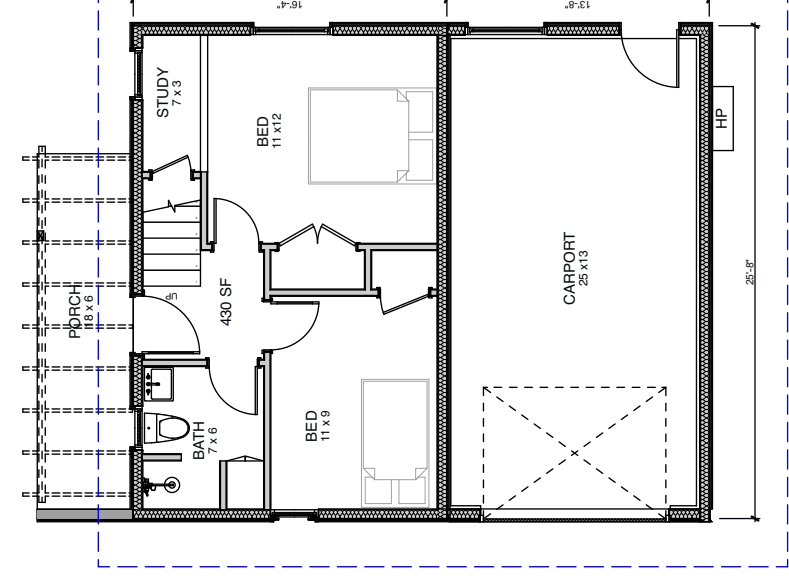
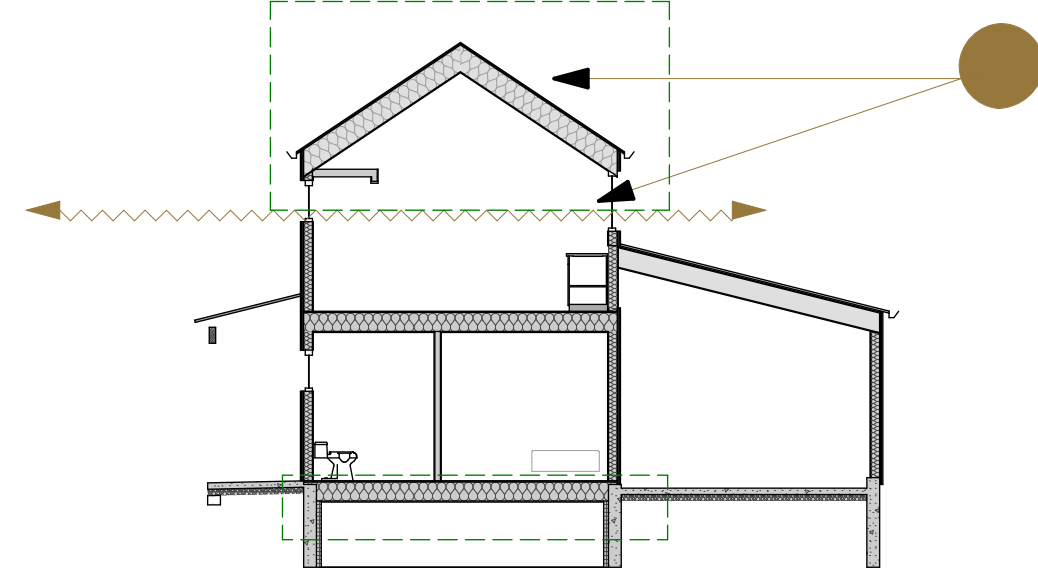


PROJECT NARRATIVE



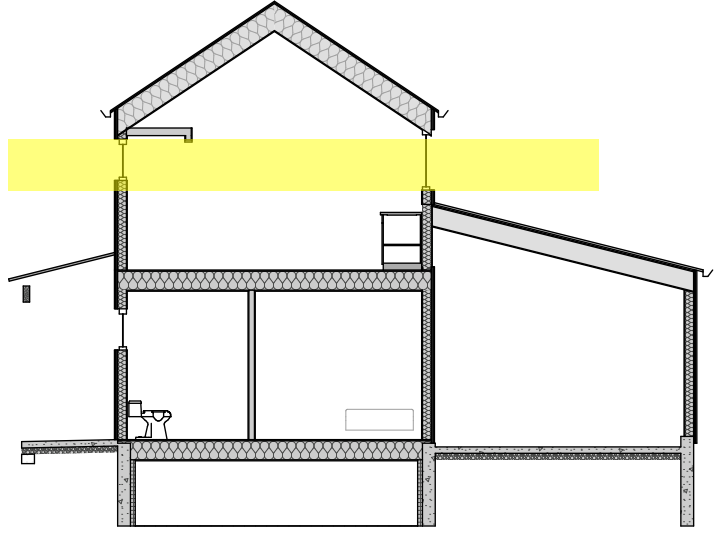
LOW COST

- ■ ■ □ □
- simple geometric form
- prefabricated truss roof
- small spans no internal bearing simple
- one exterior siding



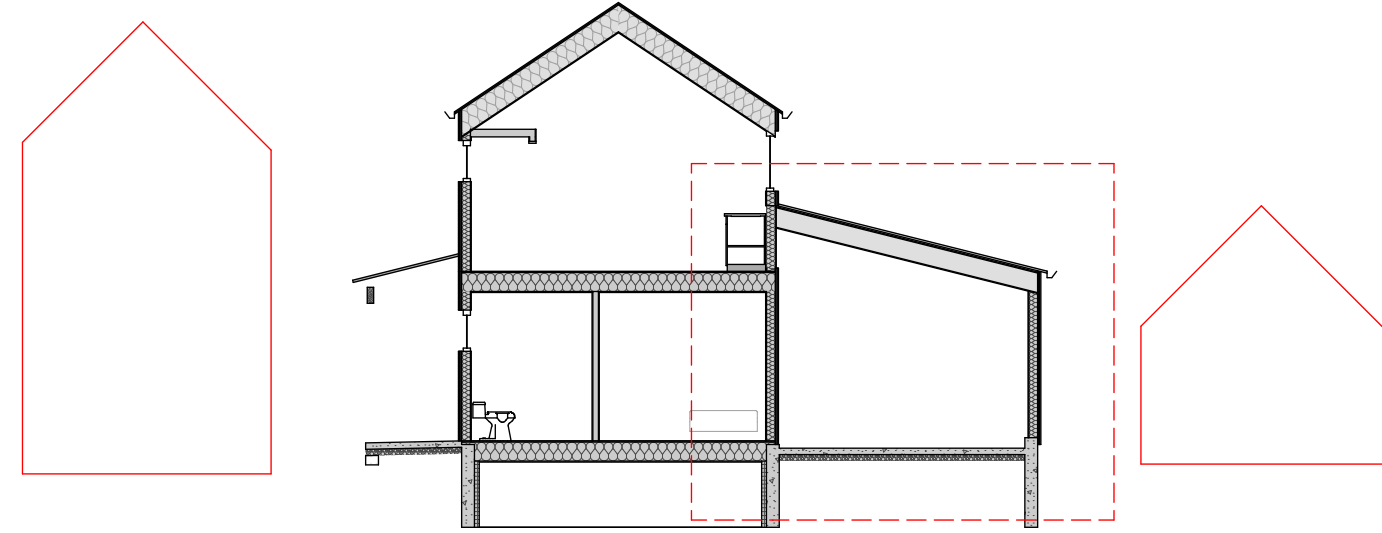
GREEN BUILDING & DESIGN

- ■ ■ ■ □
- gable roof for solar panels and passive solar heating
- super-insulated roof and floor
- High Efficiency heat pump
- Super insulated roof (R-60)
- Super insulated floor (R-40)



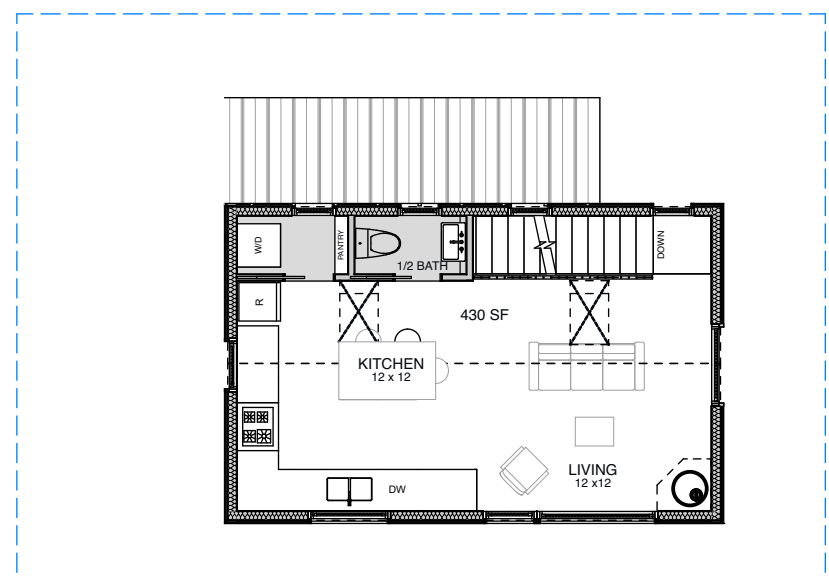
PRIVACY

- ■ ■ ■ □
- Less glazing on lower level, extra glazing on upper provides ample privacy
- Limited glazing on "alley side"
- Porch with privacy wall



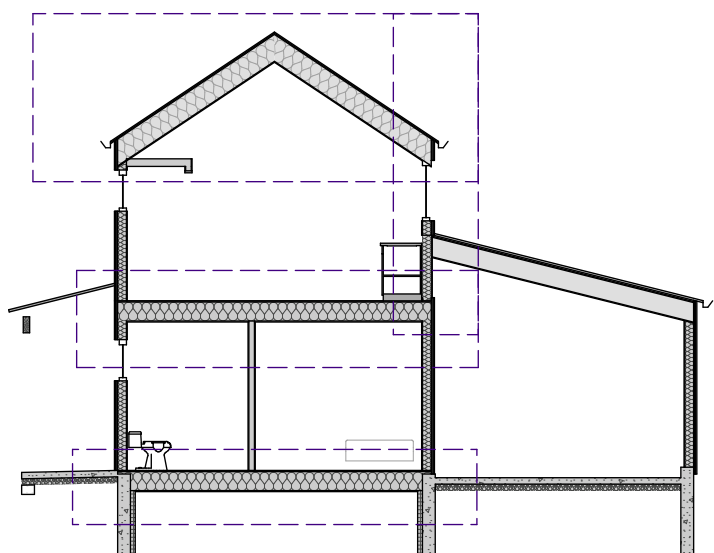
CONTEXT

- ■ ■ ■ □
- Simple geometry blends in with a variety of neighborhoods
- "Saddle-bag" garage breaks up overall form and creates a similar scale to surrounding single family homes and detached garages



CULTURALLY RESPONSIVE DESIGN

- ■ □ □ □
- Porch provides an additional family room / way to interact with neighbors.
- Upper "open plan" space provides flexible lifestyles so that kitchen can become large and living area is reduced or vice versa



CONSTRUCTIBILITY

- ■ ■ ■ □
- Clear span floor and roof allows for quick framing construction
- Provides low hanging fruit cost savings for owner: painting, assemble kitchen cabinets, bathroom tile
- Prefabricated roof trusses and 8'-0" plate heights reduce construction time

2 BED DADU + GARAGE



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STATUS
 Under Construction
 Completion 2020

STATS
 860 SF DADU + Porch
 325 SF GARAGE



LOCATION
 Denver, CO

PROJECT DESCRIPTION

This DADU is a 2 bed unit with sleeping spaces on the ground floor, including a full bath. The upper level contains an open living plan, plus washer / dryer and a half bath. In addition, there is a one car garage that can be used for a wide variety of functions.

This DADU was designed and constructed for a young family who wanted to downsize and rent their larger, older home. The new DADU allowed them to make a smaller foot print, have lower utility bills every month, and have an improved living space in their existing neighborhood.

PROJECT COST

This project will be completed in 2020 for approximately \$175,000*
 *Homeowner is GC, which would be an additional 10-20%

PROJECT MATERIALS

Perimeter Concrete footing, clear span wood framed floor
 Wood framing, including pre-fabricated raised heel roof trusses
 Wood siding
 Low embodied energy Cellulose Insul. in walls, floor and roof

PROJECT MECHANICALS

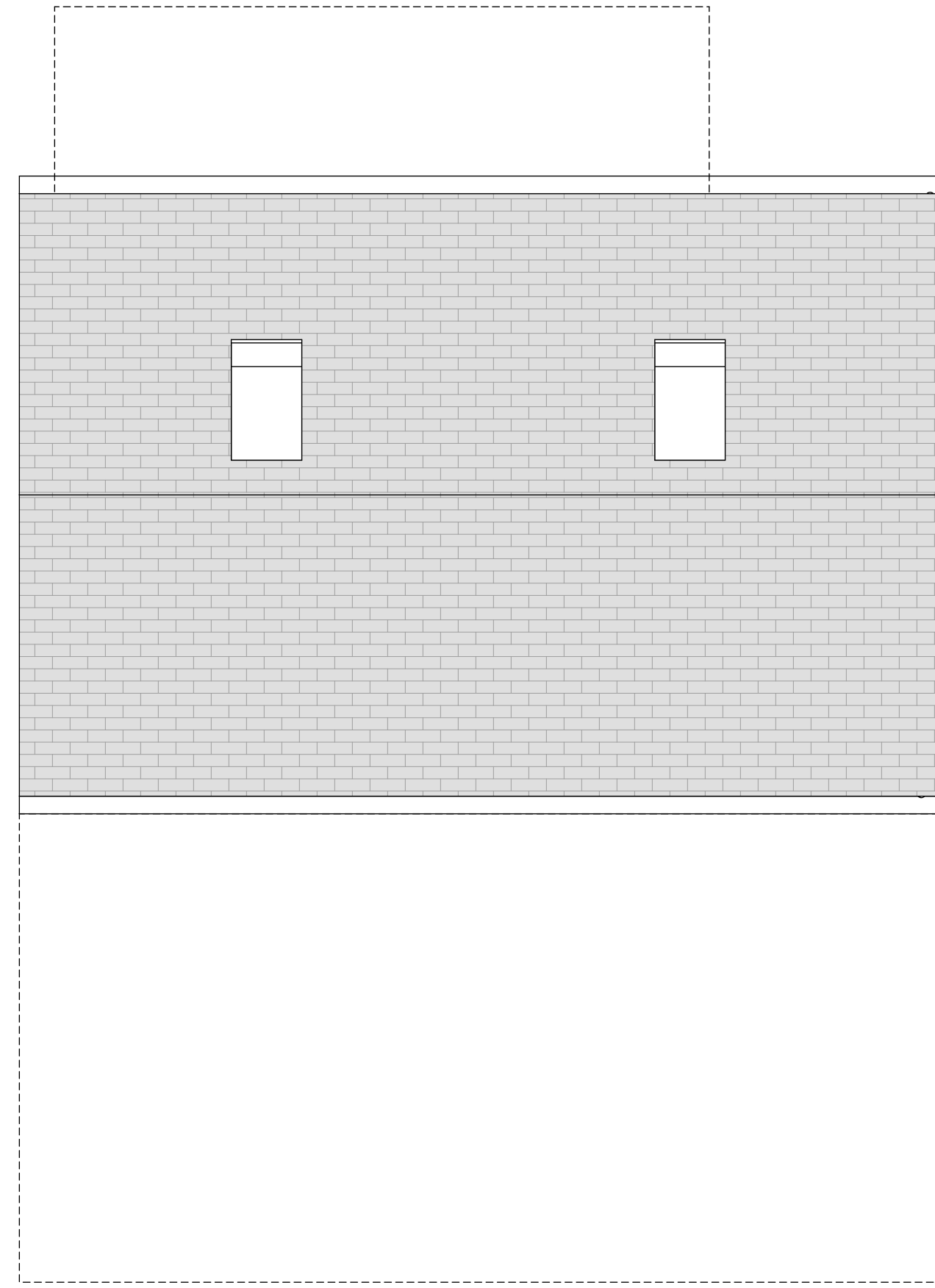
Ducted High Efficiency Heat Pump
 Tankless (gas) HWH

COST SAVING STRATEGIES

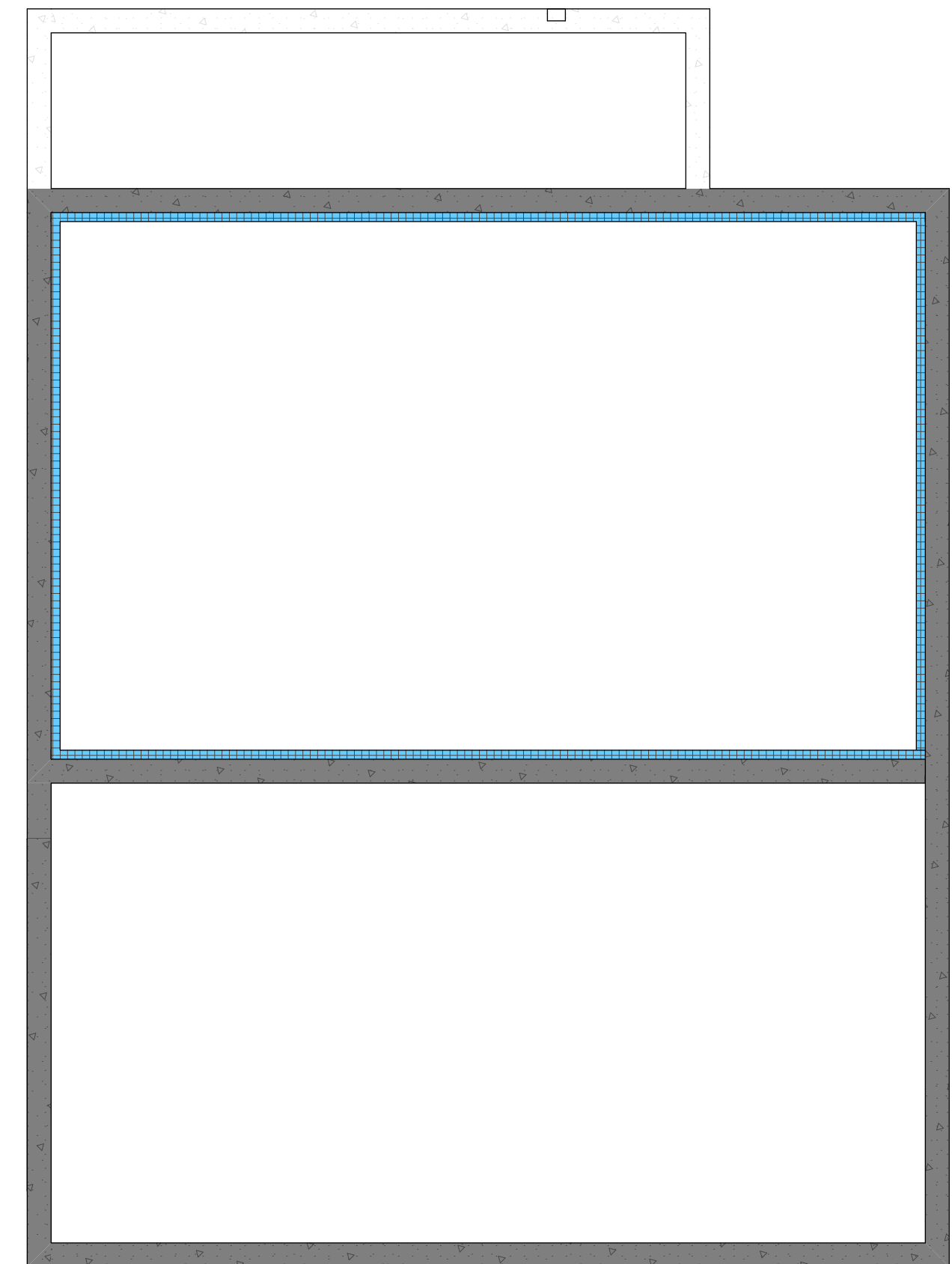
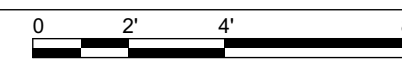
Garage and Porch portion could be Phase 2 Construction
 Metal roof could be a composite roof
 Windows could be vinyl or fiberglass, not aluminum clad.
 Cheaper flooring could be upgraded in time.

INDEX

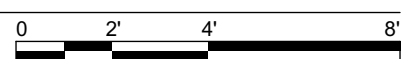
- A101 - COVER SHEET
- A102 - PLANS
- A201 - ELEVATIONS
- A301 - SECTIONS
- A501 - 3D IMAGES



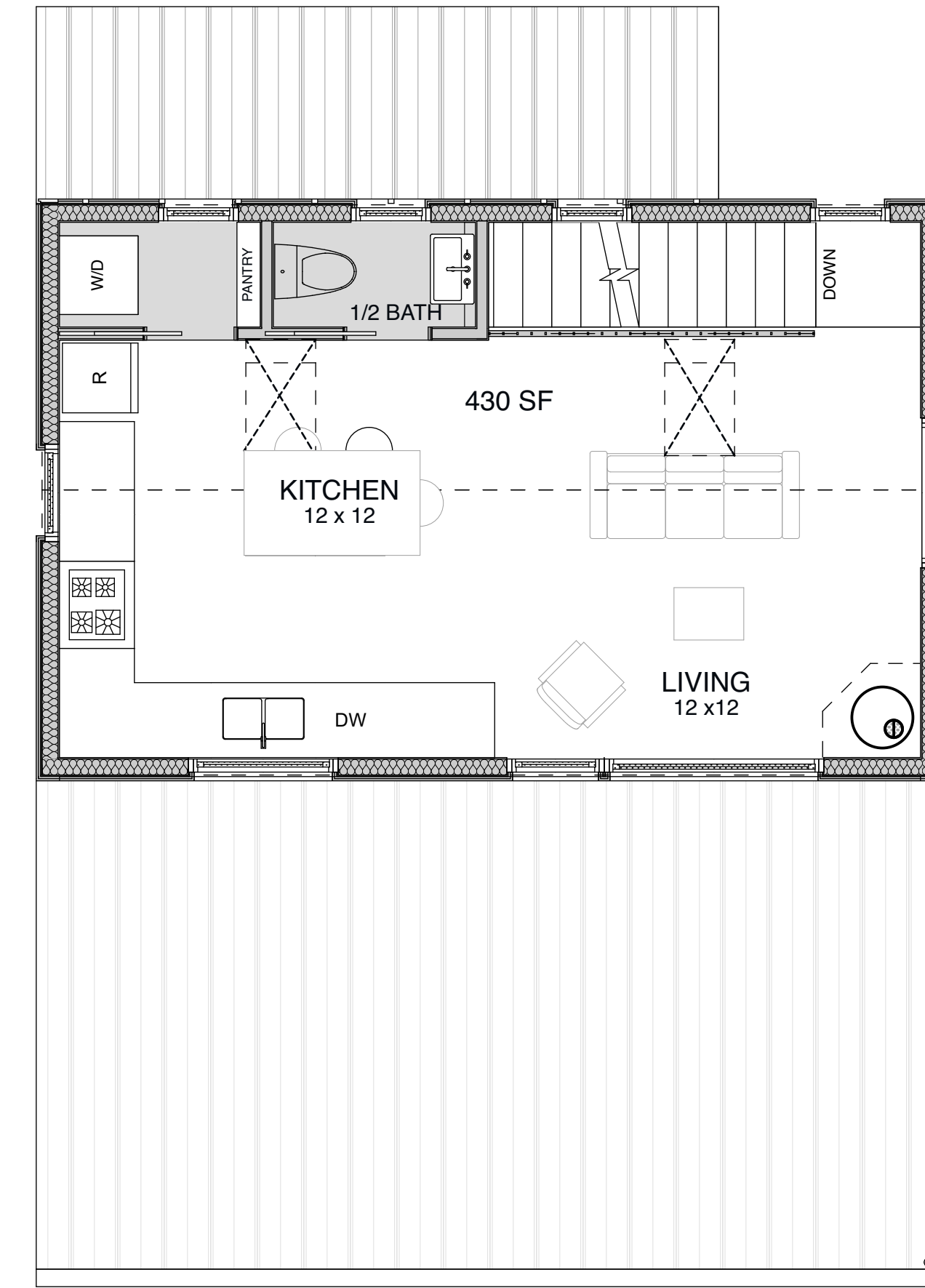
4 ROOF
A101 SCALE: 1/4" = 1'-0"



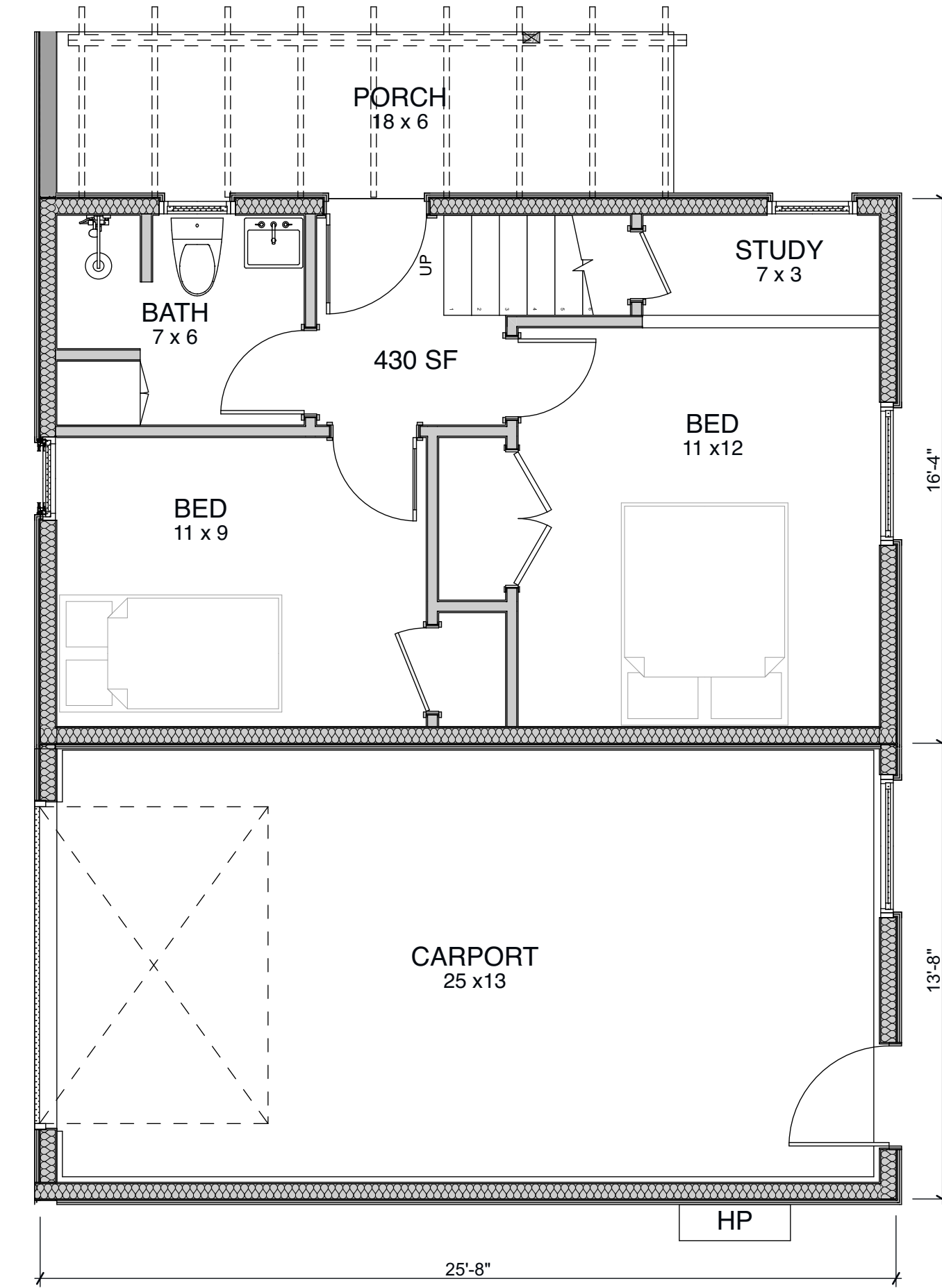
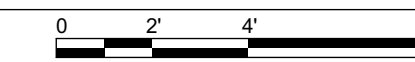
3 FOUNDATION
A101 SCALE: 1/4" = 1'-0"



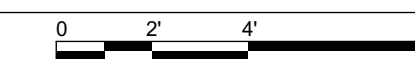
[Grey Box] = FLAT CEILING SOFFIT FOR HEAT PUMP DUCTING



2 UPPER LEVEL
A101 SCALE: 1/4" = 1'-0"

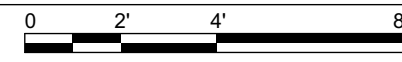


1 LOWER LEVEL
A101 SCALE: 1/4" = 1'-0"

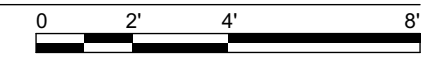




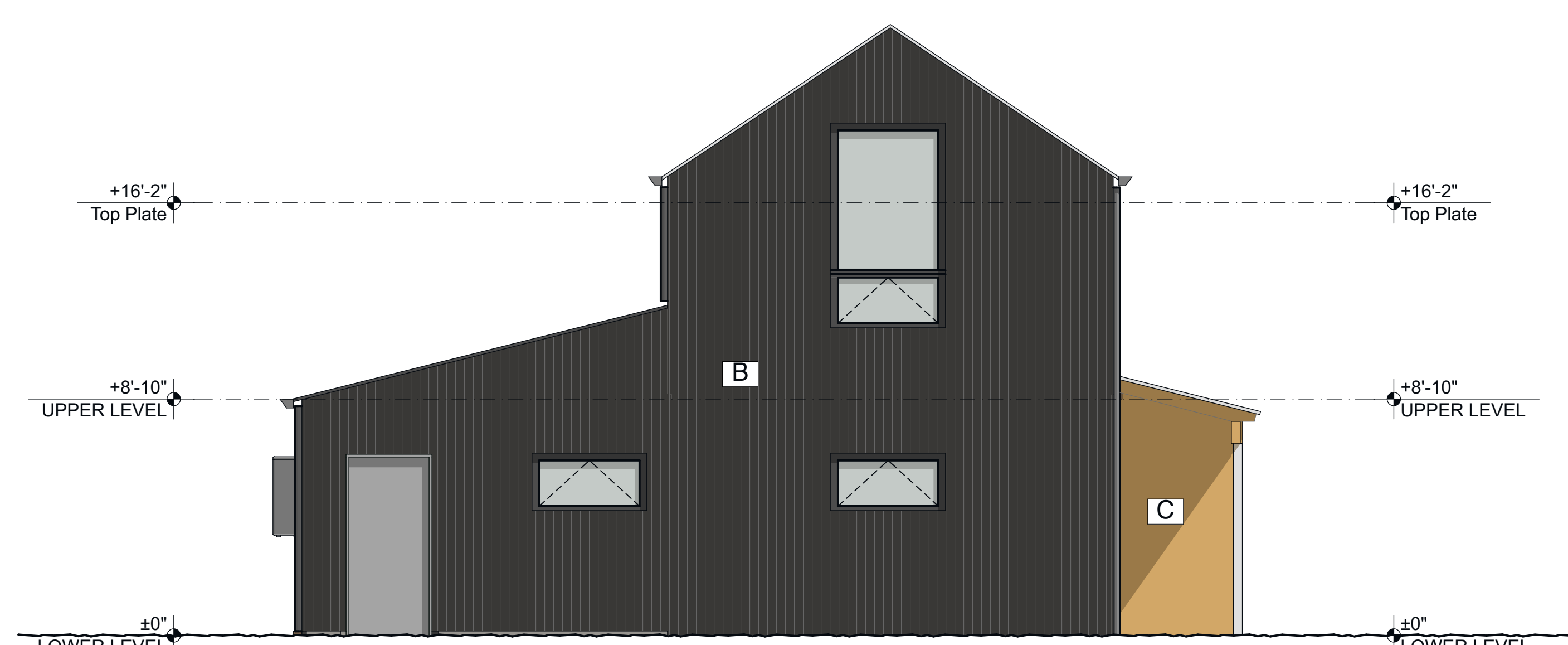
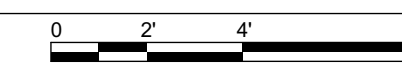
4
A201 South Elevation
SCALE: 1/4" = 1'-0"



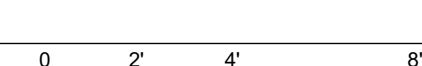
2
A201 West Elevation
SCALE: 1/4" = 1'-0"



3
A201 North Elevation
SCALE: 1/4" = 1'-0"



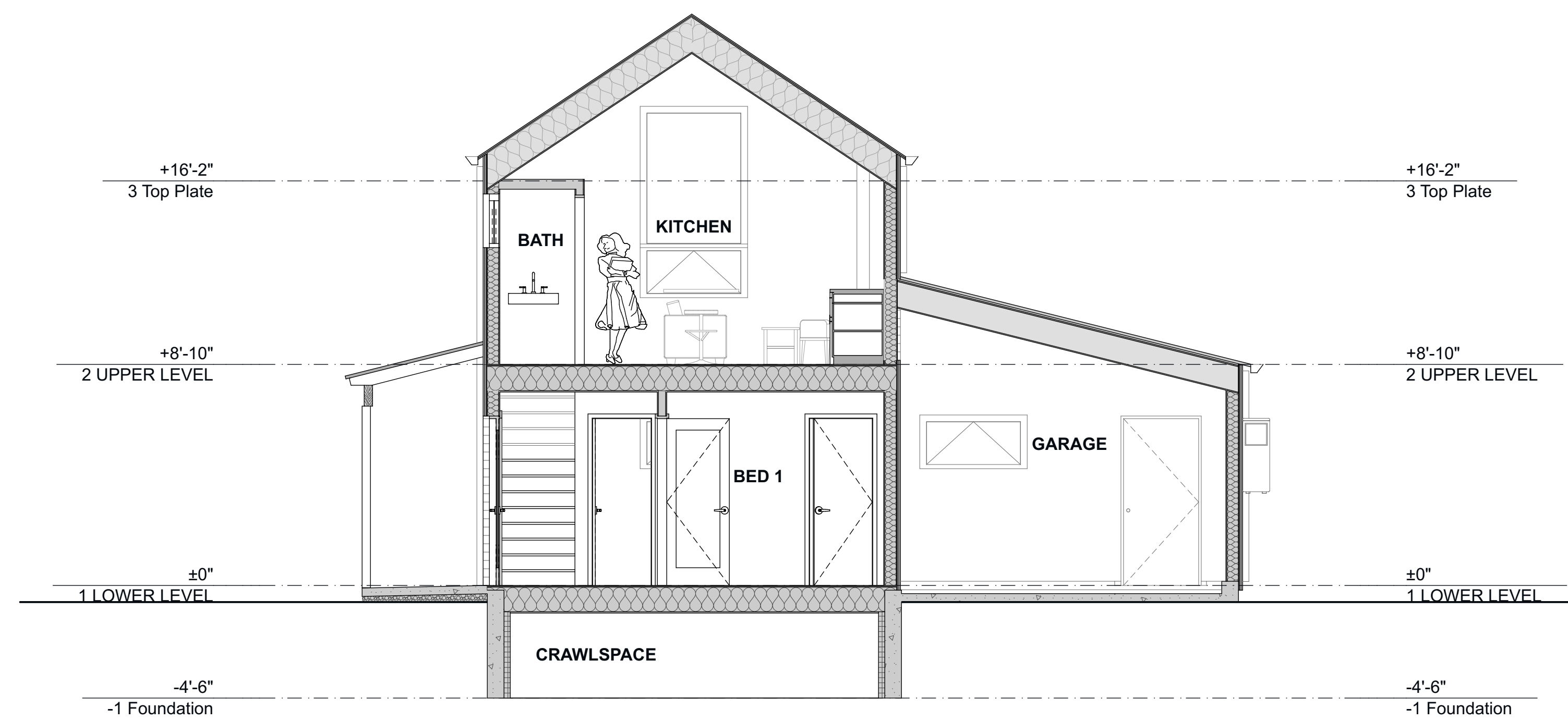
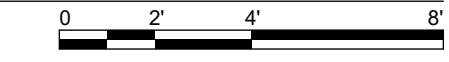
1
A201 East Elevation
SCALE: 1/4" = 1'-0"



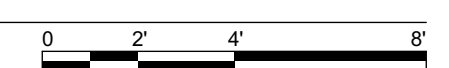
- MATERIALS**
- A. METAL ROOF
 - B. STAINED WOOD SIDING VERTICAL
 - C. NAT WOOD SIDING



2 Section at Stair Looking South
 A301 SCALE: 1/4" = 1'-0"



1 Section Looking East
 A301 SCALE: 1/4" = 1'-0"



Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on any other project, in whole or in part, without the prior written consent of the Architect. Appropriate compensation to the Architect.

Not for Construction

2 BED DADU + GARAGE

Not for Construction



2 BED DADU + GARAGE