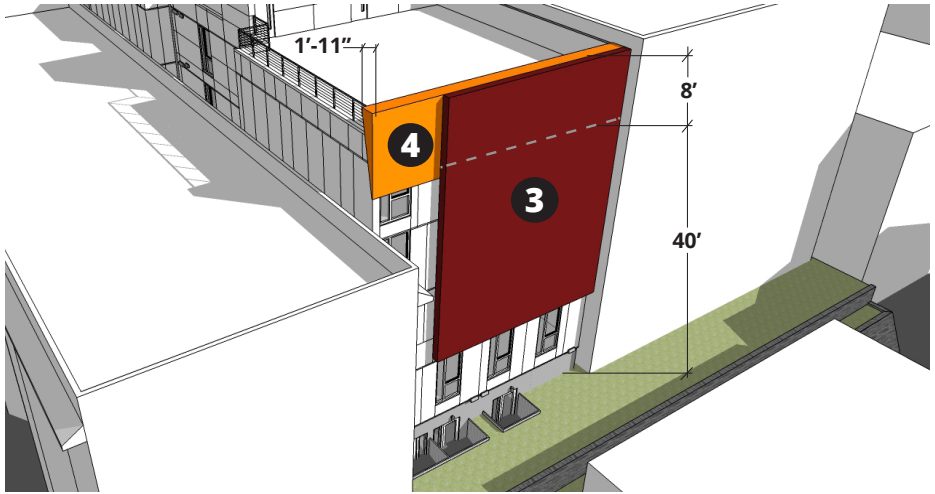
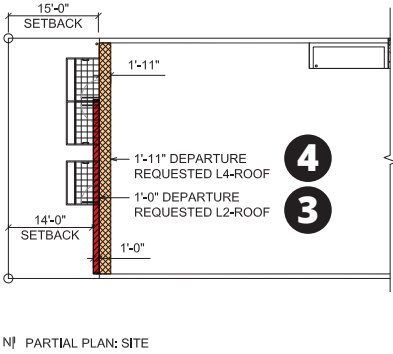
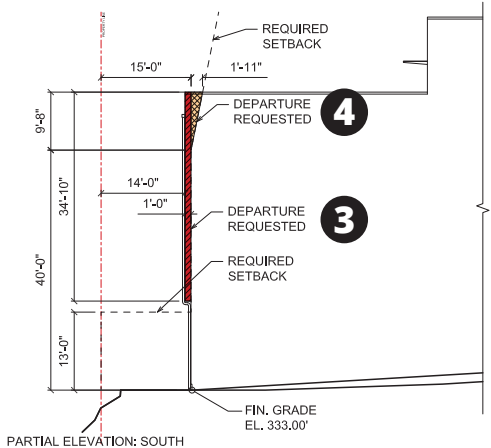
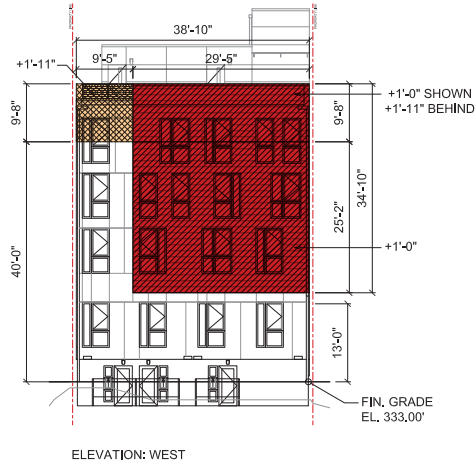
CODE	STANDARD	REQUIRED/ ALLOWED	PROPOSED	GUIDELINES	JUSTIFICATION
1 SMC 23.47A.005.C.1.G	Street Level Uses	Residential use < 20% of street level, street facing facade	20.3%	DC2/E.1: Legibility and Flexibility PL3/A.1+2: Entries + Ensemble of Elements CS2/D.5: Respect for adjacent sites	Provide a balanced street level composition and a secondary exterior residential exit point for building services and egress. The exterior court reduces the overall width of the street facing facade yet provides increased visibility to the commercial space and separation from the neighboring structure
2 SMC 27.47A.012	Commercial Height	13' fl to fl height @ ground level	12'-4" fl-fl height @ ground level	CS2/D.1+2: Height, Bulk, and Scale Cap Hill PL3/I: Transition between Residence + Street DC1/A.1: Visibility	The site slopes from east to west, establishing an experientially lower average grade along the street front. A reduction in commercial height is requested to provide the ideal commercial entrance location & sidewalk elevation, while providing more desirable residential ceiling heights.

STREET LEVEL USE DIAGRAM



3 SMC 23.47A.014.B.3	Rear Setback (above 13')	Residential use requires 15' setback from rear lot line for portions of building >13' when abutting a residential zone	14' setback >13' total area = 1,024.3 sf	DC2/A.1: Reduced Perceived Mass DC2/B.1: Facade Composition	Prominent west facade does not abut a residential use. The request is to decrease the setback allows for building modulation, creating more dynamic elevation in keeping with the design language used at the prominent , visible building facades. Additional massing is towards south, away from north neighbor.
4 SMC 23.47A.014.B.3	Rear Setback (Above 40')	Residential use requires an additional setback from rear lot line beyond 15' at a rate of 2' per 10' height increase >40', when abutting a residential zone	maintain 15' setback for an additional 9'-8" above 40' (1'-11" depth max) total area = 375.4 sf	CS2/D.1+2: Height, Bulk, and Scale CS2/C.2: Mid-Block Sites DC1/A.4: Views and Connections	Prominent west facade does not abut a residential use. Extending the 15' setback allows for more modulation and coherent massing.

SETBACKS DIAGRAM



- 3 DEPARTURE FOR 15' REAR SETBACK ABOVE 13' (1'-0" REQUESTED - 1,024.3 SF TOTAL)
- 4 DEPARTURE FOR SETBACK ABOVE 40' (1'-11" REQUESTED - 375.4 SF TOTAL)



A



B



C



D

S+HWorks | JOHNSON & CARR, LLC
ARCHITECTURE & DESIGN

- A** 1806 MULTIFAMILY
1806 23RD AVE / SEATTLE, WA
- B** 2429 TOWNHOUSES
2429 8TH AVE N / SEATTLE, WA
- C** PHINNEY MULTIFAMILY
8727 + 8731 AVE N / SEATTLE, WA
- D** BOYLSTON FLATS (PERMITTING)
1404 BOYLSTON SEATTLE, WA