

Perkins&Will

White Garage

Seattle Landmarks Preservation
Board

Continental Properties



Agenda

01 Previous ARC Hearing Guidance

02 Review current MUP Submittal

Previous ARC Hearing Images

ARC Briefing #3: August 10, 2018



ARC 3 - Massing Option 1



ARC 3 - Massing Option 2



ARC 3 - Massing Option 3

Summary of ARC Guidance

ARC Briefing #3: August 10, 2018

1. The board preferred the massing option with the greatest setback from the 3rd Avenue property line

A full review of setbacks, heights and volume was conducted to determine what the minimum number of floors and maximum setback that is financially feasible would be. Three of the most successful options are shown in this early design guidance package.

2. The board would like to see the design team further explore the addition in regards to both the overall massing as well as simplifying the proposed articulation of the new portion of the structure

The design team explored massing options, with the Boards input in mind, and found a preferred solution that is simple in form and highlights the existing building. Varying amounts of glazed and solid volumes were studied to find a proportionate combination, building on the massing explorations proposed in ARC meeting #2.

Viewing from the pedestrian level shows the volume of the addition to appear physically separated from the structure below. The glazed elements lighten the structure above, minimizing the visual impact of the volume and distinguishing between the new and existing structures.

3. The Board felt that the existing top of the structure is strong aesthetically and wanted to see an addition that would be more subservient and in alignment with the secretary of interior’s standards

Glazing, solids, repetitive mullions and voids were explored to find an option that minimizes the volumetric impact, creating a background element to the primary facade. The preferred option has transparency at the street side and is solid as it progresses to the alley. This affect is intended to provide relief to the primary facade, highlighting its ornate terra cotta and sturdiness. This option also steps back to align with the existing building’s interior structure, preserving much of the interior.

Aligning with the existing symmetry and proportion reinforces the existing building’s hierarchy.

The preferred massing also steps back from the front face while allowing the structure of the addition to transfer the interior loads including columns and exterior walls. It is important that the structure for the addition align as much as possible to the existing since that is the primary proposed structural system for the project.

Additional options were studied and are shown throughout the Architectural Review process, such as a further step back from the street, additional stories, and a gasketed option separating the existing building and addition.

4. The board was supportive of the proposed removal of portions of the exterior wall at the north and south elevations to allow for windows

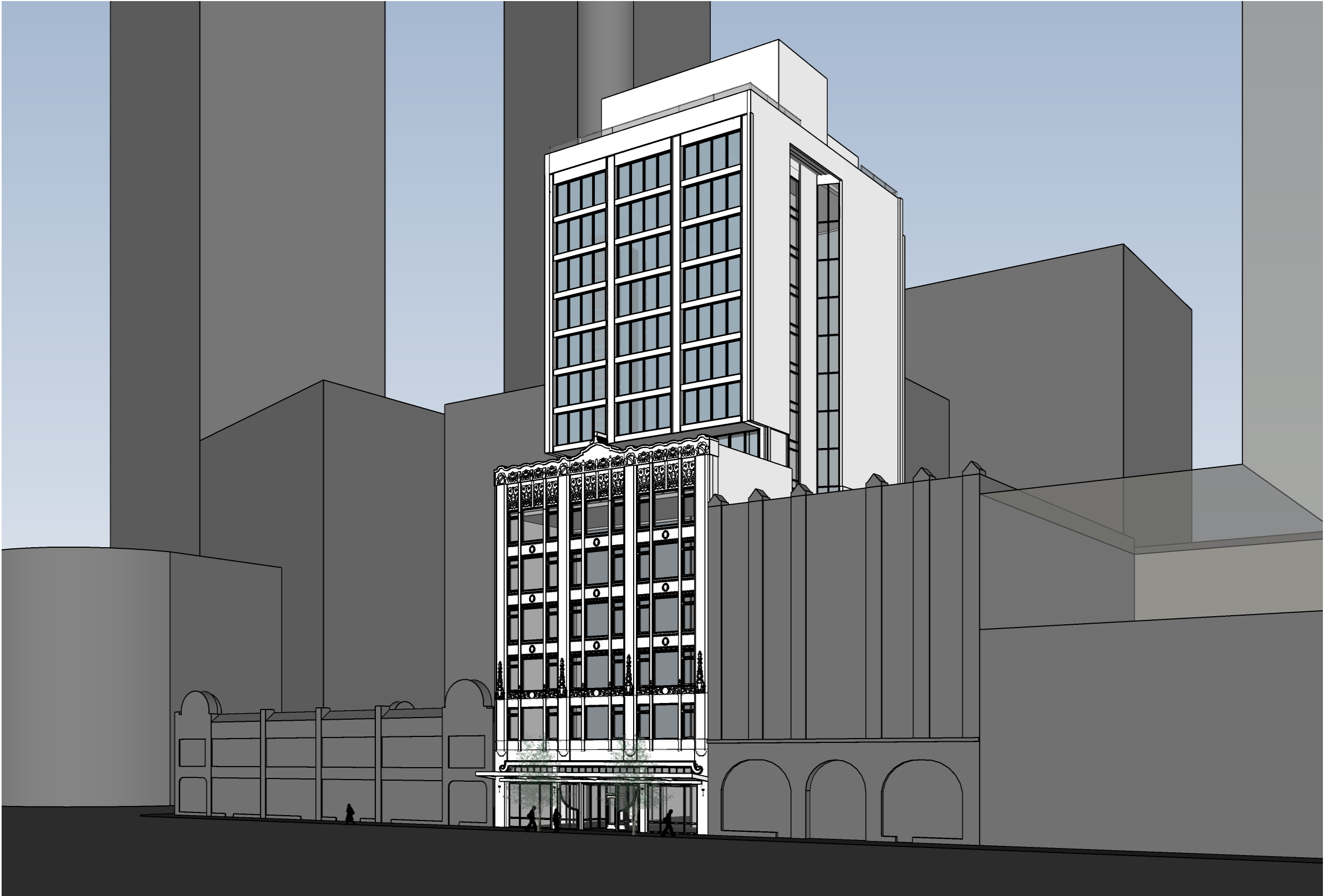
No changes have been made to this approach.

5. The board would like to see more images of the proposed addition as it would be seen from the pedestrian perspective

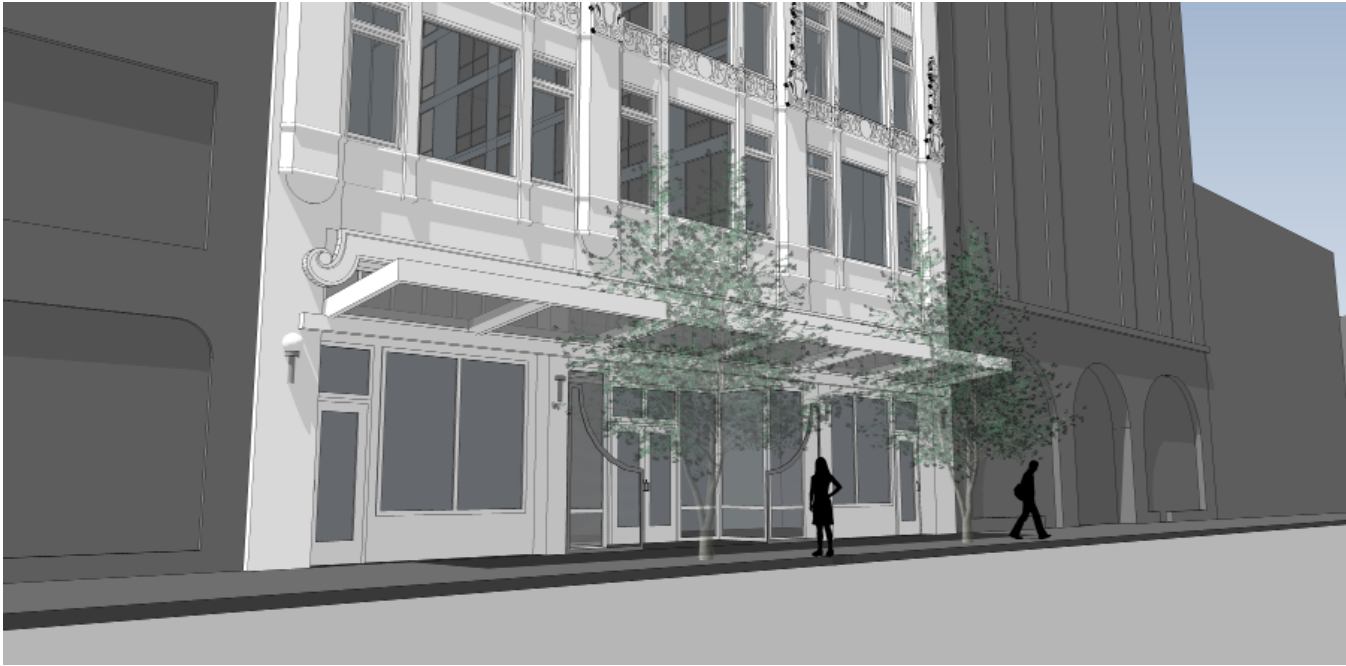
The design team took great care developing further massing options from both the skyline and pedestrian perspectives. In the preferred option, the pedestrian perspective from the north looking south, of the addition is very limited with few sight lines to the entire mass. It is more evident from the south, however, Third Avenue bends at the corner which skews the views.

The design intent was to showcase the existing structure at the pedestrian scale while minimizing the addition and creating a building that will fit into the changing Belltown skyline.

Current MUP Submittal



Current MUP Submittal



Street view from North



Street view from South

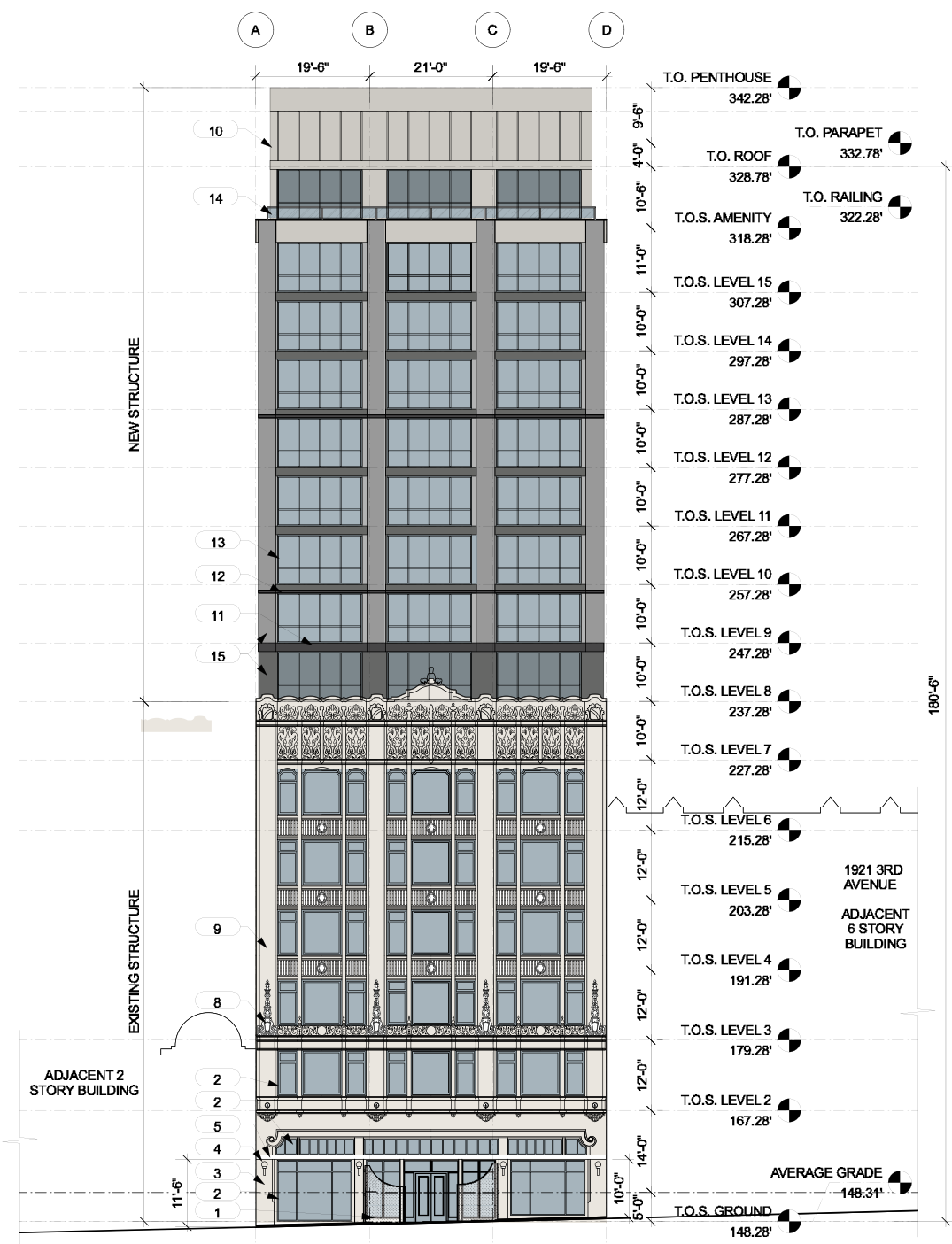


Street view from East

Current MUP Submittal

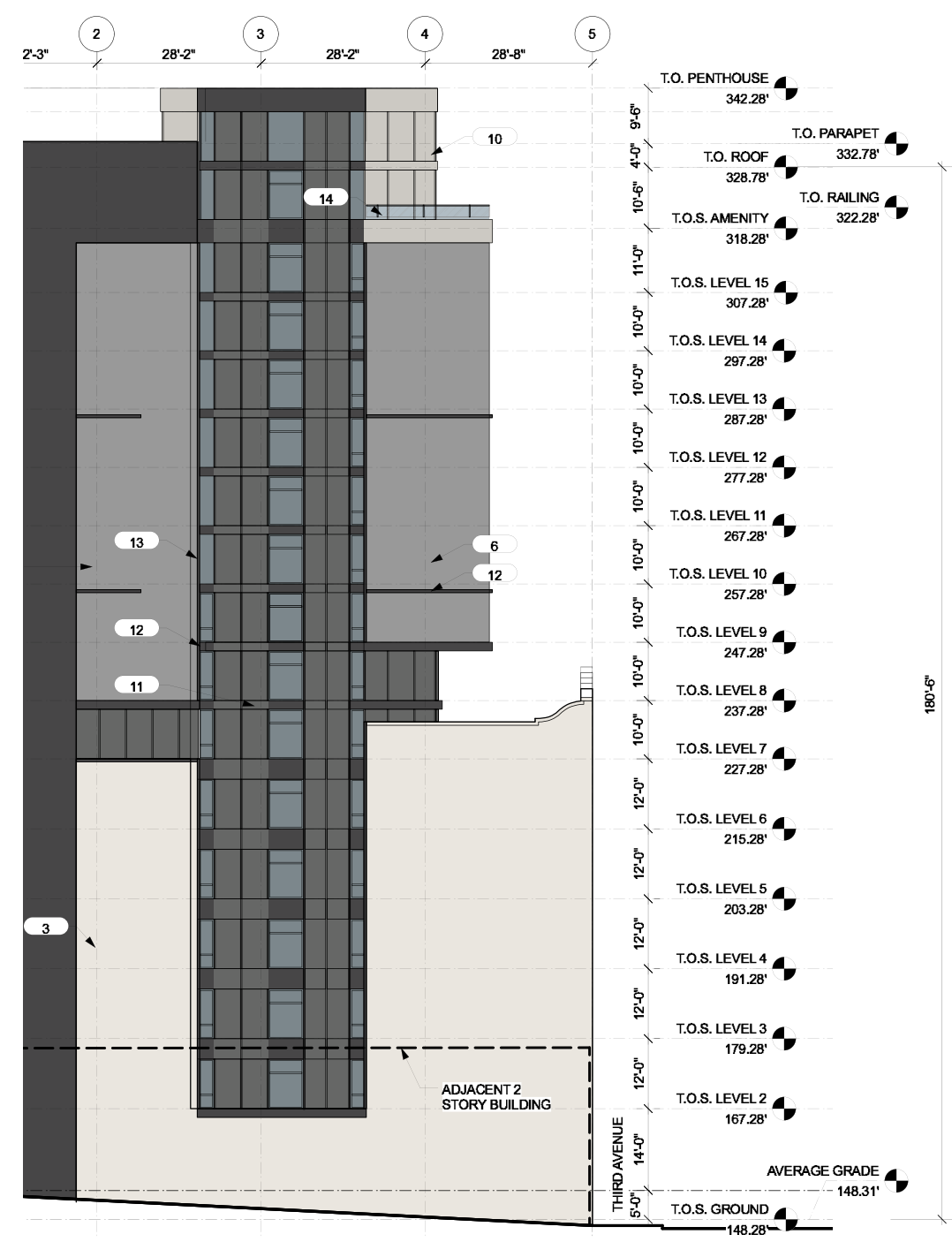


West Elevation (Alley)

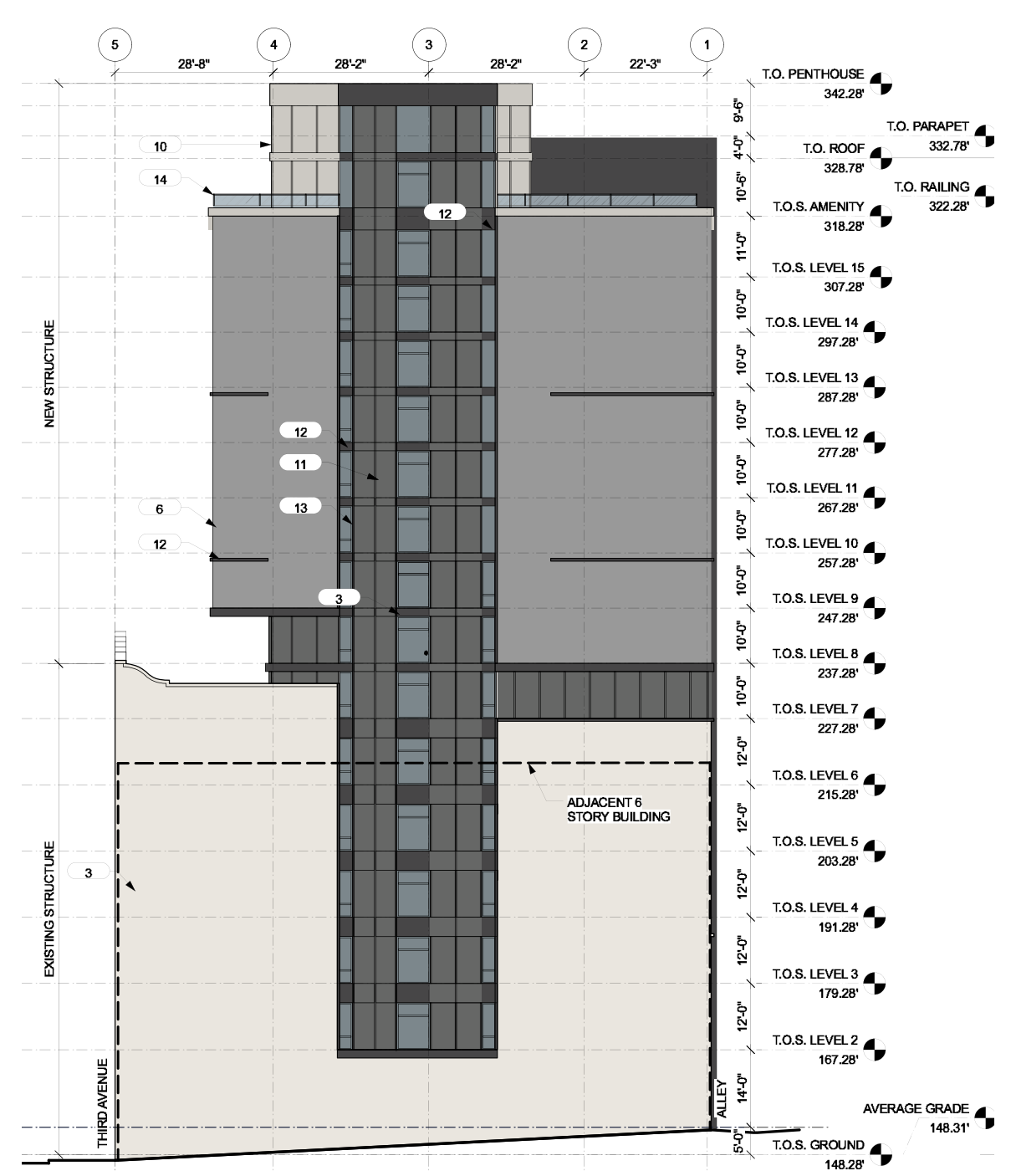


East Elevation (3rd Avenue)

Current MUP Submittal

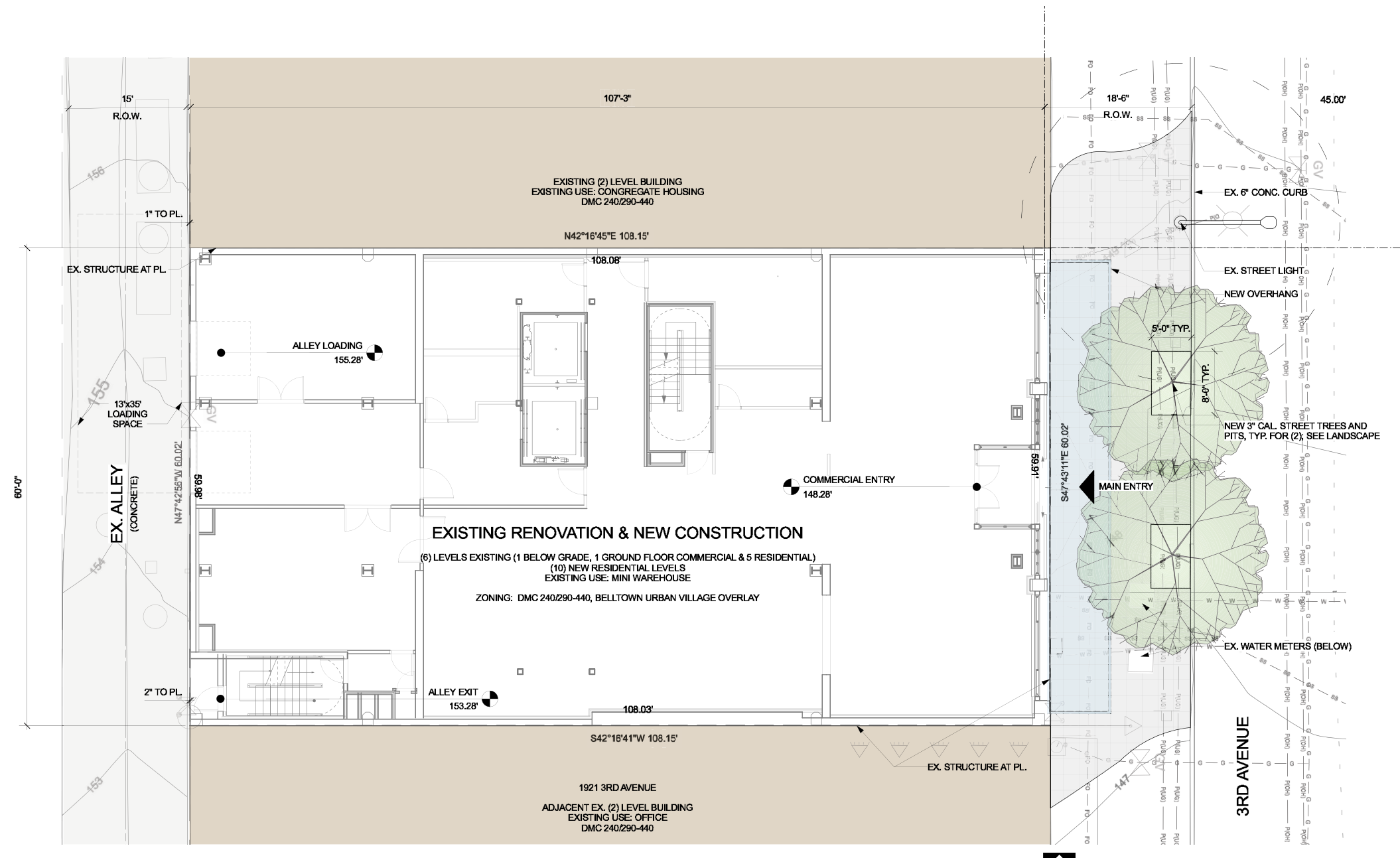


South Elevation



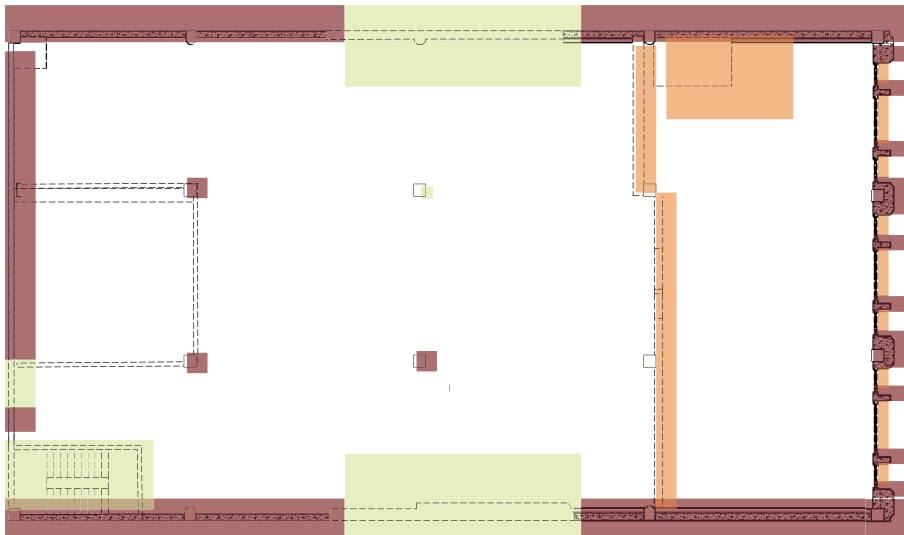
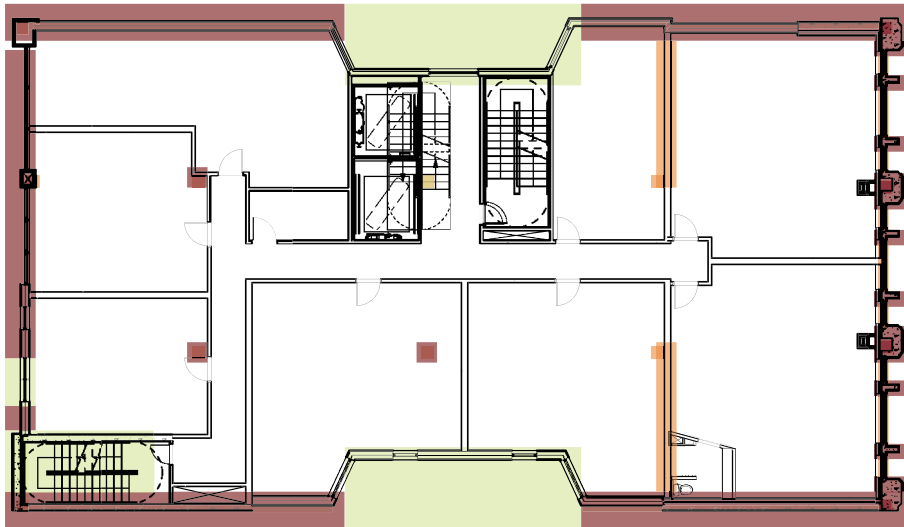
North Elevation

Current MUP Submittal



Ground Floor Plan

Current MUP Submittal

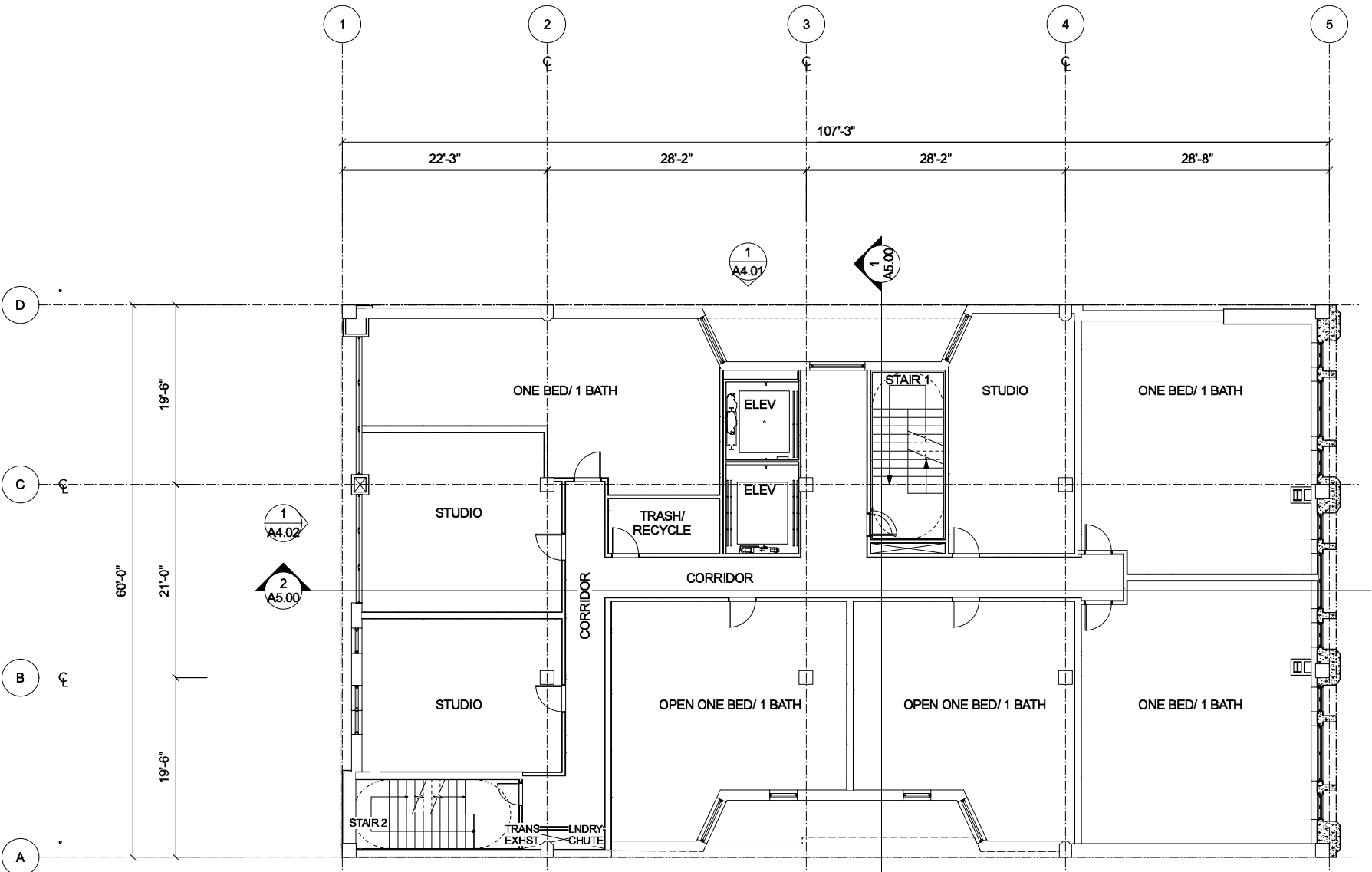


LEGEND

EXISTING NON-ORIGINAL
ELEMENTS TO BE REMOVED

EXISTING ORIGINAL
ELEMENTS TO REMAIN

EXISTING ORIGINAL
ELEMENTS TO BE ALTERED



Building Floor Plan

Current MUP Submittal

