

JUNCTION FLATS
4433-4441 42ND AVENUE SW, SEATTLE, WA

DESIGN RECOMMENDATION MEETING
DPD #3013912

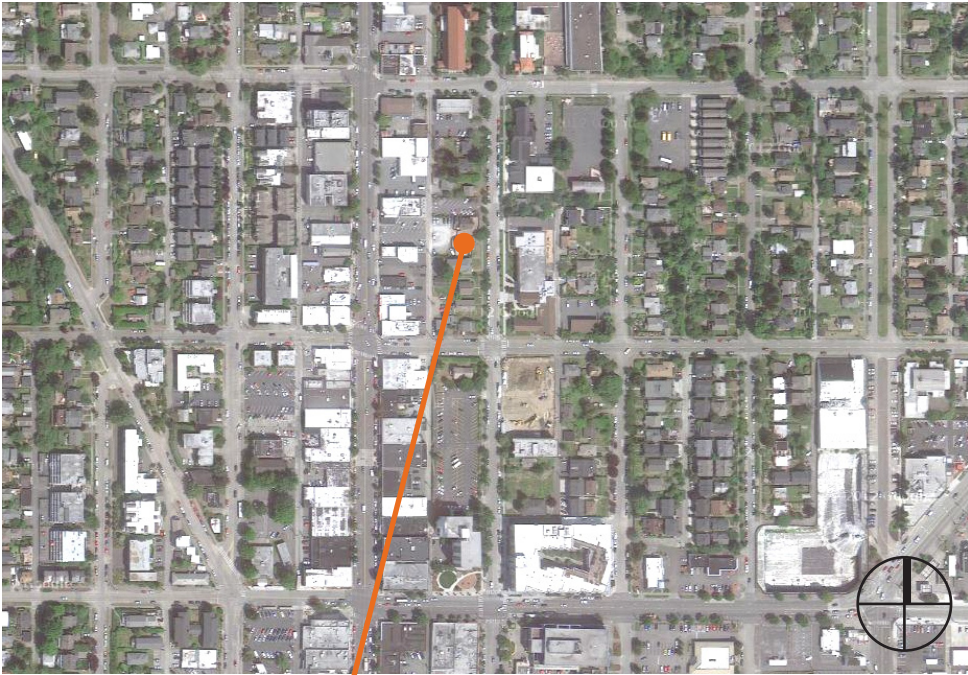
AUGUST 29, 2013



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PROJECT DESCRIPTION



SITE LOCATION

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ADDRESS: 4433 42nd Avenue SW, Seattle, WA

DPD PROJECT #: 3013912

OWNER: Junction Flats, LLC

APPLICANT: Nicholson Kovalchick Architects

CONTACT: Courtney McCunney

DEVELOPMENT OBJECTIVES

Proposed new construction of an 80 unit residential building, including 2 ground-level Live-Work units along the building’s 42nd Ave SW (east) façade. Although no parking is required, secure parking will be provided for 52 vehicles in a below-grade parking structure, and due to the site’s proximity to the heart of the West Seattle Junction Hub Urban Village, will help to reduce street overcrowding.

The proposed project reinforces the existing pedestrian scale of 42nd Ave SW, while at the same time, increases density and community connectivity of the West Seattle Junction neighborhood. The project takes advantage of its site along the West Seattle ridge by maximizing views to the Puget Sound and Olympic Mountains to the west, and Elliott Bay, Downtown, and the Cascades to the east. Large windows are provided on all façades, and a 3,100 square foot tenant amenity deck is provided on the roof.

PROJECT PROGRAM

Number of Residential Units:	78
Number of Live/Work Units:	2
Number of Parking Stalls:	52
Area of Residential Uses:	45,362 sf
Area of Live/Work Units:	1,530 sf
Total Area (Including Parking & Utility):	70,633 sf

EXISTING SITE

The project site consists of three parcels, located mid-block along 42nd Avenue SW, between SW Oregon Street and SW Genesee Street, with a total area of 17,250 sf. The project includes the relocation and/or demolition of three single-family houses currently located on those parcels. The site is bound on the west by a 16’-0” wide alley. The site gradually slopes down by approximately 5’-0” from the north to the south.

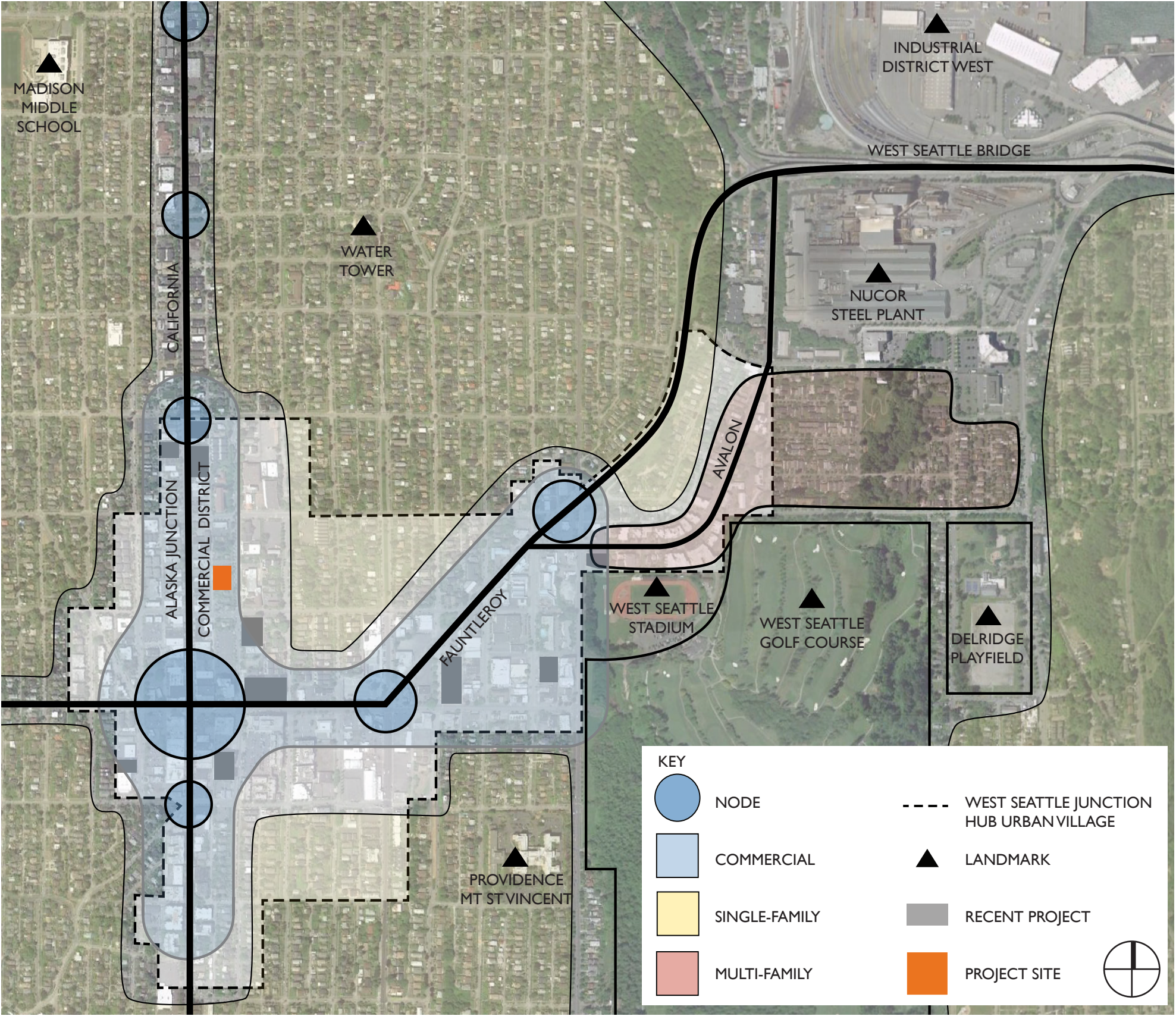
ZONING AND OVERLAY DESIGNATION

The parcel is zoned NC2-40 and is located within the West Seattle Junction Hub Urban Village. The area immediately surrounding the project site is zoned NC2-65 & LR3 to the west, NC3-65 to the south, and LR2 immediately to the east, with SF 5000 zoning located at 41st Ave SW and eastward. The site is also located within a Frequent Transit Corridor.

NEIGHBORING DEVELOPMENT

The project site is located within the West Seattle Junction Hub Urban Village, and only 1.5 blocks to the northeast of the intersection of California Ave SW and SW Alaska St. While zoned NC2-40, the block is mainly characterized by a number of institutional and religious buildings. A church and parochial school are located directly across the street to the east, and there are several other churches and schools in the immediate vicinity. As this character is unlikely to change anytime soon, the proposed building will not be overly commercial in nature, and will complement the existing buildings on the block, both stylistically and materially.

While the immediate block is mainly institutional in character, a new 65’-0” residential building is under construction a half block to the south, and the relatively new Capco Plaza/QFC and Mural mixed use buildings are within 2 blocks to the south. The site is very pedestrian friendly, and within 1,000 feet of the major West Seattle Junction public transit hub. There are multiple shops, restaurants, cafés, and grocery stores all within walking distance of the site.



OPPORTUNITIES & CONSTRAINTS

The project site is located within the West Seattle Junction Hub Urban Village, and only 1.5 blocks to the northeast of the intersection of California Ave SW and SW Alaska St. The neighborhood is very pedestrian friendly, and there are multiple shops, restaurants, cafés, and grocery stores all within walking distance of the site. The block is mainly characterized by a number of institutional and religious buildings. A church and parochial school are located directly across the street to the east, and there are several other churches and schools in the immediate vicinity. Additionally, there are several relatively new mixed-use developments in the adjacent area, including the Capco Plaza/QFC, Mural apartments, and Oregon42 (under construction). The institutionally and residentially oriented nature of this part of 42nd Ave SW is not conducive to true retail use. Thus, there is a clear opportunity to create a building condition which enhances pedestrian and residential connectivity to the street, but that is not specifically commercial in character.

The project site is bound on its west by a 16'-0" wide alley. Beyond the alley are parking lots for various businesses along California Ave SW, which allow for high visibility of the project from California Ave SW. This visibility presents an opportunity for a dual façade scenario, where both the east and west façades are equally active and inviting. The proposed building capitalizes on this opportunity with a west-facing façade that is as engaging as the project's primary east façade. A generously sized courtyard is located in the middle of the building, breaking down the massing as viewed from California Ave SW, and providing desirable outdoor space for the residential units that flank it. Additionally, a 3,100 square foot upper level roof deck looks down on the courtyard below, helping to activate the alley-facing façade.

Along 42nd Ave SW, the grade gently slopes down approximately 5'-0", from north to south. While street-level access is possible and desirable along portions of this façade, the gradual slope does allow for some level of vertical separation between the sidewalk and the units. This separation provides not only a sense of identity and form to the lower level residential units, but also, coupled with grade-level landscaping and planters, promotes privacy along the sidewalk edge. Additionally, the 9 to 14 foot deep area between the edge of the sidewalk and the face of the building provides an excellent opportunity to utilize landscaping elements to transition from public to semi-private decks.

The most significant constraint to the site is existing Seattle City Light overhead power lines that run along the east property line. These power lines will require an approximately 13'-0" diameter clearance, which has an effect on the project's upper levels. In response to these constraints, however, the building is designed with a mansard roof at the top level. This roof has the effect of reducing the apparent scale of the building, providing an upper level setback, and conveying a residential feel.



SITE-INFORMED CONCEPT STRATEGY

The block is mainly characterized by a number of institutional and religious buildings. A church and parochial school are located directly across the street to the east, and there are several other churches and schools in the immediate vicinity. Hope Lutheran, directly across the street from the project site, is partially clad in a delicately detailed wood screening system. The overall neighborhood is characterized by a mix of low wood and masonry buildings to the north, east, and west, with taller, concrete and metal clad buildings to the south.

The surrounding blocks are all zoned for a min. of 40', so it's likely that the neighborhood will continue to follow its current path of multifamily development. Since there exists only one or two story structures on the west side of 42nd Ave SW, this project will set a precedent for other buildings to come, in terms of material quality and craftsmanship, sense of permanence, ground level connectivity, and an engaging surrounding landscape.

KEY

BUS ROUTE

BUS STOP

BIKE ROUTE

PROJECT SITE



① HOLY ROSARY CHURCH



② WEST SEATTLE CHRISTIAN CHURCH



③ HOPE LUTHERAN CHURCH



④ OREGON42 APARTMENTS



⑤ CAPCO PLAZA & QFC



⑥ JEFFERSON SQUARE COMMERCIAL



⑦ MIXED-USE MURAL APARTMENTS



⑧ SHADOWLAND



⑨ EASY STREET RECORDS



⑩ CUPCAKE ROYALE



⑪ LINK APARTMENTS



⑫ NOVA APARTMENTS

PARCEL #: 0952006070, 0952006080, 0952006090
ZONING: NC2-40
OVERLAYS: West Seattle Junction Hub Urban Village
LOT AREA: 17,250 sf

23.47A.004 PERMITTED USES, TABLE A

- Permitted outright:
- Residential
 - Restricted Ground Floor Commercial Uses
 - Live-Work Units

SMC 23.47A.008 STREET-LEVEL DEVELOPMENT STANDARDS

- A maximum of 40% blank facades between 2 feet and 8 feet above the sidewalk at street-facing facades, & less than 20 feet in width
- 60% of the street-facing facade between 2 feet and 8 feet must be transparent. Nonresidential uses shall extend an average of at least 30 feet and a minimum of 15 feet depth. Nonresidential uses at street level shall have floor-to-floor height of at least 13 feet
- Street-level street-facing unit must be 4 feet above or 4 feet below sidewalk grade or set back at least 10 feet from the sidewalk.

SMC 23.47A.009 STANDARDS APPLICABLE TO SPECIFIC AREAS

A setback of at least 10 feet from the street lot line, or a minimum separation of 4 feet above sidewalk grade is required along non-arterial north-south avenues for at least 25 percent of the lot frontage or 100 feet of the lot frontage, whichever is less. Required setback and areas separating structures shall include landscaping, paving and lighting. Sidewalks for pedestrian access, plazas or other approved amenity or landscaped areas are permitted in required setback or separation areas.

SMC 23.47A.012 STRUCTURE HEIGHT

- In zones with a 30 foot or 40 foot mapped height limit, the height of a structure may exceed the otherwise applicable limit by up to 4 feet if either a) A floor-to-floor height of 13 feet or more is provided for nonresidential uses at street level; or b) A residential use is located on a street-level, street-facing facade, and the first floor of the structure at or above grade is at least 4 feet above sidewalk grade.
- An additional 4 feet is allowed for parapets, open railings, and planters
- An additional 15 feet is allowed for mechanical equipment
- An additional 16 feet is allowed for elevator penthouses

SMC 23.47A.013 FLOOR AREA RATIO

Single-purpose – 3.00
Mixed-use – 3.25

SMC 23.47A.014 SETBACK REQUIREMENTS

No setbacks required

SMC 23.47A.016 LANDSCAPING AND SCREENING STANDARDS

- Landscaping that achieves a Green Factor score of .30 or greater is required.
- Street trees are required when any development is proposed. Existing street trees shall be retained unless the Director of Transportation approves their removal. The Director, in consultation with the Director of Transportation, will determine the number, type and placement of street trees to be provided.

SMC 23.47A.024 AMENITY AREA

Amenity areas are required in an amount equal to 5 percent of the total gross floor area in residential uses. Amenity areas shall not be enclosed.

SMC 23.47A.032 PARKING LOCATION AND ACCESS

Access to parking shall be from the alley if the lot abuts an alley.

23.54.015 REQUIRED PARKING

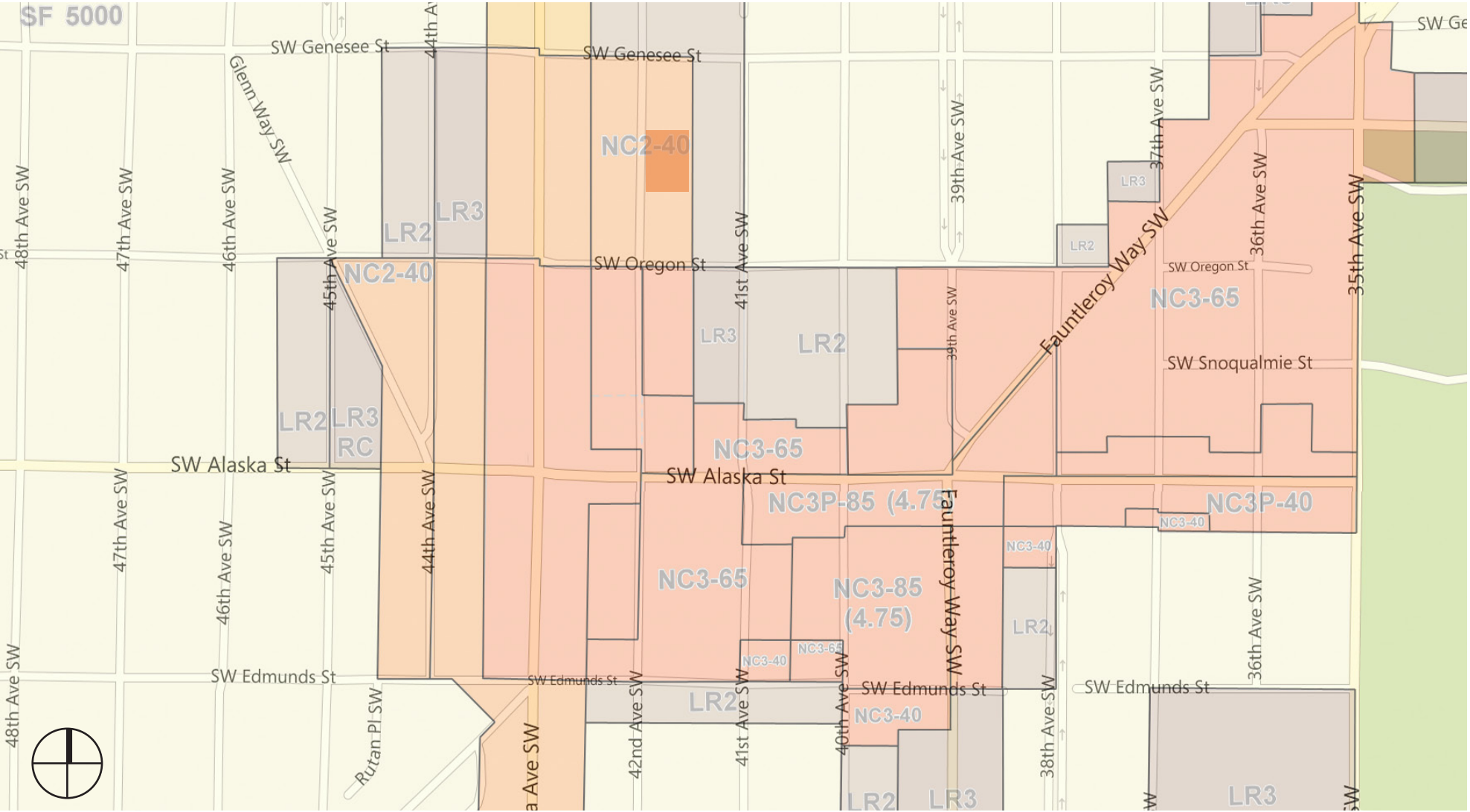
No parking is required for all residential uses in commercial and multifamily zones within urban villages, if the residential use is located within 1,320 feet of a street with frequent transit service.

Parking for 52 vehicles and 21 bicycles is provided.

SMC 23.54.040 SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS

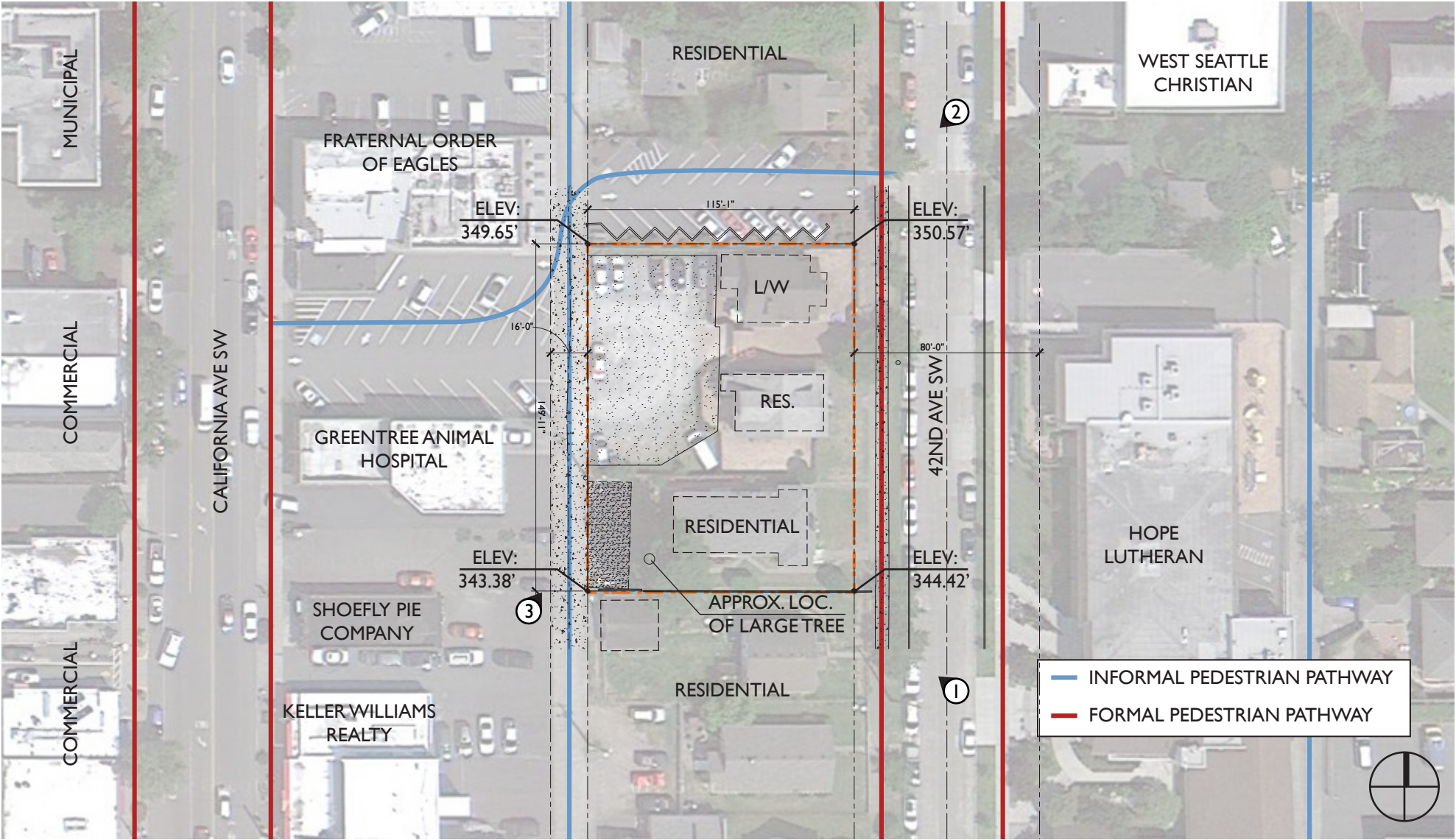
Residential Development
51-100 dwelling units: 375 sf, plus 4 sf for each unit above 50, plus 50% sf of the requirement for nonresidential development

$375 \text{ sf} + (4 \text{ sf} \times 30) + (.5 \times 82 \text{ sf}) = 536 \text{ sf}$



DPD ZONING MAP

EXISTING SITE PLAN



① PROJECT SITE SOUTHEAST CORNER



② PROJECT SITE NORTHEAST CORNER



③

(I) Design Concept and Massing:

BOARD PRIORITY	RESPONSE
<i>(a.i) The Board felt the preferred design scheme Option 3 should move forward to Master Use Permit (MUP) submittal with the following guidance: More modulation applied to the 42nd Avenue Southwest façade is necessary to bring more interest to the building mass.</i>	Please see response to Item 2a.ii (below).
<i>(a.ii) The design should include elements from Option 1-including the distinct separation between the commercial (live-work units) and residential units at grade. Also the orientation of the residential lobby entrance situated towards the mid-portion of the structure at grade visually creates a good separation of uses. (B-1)</i>	<p>In the interest of simplicity and clarity, the design has evolved toward a stepped profile at grade, indicating the separation of uses:</p> <ol style="list-style-type: none">1. The residential building entry and live-work units are grouped to the north, filling out the footprint of the northern “bookend” at 42nd Ave SW. These public-oriented spaces are at sidewalk grade.2. Ground level residential units occupy the balance of the building footprint at 42nd Ave SW. These are raised a minimum of 4 feet above street level to mediate between private living spaces and the public street. <p>Please see analysis and illustrations pp.13-14</p>
<i>(b) The Board agreed that the preferred design included a balanced mix of residential and commercial uses along the 42nd Avenue Southwest street-front. The Board noted that the amount of live-work units proposed (two) is appropriate for this mid-block site which is in a neighborhood in transition and situated across the street from several institutional uses (schools, churches). (B-1, C-1)</i>	The proposed design complies with the Board’s EDG directive.
<i>(c) The Board supported a design that did not include preservation of the Exceptional Tree. Detailed Board discussion/guidance concerning this subject is offered in item #4. (B-1, E-3)</i>	The proposed design complies with with the Board’s EDG directive. Please see response to Item 4a (below).

(2) 42nd Avenue Southwest frontage:

The design of the new building should incorporate architectural features, elements and details to achieve a good human scale, encourage human activity, and reinforce the existing spatial characteristic of 42nd Avenue Southwest. (A-2,A-4, C-3)

BOARD PRIORITY	RESPONSE
<i>(a) The Board stated that a building with a strong street-facing urban edge and a softer urban edge to the west is appropriate. However, the Board expressed concern with the monolithic appearance of the building’s east-facing façades abutting 42nd Avenue Southwest. The Board expects to review a design at the Recommendation meeting that incorporates modulation with upper-level setbacks and recesses that breaks down the mass and adds interest and character. (B-1, C-3)</i>	<p>The proposed building concurs with the Board’s direction for a strong street face to the east and a softer edge at the west.</p> <p>The proposed massing is classically symmetrical with 2 brick-clad “bookends” framing a recessed bar deploying raised residential patios at grade against 42nd Ave SW and a landscaped courtyard at the alley. On the east façade, a mansard roof serves to reduce the apparent height of the structure, while indicating the building’s residential use. Large Juliet balconies are expressed as individual dormers against the inclined roof surface and this arrangement of openings continues rigorously through each floor below to create a strong, legible and symmetrical pattern at the facade. For emphasis, each opening at the roof and masonry faces is individually framed by an extruded metal frame in a contrasting color.</p> <p>The west façade is more conventional, with punched openings and accent panels expressed within a field. It is focused on a raised courtyard at the alley with heavy landscaping. Approximately half of the courtyard surface is devoted to planting beds. As the proposed storm water system includes a large bio-retention planter, unusually deep soil depths are available to accommodate larger trees. We anticipate the mature tree canopy will overhang the alley providing a buffer for west-facing residences and some relief from the utilitarian character of the alley.</p> <p>Please see analysis and illustrations pp.10-12 & p.17</p>

RESPONSE TO DESIGN GUIDELINE PRIORITIES

(2) 42nd Avenue Southwest frontage (continued):

BOARD PRIORITY	RESPONSE
<i>(b) The Board discussed the merits between raised residential balconies and stoops with stairs for the first-floor residential units along the street-facing façade. The Board initially noted that a design inclusive of stoops would be more successful than raised balconies in creating a transition between the public sidewalks to the entrances. However, the Board recognized that, due to the horizontal distance from grade (approximately 7') created by the existing downward sloping condition from north to south, stoops would be problematic—would negatively affect available landscaping areas. Therefore, the Board stated it could support a design inclusive of raised balconies that enhance security and privacy to those units. The Board expects the applicant to continue to explore a stoop solution and provide renderings of this option at the Recommendation meeting. (C-3, D-12)</i>	<p>The merit of residential stoops along 42nd Ave SW was studied further but resulted in the same unfavorable conclusion as the Board's.</p> <ol style="list-style-type: none">1. Stoops degrade the integrity of a highly ordered and symmetrical design.2. The declining elevation of the sidewalk (max 7' rise) required long stair runs that were awkward in profile and consumed much of of the landscape buffer area.3. If the landscape area were to be preserved, the building footprint would have to be reduced by a minimum of 5' over the entire property frontage. The resulting loss in development potential is not acceptable.4. Stoops will compromise building security. <p>In this case (of an elevator served apartment building), we believe the drawbacks associated with individual residential stoops outweigh the potential benefits. Raised private patios overlooking the street remain the preferred option.</p>
<i>(c) The Board acknowledged that street-facing blank walls will need to be addressed. The Board expects to review details pertaining to any landscaping treatments (green screening) proposed to address this concern at the Recommendation meeting. (D-2, E-2)</i>	<p>Please see Landscape Plans.</p> <p>Of note is a 9' X 150' area behind the existing sidewalk that accommodates a lush multi-tiered landscape design screening the blank walls extant along 42nd Ave SW. A benefit of this extra planting area is the development of a double tree canopy framing the sidewalk. Screening bamboo and climbing ivy serves the same purpose at the alley.</p> <p>Please see Landscape Plans on pp. 30-36; Additional details provided on pp. 16-17</p>

(3) Residential Open Spaces:

BOARD PRIORITY	RESPONSE
<i>(a) The Board felt the preferred design (Option 3) which illustrated a raised courtyard along the west alley side would create are more usable gathering area for the residents as opposed to the at-grade courtyard areas abutting the east street side which could become space that isn't usable by the residents. The Board agreed that a design which included courtyards situated on both the street and alley side is optimal, but voiced concern that the courtyard abutting the street not be long and narrow as illustrated in Options 1 and 2. (A-7)</i>	<p>A large courtyard is proposed at the west alley with the following functions:</p> <ol style="list-style-type: none">1. Both private and semi-private patios for apartments abutting the courtyard.2. Common landscaped courtyard3. Storm water detention (bio-retention planter)4. Exit passage <p>Private patios are defined by an arrangement of movable planters only. Hard privacy screens and patio fences will not be provided as it is anticipated that socially-oriented residents will self-select for these apartment locations. A communal area lies between the private patios and a large detention planter abutting the alley. The canopy provided by a minimum of 6 trees will further define the west edge of the communal space while providing a buffer to the alley further to the west.</p> <p>Please see Landscape Plans on pp. 30-36; Additional details provided on pp. 17-18</p>
<i>(b) At the Recommendation meeting, the Board stated that they expect to see elements (outdoor furniture, trees, landscaping, water features, etc.) that activate the proposed residential open spaces. (A-7)</i>	<p>Schematic space plans and furniture layouts have been developed for both the courtyard and roof amenity space.</p> <p>Please see Landscape Plans on pp. 30-36; Additional details provided on pp. 18-19</p>
<i>(c) An alternative location for the proposed rooftop deck area should be explored and presented at the Recommendation meeting. (A-7)</i>	<p>The proposed roof deck was relocated to the center portion of the roof, overlooking the west courtyard. Three distinct sitting areas are defined by planters, seating, and lighting, allowing multiple groups of people to utilize the space at the same time. Additionally, a generous dog run area is proposed for the east side of the amenity space. The roof deck is bounded on three sides by a green roof, intended to reduce stormwater runoff and buffer the roof edge.</p>

(4) Exceptional Tree:

A special site condition is the presence of one identified Exceptional Tree, a 33.2” Black Locust located near the site’s southwest corner. The information presented to the Board from the applicant’s arborist described the tree as having “a low safe and useful life expectancy considering its structural condition, extent of decay and proximity to proposed site development”. The EDG packet showed that the preservation of the exceptional tree would result in a minimum loss of ten units (14%) and fourteen parking stalls (25%) in comparison to the preferred scheme (Option 3). (E-3)

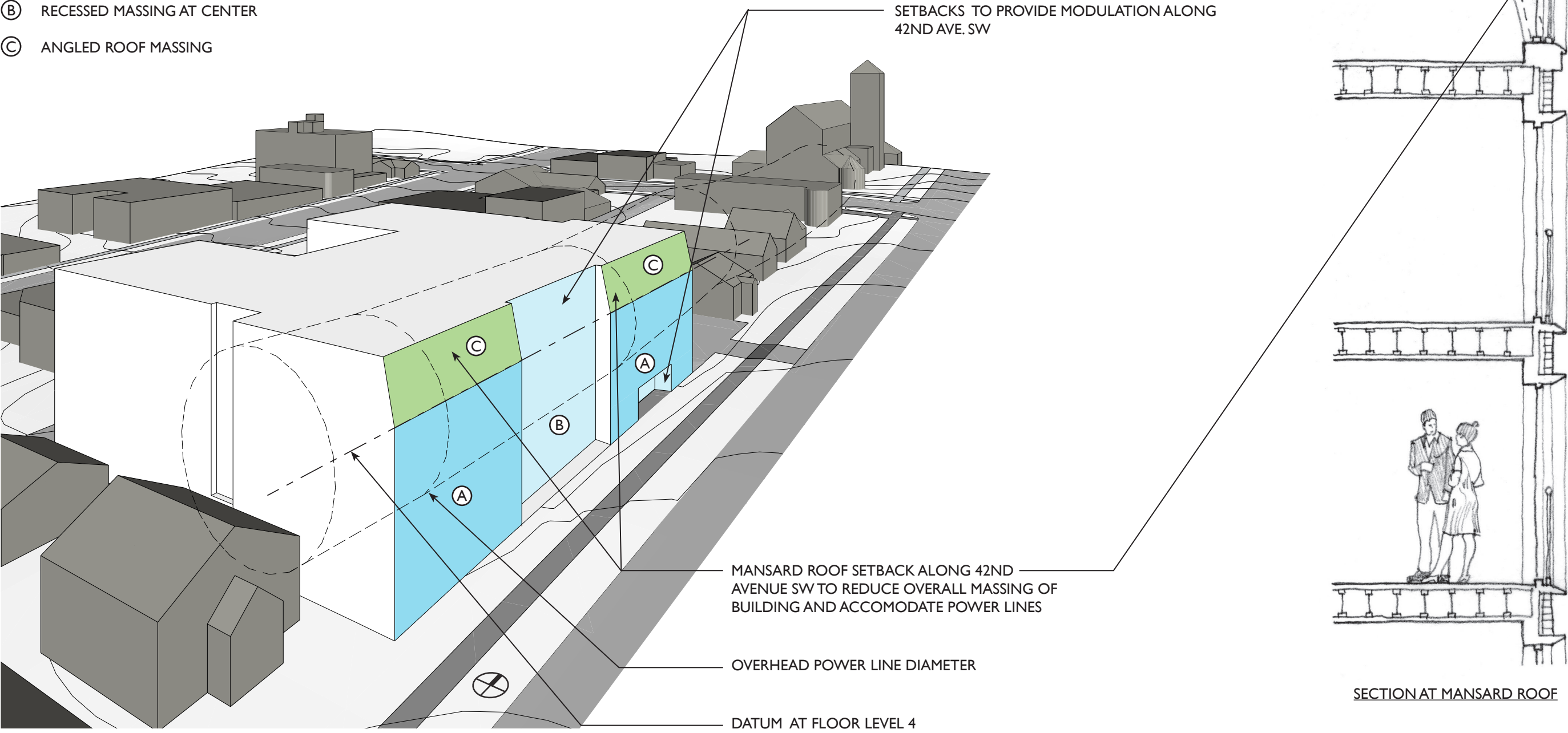
BOARD PRIORITY	RESPONSE
<i>(a) The Board agreed that a design which includes the preservation of the identified exceptional tree (Option 4) is not recommended based on the documentation presented by the applicant and initial feedback from the DPD Tree Expert.</i>	The canopy of proposed replacement trees equals or exceeds the Exceptional Tree currently on site. Replacement trees shall be located on both the subject parcel and the Right-Of-Way. The size and species of replacement trees has been approved by the City of Seattle.
<i>(b) The Board recognized that tree replacement would be required per SMC 25.11.090 (Tree Protection). The Board reviewed this code citation which details the tree replacement process and acknowledged that further consultation between the applicant’s arborist, DPD reviewers and the DPD Tree Expert was necessary before the Board could offer any design feedback. Therefore, the Board requested the applicant to address this requirement directly with DPD during the initial MUP review process and provide tree replacement specifics at the Recommendation meeting. (E-3)</i>	Please see Landscape Plans on pp. 30-36
<i>(c) The Board agreed that the future replacement trees provided an opportunity to enhance the project. The Board expects to review a quality landscape design that distinguishes the selected replacement trees and illustrates the placement of those trees. (E-2)</i>	Please see Landscape Plans on pp. 30-36
<i>(d) The Board requested the applicant investigate alternative tree placement locations in addition to the site’s northwest corner podium. For example, tree clustering to better distinguish the building entry and offsite options (in addition to required street trees) were offered by the Board. (E-3)</i>	Please see Landscape Plans on pp. 30-36

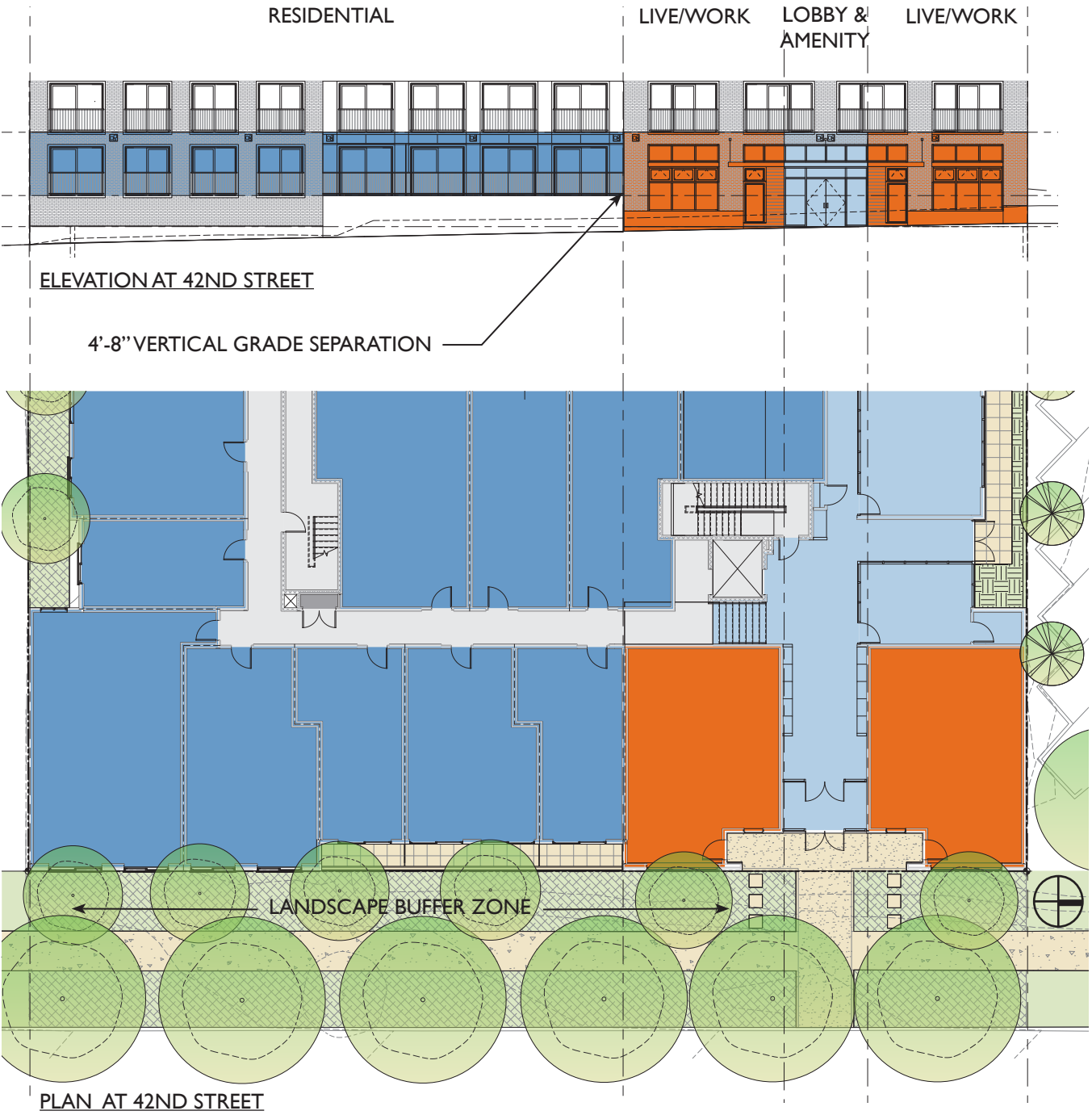
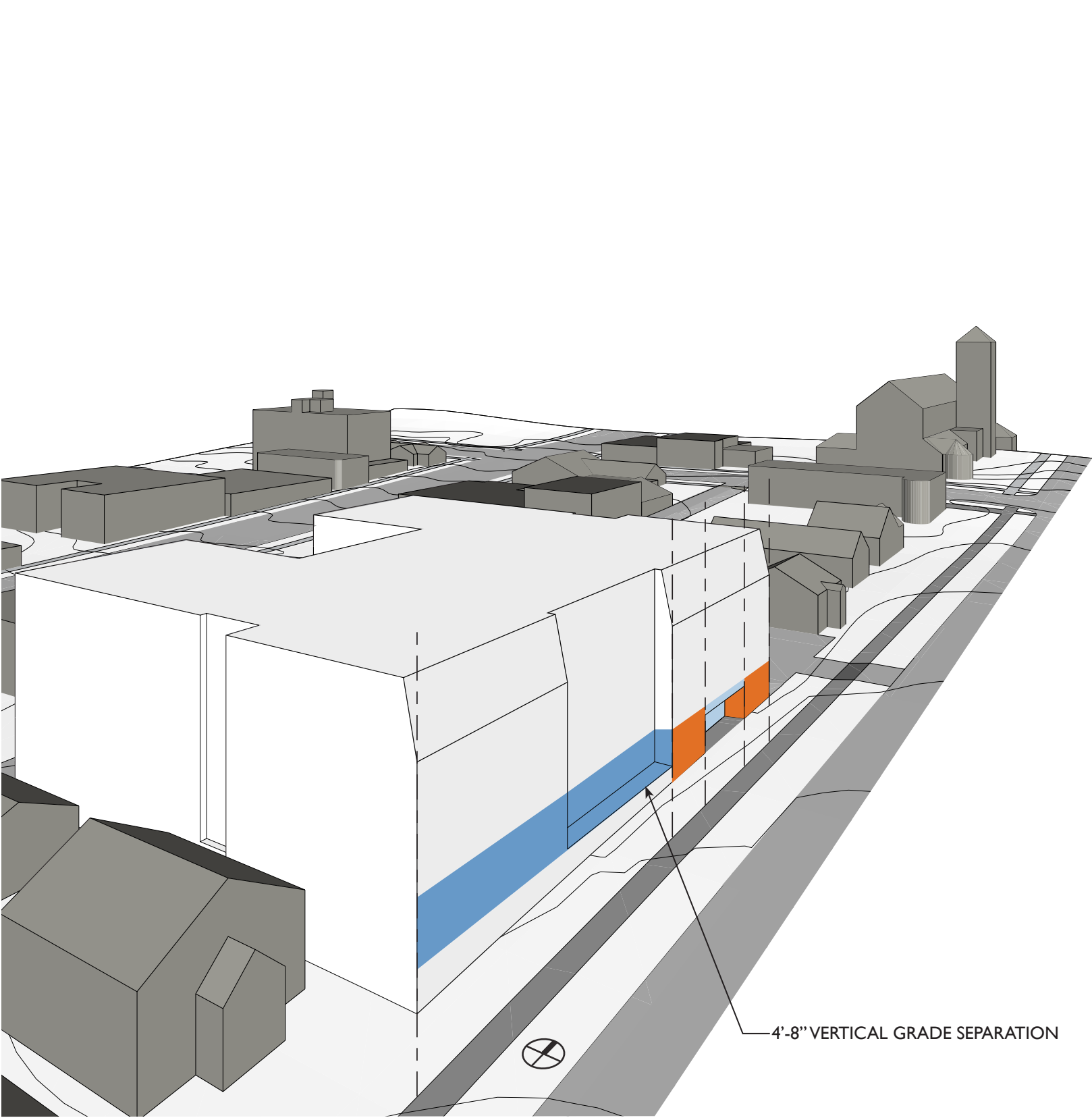




MASSING LEGEND

- Ⓐ MASSING AT PROPERTY LINE
- Ⓑ RECESSED MASSING AT CENTER
- Ⓒ ANGLED ROOF MASSING





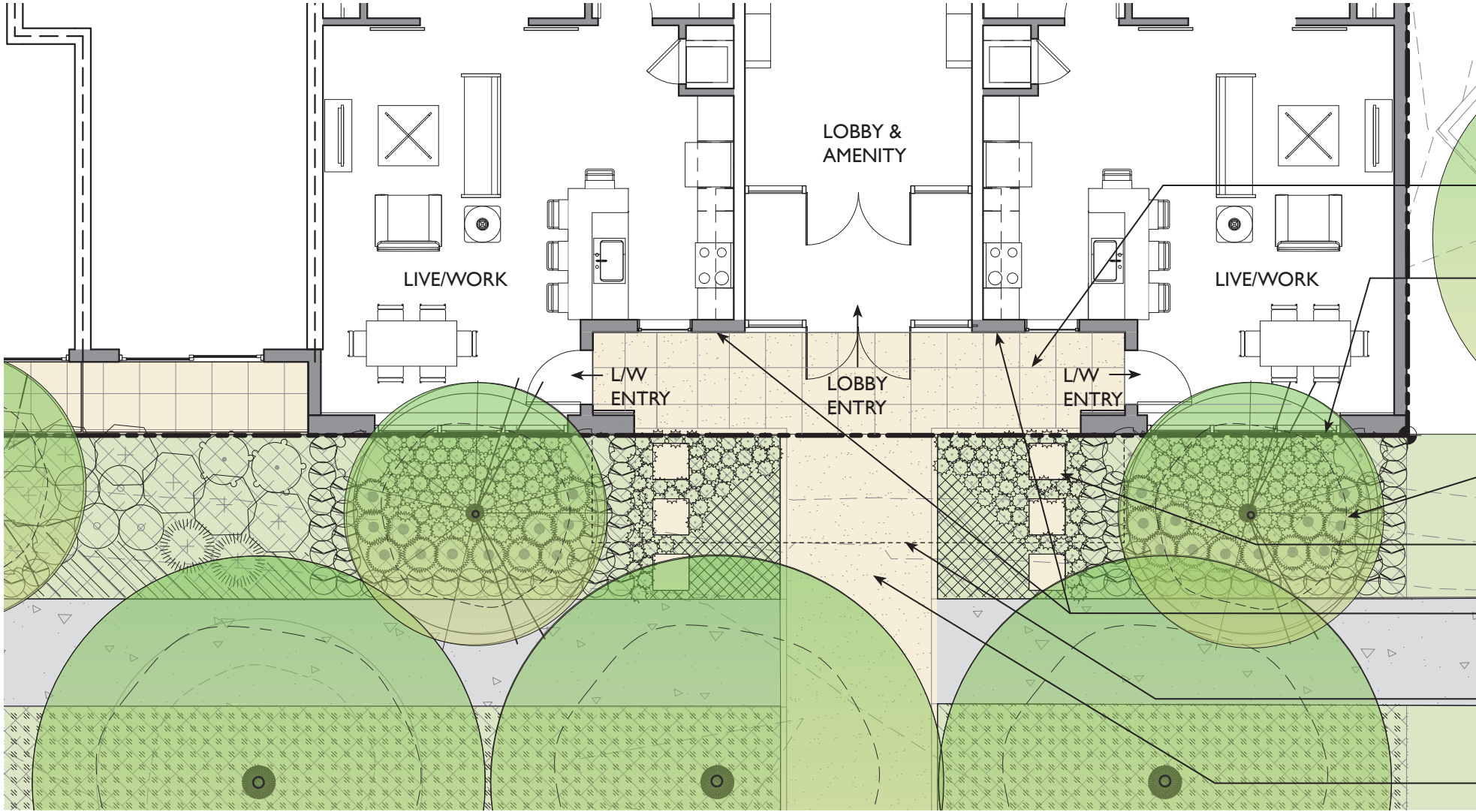
USE LEGEND

RESIDENTIAL	RESIDENTIAL
LIVE/WORK	LIVE/WORK
LOBBY & AMENITY	LOBBY & AMENITY

BUILDING ENTRY & SIGNAGE



- BOLT ON JULIET BALCONY
- 6' DEEP GLASS & METAL CANOPY WITH SIGNAGE ON FRONT, NAVY FINISH WITH SPOT LIGHTING BELOW
- RESIDENTIAL ENTRY BUILDING ADDRESS
- LIVE/WORK SIGNAGE
- ALUMINUM LIVE/WORK STOREFRONT
- CEDAR SIDING WITH WALL WASH LIGHTING



- 24" X 24" CONCRETE PAVERS AT ENTRY
- ALUMINUM STOREFRONT, LOW PLANTS BELOW
- MAGNOLIA TREES AT BUILDING ENTRY TO CONTRAST WITH TREES AT RESIDENTIAL TO SOUTH
- CONCRETE PAVERS EMBEDDED IN GROUND
- LIVE/WORK SIGNAGE
- 6' DEEP GLASS & METAL CANOPY WITH SIGNAGE ON FRONT, NAVY FINISH WITH SPOT LIGHTING BELOW
- PAVEMENT PATTERNING TO CONTRAST WITH SIDEWALK

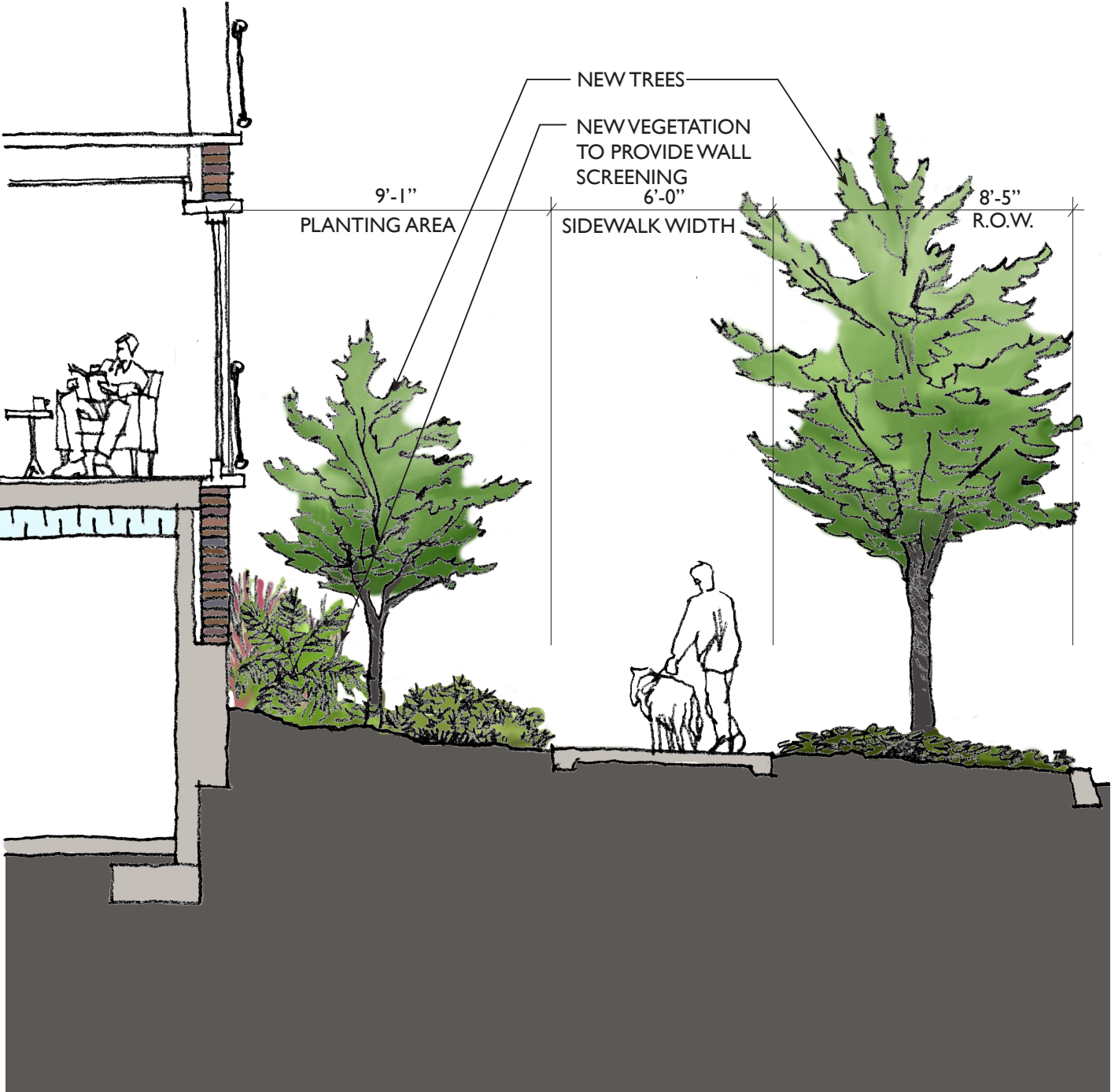
LEVEL I ENLARGED ENTRY PLAN



STREET FACING UNITS - WALL SCREENING CONDITION

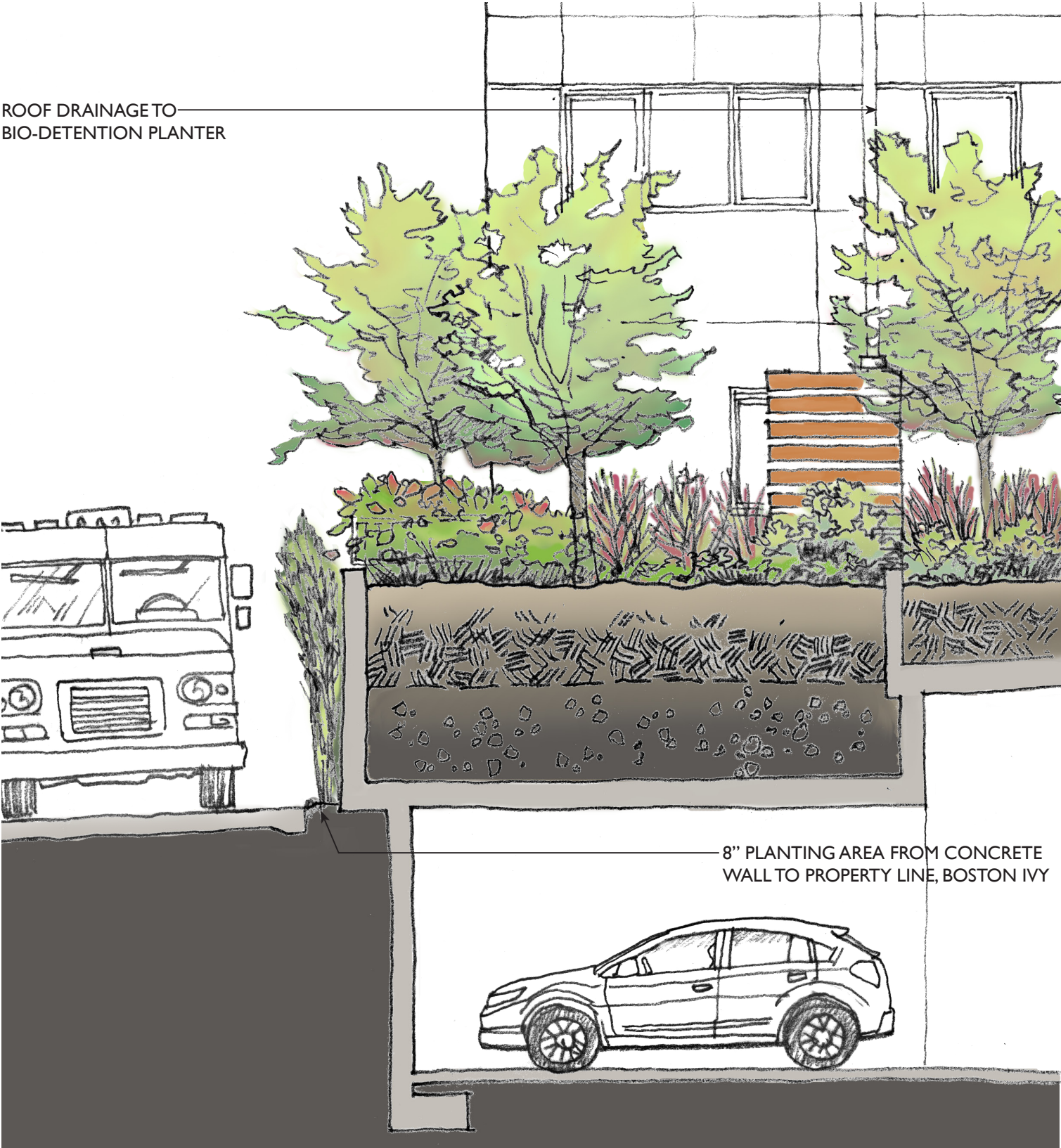


SECTION AT STREET FACING UNITS- RECESSED PATIO

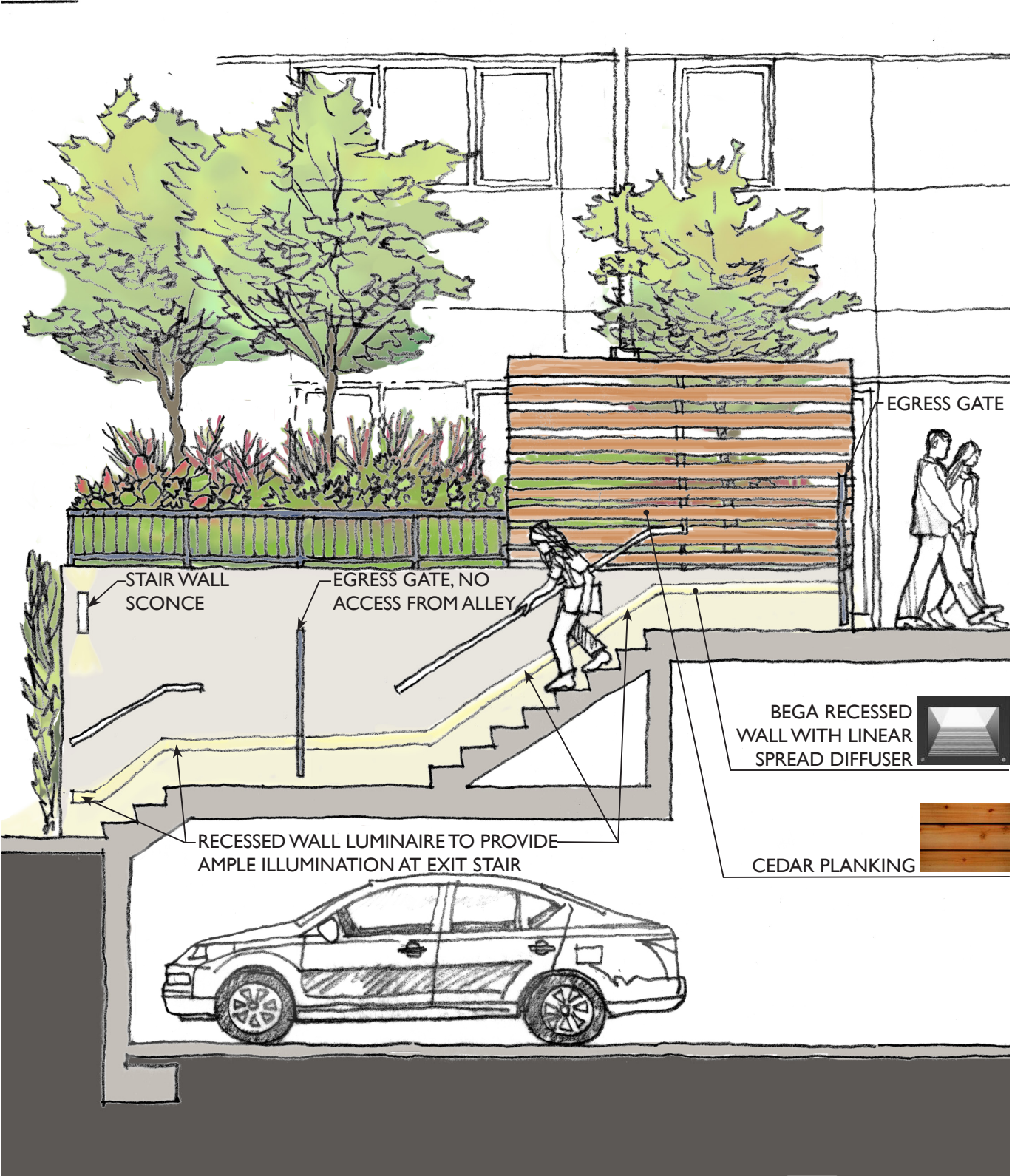


SECTION AT STREET FACING UNITS - SOUTHEAST FAÇADE

ROOF DRAINAGE TO
BIO-DETENTION PLANTER



SECTION AT REAR COURTYARD



SECTION AT ALLEY STAIR

COURTYARD OPEN SPACE & DRAINAGE TO BIO-DETENTION PLANTER



PERSPECTIVE AT COURTYARD



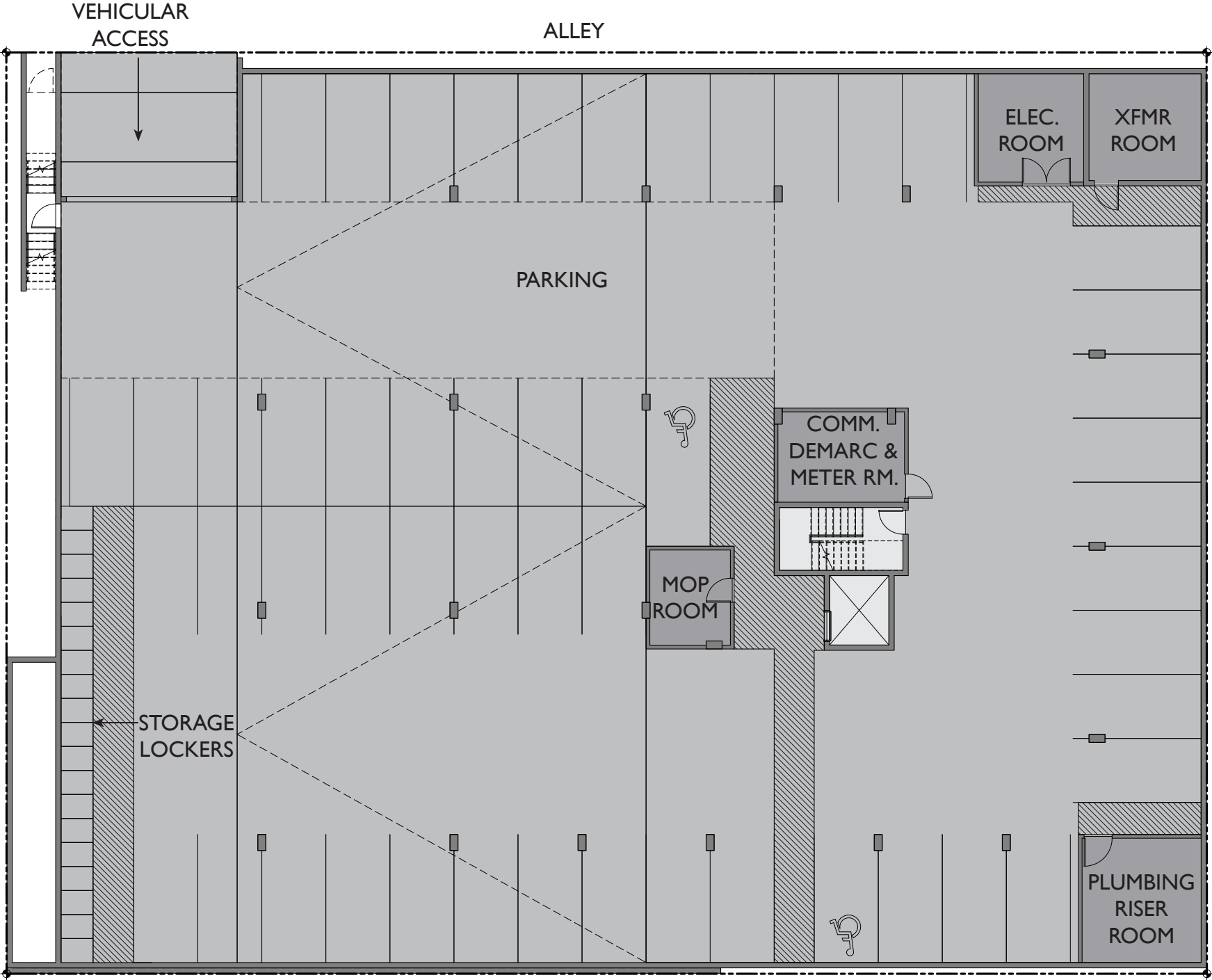
FESTIVAL LIGHTING - EXPO APARTMENTS
PHOTO BY DANIEL SHEEHAN



FESTIVAL LIGHTING - GREENHOUSE APARTMENTS
PHOTO BY HARBOR URBAN



ROOF DECK LOOKING NORTH TOWARDS GREENHOUSE



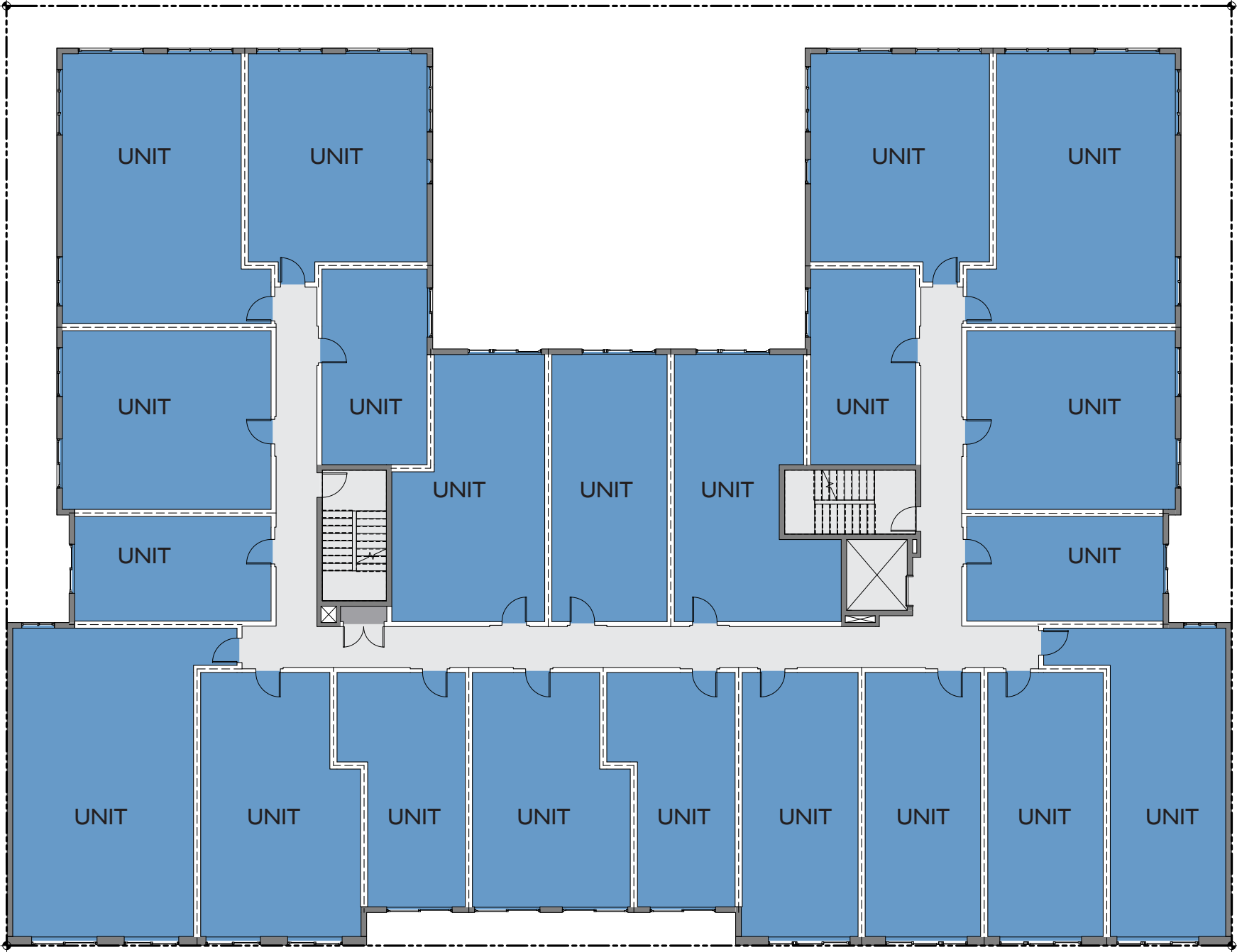
LEVEL P1 - PARKING PLAN





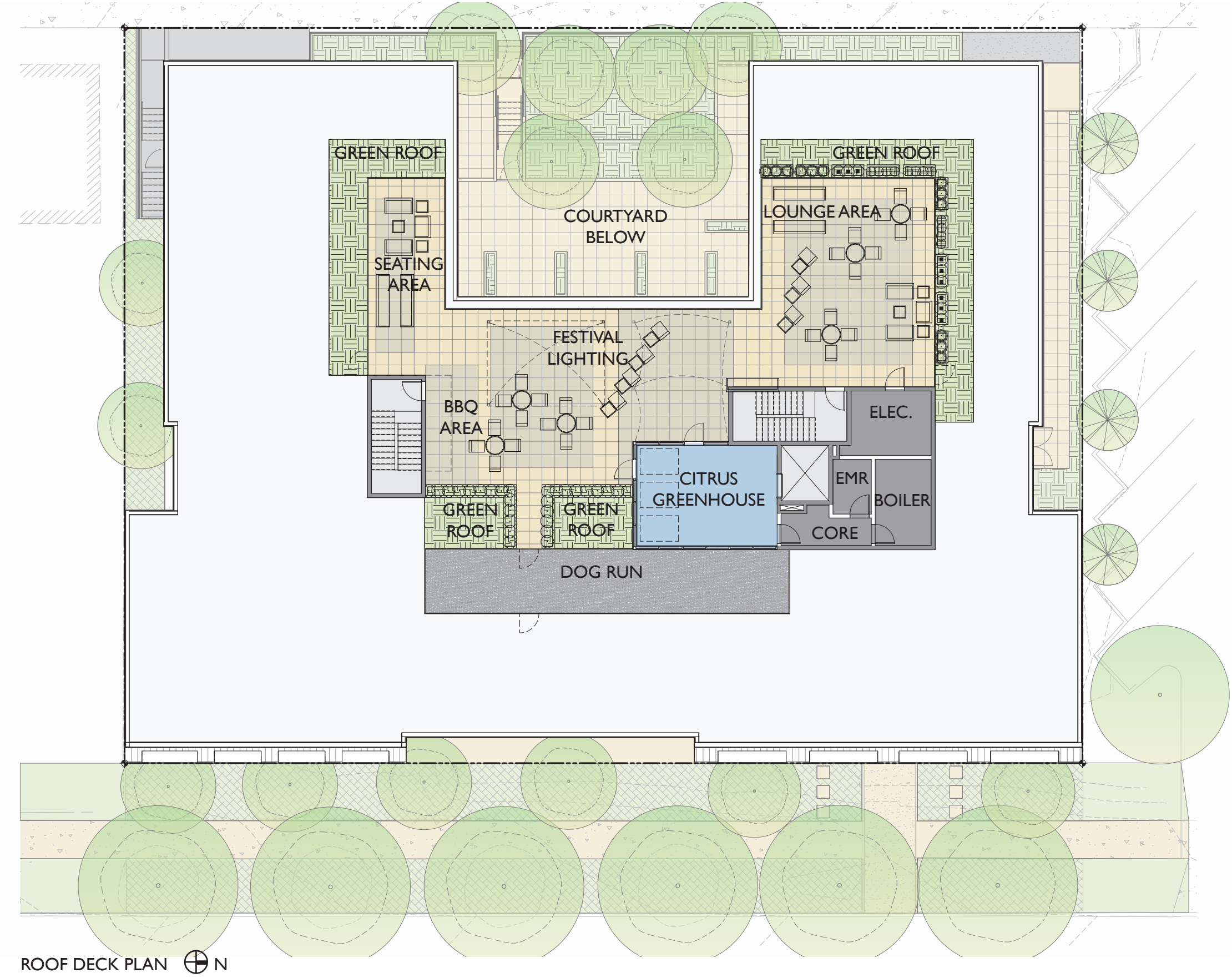
LEVEL 1 PLAN

42ND AVENUE SW



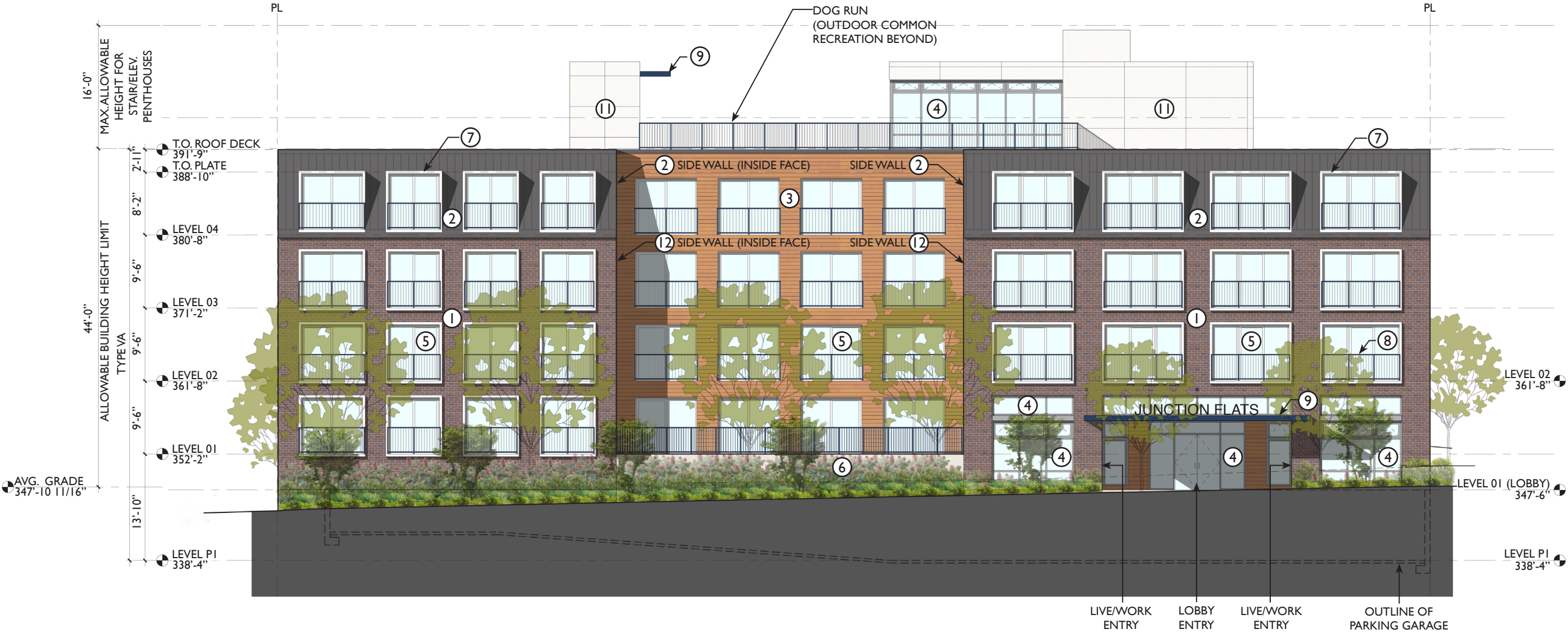
LEVELS 02-03 (04 SIMILAR) PLAN



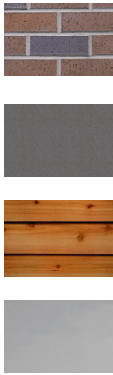


ROOF DECK PLAN  N

ELEVATION - EAST



MATERIALS



- 1 BRICK: "FOREST BLEND", MISSION FINISH
- 2 STANDING SEAM METAL ROOF; VERTICAL JOINT: AEP SPAN, COOL ZACTIQUE II
- 3 CEDAR SIDING: BUTTERNUT
- 4 STOREFRONT SYSTEM: CLEAR ANODIZED ALUMINUM



- 5 VINYL WINDOW/DOOR: BRIGHT WHITE
- 6 CAST IN PLACE CONCRETE: ARCHITECTURAL FINISH
- 7 BRAKEFORM TRIM: AEP SPAN, COOL REGAL WHITE
- 8 PAINTED METAL PICKET RAILINGS / GUARDS: NAVY BLUE



- 9 PAINTED STEEL & GLASS CANOPY
- 10 FIBER CEMENT SIDING: ALMOND
- 11 FIBER CEMENT SIDING: ICEBERG
- 12 FIBER CEMENT SIDING: PICTURA BROWN



MATERIALS



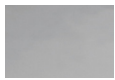
① BRICK: "FOREST BLEND", MISSION FINISH



② STANDING SEAM METAL ROOF, VERTICAL JOINT: AEP SPAN, COOL ZACTIQUE II



③ CEDAR SIDING: BUTTERNUT



④ STOREFRONT SYSTEM: CLEAR ANODIZED ALUMINUM



⑤ VINYL WINDOW/DOOR: BRIGHT WHITE



⑥ CAST IN PLACE CONCRETE: ARCHITECTURAL FINISH



⑦ BRAKEFORM TRIM: AEP SPAN, COOL REGAL WHITE



⑧ PAINTED METAL PICKET RAILINGS / GUARDS: NAVY BLUE



⑨ PAINTED STEEL & GLASS CANOPY



⑩ FIBER CEMENT SIDING: ALMOND



⑪ FIBER CEMENT SIDING: ICEBERG



⑫ FIBER CEMENT SIDING: PICTURA BROWN

ELEVATION - WEST





MATERIALS



① BRICK: "FOREST BLEND", MISSION FINISH



② STANDING SEAM METAL ROOF, VERTICAL JOINT: AEP SPAN, COOL ZACTIQUE II



③ CEDAR SIDING: BUTTERNUT



④ STOREFRONT SYSTEM: CLEAR ANODIZED ALUMINUM



⑤ VINYL WINDOW/DOOR: BRIGHT WHITE



⑥ CAST IN PLACE CONCRETE: ARCHITECTURAL FINISH



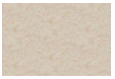
⑦ BRAKEFORM TRIM: AEP SPAN, COOL REGAL WHITE



⑧ PAINTED METAL PICKET RAILINGS / GUARDS: NAVY BLUE



⑨ PAINTED STEEL & GLASS CANOPY



⑩ FIBER CEMENT SIDING: ALMOND



⑪ FIBER CEMENT SIDING: ICEBERG



⑫ FIBER CEMENT SIDING: PICTURA BROWN

ZERO LOT LINE WALL OPTIONS

PARTIAL MATERIAL LEGEND - WALL OPTION REFERENCE



⑤ VINYL WINDOW/DOOR: BRIGHT WHITE



⑥ CAST IN PLACE CONCRETE: ARCHITECTURAL FINISH



⑦ BRAKEFORM TRIM: AEP SPAN, COOL REGAL WHITE



⑧ PAINTED METAL PICKET RAILINGS / GUARDS: NAVY BLUE



⑨ PAINTED STEEL & GLASS CANOPY



⑩ FIBER CEMENT SIDING: ALMOND



⑪ FIBER CEMENT SIDING: ICEBERG



⑫ FIBER CEMENT SIDING: PICTURA BROWN



ZERO LOT LINE - PREFERRED MATERIAL & COLOR PATTERN



ZERO LOT LINE - ALTERNATE 1



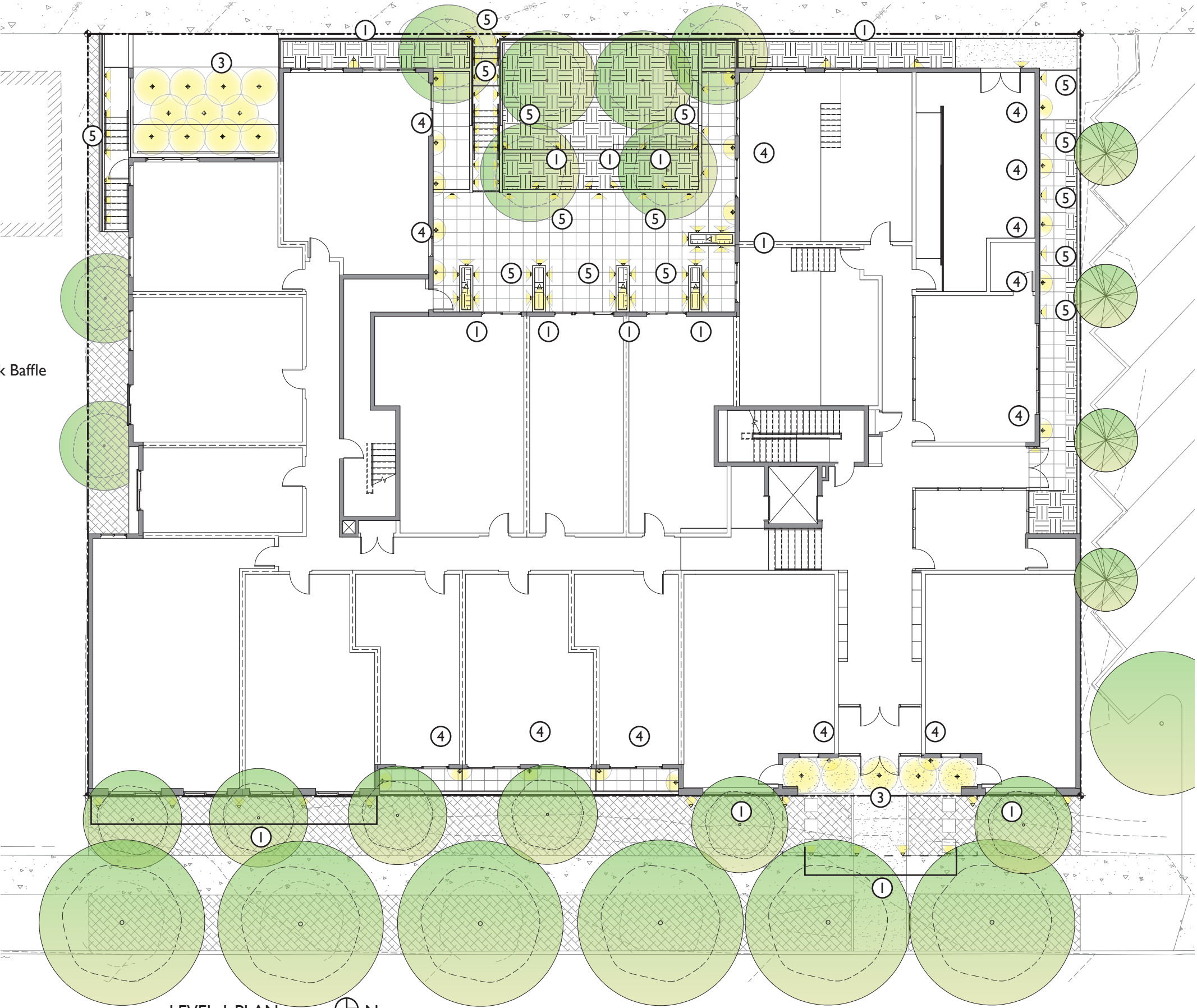
ZERO LOT LINE - ALTERNATE 2

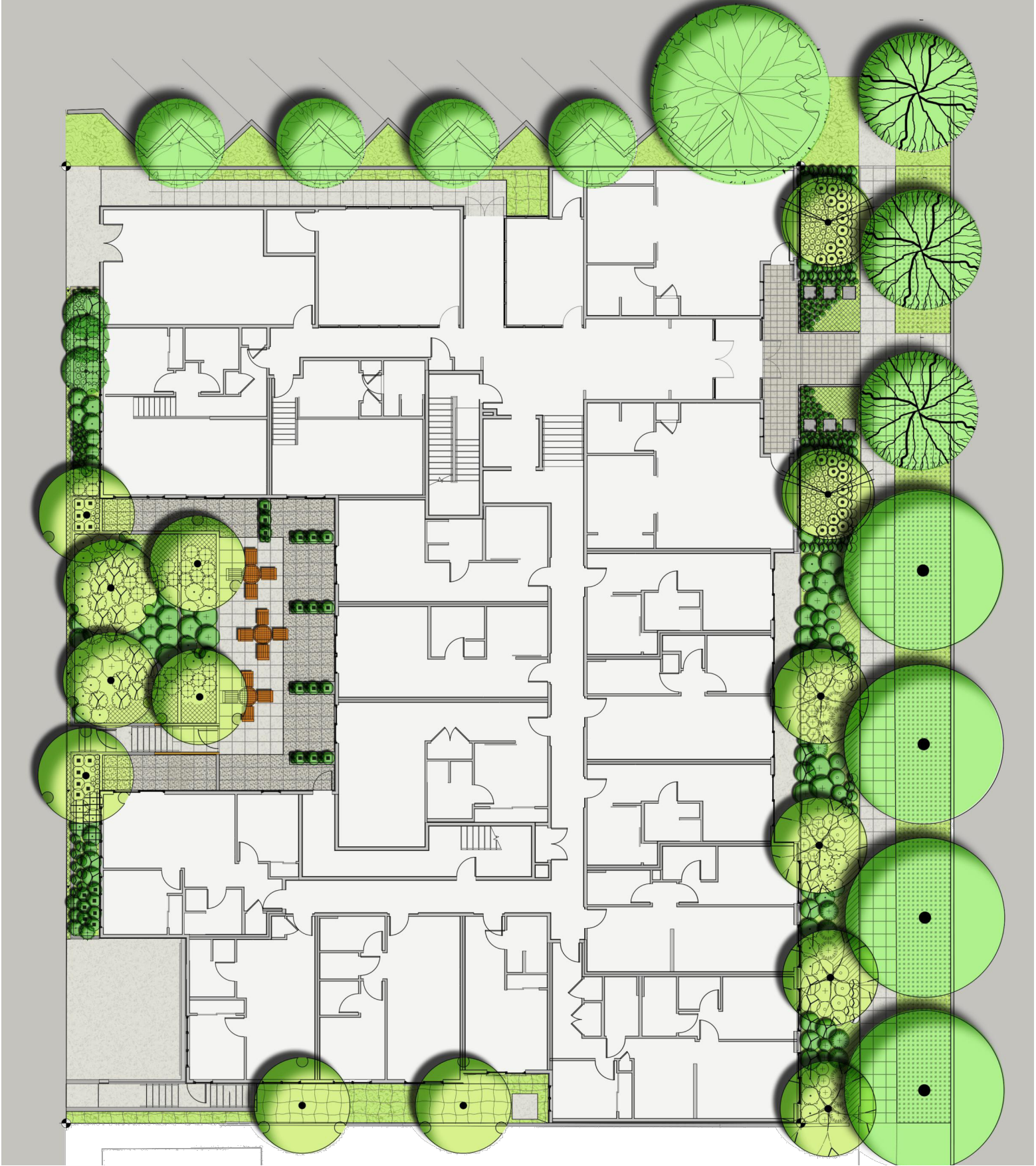


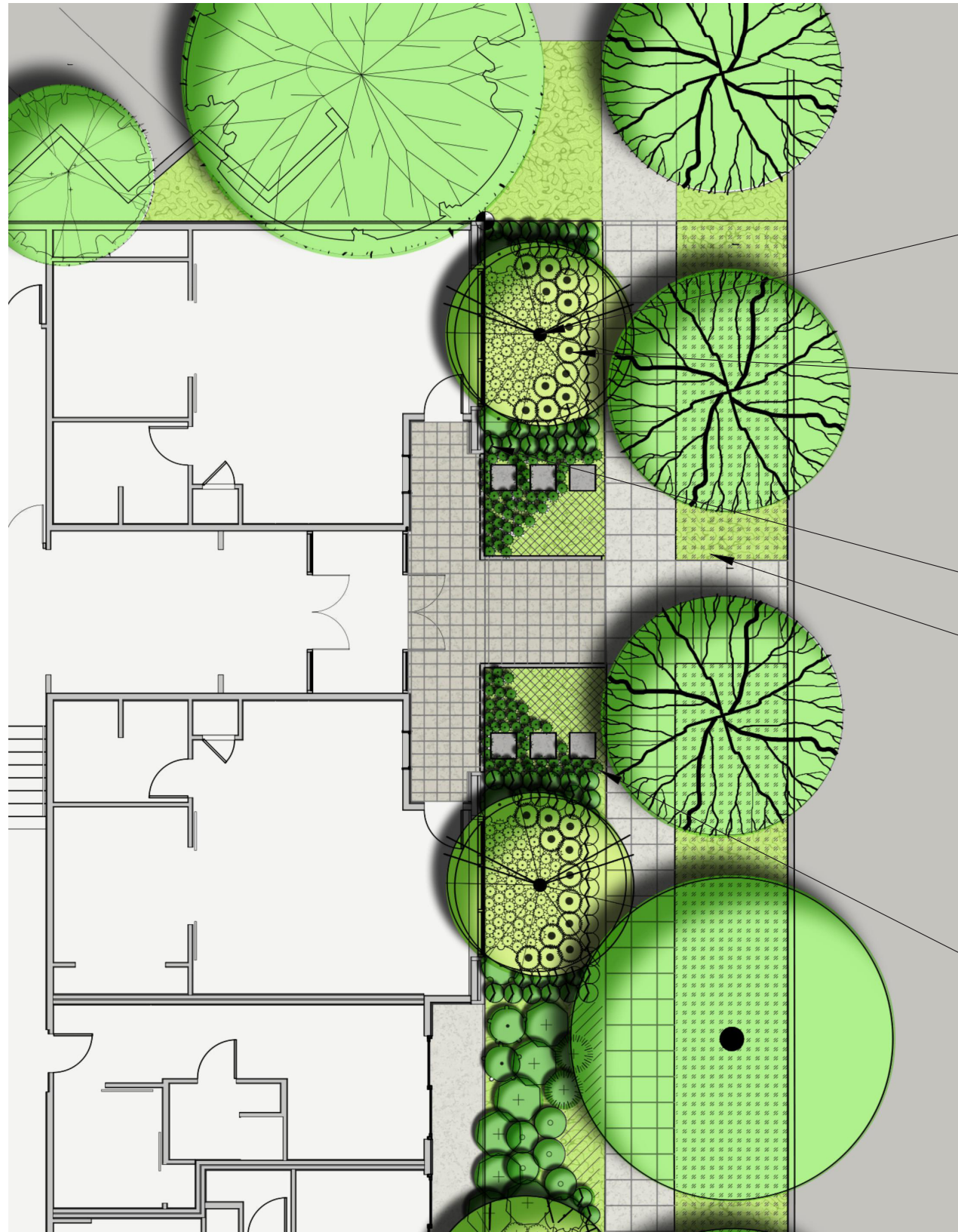
ZERO LOT LINE - ALTERNATE 3

LIGHTING FIXTURES

-  ① Bega Small Scale Floodlight
-  ② Prescolite Litebox Recessed Wall Washer
-  ③ Prescolite Litebox Recessed Downlight with Black Baffle
-  ④ Prescolite Liteforms Wall Mount Cylinder
-  ⑤ Bega Recessed Wall with Linear Spread Diffuser



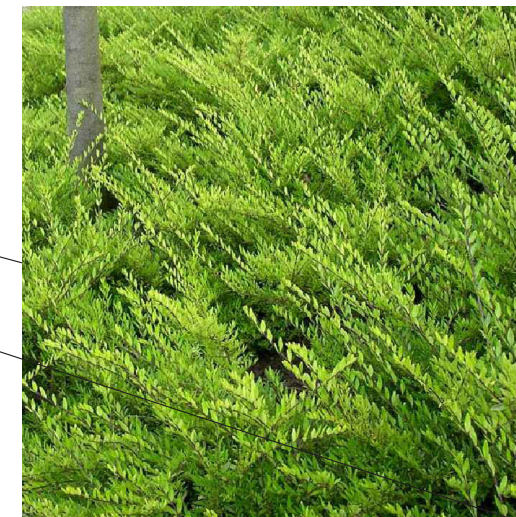




KOBUS MAGNOLIA



VARIEGATED JAPANESE SEDGE



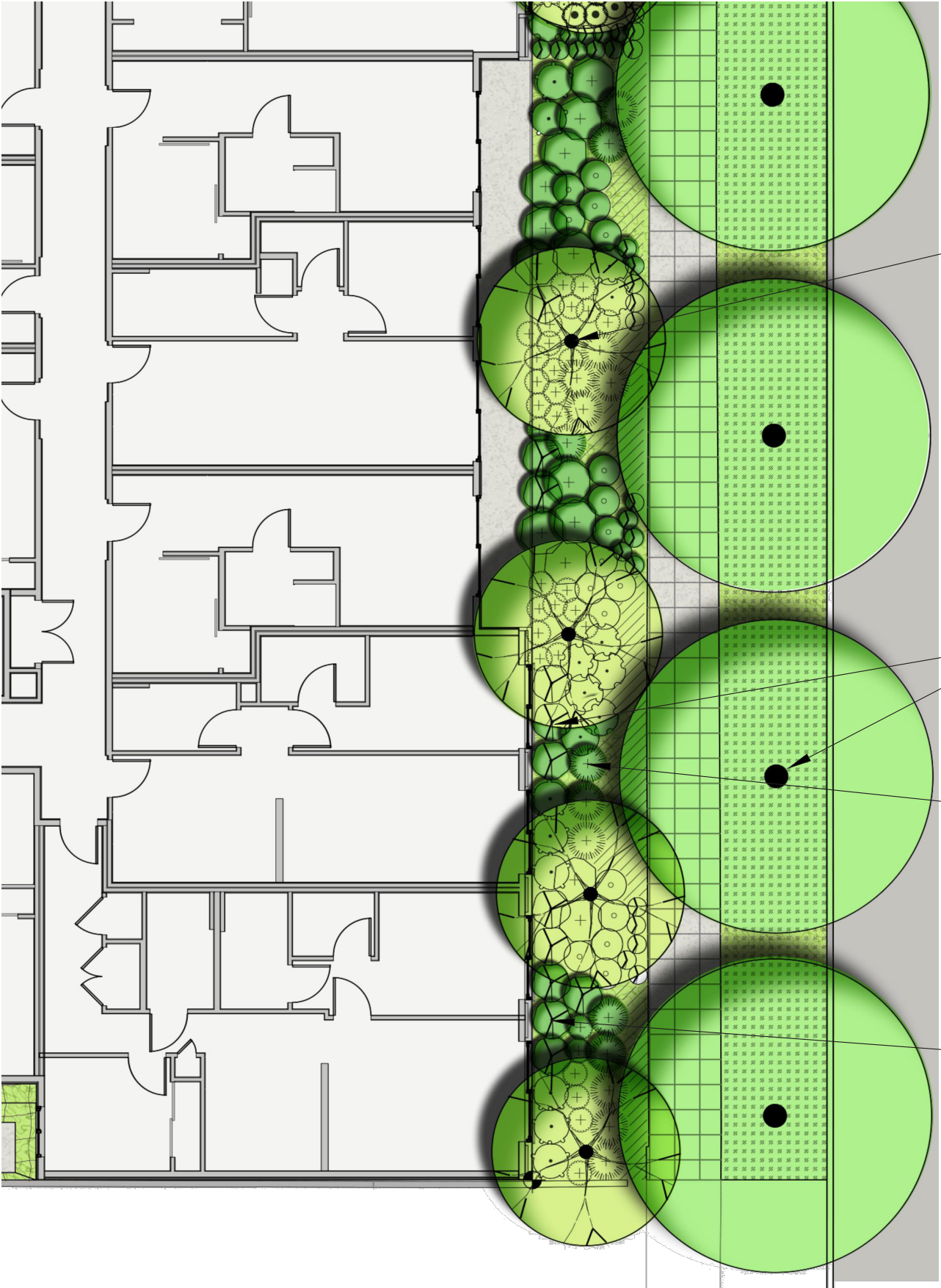
BOX LEAF HONEYSUCKLE



BRAMBLE



WHITE LILY TURF



JAPANESE SNOWBELL



MEXICAN ORANGE



BAILEY RED TWIG DOGWOOD



JAPANESE HORNBEAM



SWEET BOX



BOWHALL MAPLE



SALAL



RED OAK





FOUNTAIN BAMBOO



FIRE POWER NANDINA



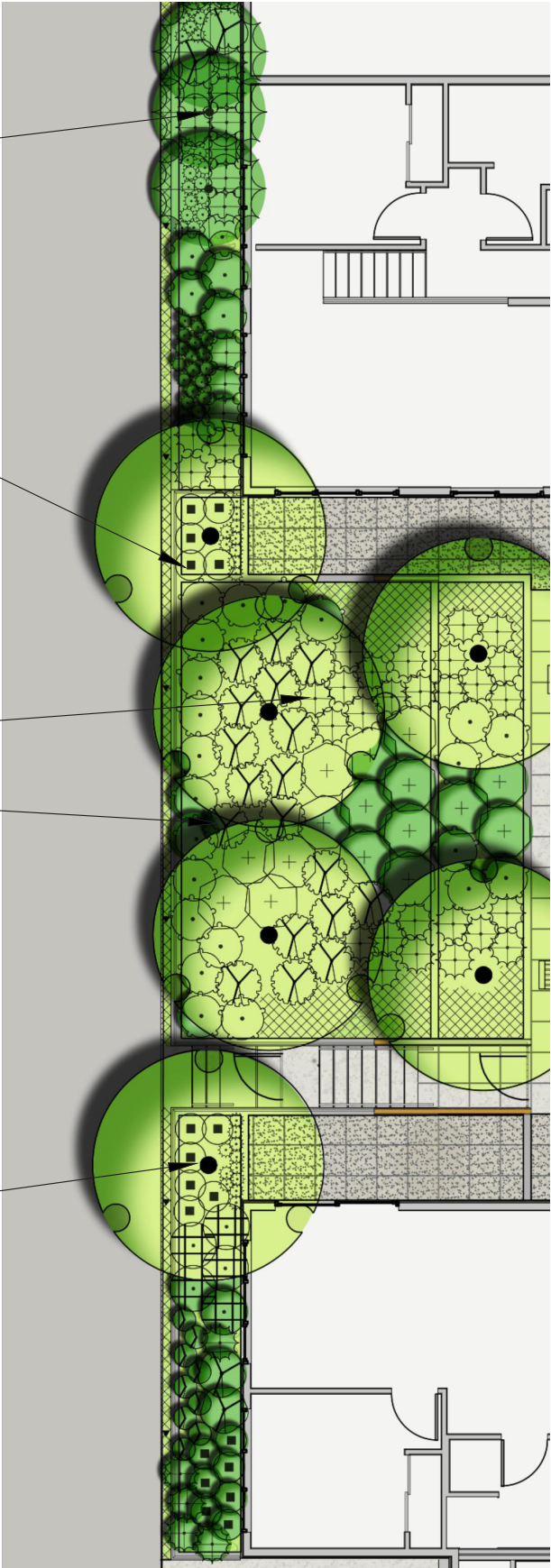
RED FLOWERING CURRANT

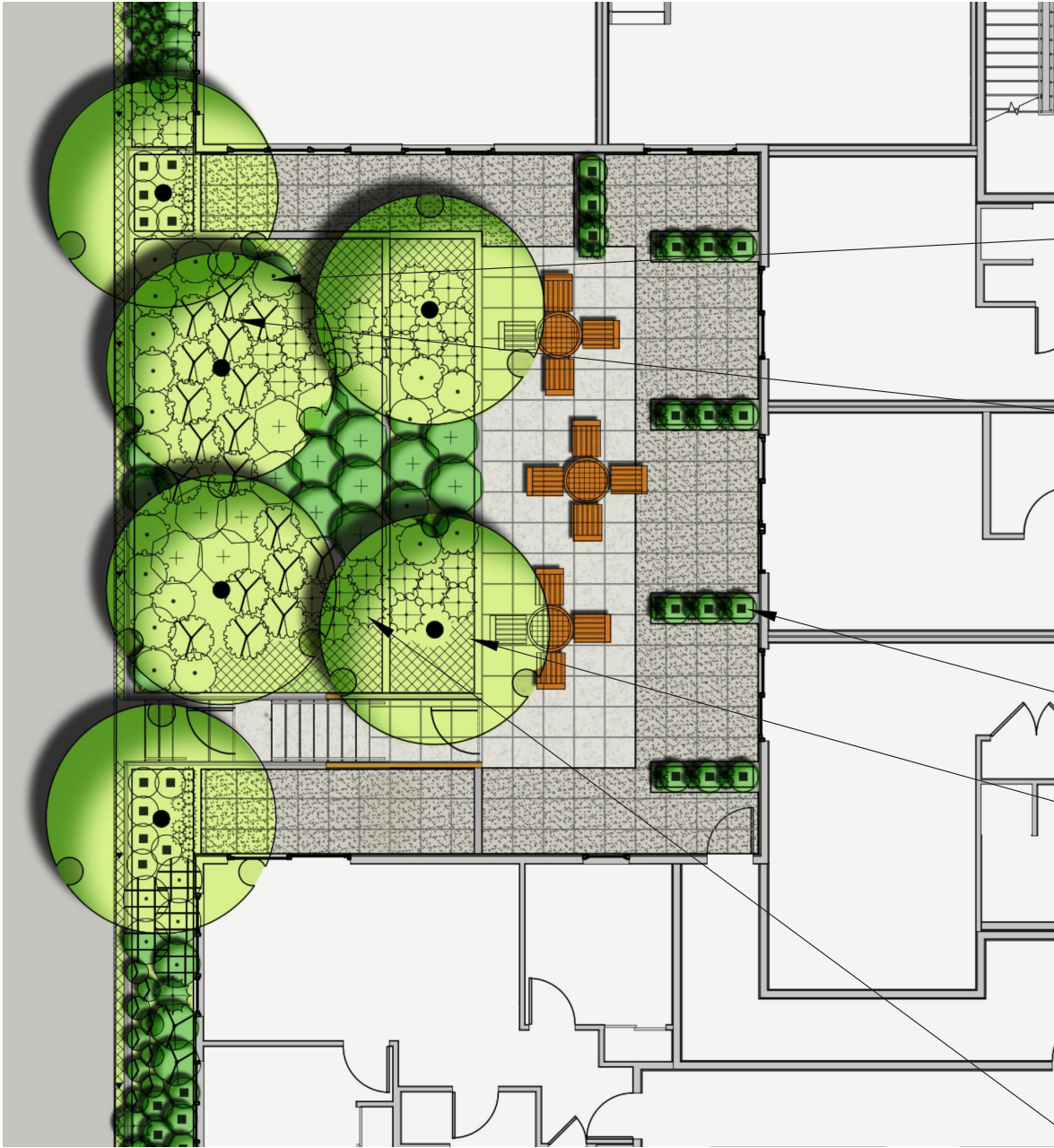


OREGON GRAPE



VINE MAPLE





AMETHYST OAKLEAF HYDRANGEA



FIRE POWER NANDINA



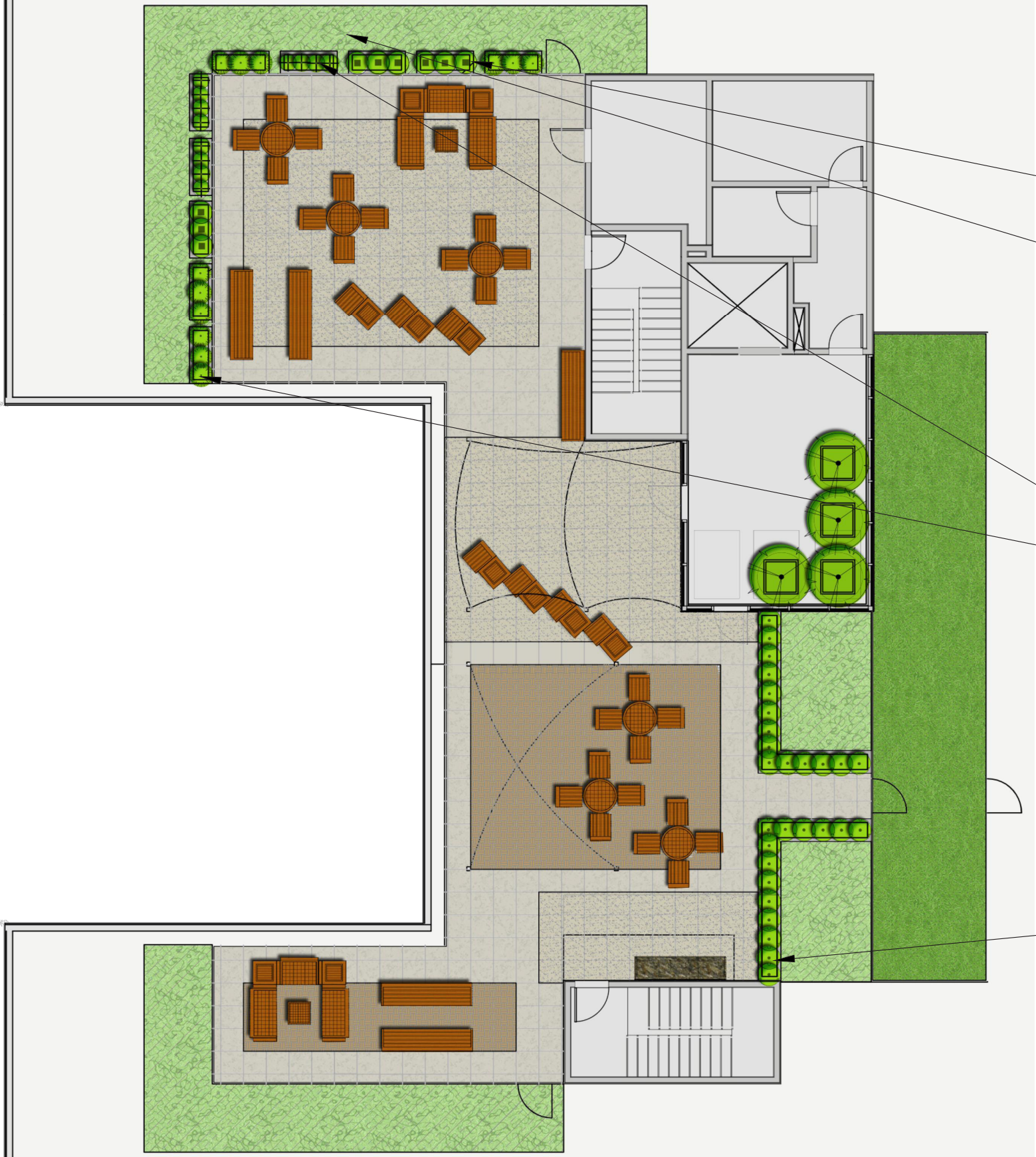
OREGON GRAPE



RED FLOWERING CURRANT



BEACH STRAWBERRY



FIRE POWER NANDINA



FOERSTER'S REED GRASS



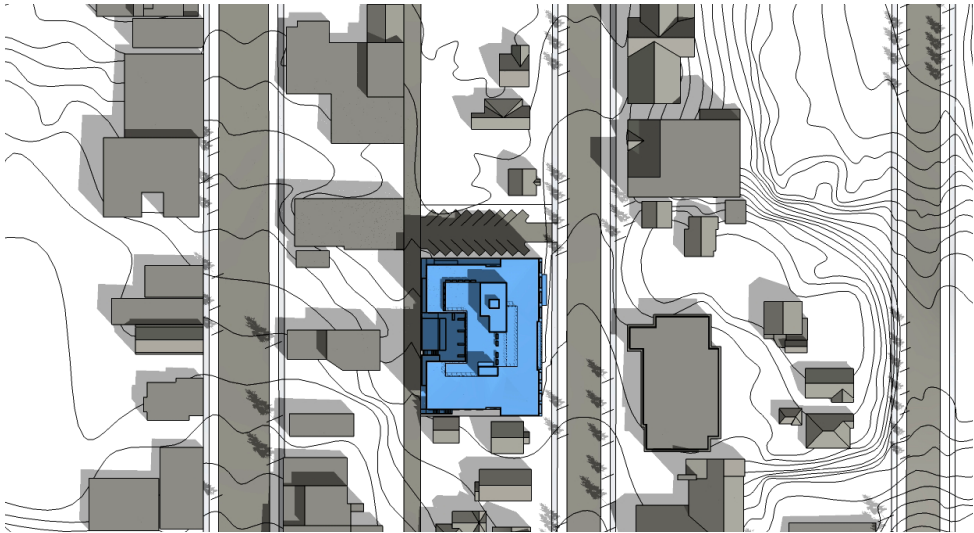
FOUNTAIN BAMBOO



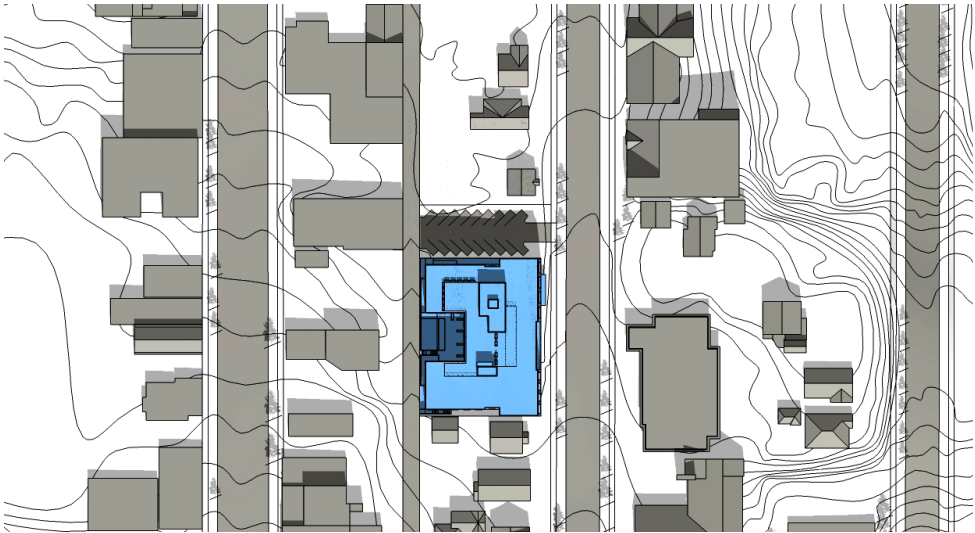
GREEN ROOF - SEDUM



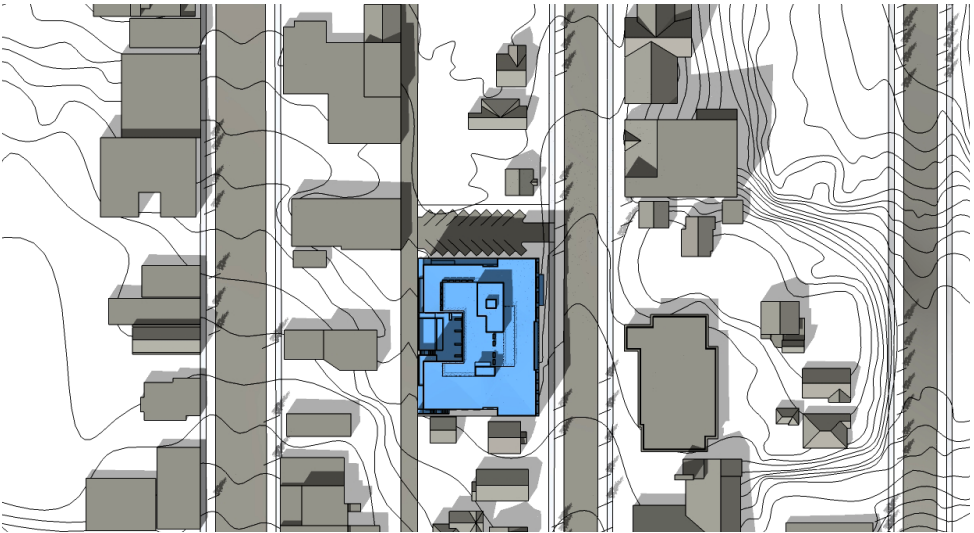
ORANGE SEDGE



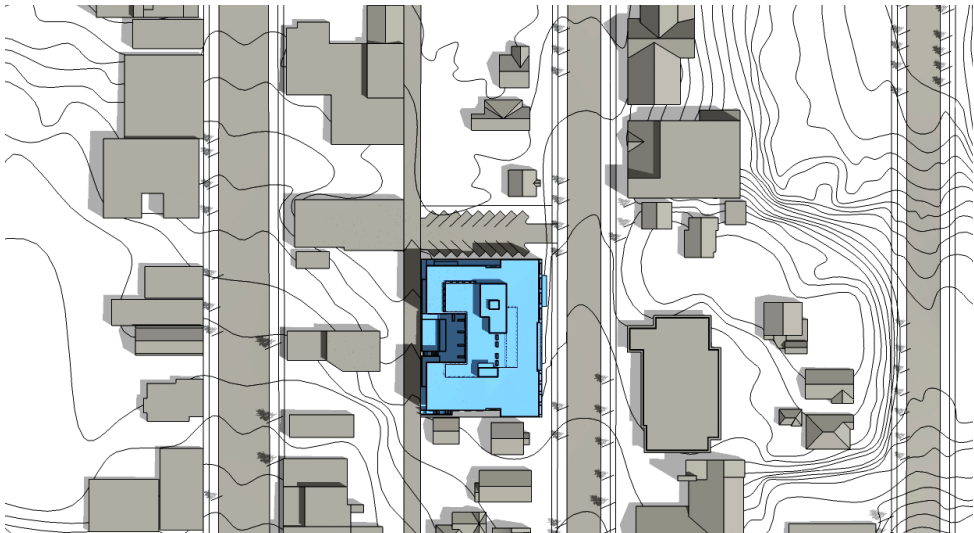
10 AM - MARCH/SEPTEMBER 21



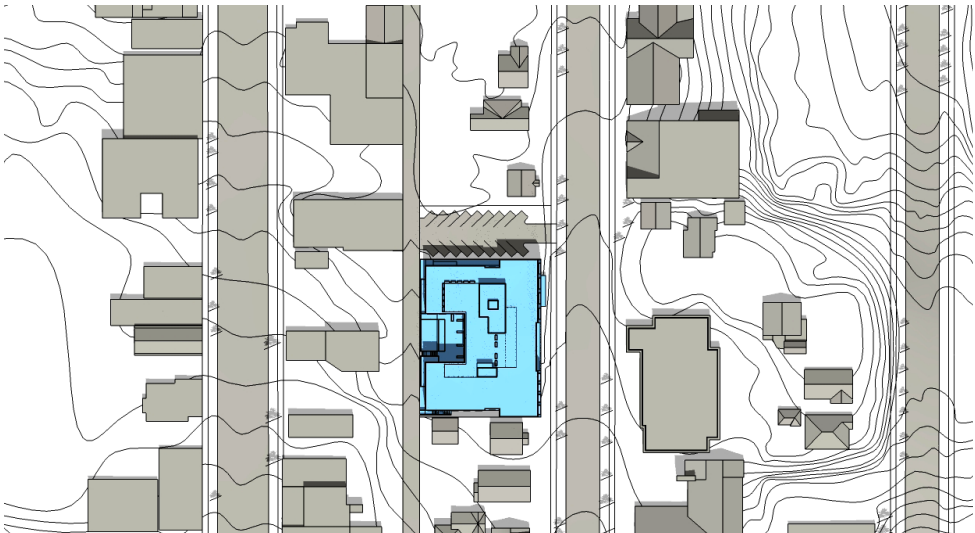
12 PM - MARCH/SEPTEMBER 21



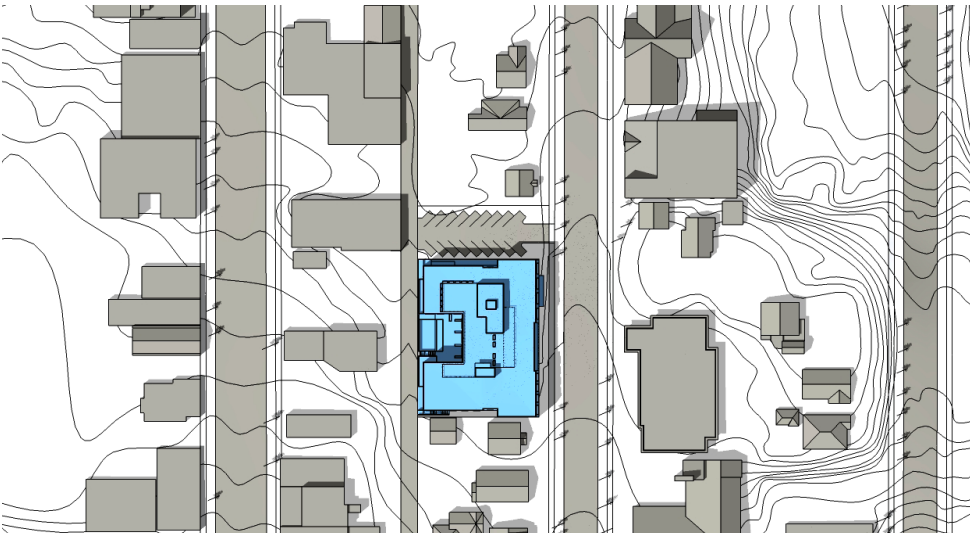
2 PM - MARCH/SEPTEMBER 21



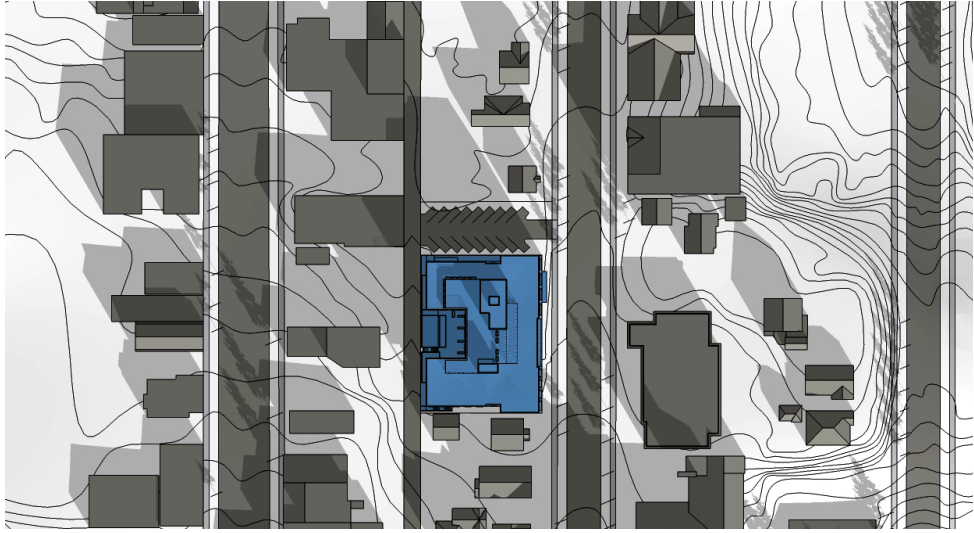
10 AM - JUNE 21



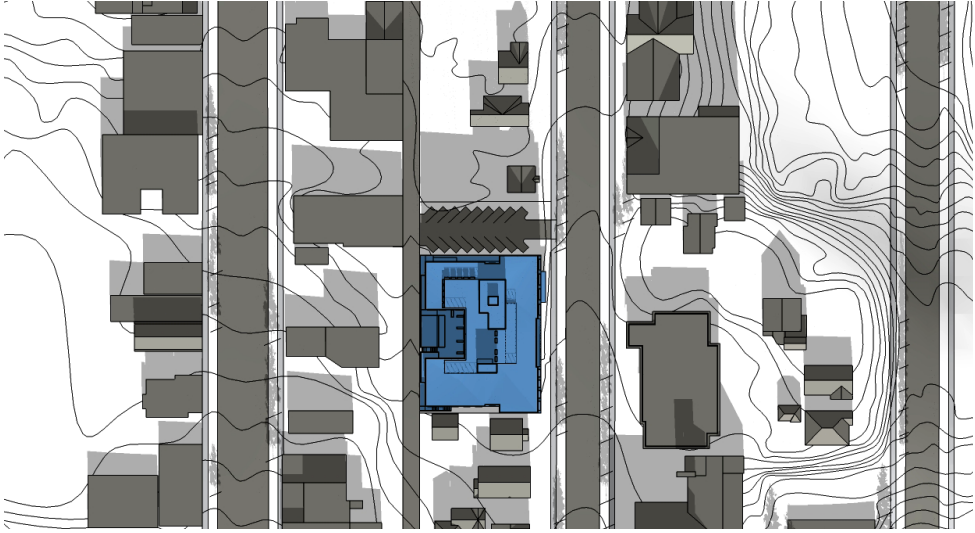
12 PM - JUNE 21



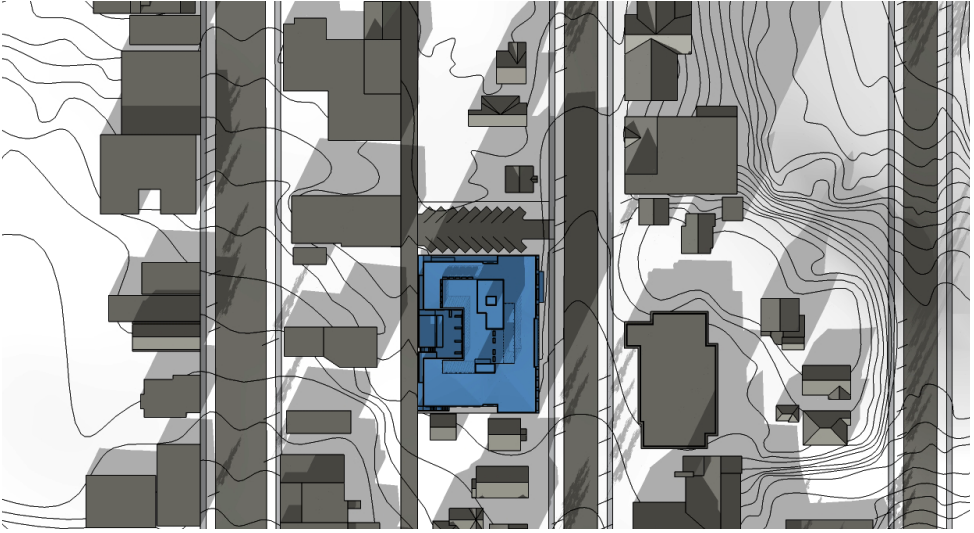
2 PM - JUNE 21



10 AM - DECEMBER 21



12 PM - DECEMBER 21



2 PM - DECEMBER 21

PRECEDENTS



MOLIERE 209 - POLANCO, MEXICO



MOLIERE 209 - POLANCO, MEXICO



CHARTRONS GYM - BORDEAUX, FRANCE



ROTTERDAM HISTORIC HOUSING - ROTTERDAM, NETHERLANDS



SOLUND RETIREMENT COMMUNITY - COPENHAGEN, DENMARK



BLOCK 64 - AMSTERDAM, NETHERLANDS



THE HEGEMAN - BROOKLYN, NEW YORK



THE HEGEMAN - BROOKLYN, NEW YORK



WESTLAKE VILLAGE



DAKOTA



CHELAN RESORT SUITES



TRIAD 12TH



VIEW 222



H2O APARTMENTS - LEED-H PLATINUM TARGET



BROADSTONE KOI - LEED-NC CERTIFIED TARGET



ARTHOUSE



APERTURE - BUILT GREEN 3-STAR TARGET

JUNCTION FLATS - DPD #3013912

DESIGN RECOMMENDATION MEETING