Ezra Teshome
13th and Pine
Seattle, Washington

ROGER H. NEWELL A.I.A.
ARCHITECT (206) 322-1192

FACSIMILE (206) 322-5161
1102 NINETEENTH AVENUE EAST
SEATTLE, WASHINGTON 98112

Project Data

PROPERTY ADDRESS:	1222 E. PINE ST
PROJECT NUMBER	3007044
OWNER:	13TH AND PINE, LLC 1607-13TH AVE SEATTLE, WA 98112 203.322.3910
ARCHITECT	ROGER H. NEWELL, AIA 1102 19TH AVENUE EAST SEATTLE, WA 98112 206.322.1192
SURVEYOR:	EMERAND LAND SURVEY INC. PO BOX 13694 MILL CREEK, WA 98082 425.359.7198
ASSESSOR'S PARCEL NUMBER:	6003000725, 6003000730
LEGAL DESCRIPTION:	LOT 11 & 12, BLOCK 22, NAGLES ADDITION, VOL. 1 OF PLATS, PAGE 153
ZONING:	NC3-65 (PROPOSED CONTRACT REZONE FROM NC3040)

Development Objective

- REPLACE EXISTING COMMERCIAL BUILDING WITH NEW ENERGY EFFICIENT STRUCTURE
- DEVELOP PROPERTY TO HIGHEST AND BEST USE WHILE PROVIDING A QUALITY INFILL PROJECT
- PROVIDE A FAMILY INVESTMENT PROPERTY
- INCREASE DENSITY OF RENTAL HOUSING AND PROVIDE OPPORTUNITY FOR COMMERCIAL USE
- UPGRADE STREET FACADE AT SIDEWALK LEVEL

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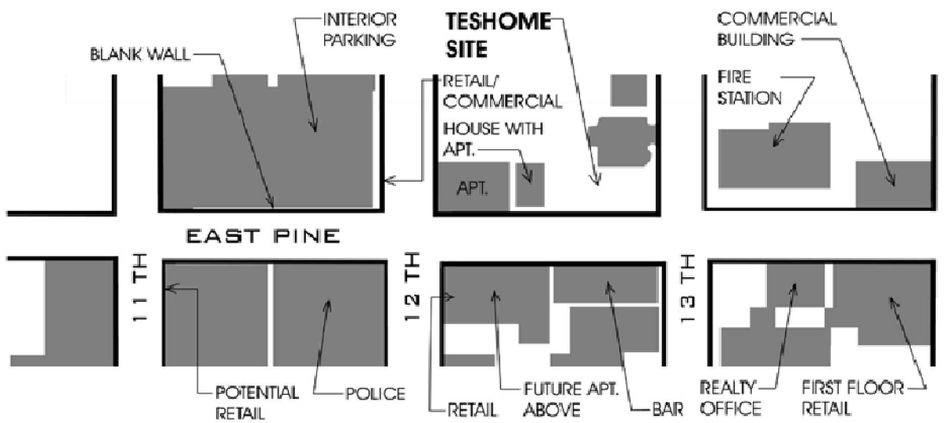
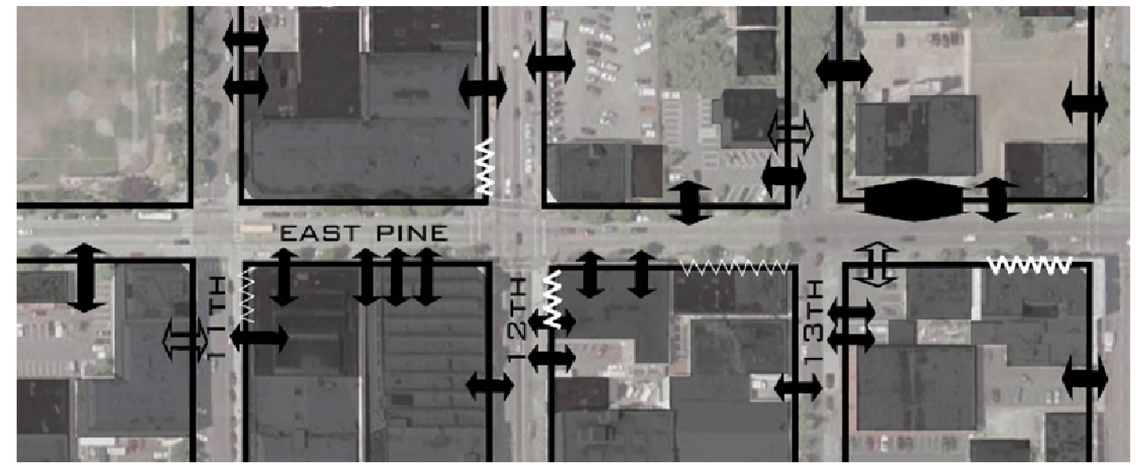
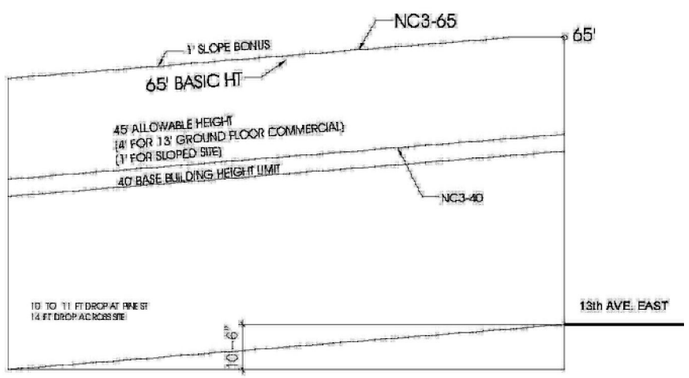


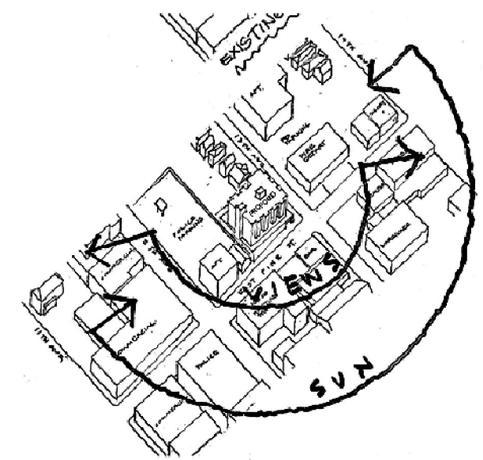
EXISTING USES ALONG EAST PINE WITH RETAIL HIGHLIGHTED



EXISTING DRIVEWAYS AND RETAIL SPACE



SLOPE AT EAST PINE STREET ELEVATION



Site Analysis

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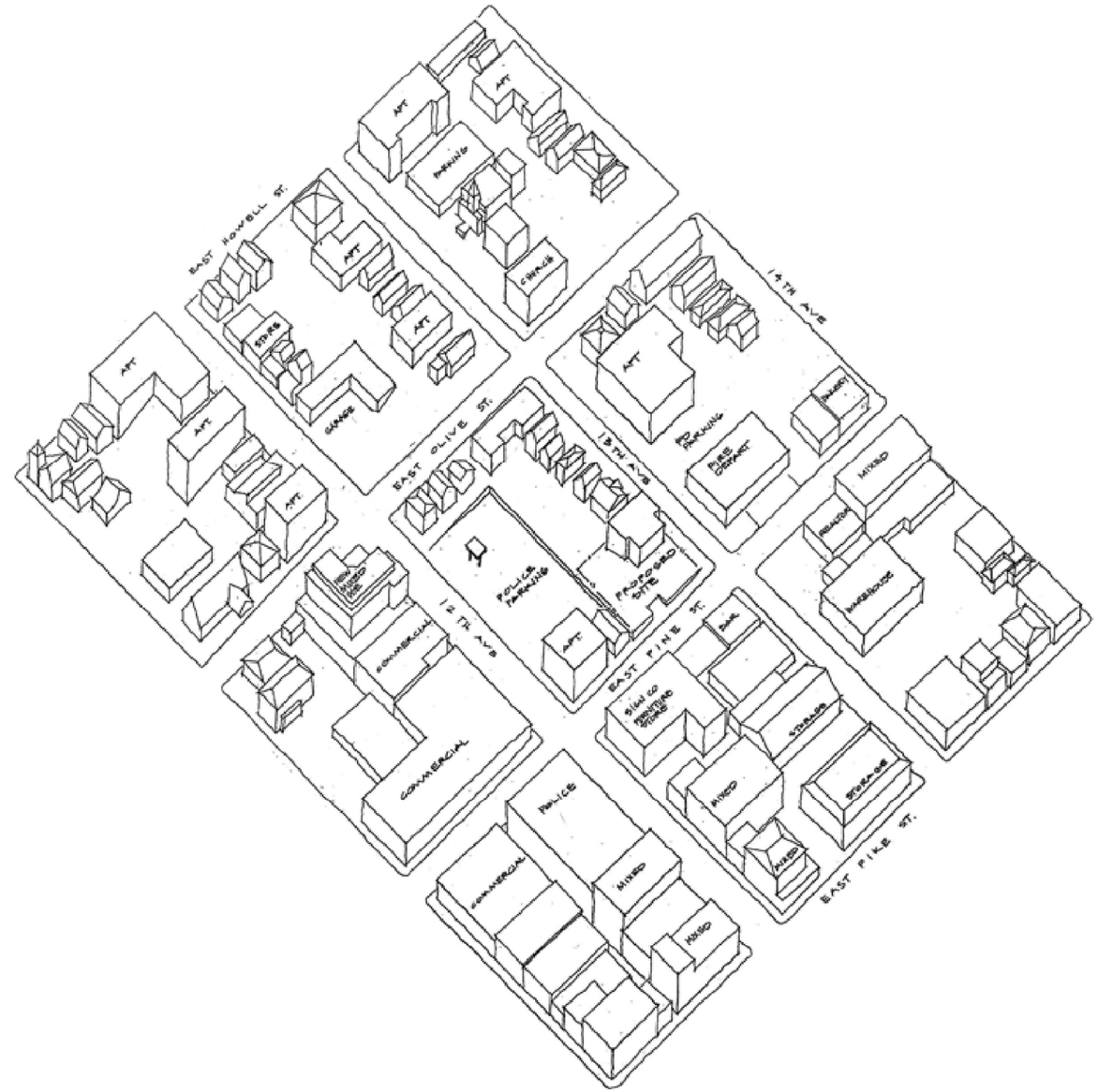
- MIX OF USES
- MIX OF OLD AND NEW
- MANY OLDER BUILDINGS AT THREE TO FOUR STORIES, PROBABLY TO REMAIN
- FIRE DEPARTMENT WILL PROBABLY REMAIN
- PINE STREET HAS FEW PEDESTRIAN ORIENTED USES NEAR THE SITE
- 13TH IS RESIDENTIAL TO NORTH
- SOME LARGE APARTMENTS
- MANY SMALL HOUSES
  - -SOME IN VERY GOOD SHAPE
  - -SOME IN VERY PORR SHAPE



Surrounding Development

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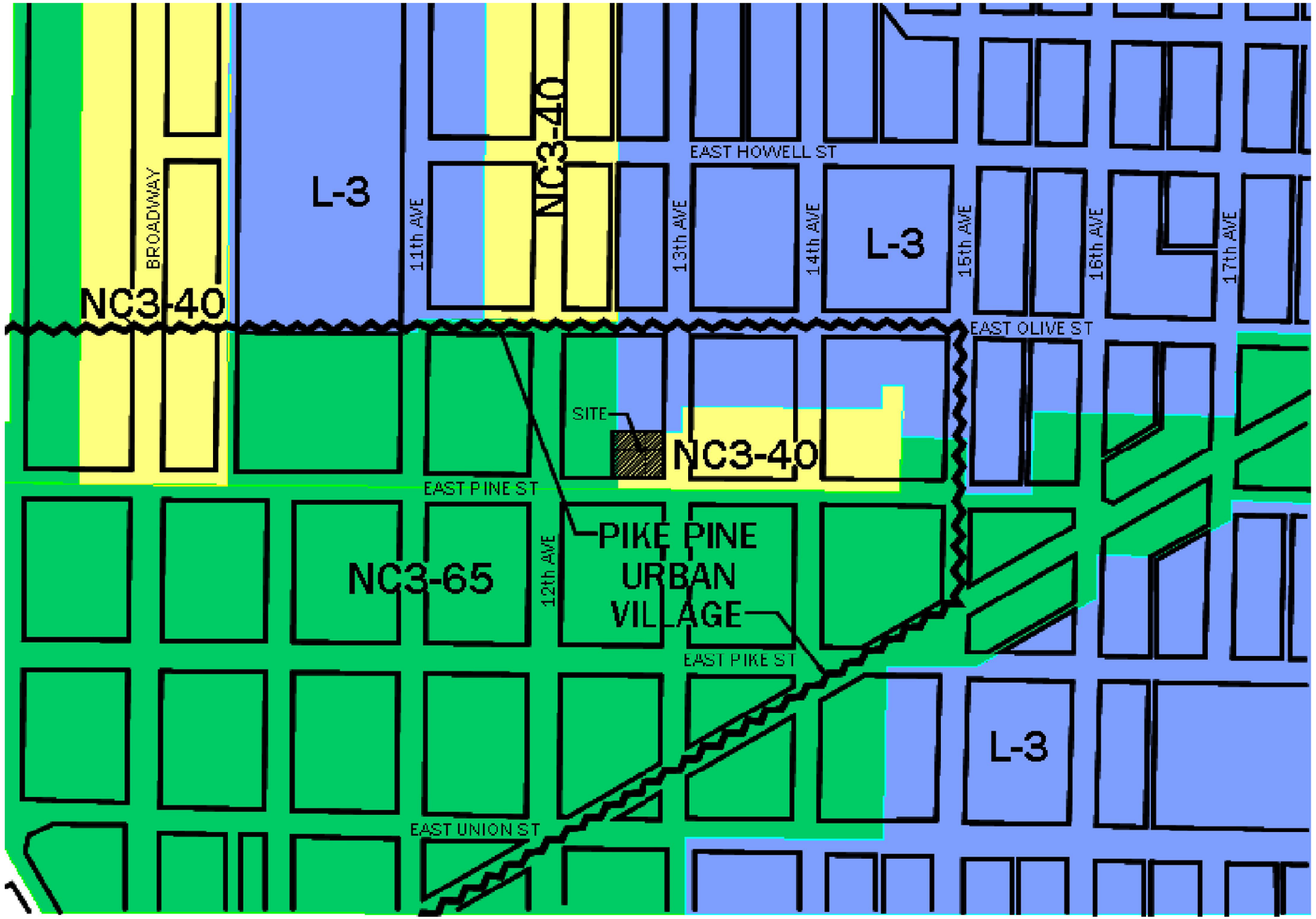
EXISTING ZONING
NC3-40
PIKE PINE OVERLAY
PIKE PINE URBAN VILLAGE
PEDESTRIAN COORIDOR

PROPOSED ZONING
NC3-65



Zoning Map

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A. PROPOSED SITE

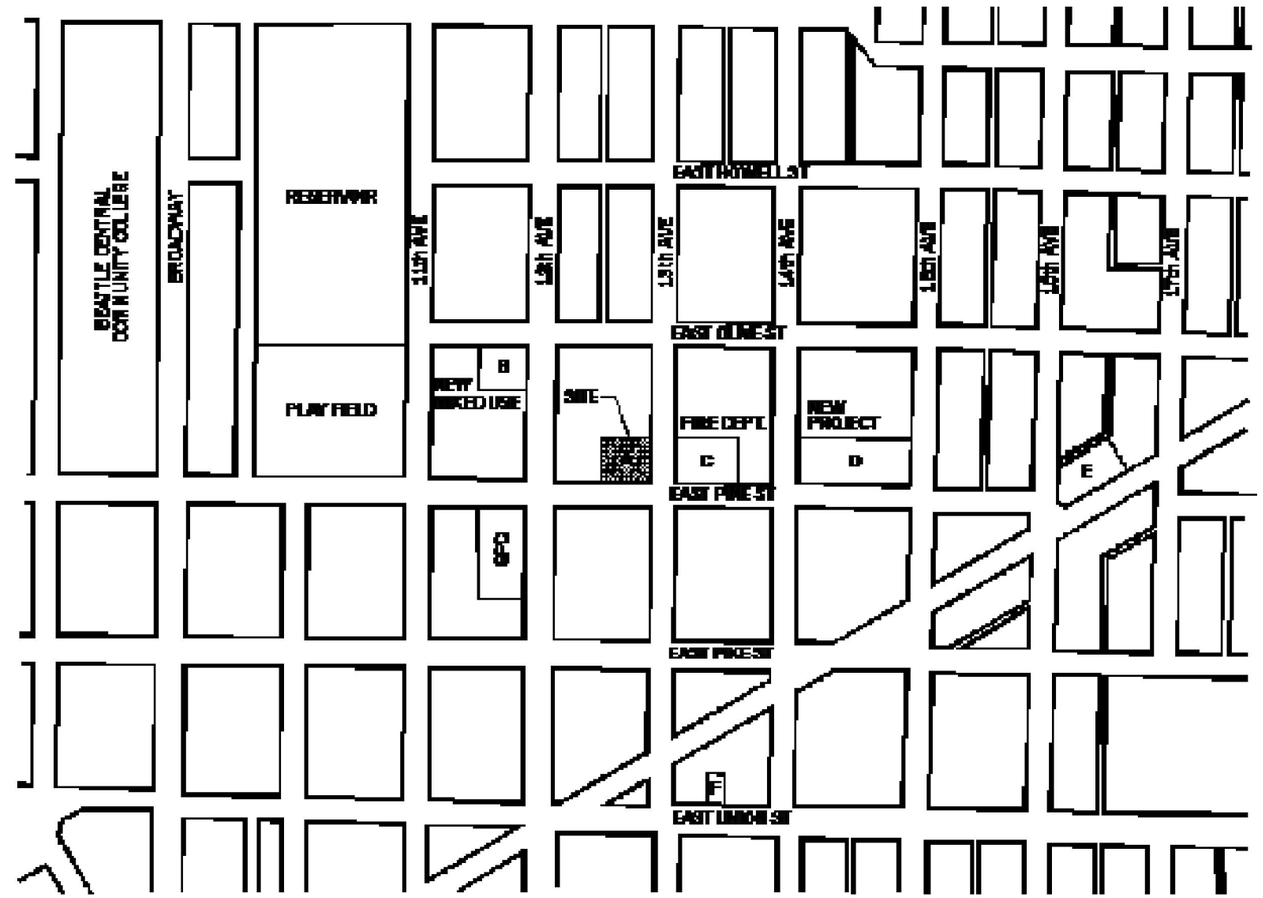
B. NEW MIXED USE AT 12TH AVE.

C. FIRE STATION

D. NEW PROJECT

E. MADISON MARKET

F. ON UNION



Vicinity Map

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G. APARTMENT BLDG AT 12TH SOUTH OF THE SITE

H. SIGN CO. & FURNITURE STORE AT 12TH

I. POLICE PRECINCT

J. FROM INTERSECTIONS AT 11TH

K. BLDG OCCUPIES THE ENTIRE BLOCK FROM 11TH TO 12TH

L. OLD REI BUILDING FROM PARK

Walking Up Pine Street

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M. ACROSS 14TH, NEW CHURCH

N. INTERSECTIONS AT 14TH

O. SE SIDE. REALTY OFFICES. PROBABLE FUTURE DEVELOPMENT

P. SOUTH SIDE. NO WINDOWS. PROBABLE FUTURE DEVELOPMENT

Walking Up Pine Street

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LOOKING NW AT OUR SITE

LOOKING SW AT OUIR SITE

LOOKING WEST AT OUR SITE

LOOKING NE ACROSS OUR SITE

Views of Site

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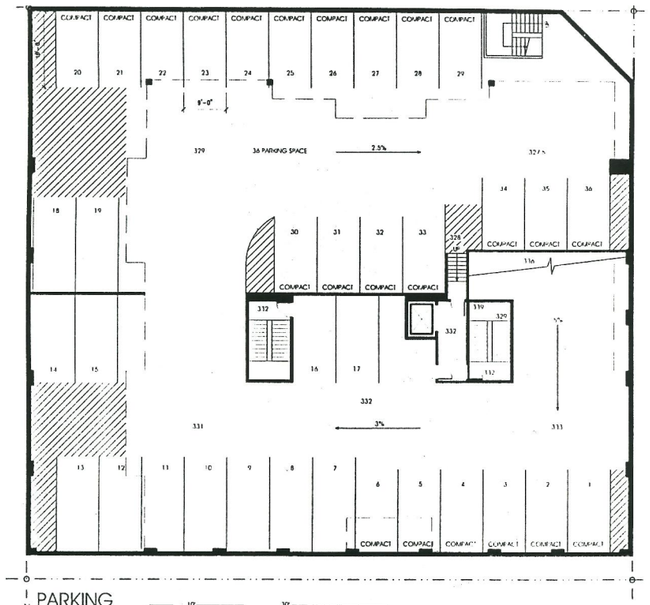
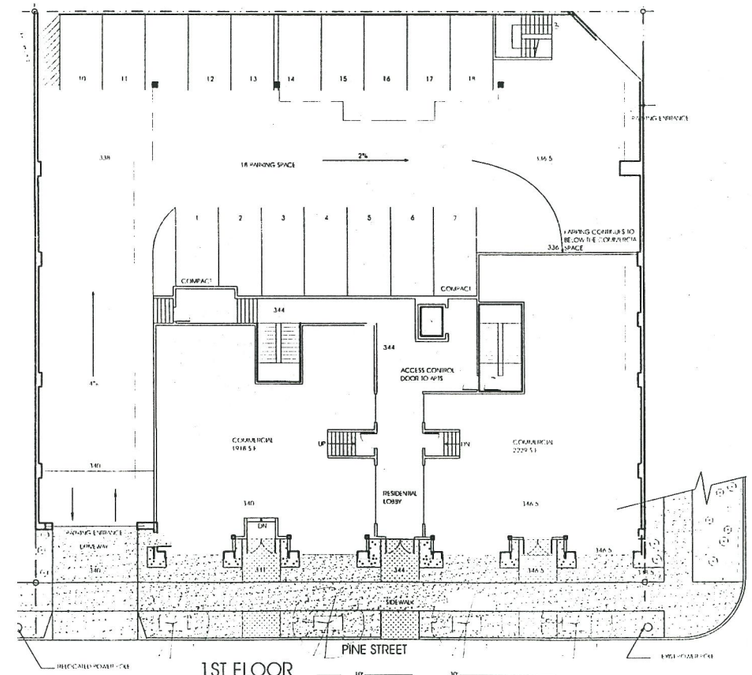
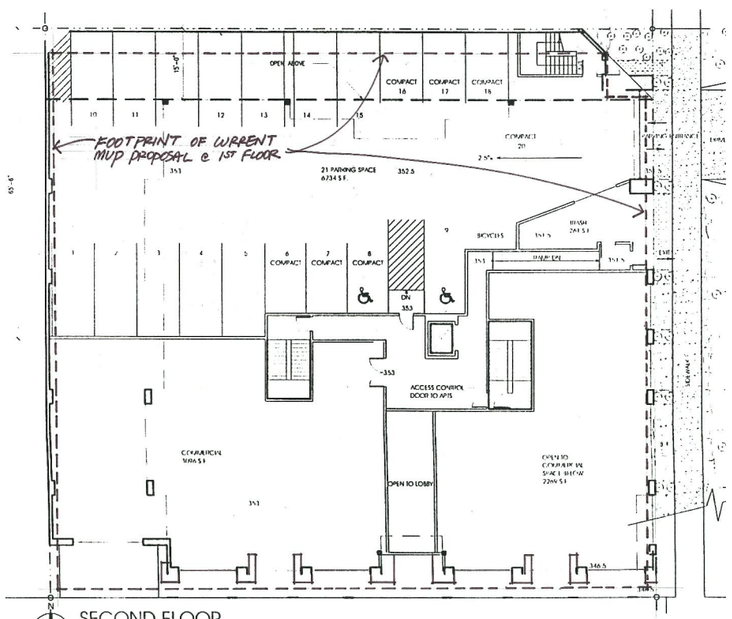


PARKING BASEMENT PLAN

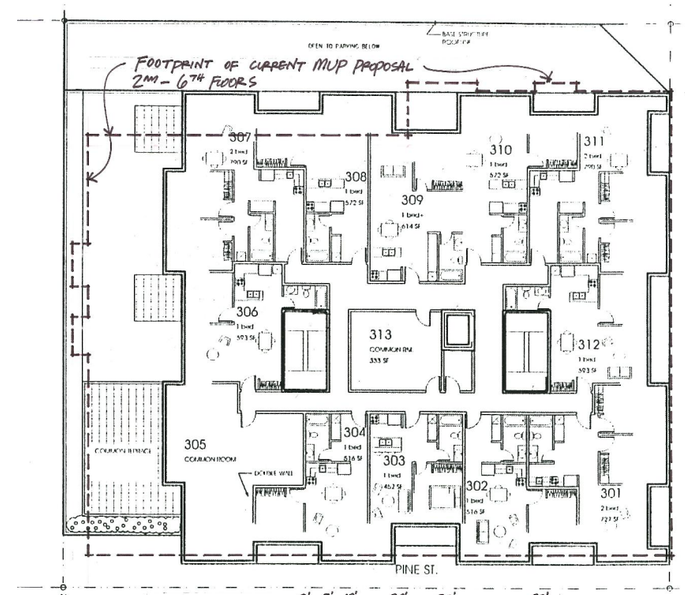


1ST FLOOR

FIRST FLOOR
SCALE: 1/16" = 1'-0"



SECOND FLOOR
SCALE: 1/16" = 1'-0"



THIRD-6TH FLOOR
SCALE: 1/16" = 1'-0"

EDG Concept Design-B, 1st, 2nd, 3-6th

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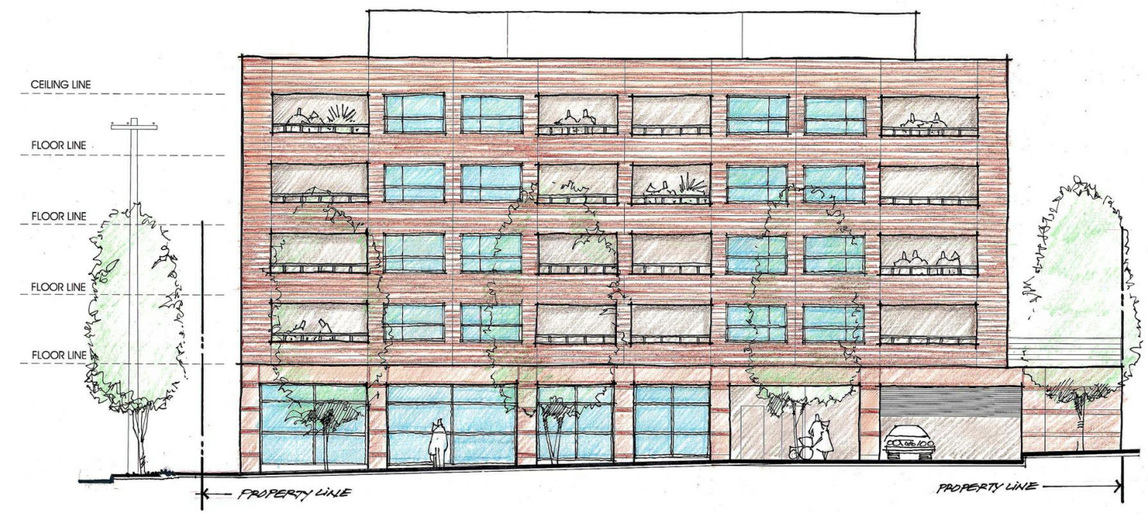
PINE STREET
SOUTH ELEVATION



13TH AVENUE
EAST ELEVATION

EDG Concept Design-South & East Elevations

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Departure Requests

1. SIDE SETBACK:

- SEC. 23.47A.014 B.2: A SIDE SETBACK IS REQUIRED WHEN A LOT ABUTS A RESIDENTIAL ZONE. REQUIREMENT: 0' SETBACK FOR STRUCTURE 0'-13" ABOVE GRADE, 10' SETBACK FOR STRUCTURE13'-65'.

- PROPOSED DEPARTURE: TOP OF SLAB/DECK IS NO TALLER THAN 13' ABOVE GRADE. PORTIONS OF THE PLANTERS IN THE NORTH ELEVATION PROJECT ABOVE, OR ONTO, THE REQUIRED 10' SETBACK.

- RATIONALE FOR REQUEST: PLANTERS ARE USED TO BUFFER THE SETBACK ADJACENT TO A RESIDENTIAL LOT.

2. SITE TRIANGLE:

- SEC. 23.54.030 G.2: SIGHT TRIANGLE FOR 22 FEET WIDE. REQUIREMENT: EXIT SIDE OF DRIVEWAY SHALL BE KEPT CLEAR FOR 10' FROM INTERSECTION OF DRIVEWAY WITH A SIDEWALK

- PROPOSED DEPARTURE: THE SIGHT TRIANGLE HAS BEEN REDUCED FROM 10' TO 7' FROM THE DRIVEWAY/SIDEWALK INTERSECTION TO THE VERTICAL OBSTRUCTION.

- RATIONALE FOR REQUEST: THE CURB CUT WIDTH HAS BEEN REDUCED TO 22' AND THE OPENING IN FRONT OF THE GARAGE DOORS MINIMIZED TO REDUCE GARAGE IMPACT ON STREETSCAPE.

2. COMMERCIAL DEPTH:

- SEC. 23.47A.008 3A: NON-RESIDENTIAL USES MUST EXTEND AN AVERAGE OF AT LEAST 30 FEET AND A MINIMUM OF 15 FEET IN DEPTH FROM THE STREET-LEVEL, STREET-FACING FACADE.

- PROPOSED DEPARTURE: COMMERCIAL OFFICE "D" EXTENDS AN AVERAGE OF 27.2 FEET AND A MINIMUM OF 10.92 FEET IN DEPTH FROM THE STREET-LEVEL, STREET-FACING ENTRANCE.

- RATIONALE FOR REQUEST: THE SOUTHERN HALF OF COMMERCIAL SPACE "D" IS SHORTENED TO PROVIDE A RESIDENTIAL FOYER OFF THE CORNER ENTRANCE.

Design Guidelines

The plain text below is from the December 1, 2004 EDG.
The text in italics is from the February 16, 2005 Second EDG.
The underlined text is from the September 5, 2007 Third EDG.

A-2 Streetscape Compatibility
A-3 Entrances Visible from the Street
A-4 Human Activity
A-5 Respect for Adjacent Sites
A-6 Transition between Residential and Street
A-7 Residential Open Space
A-8 Parking and Vehicle Access

- Maintain strong vertical presence along E Pine – don't step the building back at upper levels. Increased lot coverage could be a consideration in weighing the merits of the proposal.
- Alternative schemes should explore some reduction in the requested height.
- Explore open space alternatives with a street presence in the form of decks and open air "cavity areas".
- Vehicle entrance access should be from 13th to create a pedestrian friendly E Pine Street.

- *Vehicle access from E Pine should be reduced from 22 to 18 feet.*
- *Reduce impacts of vehicle activity to and from the site by reducing on-site parking.*
- *Secure access easement for abutting property on E Pine.*
- *Access to parking should be from 13th Ave.*
- *Attention to detail for pedestrian access/lobby on E Pine is encouraged.*
- *Recessed balconies on E Pine are desirable.*

- Include pedestrian/commercial entries on 13th Ave.
- 13th Ave street level elevation should be engaging.
- Orient residential presence on 13th to activate the street.
- Overhead weather protection on both 13th and Pine is encouraged.

B-1 Height, Bulk and Scale

- Create a good transition in height, bulk and scale to the immediate area, especially the residential lots to the north.

C-1 Architectural Context
C-2 Architectural Concept and Consistency
C-3 Human Scale
C-4 Exterior Finish Materials

- Consider design options that don't follow traditional themes. Create a diverse streetscape for each storefront. Sloped site provides opportunity for increased storefront heights on E Pine.
- Create deeper windows and longer and shallower decks on the street facades.
- Incorporate a more dynamic open space experience for pedestrians along E Pine.
- Increase building modulation where appropriate.

- *Scale at lower level should be relected on upper levels with larger window openings. Structural base should align with upper level.*
- *Provide a more aggressive setback of the upper mass from the residential zone along the north.*

- Encourage the use of brick and stone at the base.
- Install fenestration in keeping with loft-style buildings.
- Develop engaging scale along north façade above street level.
- Crown the building with traditional cornice elements in keeping with traditional styled loft buildings.

D-2 Blank Walls
D-4 Design of Parking Lots near Sidewalks
D-6 Screening of Dumpsters, Utilities and Service Areas
D-7 Personal Safety and Security

- Create well defined vehicle entry points along 13th to encourage a sense of security. Garage entrance should provide quality detailing and good lighting.
- The Board was concerned with impacts of vehicle access off of E Pine. Minimize or eliminate vehicle /pedestrian conflict on E Pine sidewalk.

E-3 Landscape Design to Address Special Site Conditions

Landscaping should enhance the prior guidelines by creating attractive and inviting areas

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Rendering-13th Ave View

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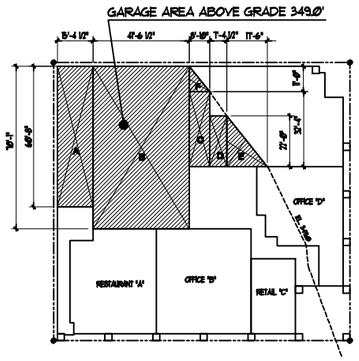
FAR Calculations

LOT AREA: 120.09 X 128.02 = 15,374 s.f.
ALLOWED FAR: 4.75 (NC3-65)
ALLOWED FLOOR AREA: 4.75X15,374 = 73,026

FLOOR AREA WHICH COUNTS TOWARD FAR:

6TH	10,978	RESIDENTIAL AND COMMON
5TH	10,978	RESIDENTIAL AND COMMON
4TH	10,978	RESIDENTIAL AND COMMON
3RD	10,978	RESIDENTIAL AND COMMON
2ND	10,871	RESIDENTIAL AND COMMON
1ST	1776	COMMON
1ST	1372	COMMERCIAL
1ST	4592	GARAGE
	68,523 s.f.	FLOOR AREA

ACTUAL FAR: 68,523 / 15,374 = 4.46



FIRST FLOOR PLAN

GARAGE AREA ABOVE GRADE 349.0':

A	(15.4x60.7)	=	934.8 s.f.
B	(7.0x41.5)	=	290.9.2 s.f.
C	(8.3x32.3)	=	268.1 s.f.
D	(7.4x32.3)	=	239.0 s.f.
E	(22.0x7.5)/2	=	192.5 s.f.
F	(11x8.8)/2	=	48.4 s.f.
	TOTAL	=	4592.0 s.f.

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Zoning Notes

ZONING: NC3-65 (PROPOSED CONTRACT REZONE FROM NC3-40)
PIKE/PINE URBAN CENTER VILLAGE
CAPITOL HILL LIGHT RAIL OVERLAY DIST
PIKE/PINE OVERLAY DISTRICT

ENVIRONMENTALLY SENSITIVE: NO

GIS MAP: PAGE 111

TOTAL LOT AREA: 120.09' X 128.02' = 15,374 SF

BUILDING HEIGHT: 65'
4' INCREASE BASE HT. W/ 13' COMM'L
SLOPED LOT HT. INCREASE 1.41' -SEE A1.00
5'-0" PITCHED ROOF BONUS

MAXIMUM FAR: NOTE: FOR FAR CALCULATIONS, 43,303 SF OF BELOW GRADE BASEMENT PARKING IS EXEMPT FROM FAR LIMITS. 111,189 TOTAL SF OF BUILDING - 43,303 = 68,486 SF, PER 23.47A.013 A.4.
PROPOSED: NC3-65 FAR=4.75 MAX
ACTUAL FAR: 68,486 / 15,374 = 4.45
SEE A0.00 FOR ACTUAL FAR CALCULATIONS

PROPOSED COMMERCIAL USE: OFFICE / RESTAURANT / SALES, GENERAL

SETBACKS:

FRONT: 0' REQUIRED

REAR: 0' REQUIRED

SIDE: 15' TRIANGLE ADJ. TO RESIDENTAL (23.47A.014B)
SETBACK ABOVE FIRST 13' HT (NORTH)(23.47A.014B.2)
5' SETBACK LANDSCAPE AT NORTH (23.47A.016 CHART C.O.)
3.5' LANDSCAPE SETBACK AT WEST, PARKING GARAGE (23.47A.016 CHART C.O.)

COMMERCIAL SIZE REQUIREMENTS:

MIN. DEPTH:	15' REQUIRED, 11' PROVIDED (SPACE D)
AVE. DEPTH:	30' REQUIRED, 27.2' PROVIDED (SPACE D)
FLOOR TO FLOOR:	13' REQUIRED, 13' PROVIDED
80% FACADE:	0.80 x 118.42' = 94.7' REQ'D 107' PROV'D.

RESIDENTIAL AMENITY AREA CALCULATIONS (SEE PLANS A2.01-A2.06):

REQUIRED: 5% OF GROSS RESIDENTIAL FLOOR AREA
REQUIRED = 56,559 = 2828 SF

PROVIDED:	1ST	=	529 SF +
	2ND	=	362 + 669 + 451 SF
	TOTAL	=	2,011 SF RESIDENTIAL AMENITY AREA PROVIDED

LANDSCAPE REQUIREMENTS:

LANDSCAPING PER THE ATTACHED LANDSCAPE PLAN, L1.00, THAT ACHIEVES A GREEN FACTOR SCORE OF 0.30 OR GREATER. SEE SHEET L2.03, 2.04. GREEN FACTOR SCORE = 0.303

SOLID WASTE / RECYCLING:

51-100 UNITS 200 SF AREA FRONT LOADING CONTAINER

PARKING CALCULATIONS:

NO PARKING IS REQUIRED FOR COMMERCIAL USE PER SEC. 23.54.015 B. 2. NO PARKING IS REQUIRED FOR RESIDENTIAL USE PER SEC. 23.54.015 CHART B"1. IF PARKING IS PROVIDED IT MUST MEET SEC. 23.54.030.

RESIDENTAL PARKING REQUIRED: PER 23.54.015 CHART B"L
1 SPACE IS REQUIRED FOR EACH UNIT
75 UNITS X 1/UNIT = 75 STALLS
MINIMUM 60% MEDIUM STALLS REQUIRED
75 X .60 = 45 MEDIUM STALLS REQUIRED

COMMERCIAL PARKING REQUIRED:
RESTAURANT A:2310-1500=810/250 SF PER STALL=3 STALLS
OFFICE B: 2534-1500 = 1034/1000 SF PER STALL= 1 STALL
SALES, GENERAL C: 648-1500 SF PER STALL = 0 STALLS
OFFICE D: 1393-1500 SF PER STALL = 0 STALLS

COMMERCIAL PARKING SIZES:
75% LARGE = 4 X .75 = 3 LARGE STALLS MAX. REQUIRED
25% COMPACT = 4 X 25 = 1 COMPACT STALL MIN. REQUIRED

TOTAL PARKING REQUIRED:
75 RESIDENTIAL + 4 COMMERCIAL = 79 TOTAL STALLS

PARKING PROVIDED:

	LARGE	MEDIUM	COMPACT	TOTAL
1ST	3	3	9	15
P1	-	13	8	21
P2	-	24	14	38
P3	-	35	13	48
	3	75	44	122

BICYCLE STALLS:
RESIDENTIAL REQ'D: 1 PER 4 UNITS=75/4= 19 STALLS
COM'L RESTAURANT: 1 PER 12,000 SF=2310/12,000= 0 STALLS
COM'L OFFICE: 1 PER 4000 SF=4575/4000= 1 STALL
TOTAL BICYCLE STALLS REQ'D: 19+1 = 20
BICYCLE STALLS PROVIDED @ 1ST FLOOR GARAGE A2.03

Unit Area Totals

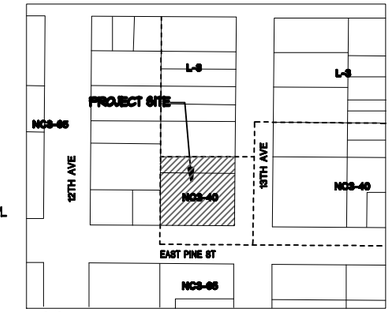
UNIT TYPE	#	SF/UNIT	SUB-TOTAL	TYPE
A (2ND)	7	580	4060	STUDIO
A (3-6TH)	12	609	7308	STUDIO
A w/DK (3-6TH)	16	550	8800	STUDIO
B	5	551	2755	STUDIO
C	5	532	2660	STUDIO
D (2ND)	1	566	566	1BR
D (3-6TH)	4	585	2340	1BR
E (2ND)	1	701	701	1BR w/ STUDIO
E (3-6TH)	4	836	3344	1BR w/ STUDIO
F (EAST 2ND)	1	962	962	2BR w/ 2BA
F (EAST 3-6TH)	4	1005	4020	2BR w/ 2BA
F (WEST 2ND)	1	958	958	2BR w/ 2BA
F (WEST 3-6)	4	980	3920	2BR w/ 2BA
F (NORTH 2ND)	1	924	924	2BR w/ 2BA
F (NORTH 3-6TH)	4	945	3780	2BR w/ 2BA
G (2ND)	1	513	513	STUDIO
G (2ND)	4	549	2196	STUDIO
TOTAL	75		49,813	

Unit Types

TYPE	#
STUDIO	50
1BR	5
1BR w/ STUDIO	5
2BR / 2BA	15
TOTAL	75 UNITS

Building Area Totals

FLOOR	GARAGE	COMM'L	RESIDENTIAL	COMMON
P3	13,834	-	-	-
P2	13,903	-	-	-
P1	8,141	-	-	-
1ST	4,669	6,240	-	965
2ND	-	-	9,773	1,038
3RD	-	-	10,00	968
4TH	-	-	10,00	968
5TH	-	-	10,00	968
6TH	-	-	10,00	968
TOTALS	39,647	6,240	49,813	5,935



NORTH

Vicinity Map

Legal Description:

LOT 11 AND 12,BLOCK 22, NAGLES ADDITION TO THE CITY OF SEATTLE, VOL. 1 OF PLATS, PAGE 153, KING COUNTY, WASHINGTON.

Project Data

ASSESSOR'S PARCEL #S: 6003000725, 6003000730

PROPERTY ADDRESS:1222 EAST PINE STREET
SEATTLE, WA 98122

DPD NUMBER: 3007044

OWNER: 13 & PINE LLC
16071 - 13TH AVE
SEATTLE, WA 98122
(206)322-3910

ARCHITECT: ROGER H. NEWELL, AIA
1102 19TH AVENUE EAST
SEATTLE, WA 98112
(206) 322-1192
(206) 322-5161 FAX

LANDSCAPE ARCHITECT: BRUCE JOHNSON, ASLA
2923 E. THOMAS ST.
SEATTLE, WA 98112
(206) 254-2570

SURVEYOR: EMERALD LAND SURVEY INC
PO BOX 13694
MILL CREEK, WA 98082
(425)359-7198

Drawing Index

ARCHITECTURAL
A0.00 PROJECT INFORMATION AND CALCULATIONS
A0.01 NOTES
A1.00 SITE PLAN
A2.00 P3 BASEMENT PARKING
A2.01 P2 BASEMENT PARKING
A2.02 P1 BASEMENT PARKING
A2.03 1ST FLOOR PLAN
A2.04 2ND FLOOR PLAN
A2.05 3RD FLOOR PLAN
A2.06 4TH FLOOR PLAN
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LANDSCAPE
L2.01 1ST FLOOR LANDSCAPE PLAN
L2.02 2ND FLOOR LANDSCAPE PLAN

ROGER H. NEWELL
ARCHITECT

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Ezra Teshome
13th and Pine
Seattle, WA

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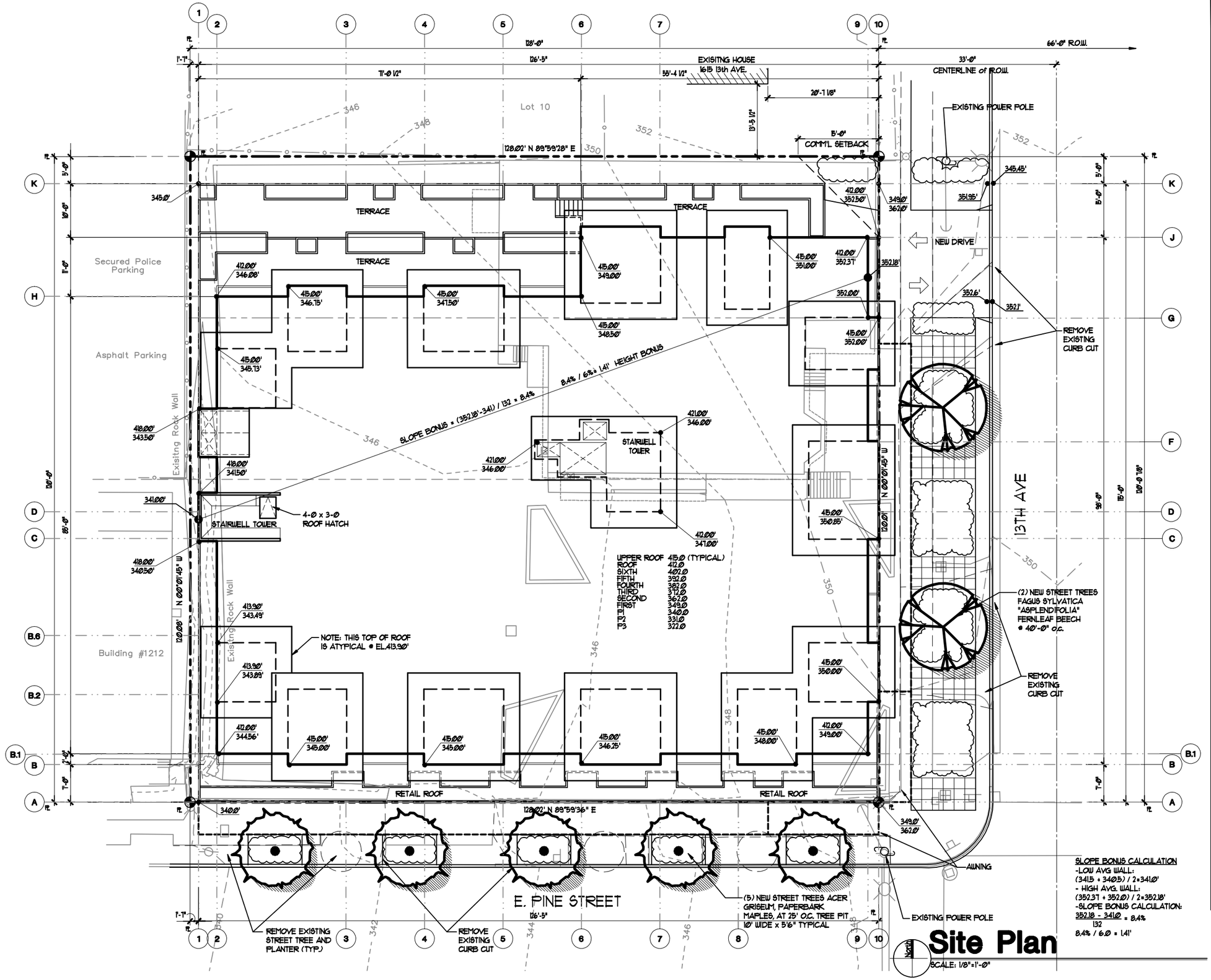

Site Plan

SLOPE BONUS CALCULATION

-LOW AVG WALL:
(341.5 + 340.5) / 2=341.0'
- HIGH AVG. WALL:
(352.37 + 352.0) / 2=352.18'
-SLOPE BONUS CALCULATION:
352.18 - 341.0 / 132 = 8.4%
8.4% / 6.0 = 1.41'

DATE:
DRAWN:
CHECKED:

ROBERT H. LEWELL
ARCHITECT
Lewell Architects

FASHANEE & FASHANEE
1000 2nd AVE.
SEATTLE, WASHINGTON 98104

Ezra Teshome
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Seattle, WA

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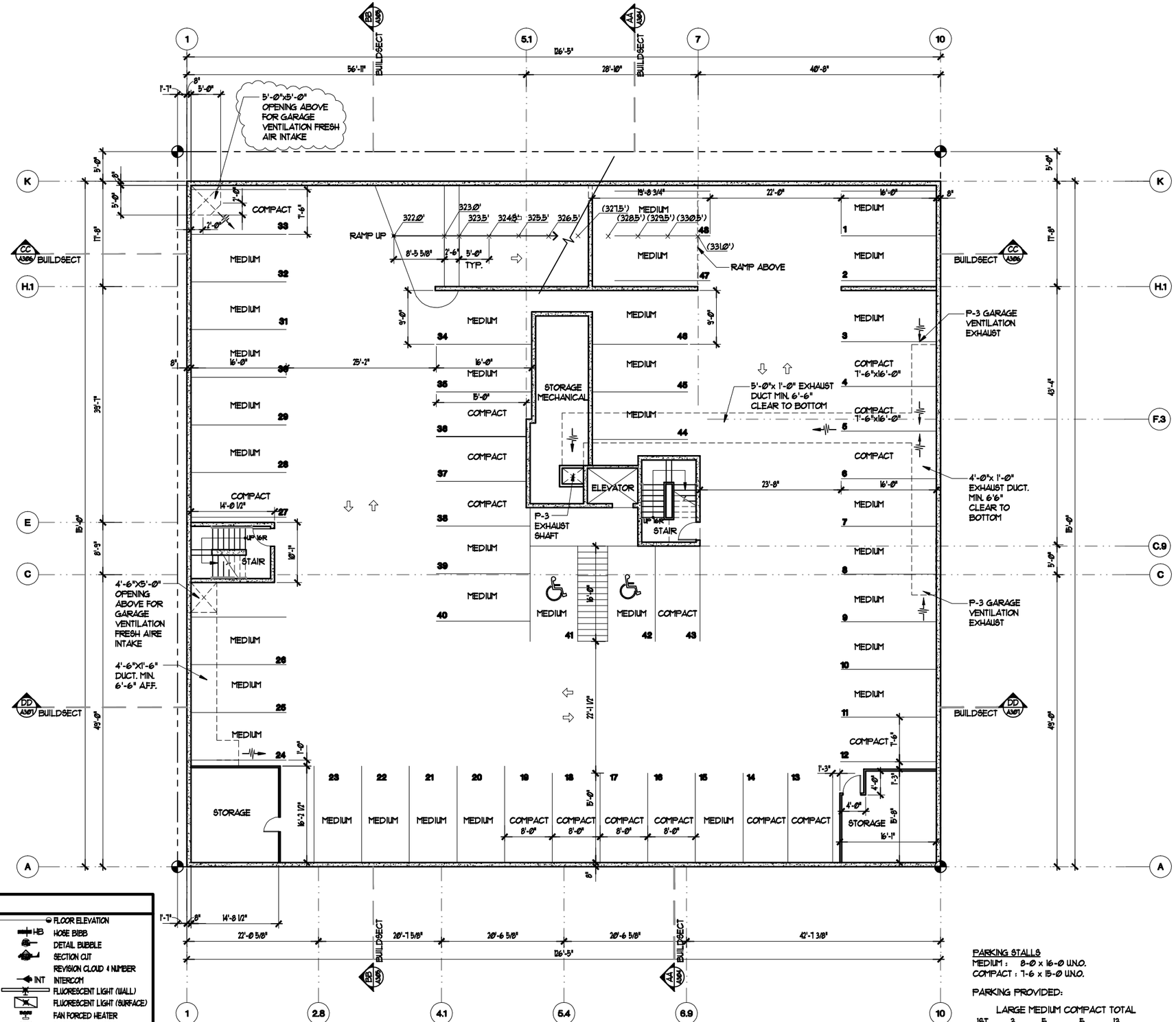

P-3 Floor Plan

SCALE: 1/8"=1'-0"

LEGEND

	EXIT SIGN & DIRECTION		OUTLET 210V		FLOOR ELEVATION
FAN 300CFM	VENTILATION FAN		LIGHT FIXTURE (SURFACE)	HB	HOSE BIBB
FE	FIRE EXTINGUISHER		LIGHT FIXTURE (RECESSED)		DETAIL BUBBLE
A	FIRE ALARM		(RECESSED LOW VOLTAGE)		SECTION CUT
SP	STANDPIPE (#CLASS)		LIGHT FIXTURE (WALL)		REVISION CLOUD & NUMBER
	SLOPE		EMERGENCY LIGHT (WALL)	INT	INTERCOM
FD	FLOOR/YARD DRAIN	SD	SMOKE DETECTOR		FLUORESCENT LIGHT (WALL)
5	WINDOW TYPE	P	TELEPHONE OUTLET		FLUORESCENT LIGHT (SURFACE)
B	DOOR TYPE	TV	TELEVISION OUTLET		FAN FORCED HEATER
D-3	SWITCH (DIMMER/POLES)		STAKE		BASEBOARD HEATER
	OUTLET 120V		PROPERTY LINE		2-HR WALL
	OUTLET 210V (CEILING/FLOOR)		BUILDING GRID		

PARKING STALLS
MEDIUM : 8-0 x 16-0 U.N.O.
COMPACT : 7-6 x 15-0 U.N.O.

PARKING PROVIDED:

	LARGE	MEDIUM	COMPACT	TOTAL
1ST	3	5	5	13
P1	-	13	8	21
P2	-	24	14	38
P3	-	37	11	48
	3	79	38	120

DATE:
DRAWN:
CHECKED:

ROGER H. LEWELL
ARCHITECT LLC
206.323.7662

FASHNER & SMITH ARCHITECTS
1001 4TH AVE
SEATTLE, WASHINGTON 98112

Ezra Teshome
15th and Pine
Seattle, WA

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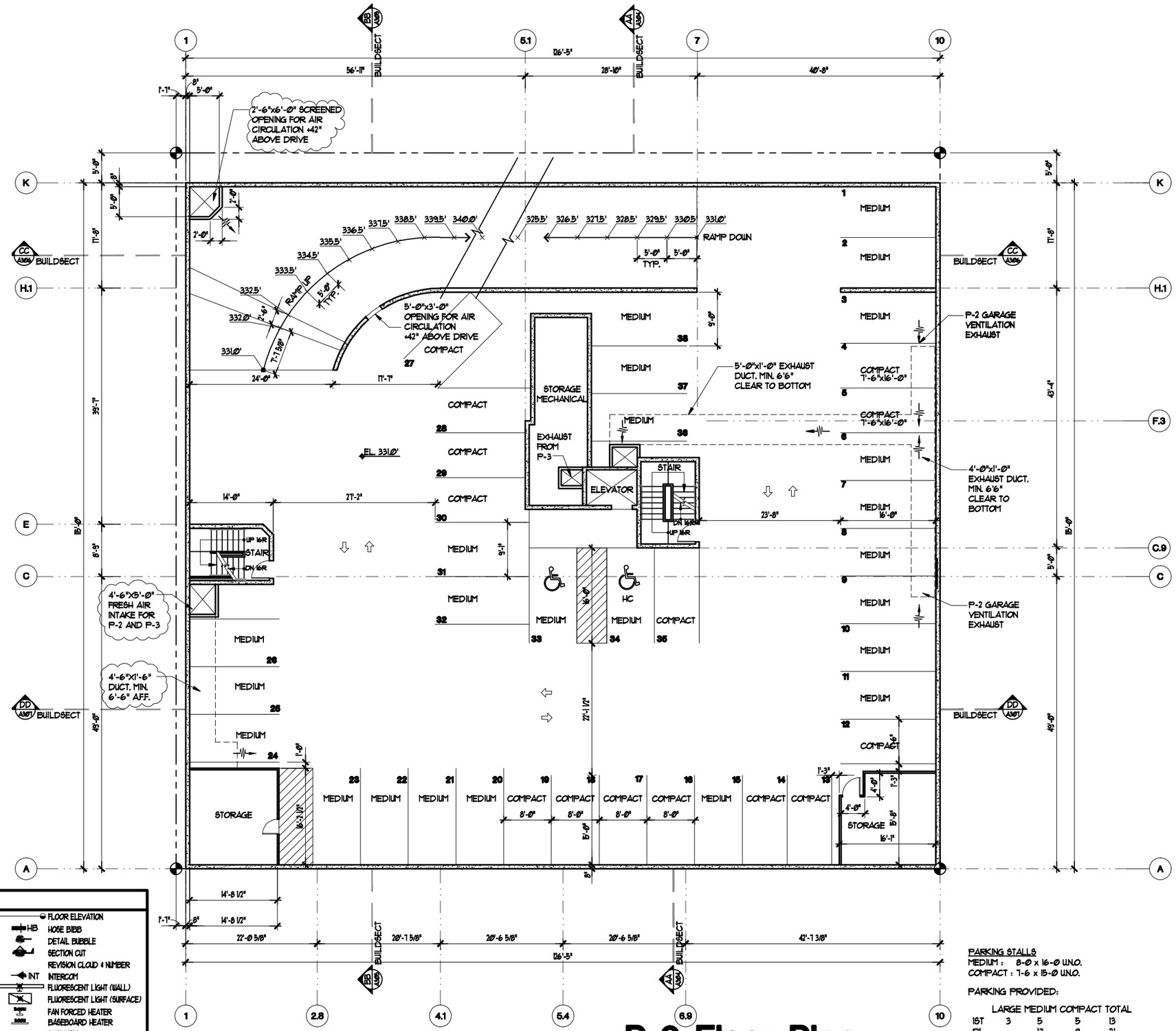


LEGEND

EXIT SIGN & DIRECTION	OUTLET 210V	FLOOR ELEVATION
FAN 300CFM VENTILATION FAN	LIGHT FIXTURE (SURFACE)	HB HOSE BIBB
FE FIRE EXTINGUISHER	LIGHT FIXTURE (RECESSED)	DETAIL BUBBLE
FA FIRE ALARM	R-LV (RECESSED LOW VOLTAGE)	SECTION CUT
SP STANDPIPE (4CLASS)	LIGHT FIXTURE (WALL)	REVISION CLOUD & NUMBER
SLOPE	EMERGENCY LIGHT (WALL)	INT INTERCOM
FD FLOOR/YARD DRAIN	SD SMOKE DETECTOR	FLUORESCENT LIGHT (WALL)
5 WINDOW TYPE	P TELEPHONE OUTLET	FLUORESCENT LIGHT (SURFACE)
B DOOR TYPE	TV TELEVISION OUTLET	FAN FORCED HEATER
D-3 SWITCH (DIMMER/POLES)	STAKE	BASEBOARD HEATER
OUTLET 120V	PROPERTY LINE	2-HR WALL
OUTLET 210V (CEILING/FLOOR)	BUILDING GRID	

PARKING STALLS
MEDIUM : 8-0 x 16-0 U.N.O.
COMPACT : 7-6 x 15-0 U.N.O.

PARKING PROVIDED:

	LARGE	MEDIUM	COMPACT	TOTAL
1ST	3	5	5	13
P1	-	13	8	21
P2	-	24	14	38
P3	-	37	11	48
	3	79	38	120

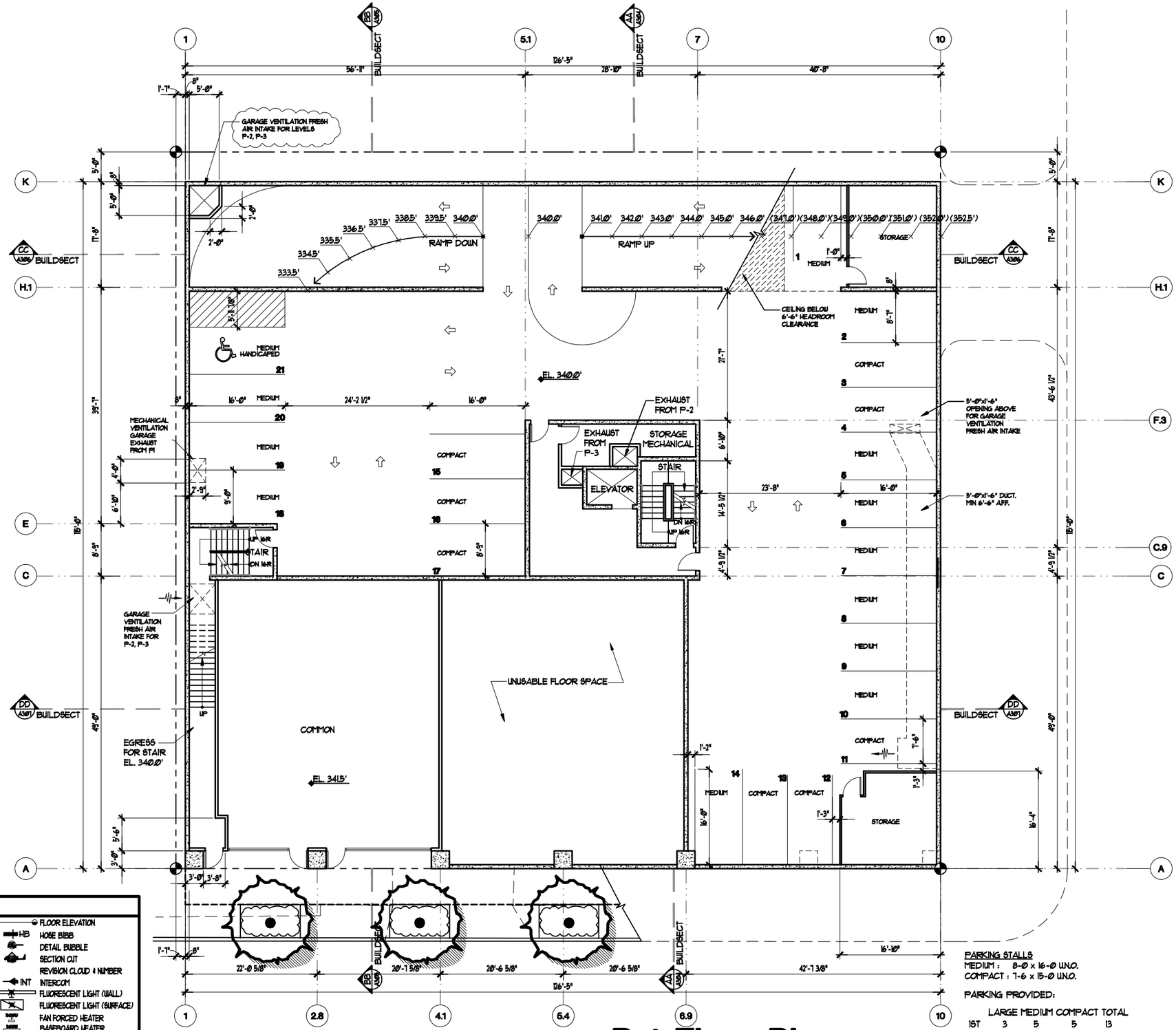
P-2 Floor Plan

SCALE: 1/8"=1'-0"

DATE:
DRAWN:
CHECKED:

ROBERT L. LEWELL
ARCHITECT
Lic. No. 9224
FAIRBANK & SMITH ARCHITECTS
BELLEVUE, WASHINGTON 98112

Ezra Technologies
15th and Pine
Seattle, WA



LEGEND

	EXIT SIGN & DIRECTION		OUTLET 210V		FLOOR ELEVATION
FAN 90CFM	VENTILATION FAN		LIGHT FIXTURE (SURFACE)	HB	HOSE BIBB
	FIRE EXTINGUISHER	R	LIGHT FIXTURE (RECESSED)		DETAIL BUBBLE
A	FIRE ALARM	R-LV	(RECESSED LOW VOLTAGE)		SECTION CUT
SP	STANDPIPE (4CLASS)		LIGHT FIXTURE (WALL)		REVISION CLOUD & NUMBER
	SLOPE		EMERGENCY LIGHT (WALL)	INT	INTERCOM
FD	FLOOR/YARD DRAIN	SD	SMOKE DETECTOR		FLUORESCENT LIGHT (WALL)
5	WINDOW TYPE	P	TELEPHONE OUTLET		FLUORESCENT LIGHT (SURFACE)
B	DOOR TYPE	TV	TELEVISION OUTLET		FAN FORCED HEATER
D-3	SWITCH (DIMMER/POLES)		STAKE		BASEBOARD HEATER
	OUTLET 120V		PROPERTY LINE		2-HR WALL
	OUTLET 210V (CEILING/FLOOR)		BUILDING GRID		

PARKING STALLS
MEDIUM : 8'-0 x 16'-0 U.N.O.
COMPACT : 7'-6 x 15'-0 U.N.O.

PARKING PROVIDED:

	LARGE	MEDIUM	COMPACT	TOTAL
1ST	3	5	5	13
P1	-	13	8	21
P2	-	24	14	38
P3	-	37	11	48
	3	79	38	120

P-1 Floor Plan

SCALE: 1/8"=1'-0"

DATE:
DRAWN:
CHECKED:

ROBERT L. LEWELL
ARCHITECT, LLC
Tel. 206.322.7466

FACSIMILE
1506 1st AVENUE
SEATTLE, WASHINGTON 98112

Ezra Teahome
15th and Pine
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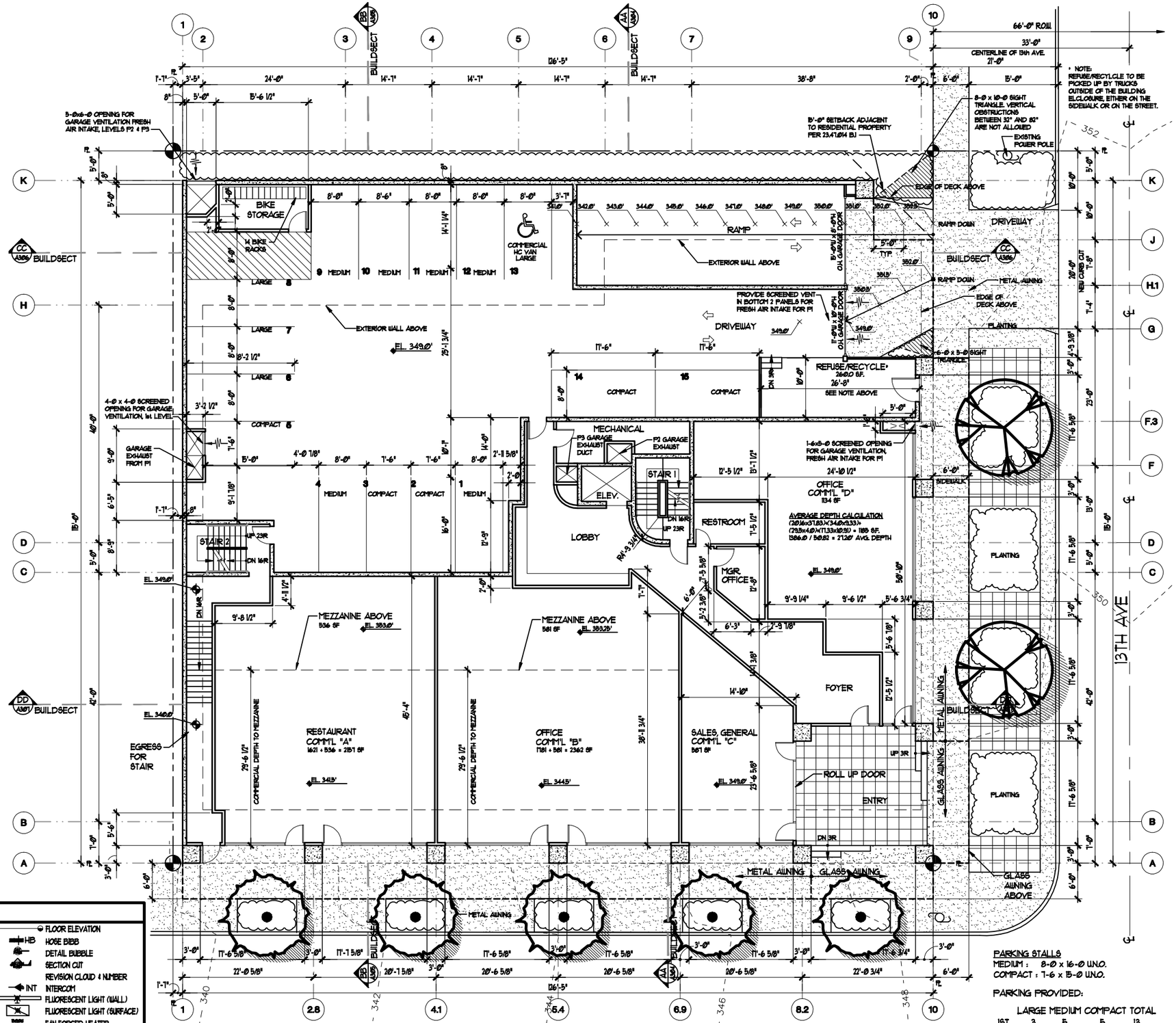

1st Floor Plan

LEGEND

	EXIT SIGN & DIRECTION		OUTLET 210V		FLOOR ELEVATION
FAN 90CFM	VENTILATION FAN		LIGHT FIXTURE (SURFACE)	HB	HOSE BIBB
FE	FIRE EXTINGUISHER	R	LIGHT FIXTURE (RECESSED)		DETAIL BUBBLE
A	FIRE ALARM	R-LV	(RECESSED LOW VOLTAGE)		SECTION CUT
SP	STANDPIPE (4CLASS)		LIGHT FIXTURE (WALL)		REVISION CLOUD & NUMBER
	SLOPE		EMERGENCY LIGHT (WALL)	INT	INTERCOM
FD	FLOOR/YARD DRAIN	SD	SMOKE DETECTOR		FLUORESCENT LIGHT (WALL)
5	WINDOW TYPE	P	TELEPHONE OUTLET		FLUORESCENT LIGHT (SURFACE)
B	DOOR TYPE	TV	TELEVISION OUTLET		FAN FORCED HEATER
D-3	SWITCH (DIMMER/POLES)		STAKE		BASEBOARD HEATER
	OUTLET 120V		PROPERTY LINE		2-HR WALL
	OUTLET 210V (CEILING/FLOOR)		BUILDING GRID		

PARKING STALLS
MEDIUM : 8'-0 x 16'-0 U.N.O.
COMPACT : 7'-6 x 15'-0 U.N.O.

PARKING PROVIDED:

	LARGE	MEDIUM	COMPACT	TOTAL
1ST	3	5	5	13
P1	-	13	8	21
P2	-	24	14	38
P3	-	37	11	48
	3	79	38	120

DATE:
DRAWN:
CHECKED:

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Tacoma 253.756.0126

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ROBERT H. SMITH, ARCHITECT
BEAUTIFUL WASHINGTON 98112

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Seattle, WA

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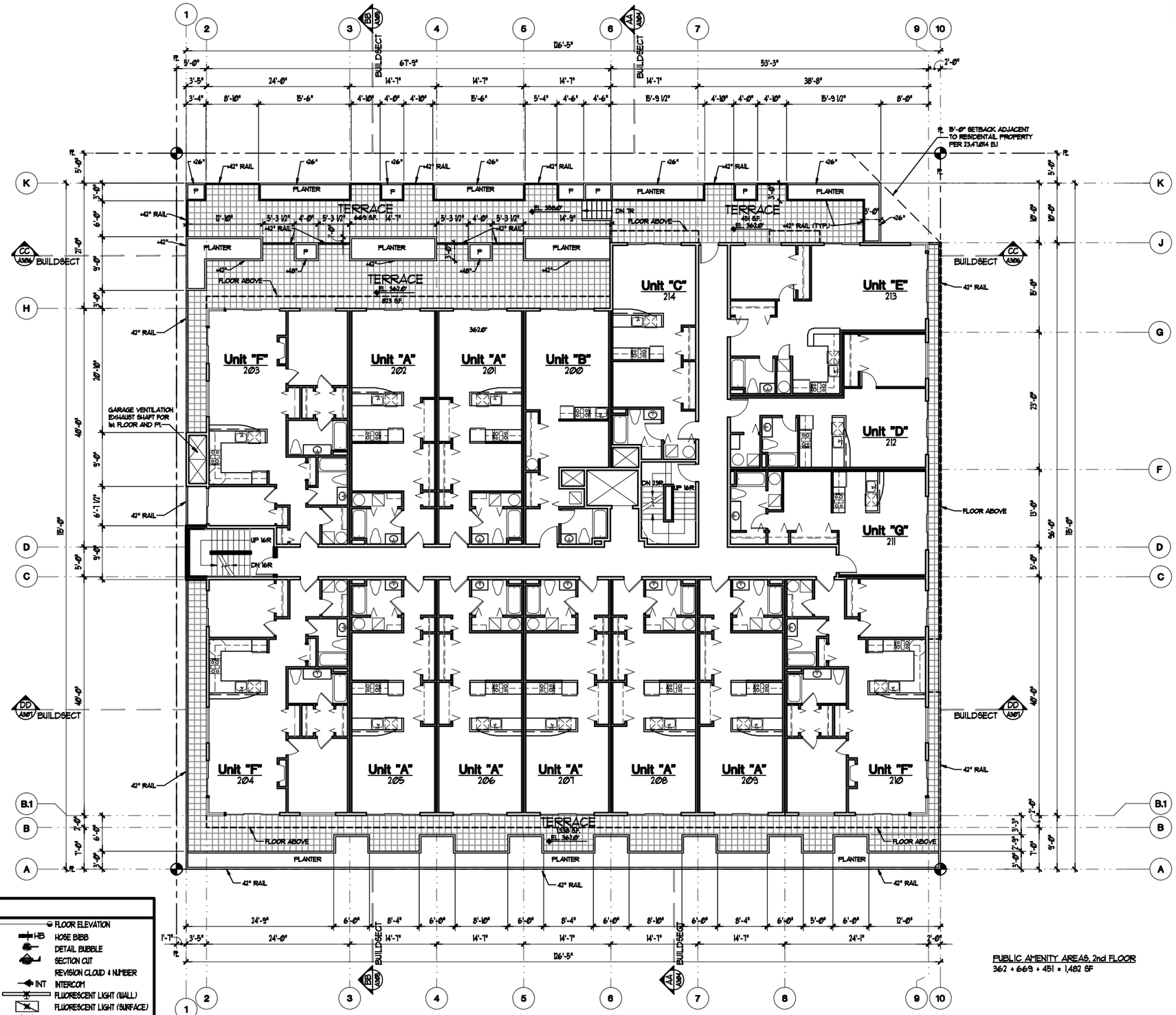

PUBLIC AMENITY AREAS, 2nd FLOOR
362 + 669 + 451 = 1,482 SF

LEGEND

	EXIT SIGN & DIRECTION		OUTLET 210V		FLOOR ELEVATION
FAN 90CFM	VENTILATION FAN		LIGHT FIXTURE (SURFACE)	HB	HOSE BIBB
	FIRE EXTINGUISHER	R	LIGHT FIXTURE (RECESSED)		DETAIL BUBBLE
A	FIRE ALARM	R-LV	(RECESSED LOW VOLTAGE)		SECTION CUT
SP	STANDPIPE (#CLASS)		LIGHT FIXTURE (WALL)		REVISION CLOUD & NUMBER
	SLOPE		EMERGENCY LIGHT (WALL)	INT	INTERCOM
FD	FLOOR/YARD DRAIN	SD	SMOKE DETECTOR		FLUORESCENT LIGHT (WALL)
5	WINDOW TYPE	P	TELEPHONE OUTLET		FLUORESCENT LIGHT (SURFACE)
B	DOOR TYPE	TV	TELEVISION OUTLET		FAN FORCED HEATER
D-3	SWITCH (DIMMER/POLES)		STAKE		BASEBOARD HEATER
	OUTLET 120V		PROPERTY LINE		2-HR WALL
	OUTLET 210V (CEILING/FLOOR)		BUILDING GRID		

2nd Floor Plan

SCALE: 1/8"=1'-0"

DATE:
DRAWN:
CHECKED:

ROBERT D. LEWELL
ARCHITECT
(206) 322-7466

FAIRWAY E.
1000 FIRST AVENUE
SEATTLE, WASHINGTON 98112

Ezra Teahome
15th and Pine
Seattle, WA

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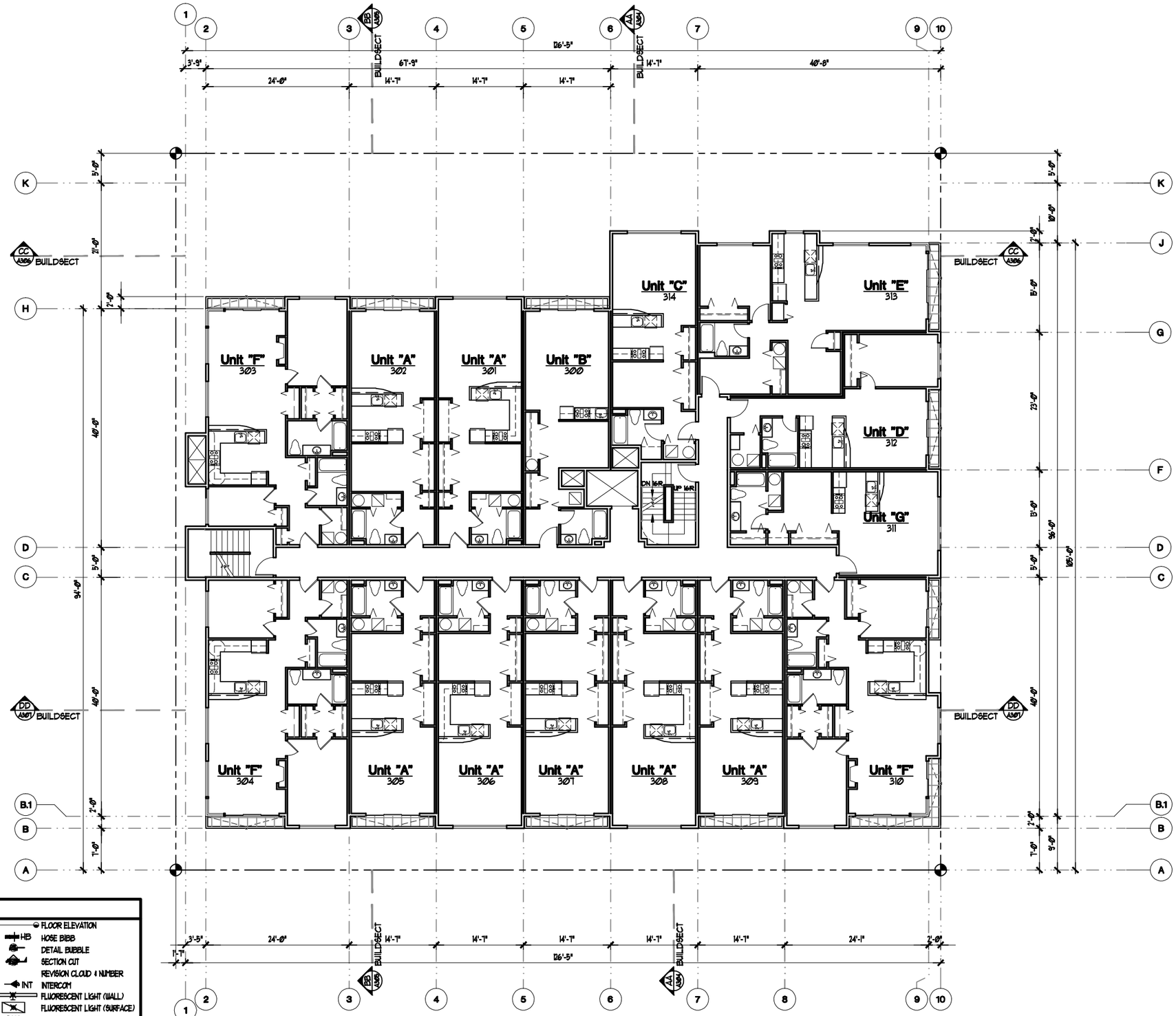

LEGEND

	EXIT SIGN & DIRECTION		OUTLET 210V		FLOOR ELEVATION
FAN	90CFM VENTILATION FAN		LIGHT FIXTURE (SURFACE)	HB	HOSE BIBB
FE	FIRE EXTINGUISHER	R	LIGHT FIXTURE (RECESSED)		DETAIL BUBBLE
A	FIRE ALARM	R-LV	(RECESSED LOW VOLTAGE)		SECTION CUT
SP	STANDPIPE (4CLASS)		LIGHT FIXTURE (WALL)		REVISION CLOUD & NUMBER
	SLOPE		EMERGENCY LIGHT (WALL)	INT	INTERCOM
FD	FLOOR/YARD DRAIN	SD	SMOKE DETECTOR		FLUORESCENT LIGHT (WALL)
5	WINDOW TYPE	P	TELEPHONE OUTLET		FLUORESCENT LIGHT (SURFACE)
B	DOOR TYPE	TV	TELEVISION OUTLET		FAN FORCED HEATER
SP D-3	SWITCH (DIMMER/POLES)		STAKE		BASEBOARD HEATER
	OUTLET 120V		PROPERTY LINE		2-HR WALL
	OUTLET 210V (CEILING/FLOOR)		BUILDING GRID		

3rd-6th Typ. Floor Plan

SCALE: 1/8"=1'-0"

DATE:
DRAWN:
CHECKED:

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Lic. No. 22-2-4-1
FAIRHAVEN
ROBERT D. LEWELL
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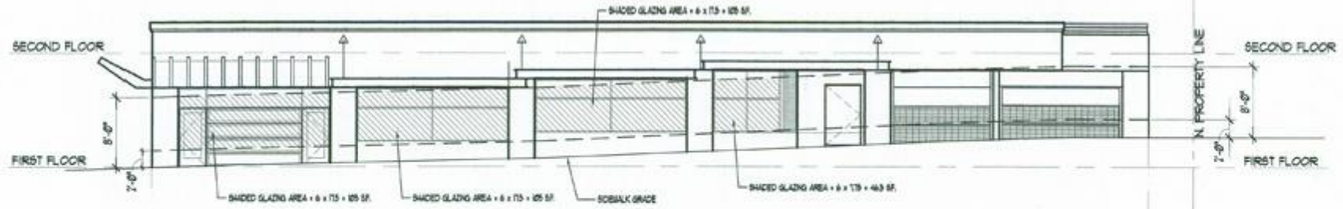
Seattle, WA



BLANK FACADE CALCULATIONS 8TH AVE.

COMMERCIAL FRONTAGE = 18.42-22 (DRIVEWAY) = 56.42' SF.

BLANK FRONTAGE = 56.42 - (17.5 + 17.5 + 17.5 + 18) = 33.52

BLANK FRONTAGE % = 33.52 / 56.42 = 39% (40% MAX.)

GLAZING TRANSPARENCY CALCULATIONS 8TH AVE.

TOTAL GLAZING BETWEEN 2'-6" ABOVE SIDEWALK = 105 + 105 + 105 + 46.5 = 361.5 SF

COMMERCIAL FRONTAGE = 18.42-22 (DRIVEWAY) = 56.42' SF.

COMMERCIAL FRONTAGE BETWEEN 2'-6" ABOVE SIDEWALK GRADE = 56.42 x 6 = 338

GLAZING % OF WALL AREA 2'-6" ABOVE SIDEWALK GRADE = 361.5 / 338 = 62.4% GLAZING (60% REQUIRED)

East Elevation

SCALE: 1/8"=1'-0"

DATE:
DRAWN:

ROBERT J. LEWELL ARCHITECT
Lewell Architect Inc. P.S.

FACHINELLI SMITH ARCHITECTS
1000 2nd Ave. Suite 3800
SEATTLE, WASHINGTON 98104

Ezra Teahome
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Seattle, WA

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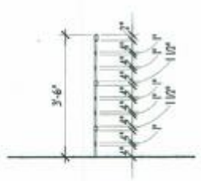

1 Metal Rail Detail
SCALE: 12" = 1'-0"

North Elevation

North

SCALE: 1/8"=1'-0"

DATE:
DRAWN:
CHECKED:

ROBERT J. LEWELL ARCHITECT, P.S.
Lewell Alley Architects
FACTORIA E
14500 SE 38TH STREET, SUITE 100
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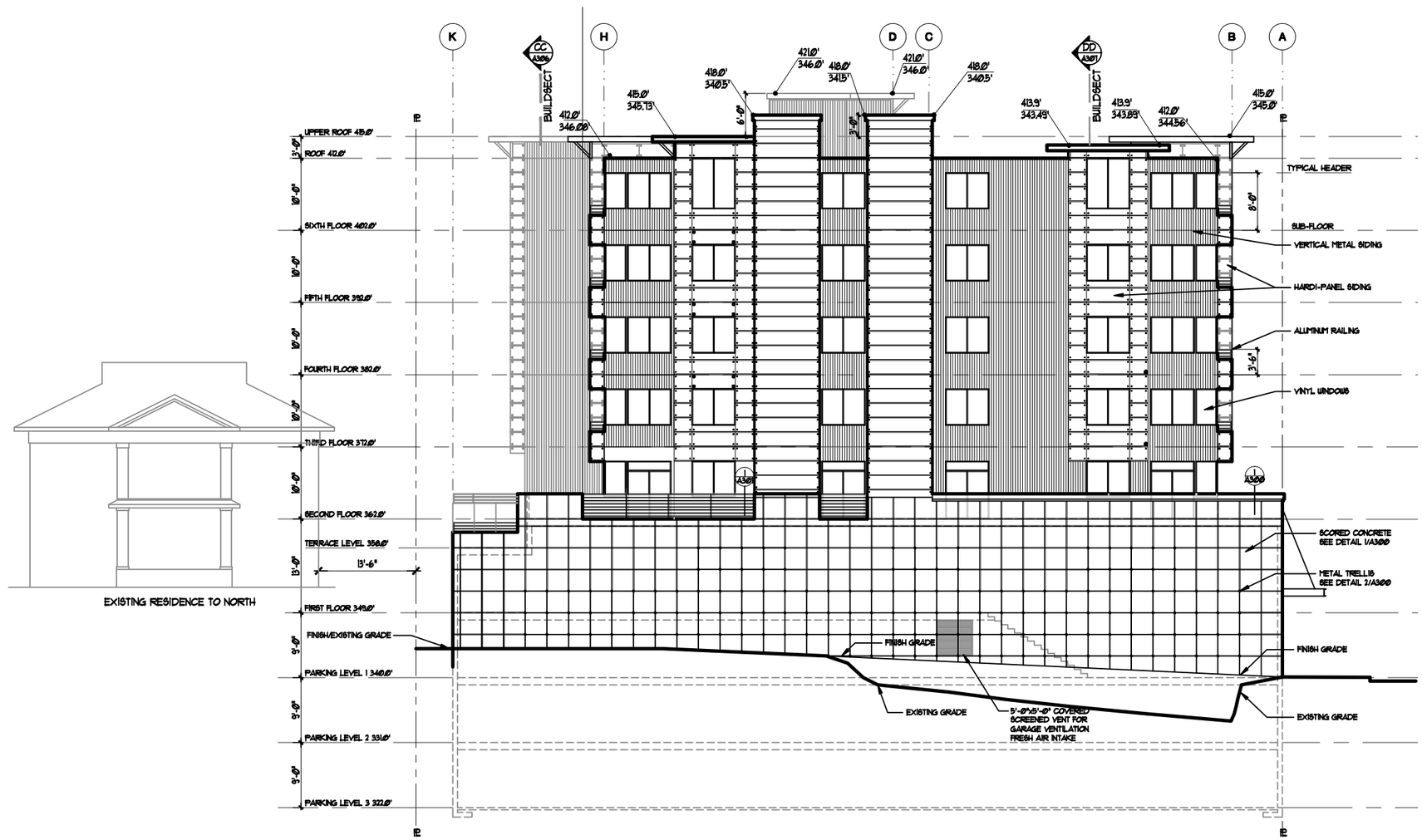
Ezra Teahome
13th and Pine
Seattle, WA



West Elevation

SCALE: 1/8"=1'-0"

DATE:
DRAWN:
CHECKED:

ROBERT H. LEWELL
ARCHITECT, P.S.
Tel: 206.322.7466

FRANKLIN E.
FRANKLIN SMITH, ARCHITECT
(206) 325-5281
BEAUTIFUL WASHINGTON
98112

Ezra Teahome
12th and Pine
Seattle, WA

South Elevation

North

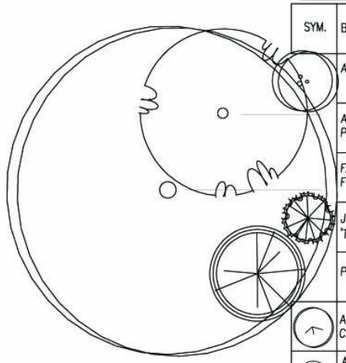
SCALE: 1/8"=1'-0"

DATE:
DRAWN:
CHECKED:

ROBERT LEWELL ARCHITECTS
Lewell Blvd. 206.322.7466

FACTORIA E
1500 - 128th AVENUE S.E.
BELLEVUE, WASHINGTON 98006

Ezra Teahome
10th and Pine
Seattle, WA

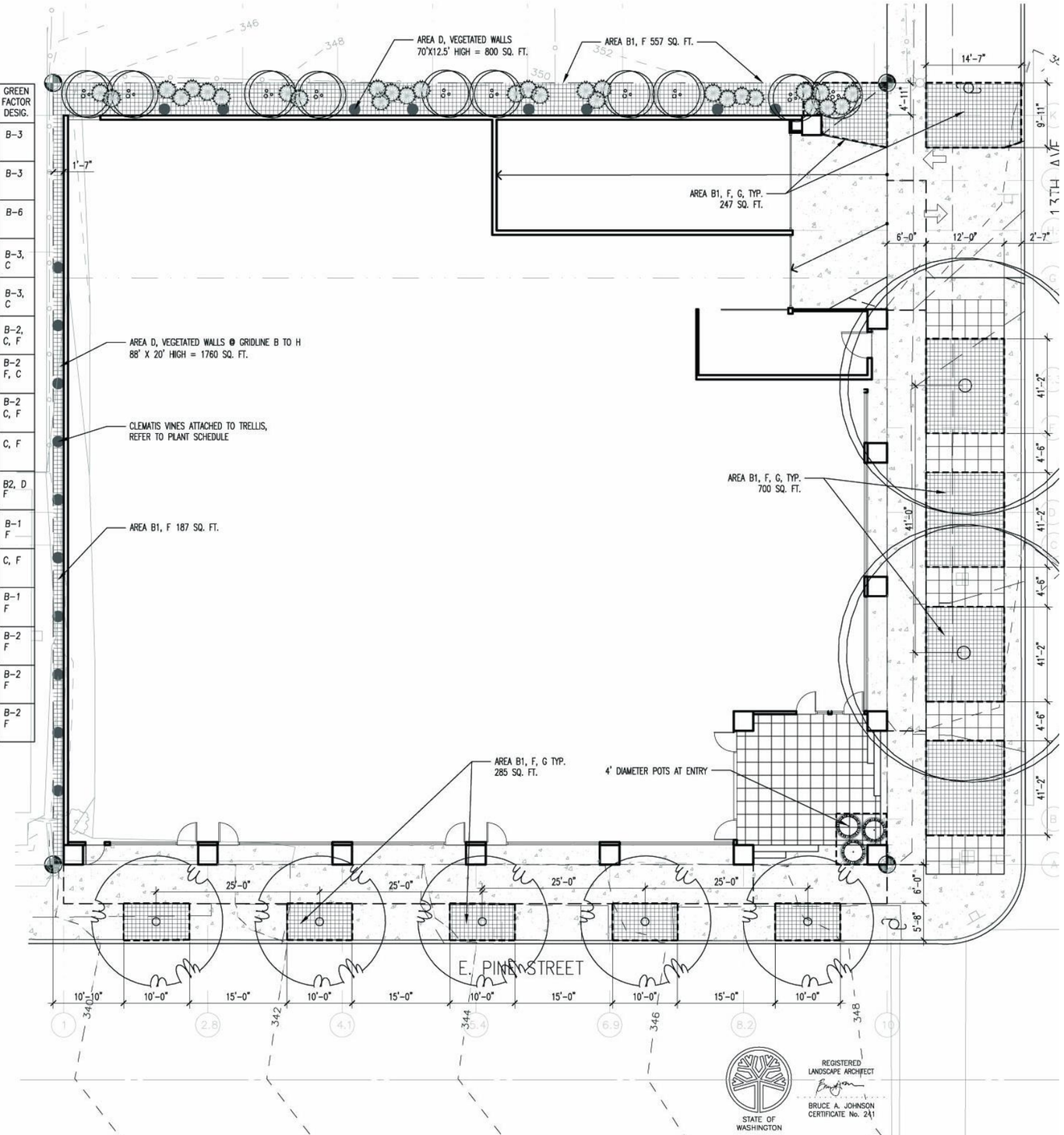


PLANT SCHEDULE

SYM.	BOTANIC NAME / COMMON NAME	SIZE	HEIGHT/ CONDITION	PLANTING NOTES	REMARKS GREEN FACTOR	QTY	GREEN FACTOR DESIG.
	ACER CIRCINATUM / VINE MAPLE	3/4" CAL. STEMS	8-10 FT. B & B	MULTI-STEM 3 STEM MIN.	GF-SMALL TREE	8	B-3
	ACER GRISEUM / PAPERBARK MAPLE	2" CAL	8-10' B & B	MATCHED / EVENLY BRANCHED	GF-SMALL TREE	5	B-3
	FAGUS SYLVATICA 'ASPLENIFOLIA'/ FERN LEAVED BEECH	3" CAL	10-12' B & B	MATCHED / EVENLY BRANCHED	GF-LARGE TREE	2	B-6
	JUNIPERUS CHINENSIS 'TORULOUSA'/ HOLLYWOOD JUNIPER		6-7' B & B	MATCHED / EVENLY BRANCHED	GF-SMALL TREE	6	B-3, C
	PINUS NIGRA / AUSTRIAN PINE		8-10 FT. B & B	FULL BRANCHED	GF-SMALL/MED. TREE	1	B-3, C
	ARBUTUS UNEDO 'COMPACTA'/ COMPACT STRAWBERRY TREE	21-24"	5 GAL.	COMPACT & BUSHY PLNTD. @ 4'-0" O.C.	DROUGHT TOL. 3' PLUS @ MAT, GREEN ROOF	14	B-2, C, F
	ABELIA GRANDIFLORA 'EDWARD GOUCHER'/ EDWARD GOUCHER ABELIA	15-18"	5 GAL.	COMPACT & BUSHY	DROUGHT TOL. 3' PLUS @ MAT GREEN ROOF	50	B-2 F, C
	NANDINA DOMESTICA 'GULF STREAM'/ GULF STREAM NANDINA	18-21"	5 GAL.	COMPACT & BUSHY	DROUGHT TOL. 3' PLUS @ MAT GREEN ROOF	14	B-2 C, F
	ARCTOSTAPHYLOS UVA URSI / KINNIKIINNICK		4" POT @ 18" O.C.	MIN. 3 RUNNERS	GREEN ROOF DROUGHT TOL.	105 SQ.FT.	C, F
	CLEMATIS ARMANDII / ARMAND CLEMATIS		5 GAL.	MIN. 3 BRANCHLETS	DROUGHT TOL. GREEN WALL	18	B2, D F
	FRAGARIA CHILOENSIS 'LIPSTICK'/ PINK SAND STRAWBERRY		4" POT @ 18" O.C.	COMPACT & BUSHY	DROUGHT TOL.	2150 SQ.FT.	B-1 F
	VINCA MINOR 'GERTRUDE JEKYLLE'/ WHITE PERIWINKLE		4" POT @ 18" O.C.	MIN. 3 RUNNERS	GREEN ROOF DROUGHT TOL.	43 SQ.FT.	C, F
	LAVANDULA STOECHAS / SPANISH LAVENDER	12-15"	1 GAL.	COMPACT & BUSHY	DROUGHT TOL.	9	B-1 F
	MISCANTHUS SINENSIS 'ZEBRINUS' / ZEBRA GRASS	15-18"	5 GAL.	COMPACT & BUSHY	DROUGHT TOL. 3' PLUS @ MAT	6	B-2 F
	PHORMIUM TENAX 'RUBRUM'/ BRONZE NEW ZEALAND FLAX	10-12"	5 GAL.	COMPACT & BUSHY	DROUGHT TOL. 3' PLUS @ MAT	3	B-2 F
	POLYSTICHUM MUNITUM/ WESTERN SWORD FERN	10-12"	1 GAL.	COMPACT & BUSHY	DROUGHT TOL. 3' PLUS @ MAT	30	B-2 F

NOTE:
LOT AREA = 15,360 SF
TREES REQUIRED = 1/1100 SF = 14 TREES / TREES PLANNED = 23 (INCLUDING STREET TREES)
SHRUBS REQUIRED = MIN 28 SHRUBS / SHRUBS PLANNED = 135
ALL PLANTERS TO RECEIVE 18" OF PACIFIC TOPSOILS WINTER MIX EXCEPT WHERE NOTED FOR 24" DEPTH. ALL OTHER PLANTING AREAS TO RECEIVE MINIMUM 12" WINTER MIX. R.O.W. TO RECEIVE MIN 6" OF WINTER MIX. ALL SUGRADE AREAS EXCEPT FOR PLANTERS AREAS SHALL BE ROTOTILLED TO 6" DEPTH. INTIAL 4" LIFT OF SOIL TO BE ROTOTILLED INTO SUBGRADE.

---------- LANDSCAPE AREAS IN PUBLIC VIEW



1st Floor Landscape Plan

SCALE: 1/8"=1'-0"

DATE:
DRAWN:
CHECKED:

ROBERT D. LEWELL ARCHITECT, Inc. (206) 322-7466

FACSIMILE (206) 322-5381
1904 3RD AVENUE
SEATTLE, WASHINGTON 98101

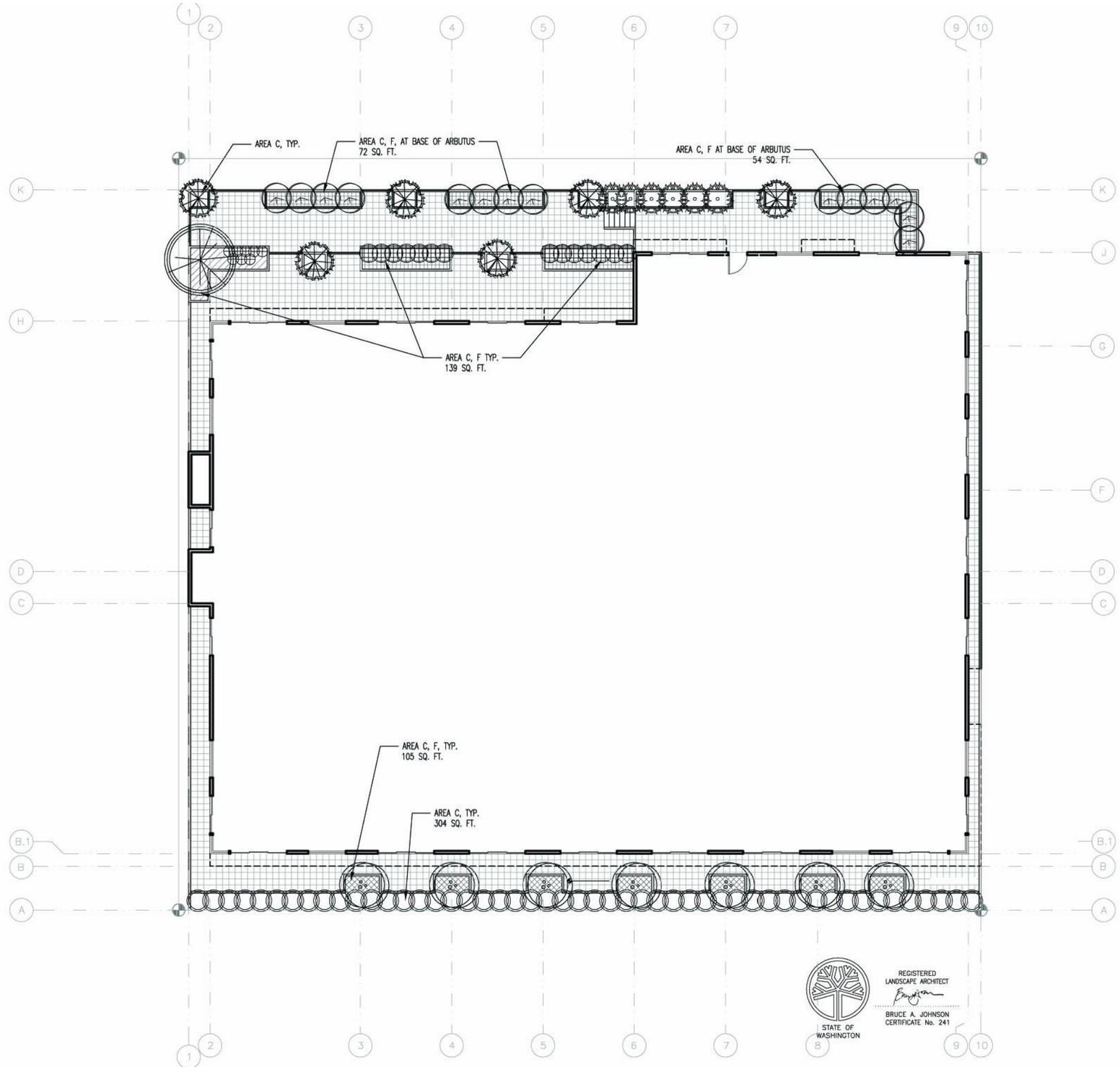
Ezra Teshome
18th and Pine
Seattle, WA

25

PLANT SCHEDULE

SYM.	BOTANIC NAME / COMMON NAME
	ACER CIRCINATUM / VINE MAPLE
	JUNIPERUS CHINENSIS 'TORULOUSA'/ HOLLYWOOD JUNIPER
	PINUS NIGRA / AUSTRIAN PINE
	ARBUTUS UNEDO 'COMPACTA' COMPACT STRAWBERRY TREE
	ABELIA GRANDIFLORA 'EDW GOUCHER' EDWARD GOUCHER ABELIA
	LAVANDULA STOECHAS SPANISH LAVENDER
	MISCANTHUS SINENSIS 'ZEBRINUS' ZEBRA GRASS
	NANDINA DOMESTICA 'GULF STREAM' GULF STREAM NANDINA
	ARCTOSTAPHYLOS UVA URSI KINNIKINNICK
	FRAGARIA CHILOENSIS UVA URSI KINNIKINNICK
	VINCA MINOR 'GERTRUDE JEKYLLE' WHITE PERIWINKLE

* REFER TO SHEET L-203 FOR MORE PLANTING INFORMATION



2nd Floor Landscape Plan

SCALE: 1/8"=1'-0"

DATE:
DRAWN:
CHECKED:

ROBERT H. LEWELL ARCHITECT Lewell 425-746-

FACSIMILE (206) 325-5301
1000 2nd AVE SUITE 3000
SEATTLE, WASHINGTON 98122

Ezra Teshome
15th and Pine
Seattle, WA

25.1

Solar Study (June)

Ezra Teshome
13th and Pine
Seattle, Washington

ROGER H. NEWELL A.I.A.
ARCHITECT (206) 322-1192

FACSIMILE (206) 322-5161
1102 NINETEENTH AVENUE EAST
SEATTLE, WASHINGTON 98112

Solar Study (September)

Ezra Teshome
13th and Pine
Seattle, Washington

ROGER H. NEWELL A.I.A.
ARCHITECT (206) 322-1192

FACSIMILE (206) 322-5161
1102 NINETEENTH AVENUE EAST
SEATTLE, WASHINGTON 98112

Solar Study (December)

Ezra Teshome
13th and Pine
Seattle, Washington

ROGER H. NEWELL A.I.A.
ARCHITECT (206) 322-1192

FACSIMILE (206) 322-5161
1102 NINETEENTH AVENUE EAST
SEATTLE, WASHINGTON 98112