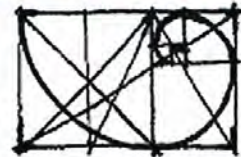


## SDNW ADU ENTRY 2 - MOLLY'S GRANNY/NANNY FLAT - ACCESSIBLE DESIGN & FAMILY-FRIENDLY DADU

PROJECT SUBMITTED BY  
S.A.G.E. DESIGNS NW ARCHITECTURE STUDIO INC  
SAGE K. SASKILL ~ ARCHITECT  
SAGE@SAGEDESIGNSNW.BIZ  
206.963.1420



**S.A.G.E. DESIGNS NW  
ARCHITECTURE  
STUDIO  
INCORPORATED**

*Savvy Artful  
Green Environments*

### PROJECT DESCRIPTION

DADU with a 22' x 26' footprint and a 10' x 21' loft space.  
Gross sf of the living space comes in at approximately 735sf.  
This project was designed when the allowable maximum size was 800sf.

**SAGE K. SASKILL  
Architect  
& Wizeguy**

sage@sagedesignsnw.biz  
206.963.1420  
sagedesignsnw.biz

### NARRATIVE

This is a true Granny Flat the backyard of the client's daughter's home. Family includes her daughter's husband, twins, and an infant). Granny Molly is part of the caregiver team for the three kids and this place is a lovely well-functioning multigenerational property. Key components of the design include excellent natural light and also very well placed artificial lighting. The client is an elder person with poor eyesight so this was a design element from the beginning. Project also features passive solar design (see sections) by key placement of a set of transom windows, lots of south windows on the main level. Strategic window placement combined with eave sizing allows the winter and 'shoulder month' light to come in while blocking the summer solstice sun. This home is also designed for 'aging in place' or universal design features such as wide doorways, roll-in shower, raised laundry machines and several other accessible design features. This cottage has been on the Northwest Ecobuilding Guild's Green Home Tour twice and is well loved by all who visit. It is a very comfortable space with lots of light and good flow. Excellent layout and use of space for one person and the kids can play in the loft without creating trip hazards with toys scattered on the main level. Another design element worth noting was the desire of the client family for this dwelling to "look like it has always been there". This was accomplished with a palate of materials and colors to match the existing house and trim complete with a new trellis to mimic the existing heavy timber patio trellis at the "big house".

**client**  
city of seattle

**date**  
2.15.2020

**phase**  
adu entry



Though some of the DD drawings show a stair this proved to occupy too much floor space so a ladder was utilized.

Please note that I have included some of the construction documents to fulfill the submittal requirements such as construction assembly notes (materials) and room dimensions.

**SAVVY & ARTFUL**

## **SDNW ADU ENTRY 2 - MOLLY'S GRANNY/NANNY FLAT - ACCESSIBLE DESIGN & FAMILY-FRIENDLY DADU**

ESTIMATED CONSTRUCTION COST  
\$250,000.00. - COMPLETED IN 2017

MECHANICAL SYSTEMS INCLUDE  
PANASONIC WHISPER GREEN WHOLE HOUSE FAN  
DUCTLESS MINI SPLIT SYSTEM WITH TWO HEADs - ONE IN  
THE MAIN LIVING SPACE AND ONE IN THE BEDROOM. Note:  
Though according to the HVAC rep one head would handle the  
volume, it was critical that the bedroom could be cooled so  
rather than take a gamble on the empirical numbers, we put in  
a second head.  
RADIANT HEAT PANELS FOR SUPPLEMENTAL HEAT AT LOFT  
ON-DEMAND WATER HEATER

PRICE FOR THE PLAN  
\$1000.00  
\$150.00/HR FOR ANY FURTHER WORK

### **ABOUT SAGE**

I consider myself a master space planner and especially a  
master of small spaces. In every design I strive to make every  
square foot count if not every square inch. Privacy within the  
home as well as from outside as well as how the sun comes in  
to the building are also key components of every project.  
Sustainable materials and construction methods have been  
instrumental in my architecture practice for over 20 years.  
Thank you for considering my Entry in to the ADU Stock Plan  
Challenge.

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**SAVVY & ARTFUL**





WINDOW SCHEDULE						
MARK	QTY.	UNIT WIDTH	UNIT HEIGHT	TYPE	U-VALUE	NOTES
Ⓐ	2	8'-0"	4'-2"	COMBINED	.30	1-5, SEE ELEVATIONS OR PROFILE
Ⓑ	5	2'-0"	2'-0"	HOPPER	.30	1-5, OPAQUE AT PATH
Ⓒ	1	2'-6"	2'-11" ±	FIXED	.30	1-5, HIGH WINDOW, TRUE HEXAGON
Ⓓ	2	6'-0"	2'-0"	COMBINED	.30	1-5, SEE ELEVATIONS OR PROFILE
Ⓔ	1	3'-0"	2'-0"	FIXED	.30	1-5
NOTES:						
A. SEE ELEVATION DRAWINGS FOR SAFETY GLASS (SG) LOCATIONS.						
NEW WINDOW NOTES:						
1. "U" VALUES TO BE NFRC CERTIFIED.						
2. GLASS TO BE TEMPERED (SG) WHERE REQUIRED PER IRC SEC. R308.4						
3. WINDOWS & DOORS SHALL LIMIT INFILTRATION PER ASTM 5 28-73.						
4. WINDOWS MAX U-VALUE = 0.30, TYP. PER WSEC TABLE 13-1						
5. FRESH AIR INLETS (TRICKLE VENT) TO BE PROVIDED INTEGRAL TO WINDOW OR SEPARATE IN WALL EACH OCCUPABLE SPACE PER SMC 403B.61.						

DOOR SCHEDULE							
MARK	QTY	UNIT WIDTH	UNIT HEIGHT	TYPE	U-VALUE	LOCATION	NOTES
Ⓛ	1	3'-0"	6'-8"	EXT. 25% GLASS	.30	ENTRY	
Ⓜ	PAIR	2'-0" EA	7'-0"	INT. SOLID		BEDROOM	BARN DOOR (SLAB)
Ⓝ	1	2'-0"	7'-0"	INT. SOLID		COAT CL	BARN DOOR (SLAB)
Ⓞ	1	3'-4"	7'-0"	INT. SOLID		BATHROOM	BARN DOOR (SLAB)
Ⓟ	PAIR	4'-2" ±	6'-8"	INT. SOLID		BEDRM CL	BARN DOOR (SLAB)

**EAVE REQUIREMENTS**  
FIREBLOCKING PROVIDED AT NORTH PER CODE

EAVES WITHIN 5 FEET OF PROPERTY LINE (NORTH) PER SRC TABLE R302.1 (1) FOOTNOTE a.  
ROOF EAVE FIRE-RESISTANCE RATING SHALL BE PERMITTED TO BE REDUCED TO 0 HOURS ON THE UNDERSIDE OF THE EAVE IF FIREBLOCKING IS PROVIDED FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING.

NO EAVE VENTING WILL BE ALLOWED AT THIS LOCATION.

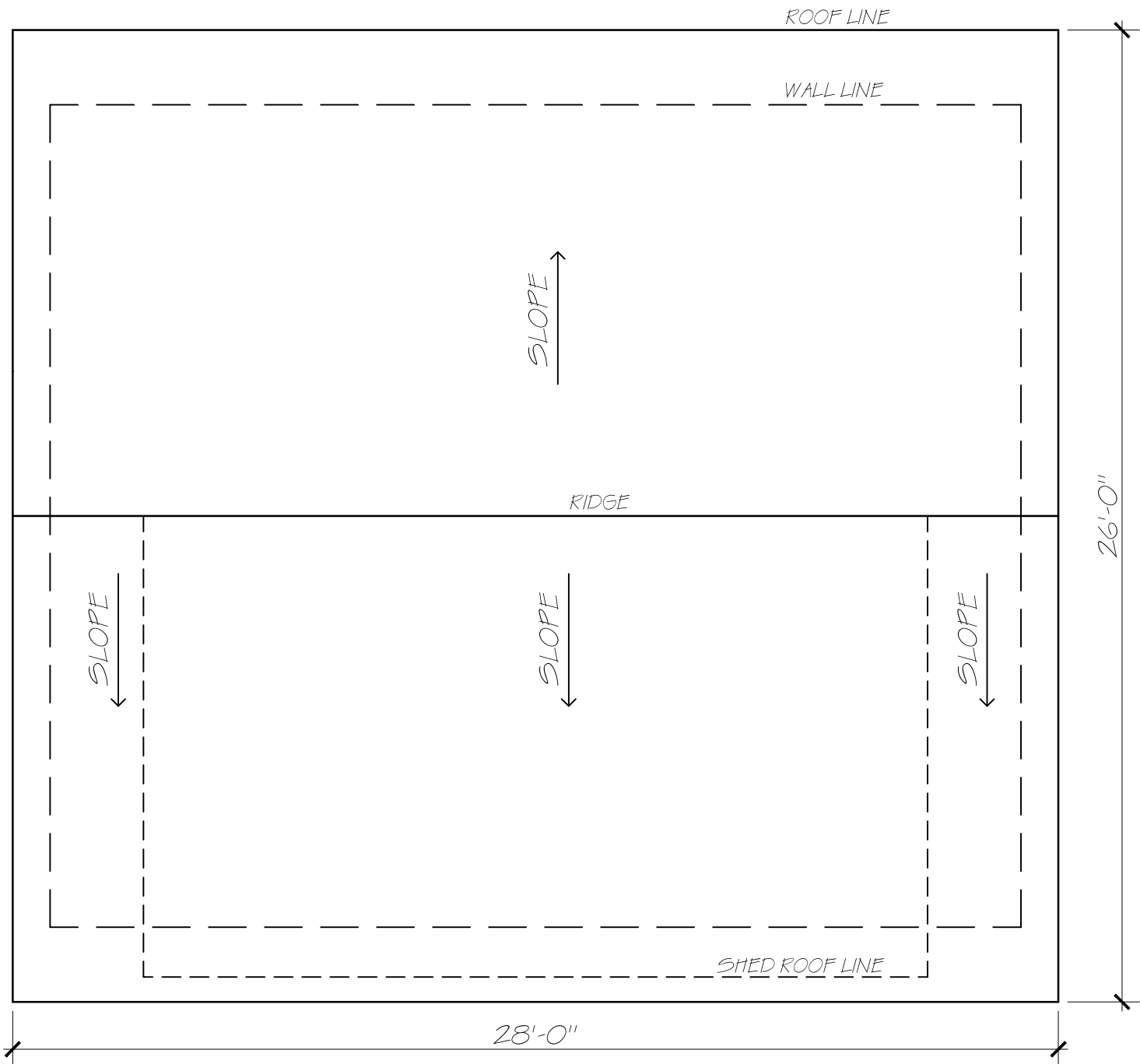
**AIR LEAKAGE TESTING**

THE BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A FLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS) PER SEC R402.4.12. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION.

VENTILATION SCHEDULE	
SYMBOL	CONTINUOUS WHOLE-HOUSE AIRFLOW RATE REQUIRED CFM PER 2012 SRC TABLE M1507.3.3(1)
↻	LESS THAN 1500 SF / 2-3 BEDRMS MIN. 45 CFM
↻	100
↻	50
NOTES:	
1. WHOLE HOUSE FAN	
11. PROVIDE 24-HR AUTO-TIMER W/ CONTINUOUS, AUTO, & MANUAL OPERATION.	
12. SET TO RUN CONTINUOUS	
13. PANASONIC WHISPER GREEN	
2. USE 100 CFM (MIN) FAN & KITCHEN	
3. USE 50 CFM (MIN) FAN & ALL OTHER LOCATIONS	
4. ALL FANS TO VENT TO OUTSIDE (VTO)	
5. PROVIDE OUTDOOR AIR INLETS PER WINDOW SCHEDULE & NOTES	
6. MECHANICAL VENTILATION TO COMPLY WITH SRC M1507	
⚠️ DISTRIBUTE OUTDOOR AIR INLETS PER SRC M1507.3.4.4	

INSULATION SCHEDULE PER WSEC TABLE R402.1.1							
WALL	FLOOR SOB	FLOOR	CEILING	VAULTED CEILING	BELOW GRADE	GLAZING	SKYLIGHT
R-21	R-10	R-50	R-49	R-38	R-10/15/21	U-0.30	U-0.50
NOTES:							
1. R-VALUES ARE MINIMUMS							
2. U-FACTORS ARE MINIMUMS							
3. 10/15/21 MEANS R-10 CONT. INSULATION ON THE EXT. OF THE WALL, OR R-15 CONT. INSULATION ON THE INT. OF THE WALL, R-21 INSULATION CAVITY PLUS THERMAL BREAK BTWN WALL & SLAB.							
4. REFER TO WASHINGTON STATE ENERGY CODE FOR ADDITIONAL DETAILS & EXCEPTIONS.							
5. BUILDER SHALL COMPLETE AND POST AN "INSULATION CERTIFICATE FOR RESIDENTIAL CONSTRUCTION" WITHIN 3FT OF THE ELECTRICAL PANEL PRIOR TO FINAL INSPECTION							
6. APPLIED SPRAY FOAM MUST BE INSTALLED BY A CERTIFIED INSTALLER							
61. PRODUCT: SPRAYTITE by PASF Corporation, ESR-2642.							
62. ICC ESR REPORT FOR PRODUCT USED MUST BE PROVIDED ON JOB SITE.							
63. INSTALLED PER SRC R506.55.3, AIR IMPERMEABLE & AIR PERMEABLE INSULATION.							

ENERGY CREDIT SCHEDULE	
MANDATORY EFFICIENCY REQUIREMENTS PER 2012 SEATTLE ENERGY CODE TABLE R406.2	
SMALL DWELLING UNIT = 0.5 POINTS REQUIRED	
OPTION 3b = 1.0 POINTS - HIGH EFFICIENCY HVAC EQUIPMENT / SEE CODE FOR ADDITIONAL REQUIREMENTS	
DUCTLESS MINI-SPLIT / HEAT PUMP      EQUIPMENT: MITSUBISHI MXZ-2B20NAH1      SEEK 180	



ROOF PLAN

**EQUIPMENT LIST**

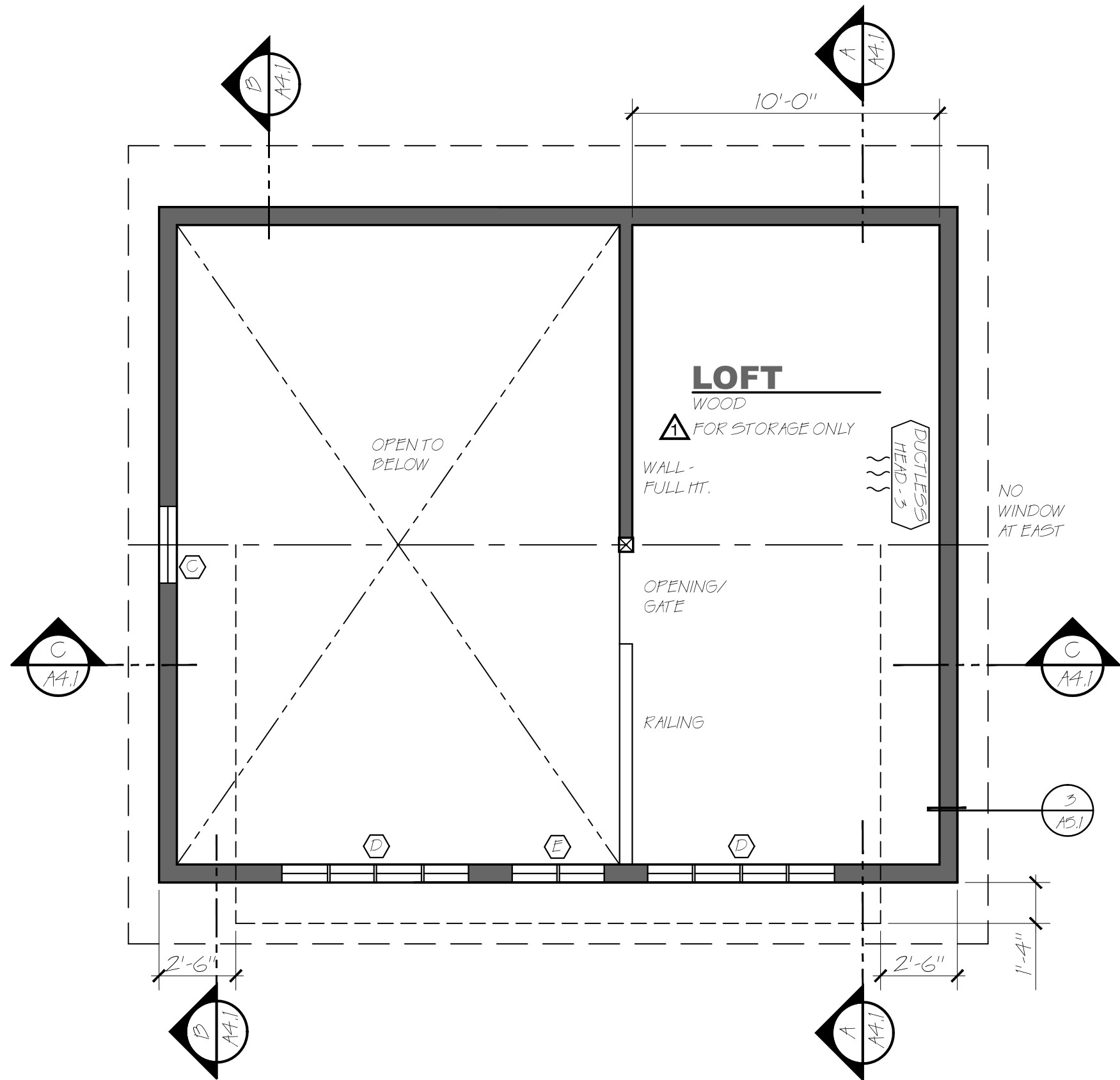
**KITCHEN**  
GAS COOKTOP  
ELECTRIC OVEN  
HOOD W/ FAN/LIGHT COMBO  
SLIM FRIDGE W/ ICEMAKER  
SLIM DISHWASHER  
UNDERMOUNT SINK  
GARBAGE DISPOSAL  
UNDERCABINET LIGHTS W/ OUTLETS  
MICROWAVE OVEN (NUKER)  
WASHER/DRYER

**LIVING ROOM**  
GAS FIREPLACE INSERT  
FLATSCREEN MOUNTING ARM

**GENERAL**  
ON-DEMAND HOT WATER HEATER  
DUCTLESS MINI SPLIT HEAT PUMP  
WITH THREE INTERIOR HEADS  
RADIANT HEAT PANEL IN BATHROOM  
PLUMBING MANIFOLD - MANIBLOK

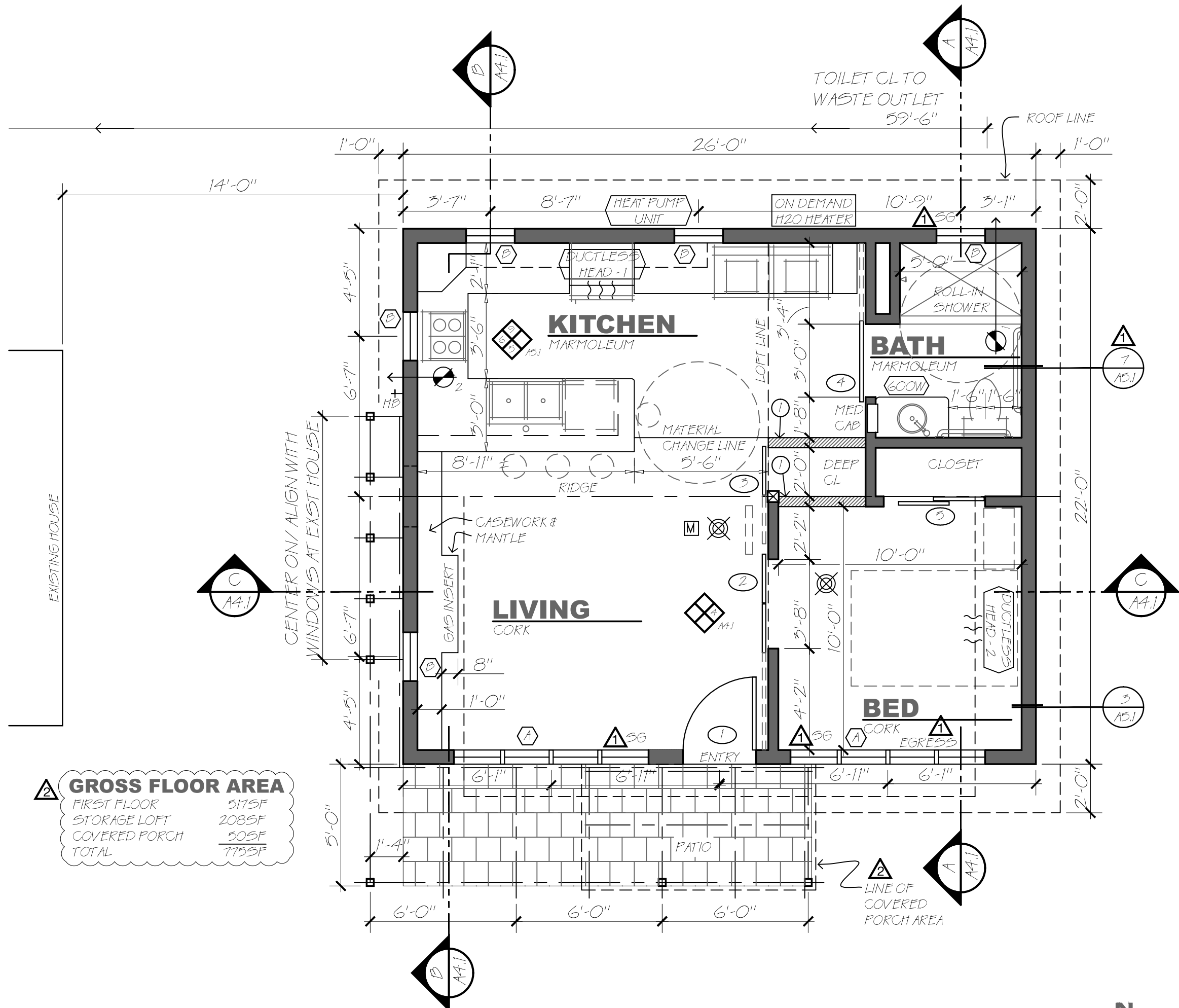
**PLAN NOTES**

① INTERIOR WALL - BUILT TO BE REMOVED IN FUTURE



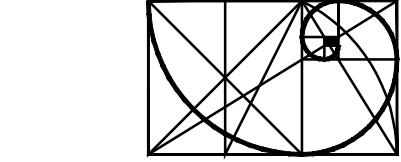
LOFT FLOOR PLAN

208SF / FACE OF FINISH



FLOOR PLAN

519SF / FACE OF FINISH



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**INCORPORATED**

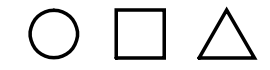
Small Artful  
Green Environments  
**Sage K. Saskill**  
**Architect**  
206.963.1420  
sagedesignsnw.biz

in collaboration with  
**LASTING NEST, INC.**  
General Contractors  
**Michael Vacirca**  
206.550.0326  
lastingnest.biz

dci approval:

THE CITY OF SEATTLE  
DEPARTMENT OF CONSTRUCTION AND INSPECTIONS  
APPROVED  
Subject to Errors and Omissions  
08/24/2016

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Dreams

revision:  
number | date  
dci cycle 1 ⚠️ 7.22.2016  
dci cycle 2 ⚠️ 8.5.2016

owner:  
**molly**  
**kirkland**

address:  
2608 46th ave sw  
seattle wa 98116

project #s:  
sdnw 160212  
dci 6522387

phase:  
**permit**  
**submittal**

date:  
10 june 2016

drawing title:  
**plans**  
**schedules**

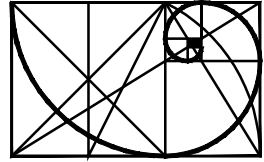
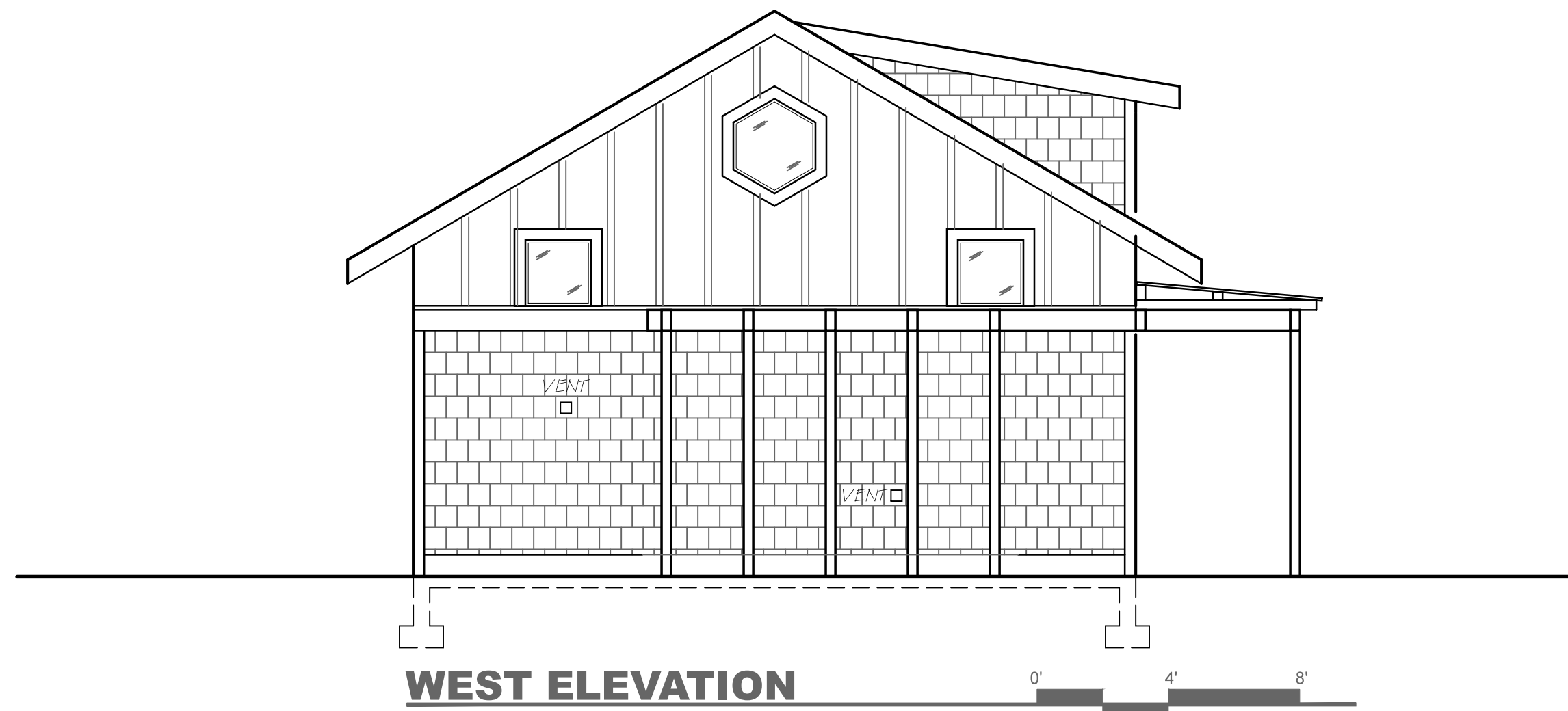
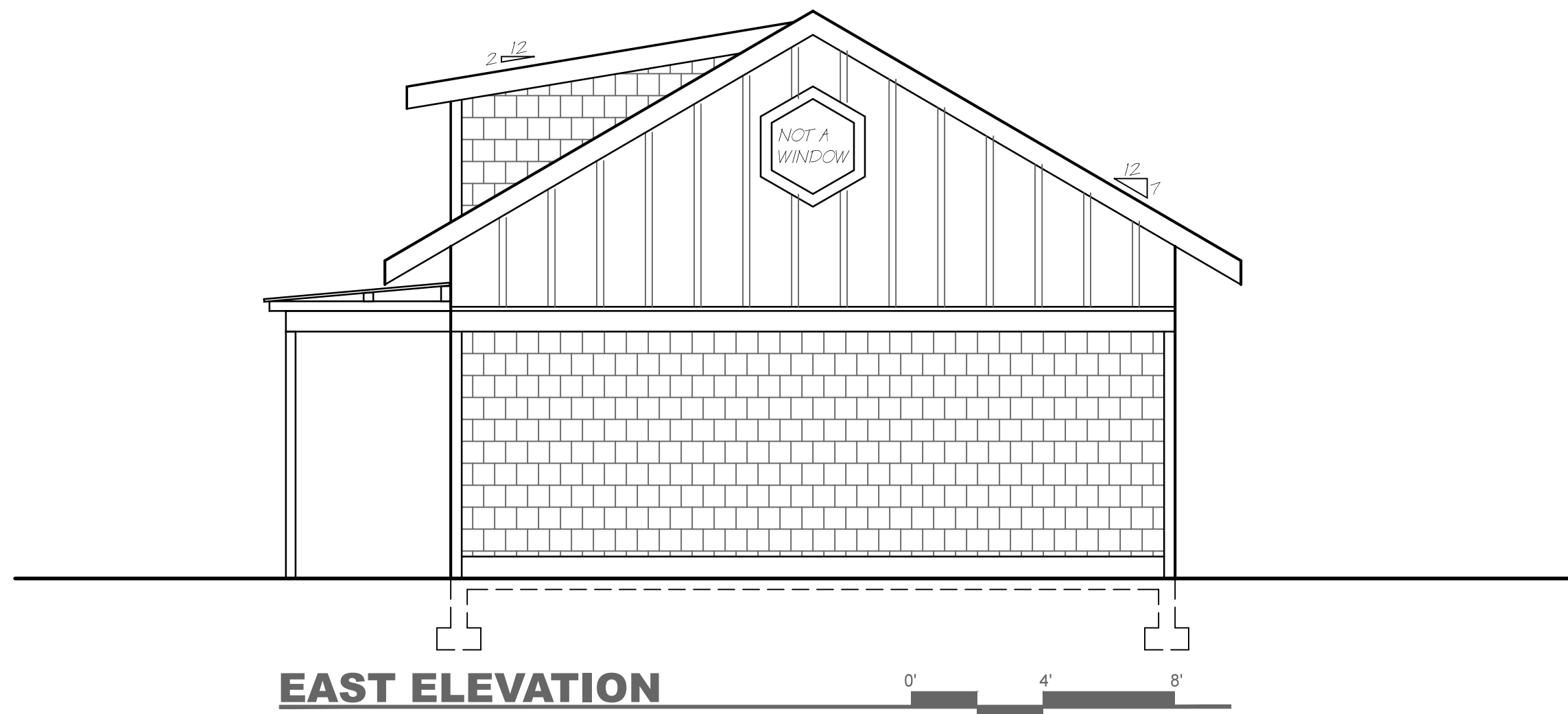
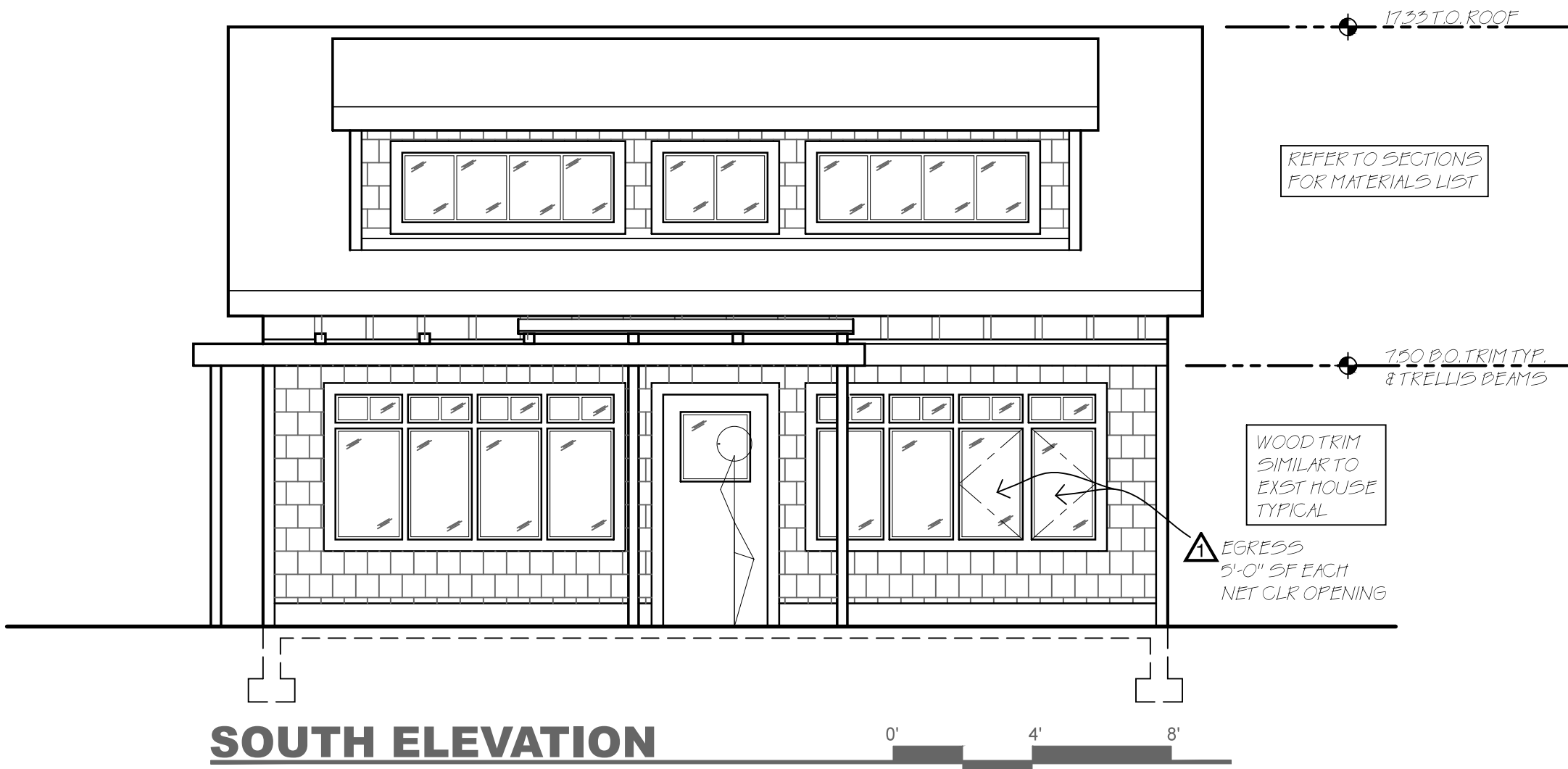
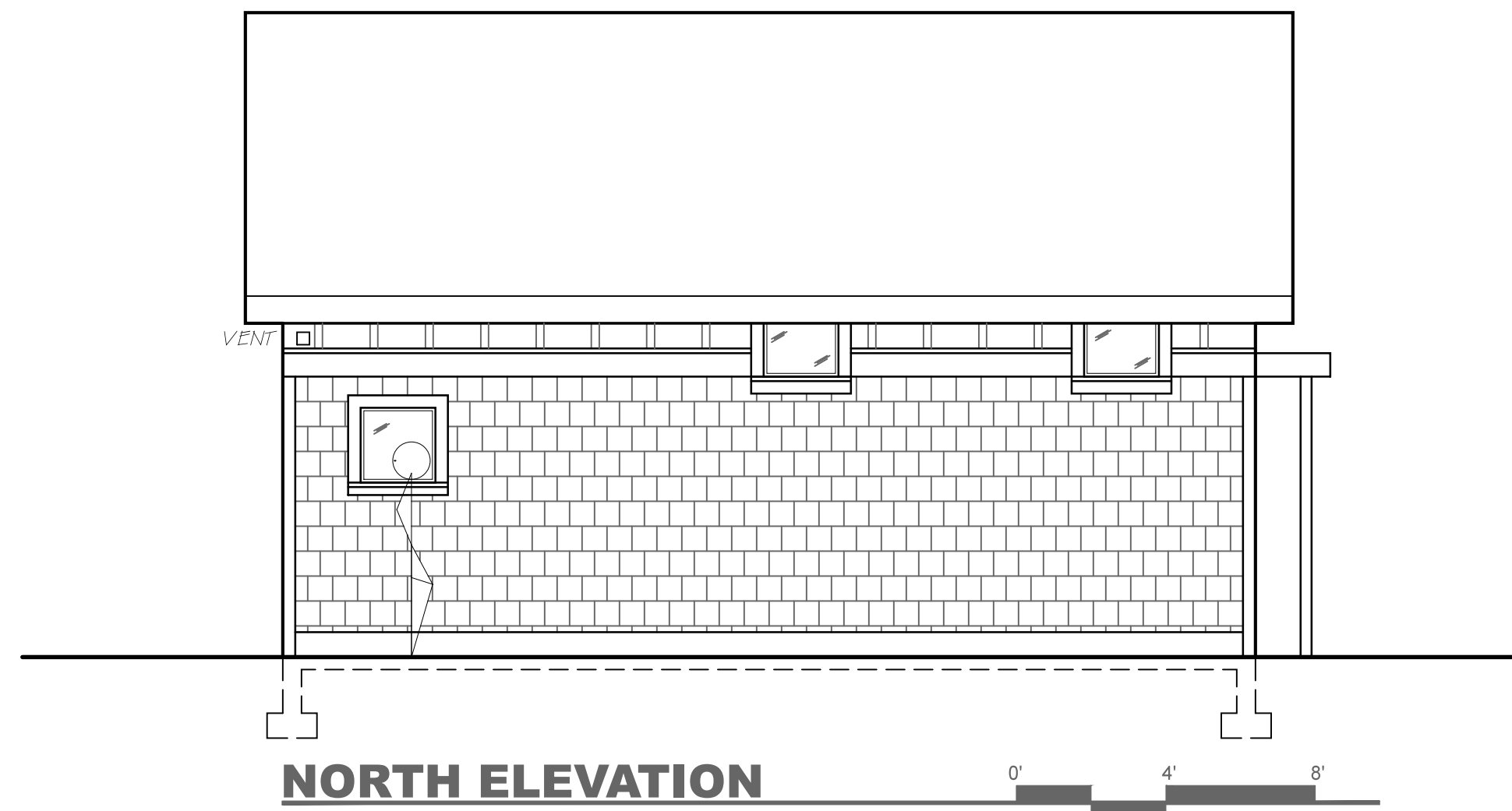
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MOLLY'S NEW GRANNY/NANNY FLAT

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dci cycle 1 △ 7.22.2016

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date:  
**10 june 2016**

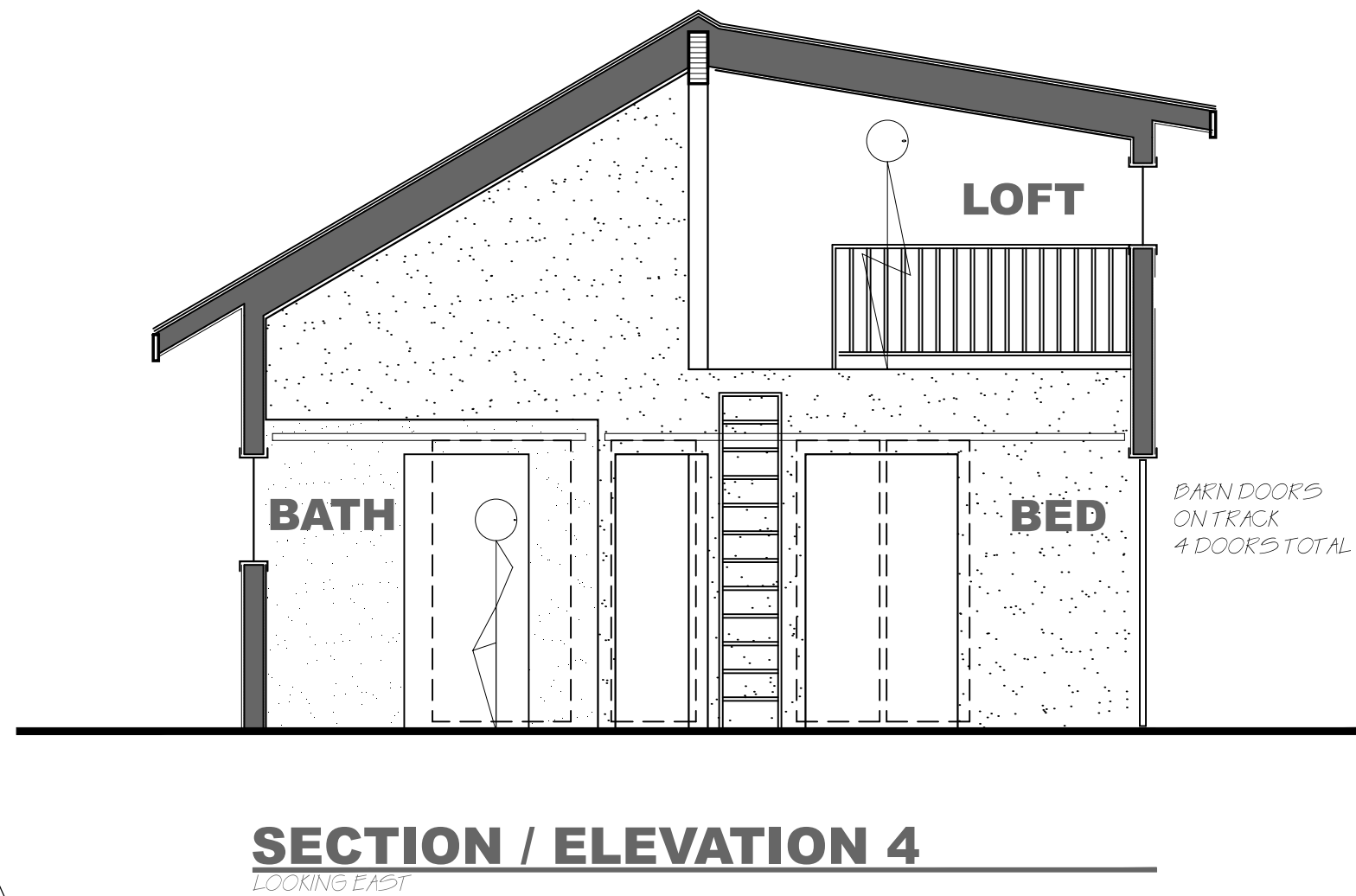
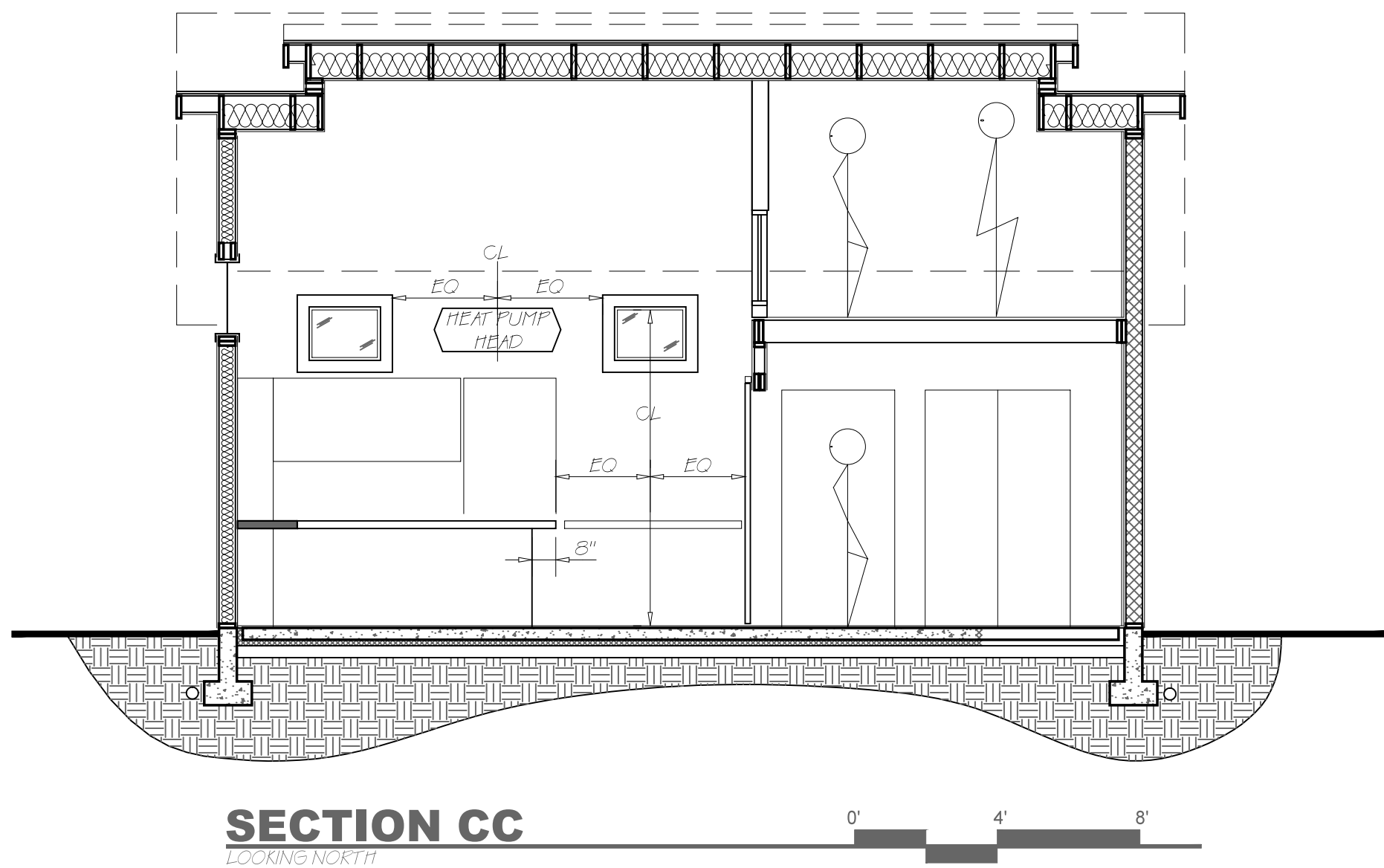
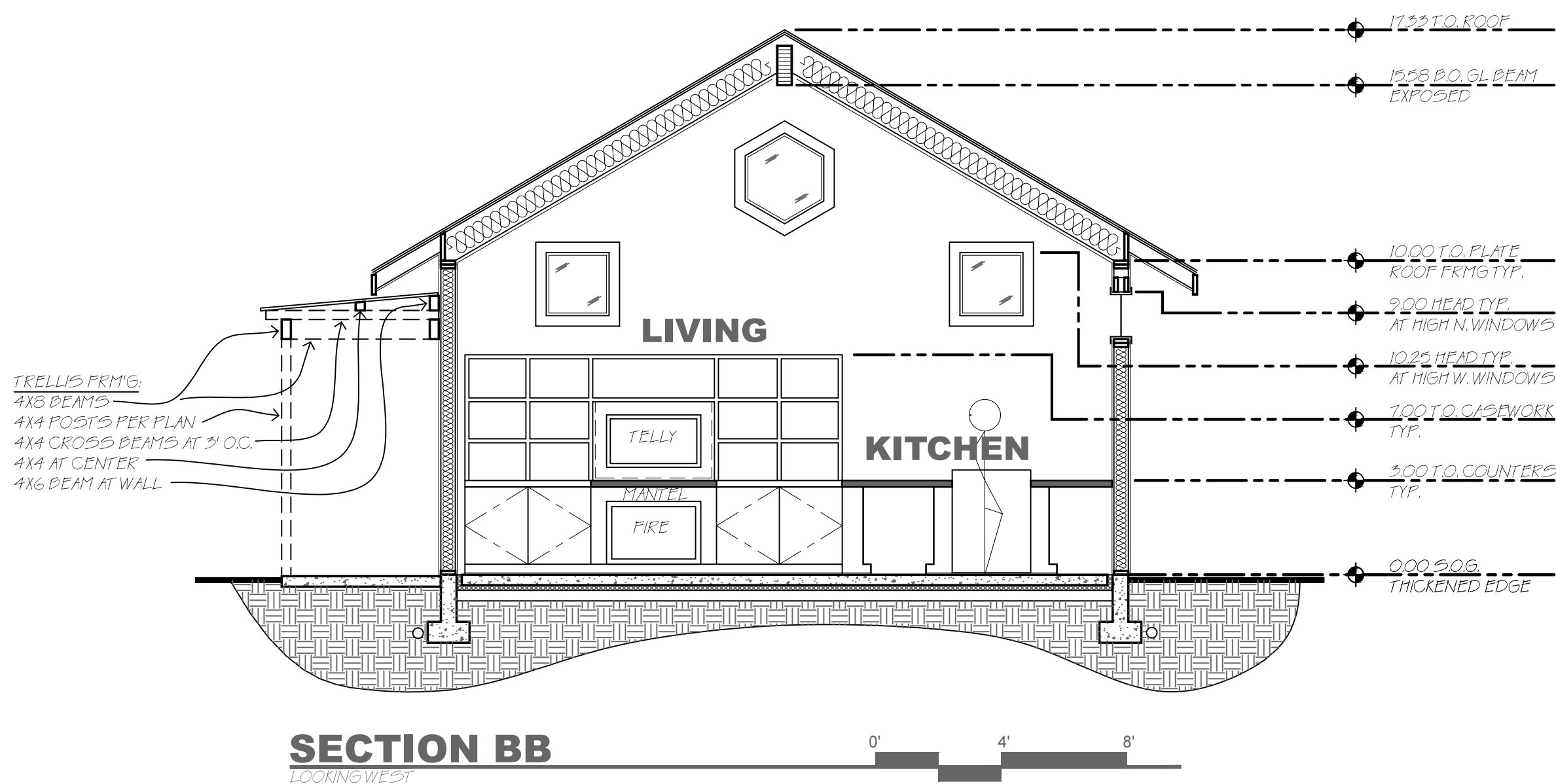
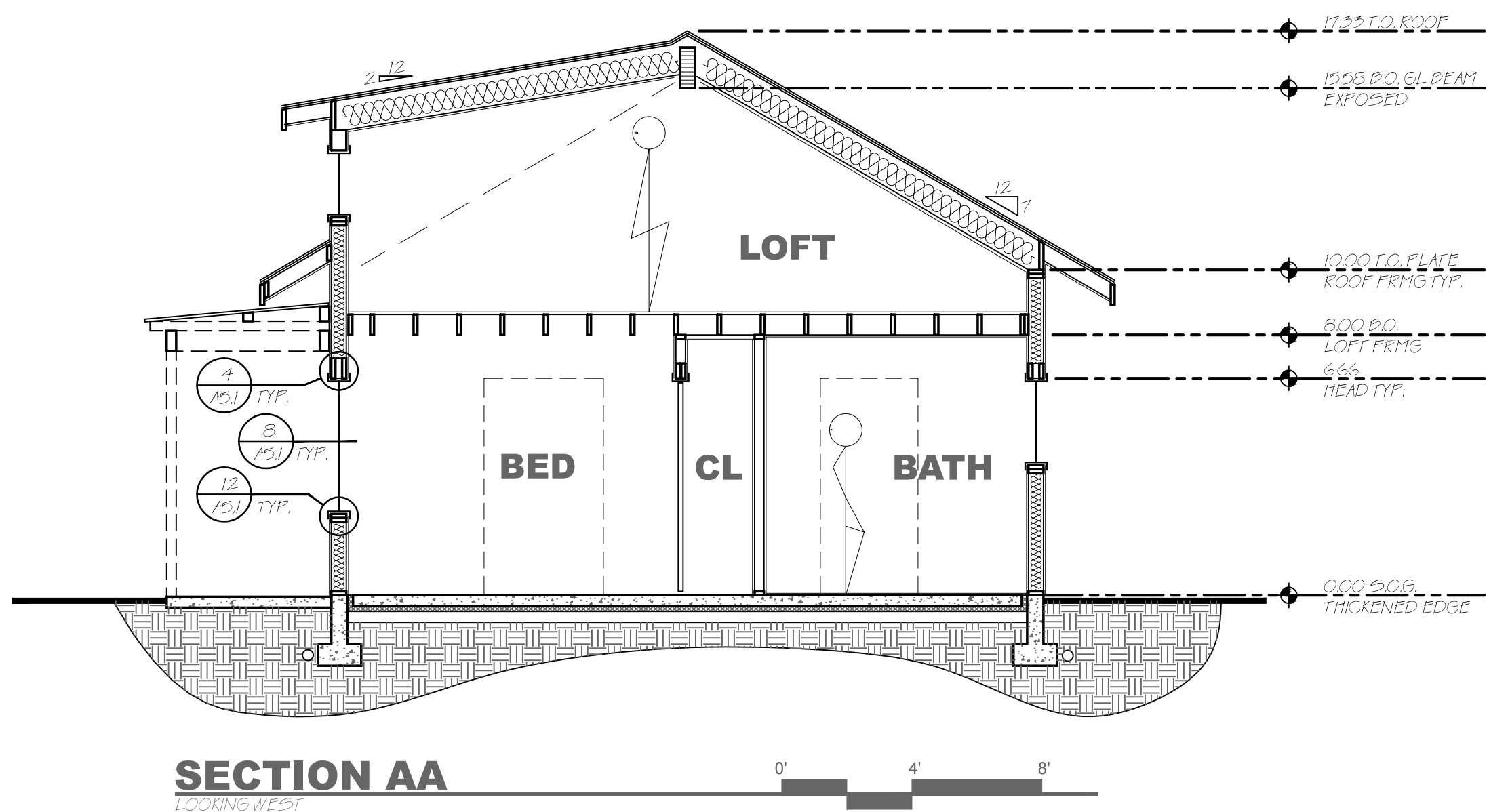
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**exterior  
elevations**

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**1/4" = 1'-0"**

sheet:  
**A3.1**

MOLLY'S NEW GRANNY/NANNY FLAT





### TYPICAL CONSTRUCTION ASSEMBLY NOTES

FLOOR ASSEMBLY:  
SLAB ON GRADE PER STRUCTURAL OVER  
R-10 INSULATION ENTIRE SLAB PER SECTIONS OVER  
SUBSTRATE PER STRUCTURAL  
FOOTINGS PER STRUCTURAL  
RECESSED SLAB & LINEAR DRAIN AT SHOWER  
FINISH FLOORING PER PLAN NOTES

EXTERIOR WALLS TYPICAL:  
2X6 FRAMING PER STRUCTURAL  
R-21 INSULATION MINIMUM  
PLYWOOD SHEATHING PER STRUCTURAL  
BUILDING PAPER  
RAIN SCREEN PER CONTRACTOR'S CHOICE  
HARDI SIDING PER ELEVATIONS  
GWB INTERIOR TYPICAL

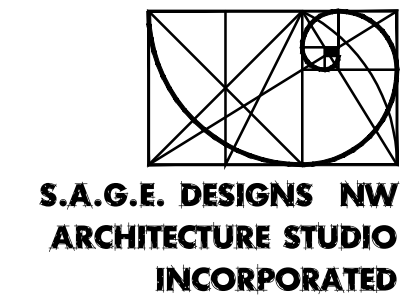
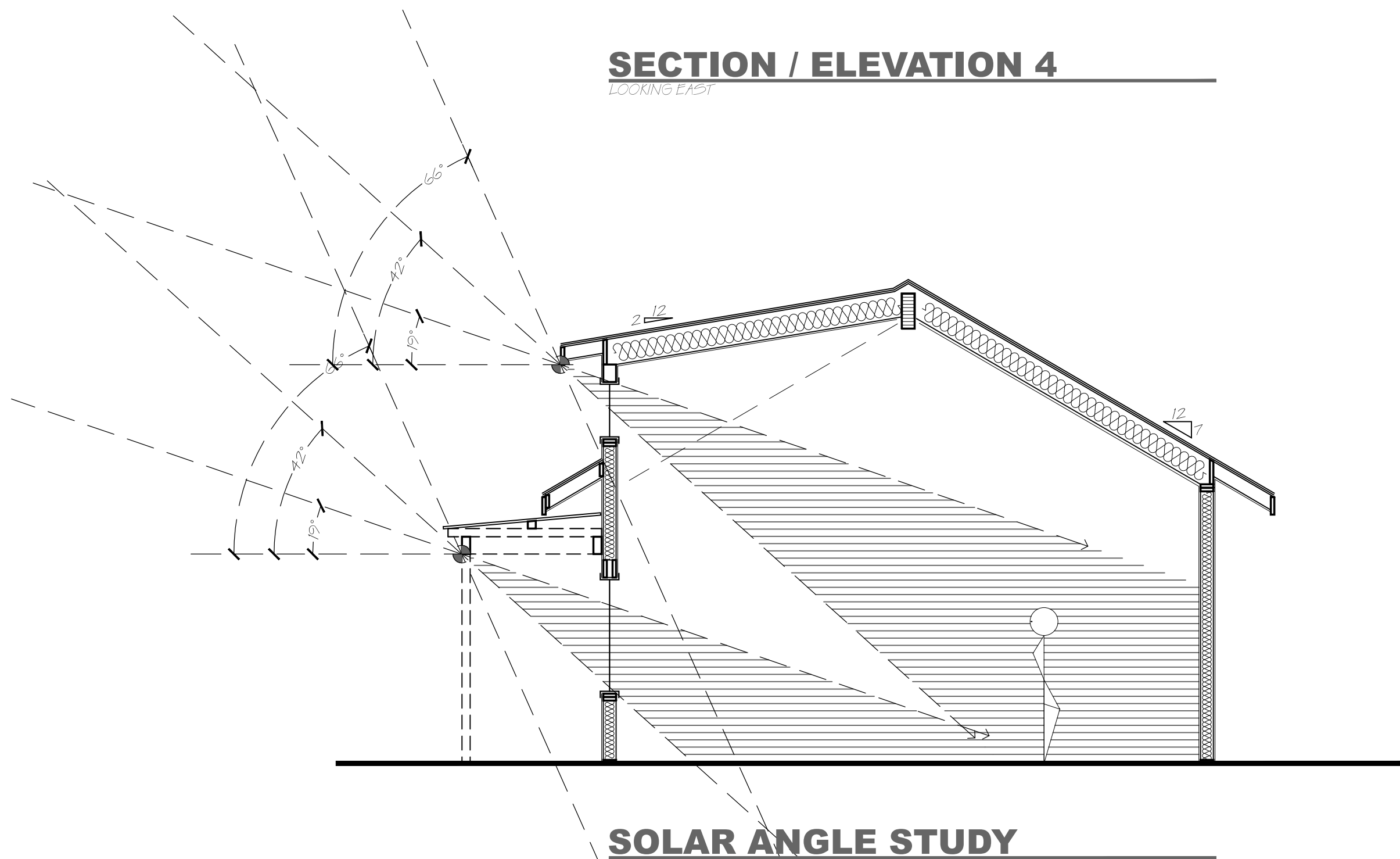
EXTERIOR WALL AT EAST:  
SOUND WALL ASSEMBLY PER DETAIL 3/A5.1

MISCELLANEOUS:  
COUNTERTOP & MANTLE - BOWLING ALLEY LANE  
BACKSPLASH - SUBWAY TILE

ROOF/CEILING ASSEMBLY:  
ROOFING - METAL OR COMP SHINGLE TYPICAL  
GRACE VVOR ENTIRE SURFACE  
RAFTER FRAMING PER STRUCTURAL  
RIDGE BEAM VISIBLE AT INTERIOR  
NON-VENTED ASSEMBLY  
1 INCH SPRAY FOAM &  
R-38 BATT INSULATION MINIMUM  
GWB INTERIOR TYPICAL  
(BEADBOARD 'LOOK' PREFERRED)

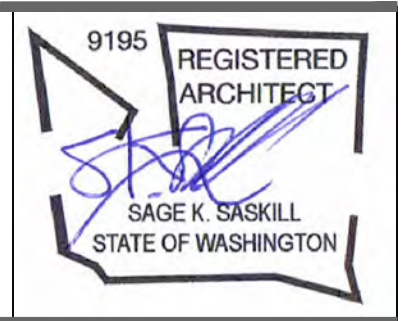
INTERIOR WALLS:  
2x4 WOOD FRAMING AT 16" O.C.  
GWB EACH SIDE TYPICAL  
TILE INTERIOR OF BATHROOM

LOFT CONSTRUCTION:  
T&G FLOORING PER STRUCTURAL  
2x8 WOOD FRMG @ 16" O.C. PER STRUCTURAL  
EXPOSED FRAMING AT BEDROOM & KITCHEN  
GWB CEILING AT BATHROOM ONLY

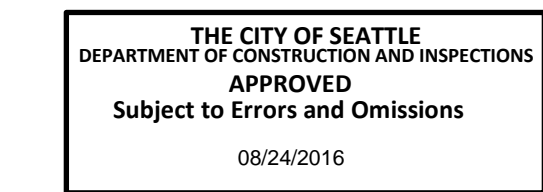


Small Artful  
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dci approval:



**VISUALIZE**  
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**ACTUALIZE**  
Your  
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Dreams

revision:  
number | date

owner:  
**molly  
kirkland**

address:  
2608 46th ave sw  
seattle wa 98116

project #s:  
sdnw 160212  
dci 6522387

phase:  
**permit  
submittal**

date:  
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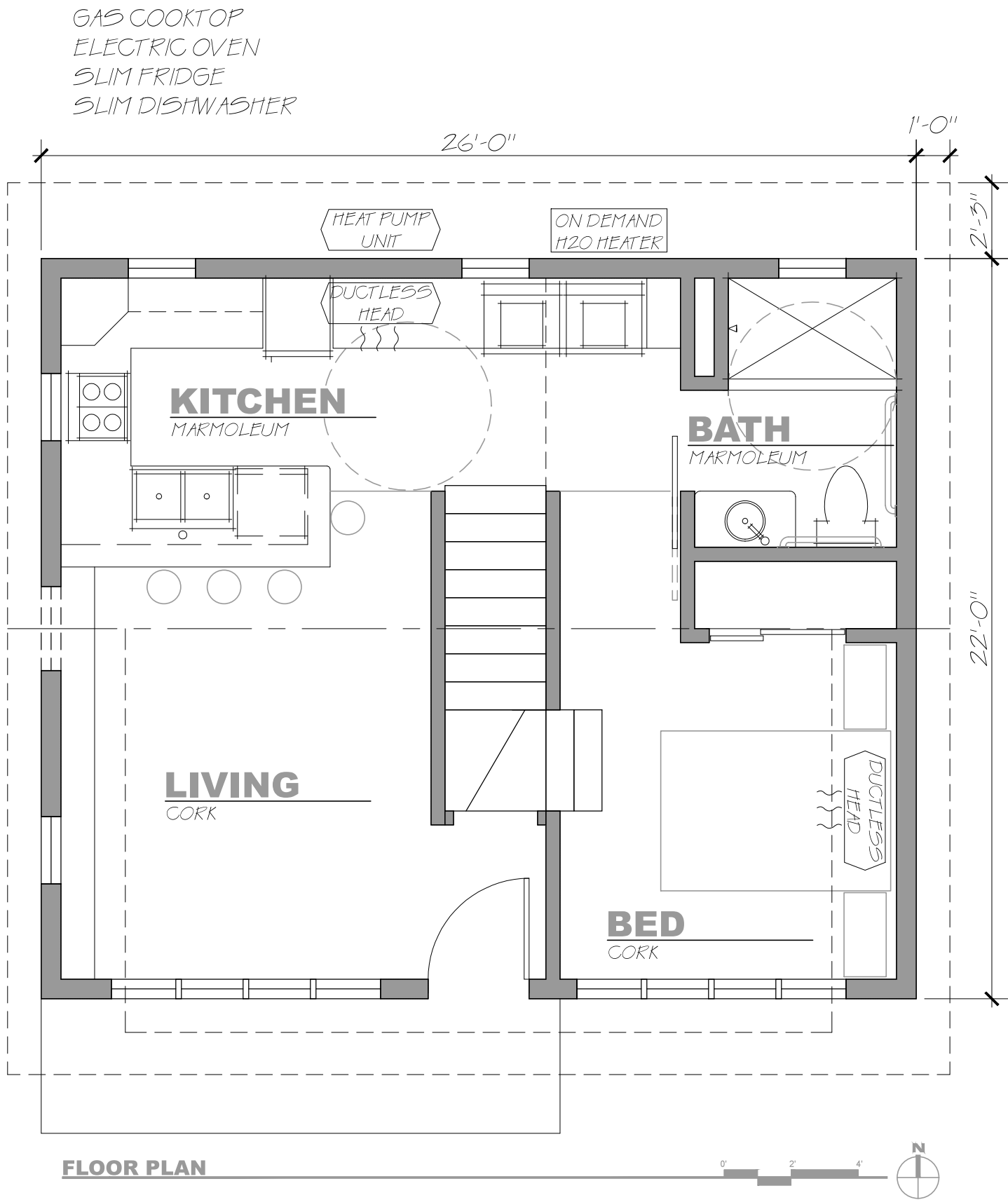
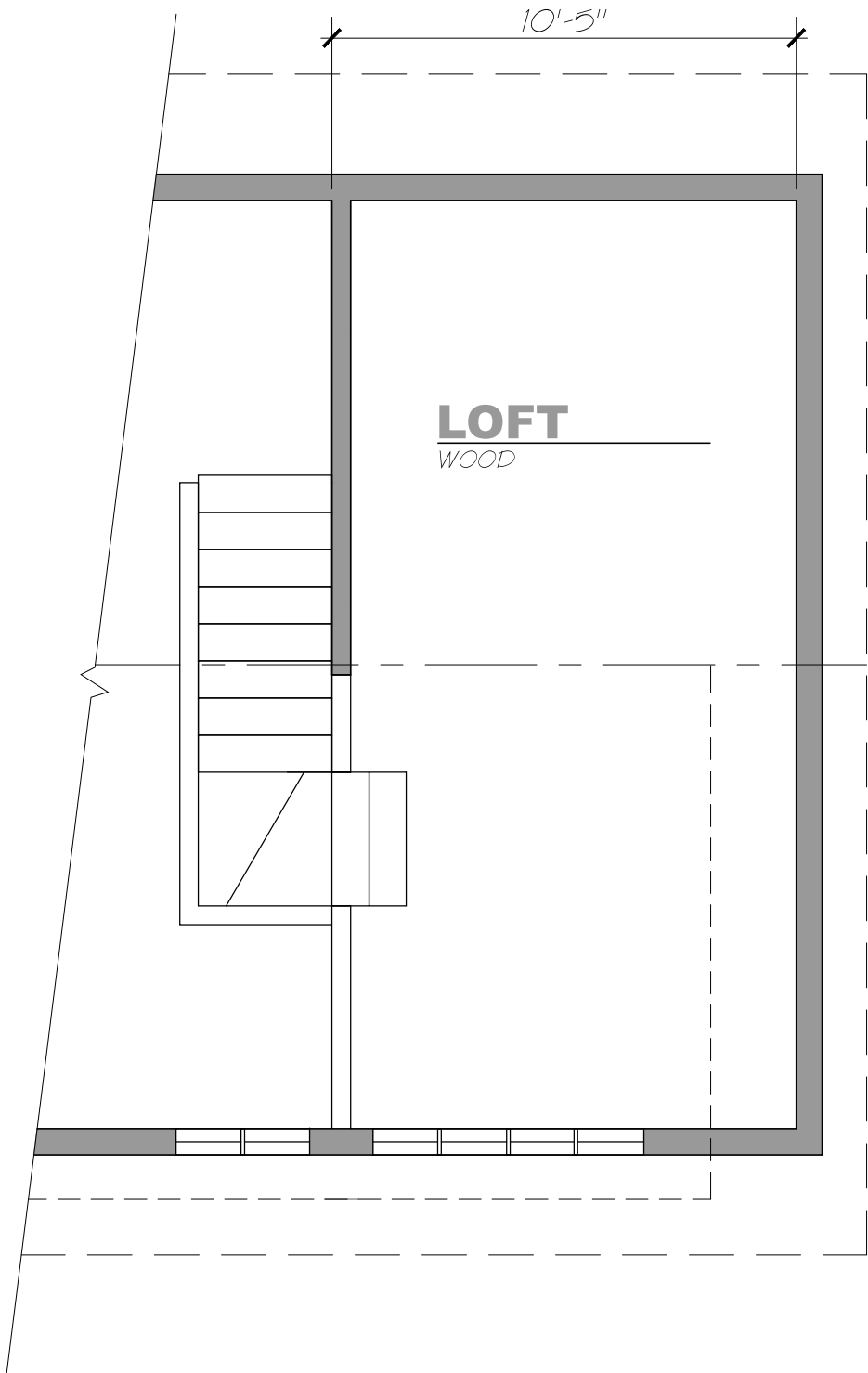
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**sections  
int elevs**

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**A4.1**

MOLLY'S NEW GRANNY/NANNY FLAT



MOLLY'S NEW GRANNY/NANNY FLAT



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**PRELIMINARY  
RELEASE**  
-- not for use in construction --

dpd approval:

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number|date

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project #s:  
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dci 6522387

phase:  
**design  
development**

date:  
5 may 2016

drawing title:  
**floor  
plan**

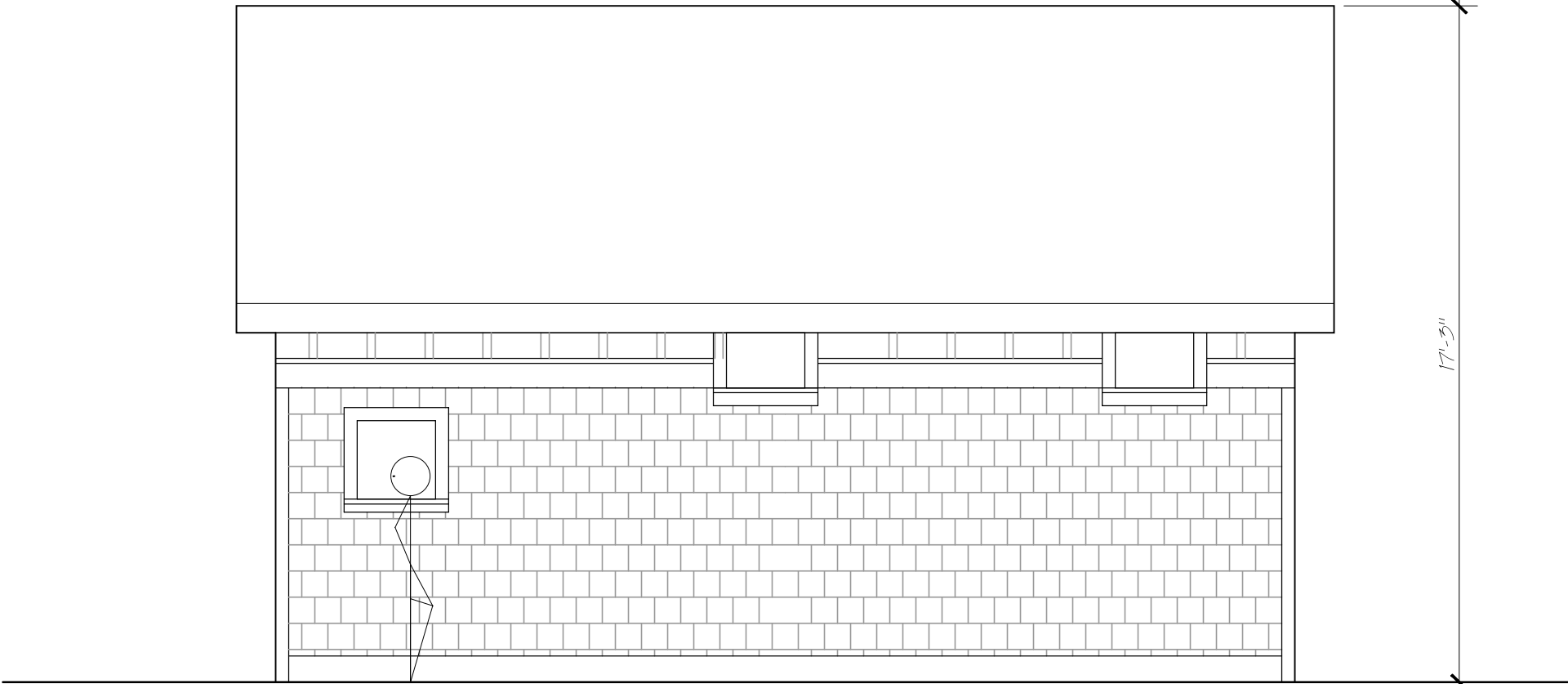
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sheet:  
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SOUTH ELEVATION



NORTH ELEVATION

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revision:  
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**design  
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5 may 2016

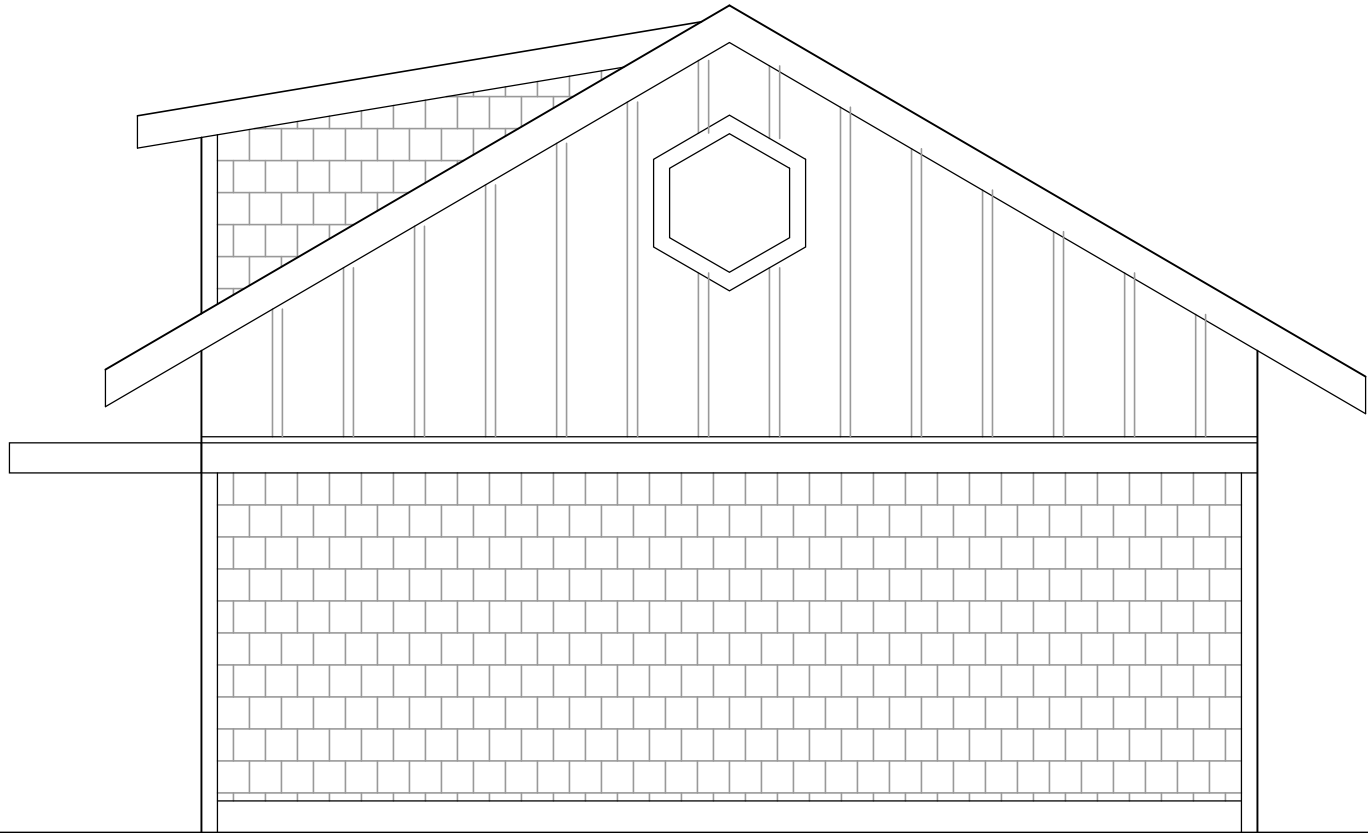
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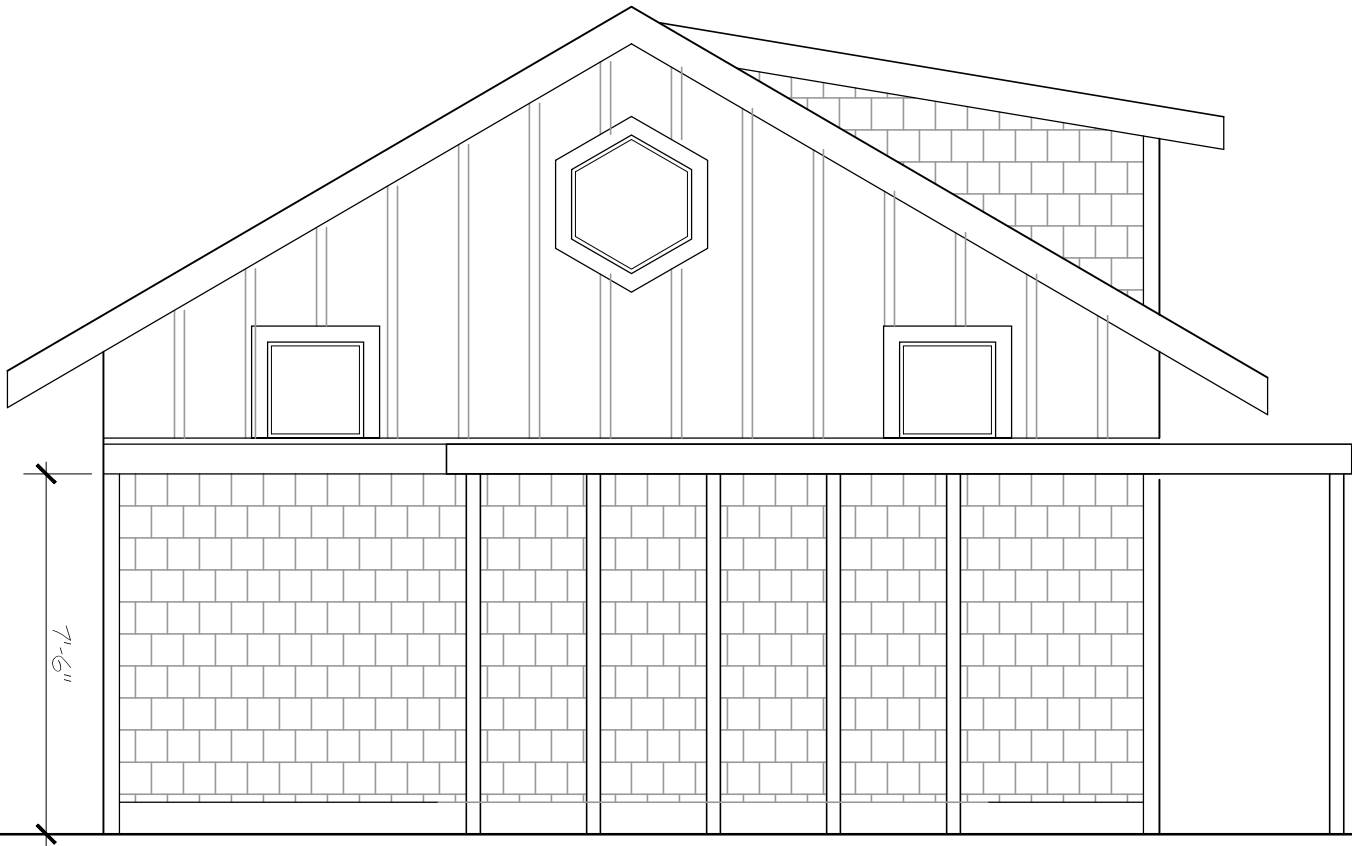
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MOLLY'S NEW GRANNY/NANNY FLAT



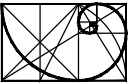


EAST ELEVATION



WEST ELEVATION

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ARCHITECTURE STUDIO  
Small Artful  
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Architect

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PRELIMINARY  
RELEASE  
-- not for use in construction --

dpd approval:

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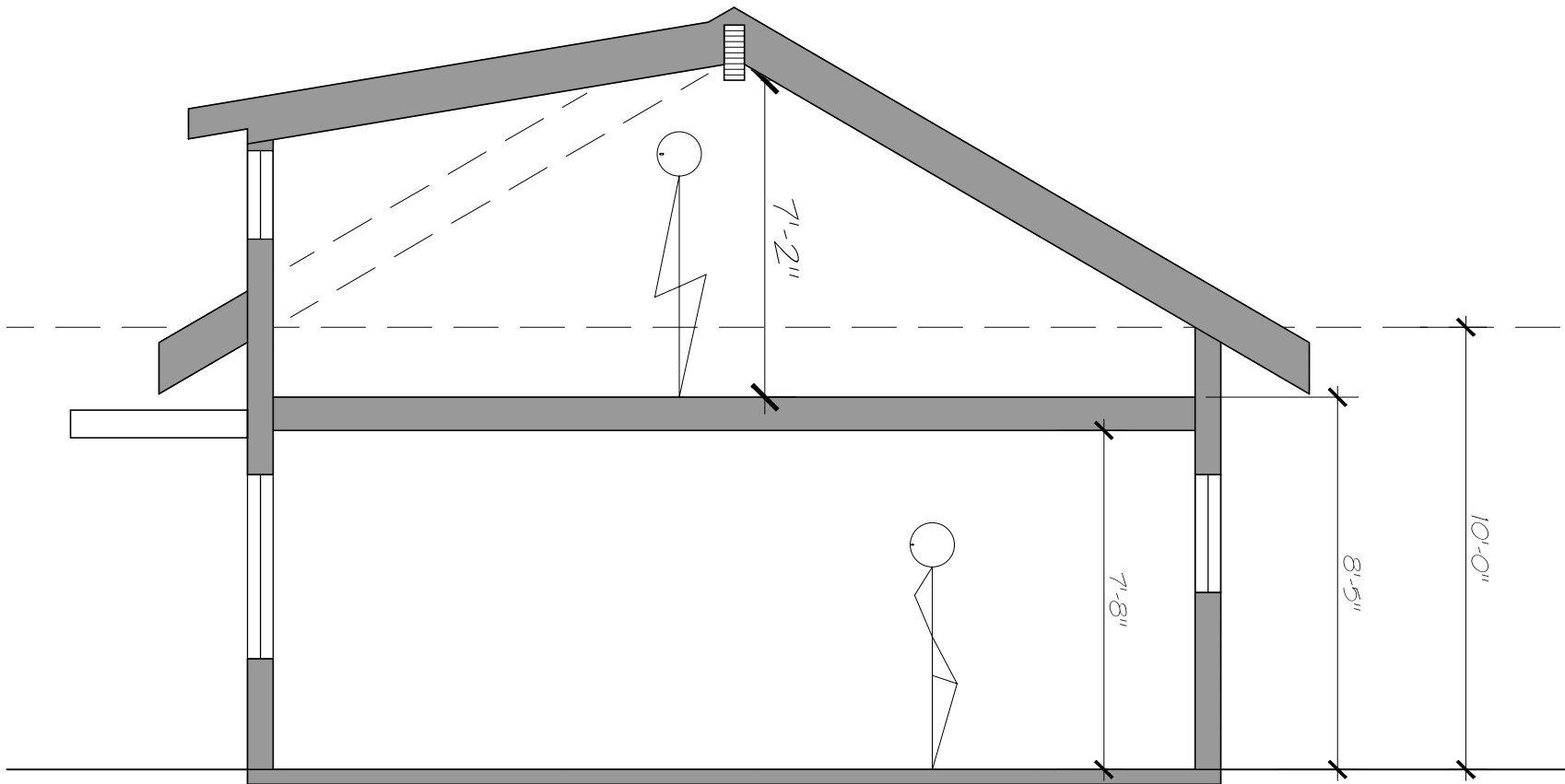
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5 may 2016

drawing title:  
exterior  
elevations

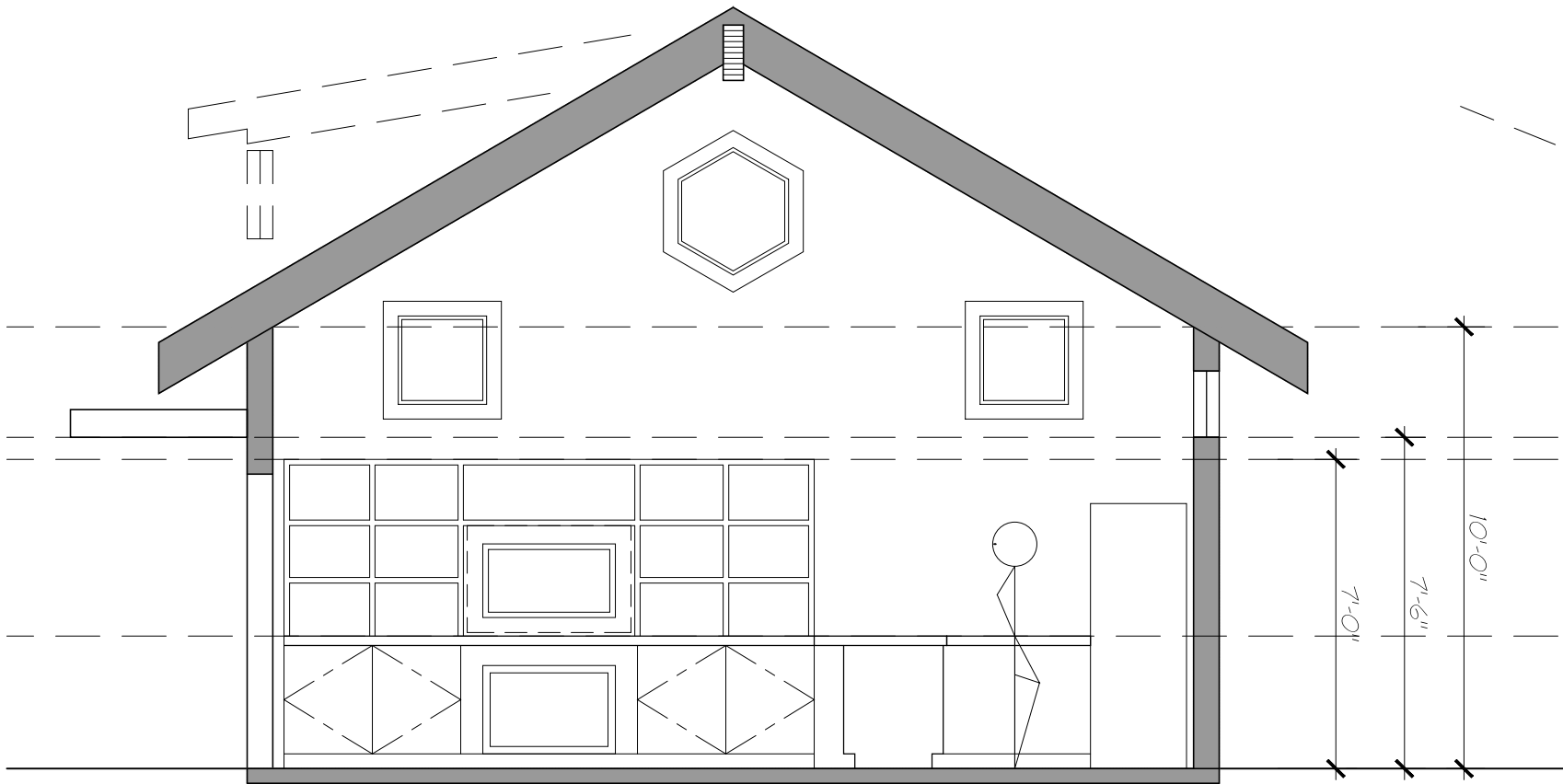
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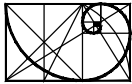
MOLLY'S NEW GRANNY/NANNY FLAT



SECTION



SECTION



S.A.G.E. DESIGNS NW  
ARCHITECTURE STUDIO  
Small Artful  
Green Environments

Sage K. Saskill  
Architect

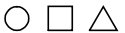
206.963.1420  
sagedesignsnw.biz

in collaboration with  
**LASTING NEST, INC.**  
General Contractors  
Michael Vacirca  
206.550.0326  
lastingnest.biz

**PRELIMINARY  
RELEASE**  
-- not for use in construction --

dpd approval:

VISUALIZE



ACTUALIZE  
Your  
Green Building  
Dreams

revision:  
number|date

owner:

**molly  
kirkland**

address:  
2608 46th ave sw  
seattle wa 98116

project #s:  
sdnw 160212  
dci 6522387

phase:

**design  
development**

date:  
5 may 2016

drawing title:

**building  
sections**

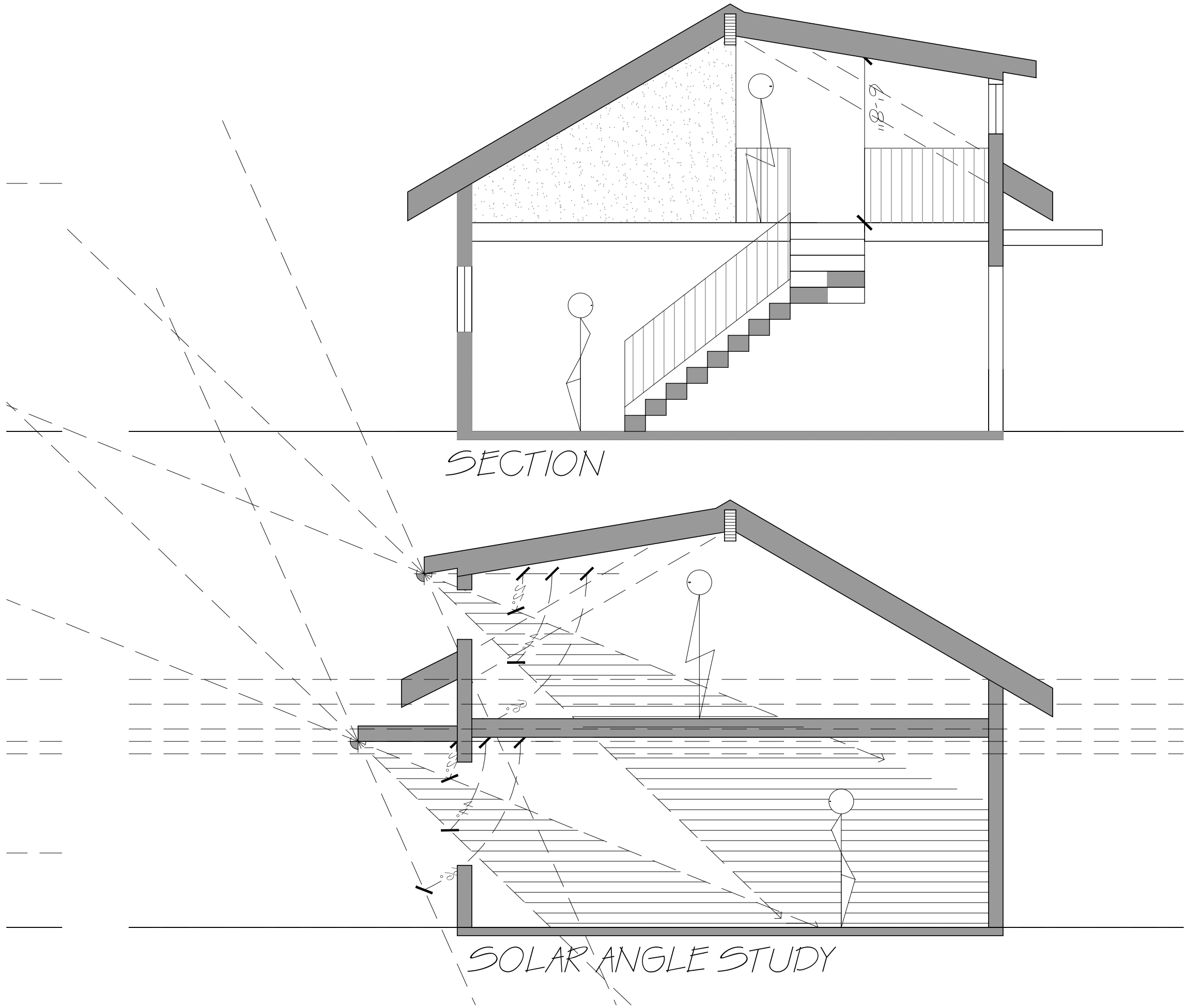
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1/4" = 1'-0"

sheet:

**dd4.1**

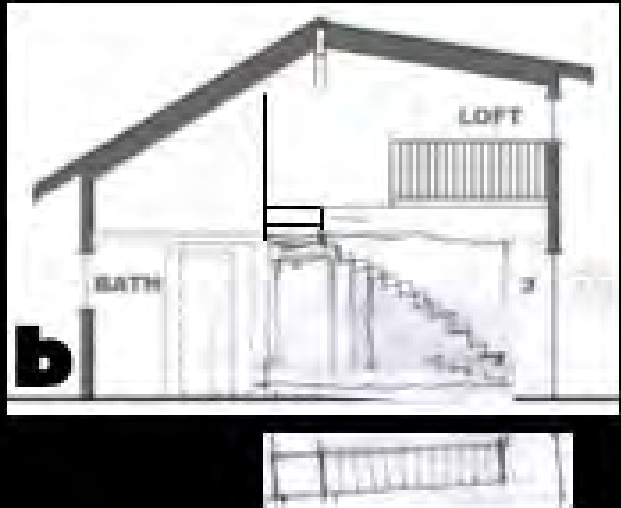
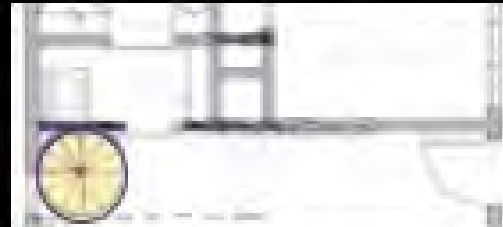
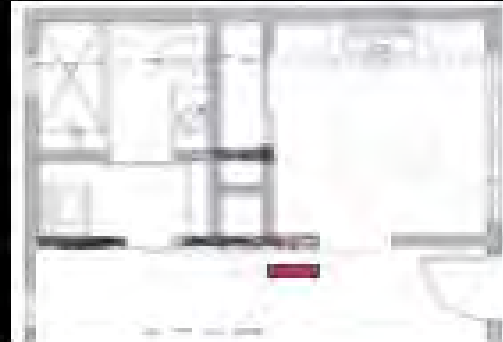
MOLLY'S NEW GRANNY/NANNY FLAT

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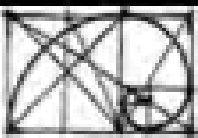
# CHALLENGES



**how on earth do you  
get to the loft?**



Green Building Slam ~ Northwest Ecobuilding Guild ~ 11.3.2017  
S.A.G.E. Designs NW Architecture Studio Incorporated ~ Seattle



## Granny Flat ideas

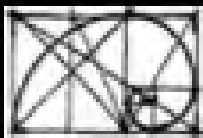
- Roll-in shower
- Wide doorways
- Barn doors
- Grab bars
- Efficient kitchen
- Raised laundry
- Storage tucked ...Everywhere
- Lots of Light
- Climate control



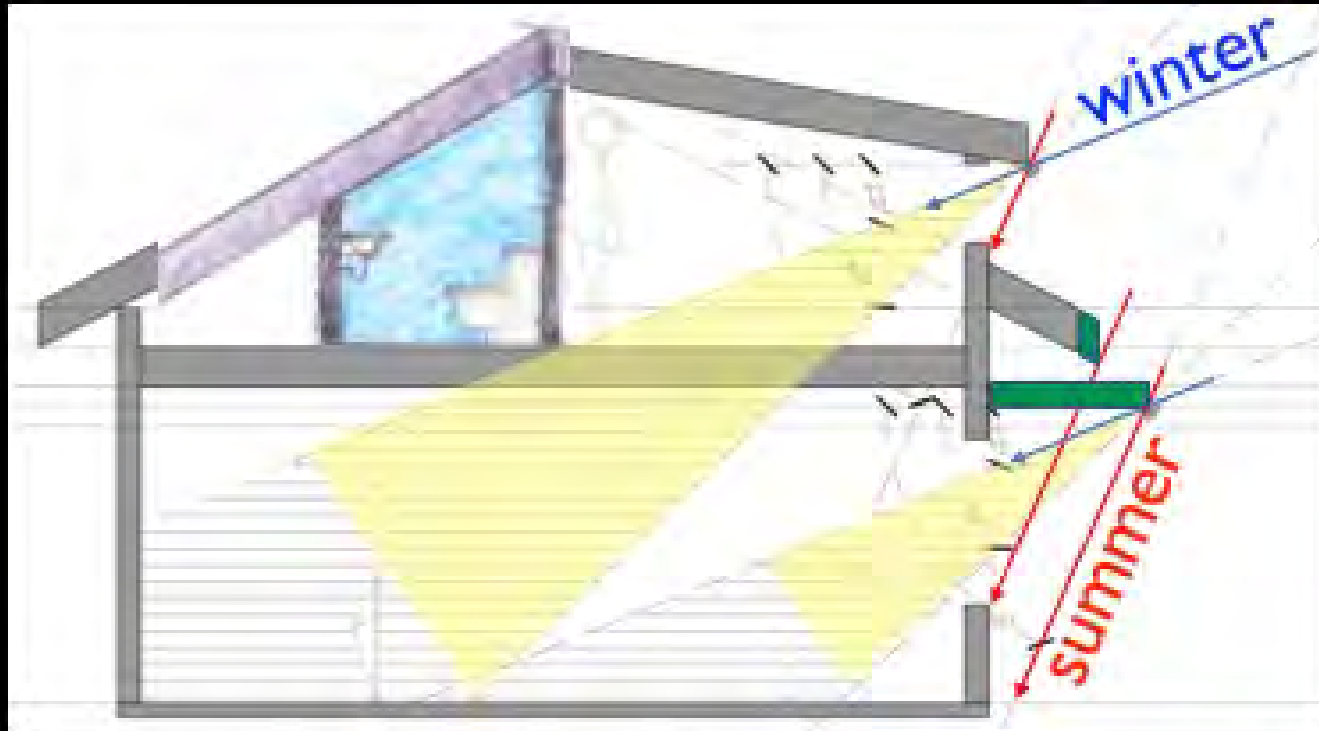
**loft plan**



**floor plan 22'X26'**



# LIGHT LIGHT & more LIGHT



## bldg section & solar study



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S.A.G.E. Designs NW Architecture Studio Incorporated ~ Seattle

