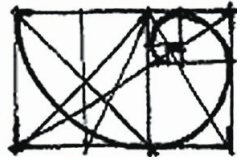


SDNW ADU ENTRY 4 - TESS' CARRIAGE HOUSE - SMALL FOOTPRINT



PROJECT SUBMITTED BY
S.A.G.E. DESIGNS NW ARCHITECTURE STUDIO INC
SAGE K. SASKILL ~ ARCHITECT
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206.963.1420

**S.A.G.E. DESIGNS NW
ARCHITECTURE
STUDIO
INCORPORATED**

*Savvy Artful
Green Environments*

PROJECT DESCRIPTION

This is a Tiny Carriage House - Overall footprint is 13' x 20' with an approximate gross of 228sf living space. The garage is footprint is also 13' x 20'.

**SAGE K. SASKILL
Architect
& Wizeguy**

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NARRATIVE

This project was designed to tuck in to the back yard of a home in NW Seattle. The concept was a studio apartment rentable to a university student. It was also conceived as a future 'getaway space' for the client who may want an art studio or a 2nd apartment in the city. Some of the features include a dorm style kitchen, a generous bathroom with laundry machines and the entire space is vaulted to give a roomier feel.

client
city of seattle

date
2.15.2020

Please note that I have included some of the construction documents to fulfill the submittal requirements such as construction assembly notes (materials) and room dimensions.

phase
adu entry

MAJOR MATERIALS & METHODS

Advanced framing - saves lumber and increases insulation;
Hardi siding, Plywood sheathing (not OSB), 5/8" GWB,
hardwood & tile (or marmoleum) flooring; Non-vented roof
assembly including a combination of spray foam & batts. See
Typical Construction Assembly Notes on Section Drawing for
additional information.

ESTIMATED CONSTRUCTION COST

\$225,000.00. COMPLETED IN 2020

MECHANICAL SYSTEMS INCLUDE

PANASONIC WHISPER GREEN WHOLE HOUSE FAN
DUCTLESS MINI SPLIT SYSTEM WITH ONE HEAD SERVING
2ND FLOOR LIVING SPACES.
INFRARED RADIANT HEAT PANEL AT BATHROOM
HEAT PUMP WATER HEATER IN GARAGE SPACE
CEILING FAN

PRICE FOR THE PLAN

\$1000.00
\$150.00/HR FOR ANY FURTHER WORK



SAVVY & ARTFUL

SDNW ADU ENTRY 4 - TESS' CARRIAGE HOUSE - SMALL FOOTPRINT

NEED PHOTOS

ABOUT SAGE

I consider myself a master space planner and especially a master of small spaces. In each new design challenge I strive to make every square foot count, if not every square inch. Privacy within the home as well as from outside as well as how the sun comes in to the building are also key components of every project. Sustainable materials and construction methods have been instrumental in my architecture practice for over 20 years. Thank you for considering my Entry in to the ADU Stock Plan Challenge.

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AIR LEAKAGE TESTING

THE BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS) PER SEC R402.4.12. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION.

EAVE REQUIREMENTS

FIREBLOCKING PROVIDED AT SOUTH & WEST PER CODE

EAVES WITHIN 5 FEET OF PROPERTY LINE PER SRC TABLE R502.1(1) FOOTNOTE 2. ROOF EAVE FIRE RESISTANCE RATING SHALL BE PERMITTED TO BE REDUCED TO 0 HOURS ON THE UNDERSIDE OF THE EAVE IF FIREBLOCKING IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING.

NO EAVE VENTING WILL BE ALLOWED AT THIS LOCATION.

VENTILATION SCHEDULE	
SYMBOL	
	CONTINUOUS WHOLE-HOUSE AIRFLOW RATE REQUIRED CFM PER 2015 SRC TABLE M1507.3.3(1)
1	LESS THAN 1500 SF / 0-1 BEDRMS. MIN. 30 CFM
2	100
3	50

NOTES:
1. WHOLE HOUSE FAN
11. PROVIDE 24-HR AUTO-TIMER W/ CONTINUOUS, AUTO, & MANUAL OPERATION.
12. SET TO RUN CONTINUOUS
13. PANASONIC WHISPER GREEN
2. USE 100 CFM (MIN) FAN - KITCHEN
3. USE 50 CFM (MIN) FAN - ALL OTHER LOCATIONS
4. ALL FANS TO VENT TO OUTSIDE (V.T.O.)
5. PROVIDE OUTDOOR AIR INLETS PER WINDOW SCHEDULE & NOTES
6. MECHANICAL VENTILATION TO COMPLY WITH SRC M1507
DISTRIBUTE OUTDOOR AIR INLETS PER SRC M1507.3.4.4

AIR INLETS PER SRC:
M1507.3.4.4 USING EXHAUST FAN
M1507.3.5.3 USING INTEGRATED WITH FORCED AIR SYSTEMS
M1507.3.6.5 USING SUPPLY FAN
M1507.3.7.3 USING HEAT RECOVERY

INSULATION SCHEDULE PER WSEC TABLE R402.1.1							
WALL	FLOOR S.O.B.	FLOOR	CEILING	VAULTED CEILING	BELOW GRADE	GLAZING	SKYLIGHT
R-21	R-10	R-30	R-49	R-38	R-10/15/21	U-0.30	U-0.50

NOTES:
1. R-VALUES ARE MINIMUMS
2. U-FACTORS ARE MAXIMUMS
3. 10 / 15 / 21 MEANS R-10 CONT. INSULATION ON THE EXT. OF THE WALL, OR R-15 CONT. INSULATION ON THE INT. OF THE WALL, R-21 INSULATION CAVITY PLUS THERMAL BREAK BTWN WALL & SLAB.
4. REFER TO WASHINGTON STATE ENERGY CODE FOR ADDITIONAL DETAILS & EXCEPTIONS.
5. BUILDER SHALL COMPLETE AND POST AN "INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION" WITHIN 3FT OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION.
6. WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM OF R-10 INSULATION.

ENERGY CREDIT SCHEDULE	
MANDATORY EFFICIENCY REQUIREMENTS PER 2015 SEATTLE ENERGY CODE TABLE R406.2	
SMALL DWELLING UNIT - 15 POINTS REQUIRED	
OPTION 3a - 10 POINTS - HIGH EFFICIENCY HVAC EQUIPMENT	
DUCTLESS MINI-SPLIT / HEAT PUMP EQUIPMENT: MITSUBISHI MZ-GH2NA ; SEER 231 (OR EQUIVALENT) HSPF (HEATING SEASONAL PERFORMANCE FACTOR) = 125 RATED COOLING CAPACITY = 1500 - 13600	
OPTION 5a - 05 POINTS - EFFICIENT WATER HEATING	
All showerhead and kitchen sink faucets installed in the house shall be rated at 1.75 GPM or less. All other lavatory faucets shall be rated at 1.0 GPM or less. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the maximum flow rates for all showerheads, kitchen sink faucets, and other lavatory faucets.	
SEE CODE FOR ADDITIONAL REQUIREMENTS	

WINDOW SCHEDULE						
MARK	QTY.	UNIT WIDTH	UNIT HEIGHT	TYPE	U-VALUE	NOTES
A	1	2'-0"	2'-0"	CASEMENT	30	T-6
B	1	2'-0"	2'-0"	CASEMENT	30	T-6, TRANSLUCENT
C	1	6'-0"	2'-8"	FIXED	30	T-6, 3 DIVIDED LITES
D	1	4'-0"	4'-0"	SLIDER	30	T-6, EGRESS
E	2	2'-0"	2'-0"	FIXED	30	T-6, HIGH

NOTES:
1. "U" VALUES TO BE NFRG CERTIFIED.
2. ALL UNITS INSULATED GLASS, GAPS FILLED WITH AR.
3. GLASS TO BE TEMPERED (SG) WHERE REQUIRED PER IRC SEC. R308.4
4. WINDOWS & DOORS SHALL LIMIT INFILTRATION PER ASTM D 2837
5. FRESH AIR INLETS (TRICKLE VENT) TO BE PROVIDED INTEGRAL TO WINDOW OR SEPARATE IN WALL EACH OCCUPIABLE SPACE PER SMC 403B6.1 LOCATE PER SMC 5012
6. NEW WINDOWS: MAX. U-VALUE = 0.30, TYP. PER WSEC

DOOR SCHEDULE						
MARK	QTY.	UNIT WIDTH	UNIT HEIGHT	TYPE	U-VALUE	NOTES
A	1	3'-0"	6'-8"	EXT. SOLID	14	KEYED SEPARATELY
B	1	8'-0"	7'-0"	ROLL UP	---	4-PANEL GARAGE DOOR
C	1	3'-0"	6'-8"	20 MIN. RATED	14	EGRESS, 1, 2
D	1	2'-10"	6'-8"	INT. SOLID	---	BARN W/ TRACK, OPENING = 2'-6"

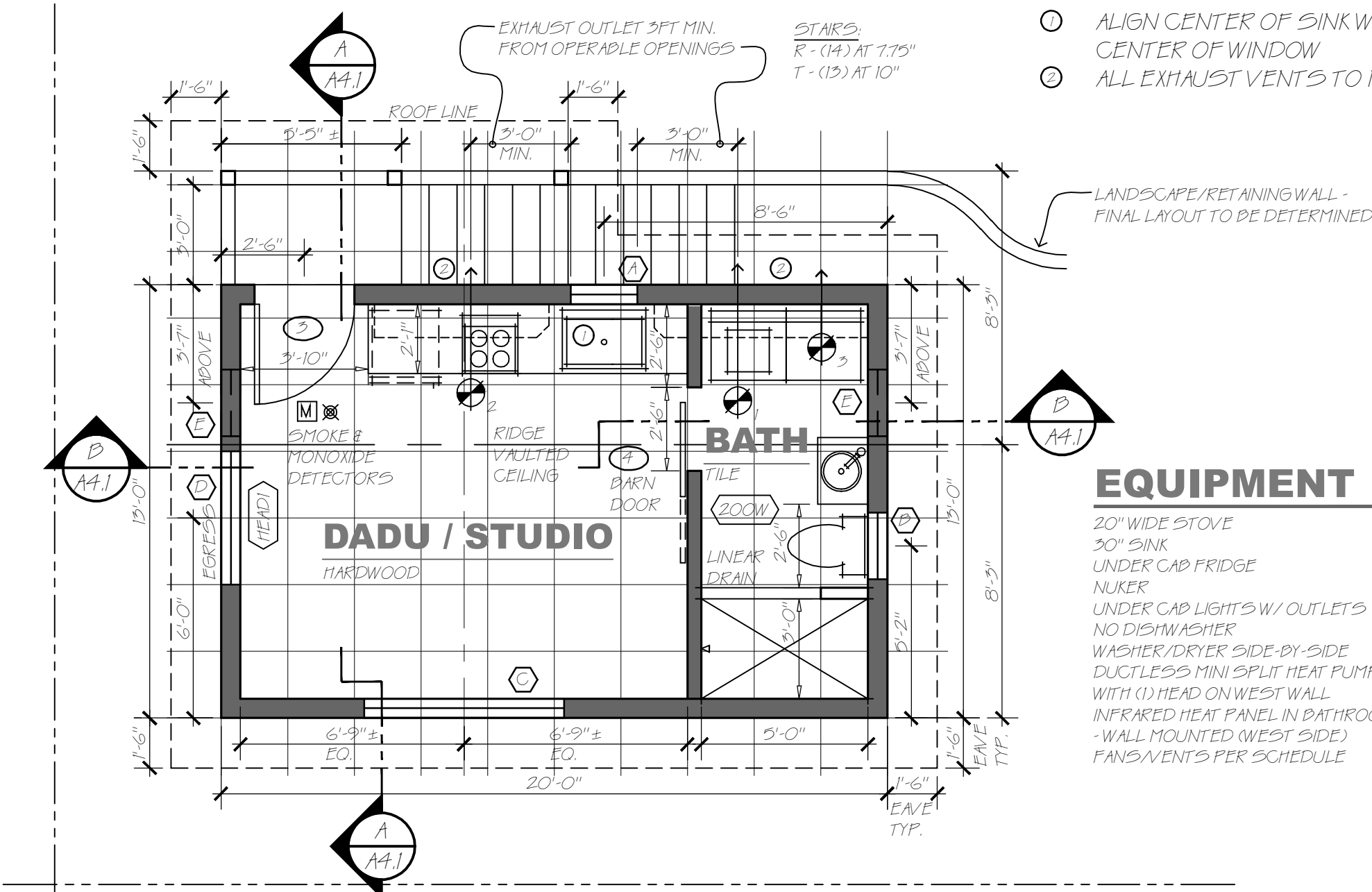
NOTES:
1. 20 MIN. RATED W/ PORTAL AT 4'-0" AFF.
2. 2'-8" CLR OPEN AT 90°

KEYED NOTES

- ALIGN CENTER OF SINK WITH CENTER OF WINDOW
- ALL EXHAUST VENTS TO NORTH

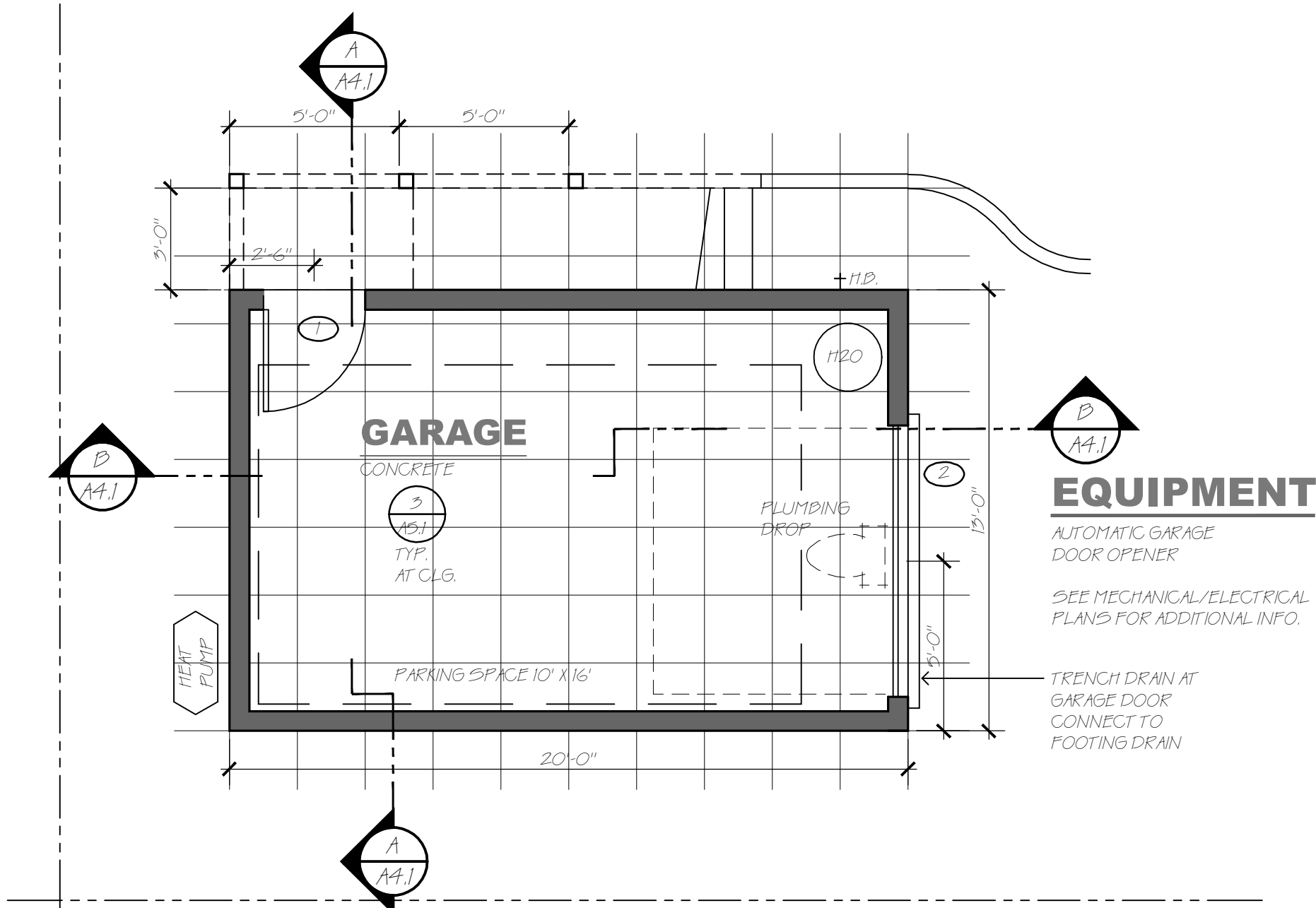
EQUIPMENT

20" WIDE STOVE
30" SINK
UNDER CAB FRIDGE
NUKER
UNDER CAB LIGHTS W/ OUTLETS
NO DISHWASHER
WASHER/DRYER SIDE-BY-SIDE
DUCTLESS MINI-SPLIT HEAT PUMP WITH (1) HEAD ON WEST WALL
INFRARED HEAT PANEL IN BATHROOM - WALL MOUNTED (WEST SIDE)
FANS/VENTS PER SCHEDULE



SECOND FLOOR PLAN - DWELLING

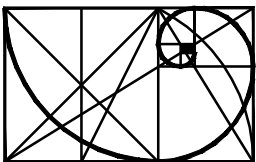
1/4" = 1'-0"



FIRST FLOOR PLAN - GARAGE

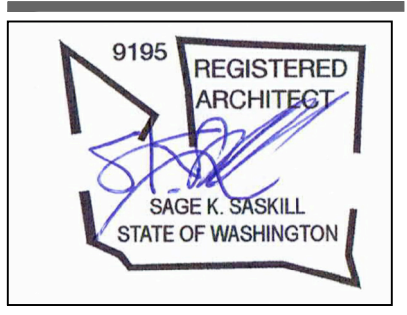
1/4" = 1'-0"

DIMENSIONS TO FACE OF FINISH AT WALLS, TYP.
CENTER OF WINDOWS & DOORS



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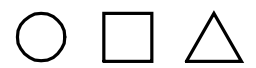
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dci approval:



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revision:
number | date
cycle 1 rev A 5.18.2018

owner:
chapman

address:
4541 49th ave ne
seattle wa 98105

project #s:
sdnw 160129
dci 6525318

phase:
permit
submittal
date:
20 april 2018

drawing title:
floor plans
schedules

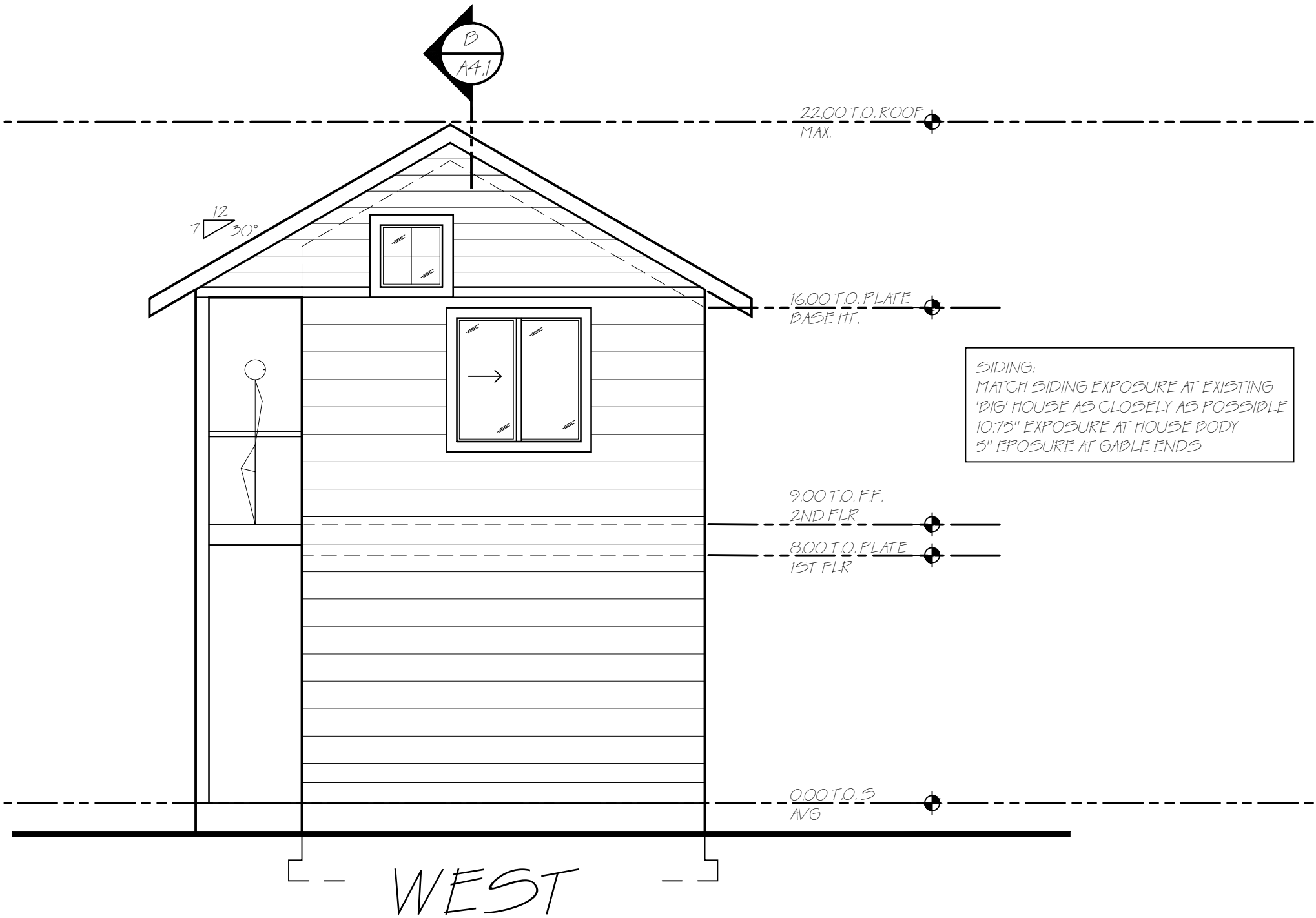
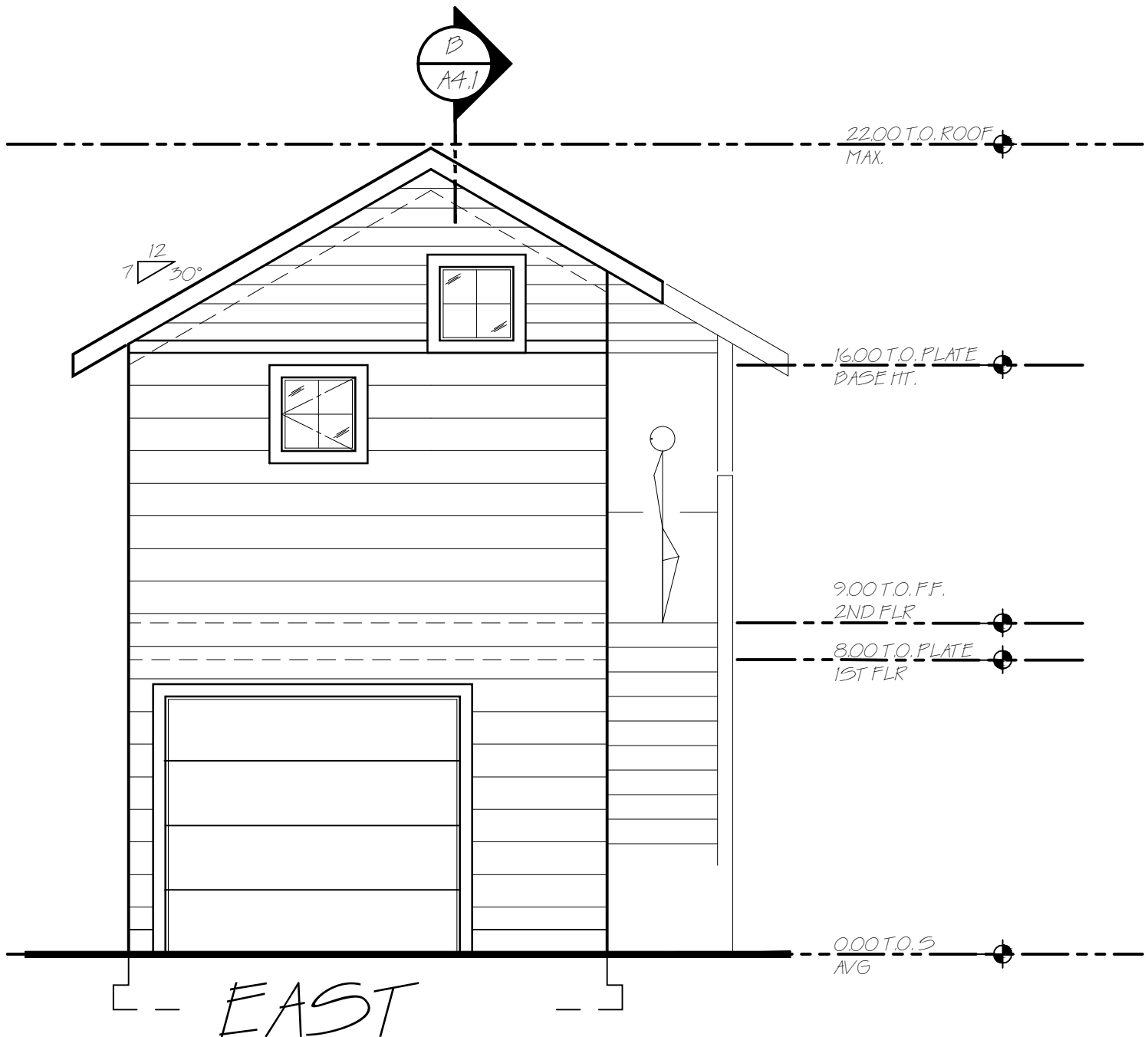
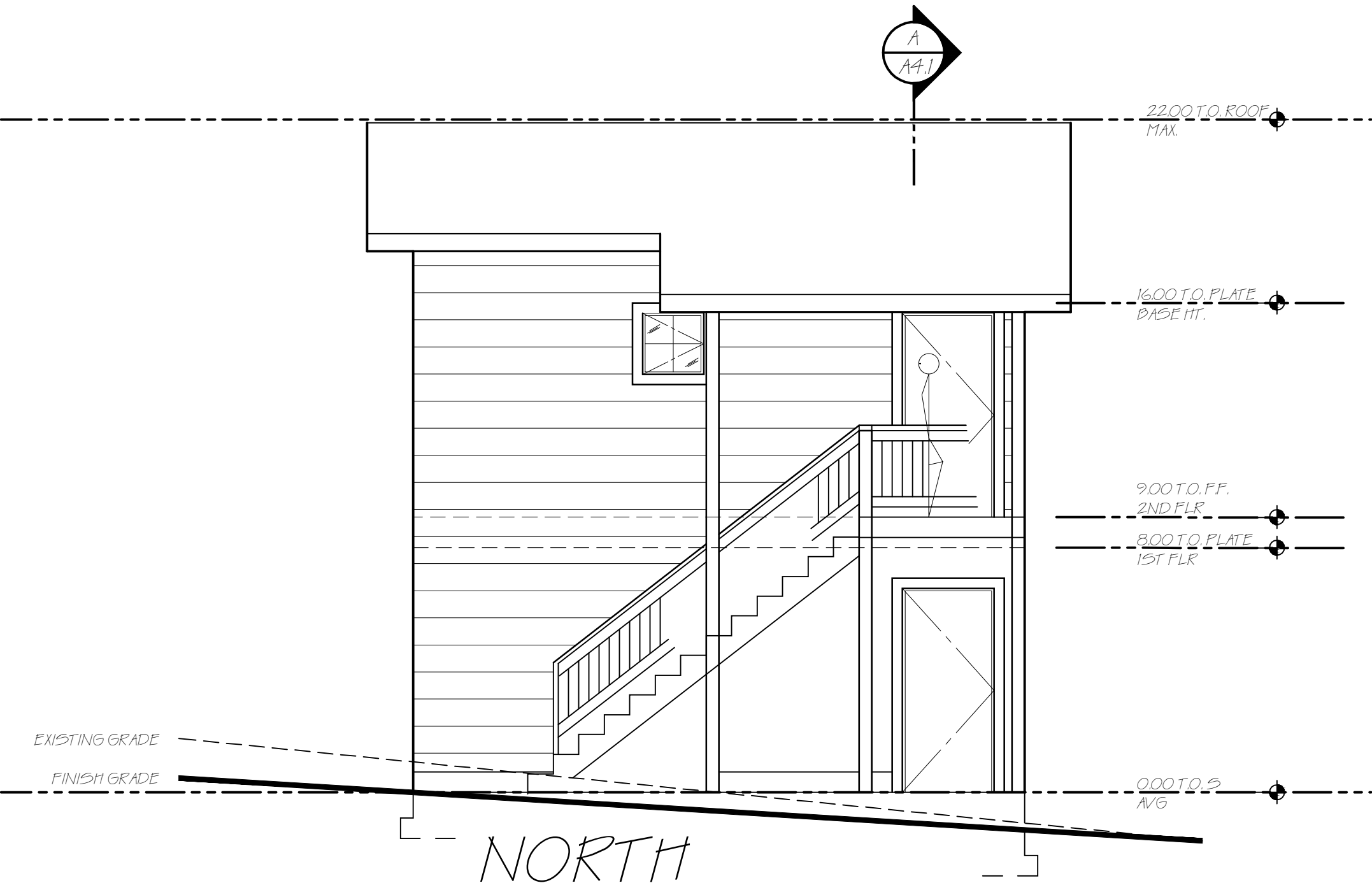
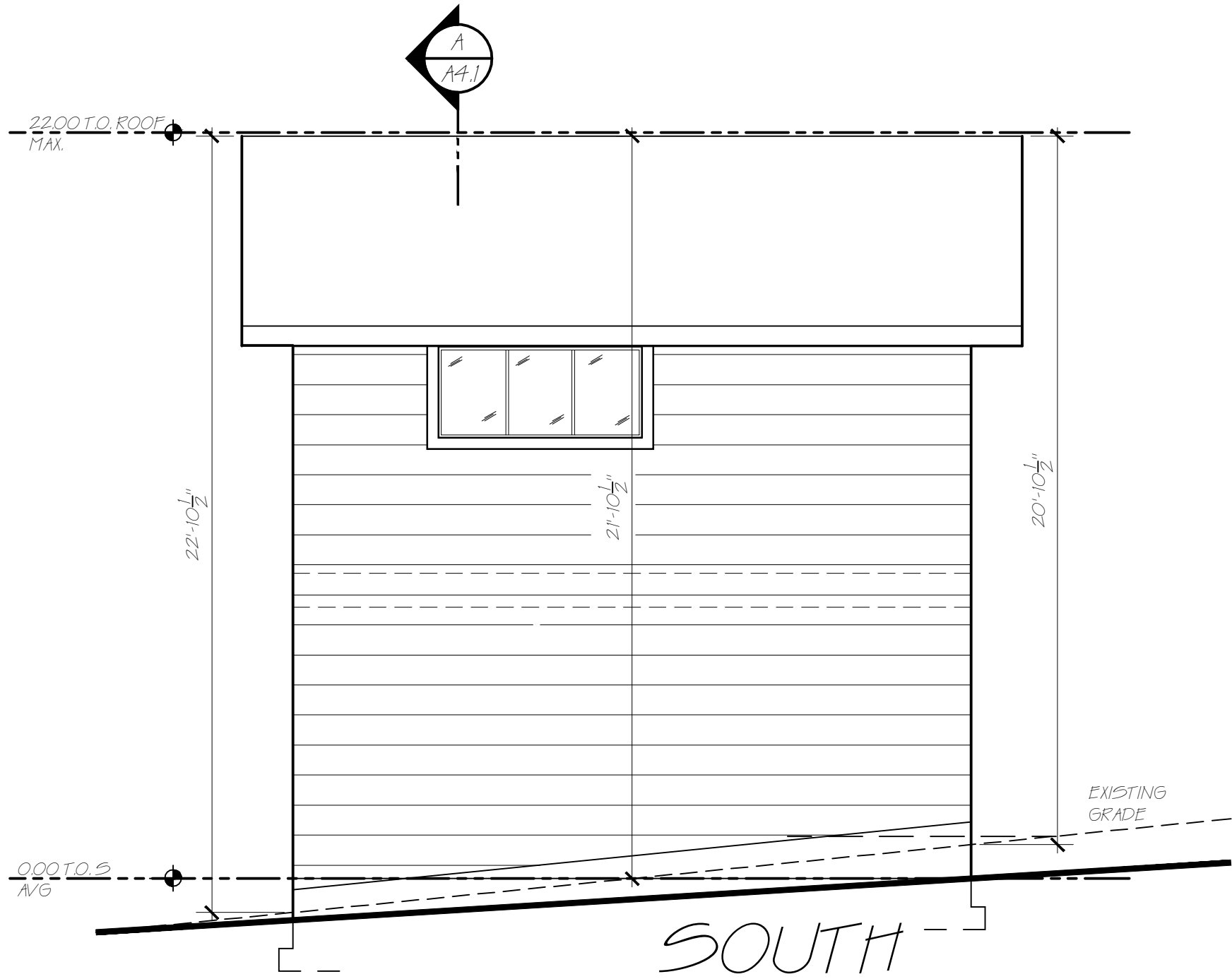
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1/4" = 1'-0"

sheet:

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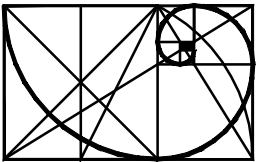
A NEW CARRIAGE HOUSE FOR TESS

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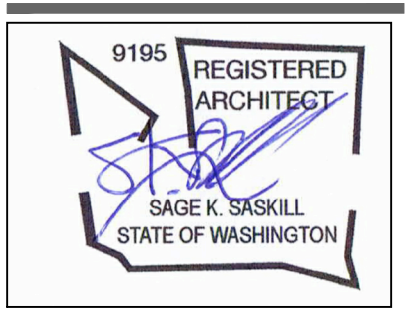
EXTERIOR ELEVATIONS

1/8" = 1'-0"



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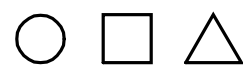
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chapman

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seattle wa 98105**

project #s:
**sdnw 160129
dci 6525318**

phase:
**permit
submittal**

date:
20 april 2018

drawing title:
**exterior
elevations**

scale:
1/8" = 1'-0"

sheet:
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STAIRWAY REQUIREMENTS

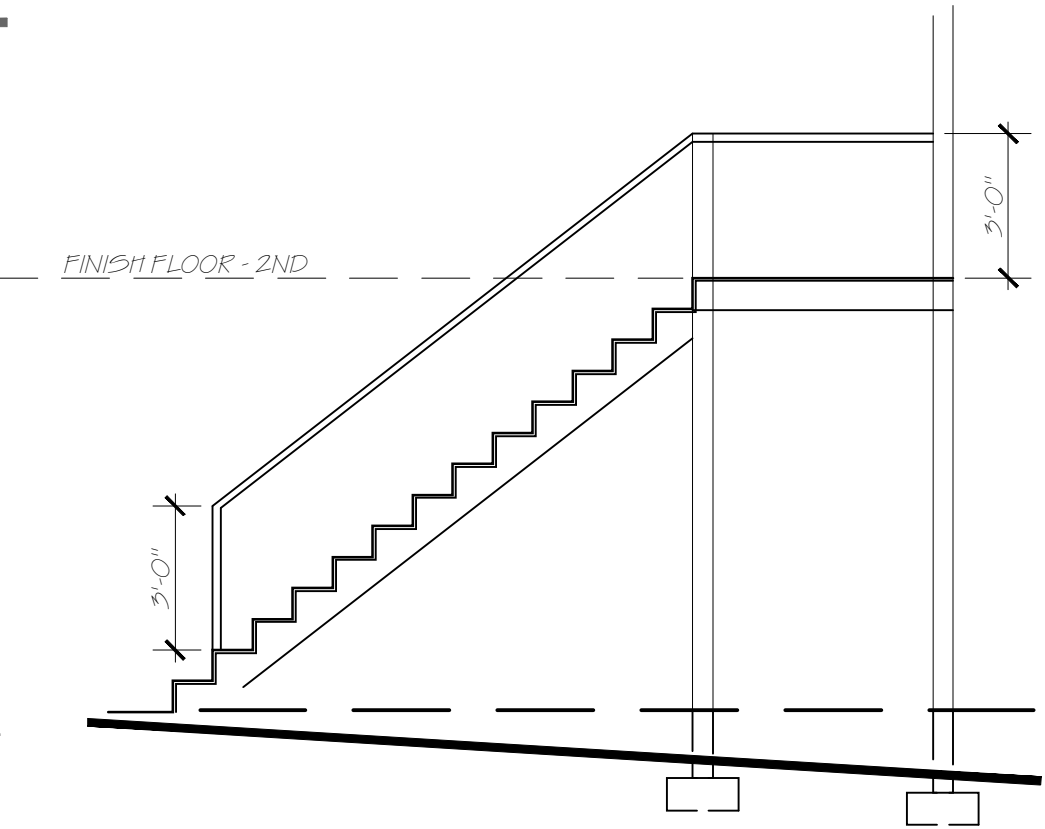
STAIR SECTION (TYPICAL)
FRAMING PER STRUCTURAL

- STAIRWAY REQUIREMENTS PER SRC R311.7:
- WIDTH - 36" MINIMUM
 - RISER - 7-3/4" MAX.
 - TREAD - 10" MIN.
 - HEADROOM - N/A
 - LANDING - 3'-5" +/-
 - VERTICAL - 12'-0" MAX. RISE (9'-0" THIS PROJECT)

HANDRAIL/GUARDRAIL REQUIREMENTS PER SRC R311.7.8 & SRC R312:

- LOCATION AT 34-38 INCHES ABOVE STAIR NOSING
- GRASP DIMENSION BETWEEN 1-1/4-2 INCHES
- PROVIDE CONTINUOUS HANDRAIL OR TERMINATE AT NEWEL POSTS OR SAFETY TERMINAL
- WHERE USED AS GUARDRAIL, MAXIMUM OPENING OF 4 INCHES

IF ENCLOSED - UTILIZE UNDER-STAIR PROTECTION PER SRC R302.7:
1/2" MIN. GWB SHALL BE INSTALLED AT THE UNDERSIDE OF THE ENCLOSED ACCESSIBLE UNDERSTAIR SPACE.



TYPICAL CONSTRUCTION ASSEMBLY NOTES

THIS IS AN ADVANCED FRAMED PROJECT

GARAGE FLOOR ASSEMBLY:

CONCRETE SLAB PER STRUCTURAL
VAPOR BARRIER PER STRUCTURAL
SUBSTRATE PER STRUCTURAL
FOOTINGS PER STRUCTURAL

ADU/STUDIO FLOOR CONSTRUCTION:

FINISH FLOORING PER PLANS
-HARDWOOD AT STUDIO, TILE AT BATH
FLOOR SHEATHING PER STRUCTURAL
2x10 WOOD FRMG @ 16" O.C. PER STRUCTURAL
RECESSED SLOT AT SHOWER FOR LINEAR DRAIN
1-HR CEILING PER DETAIL

EXTERIOR WALLS TYPICAL:

2X6 FRAMING AT 24" O.C. PER STRUCTURAL
R-21 INSULATION MINIMUM
PLYWOOD SHEATHING PER STRUCTURAL
BUILDING PAPER PER CONTRACTOR'S CHOICE
HARDI SIDING PER ELEVATIONS
10.75" & 5" EXPOSURE AS INDICATED
5/8" GWB INTERIOR TYPICAL
WOOD BASE TRIM TYPICAL

ROOF/CEILING ASSEMBLY:

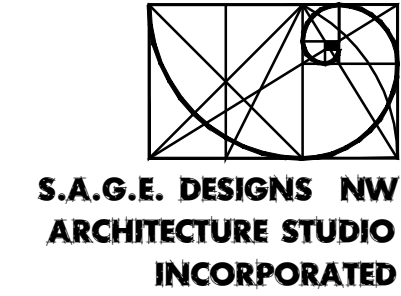
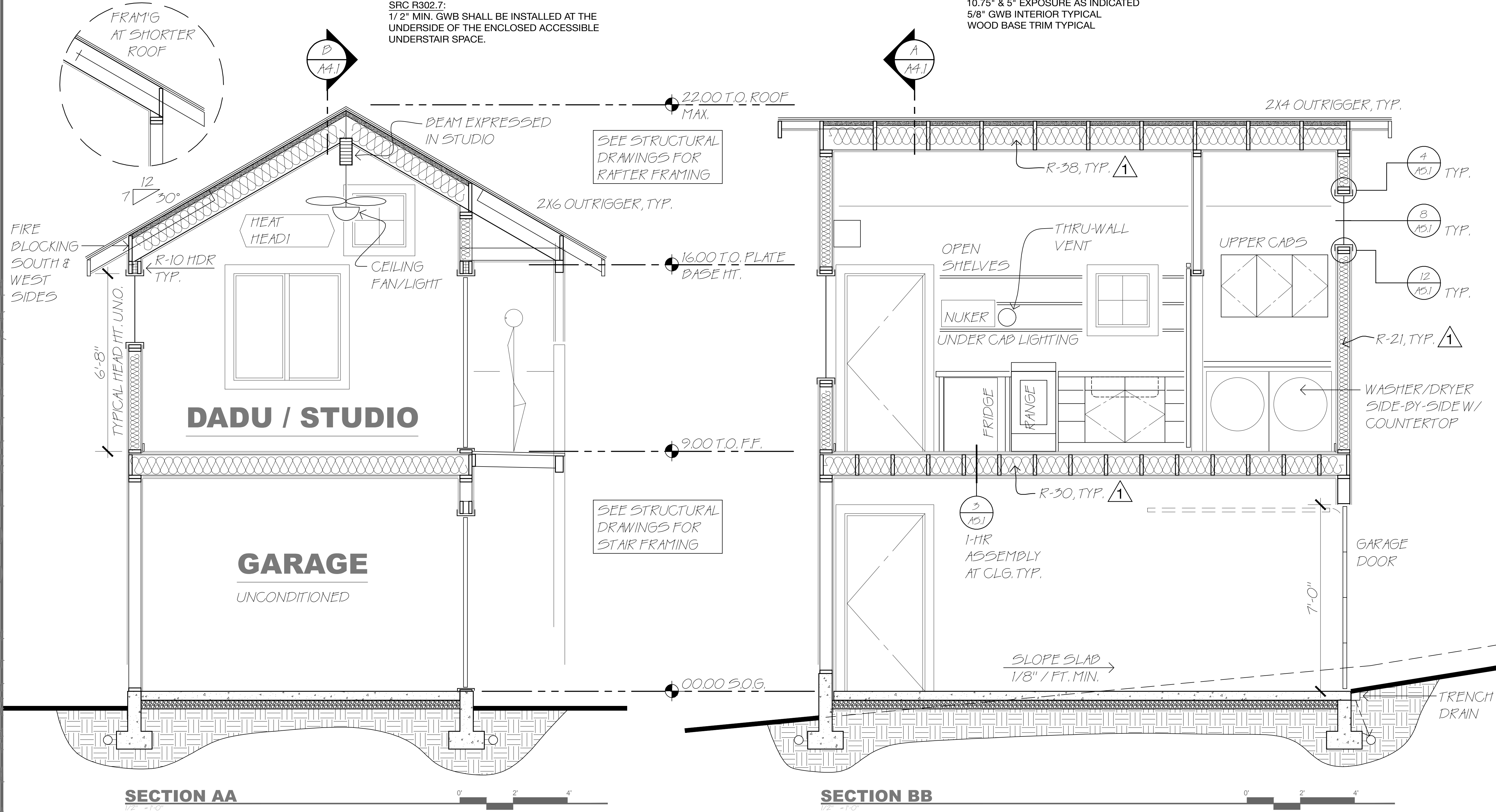
ROOFING - ARCHITECTURAL COMPOSITION SHINGLES
-30-YEAR / COLOR TO MATCH BIG HOUSE
GRACE VYCOR ENTIRE SURFACE
RAFTER FRAMING AT 24" O.C. PER STRUCTURAL
NON-VENTED ASSEMBLY PER SECTIONS
SPRAY FOAM INSULATON - 1" MINIMUM
R-38 BATT INSULATION MINIMUM
5/8" GWB INTERIOR TYPICAL

EAVE/SOFFIT CONSTRUCTION:

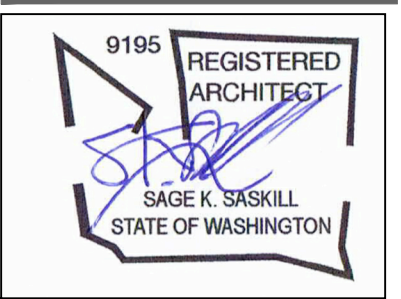
FRAMING PER PLANS
HARDI SOFFIT PANEL, TYPICAL

INTERIOR WALL:

2x4 FRAMING AT 16" O.C.
5/8" GWB EACH SIDE TYPICAL
WOOD BASE TRIM AT STUDIO
TILE BASE TRIM AT BATH



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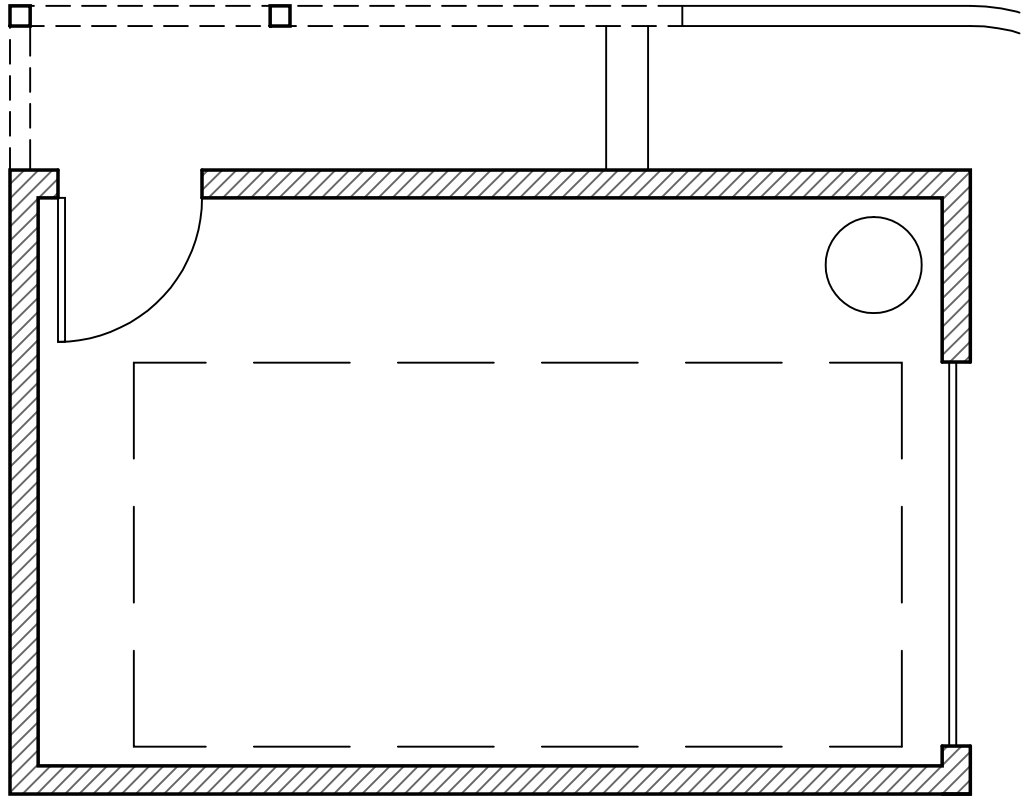
project #s:
**sdnw 160129
dci 6525318**

phase:
**permit
submittal**
date:
20 april 2018

drawing title:
**building
sections**

scale:
1/2" = 1'-0"

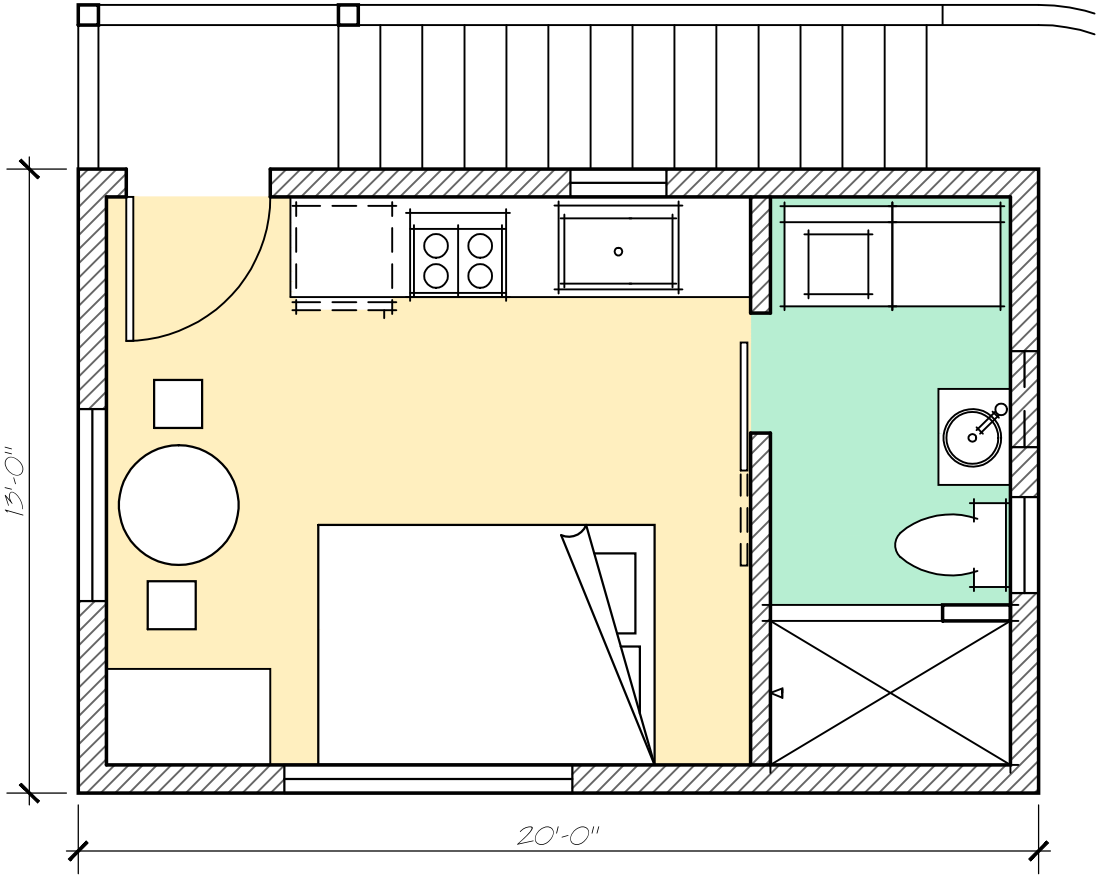
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FIRST FLOOR PLAN - GARAGE

1/2" = 1'-0"

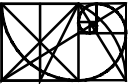
0' 2' 4'



SECOND FLOOR PLAN - APARTMENT

1/4" = 1'-0"

0' 2' 4'



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**PRELIMINARY
RELEASE**
-- not for use in construction --

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revision:
number|date

owner:
chapman

address:
**4541 49th ave ne
seattle wa 98105**

project #s:
**sdnw 160129
dci 6525318**

phase:
**design
development**

date:
24 october 2017

drawing title:
floor plan

scale:
1/4" = 1'-0"

sheet:
dd2.2





