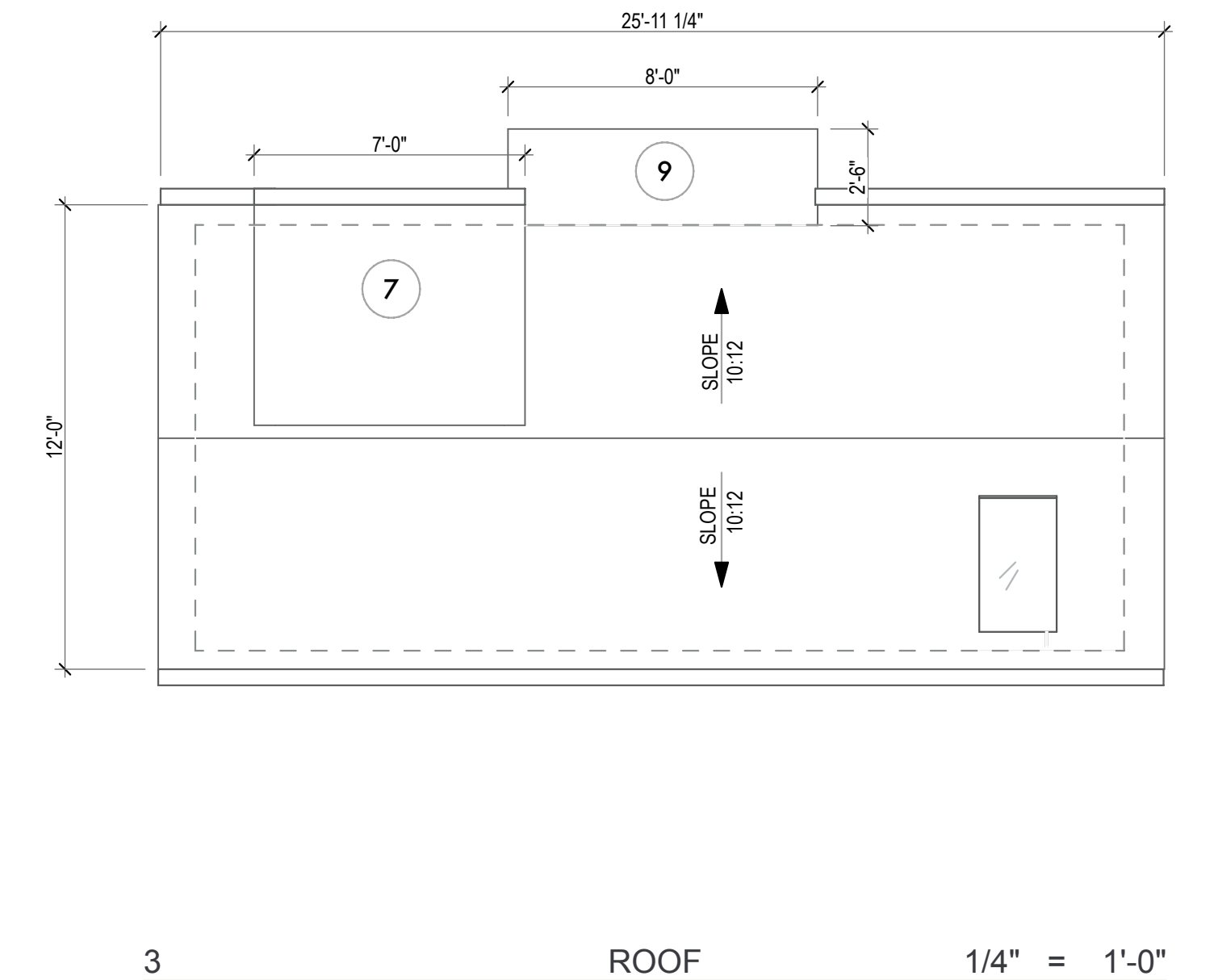
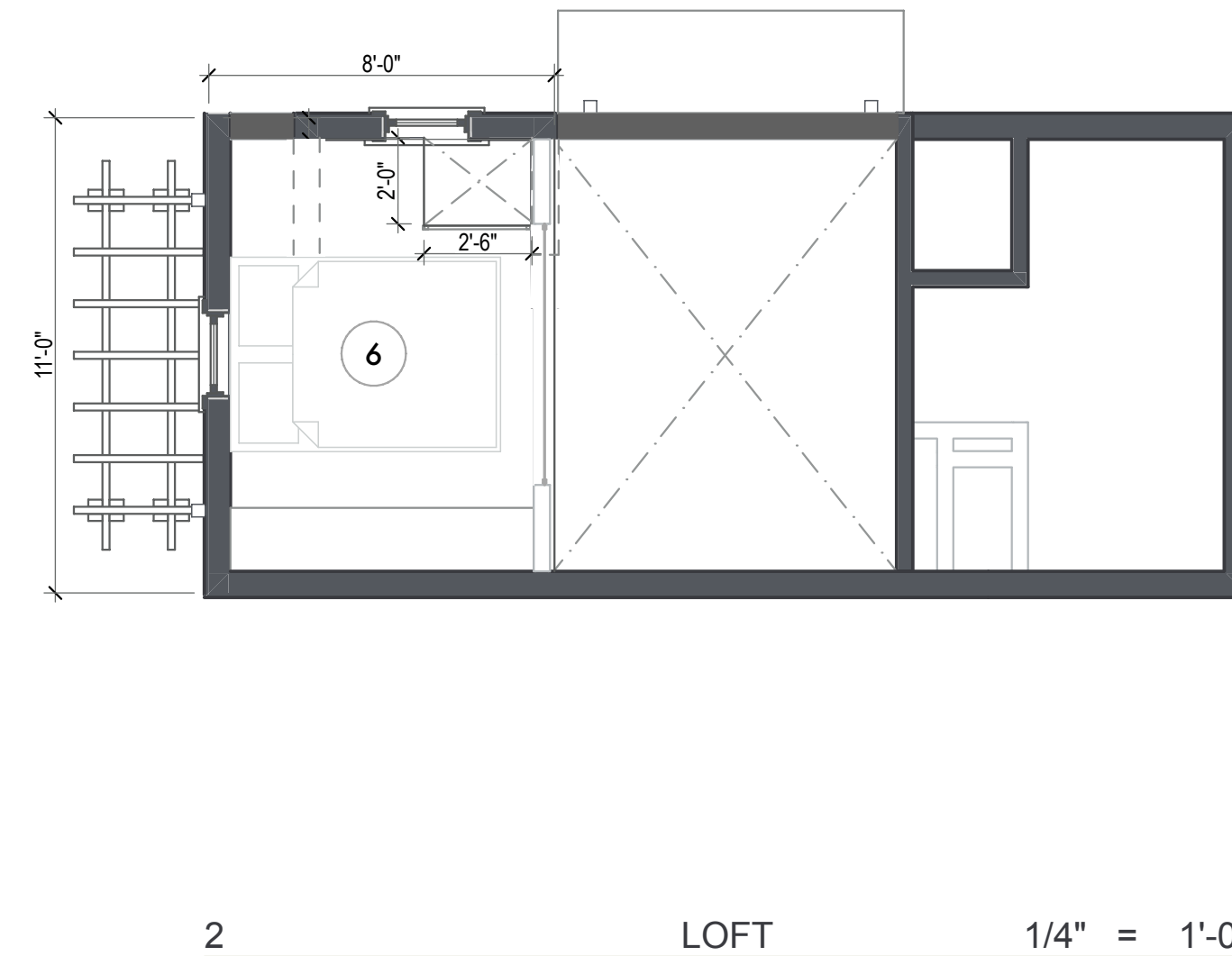


### FLOOR PLAN:

<b>FIRST FLOOR</b>	
1 Kitchen	10x4 • 40sf
2 Living	10x12 • 120sf
3 Bathroom	4'6x10 • 45sf
4 Clothes Closet	2'3x2'8 • 6sf
5 Linen Closet	1'6x2'6 • 4sf
<b>LOFT</b>	
6 Loft Space	7'6x10 • 75sf
7 Dormer	5' wide
<b>EXTERIOR</b>	
8 Deck	216sf
9 Bike Storage	8x2'6



## small footprint

### DESIGNERS:

Alexandra Immel Residential Design  
 contact: Alexandra Immel, alexandra@alexandrainmeldesign.com  
 p: 206.501.3038

### PROJECT DESCRIPTION:

Proposed 1-story + loft DADU includes 264 sf at Main Floor and 87sf Loft space. The Main Floor is efficiently laid out to provide a Kitchen, Bathroom, a Living Space with space for a dining nook and sleeper sofa. Storage areas include a clothes closet, linen closet and bookshelves; and optional stack washer/dryer can be included in lieu of the linen closet and bookshelves. The Loft, accessible by ladder, can provide space for a full size bed and built-in shelves.

### EST. CONSTR. COST:

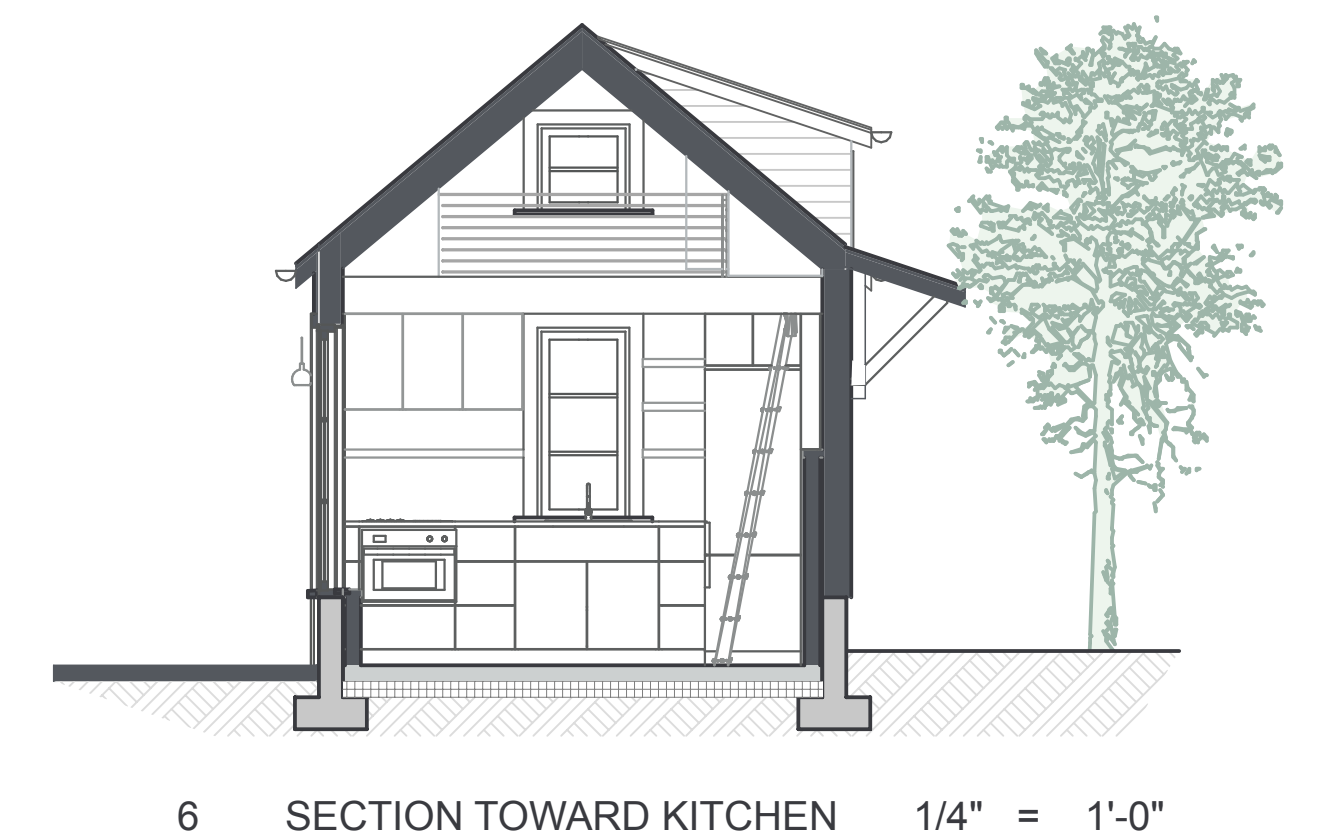
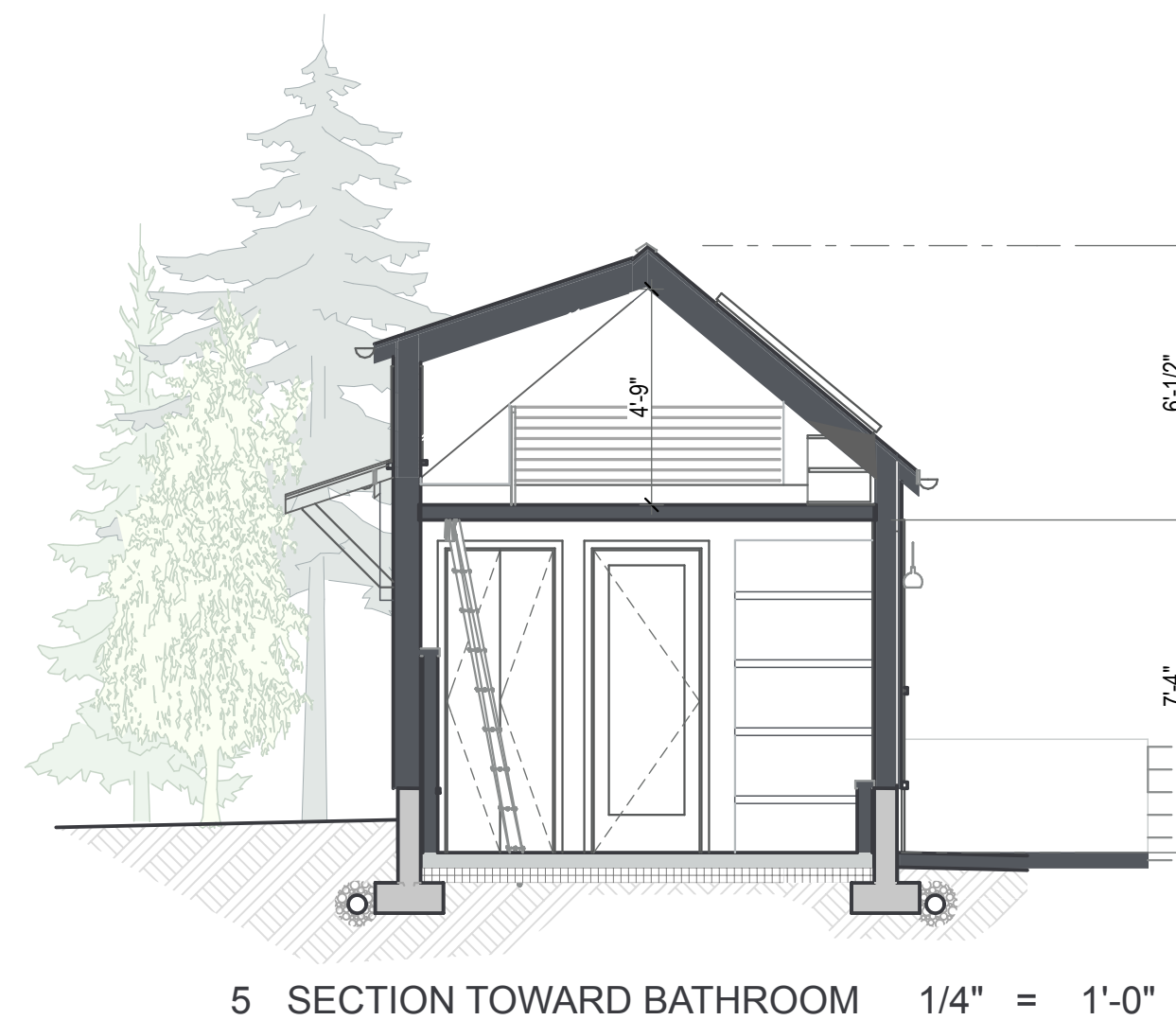
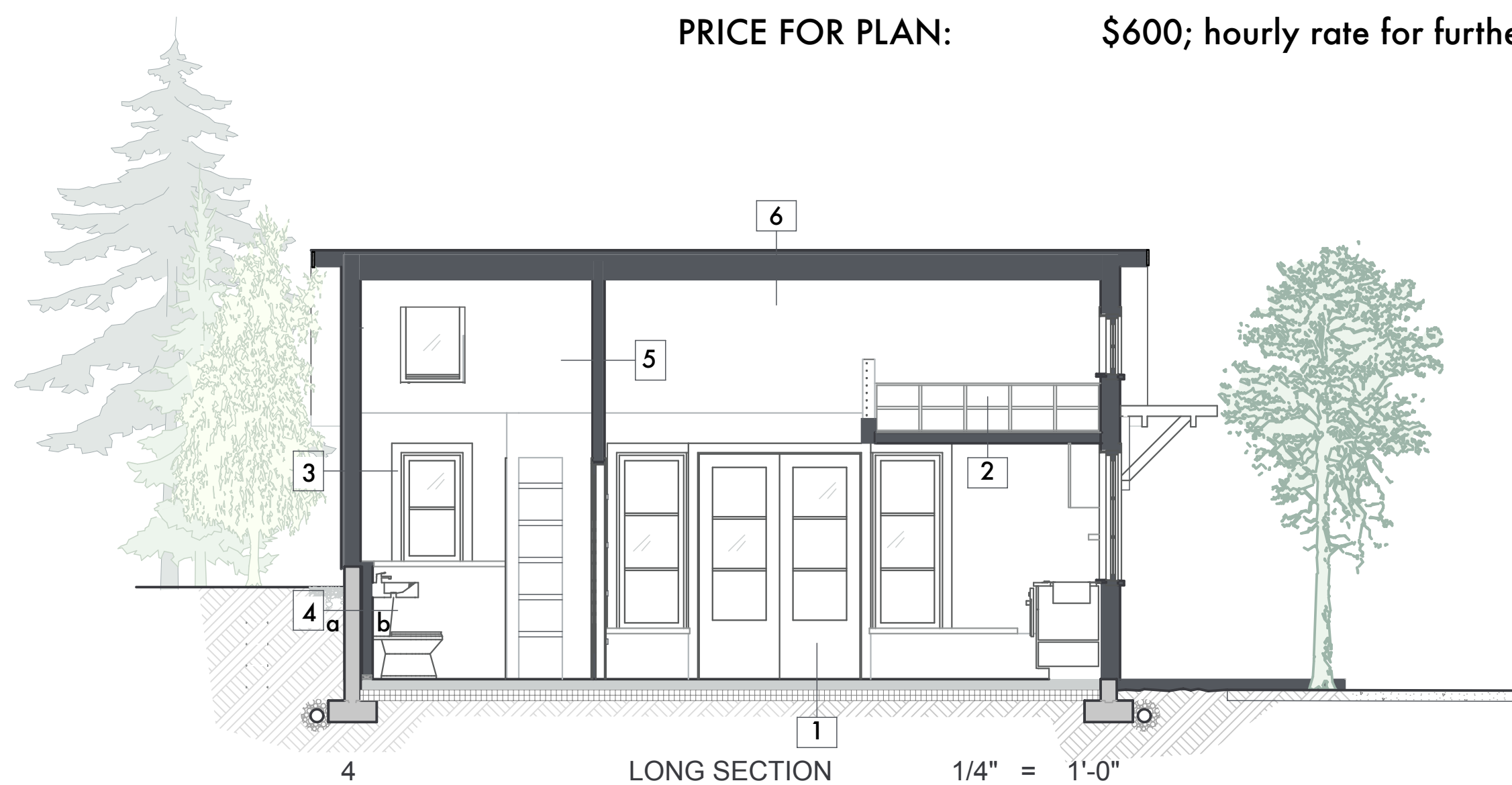
\$125k - 150k

### PRICE FOR PLAN:

\$600; hourly rate for further work is \$150/hr

### ASSEMBLIES:

- 1 1ST FLOOR ASSEMBLY  
 4" Clean Compacted Gravel  
 Vapor Barrier  
 Min. R-10 Rigid Insulation  
 4" Concrete Slab  
 Linoleum or Cork Flooring
- 2 LOFT FLOOR ASSEMBLY  
 4" T&G Structural Decking
- 3 TYPICAL EXTERIOR WALL  
 Painted Horizontal Cedar Bevel Siding  
 Vaproshield "Wrapshield SA" Membrane  
 1/2" Plywood Sheathing  
 2X6 Studs @ 16" O.C.  
 R-21 Batt Insulation  
 Certainteed "Membrain"  
 Painted 1/2" GWB
- 4a FOUNDATION WALL  
 Filter Fabric  
 Drain Rock  
 Stuc-O-Flex "Waterway" 11mm Drainage Mat  
 Vaproshield "Wrapshiled SA" Membrain  
 6" Concrete Foundation Wall (varying heights)
- 4b INTERIOR FURRED WALL varying hts  
 1 Cont. layer of 1/2" Rigid  
 2x4 Stud @ 16" O.C.  
 Min. R-21 Rigid Insulation (R-6/inch)  
 Painted 1/2" GWB
- 5 TYPICAL INTERIOR WALL  
 Painted 1/2" GWB  
 2x4 Studs 16 O.C.  
 Painted 1/2" GWB
- 6 ROOF ASSEMBLY  
 Asfalt Shingle Roofing  
 Felt Underlayment  
 5/8" Plywood Sheathing  
 2x8 Rafters 24" O.C.  
 1" Min. Air Space  
 Min. R-38 Rigid Insulation (R-6.5 per inch)  
 Painted 1/2" GWB



## SMALL FOOTPRINT DADU PROPOSAL

### Design Development

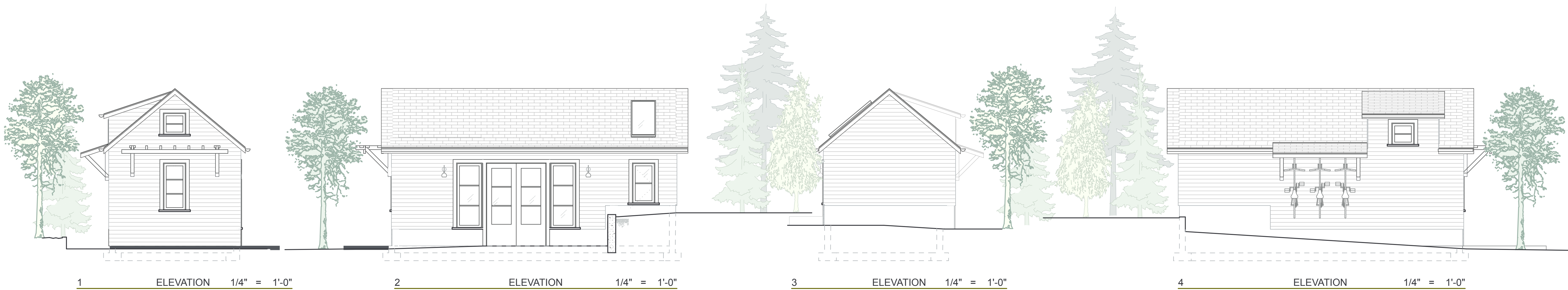
## Plans & Sections

DATE: 2/16/20

SHEET REFERENCE:

**DD.1**





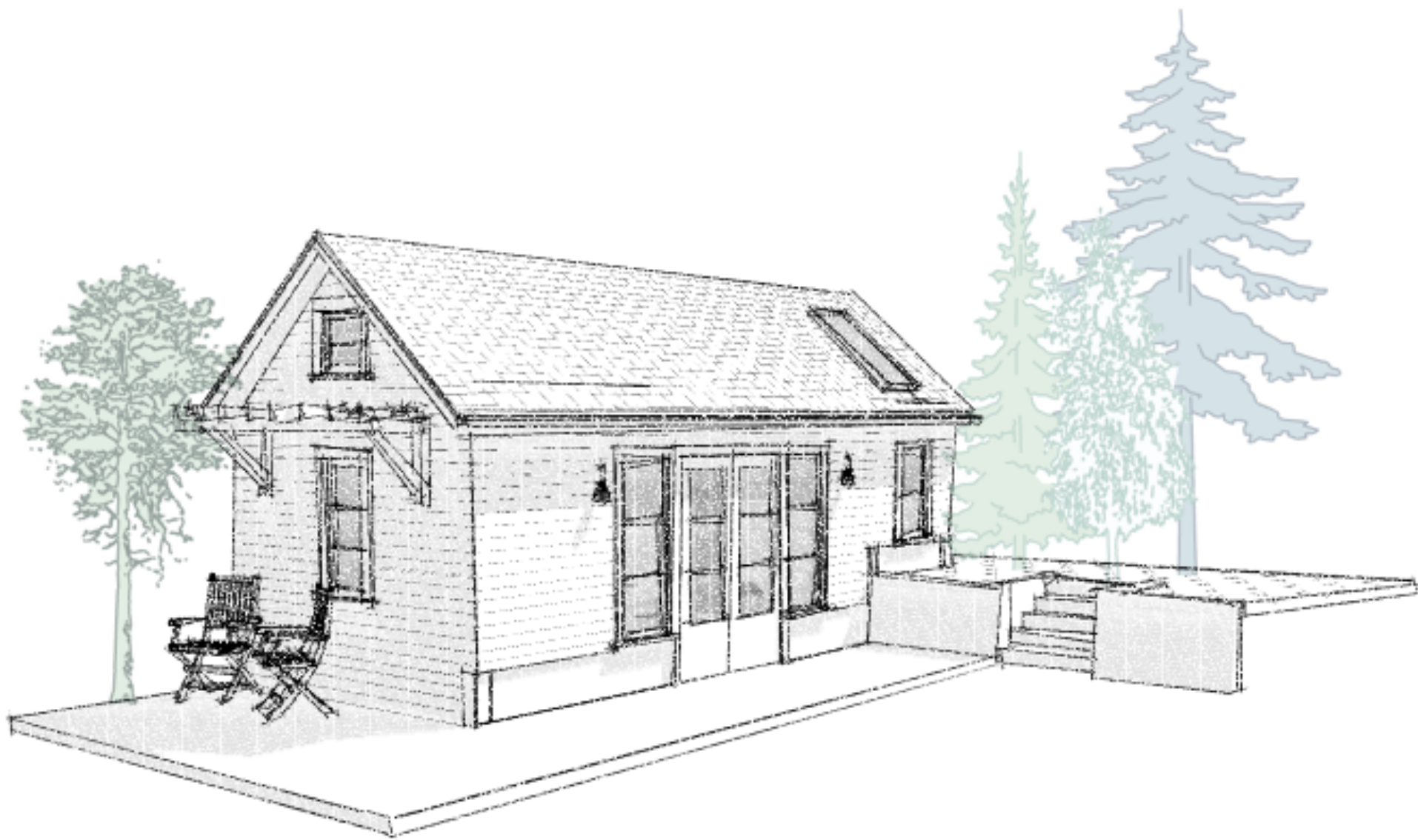
**MATERIALS:** Selections have been made based upon the following factors: ease of use, low maintenance, longevity, aesthetic value, cost value, renewable resource, locally produced and energy efficiency.

DECK	Composite Decking
1ST FL. FLOORING	Cork or Linoleum
WINDOW/DOORS	Sierra Pacific aluminum clad
LOFT	4" T&G Structural Decking
APPLIANCES	Blomberg, Energy Star rated
CABINETRY	Bellmont Cabinets
PLUMBING FIXTURES	Energy rated Kohler, Toto, Hans Grohe
LIGHTING	LED Lamping

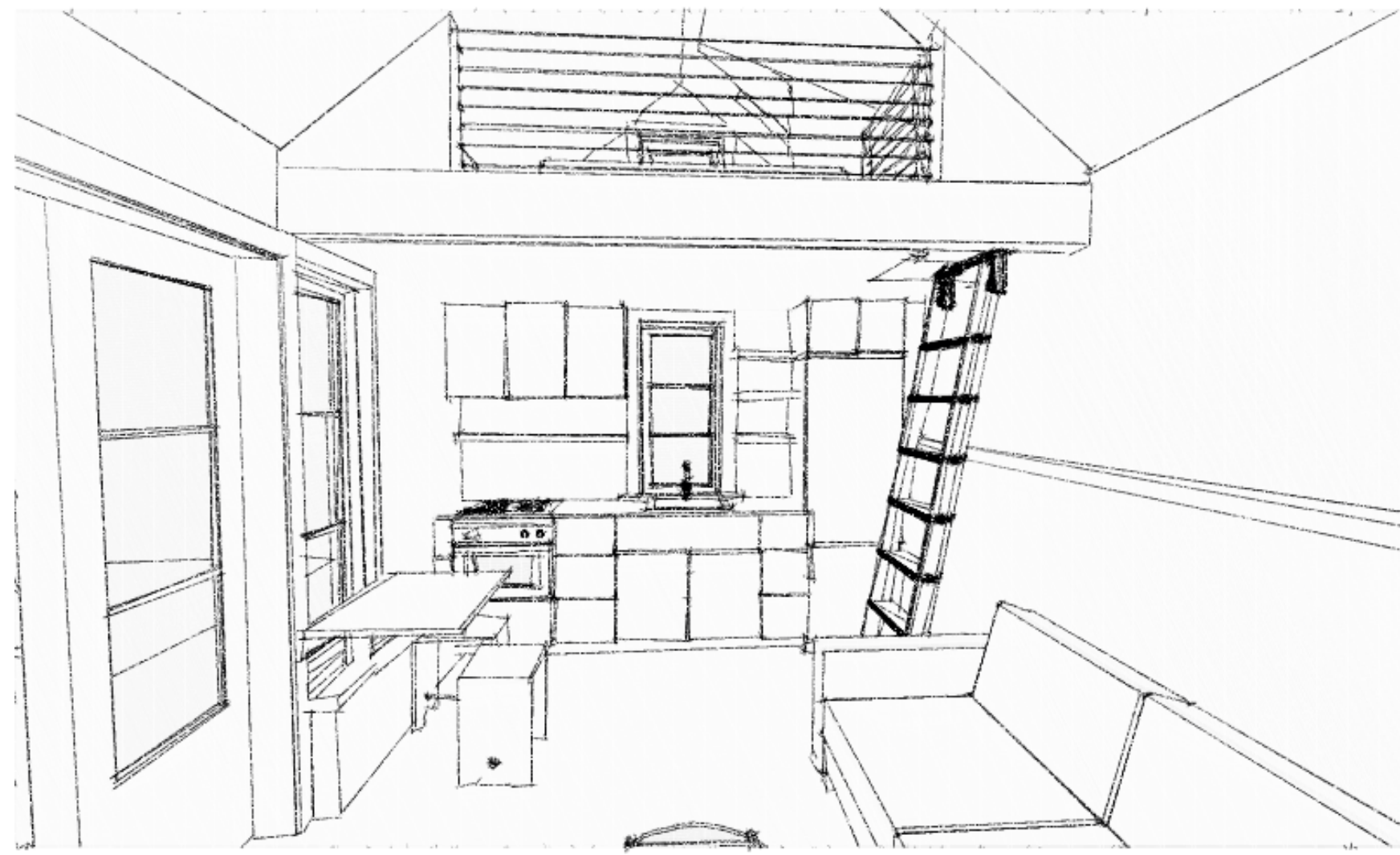
**NARRATIVE:** We are a woman owned business founded in 2004, comprised of nearly all women. Alexandra was born and raised in London, receiving her architectural degree and license in the UK prior to moving to Seattle and settling in Ballard. Our company's highest aim in providing design solutions for our clients, is balancing our vision for unique, timeless, quality design within the given budget constraints, all along caring for our environment. This proposed small footprint design meets the challenge of providing the following:

- **Low Cost** with a minimal approach, all aspects incorporated into the design matter. A small footprint means that no aspect is without necessity, undervalued or under-used. The costs involved are small in scale and high in quality.
- **Green building & design** We strive to design buildings and select products with a long lifespan, both in terms of functionality and aesthetics, to produce structures that are highly valued and last over time. We consider this one of the greenest approaches to our built environment. In addition to our goal of avoiding adding to land fills, other effective measures include: highly insulated floor, walls & ceiling - environmentally conscious materials proposed throughout - locally sourced windows/doors - low flow plumbing fixtures - small footprint helps avoid unnecessary disturbance to the environment - low grading impact on variety of lots
- **Privacy** Flexibility is key in allowing this design to easily be mirrored or flipped to fit into the existing environment, allowing views where its desired and privacy where it's not. With varying amounts of glazing on 3 sides of the structure along with a skylight, there is ample natural light within the space and a good connection to the surrounding landscape, with the ability to provide privacy as needed and desired. The Bathroom window would have obscured glazing and all other windows would rely on window treatment and/or exterior features such as screens, plants and trees for additional privacy.
- **Context** Simplicity keeps this cottage design functional, yet aesthetically pleasing; not being tied to a certain style or era. This cottage fits in well with the typical Seattle early 20th century home, but would also compliment homes built in more recent decades. With a low profile scale, the main home will remain the dominant feature, with this DADU enhancing and adding value to the lot as a whole.
- **Culturally responsive design** Spacially, the interior proponents can easily be altered to allow specific preferences based upon individual needs and interests.
- **Constructability** Given the small scale and traditional, off-the-shelf building components, this cottage allows ease in the construction process and a minimal time allowance for the construction duration. Once a contractor completes the building shell, owners have the ability to purchase and install interior products/materials if preferred.

**MECHANICAL:** HEATING & COOLING Heat Pump w/ Mini-split  
WATER HEATER On Demand Electric Hot Water Heater



5 EXTERIOR



6 INTERIOR



## SMALL FOOTPRINT DADU PROPOSAL

### Design Development

## Elevations & Sketches

DATE: 2/16/20  
SHEET REFERENCE:  
**DD.2**