

GENERAL

- 1. ALL CONSTRUCTION, PLUMBING, ELECTRICAL AND MECHANICAL WILL COMPLY WITH THE 2017 IRC ONE AND TWO FAMILY DWELLING CODE AND STATE, COUNTY AND MUNICIPAL CODES.
- 2. CONSTRUCTION SHALL COMPLY WITH ALL COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AGAINST THE LAND.
- 3. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS WILL REVIEW PLANS FOR ACCURACY AND VERIFY ALL DIMENSIONS AND COMPLIANCE WITH ABOVE CODES PRIOR TO THE START OF CONSTRUCTION. BIDS SUBMITTED WILL BE ACCORDING TO SUCH REVIEW.
- 4. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH ALL APPLICABLE SAFETY REG'S IS,, AND SHALL BE THE CONTRACTORS AND SUBCONTRACTORS RESPONSIBILITIES.
- 5. ALL TREES TO BE PROTECTED FROM DAMAGE OF CONSTRUCTION PROCESS AND MACHINES UNLESS APPROVED FOR REMOVAL BY OWNER.

FRAMING

- 1. EXPOSED PLYWOOD TO BE EXTERIOR GRADE CCX. NAIL 6" ON EDGE, 1 2" IN FIELD.
- 2. ALL DIMENSIONED LUMBER TO BE DOUGLAS FIR- LARCH 2X4 STANDARD OR BETTER, ALL OTHER #2 OR BETTER UNO.
- 3. ALL WALLS TO BE DOUBLE-PLATED, AND PLATED JOINTS WILL NOT BE LESS THAN 48" APART. TOP PLATE OF INTERIOR PARTITIONS SHALL TIE FULL INTO EXTERIOR WALL PLATE.
- 4. LEVEL CHANGES AT ENTRIES TO BE MINIMUM 1/2"; MAXIMUM 7 1/2".
- 5. EXTERIOR BEARING WALL HEADERS AS PER FRAMING PLAN.
- 6. INTERIOR BEARING WALL HEADERS TO BE 4X6 #2 DF-L UNO.
- 7. PLUMBING WALLS TO BE 2X6 (VERIFY W/ PLUMBING CONTRACTOR)
- 8. PROVIDE BLOCKING FOR BACKING; SHOWER-ROD=84"; TOWEL RACK=42"; CURTAIN ROD = EACH SIDE OF ALL WINDOWS.
- 9. ALL PRE-WIRING FOR TELEPHONE, TV, STEREO, ETC. TO BE COORDINATED W/ OWNER.
- 10. ALL TRUSSES TO BE PER MFG'S ENGINEERING SPECIFICATIONS. TRUSS DETAILS TO BE PROVIDED UPON FRAMING INSPECTION. TRUSS MFG'R TO VERIFY ALL SPANS AND DIMENSIONS PRIOR TO TRUSS FABRICATION.
- 11. TRUSSES SHALL NOT BEAR ON INTERIOR PARTITIONS UNLESS SO DESIGNED.
- 12. INSULATION BAFFLES TO BE CDX PLYWOOD (OR APPROVED EQUAL) NO FELT PAPER ALLOWED. USE SCRAP IF AVAILABLE.

FINISH

- 1. ALL FINISHES TO BE IDENTIFIED BY OWNER INCLUDING CABINETS, DOORS, FINISH TRIM, ETC.
- 2. FLASH ALL EXTERIOR DOORS, WINDOWS, AND HORIZONTAL TRIM AS REQUIRED.
- 3. THE GARAGE SHALL BE COMPLETELY SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY MEANS OF TYPE "X" BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY. THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED BY TYPE "X" BOARD OR EQUIVALENT.
- 4. PROVIDE AN APPROVED SMOKE DETECTOR ON ALL FLOOR LEVELS AND AT ALL SLEEPING AREAS. ALL DETECTORS IN "NEW CONSTRUCTION" SHALL RECEIVE THEIR PRIMARY SOURCE OF POWER FROM THE PERMANENT, BUILT-IN WIRING W/ BATTERY BACKUP IN CASE POWER IS INTERRUPTED. SMOKE DETECTORS SHALL NOT BE LOCATED BETWEEN SLEEPING AREAS AND ANY COLD AIR RETURN. COORDINATE LOCATION WITH FIELD INSPECTOR.

THERMAL PROTECTION

- 1. INSULATION REQUIRED AS FOLLOWS:
EXTERIOR WALLS=R21
FLOORS= R30
CEILING= R49
FOUNDATION WALLS= R15
FORCED AIR DUCT=R8
WATER HEATER= R11 WRAP
SLAB ON GRADE= R15
- 2. SIX MILLIMETER BLACK POLYETHYLENE (REINFORCED IF UNDER SLAB) GROUND COVER REQUIRED AT FOUNDATION.
- 3. VAPOR BARRIERS AT EXTERIOR WALLS. (ONE DRY CUP RATING OR LESS)
- 4. DOORS AND WINDOWS TO BE WEATHERSTRIPPED.
- 5. WINDOWS SHALL HAVE A MAXIMUM U-0.35. SKYLIGHTS MAXIMUM U-0.60.
- 6. EXTERIOR DOORS SHALL HAVE A MAXIMUM U-0.20. EXTERIOR DOORS W/ >2.59Q FT GLAZING SHALL HAVE A MAXIMUM U-0.40. DOUBLE PANE W/ LOW-E COATING OR TRIPLE PANE GLAZING SHALL BE DEEMED TO COMPLY W/ U-0.40 REQUIREMENTS.

16.02.180 APPLICABILITY-ADDITIONS, ALTERATIONS OR REPAIRS.
SECTION 102 OF THE INTERNATIONAL BUILDING CODE IS SUPPLEMENTED WITH THE FOLLOWING:
ADDITIONS, ALTERATIONS OR REPAIRS (IBC 102.7).
ADDITIONS, ALTERATIONS OR REPAIRS TO ANY STRUCTURE SHALL CONFORM TO THAT REQUIRED FOR A NEW STRUCTURE WITHOUT REQUIRING THE EXISTING STRUCTURE TO COMPLY WITH ALL OF THE REQUIREMENTS OF THIS CODE, UNLESS OTHERWISE STATED.
ADDITIONS, ALTERATIONS OR REPAIRS SHALL NOT CAUSE AN EXISTING STRUCTURE TO BECOME UNSAFE OR ADVERSELY AFFECT THE PERFORMANCE OF THE BUILDING.
(ORD. 17837 § 5, 2014; ORD. 14914 § 13, 2004).
1. INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION

- 1. SEISMIC DESIGN CATEGORY=D1
- 2. SDC-D1 REQUIRES CONTINUOUS FOUNDATION WITH 1/2" ANCHOR BOLTS SPACED @ A MAX. OF 6' (WITH MIN. 7" OF EMBEDMENT) ALONG EXTERIOR BRACED WALLS, EXTERIOR BEARING WALLS, AND (INTERIOR BEARING WALLS SUPPORTED BY A SLAB ON GRADE)
(IRC: TABLES 3-1 & 3-2)
- 3. SOIL SITE = CLASS D
- 4. SOIL LOAD-BEARING VALUES ASSUME 1500 PSF UNLESS A SOILS REPORT IS PROVIDED.
(IRC TABLE R401.4.1)
- 5. FLOOR JOIST SPAN. SECTION R502.3 IRC 2009 SPANS FOR FLOOR JOISTS SHALL BE IN ACCORDANCE WITH TABLES R502.3.1(1) AND R502.3.1(2). FOR OTHER GRADES AND SPECIES AND FOR OTHER LOADING CONDITIONS, REFER TO AF&PA SPAN TABLES FOR JOISTS AND RAFTERS. R502.3.1 SLEEPING AREAS AND ATTIC JOISTS. TABLE R502.3.1(1) SHALL BE USED TO DETERMINE THE MAXIMUM ALLOWABLE SPAN OF FLOOR JOISTS THAT SUPPORT SLEEPING AREAS AND ATTICS THAT ARE ACCESSED BY MEANS OF A FIXED STAIRWAY IN ACCORDANCE WITH SECTION R311.5 PROVIDED THAT THE DESIGN LIVE LOAD DOES NOT EXCEED 30 PSF (1.44 KPA) AND THE DESIGN DEAD LOAD DOES NOT EXCEED 20 PSF (0.96 KPA). THE ALLOWABLE SPAN OF CEILING JOISTS THAT SUPPORT ATTICS USED FOR LIMITED STORAGE OR NO STORAGE SHALL BE DETERMINED IN ACCORDANCE WITH SECTION R802.4. R502.3.2 OTHER FLOOR JOISTS. TABLE R502.3.1(2) SHALL BE USED TO DETERMINE THE MAXIMUM ALLOWABLE SPAN OF FLOOR JOISTS THAT SUPPORT ALL OTHER AREAS OF THE BUILDING, OTHER THAN SLEEPING ROOMS AND ATTICS, PROVIDED THAT THE DESIGN LIVE LOAD DOES NOT EXCEED 40 PSF (1.92 KPA) AND THE DESIGN DEAD LOAD DOES NOT EXCEED 20 PSF (0.96 KPA).
- 6. JOIST HEADERS. SECTION R502.10 IRC 2009 OPENINGS IN FLOOR FRAMING SHALL BE FRAMED WITH A HEADER AND TRIMMER JOISTS. WHEN THE HEADER JOIST SPAN DOES NOT EXCEED 4 FEET (1219 MM), THE HEADER JOIST MAY BE A SINGLE MEMBER THE SAME SIZE AS THE FLOOR JOIST. SINGLE TRIMMER JOISTS MAY BE USED TO CARRY A SINGLE HEADER JOIST THAT IS LOCATED WITHIN 3 FEET (914 MM) OF THE TRIMMER JOIST BEARING. WHEN THE HEADER JOIST SPAN EXCEEDS 4 FEET (1219 MM), THE TRIMMER JOISTS AND THE HEADER JOIST SHALL BE DOUBLED AND OF SUFFICIENT CROSS SECTION TO SUPPORT THE FLOOR JOISTS FRAMING INTO THE HEADER. APPROVED HANGERS SHALL BE USED FOR THE HEADER JOIST TO TRIMMER JOIST CONNECTIONS WHEN THE HEADER JOIST SPAN EXCEEDS 6 FEET (1829 MM). TAIL JOISTS OVER 12 FEET (3658 MM) LONG SHALL BE SUPPORTED AT THE HEADER BY FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN 2 INCHES BY 2 INCHES (51 MM BY 51 MM).
- 7. MOISTURE CONTROL – FLOORS. SEC. 502.1.6.2 WASHINGTON STATE ENERGY CODE (WSEC) 2009 FLOORS SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE SHALL HAVE A VAPOR RETARDER INSTALLED. THE VAPOR RETARDER SHALL HAVE A ONE PERM DRY CUP RATING OR LESS (I.E. FOUR MIL. POLYETHYLENE OR KRAFT FACED MATERIAL). THE VAPOR RETARDER SHOULD BE INSTALLED ON THE WARM SIDE OF THE CAVITY TO BE INSULATED.



PARCEL# 7387500320

OUTBUILDING UPGRADE
FOR
JAMES POSTEL
@
9231 24TH AVE. SW
SEATTLE, WA. 98106

- 8. ALL WOOD FRAMED EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 3/8" PLYWOOD OR 7/16" ORIENTED STRAND BOARD(OSB) AND FASTENED IN COMPLIANCE WITH IRC TABLE R602.3(1) TO MEET BRACED WALL PANEL REQUIREMENTS (CS-WSP)
- 9. DUPONT DRAINWRAP® TO BE USED AS WATER RESISTIVE BARRIER TO COMPLY WITH R703.1 EXTERIOR WALL ENVELOPE SPECIFICATIONS.
- 10. WIND EXPOSURE = CATEGORY "B" (ASCE 7)

ASCE 7=WIND EXPOSURE
CATEGORY B

NOTES

C	-		
B	-		
A	-	BY: DATE:	

REV: DESCRIPTION:
STATUS:

GREG'S
13224 32nd AVE
TUKWILA, WA. 98168
(206) 427-7734

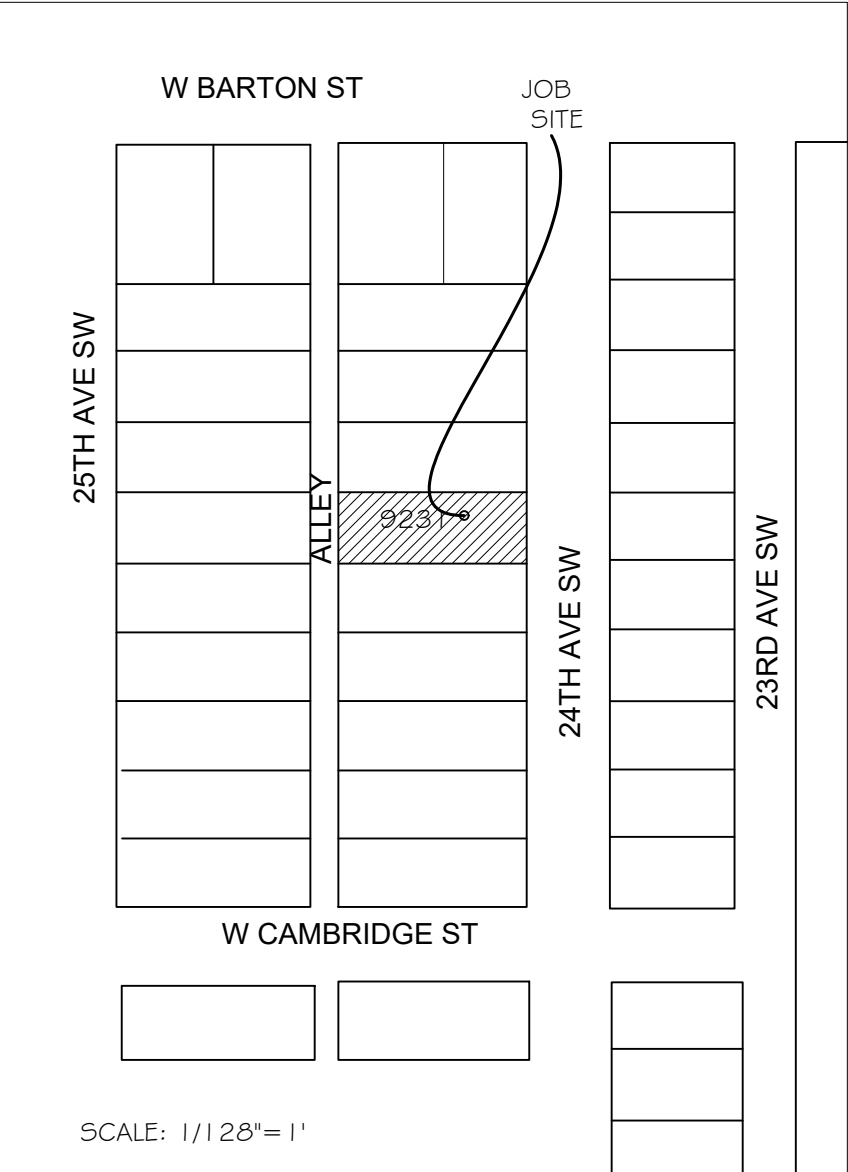
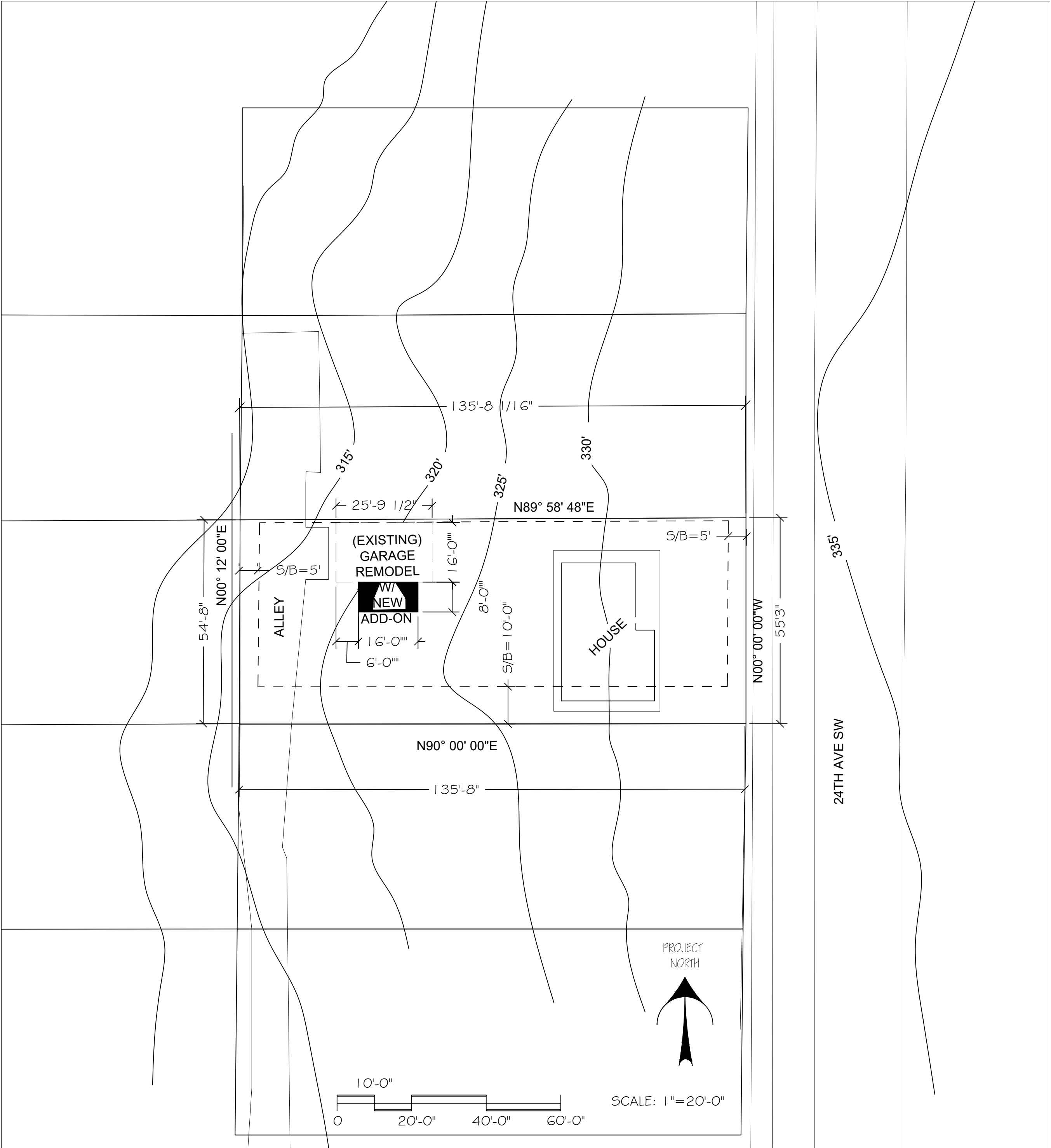
CLIENT: JAMES POSTEL

ARCHITECT:

SITE: 9231 24TH AVE. SW
SEATTLE, WA. 98106

TITLE: SITE PLAN

SCALE: N/A	DATE: 10/07/19	DRAWN: GFB	CHECKED: GREG
PROJECT NO: XXX1	DRAWING NO: 1	REVISION:	



1. SEISMIC DESIGN CATEGORY=D1
2. SDC=D1 REQUIRES CONTINUOUS FOUNDATION WITH 1/2"ANCHOR BOLTS SPACED @ A MAX. OF 6' (WITH MIN. 7" OF EMBEDMENT) ALONG EXTERIOR BRACED WALLS, EXTERIOR BEARING WALLS, AND (INTERIOR BEARING WALLS SUPPORTED BY A SLAB ON GRADE) {IRC: TABLES 3-1 & 3-2}
3. SOIL SITE =CLASS D
4. SOIL LOAD-BEARING VALUES ASSUME 1500 PSF UNLESS A SOILS REPORT IS PROVIDED. (IRC TABLE R401.4.1)

Parcel 738750-0320
Name POSTEL JAMES+ONDERISIN T A
Site Address 9231 24TH AVE SW 98106
Residential Area 077-006 (WC Appraisal District)
Property Name
Jurisdiction SEATTLE
Levy Code 0010
Property Type R
Plat Block / Building Number 4
Plat Lot / Unit Number 19
Quarter-Section-Township-Range SE-36-24-3
Legal Description
ROGERS FIRST ADD & POR VAC ALLEY ADJ
Plat Block: 4
Plat Lot: 19

LAND DATA

Highest & Best Use As If Vacant SINGLE FAMILY
Highest & Best Use As Improved PRESENT USE
Present Use Single Family(Res Use/Zone)
Land SqFt 7,480
Acres0.17
Percentage Unusable
Unbuildable NO
Restrictive Size Shape NO
Zoning RSL (M)
WaterWATER DISTRICT
Sewer/Septic PUBLIC
Road Access PUBLIC
Parking
Street Surface PAVED

Notes:

OUTBUILDING UPGRADE
FOR
JAMES POSTEL
@
9231 24TH AVE. SW
SEATTLE, WA. 98106

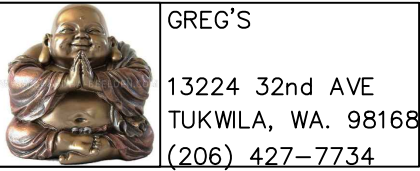
ROGERS FIRST ADDITION
PLAT:
BLOCK 4, LOT 19 IN THE
EAST HALF OF THE WEST
HALF OF THE
SOUTHWEST QUARTER
OF THE SOUTHEAST
QUARTER OF SECTION
36, TOWNSHIP 24
NORTH, RANGE 3 EAST.
WILLAMETTE MERIDIAN

Latitude 47.52011
Longitude -122.3636

NOTES

C	-		
B	-		
A	-	BY: DATE:	

REV: DESCRIPTION:
STATUS:



CLIENT: JAMES POSTEL

ARCHITECT:

SITE: 9231 24TH AVE. SW
SEATTLE, WA. 98106

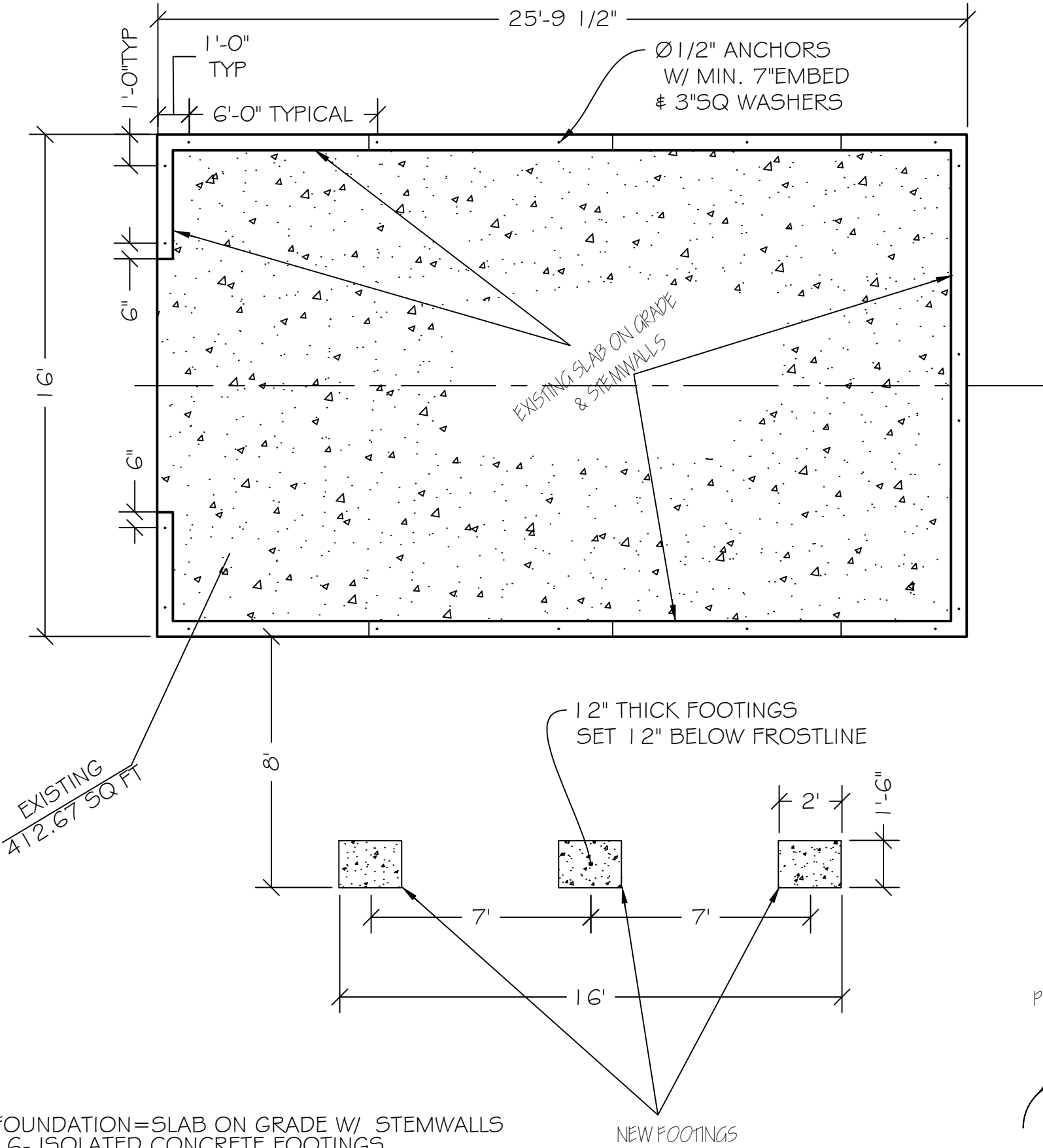
TITLE: SITE PLAN

SCALE: 1" = 20'-0"	DATE: 010/07/19	DRAWN: GFB	CHECKED: GREG
PROJECT NO: XXX1	DRAWING NO: 2	REVISION:	

SQUARE FOOTAGE / FLOOR
EXISTING= 412

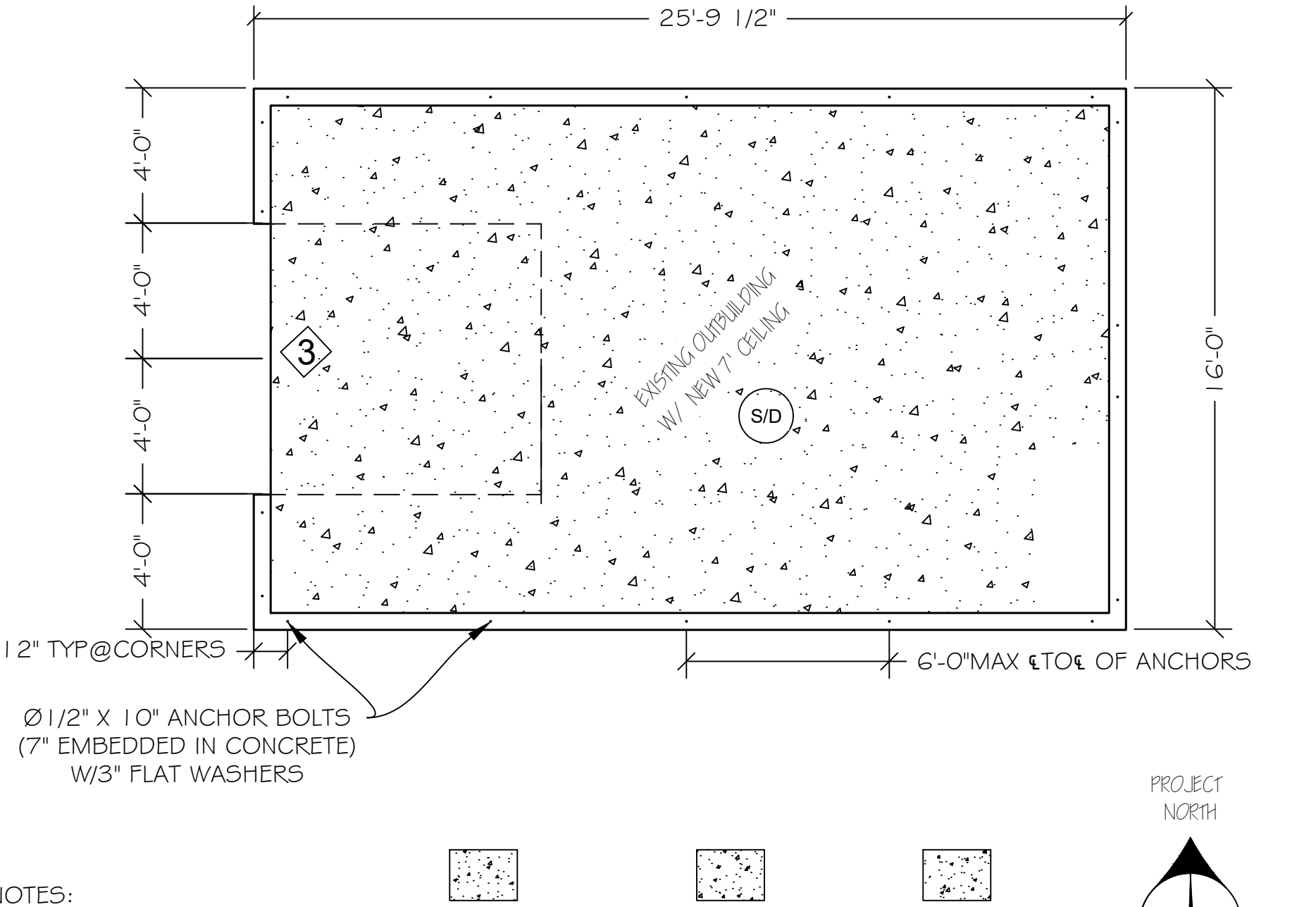
EXISTING FOUNDATION=SLAB ON GRADE W/ STEMWALLS
R403.1.3.6- ISOLATED CONCRETE FOOTINGS
TABLE R403.1(1)- MIN. WIDTH AND THICKNESS
OF CONCRETE FOOTING FOR A 20PSF LIVE LOAD ON 3-STORIES
BEARING ON 1500 PSI SOIL= 14" X 6"

A
3 FOUNDATION PLAN
SCALE: 1/4"= 1'-0"



- NOTES:
- 1) USE PRESCRIPTIVE ENVELOPE REQUIREMENTS (TABLE 1101.1(1)).
 - 2) STORM DRAIN CONNECTED TO EXISTING.
 - 3) R702.3.5=(5/8") GARAGE CEILING GYPSUM THICKNESS

B
3 GARAGE PLAN
SCALE: 1/4"= 1'-0"



1. SEISMIC DESIGN CATEGORY=D1
2. SDC=D1 REQUIRES CONTINUOUS FOUNDATION WITH 1/2" ANCHOR BOLTS SPACED @ A MAX. OF 6' (WITH MIN. 7" OF EMBEDMENT) ALONG EXTERIOR BRACED WALLS, EXTERIOR BEARING WALLS, AND (INTERIOR BEARING WALLS SUPPORTED BY A SLAB ON GRADE) {IRC: TABLES 3-1 & 3-2}
3. SOIL SITE =CLASS D
4. SOIL LOAD-BEARING VALUES ASSUME 1500 PSF UNLESS A SOILS REPORT IS PROVIDED. (IRC TABLE R401.4.1)

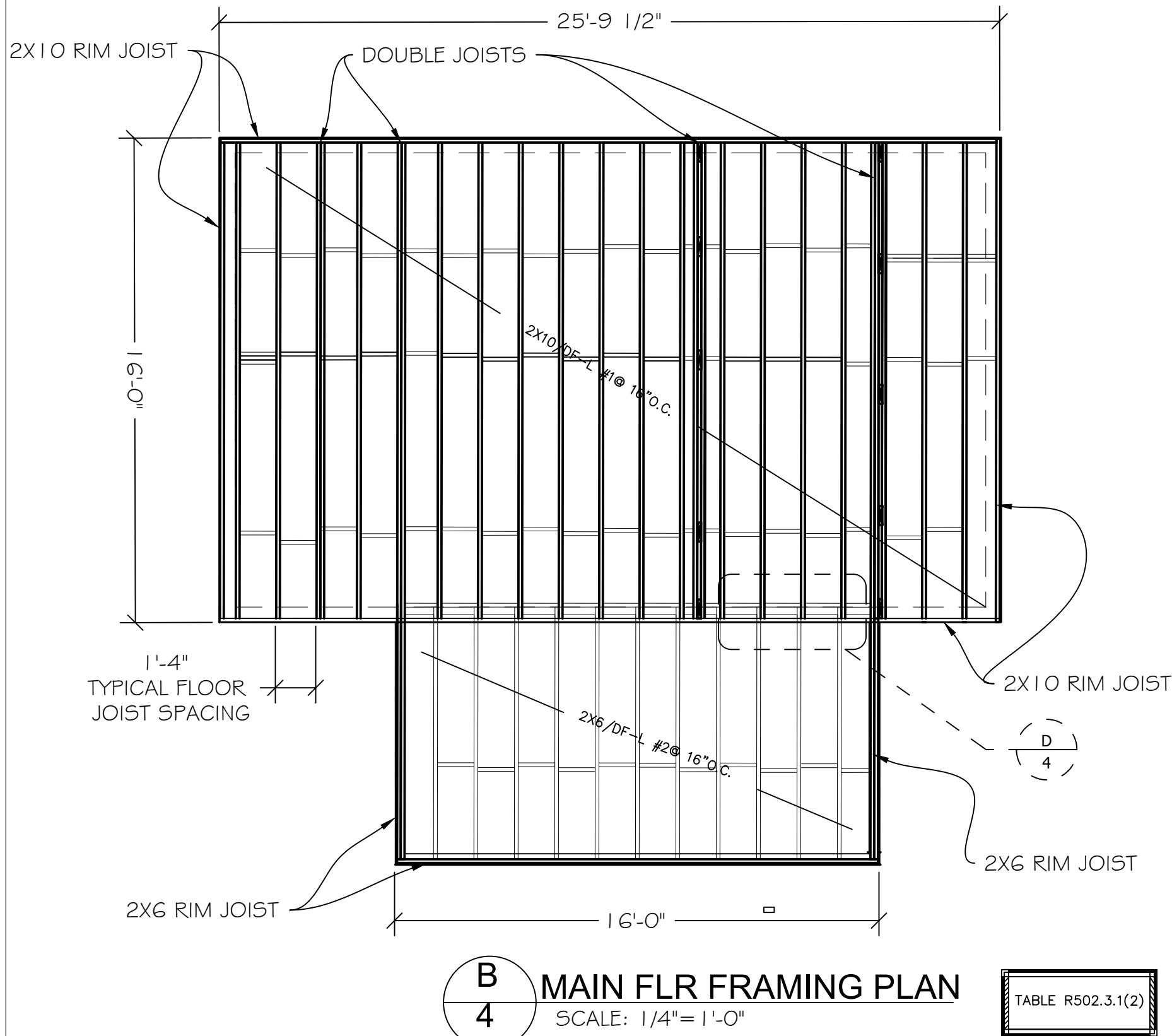
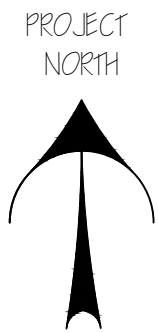
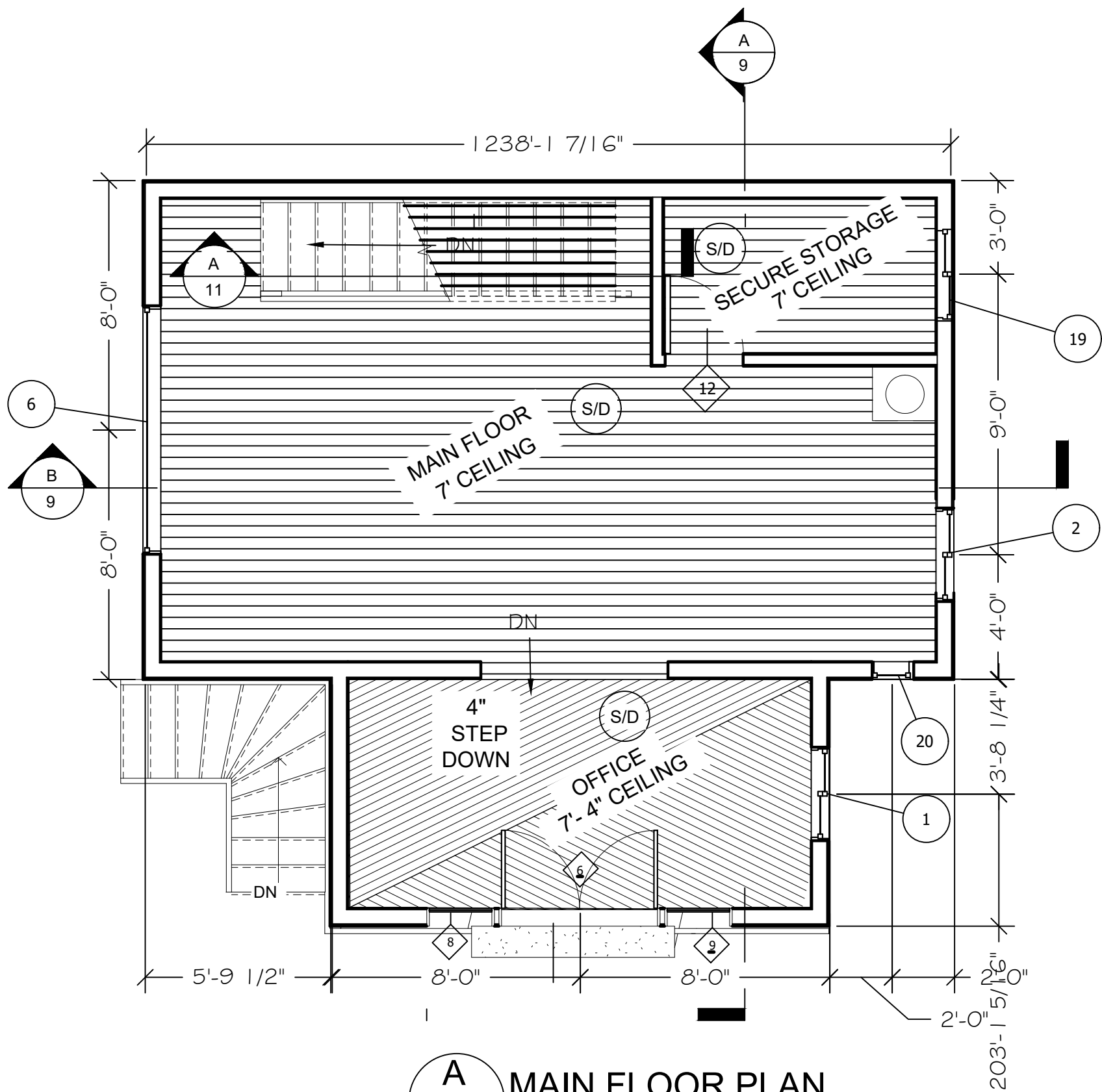
ALL WOOD FRAMED EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 3/8" PLYWOOD OR 7/16" ORIENTED STRAND BOARD(OSB) AND FASTENED IN COMPLIANCE WITH **IRC TABLE R602.3(1)** TO MEET BRACED WALL PANEL REQUIREMENTS (C5-W5P) & {1} INSTANCE (C5-G) METHOD

EXTERIOR BEARING WALL HEADERS AS PER FRAMING PLAN.
INTERIOR BEARING WALL HEADERS TO BE 4X6 #2 DF-L UNO.

Notes:

16.02.180 Applicability – Additions, alterations or repairs. Section 102 of the International Building Code is supplemented with the following: Additions, alterations or repairs (IBC 102.7). Additions, alterations or repairs to any structure shall conform to that required for a new structure without requiring the existing structure to comply with all of the requirements of this code, unless otherwise stated. Additions, alterations or repairs shall not cause an existing structure to become unsafe or adversely affect the performance of the building. (Ord. 17837 § 5, 2014; Ord. 14914 § 13, 2004).1. INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION

NOTES			
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A	—	BY:	DATE:
REV: DESCRIPTION: STATUS:			
		GREG'S	
		13224 32nd AVE TUKWILA, WA. 98168 (206) 427-7734	
CLIENT: JAMES POSTEL			
ARCHITECT:			
SITE: 9231 24TH AVE. SW SEATTLE, WA. 98106			
TITLE: FOUNDATION AND GARAGE PLAN			
SCALE: 1/4"=1'	DATE: 10/07/19	DRAWN: GFB	CHECKED: GREG
PROJECT NO: XXX1	DRAWING NO: 3	REVISION: —	

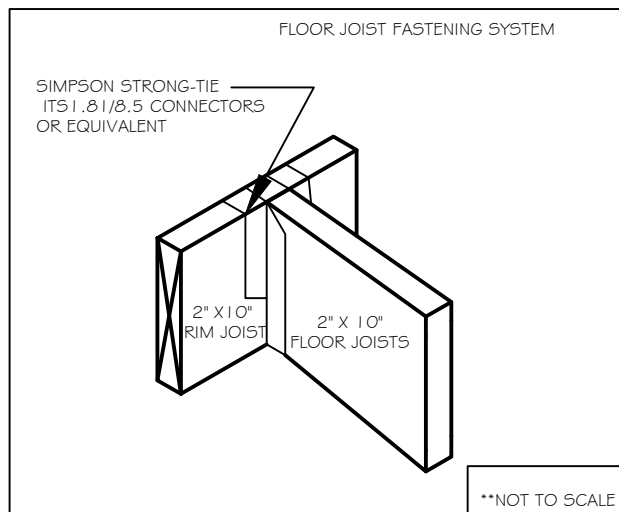


SQUARE FOOTAGE / FLOOR
EXISTING= DEMO
NEW= 540

ALL WOOD FRAMED EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 3/8" PLYWOOD OR 7/16" ORIENTED STRAND BOARD(OSB) AND FASTENED IN COMPLIANCE WITH **IRC TABLE R602.3(1)** TO MEET BRACED WALL PANEL REQUIREMENTS (CS-WSP) & {1} INSTANCE (CS-G) METHOD

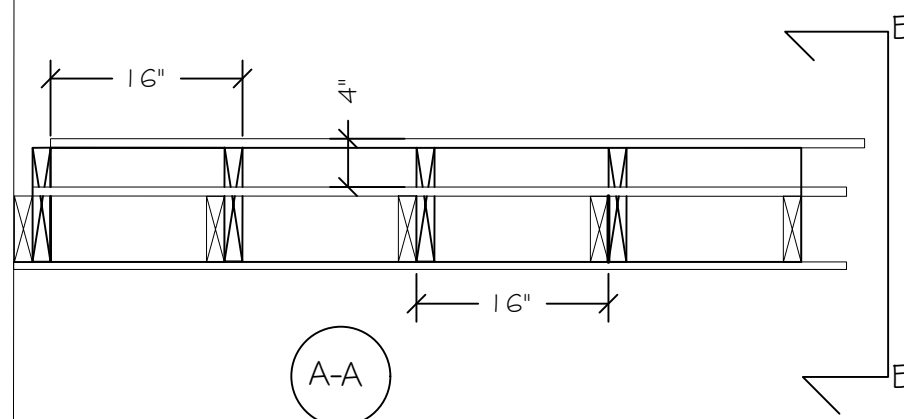
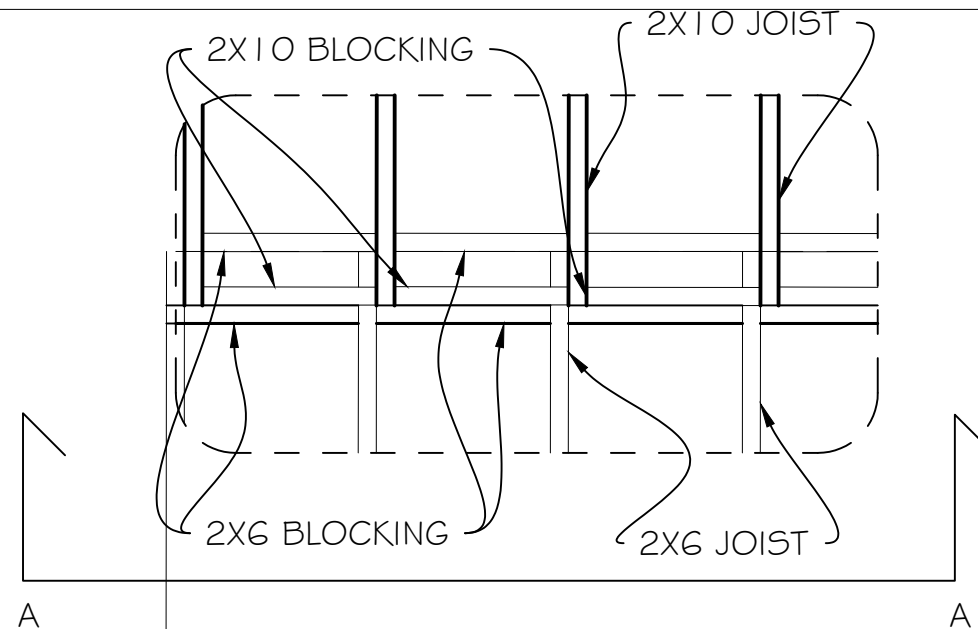
ASSUMED DESIGN LOADS

LIVE LOAD @ FLOOR = 40 PSF
DEAD LOAD @ FLOOR = 10 PSF
LIVE LOAD @ ROOF = 25 PSF
DEAD LOAD @ ROOF = 15 PSF
SNOW LOAD@ROOF = 25PSF
LIVE LOAD @ DECKS = 40 PSF
DEAD LOAD @ DECKS = 10 PSF

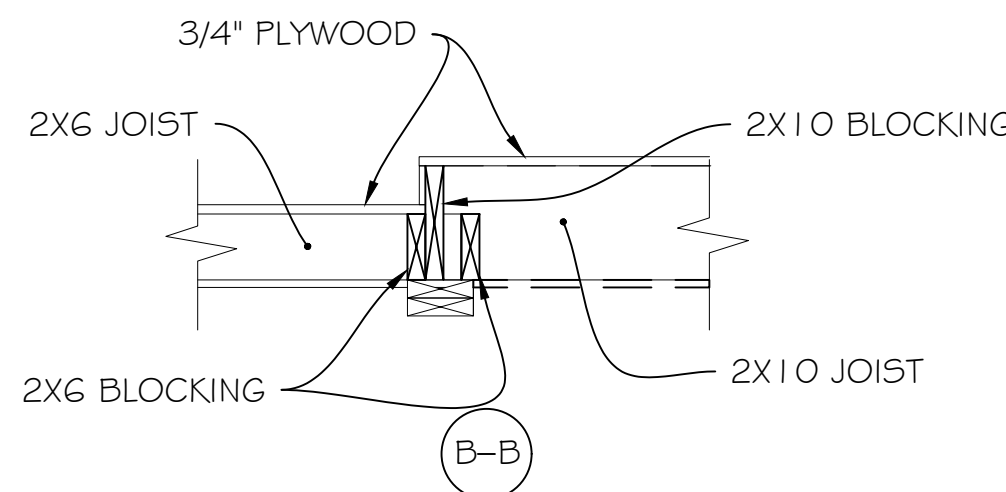


C/4 FLOOR JOIST DETAIL
SCALE: NTS

5. EXTERIOR BEARING WALL HEADERS AS PER FRAMING PLAN.
6. INTERIOR BEARING WALL HEADERS TO BE 4X6 #2 DF-L UNO.



D/4 FLOOR JOIST DETAIL @ STEP-DOWN
SCALE: 3/4" = 1'-0"



NOTES

C	-		
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A	-	BY: DATE:	

REV: DESCRIPTION: STATUS:



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13224 32nd AVE
TUKWILA, WA. 98168
(206) 427-7734

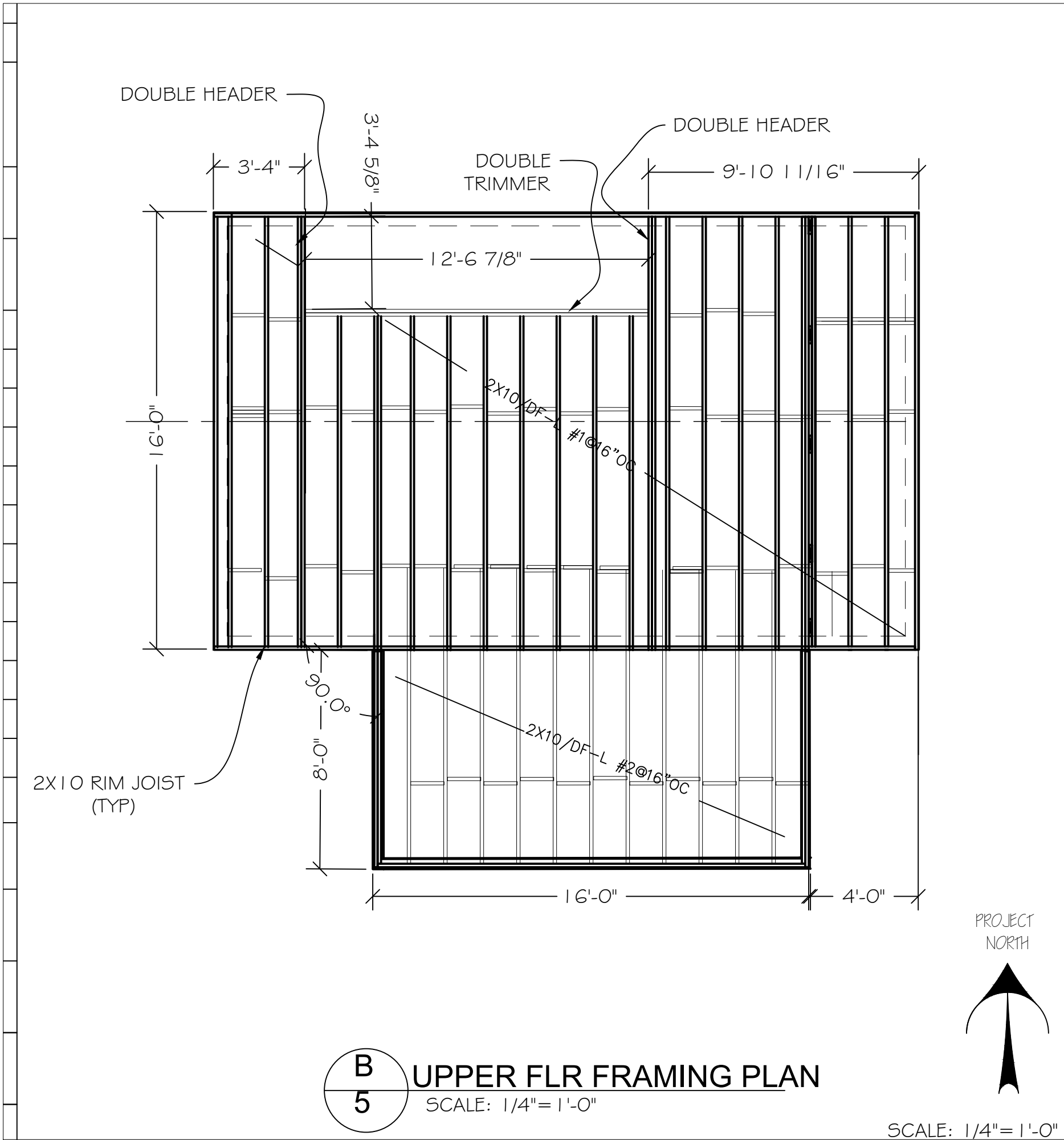
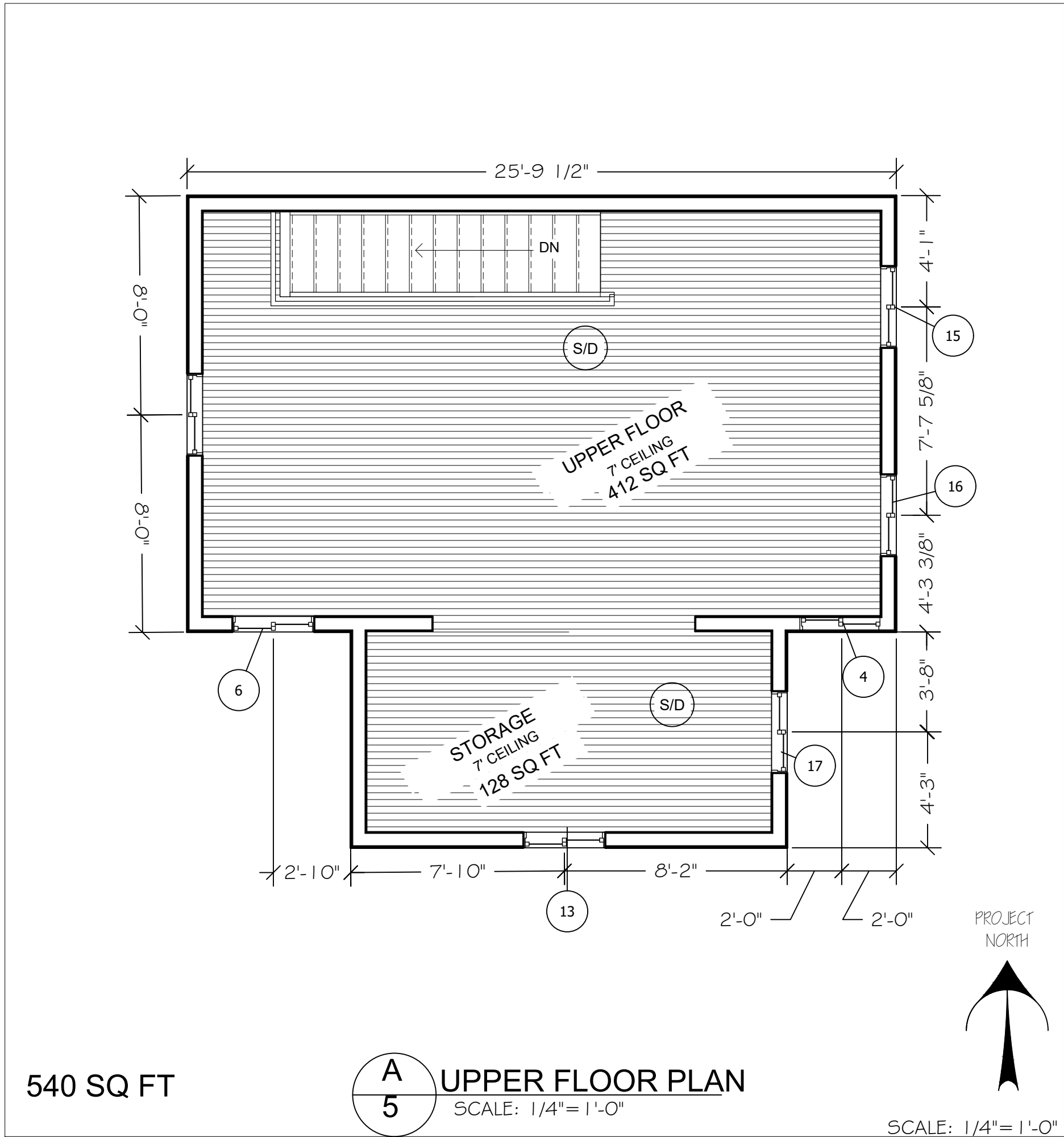
CLIENT: JAMES POSTEL

ARCHITECT:

SITE: 9231 24TH AVE. SW
SEATTLE, WA. 98106

TITLE: MAIN FLOOR & FRAMING PLANS

SCALE: 1/4" = 1'	DATE: 10/07/19	DRAWN: GFB	CHECKED: GREG
PROJECT NO: XXX1	DRAWING NO: 4	REVISION:	

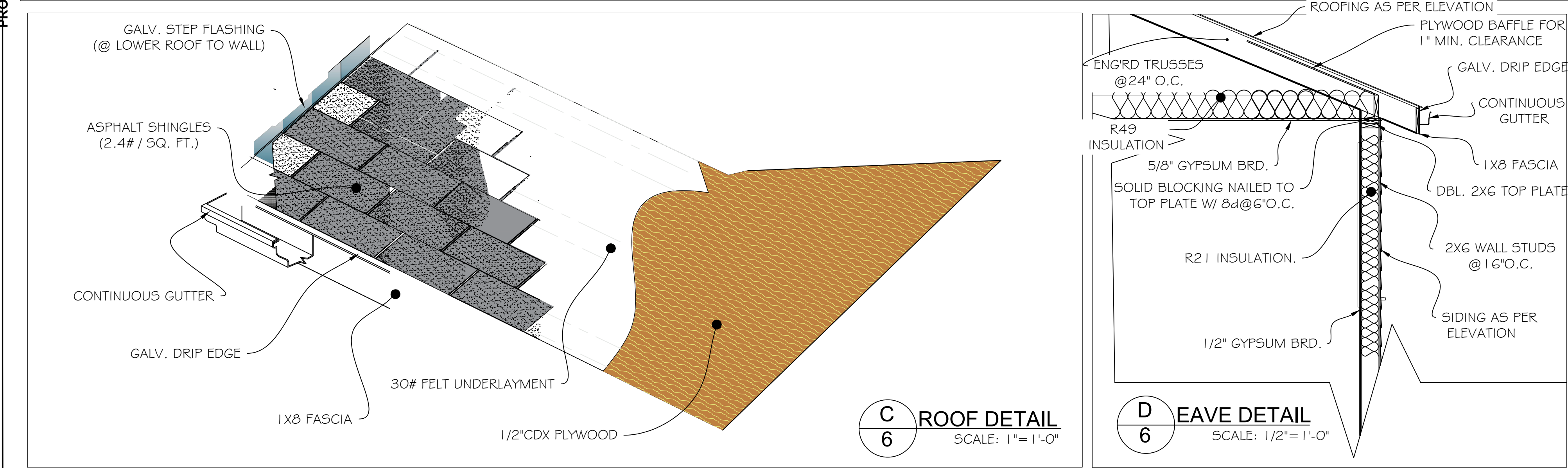
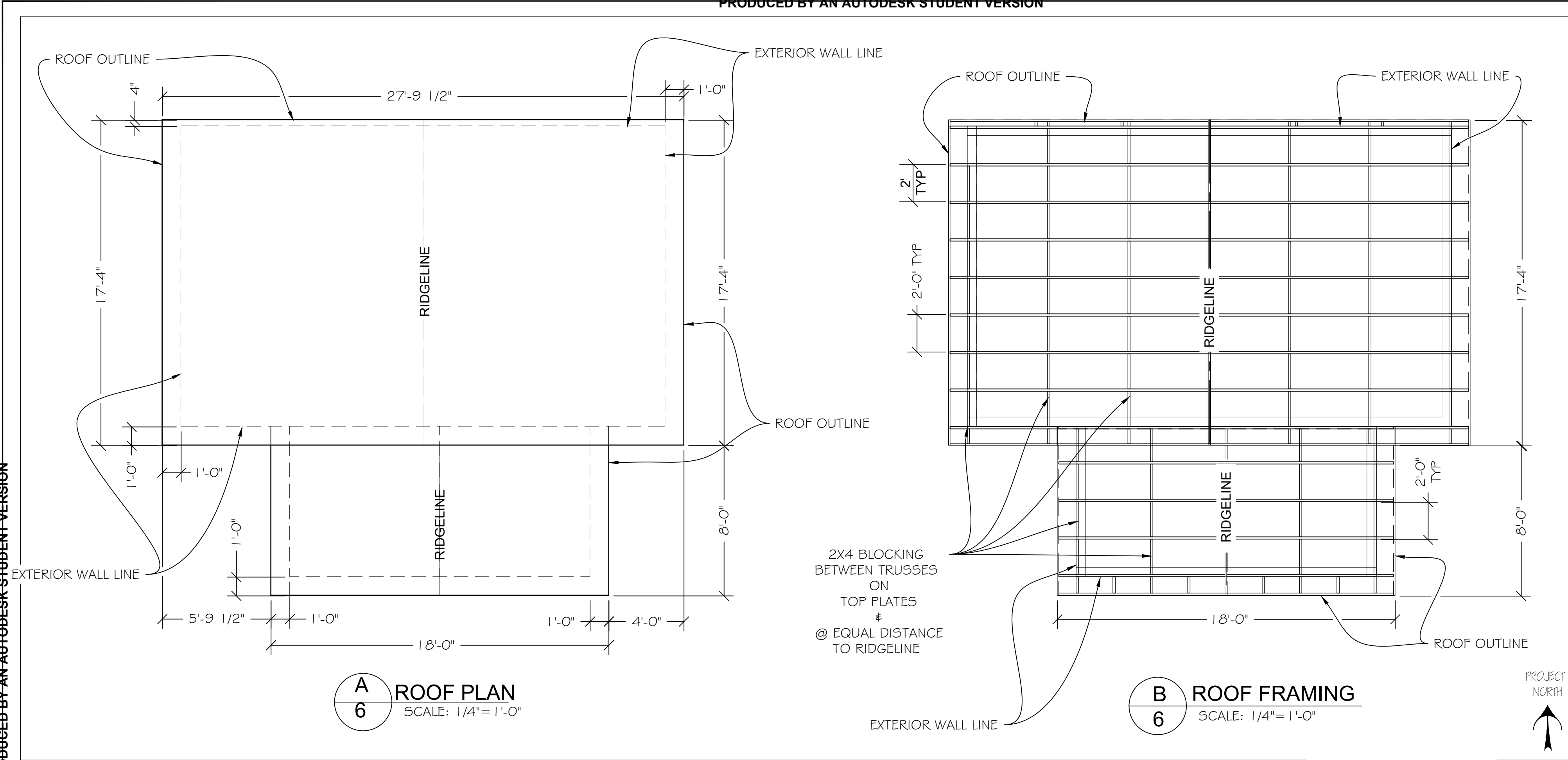


SQ FOOTAGE / NEW FLOOR = 540

ASSUMED DESIGN LOADS	
LIVE LOAD @ FLOOR	=40 PSF
DEAD LOAD @ FLOOR	=10 PSF
LIVE LOAD @ ROOF	=25 PSF
DEAD LOAD @ ROOF	=15 PSF
SNOW LOAD@ROOF	=25PSF
LIVE LOAD @ DECKS	=40 PSF
DEAD LOAD @ DECKS	=10 PSF

ALL WOOD FRAMED EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 3/8" PLYWOOD OR 7/16" ORIENTED STRAND BOARD(OSB) AND FASTENED IN COMPLIANCE WITH **IRC TABLE R602.3(1)** TO MEET BRACED WALL PANEL REQUIREMENTS (CS-WSP) & {1} INSTANCE (CS-G) METHOD

NOTES			
C	-		
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A	-	BY: DATE:	
REV: DESCRIPTION: STATUS:			
 GREG'S 13224 32nd AVE TUKWILA, WA. 98168 (206) 427-7734			
CLIENT: JAMES POSTEL			
ARCHITECT:			
SITE: 9231 24TH AVE. SW SEATTLE, WA. 98106			
TITLE: UPPER FLOOR & FRAMING PLANS			
SCALE: 1/4"=1'	DATE: 10/07/19	DRAWN: GFB	CHECKED: GREG
PROJECT NO: XXX1	DRAWING NO: 5	REVISION: -	



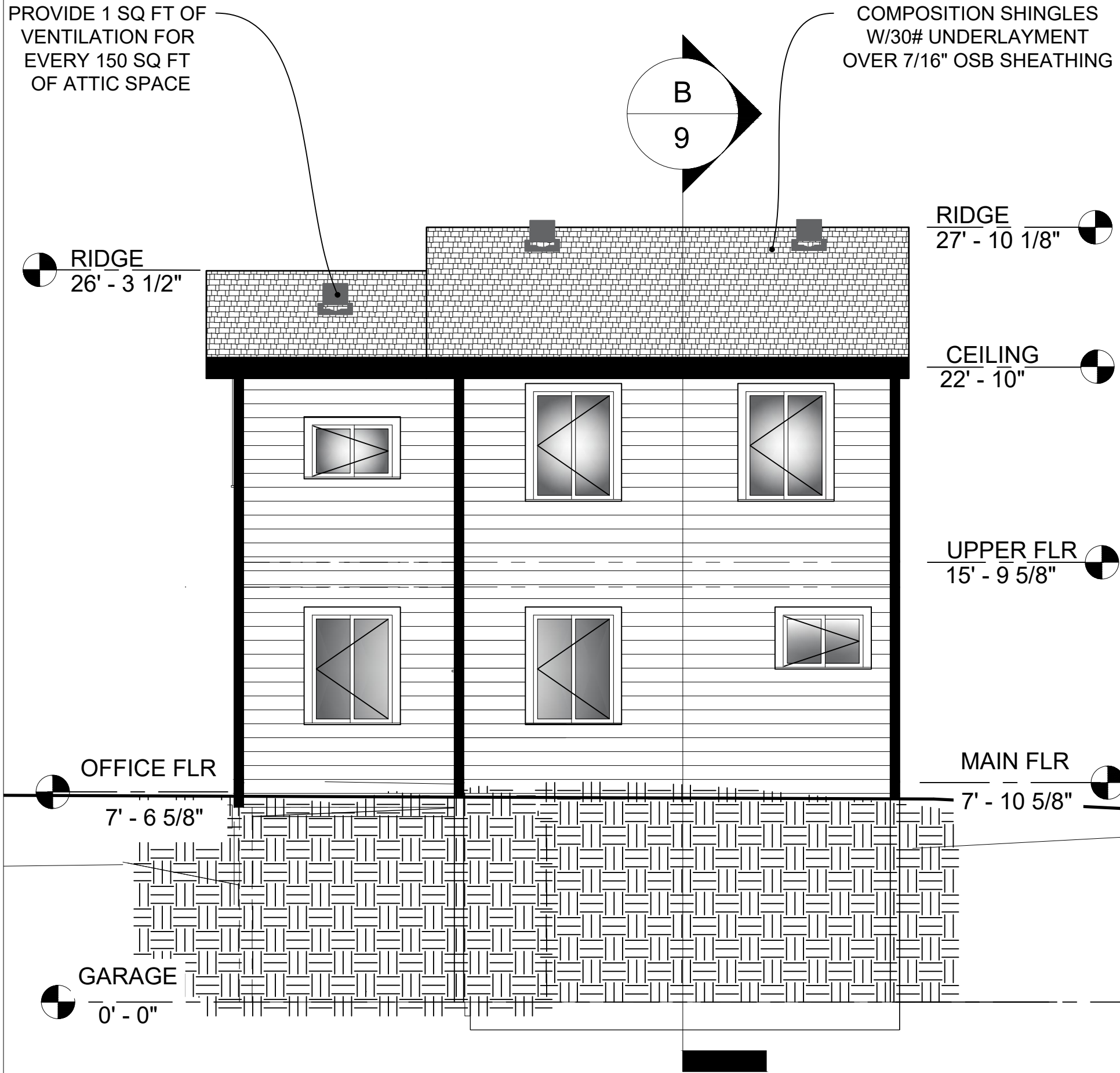
NOTES:

1. TRUSSES BY OTHER
2. TRUSS MFG'R TO VERIFY ALL DIMENSIONS PRIOR TO TRUSS ASSEMBLY
3. PROVIDE 22" X 30" ATTIC ACCESS TO ANY ATTIC AREA W/ CLEAR HEIGHT GREATER THAN 30"
4. INSULATION BAFFLES TO BE CDX PLYWOOD (OR APPROVED EQUAL). NO FELT PAPER ALLOWED. USE SCRAP IF AVAILABLE.

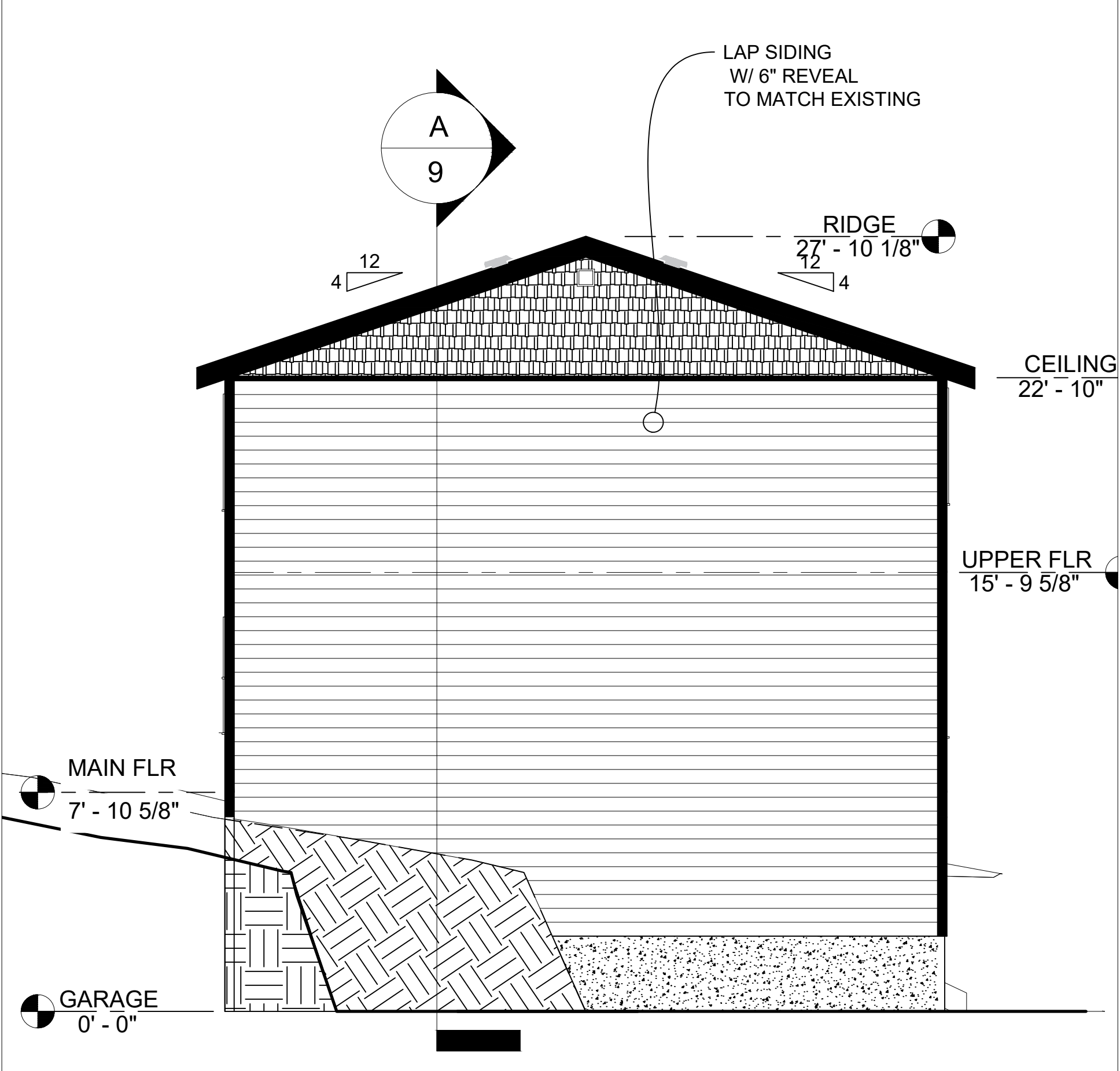
SQUARE FOOTAGE / ROOF
NEW= 643 SQ FT

ASSUMED DESIGN LOADS
LIVE LOAD@ROOF= 25PSF
DEAD LOAD@ROOF= 15PSF
SNOW LOAD@ROOF= 25PSF

NOTES			
C	-		
B	-		
A	-	BY:	DATE:
REV: DESCRIPTION:			
STATUS:			
		GREG'S	
13224 32nd AVE TUKWILA, WA. 98168 (206) 427-7734			
CLIENT: JAMES POSTEL			
ARCHITECT:			
SITE: 9231 24TH AVE. SW SEATTLE, WA. 98106			
TITLE: ROOF PLAN & TRUSS LAYOUT			
SCALE: VARIES	DATE: 10/07/19	DRAWN: GFB	CHECKED: GREG
PROJECT NO: XXX1	DRAWING NO: 6	REVISION: —	



A
7 EAST ELEVATION
SCALE: 1/4" = 1'-0"



B
7 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ALL WOOD FRAMED EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 3/8" PLYWOOD OR 7/16" ORIENTED STRAND BOARD(OSB) AND FASTENED IN COMPLIANCE WITH **IRC TABLE R602.3(1)** TO MEET BRACED WALL PANEL REQUIREMENTS (CS-WSP) & {1} INSTANCE (CS-G) METHOD

ASSUMED DESIGN LOADS

LIVE LOAD @ FLOOR	=40 PSF
DEAD LOAD @ FLOOR	=10 PSF
LIVE LOAD @ ROOF	=25 PSF
DEAD LOAD @ ROOF	=15 PSF
LIVE LOAD @ DECKS	=40 PSF
DEAD LOAD @ DECKS	=10 PSF

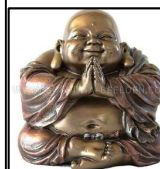
ROOF PITCH ESTIMATED BY DESIGNER. TRUSS MFG'R ENGINEER AND CONTRACTOR TO VERIFY BEFORE CONSTRUCTION

R602.3(5)=2X6 STUDS @ 16"O.C. SPACING

NOTES

C	-		
B	-		
A	-	BY: DATE:	

REV: DESCRIPTION: STATUS:



GREG'S
13224 32nd AVE
TUKWILA, WA. 98168
(206) 427-7734

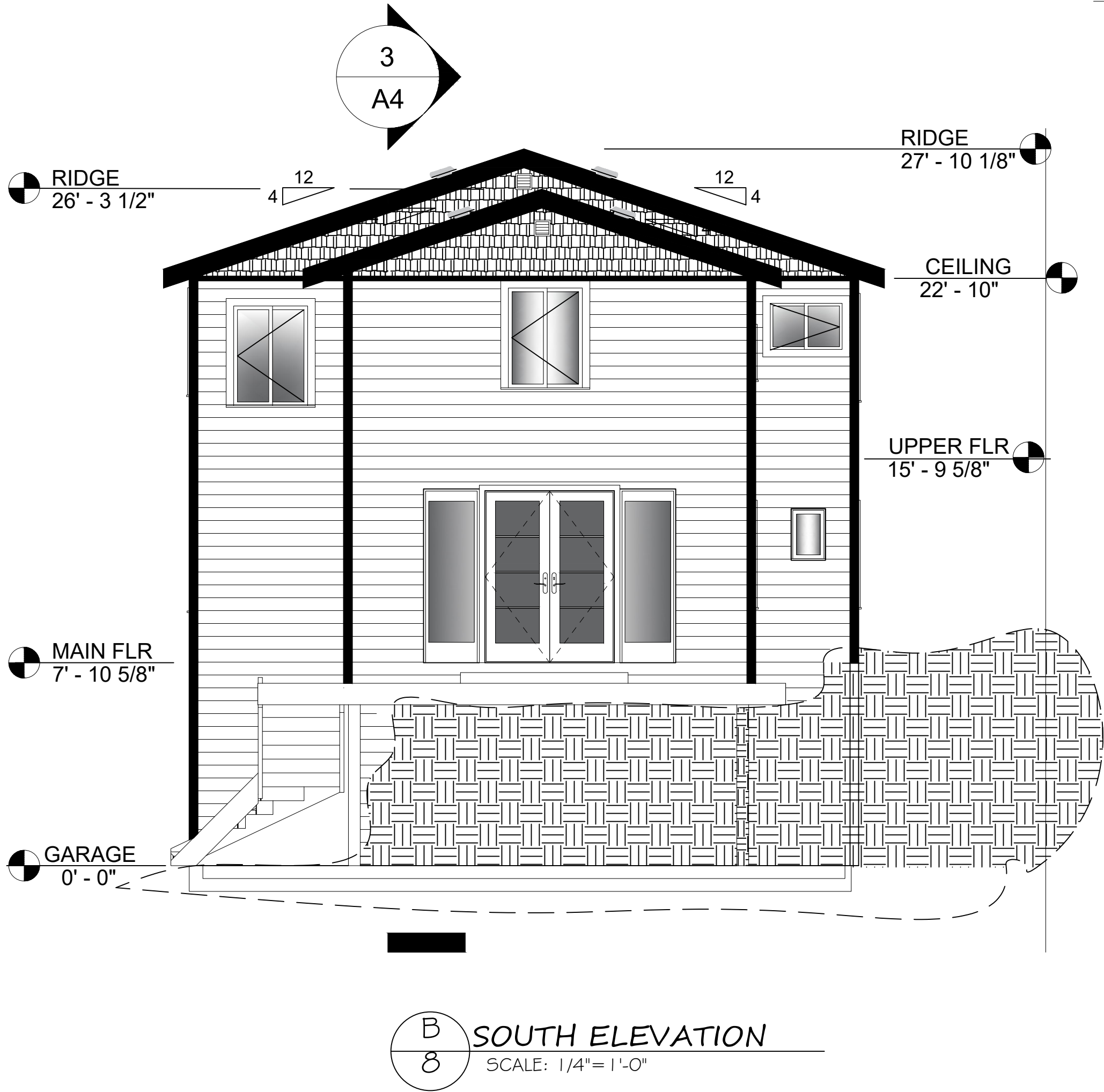
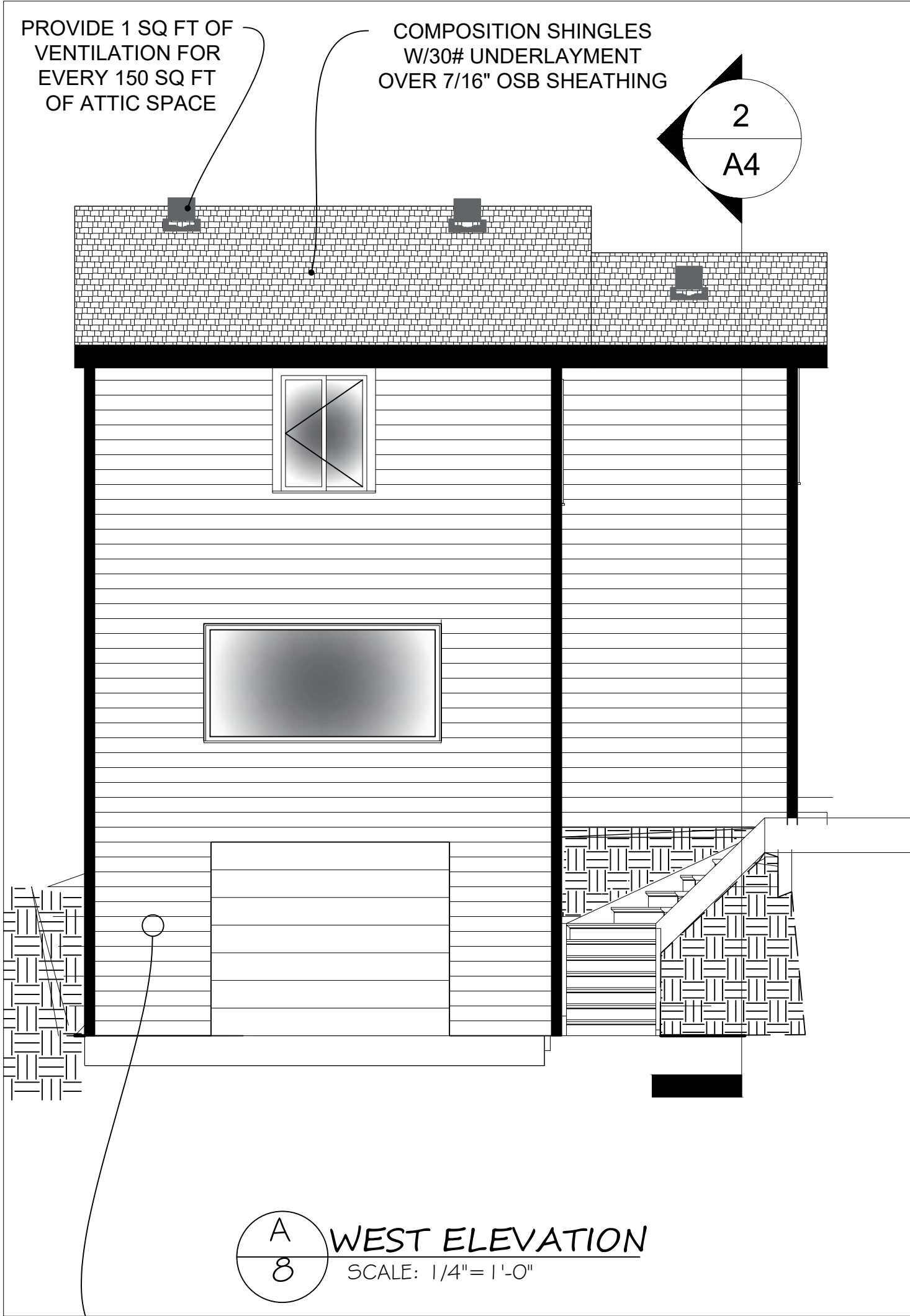
CLIENT: JAMES POSTEL

ARCHITECT:

SITE: 9231 24TH AVE. SW
SEATTLE, WA. 98106

TITLE: ELEVATIONS

SCALE: 1/4"=1'	DATE: 10/07/19	DRAWN: GFB	CHECKED: GREG
PROJECT NO: XXX1	DRAWING NO: 7	REVISION:	



ALL WOOD FRAMED EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED WITH 3/8" PLYWOOD OR 7/16" ORIENTED STRAND BOARD(OSB) AND FASTENED IN COMPLIANCE WITH **IRC TABLE R602.3(1)** TO MEET BRACED WALL PANEL REQUIREMENTS (CS-WSP)# {1} INSTANCE (CS-G) METHOD

ASSUMED DESIGN LOADS			
LIVE LOAD @ FLOOR	=	40	PSF
DEAD LOAD @ FLOOR	=	10	PSF
LIVE LOAD @ ROOF	=	25	PSF
DEAD LOAD @ ROOF	=	15	PSF
LIVE LOAD @ DECKS	=	40	PSF
DEAD LOAD @ DECKS	=	10	PSF

R602.3(5)=2X6 STUDS
@
16"O.C. SPACING

NOTES

C	-		
B	-		
A	-	BY: DATE:	

REV: DESCRIPTION:
STATUS:

GREG'S
13224 32nd AVE
TUKWILA, WA. 98168
(206) 427-7734

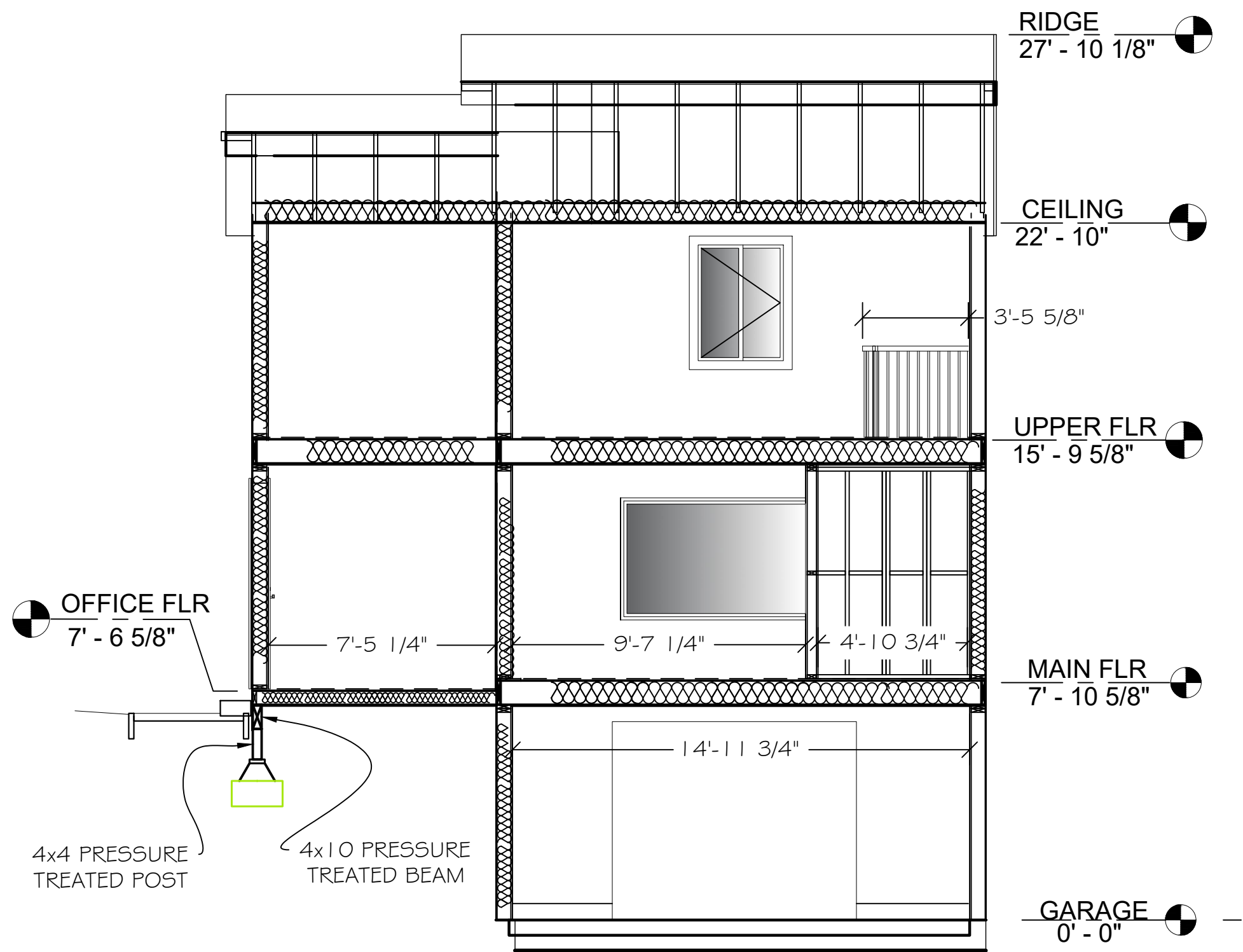
CLIENT: JAMES POSTEL

ARCHITECT:

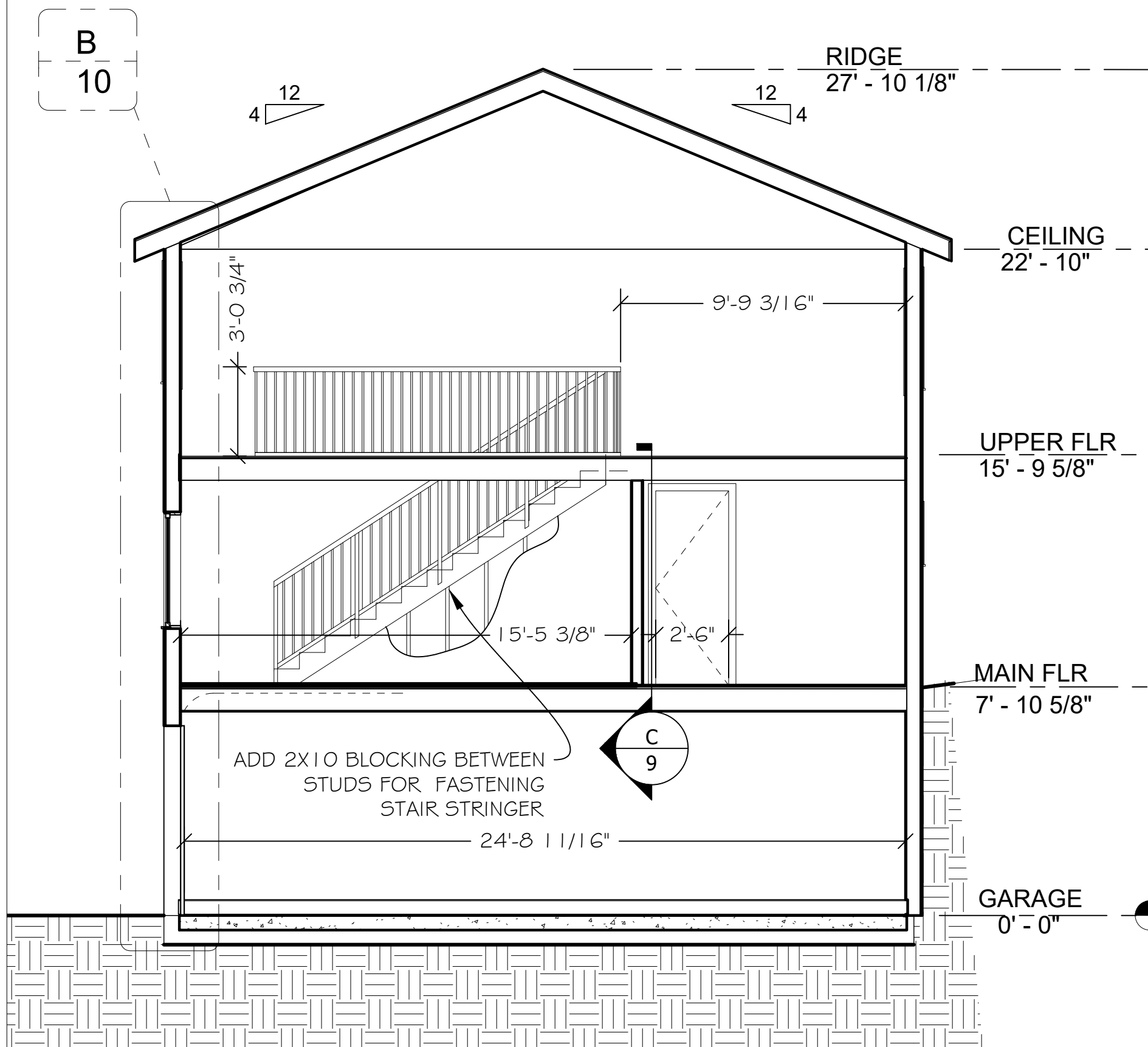
SITE: 9231 24TH AVE. SW
SEATTLE, WA. 98106

TITLE: ELEVATIONS

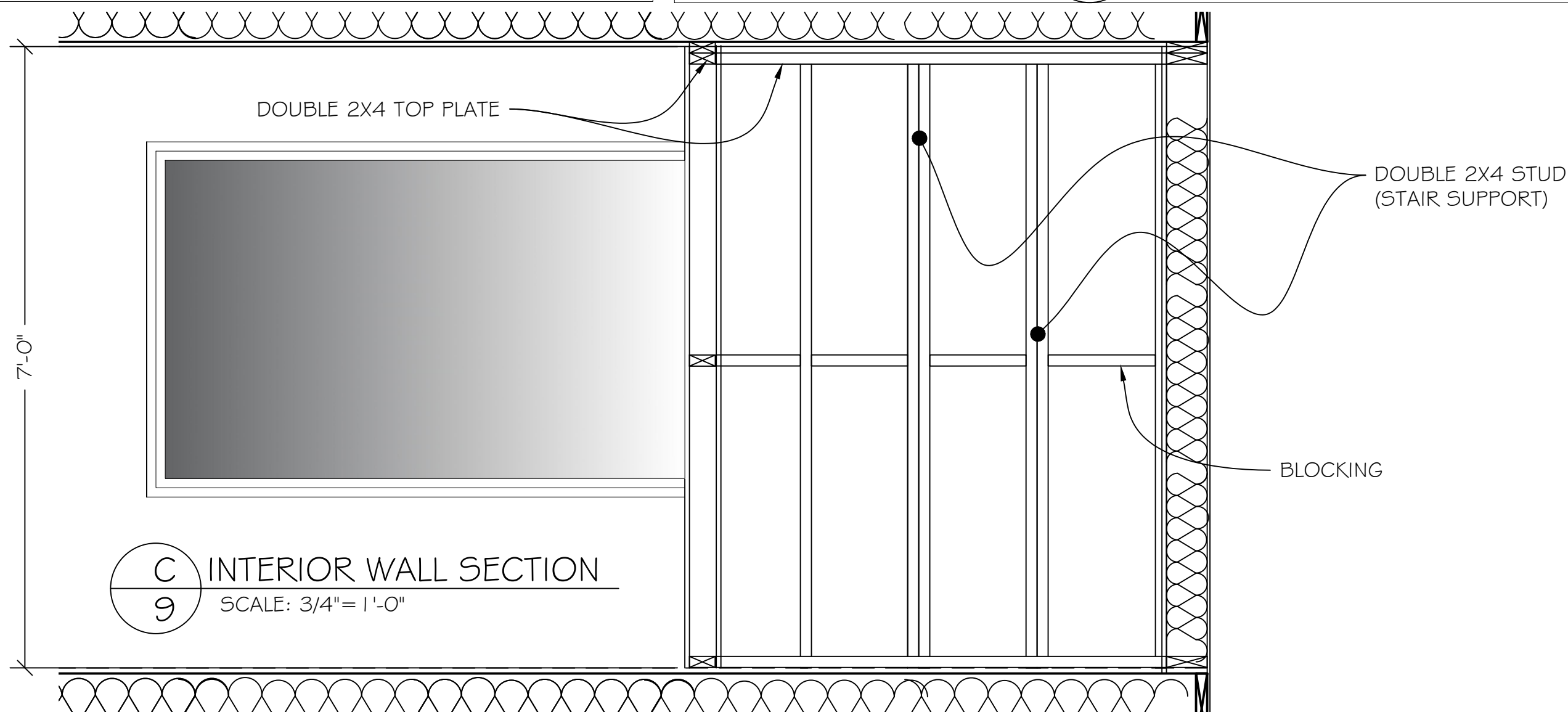
SCALE: 1/4"=1'
PROJECT NO: XXX1
DATE: 10/07/19 GFB
DRAWING NO: 8



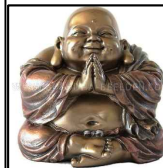
A SECTION
9 SCALE: 1/4" = 1'-0"

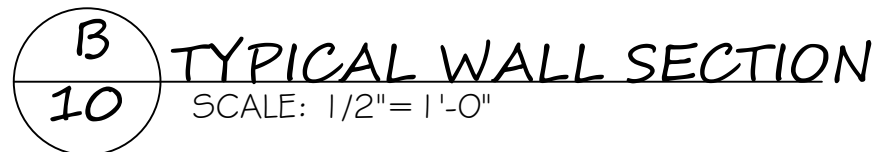


B SECTION
9 SCALE: 1/4" = 1'-0"



C INTERIOR WALL SECTION
9 SCALE: 3/4" = 1'-0"

NOTES			
C	-		
B	-		
A	-	BY: DATE:	
REV: DESCRIPTION: STATUS:			
 GREG'S 13224 32nd AVE TUKWILA, WA. 98168 (206) 427-7734			
CLIENT: JAMES POSTEL			
ARCHITECT:			
SITE: 9231 24TH AVE. SW SEATTLE, WA. 98106			
TITLE: SECTIONS			
SCALE: VARIES	DATE: 10/07/19	DRAWN: GFB	
PROJECT NO: XXX1	DRAWING NO: 9		



~~PRODUCED BY AN AUTODESK STUDENT VERSION~~



