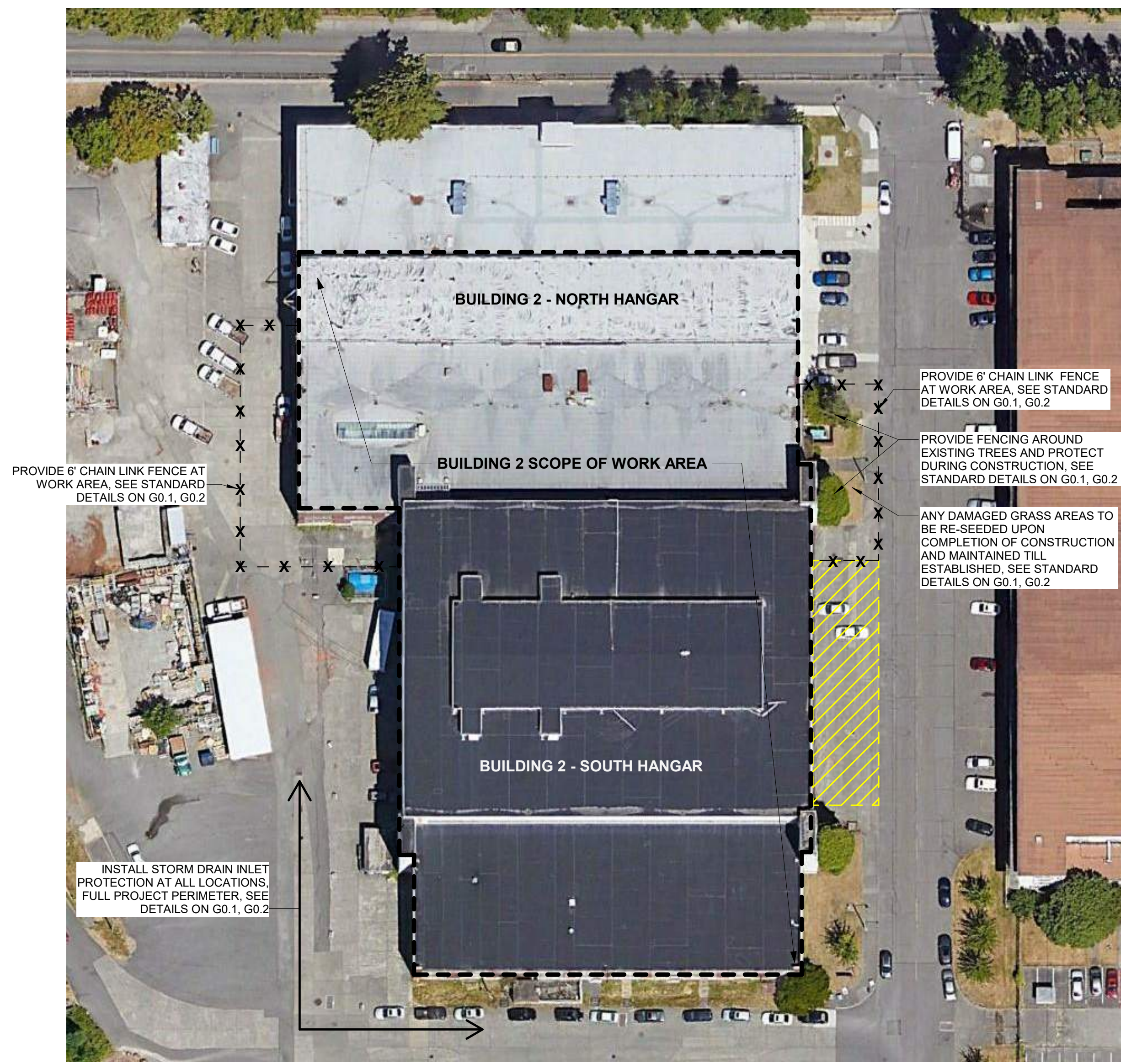




0 500 1,000 2,000 3,000 4,000 5,000 Feet 1:3,000

1 A0.2 NTS
MAGNUSON PARK - OVERALL CAMPUS MAP



3 A0.2 NTS
BUILDING 2 - AERIAL SITE PLAN (NTS)

>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER
BEFORE YOU DIG!
WWW.CALL811.COM

Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.

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NO.	REVISION - AS BUILT	DATE

REVIEWED: _____ DATE _____
PARK ENGINEER _____ DATE _____

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6273 REGISTERED ARCHITECT
Jerry D. Osborn
JERRY D. OSBORN
STATE OF WASHINGTON



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p. (206) 631-8442 | http://www.oaip.com



WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS

OVERALL SITE PLAN

DESIGNED	JJM	DATE	6/29/2022
DRAWN	JJM		
CHECKED	JDO	SHEET	2 OF 25

ORDINANCE NO. PRK730300-142
CONTRACT NO. PR2020-033
SCALE As Indicated (U.N.O.)

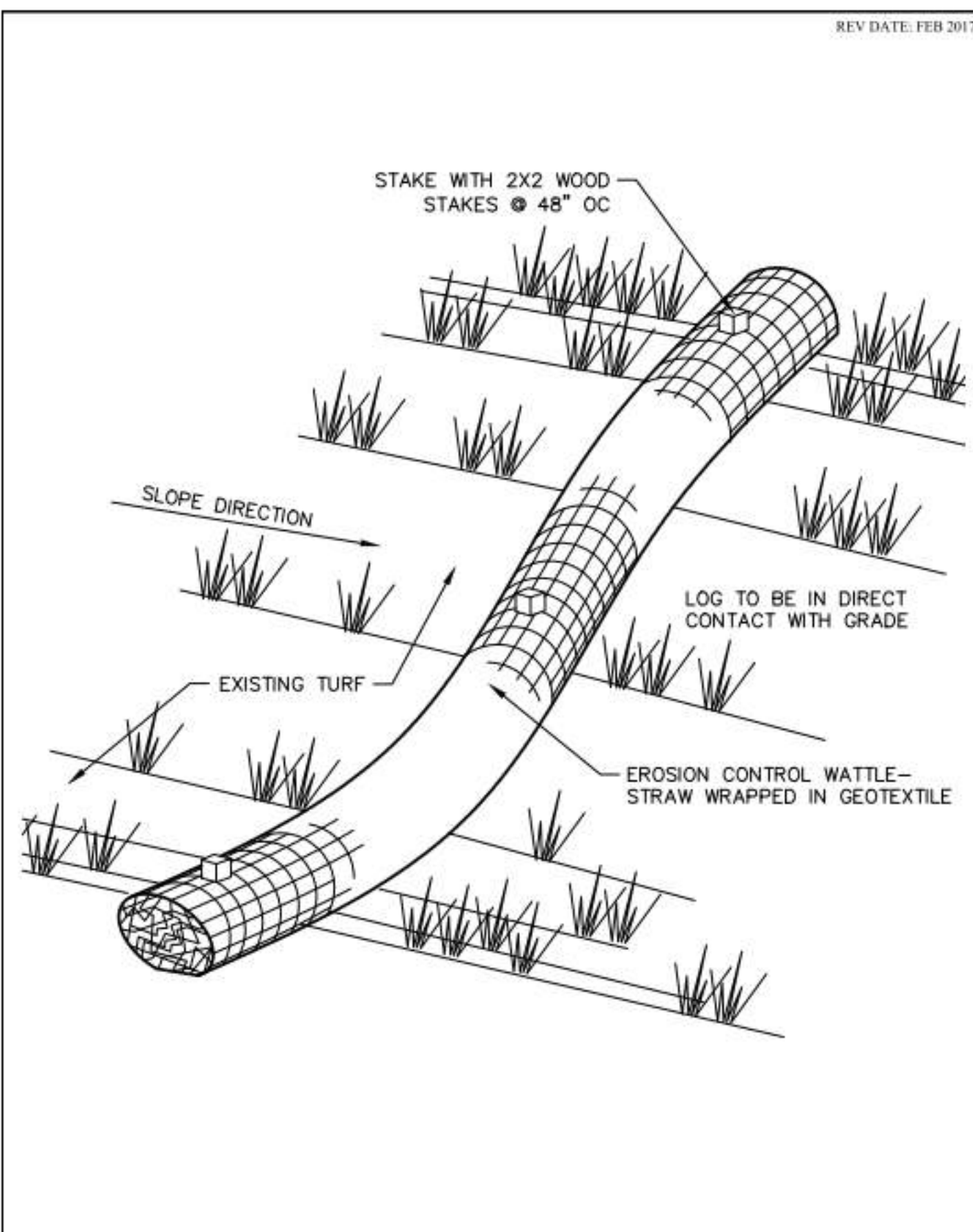
A0.2

G:\Shared drives\ARCH - Projects\Seattle\11 Seattle Parks\2019\1011.04 Magnuson Building 2\Doc\Aerial_Drawing\Aerial\Bldg #2_138_Perm_Submittal_29 June.rvt 6/29/2022 11:16:09 AM

	TREES IN PLANTING STRIPS	TREES IN TREE PITS
ROOT PROTECTION	ALL NON-PAVED PLANTING STRIP SURFACES SUBJECT TO IMPACT (COMPACTION) BY CONSTRUCTION ACTIVITY SHALL BE PROTECTED WITH 6"-8" MULCH LAYER OR 3/4" PLYWOOD PANELS PROVIDE WOOD PLANKING OR STEEL PANELS UNDER BACKHOE STABILIZERS PLACED ANYWHERE IN THE PLANTING STRIP [1-07.16(2)] NO STORAGE OF MATERIALS OR EQUIPMENT IN THE PLANTING STRIP SHALL BE ALLOWED WITHOUT PROPER SURFACE PROTECTION AND WRITTEN AUTHORIZATION FROM THE ENGINEER	RETAIN EXISTING PAVING DURING CONSTRUCTION SCHEDULE PAVING REPLACEMENT TO MINIMIZE EXPOSURE OF SURFACE ROOTS TO DRYING, EQUIPMENT DAMAGE, COMPACTION, ETC. EXPOSURE FOR LONGER THAN 48 HOURS REQUIRES MULCH APPLICATION
CANOPY PROTECTION	OVERHEAD BRANCHING LIKELY TO BE DAMAGED BY EQUIPMENT OPERATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER WITH PREVENTIVE MEASURES (PRUNING OR TIE-BACK OF BRANCHES) APPROVED BY THE ENGINEER AND PROPERLY EXECUTED BEFORE COMMENCEMENT OF THE WORK	
TRUNK PROTECTION	PROVIDE CHAIN LINK CONSTRUCTION FENCE IN INDIVIDUAL TREE INSTALLATIONS FOR EACH TREE OR THE LENGTH OF THE PLANTING STRIP.	PROVIDE 5'-0" MIN HEIGHT FENCE INSTALLATIONS FOR EACH TREE TO ENCLOSE ENTIRE TREE PIT OPENING.
SIDEWALK RECONSTRUCTION	ROOT PRUNE ONLY AS APPROVED BY THE ENGINEER MAINTAIN 2'-0" MIN CLEARANCE FROM FLARE OF TRUNK WHEN SETTING FORMS.	PROVIDE 5'-0"x5'-0" OR 4'-0"x6'-0" (24 SQ FT MIN) TREE PITS IN NEW SIDEWALK FOR NEW TREES. TREE PIT SIZE FOR EXISTING TREES SHALL BE ELONGATED (8'-0" TO 12'-0"+). PITS MAY BE REQUIRED TO MINIMIZE ROOT IMPACTS WHILE MAINTAINING REQUIRED SIDEWALK WIDTH
TRENCH OR TUNNELING	SEE STD PLAN NO 133	

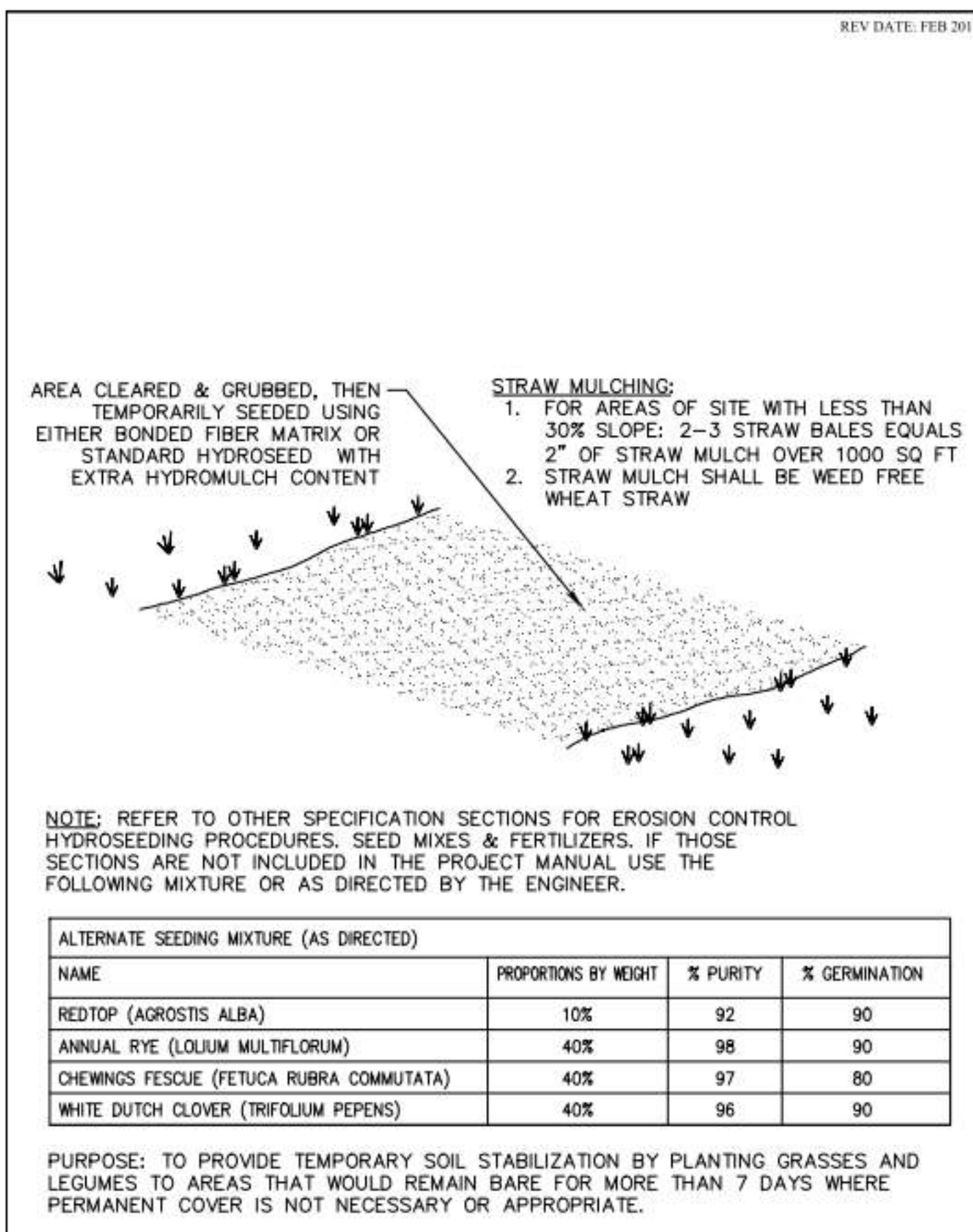
Seattle Parks & Recreation **TEMPORARY TREE PROTECTION**
STD. DETAIL NO. 01 56 39
INTENDED PLOT SCALE: 1/4"=1'-0"

1 GO.1 NTS **TEMPORARY TREE PROTECTION NOTES**



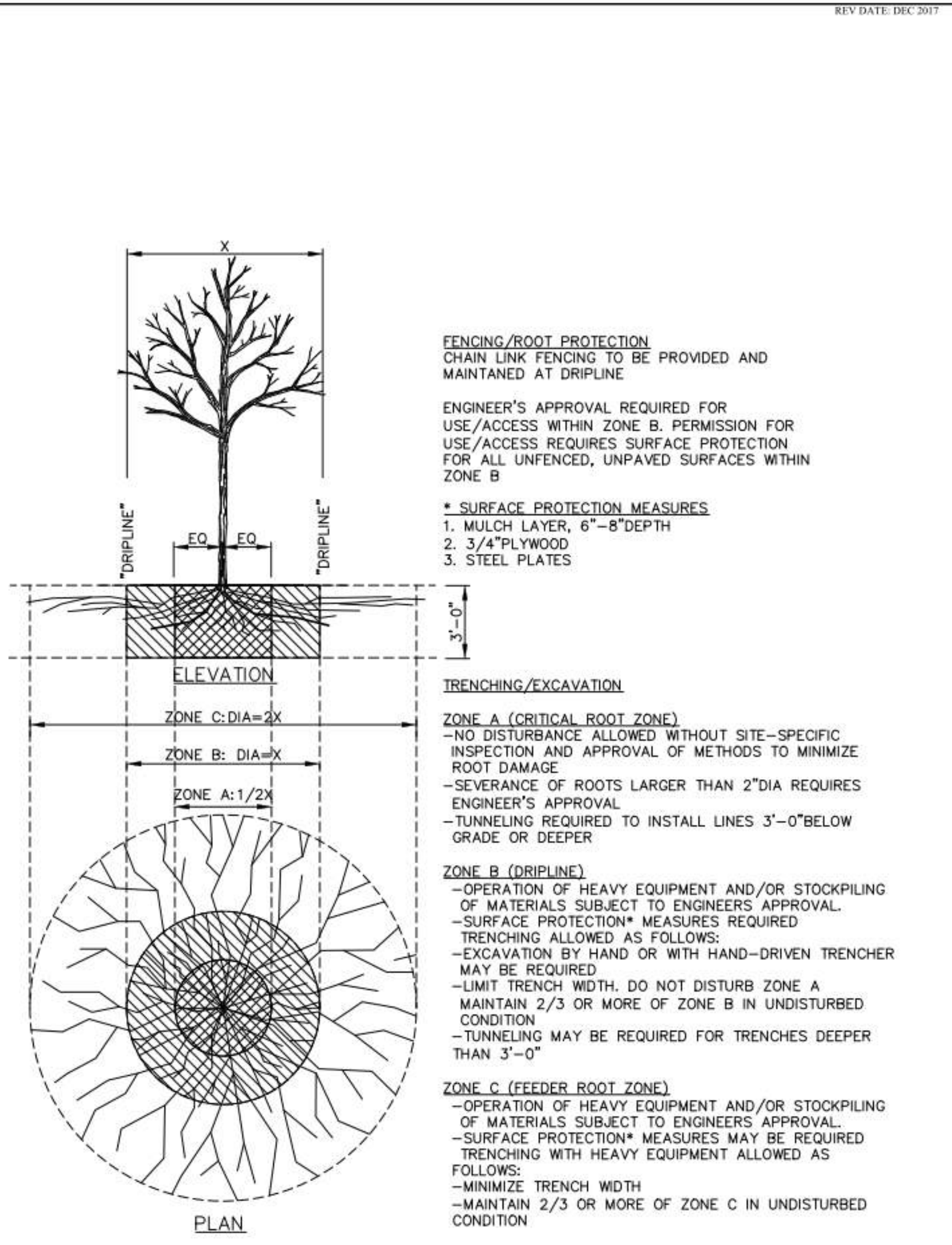
Seattle Parks & Recreation **EROSION CONTROL WATTLE**
STD. DETAIL NO. 01 57 13.26
INTENDED PLOT SCALE: 3/4"=1'-0"

6 GO.1 NTS **EROSION CONTROL WATTLE**



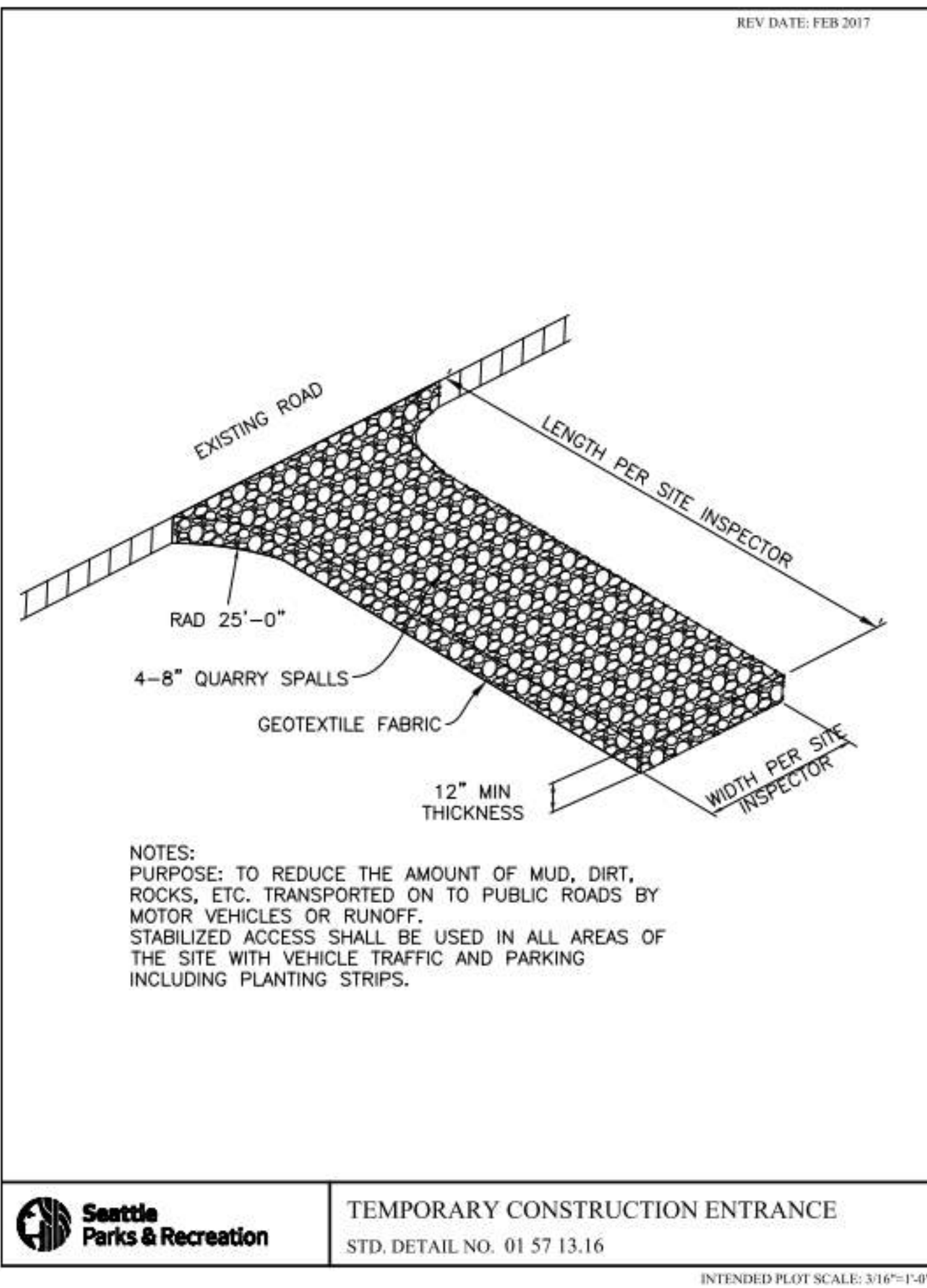
Seattle Parks & Recreation **TEMPORARY SEEDING - MULCHING**
STD. DETAIL NO. 01 57 13.39
INTENDED PLOT SCALE: 3/4"=1'-0"

7 GO.1 NTS **NORTH AT ROOF HATCH**



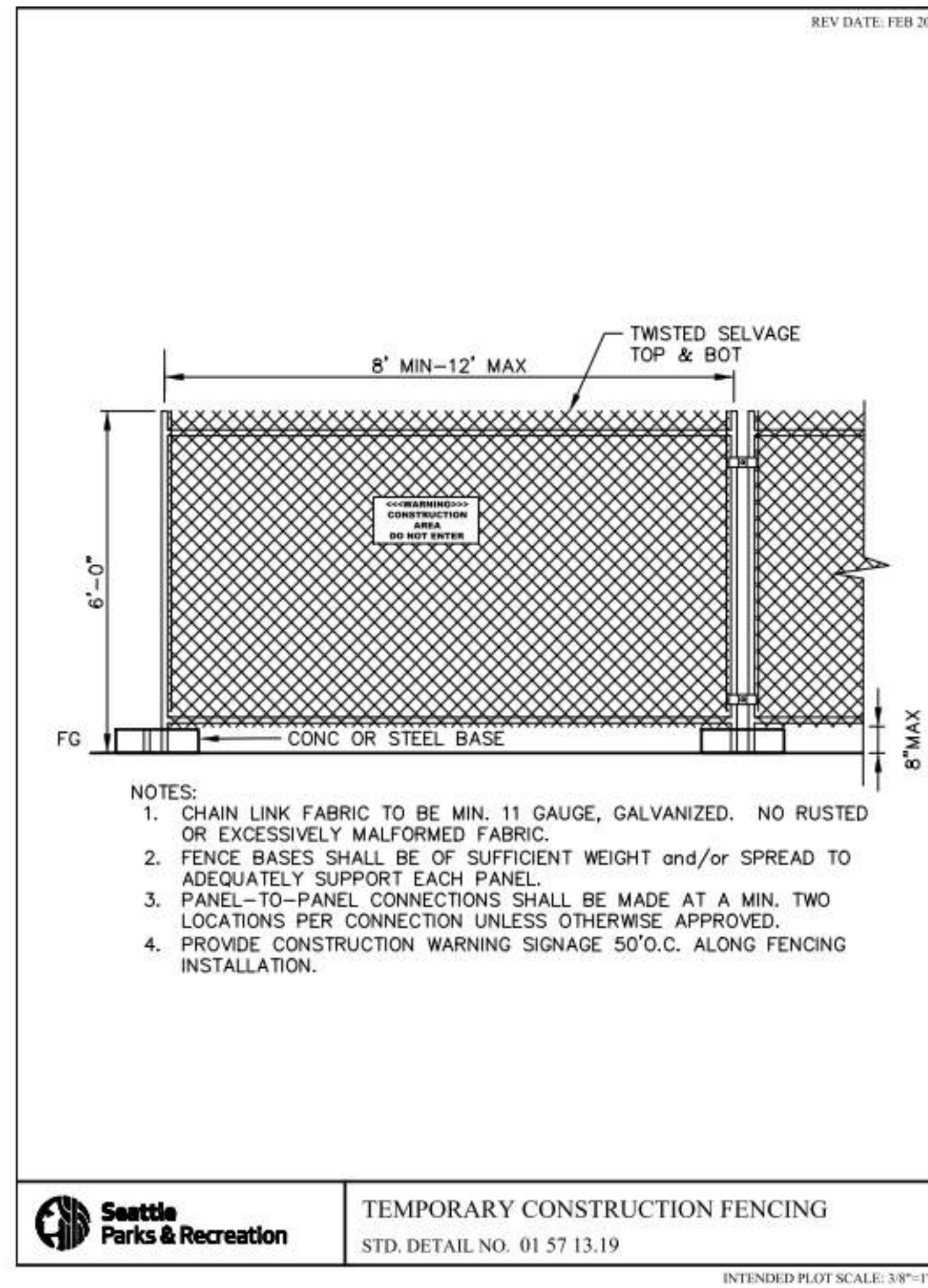
Seattle Parks & Recreation **TEMPORARY TREE PROTECTION**
STD. DETAIL NO. 01 56 39
INTENDED PLOT SCALE: 1/4"=1'-0"

2 GO.1 NTS **TEMPORARY TREE PROTECTION**



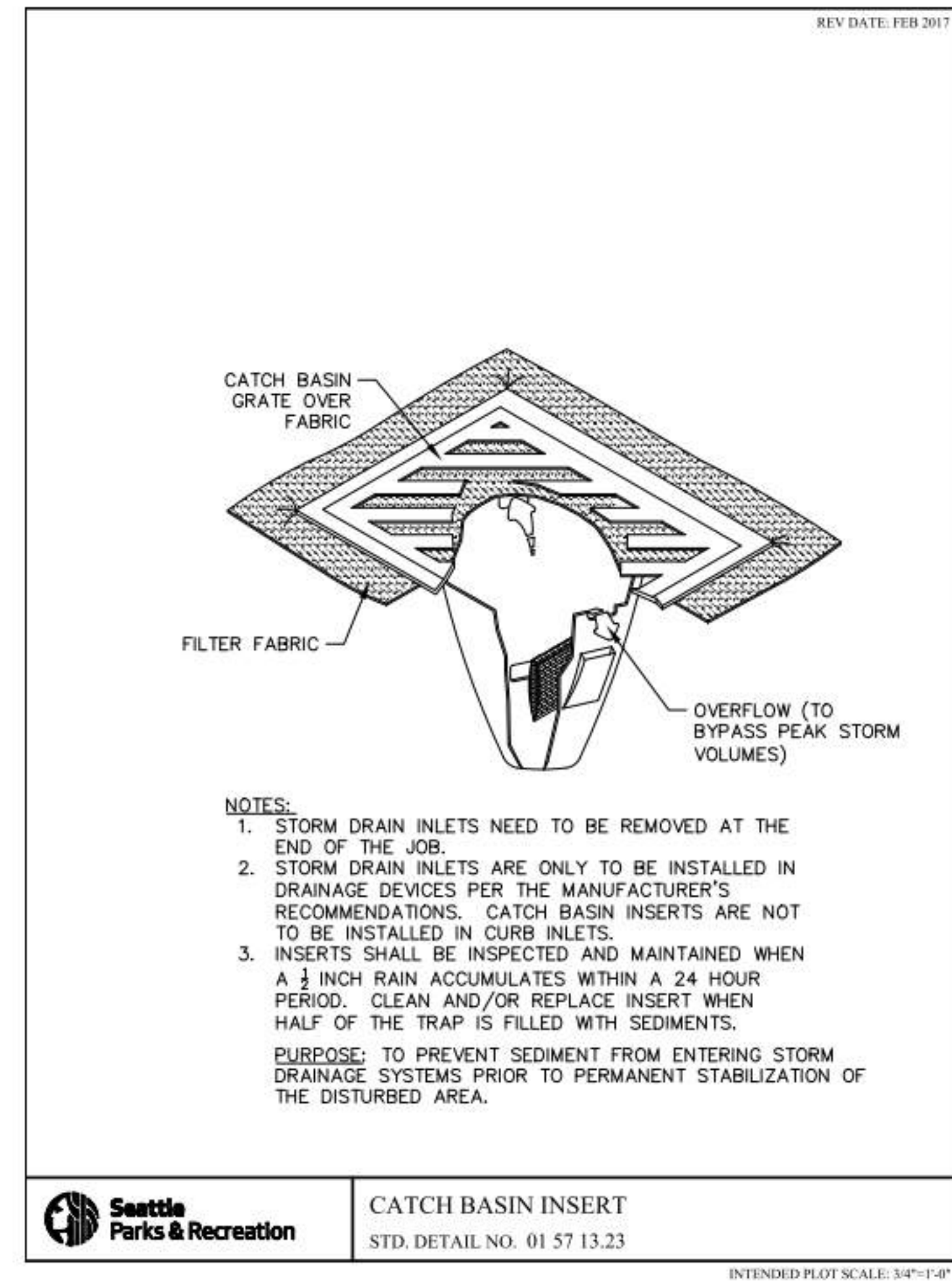
Seattle Parks & Recreation **TEMPORARY CONSTRUCTION ENTRANCE**
STD. DETAIL NO. 01 57 13.16
INTENDED PLOT SCALE: 3/4"=1'-0"

3 GO.1 NTS **TEMPORARY CONSTRUCTION ENTRANCE**



Seattle Parks & Recreation **TEMPORARY CONSTRUCTION FENCING**
STD. DETAIL NO. 01 57 13.19
INTENDED PLOT SCALE: 3/4"=1'-0"

4 GO.1 NTS **TEMPORARY CONSTRUCTION FENCING**



Seattle Parks & Recreation **CATCH BASIN INSERT**
STD. DETAIL NO. 01 57 13.23
INTENDED PLOT SCALE: 3/4"=1'-0"

5 GO.1 NTS **CATCH BASIN INSERT**

>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER
BEFORE YOU DIG!
WWW.CALL811.COM

Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.

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ALTERNATE SEEDING MIXTURE (AS DIRECTED)

NAME	PROPORTIONS BY WEIGHT	% PURITY	% GERMINATION
REDTOP (AGROSTIS ALBA)	10%	92	90
ANNUAL RYE (LOLIUM MULTIFLORUM)	40%	98	90
CHEWINGS FESCUE (FETUCA RUBRA COMMUTATA)	40%	97	80
WHITE DUTCH CLOVER (TRIFOLIUM PEPENS)	40%	96	90

PURPOSE: TO PROVIDE TEMPORARY SOIL STABILIZATION BY PLANTING GRASSES AND LEGUMES TO AREAS THAT WOULD REMAIN BARE FOR MORE THAN 7 DAYS WHERE PERMANENT COVER IS NOT NECESSARY OR APPROPRIATE.

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NO.	REVISION - AS BUILT	DATE

REVIEWED: _____ DATE _____
PARK ENGINEER _____ DATE _____

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6273 REGISTERED ARCHITECT
JERRY D. OSBORN
STATE OF WASHINGTON

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p. (206) 631-8442 | http://www.oaip.s.com

Seattle Parks & Recreation

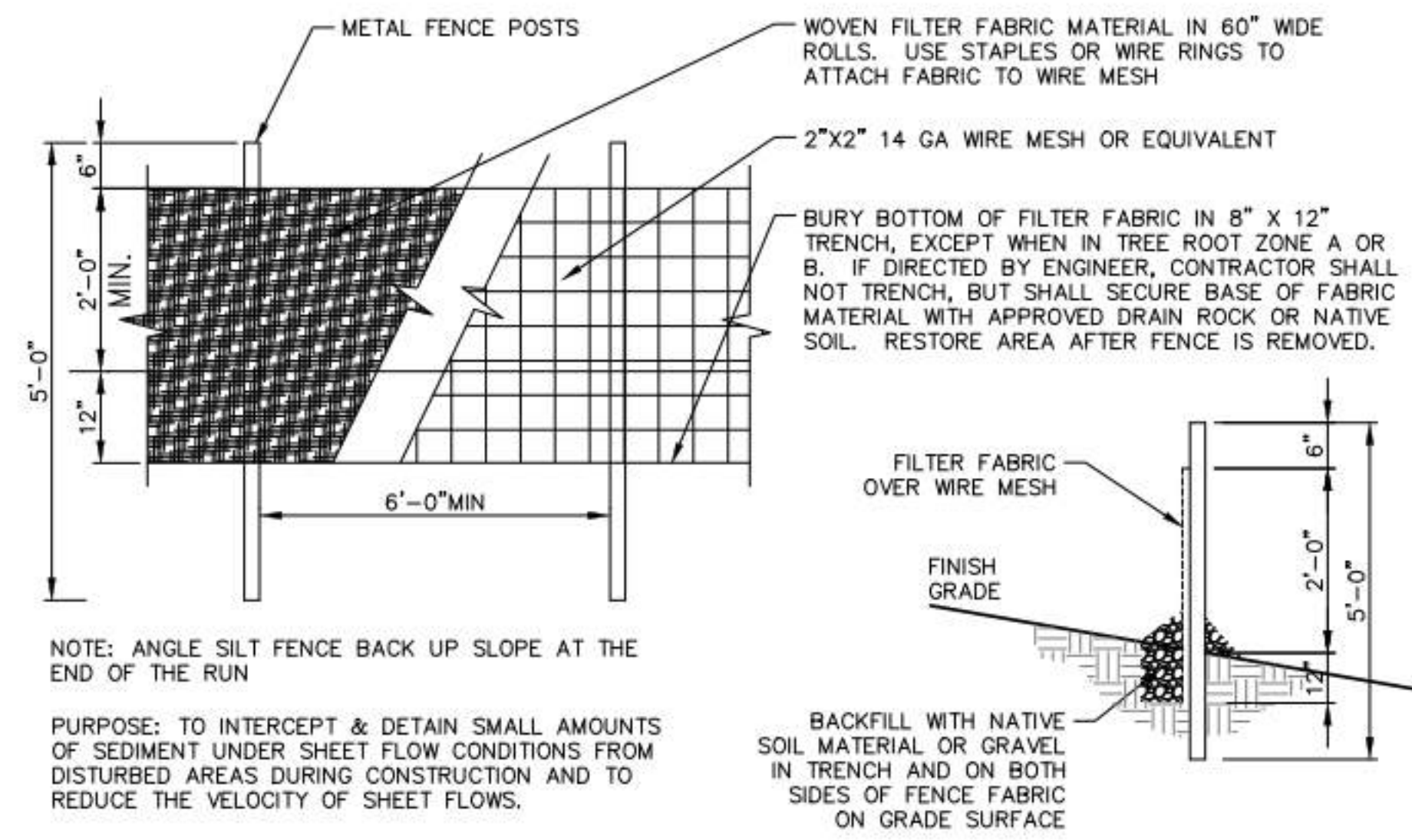
WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS
STANDARD TREE PROTECTION, STORMWATER CONTROL DETAILS

DESIGNED	CY	DATE	6/29/2022
DRAWN	CY		
CHECKED	KN	SHEET	4 OF 26
ORDINANCE NO.	PRK730300-142		
CONTRACT NO.	PR2020-033		
SCALE	12" = 1'-0" (U.N.O.)		

G0.1

G:\Shared drives\ARCH - Projects\Seattle\11 Seattle Parks\2019\11.04 Magnuson Building 2 North\Drawings\Permit\Reg Bldg #2_138 Permitt Submittal 29 June 14.rvt 6/29/2022 11:17:42 AM

REV DATE: FEB 2017



ANTI-SILTATION FENCE
STD. DETAIL NO. 01 57 13.29

INTENDED PLOT SCALE: 1/8"=1'-0"

1 ANTI-SILTATION FENCE
GO.2 12" = 1'-0"

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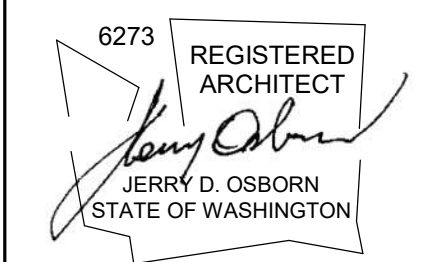
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WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF
REPLACEMENTS

STANDARD STORMWATER
CONTROL DETAILS

DESIGNED	CY	DATE	6/29/2022
DRAWN	CY		
CHECKED	KN	SHEET	5 OF 25
ORDINANCE NO.	PRK730300-142		
CONTRACT NO.	PR2020-033		
SCALE	12" = 1'-0" (U.N.O.)		

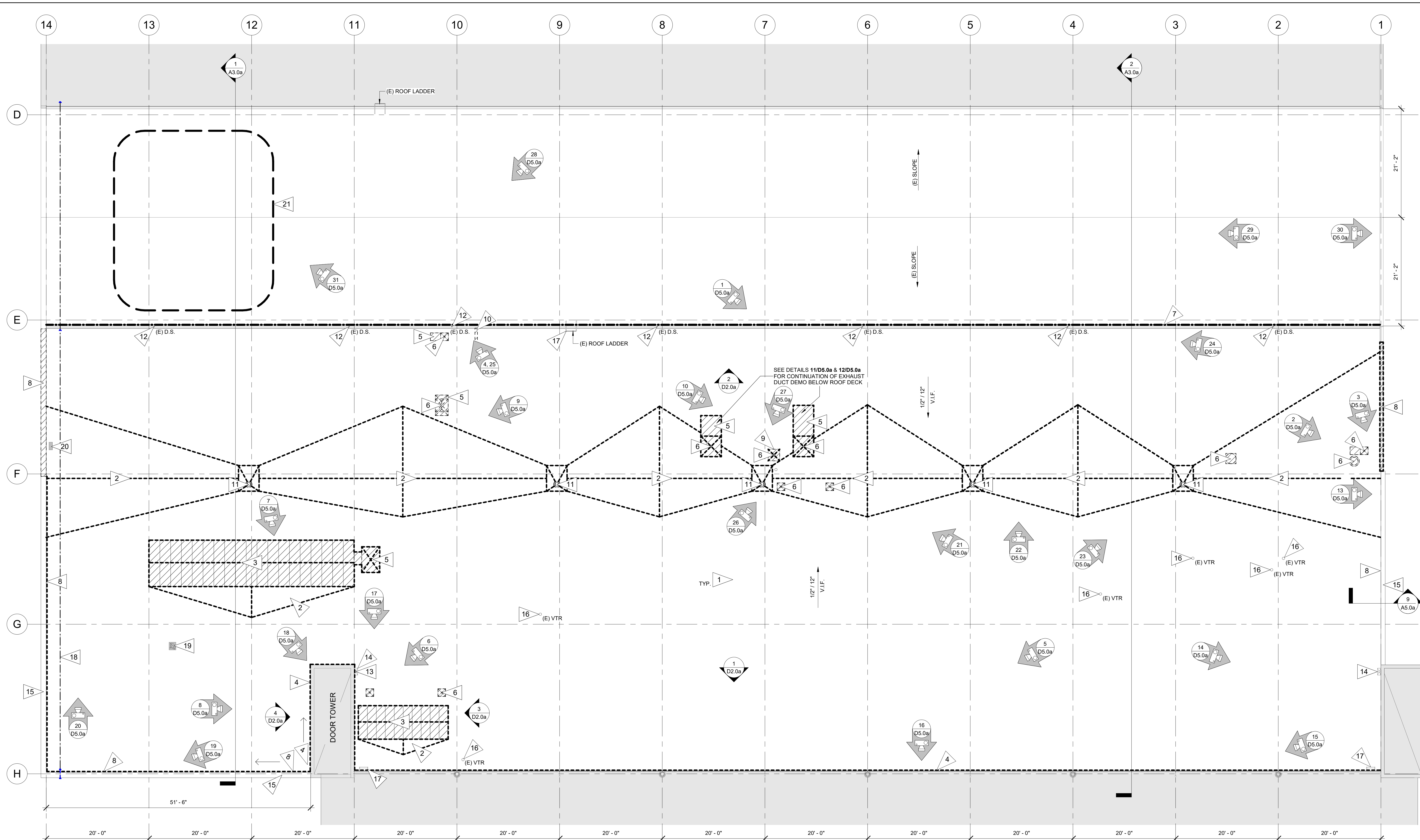
GO.2

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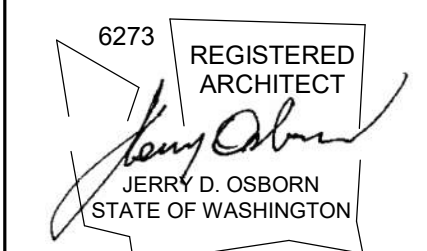
BUILDING 2 - NORTH HANGER ROOF DEMOLITION PLAN

1 / D1.0a
1/8" = 1'-0"

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NO.	REVISION - AS BUILT	DATE

REVIEWED: _____ DATE _____
 PARK ENGINEER _____ DATE _____

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WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS

BUILDING #2 - ROOF DEMOLITION PLAN

DESIGNED	JJM	DATE	6/29/2022
DRAWN	JJM	SHEET	6 OF 25
CHECKED	KN		

ORDINANCE NO. PRK730300-142
 CONTRACT NO. PR2020-033
 SCALE As Indicated (U.N.O.)

D1.0a

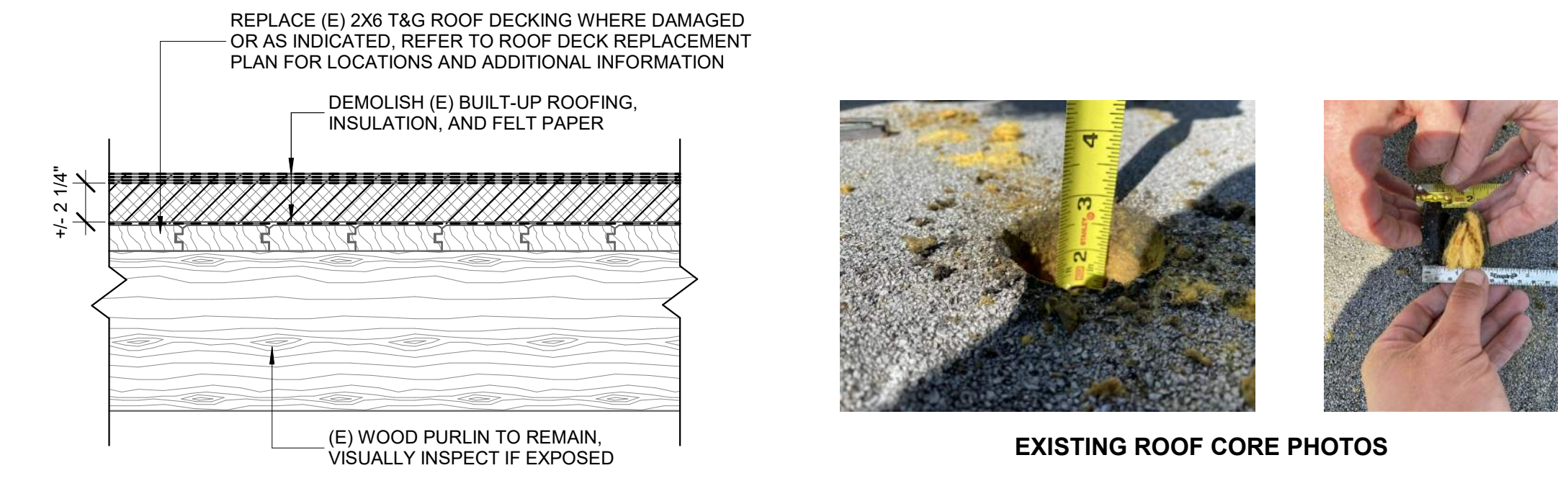
ROOF DEMOLITION KEYNOTES

- | | |
|--|---|
| 1 DEMO (E) BUILT-UP ROOF ASSEMBLY, TYP. | 12 DEMO (E) DOWNSPOUT THROUGH ROOF, INFILL WITH (N) 2X6 T&G DECKING |
| 2 DEMO (E) TAPERED ROOF CRICKET, TYP. | 13 REMOVE & RE-INSTALL (E) DOWNSPOUT, TYP. |
| 3 DEMO (E) SKYLIGHT, EXISTING CURB TO REMAIN | 14 (E) DOWNSPOUT AND COLLECTOR BOX TO REMAIN |
| 4 (E) CAB SIDING AND TRIM TO BE REMOVED BY OTHERS PRIOR TO START OF WORK | 15 (E) WOOD BLOCKING AT PARAPET TO REMAIN, TYP. |
| 5 DEMO (E) VENT HOOD/MECHANICAL UNIT AND ACCESSORIES, TYP. | 16 (E) VENT THROUGH ROOF TO REMAIN, DEMOLISH (E) ACM SEALANT, TYP ASSURE THAT ALL PIPE PENETRATION EXTEND ABOVE FLASHING BOOT MIN 4"; EXTEND OR REPLACE AS REQUIRED, TYP AT ALL LOCATIONS |
| 6 DEMO (E) DUCT BELOW ROOF DECK, INFILL WITH (N) 2X6 T&G DECKING | 17 (E) ROOF LADDER TO REMAIN, TYP. |
| 7 DEMO (E) ASBESTOS CONTAINING SEALANT/MASTIC | 18 (E) CONDUIT AND PROTECTION BLOCKS TO REMAIN |
| 8 DEMO (E) SHEET METAL COPING/COUNTERFLASHING | 19 (E) SATELLITE DISH TO REMAIN, PROTECT, TYP. |
| 9 DEMO (E) WOOD BLOCKING AND/OR ROOF CURB, TYP. | 20 (E) LIGHT FIXTURE TO REMAIN, PROTECT, TYP. |
| 10 DEMO (E) PIPE PENETRATION, TYP. | 21 REMOVE WIRE AND DEBRIS FROM (E) ROOF |
| 11 DEMO (E) ROOF DRAIN AND SUMP, TYP. | |

SHEET LEGEND

- | | |
|---|---|
| DEMOLISH EXISTING CONSTRUCTION PER KEYNOTES (DEMO OF ROOF ASSEMBLY NOT HATCHED FOR CLARITY) | HAZARDOUS MATERIALS:
ASBESTOS CONTAINING MATERIALS (ACM) HAVE BEEN IDENTIFIED IN THE EXISTING ROOF ASSEMBLIES. REFER TO THE HAZARDOUS MATERIALS SURVEY INCLUDED IN THE PROJECT MANUAL. CONTRACTOR IS RESPONSIBLE FOR THE PROPER ABATEMENT AND DISPOSAL OF ALL ACM IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS, EXCEPT AS FOLLOWS:

• CAB (CEMENT ASBESTOS BOARD) CLADDING AND TRIM WILL BE REMOVED AND RE-INSTALLED UNDER SEPARATE CONTRACTOR HIRED DIRECTLY BY THE OWNER (THIS WORK IS NOTED AS "BY OWNER") |
| (E) SHEET METAL FLASHING | ABBREVIATIONS:
(E) EXISTING CONSTRUCTION
(N) NEW CONSTRUCTION
ACM ASBESTOS CONTAINING MATERIAL
CAB CORRUGATED ASBESTOS BOARD
CLERESTORY
D.S. DOWNSPOUT
N.I.C. NOT IN CONTRACT
PT PRE-TREATED
RWL RAINWATER LEADER
T&G TONGUE & GROOVE
TWIR TOWER (REFERS TO DOOR TOWERS)
URM UNREINFORCED MASONRY
V.I.F. VERIFY IN FIELD
VTR VENT THROUGH ROOF |
| EXISTING BUILDING - NOT IN SCOPE OF WORK | |
| (E) DUCT THROUGH ROOF TO BE DEMOLISHED | |
| DEMOLITION KEYNOTE | |
| DEMOLISH EXISTING CONSTRUCTION PER KEYNOTES | |
| EXISTING CONSTRUCTION | |
| (E) ACM SEALANT/MASTIC TO BE DEMOLISHED | |
| EXISTING CONDITIONS REFERENCE PHOTO, SEE SHEET 2 / D5.0b | |
| AS.0a FOR ADDITIONAL NOTES AND SCOPE OF WORK | |



EXISTING ROOF ASSEMBLY DEMO

2 / D1.0a
1 1/2" = 1'-0"

G:\Shared\drives\ARCH - Projects\Seattle\11 Seattle Parks\2019\1911.04 Magnuson Building 2 Roof\1. Drawing\Rev\11.dwg Bldg #2 - 138 Permt. Submitted 29 June 19

HAZARDOUS MATERIALS:
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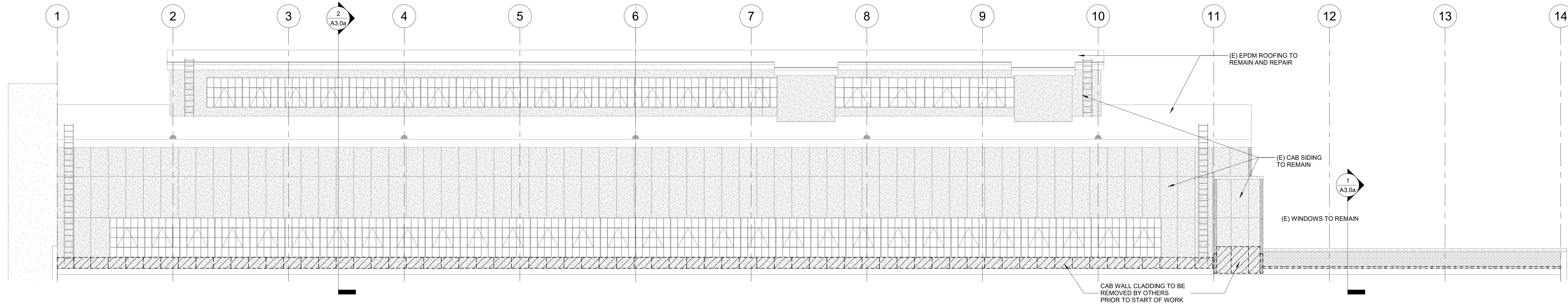
- CAB (CEMENT ASBESTOS BOARD) CLADDING AND TRIM WILL BE REMOVED AND RE-INSTALLED UNDER SEPARATE CONTRACTOR HIRED DIRECTLY BY THE OWNER (THIS WORK IS NOTED AS "BY OWNER")

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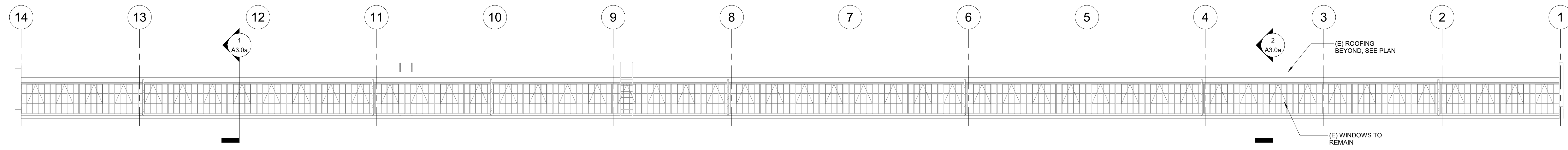
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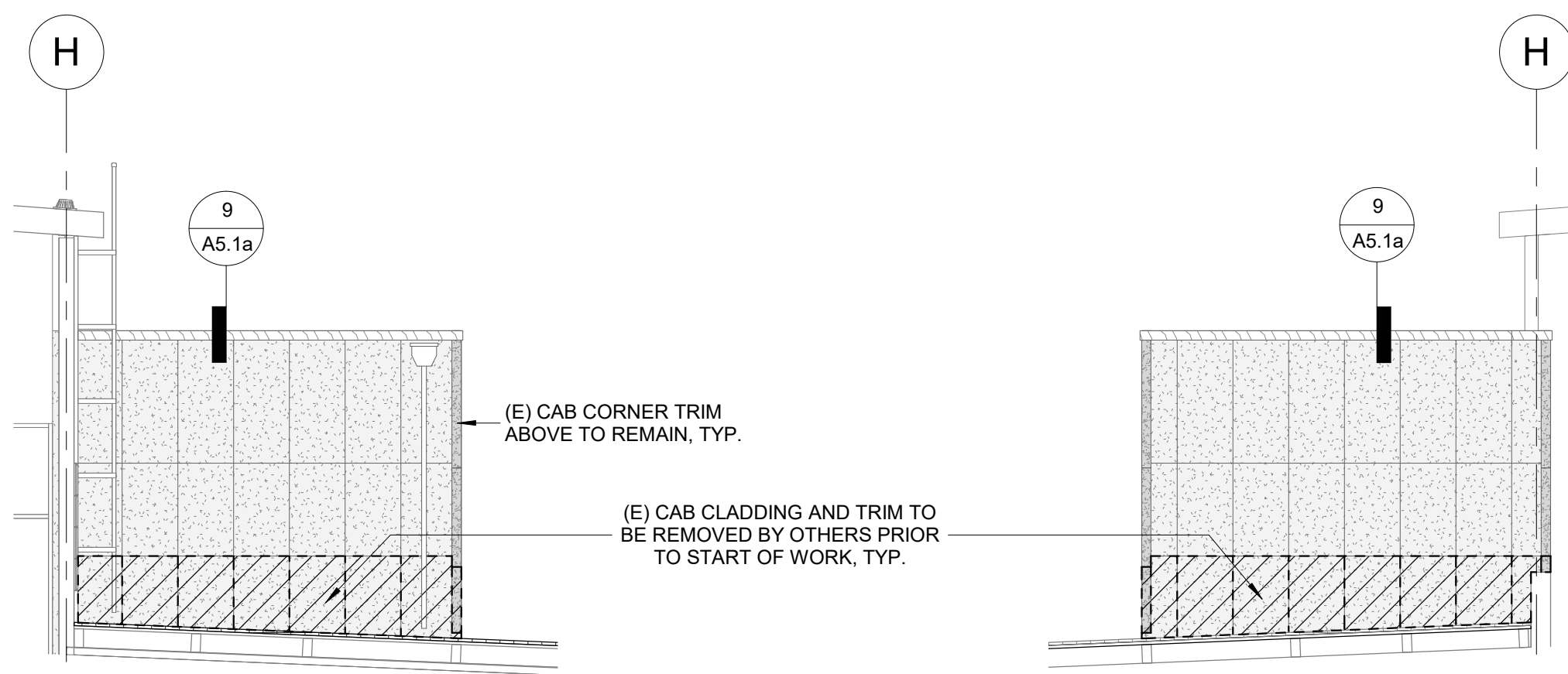
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1 NORTH ELEVATION AT SOUTH HANGER
 1/8" = 1'-0"



2 SOUTH ELEVATION AT NORTH HANGAR CLERESTORY
 1/8" = 1'-0"



3 EAST ELEVATION
 1/8" = 1'-0"

4 WEST ELEVATION
 1/8" = 1'-0"

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NO.	REVISION - AS BUILT	DATE

REVIEWED: _____
 PARK ENGINEER DATE

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6273 REGISTERED ARCHITECT
 JERRY D. OSBORN
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WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS

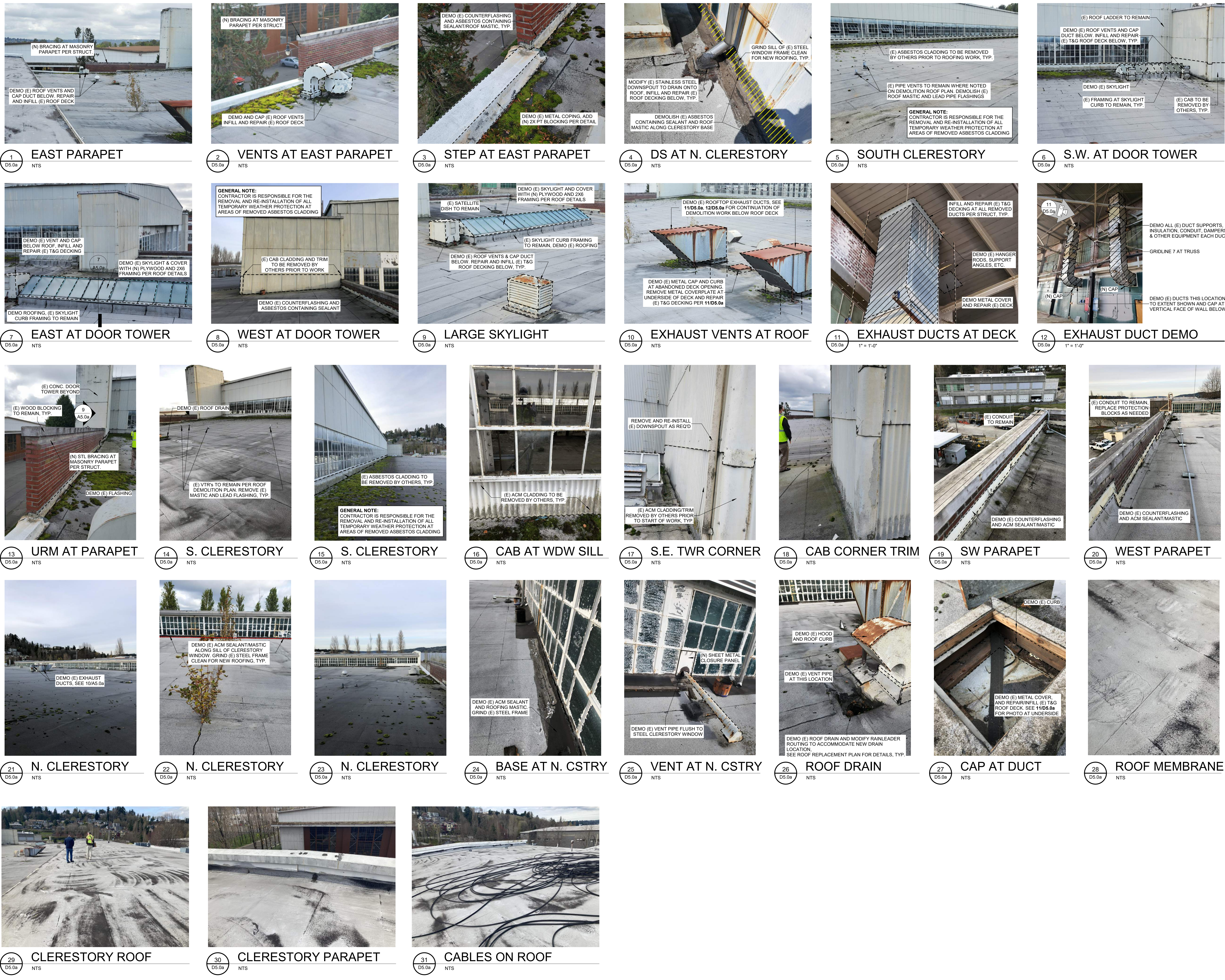
BUILDING #2 - DEMOLITION ELEVATIONS

DESIGNED JJM DATE 6/29/2022
 DRAWN JJM
 CHECKED KN SHEET 7 OF 25

ORDINANCE NO. PRK730300-142
 CONTRACT NO. PR2020-033

D2.0a

SCALE As Indicated (U.N.O.)



1 EAST PARAPET
D5.0a NTS

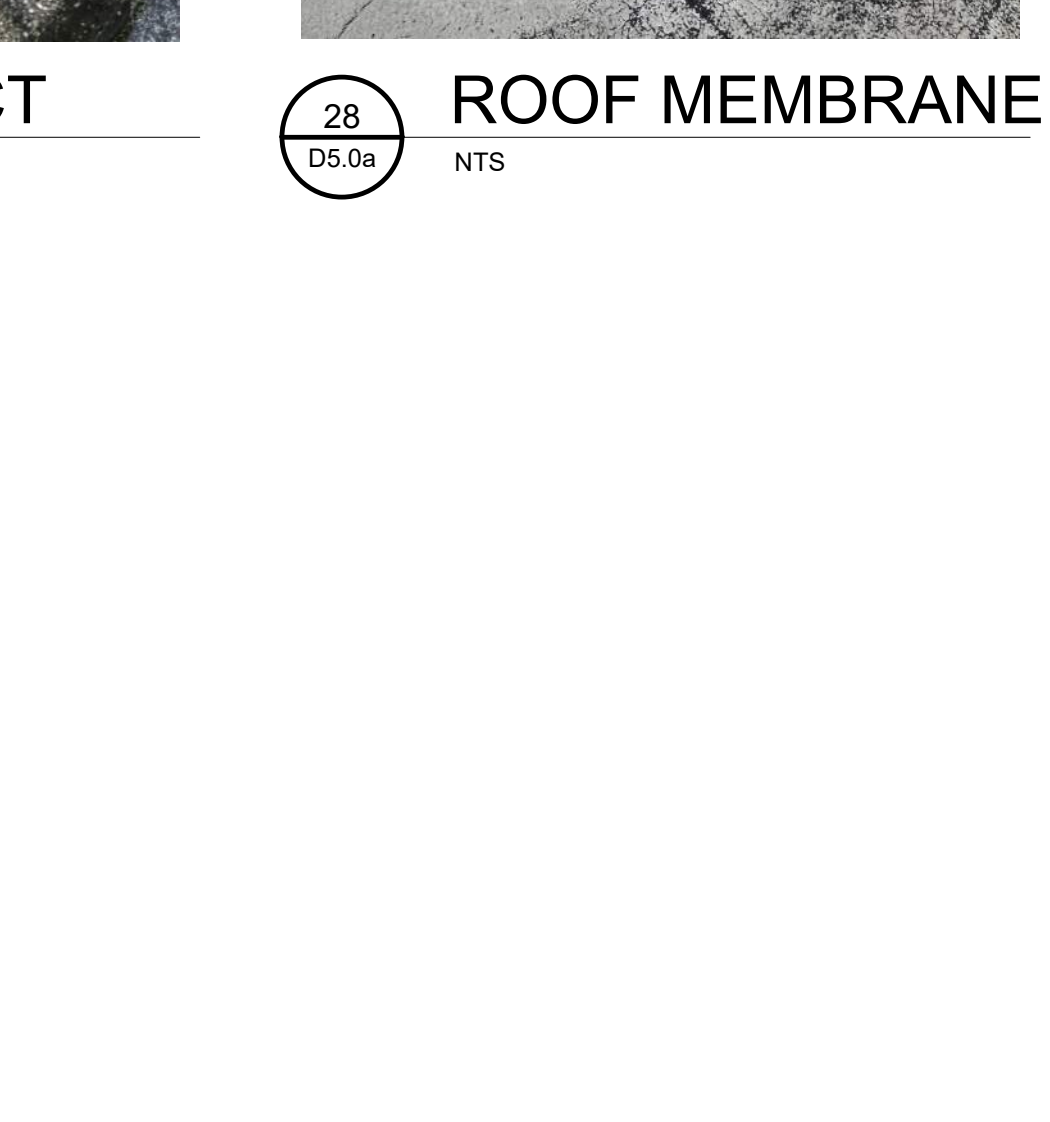
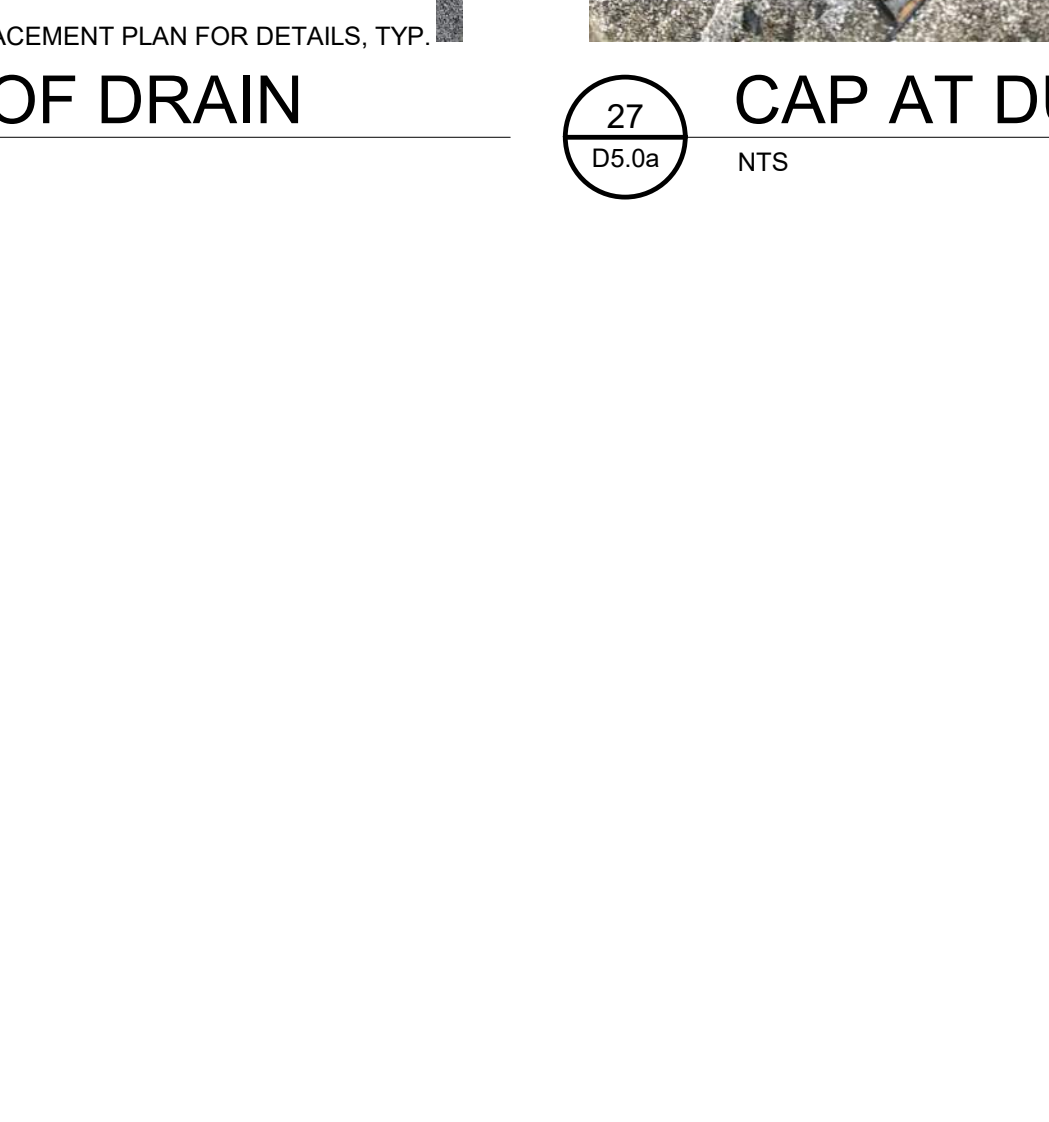
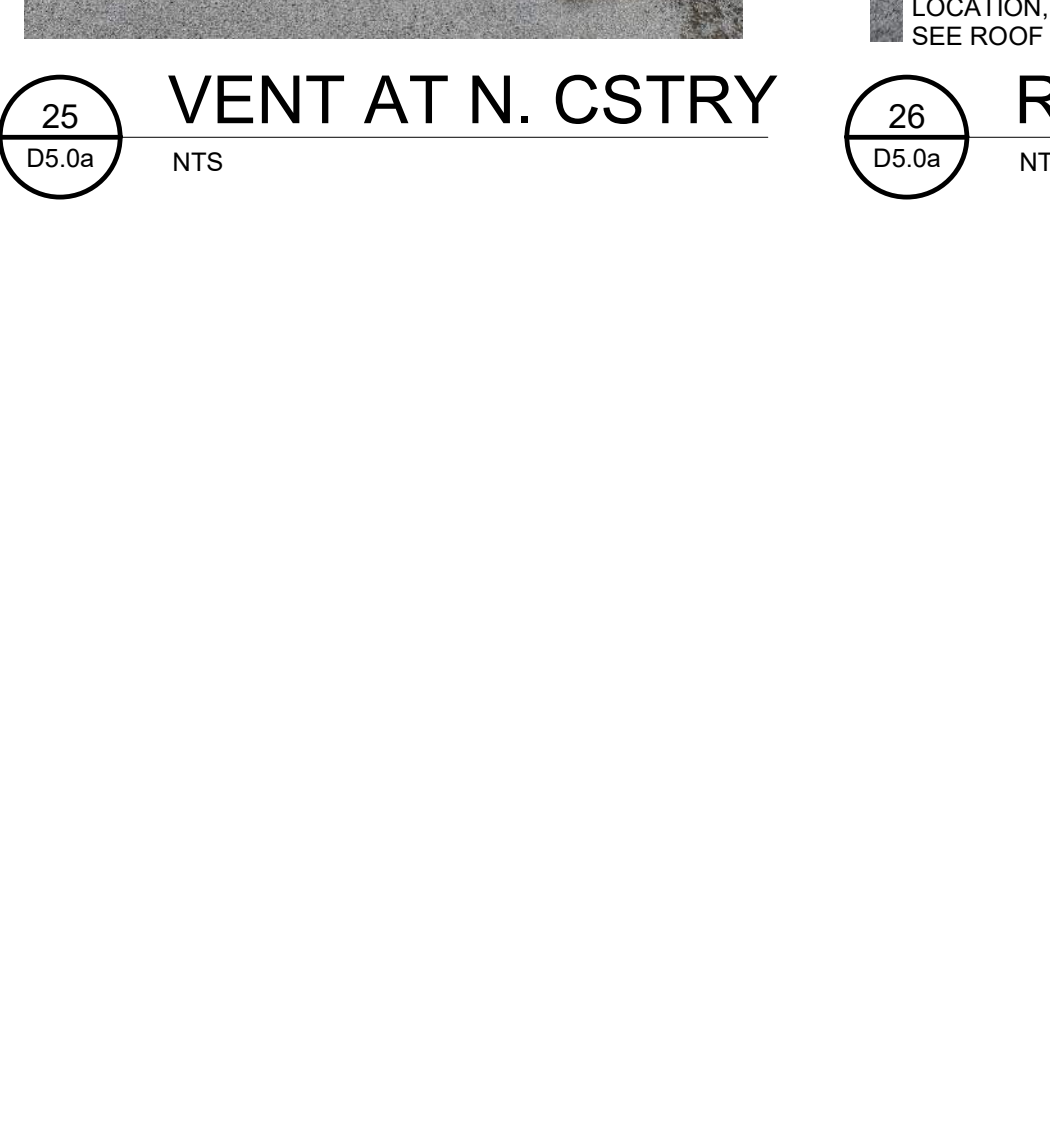
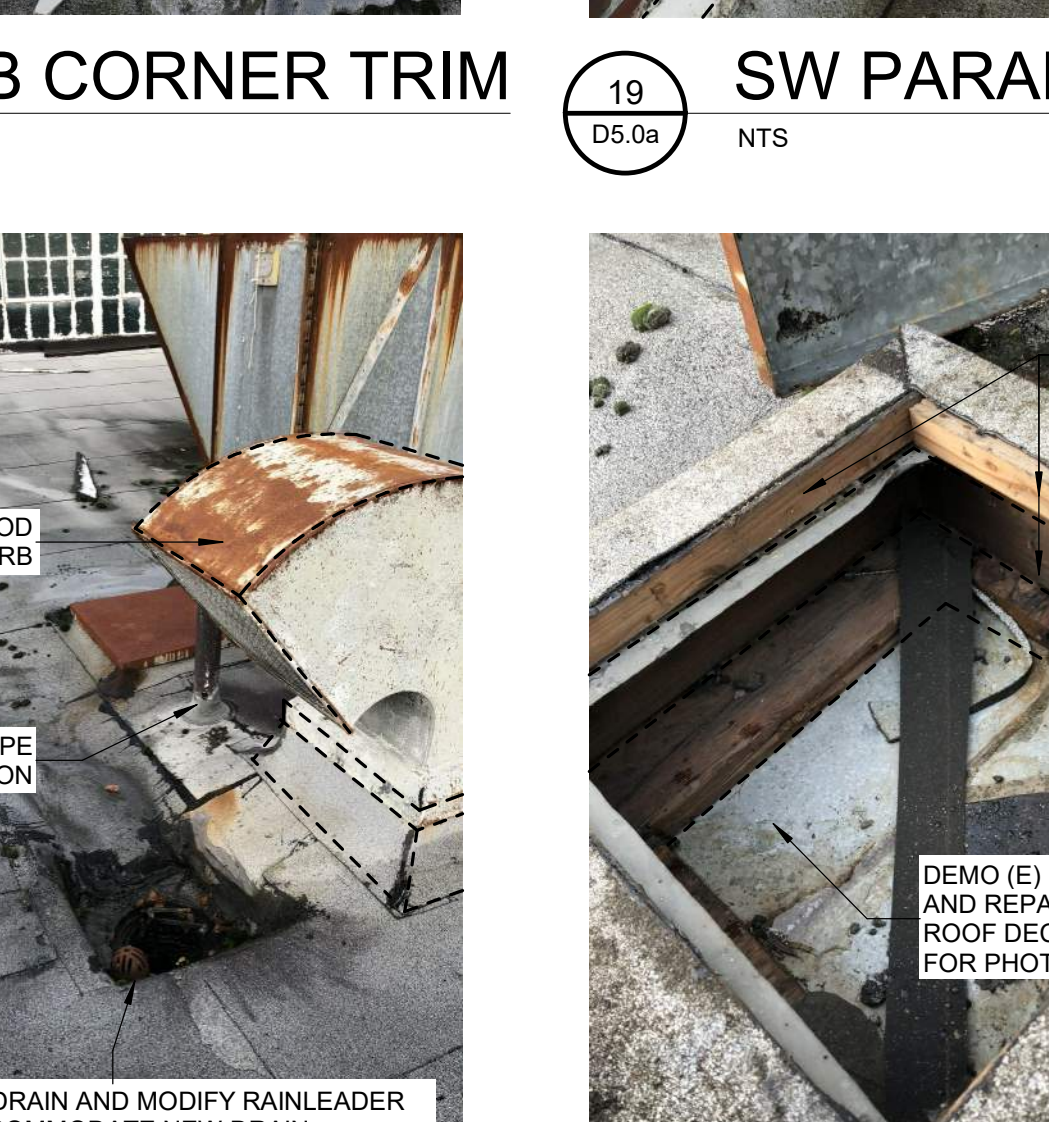
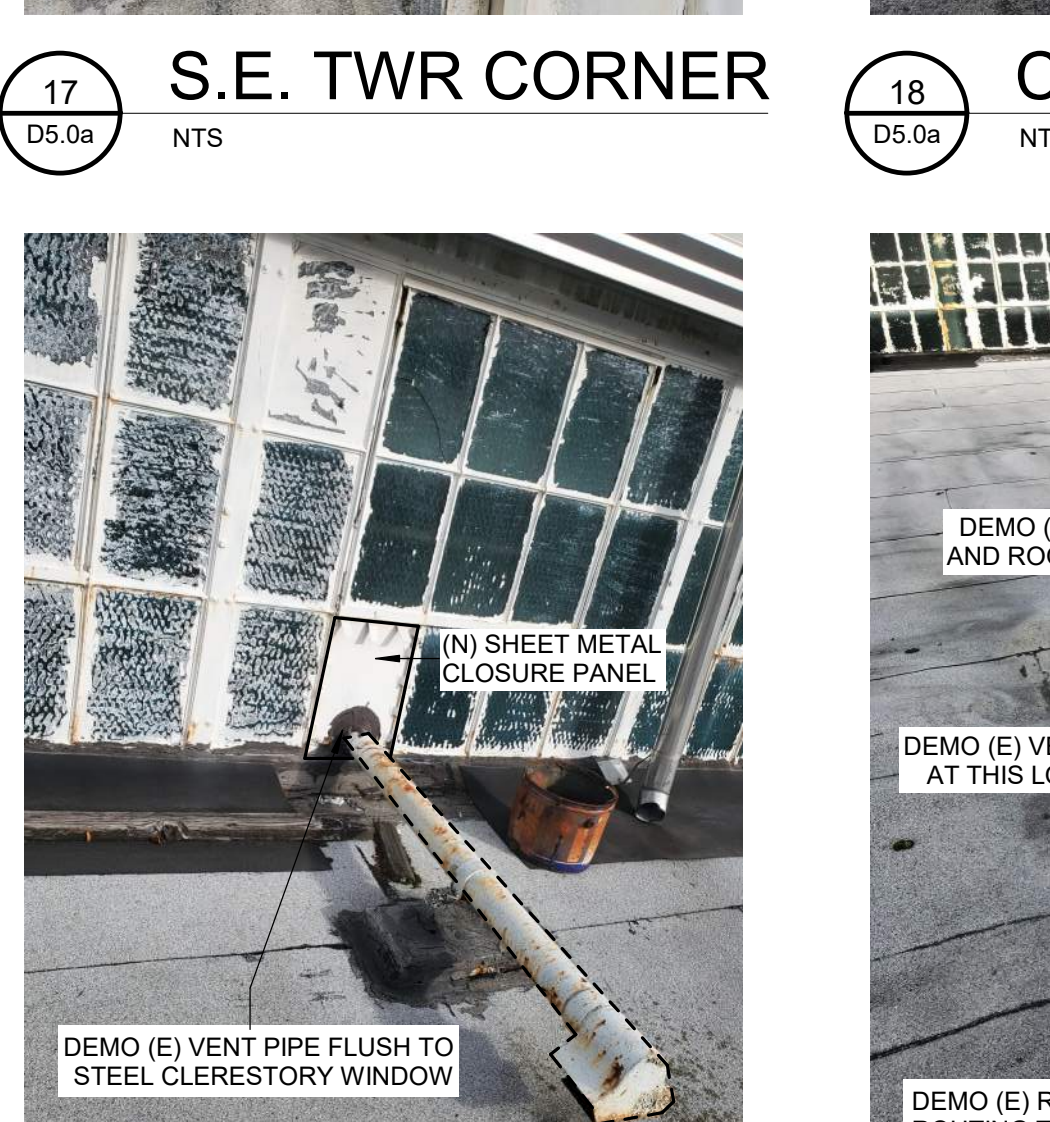
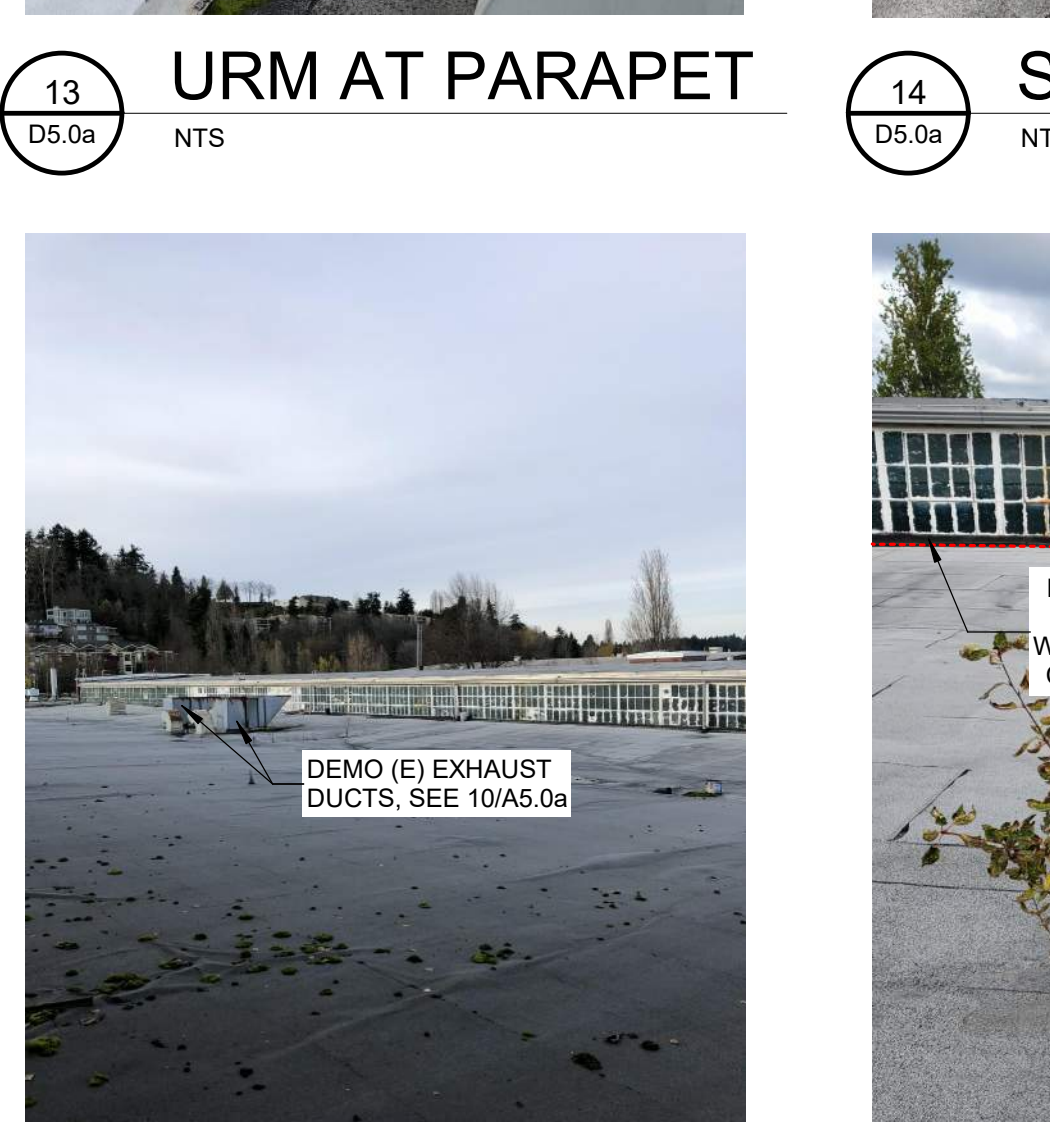
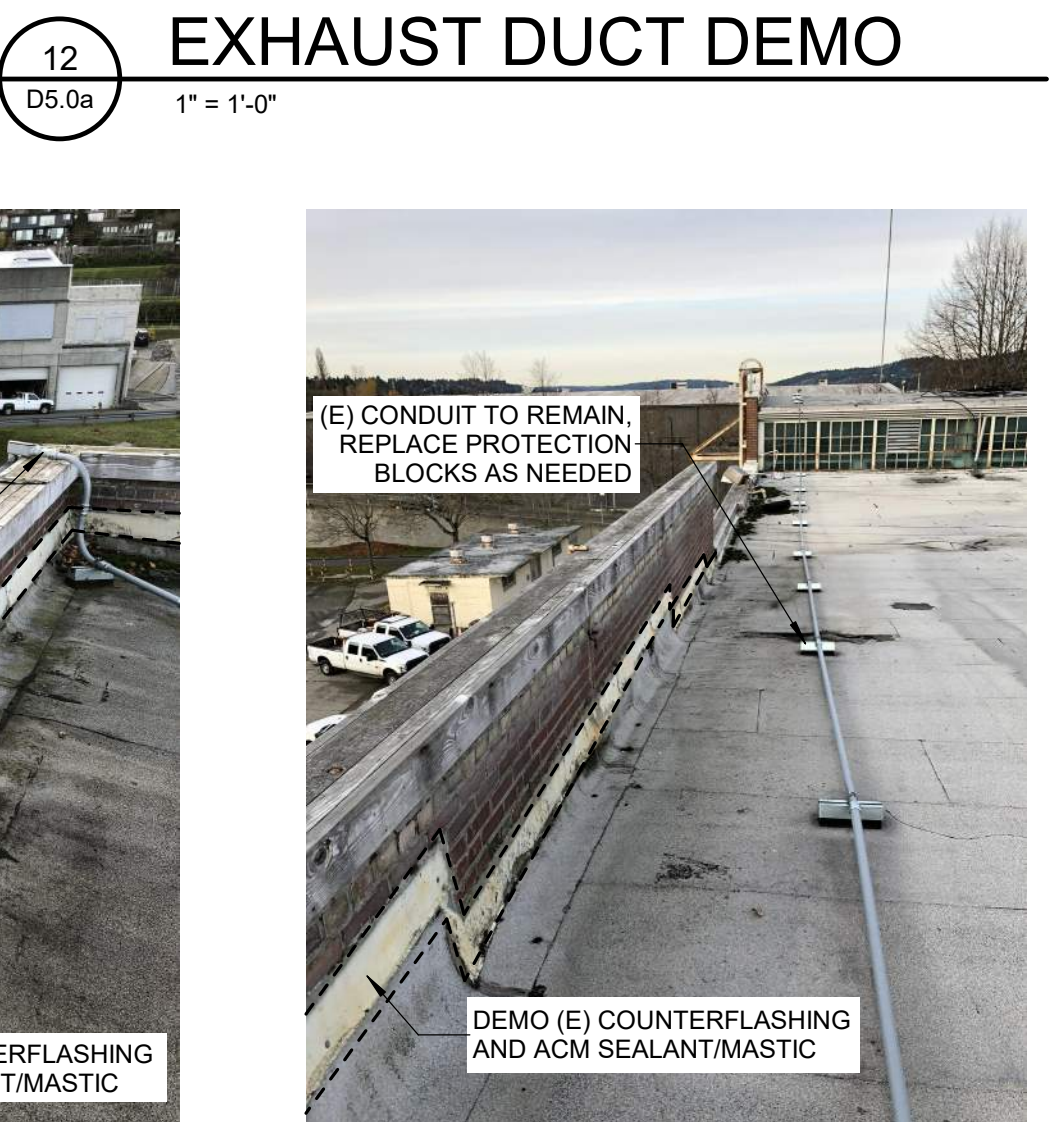
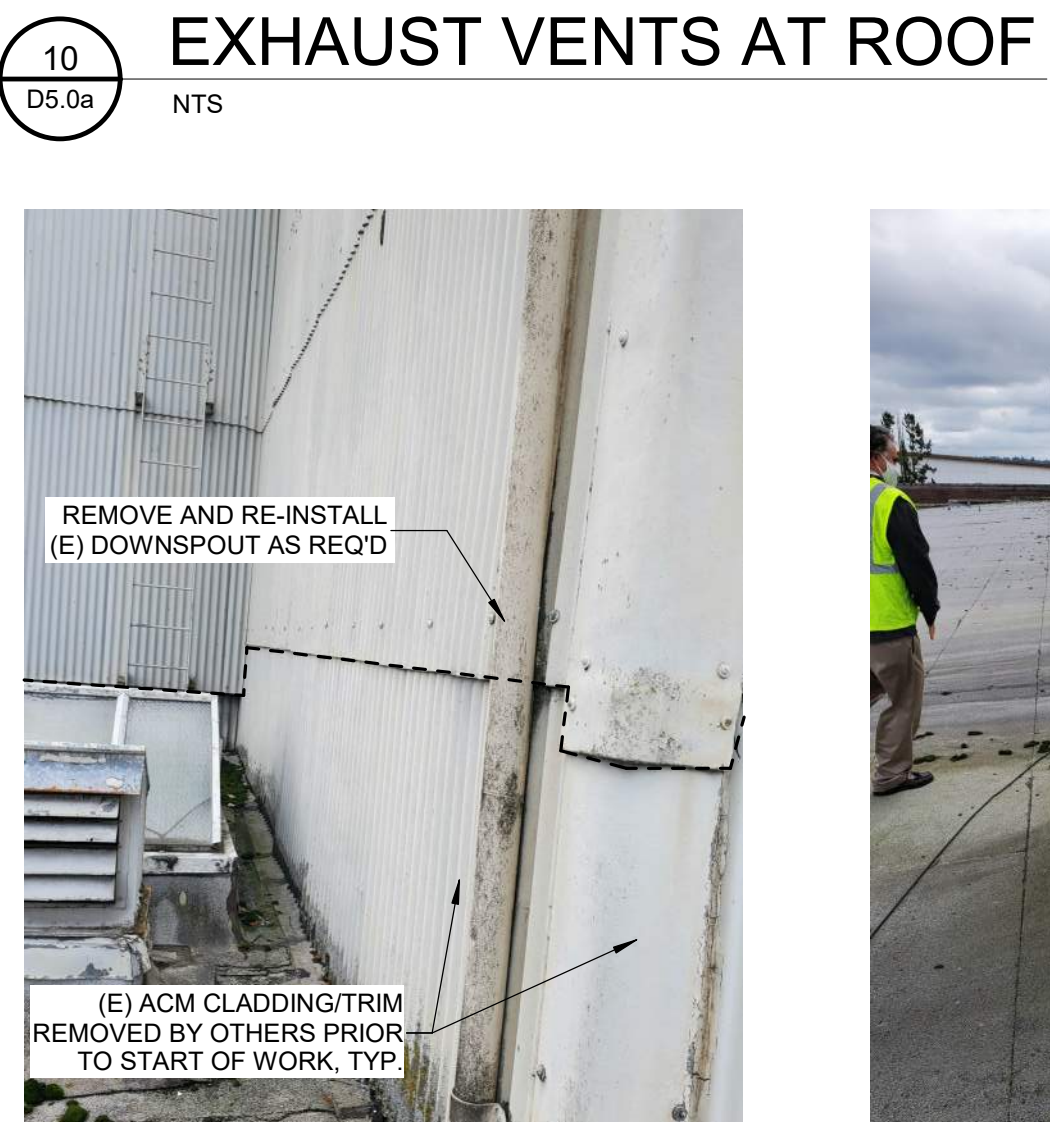
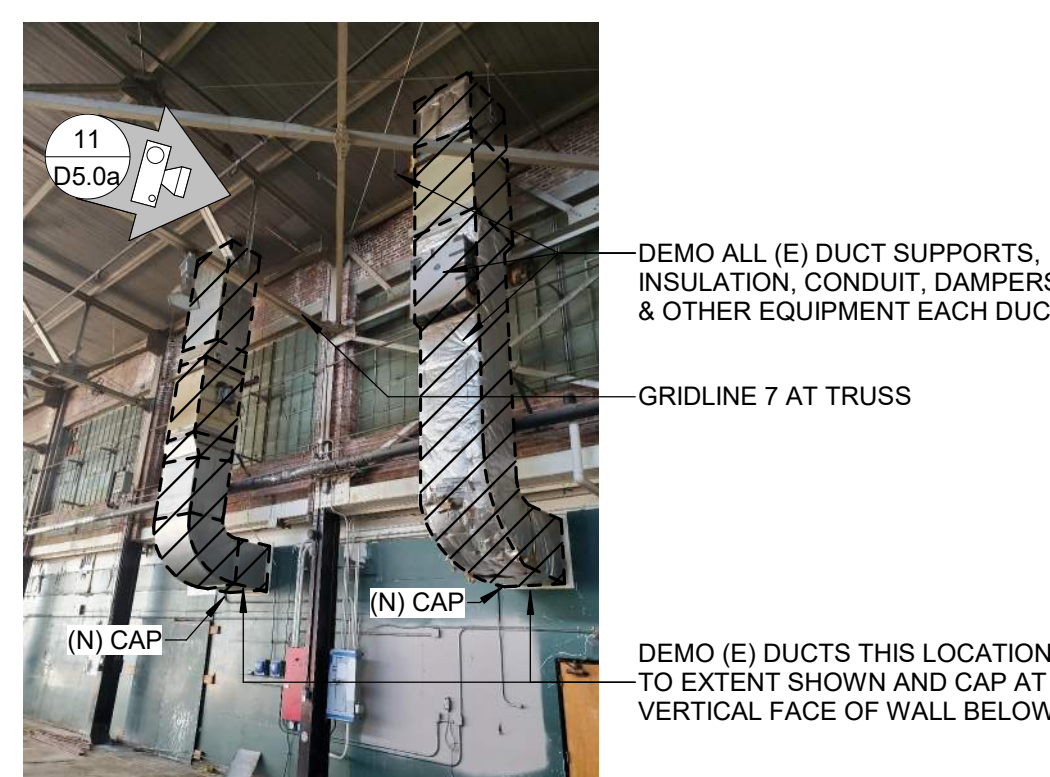
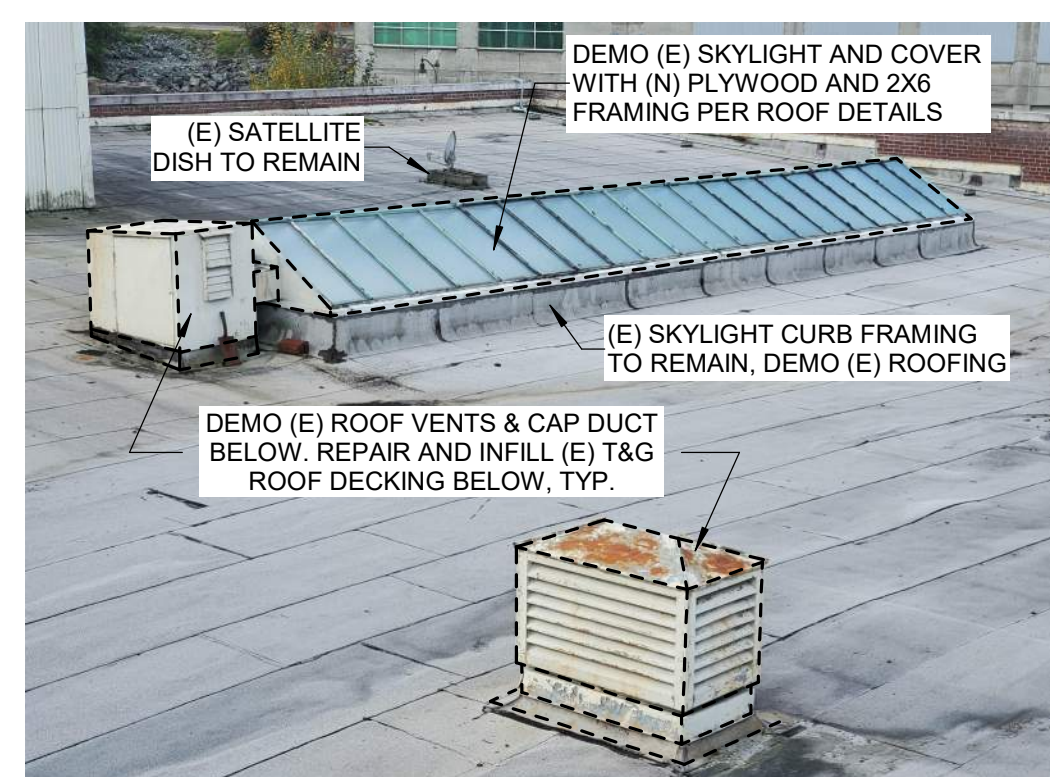
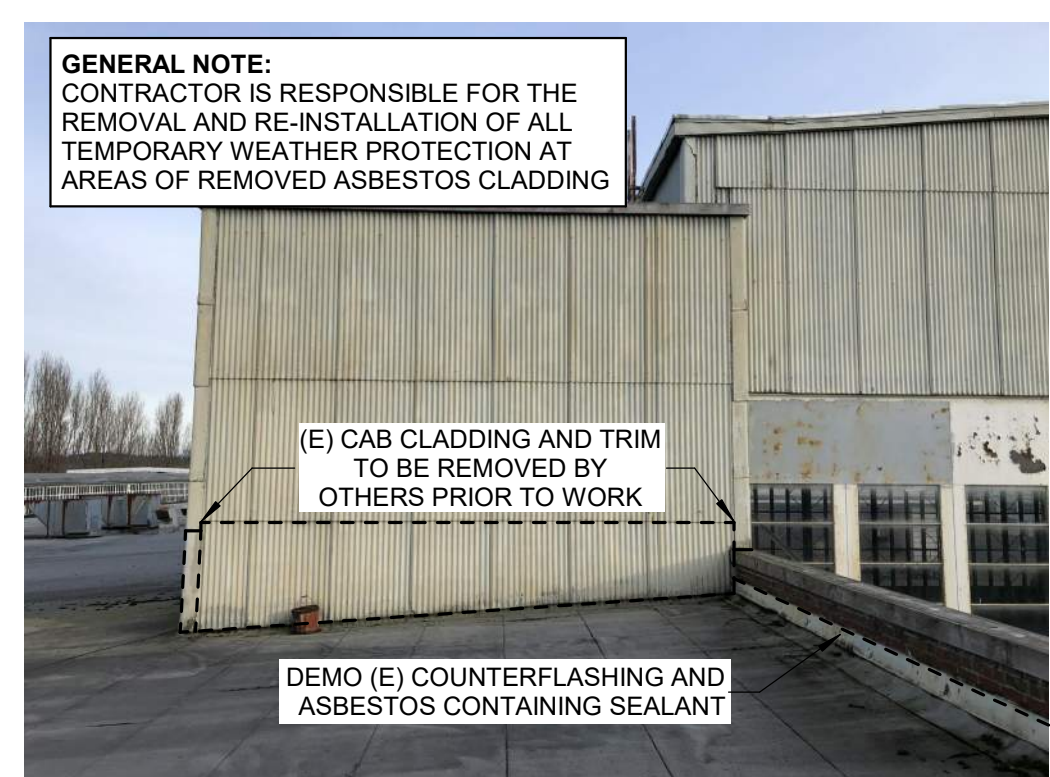
2 VENTS AT EAST PARAPET
D5.0a NTS

3 STEP AT EAST PARAPET
D5.0a NTS

4 DS AT N. CLERESTORY
D5.0a NTS

5 SOUTH CLERESTORY
D5.0a NTS

6 S.W. AT DOOR TOWER
D5.0a NTS



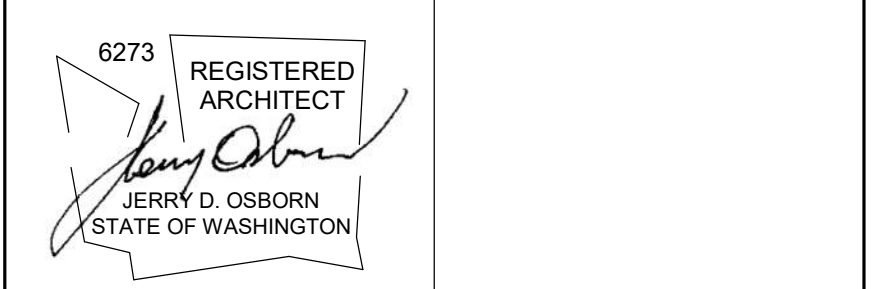
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NO.	REVISION - AS BUILT	DATE

REVIEWED: _____ DATE _____
PARK ENGINEER _____

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1011 SW Klickitat Way, Ste #208 | Seattle, WA 98134
p. (206) 631-8442 | http://www.oaip.ps



WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS

BUILDING #2 - ROOF PHOTOS

DESIGNED	JJM	DATE	6/29/2022
DRAWN	JJM	SHEET	8 OF 26
CHECKED	KN		
ORDINANCE NO.	PRK730300-142		
CONTRACT NO.	PR2020-033		
SCALE	1" = 1'-0"	(U.N.O.)	

D5.0a



1 CLERESTORY
D5.1a NTS



2 WALL @ CLERESTORY
D5.1a NTS



3 WALL @ CLERESTORY
D5.1a NTS



4 WALL @ CLERESTORY
D5.1a NTS



5 PARAPET @ SE TOWER
D5.1a NTS



6 STEP @ E PARAPET
D5.1a NTS



7 ROOF EDGE @ UPPER ROOF
D5.1a NTS



8 SW TOWER
D5.1a NTS



9 LADDER @ SW TOWER
D5.1a NTS



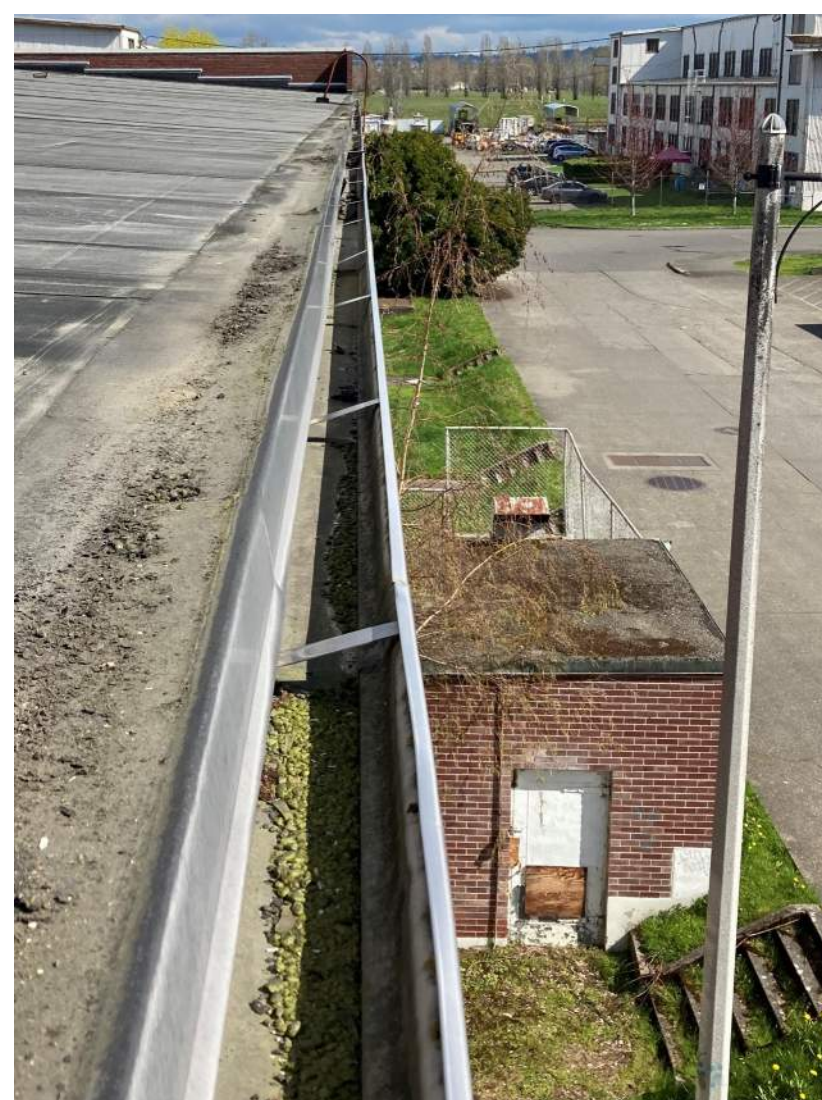
10 ROOF @ W PARAPET
D5.1a NTS



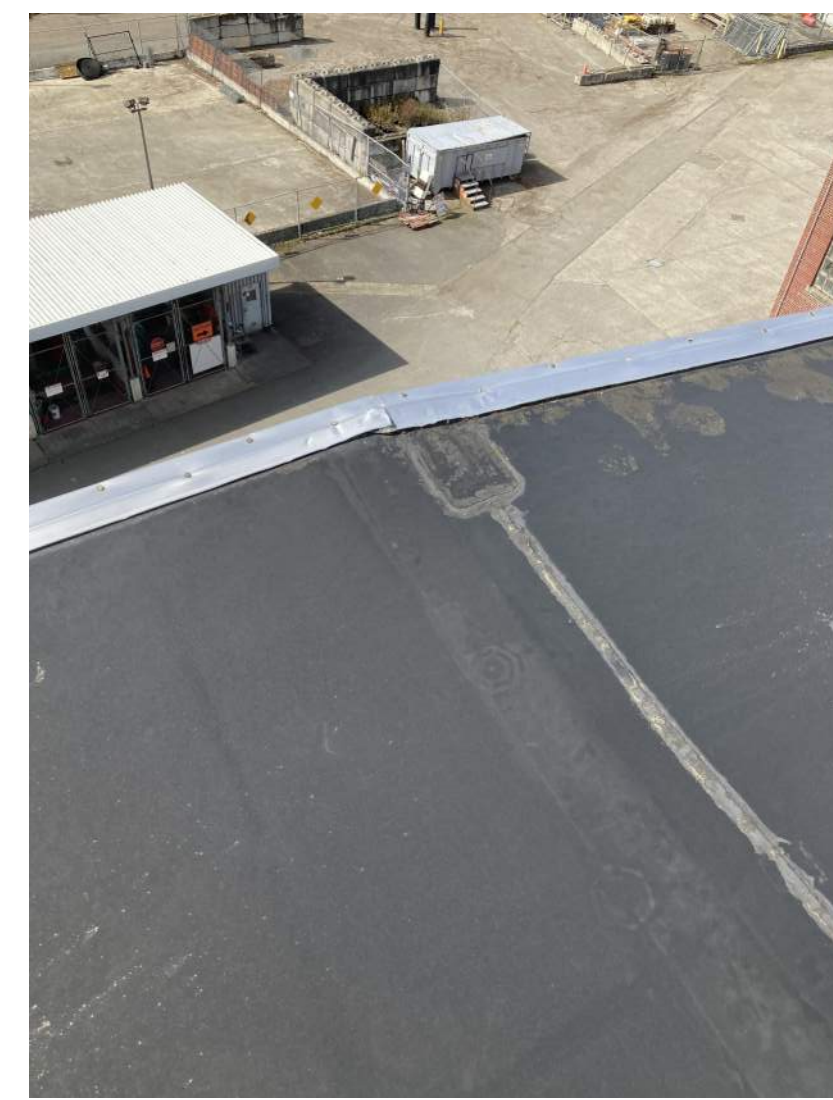
11 WALL @ LOWER ROOF
D5.1a NTS



12 WALL FROM LOWER ROOF
D5.1a NTS



13 GUTTER @ LOWER ROOF
D5.1a NTS



14 ROOF EDGE @ UPPER ROOF
D5.1a NTS



15 WALL @ CLERESTORY
D5.1a NTS



16 WALL @ CLERESTORY
D5.1a NTS



17 WALL @ CLERESTORY
D5.1a NTS



18 ROOF EDGE @ UPPER ROOF
D5.1a NTS



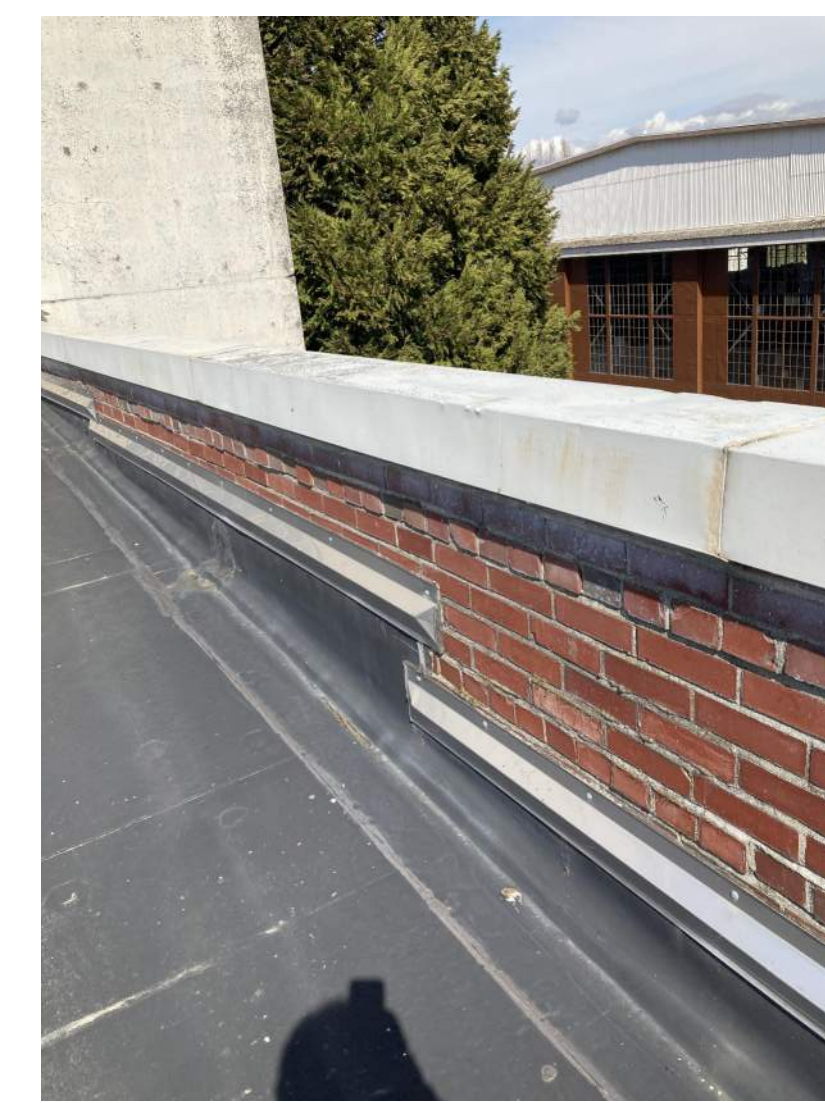
22 PARAPET @ SW TOWER
D5.1a NTS



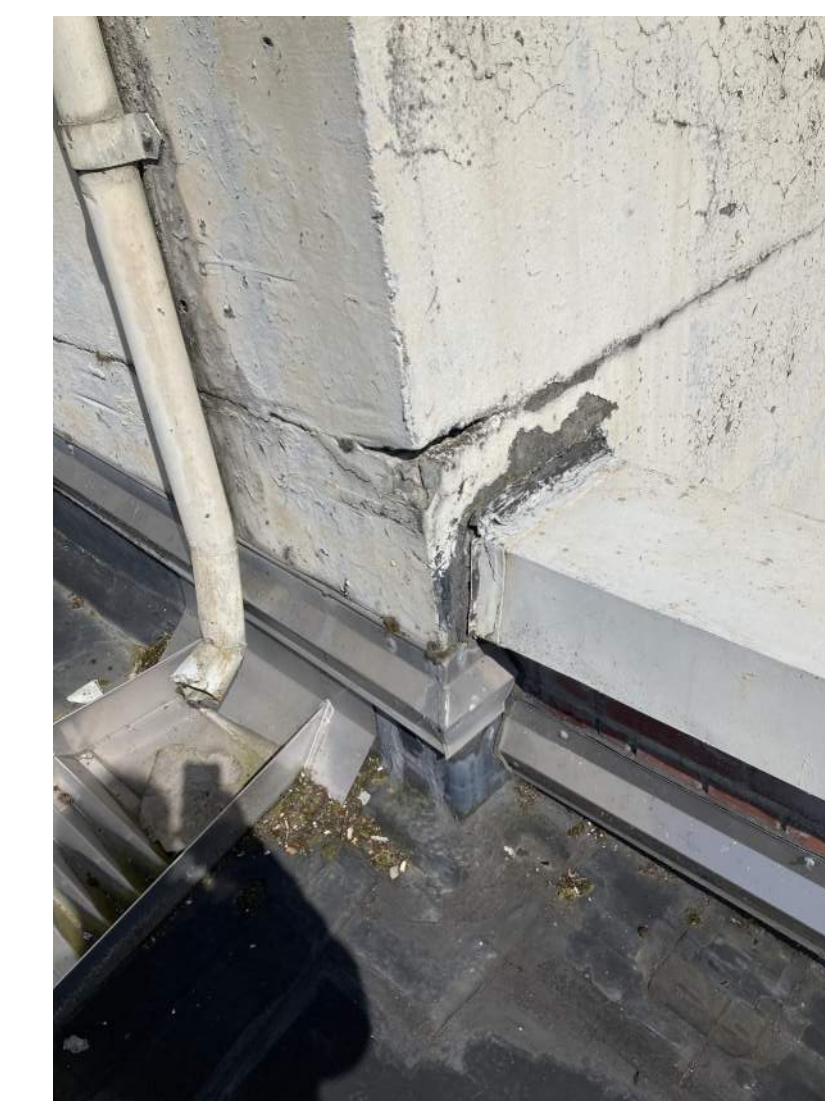
23 EAST PARAPET
D5.1a NTS



19 WALL @ CLERESTORY
D5.1a NTS



20 PARAPET @ LOWER ROOF
D5.1a NTS



21 PARAPET @ SE TOWER
D5.1a NTS

>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER
BEFORE YOU DIG!
WWW.CALL811.COM

Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.

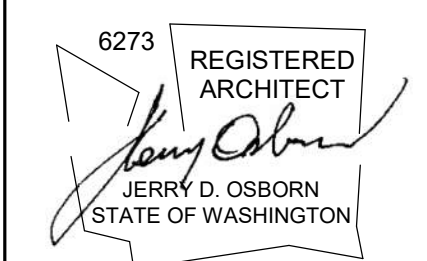
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NO.	REVISION - AS BUILT	DATE

REVIEWED: _____
PARK ENGINEER DATE

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WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF
REPLACEMENTS

BUILDING #2 - ROOF PHOTOS

DESIGNED	JJM	DATE	6/29/2022
DRAWN	JJM		
CHECKED	KN	SHEET	10 OF 25
ORDINANCE NO.	PRK730300-142		
CONTRACT NO.	PR2020-033		
SCALE	1" = 1'-0" (U.N.O.)		

D5.1a

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1 ROOF EDGE EAST
 D5.2a 1" = 1'-0"



2 ROOF EDGE EAST
 D5.2a 1" = 1'-0"



3 ROOF EDGE EAST
 D5.2a 1" = 1'-0"



4 ROOF EDGE EAST
 D5.2a 1" = 1'-0"



5 ROOF EDGE EAST
 D5.2a 1" = 1'-0"



6 ROOF EDGE EAST
 D5.2a 1" = 1'-0"



7 ROOF EDGE WEST
 D5.2a 1" = 1'-0"



8 ROOF EDGE WEST
 D5.2a 1" = 1'-0"



9 ROOF EDGE WEST
 D5.2a 1" = 1'-0"



10 ROOF EDGE WEST
 D5.2a 1" = 1'-0"



11 ROOF EDGE WEST
 D5.2a 1" = 1'-0"



12 ROOF EDGE SOUTH
 D5.2a 1" = 1'-0"



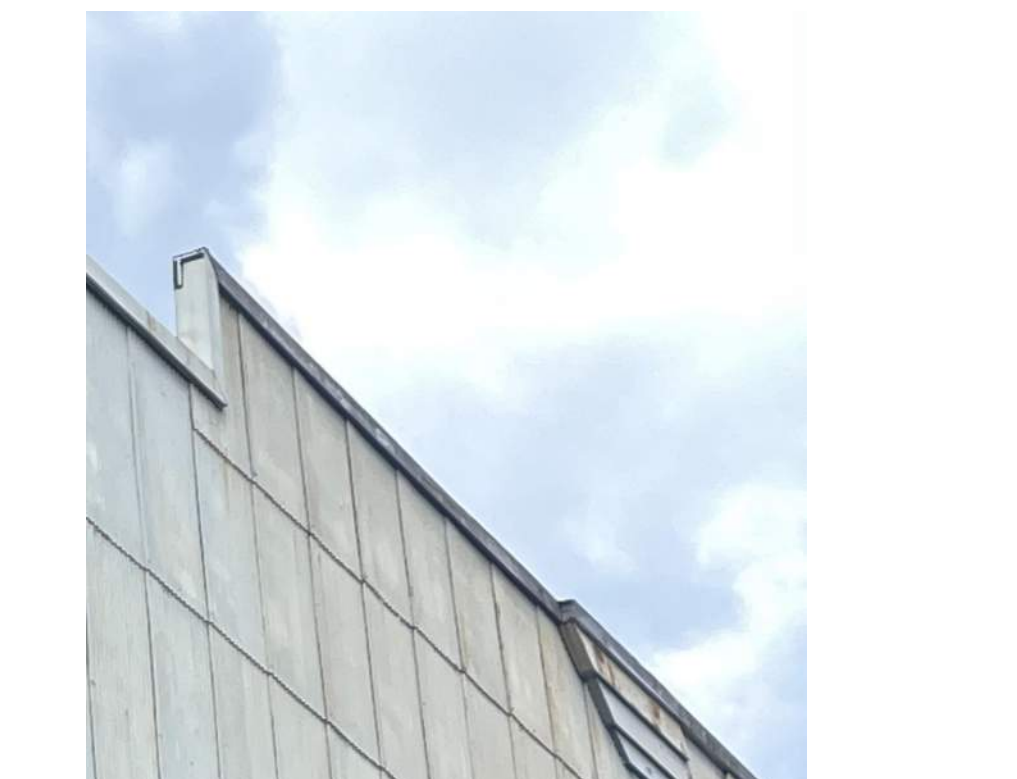
13 ROOF EDGE SOUTH
 D5.2a 1" = 1'-0"



14 ROOF EDGE SOUTH
 D5.2a 1" = 1'-0"



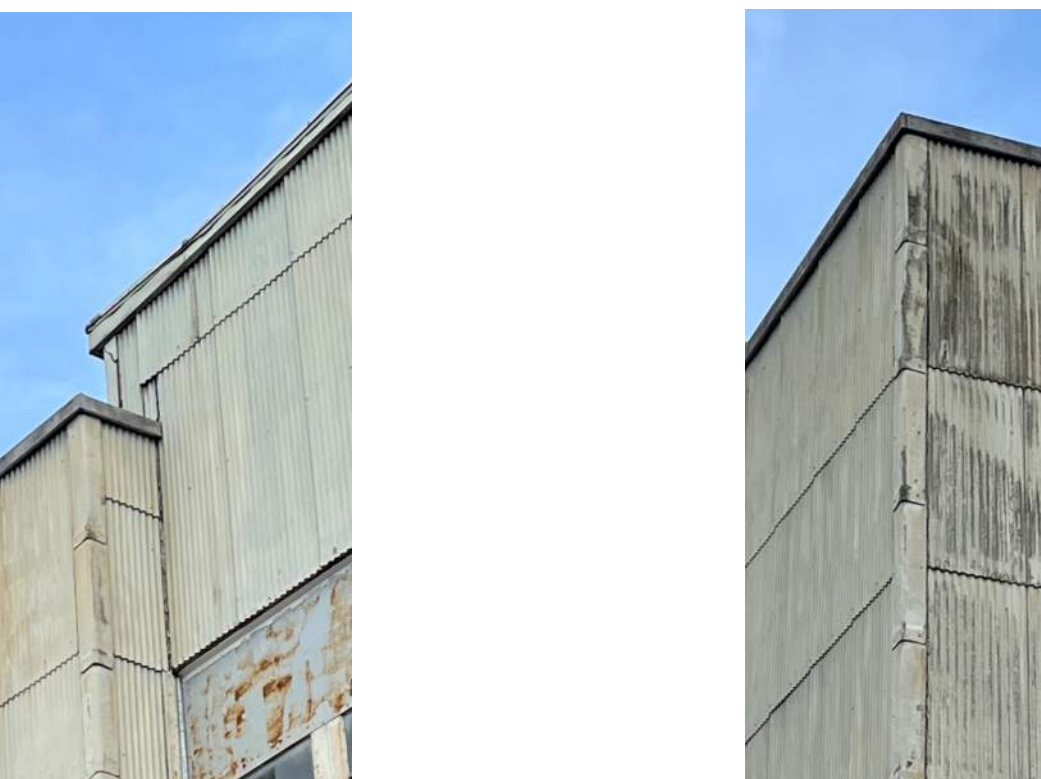
15 ROOF EDGE EAST
 D5.2a 1" = 1'-0"



16 ROOF EDGE EAST
 D5.2a 1" = 1'-0"



17 ROOF EDGE EAST
 D5.2a 1" = 1'-0"



18 ROOF EDGE WEST
 D5.2a 1" = 1'-0"



19 ROOF EDGE WEST
 D5.2a 1" = 1'-0"



20 ROOF EDGE SOUTH
 D5.2a 1" = 1'-0"

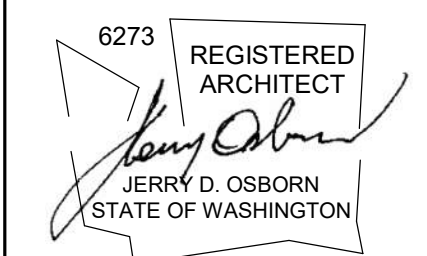


21 ROOF EDGE SOUTH
 D5.2a 1" = 1'-0"

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NO.	REVISION - AS BUILT	DATE

REVIEWED: _____ DATE _____
 PARK ENGINEER _____ DATE _____

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WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS

BUILDING #2 - ROOF PHOTOS

DESIGNED Author _____ DATE 6/28/2022
 DRAWN Designer _____
 CHECKED Checker _____ SHEET 11 OF 25

ORDINANCE NO. _____
 CONTRACT NO. _____
 SCALE 1" = 1'-0" (U.N.O.)

D5.2a

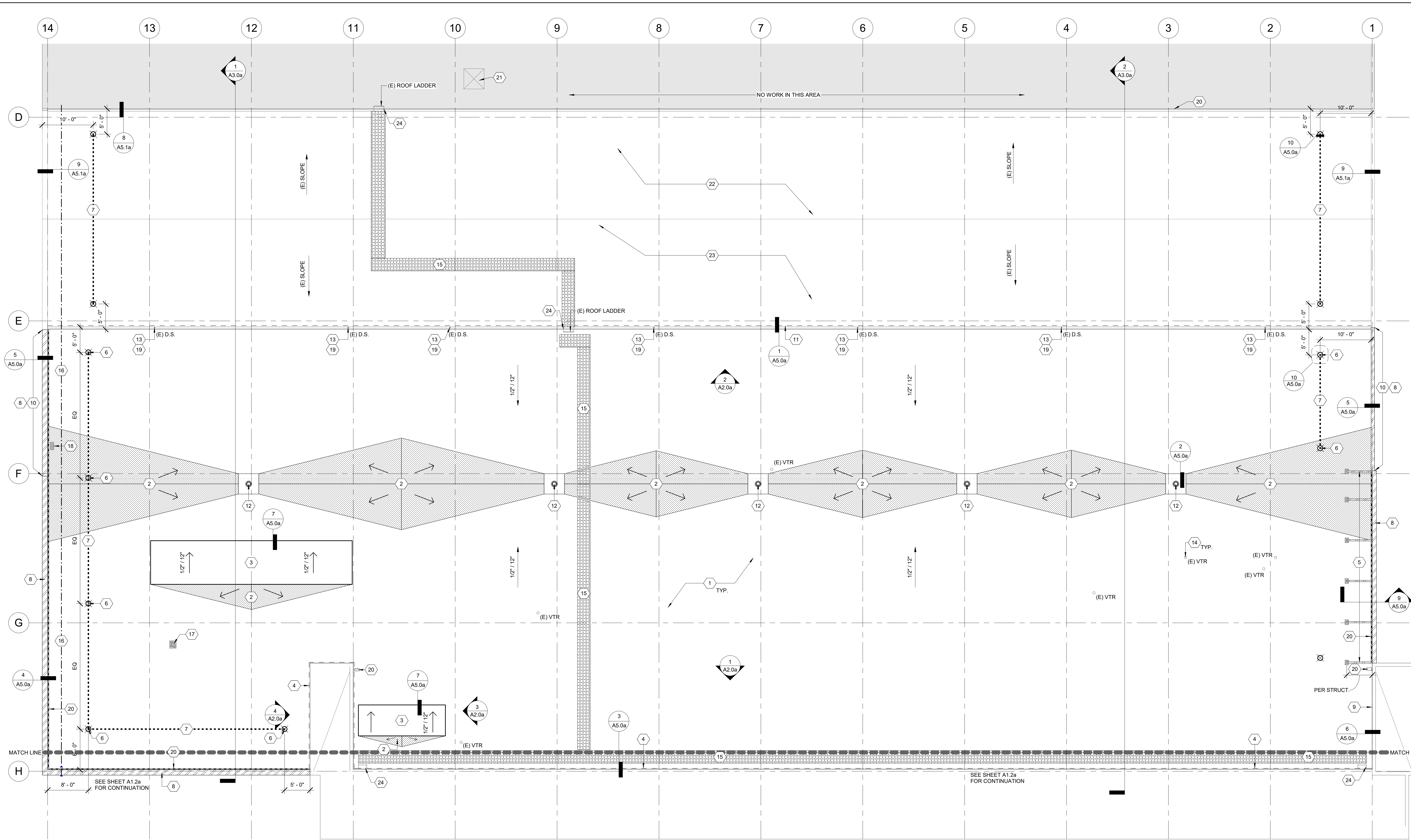
G:\Shared drives\ARCH - Projects\Seattle\11 Seattle Parks\2018\1011_OA Magnuson Building 2 Floor\1 Drawing\Roof\Bldg #2 - 138 Permit Submittal 29 June.rvt 6/29/2022 11:17:41 AM

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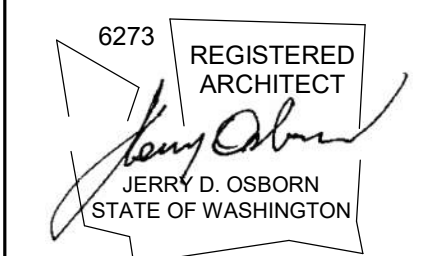
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NO.	REVISION - AS BUILT	DATE

REVIEWED: _____ DATE _____
 PARK ENGINEER _____

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WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS

BUILDING #2 - ROOF REPLACEMENT PLAN

DESIGNED	JJM	DATE	6/29/2022
DRAWN	JJM	SHEET	12 OF 25
CHECKED	KJN		

ORDINANCE NO. PRK730300-142
 CONTRACT NO. PR2020-033

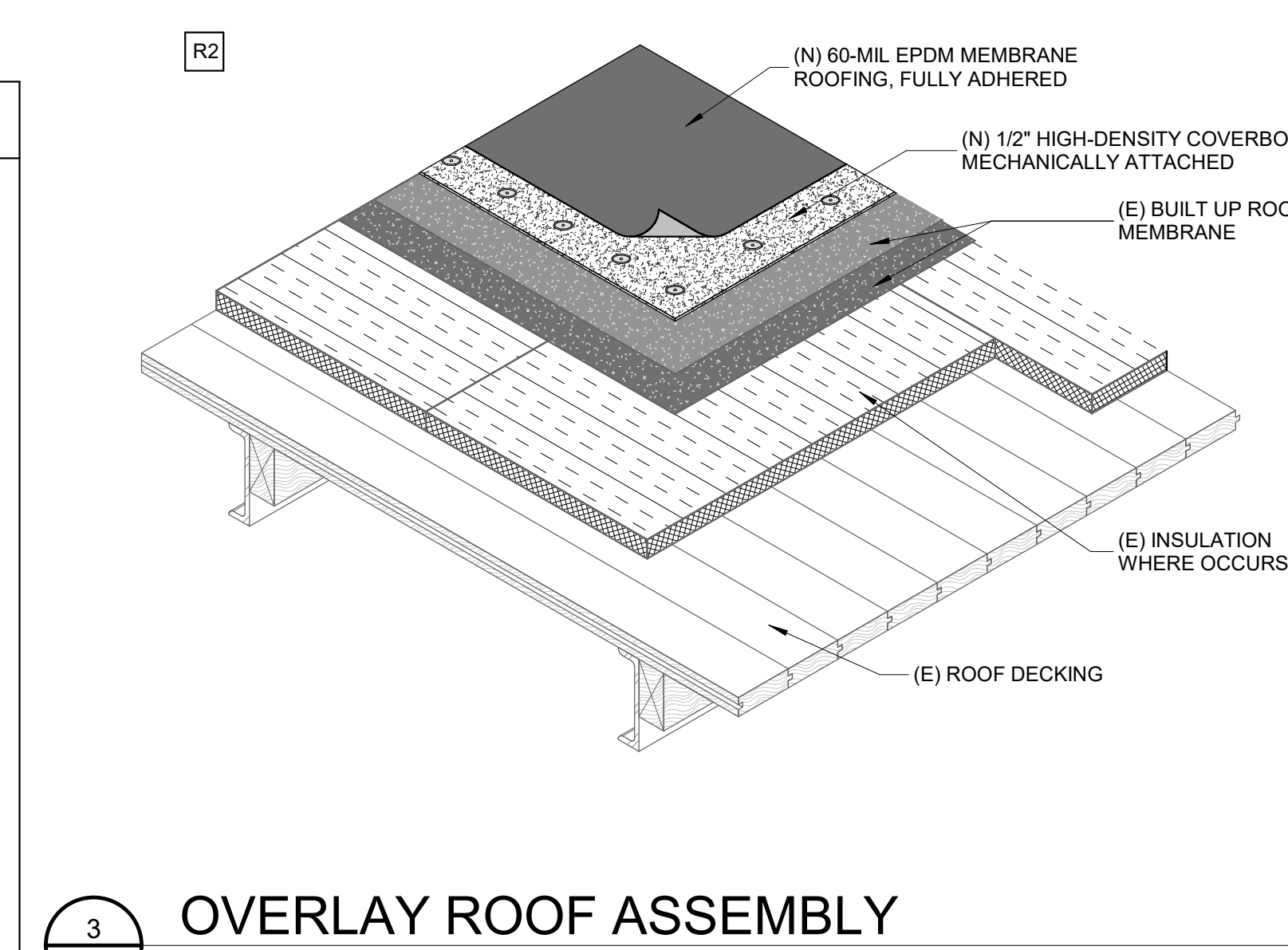
SCALE As Indicated (U.N.O.)

1 BUILDING 2 - NORTH HANGAR ROOF PLAN

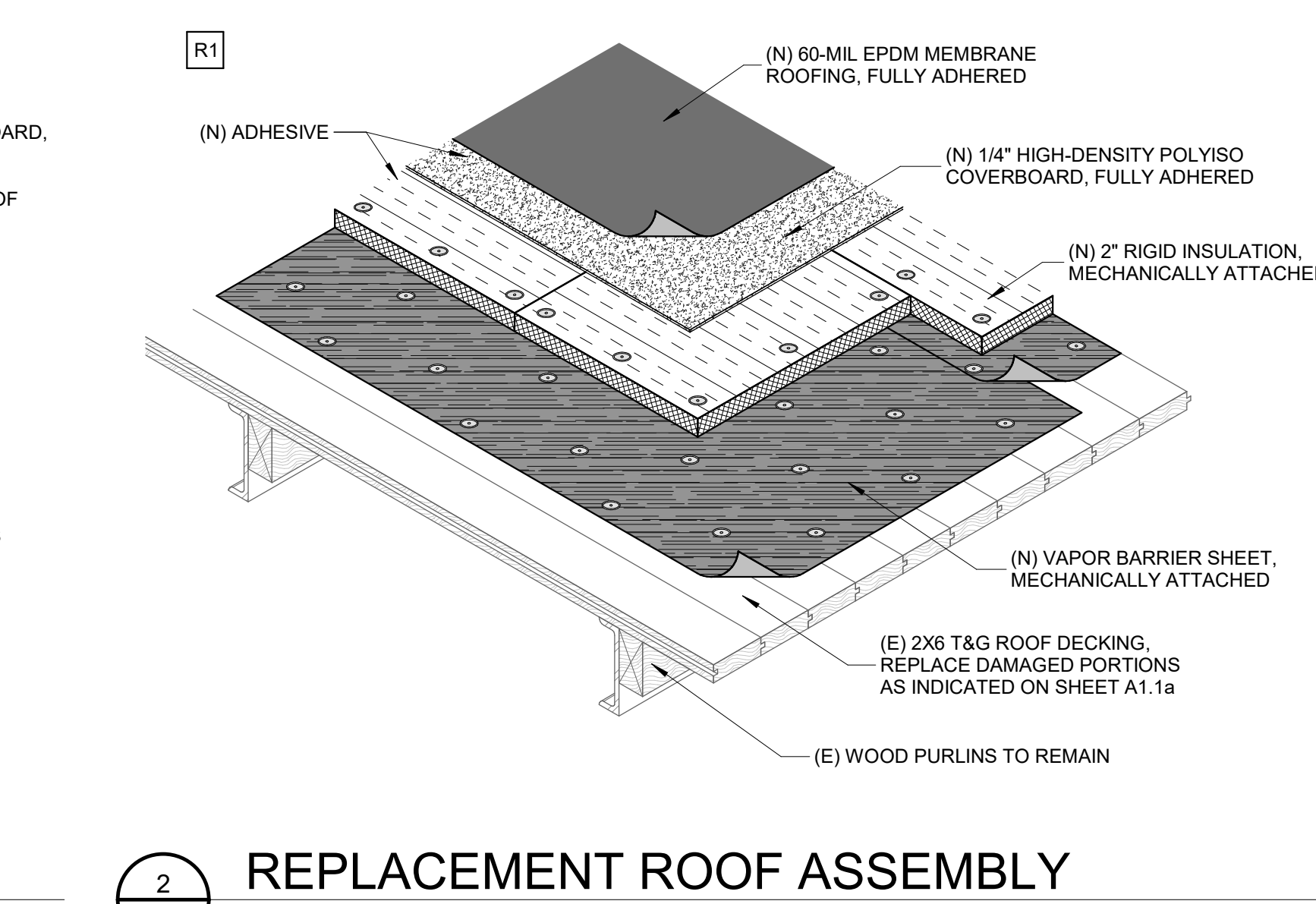
1/8" = 1'-0"

- ROOF REPLACEMENT KEYNOTES**
- 1 (N) EPDM ROOF ASSEMBLY PER 2/A1.0a, TYP R1
 - 2 (N) TAPERED INSULATION CRICKET, MIN 1/2" PER FOOT
 - 3 (N) EPDM OVER INFILL FRAMING AT DEMOLISHED SKYLIGHT
 - 4 FUTURE REPLACEMENT CLADDING BY OTHERS, N.I.C.
 - 5 (N) STRUCTURAL BRACING AT MASONRY PARAPET, SEE STR
 - 6 (N) FALL PROTECTION ANCHOR OVER 3/4" CDX PLYWOOD
 - 7 (N) HORIZONTAL LIFELINE WITH IMPACT ABSORBER
 - 8 (N) 22GA PRE-FINISHED STANDING SEAM METAL COPING OVER HTSAM
 - 9 (N) 22GA PRE-FINISHED METAL COUNTERFLASHING PER DETAILS
 - 10 (N) 2X PT BLOCKING AT PARAPET, HEIGHT PER DETAIL
 - 11 NOT USED
 - 12 (N) ROOF DRAIN AND SUMP, CONNECT TO (E) RAINLEADERS
 - 13 MODIFY (E) DOWNSPOUT WITH NEW ELBOW TO DRAIN TO ROOF
 - 14 (N) PIPE FLASHING AT EXISTING VTR, TYP.
 - 15 (N) ROOFING WALKWAY PAD
 - 16 (E) CONDUIT TO REMAIN, REPLACE SUPPORT BLOCKS AS NEEDED
 - 17 INSTALL (N) EPDM PROTECTION PAD BENEATH (E) SATELLITE DISH TO REMAIN.
 - 18 INSTALL (N) EPDM PROTECTION PAD BENEATH (E) LIGHT FIXTURE TO REMAIN.
 - 19 (N) STAINLESS STEEL SPLASH PAN AT (E) DOWNSPOUT
 - 20 (E) GUTTER AND DOWNSPOUT TO REMAIN
 - 21 (E) ROOF HATCH TO REMAIN
 - 22 EPDM MEMBRANE ROOF OVERLAY FULLY ADHERED TO (E) ROOF SURFACE PER 3/A1.0A
 - 23 REMOVE DEBRIS, CLEAN AND PREPARE PER MFR (E) ROOF SURFACE, TYPE R2
 - 24 (E) ROOF LADDER TO REMAIN; REWORK AND FLASH PENETRATIONS AND/OR PITCH POCKETS FOR WATERPROOF CONDITIONS, TYP.
 - 25 NEW SPLASH BLOCK PER DETAIL 10/A5.0a

- SHEET LEGEND**
- (N) EPDM ROOF ASSEMBLY PER DETAIL 2/A1.0a
 - (N) TAPERED CRICKET, MIN. 1/2" PER FOOT SLOPE
 - (N) SHEET METAL FLASHING
 - (N) ROOFING WALKWAY PAD
 - (E) BUILDING - NOT IN SCOPE OF WORK
 - (N) FLASHING AT ALL (E) DUCTS AND PENETRATIONS, TYP.
 - SHEET KEYNOTE
 - NEW CONSTRUCTION
 - EXISTING CONSTRUCTION
 - (E) CONDUIT TO REMAIN
 - (N) EPDM MEMBRANE AT WALL
 - (N) HORIZONTAL LIFELINE
- ABBREVIATIONS:**
- (E) EXISTING CONSTRUCTION
 - (N) NEW CONSTRUCTION
 - ACM ASBESTOS CONTAINING MATERIAL
 - CAB CORRUGATED ASBESTOS BOARD
 - CSTRY CLERESTORY
 - D.S. DOWNSPOUT
 - FPA FALL PROTECTION ANCHOR
 - HLL HORIZONTAL LIFELINE
 - HTSAM HIGH-TEMP SELF-ADHERED MEMBRANE NOT IN CONTRACT
 - N.I.C. NOT IN CONTRACT
 - PT PRE-TREATED
 - RWL RAINWATER LEADER
 - T&G TONGUE & GROOVE
 - TWR TOWER (REFERS TO DOOR TOWERS)
 - URM UNREINFORCED MASONRY
 - V.I.F. VERIFY IN FIELD
 - VTR VENT THROUGH ROOF



3 OVERLAY ROOF ASSEMBLY
 NTS



2 REPLACEMENT ROOF ASSEMBLY
 NTS

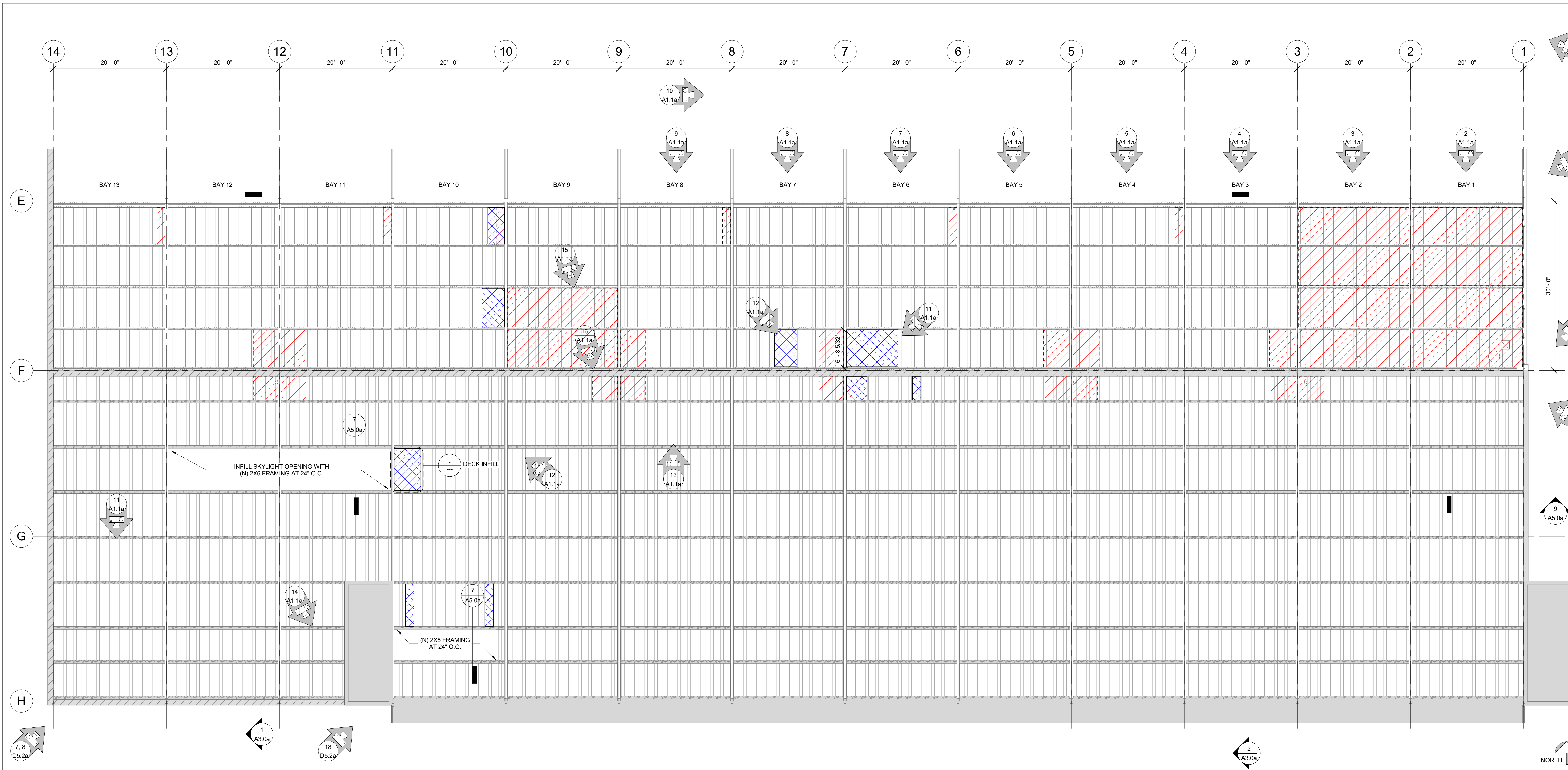
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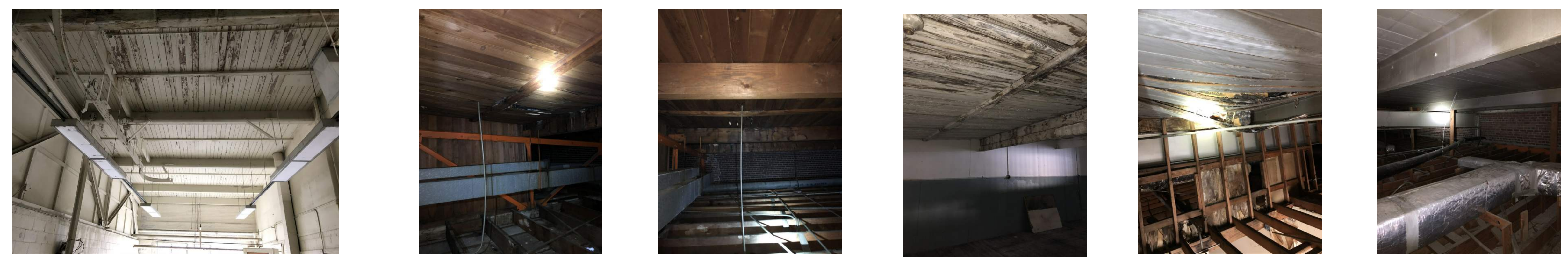
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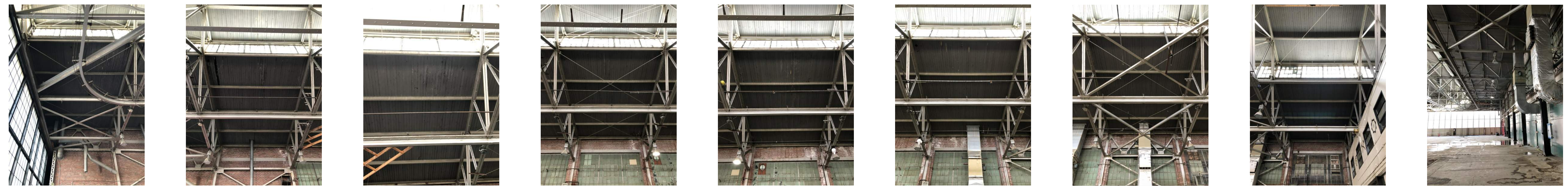
1 REFLECTED ROOF DECK REPLACEMENT PLAN
 1/8" = 1'-0"

DRAWING LEGEND

- DEMOLISH (E) DAMAGED DECKING AND REPLACE WITH (N) 2X6 T&G TO MATCH EXISTING
- INFLILL EXISTING OPENING WITH (N) 2X6 T&G DECKING TO MATCH ADJACENT
- NOT IN SCOPE OF WORK



11 SW DECK AT PAINT SHOP NTS
12 SOUTH OF "F" NTS
13 SOUTH AT "F" NTS
14 SW WORKSHOP NTS
15 NORTH MEZZ. NTS
16 RWL THRU "F" NTS



2 HANGAR BAY 1 NTS
3 HANGAR BAY 2 NTS
4 HANGAR BAY 3 NTS
5 HANGAR BAY 4 NTS
6 HANGAR BAY 5 NTS
7 HANGAR BAY 6 NTS
8 HANGAR BAY 7 NTS
9 HANGAR BAY 8 NTS
10 GRIDS E-F NTS

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NO.	REVISION - AS BUILT	DATE

REVIEWED: _____ DATE _____
 PARK ENGINEER _____ DATE _____

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6273 REGISTERED ARCHITECT
 JERRY D. OSBORN
 STATE OF WASHINGTON



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WARREN G. MAGNUSON PARK
 7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS
BUILDING #2 - ROOF DECK REPLACEMENT PLAN

DESIGNED	JIM	DATE	6/29/2022
DRAWN	JIM	SHEET	14 OF 25
CHECKED	KN		
ORDINANCE NO.	PRK730300-142		
CONTRACT NO.	PR2020-033		
SCALE	As Indicated (U.N.O.)		

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6/29/2022 11:16:21 AM G:\shared_drive\ARCH - Projects\Seattle\11 Seattle Parks\2019\1011_04 Magnuson Building 2 Floor\1 Drawing\Roof\Repl\Bldg #2 - 138 Perms Submittal 29 June.rvt

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WWW.CALL811.COM

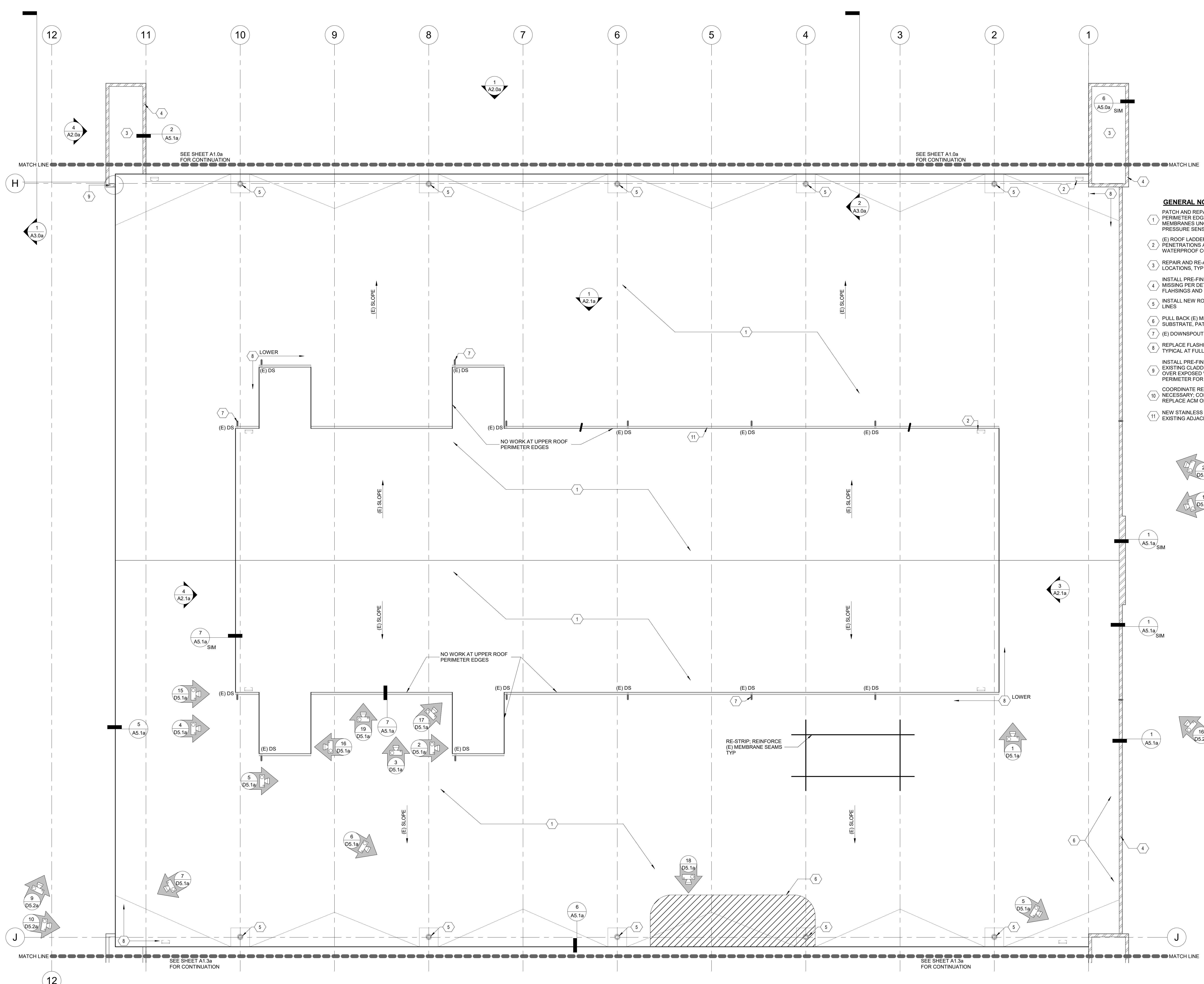
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GENERAL NOTES

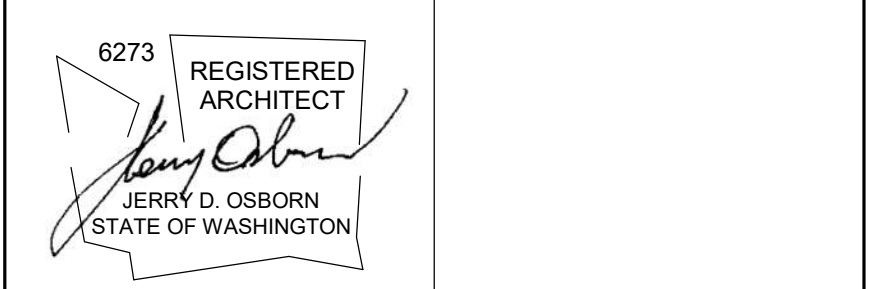
- 1 PATCH AND REPAIR ALL ROOF AREAS; REWORK ALL PERIMETER EDGE CONDITIONS WITH NEW FLASHING AND MEMBRANES UNO PER DETAILS; STRIP IN ALL SEAMS WITH PRESSURE SENSITIVE FLASHING
- 2 (E) ROOF LADDER TO REMAIN; REWORK AND FLASH PENETRATIONS AND/OR PITCH POCKETS FOR WATERPROOF CONDITION, TYP
- 3 REPAIR AND RE-ATTACH MEMBRANE ROOFING AT TOWER LOCATIONS, TYP
- 4 INSTALL PRE-FINISHED MTL FLASHING AND COPING WHERE MISSING PER DETAILS AND RE-ATTACH AND SEAL (E) MTL FLASHINGS AND COPING WHERE STILL INTACT
- 5 INSTALL NEW ROOF DRAIN AND SUMP; CONNECT TO (E) LINES
- 6 PULL BACK (E) MEMBRANE WHERE SEPARATED FROM SUBSTRATE; PATCH AND RE-INSTALL FULL ADHERED
- 7 (E) DOWNSPOUT AND SPLASHBLOCK TO REMAIN, TYP
- 8 REPLACE FLASHING AND REWORK MEMBRANE PER DETAILS TYPICAL AT FULL PERIMETER
- 9 INSTALL PRE-FINISHED METAL SADDLE FLASHING UNDER EXISTING CLADDING WHERE POSSIBLE; COUNTER FLASHING OVER EXPOSED WHERE APPLICABLE; SEAL FULL PERIMETER FOR WATERTIGHT CONDITION
- 10 COORDINATE REMOVAL OF CAB SIDING WITH OWNER AS NECESSARY; CONTRACTOR SHALL NOT REMOVE OR REPLACE ACM OR CAB MATERIALS
- 11 NEW STAINLESS STEEL GUTTER ASSEMBLY TO MATCH EXISTING ADJACENT WHERE NOT EXISTING, V.I.F.



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NO.	REVISION - AS BUILT	DATE

REVIEWED: _____ DATE _____
 PARK ENGINEER _____ DATE _____

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WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS

BUILDING #2 - ROOF REPAIR PLAN - NORTH

DESIGNED	JJM	DATE	6/29/2022
DRAWN	CY		
CHECKED	KN	SHEET	16 OF 25
ORDINANCE NO.	PRK730300-142	A1.2a	
CONTRACT NO.	PR2020-033		
SCALE	As Indicated (U.N.O.)		

1 BUILDING 2 - SOUTH HANGAR ROOF PLAN
 1/8" = 1'-0"

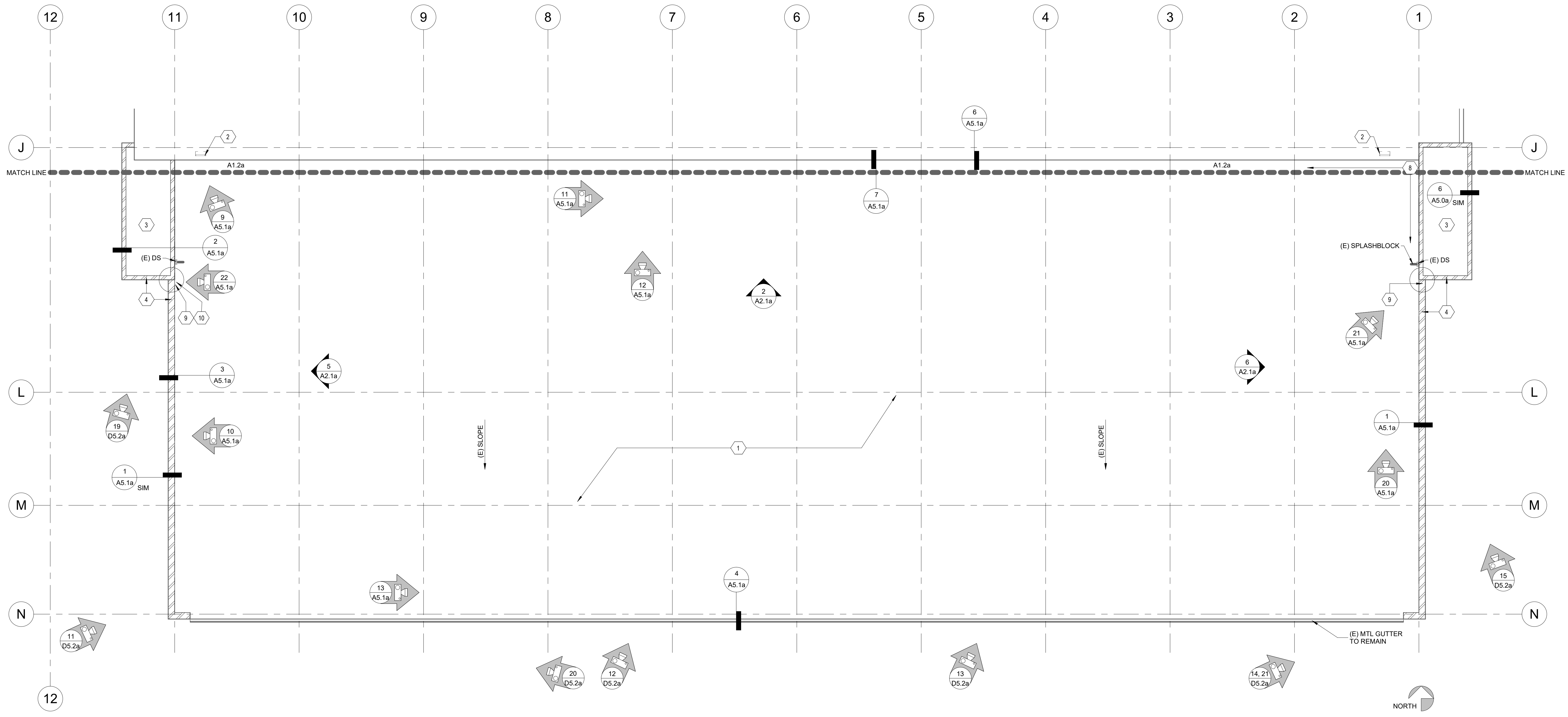
G:\Shared\drives\ARCH - Projects\Seattle\11 Seattle Parks\2019\101104 Magnuson Building 2 North - Drawing\Rev\161616.dwg 29 June 21 11:16:25 AM

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BLDG 2 - SOUTH HANGAR PLAN - SOUTH ADDITION
 1/8" = 1'-0"

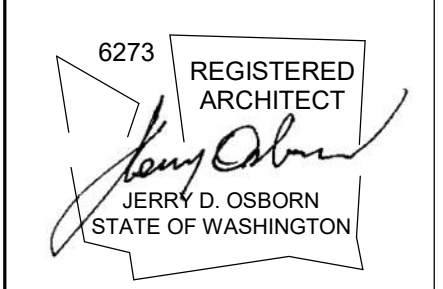
GENERAL NOTES

- 1 PATCH AND REPAIR ALL ROOF AREAS; REINFORCE ALL SEAMS. REWORK ALL PERIMETER EDGE CONDITIONS WITH NEW FLASHING AND MEMBRANES UNO PER DETAILS
- 2 (E) ROOF LADDER TO REMAIN; REWORK AND FLASH PENETRATIONS AND/OR PITCH POCKETS FOR WATERPROOF CONDITION, TYP
- 3 REPAIR AND RE-ATTACH MEMBRANE ROOFING AT TOWER LOCATIONS, TYP
- 4 RE-INSTALL NEW MTL FLASHING AND COPING WHERE MISSING PER DETAILS AND RE-ATTACH AND SEAL (E) MTL FLASHINGS AND COPING WHERE STILL INTACT
- 5 INSTALL NEW ROOF DRAIN AND SUMP; CONNECT TO (E) LINES
- 6 PULL BACK (E) MEMBRANE WHERE SEPARATED FROM SUBSTRATE; PATCH AND RE-INSTALL FULL ADHERED
- 7 (E) DOWNSPOUT AND SPLASHBLOCK TO REMAIN
- 8 REPLACE FLASHING AND REWORK MEMBRANE PER DETAILS TYPICAL AT FULL PERIMETER
- 9 INSTALL METAL SADDLE FLASHING UNDER EXISTING CLADDING WHERE POSSIBLE; COUNTER FLASHING OVER EXPOSED WHERE APPLICABLE; SEAL FULL PERIMETER FOR WATERTIGHT CONDITION
- 10 COORDINATE REMOVAL OF CAB SIDING WITH OWNER AS NECESSARY; CONTRACTOR SHALL NOT REMOVE OR REPLACE ACM OR CAB MATERIALS

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NO.	REVISION - AS BUILT	DATE

REVIEWED: _____
 PARK ENGINEER DATE

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WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE

BUILDING #2 & #138 ROOF REPLACEMENTS

BUILDING #2 - ROOF REPAIR PLAN - SOUTH

DESIGNED	JJM	DATE	6/29/2022
DRAWN	CY		
CHECKED	KN	SHEET	17 OF 25

ORDINANCE NO. PRK730300-142
 CONTRACT NO. PR2020-033
A1.3a

SCALE As Indicated (U.N.O.)

G:\Shared drives\ARCH - Projects\Seattle\11 Seattle Parks\2019\1011_04 Magnuson Building 2 Roof\1. Drawing\Rev\17\17 Bldg #2 - 138 Perim. Submittal 29 June.rvt 6/29/2022 11:16:27 AM

HAZARDOUS MATERIALS:
 ASBESTOS CONTAINING MATERIALS (ACM) HAVE BEEN IDENTIFIED IN THE EXISTING ROOF ASSEMBLIES. REFER TO THE HAZARDOUS MATERIALS SURVEY INCLUDED IN THE PROJECT MANUAL. CONTRACTOR IS RESPONSIBLE FOR THE PROPER ABATEMENT AND DISPOSAL OF ALL ACM IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS, EXCEPT AS FOLLOWS:

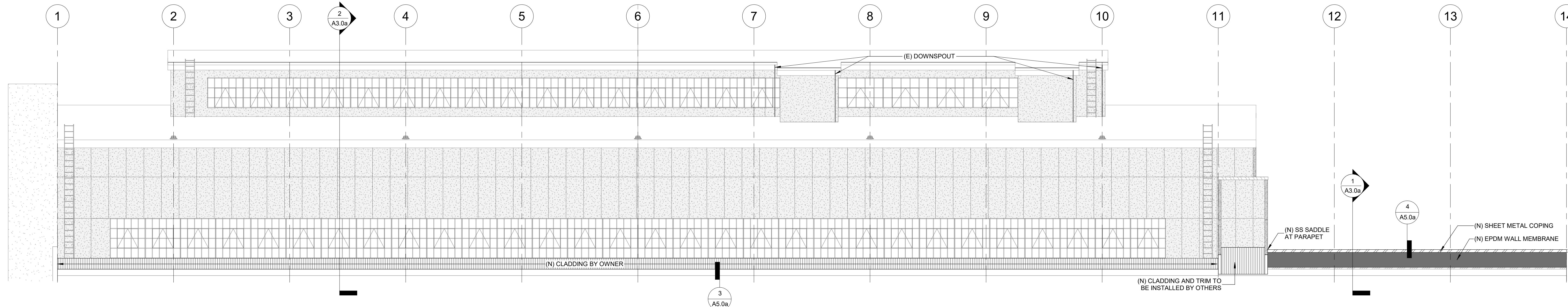
- CAB (CEMENT ASBESTOS BOARD) CLADDING AND TRIM WILL BE REMOVED AND RE-INSTALLED UNDER SEPARATE CONTRACTOR HIRED DIRECTLY BY THE OWNER (THIS WORK IS NOTED AS "BY OWNER")

>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER
BEFORE YOU DIG!
WWW.CALL811.COM

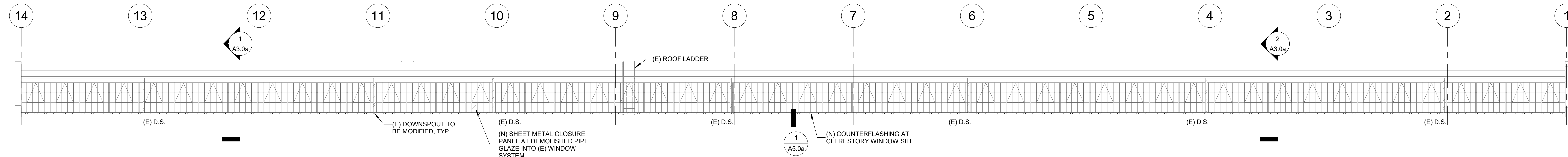
Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.

RECORD DRAWING

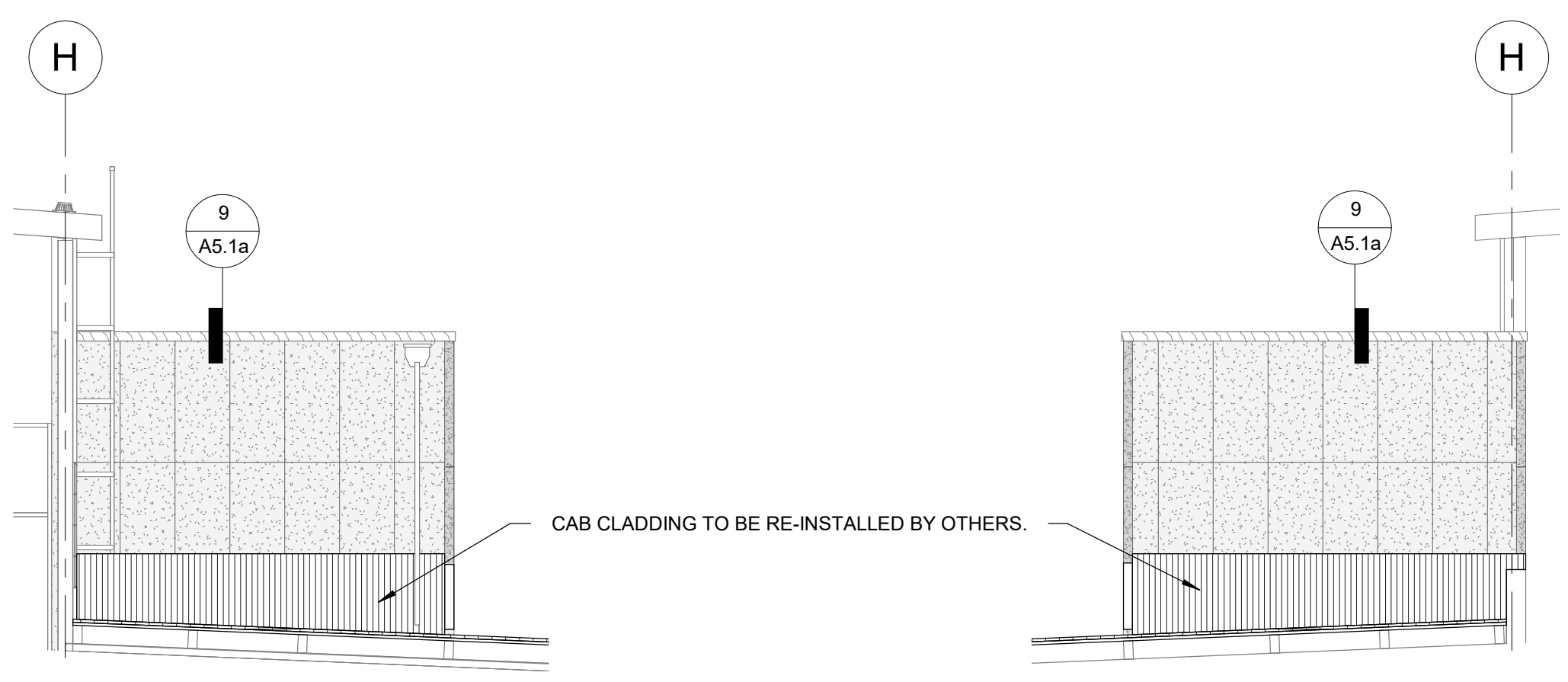
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1 NORTH ELEVATION AT SOUTH CLERESTORY
 1/8" = 1'-0"



2 SOUTH ELEVATION AT NORTH CLERESTORY
 1/8" = 1'-0"



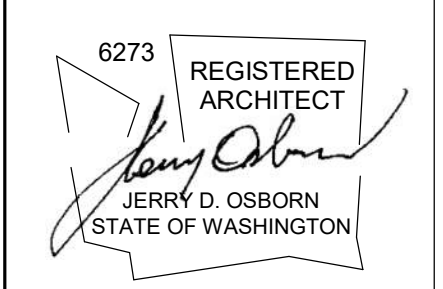
3 PARTIAL EAST ELEVATION
 1/8" = 1'-0"

4 PARTIAL WEST ELEVATION
 1/8" = 1'-0"

3		
2		
1		
NO.	REVISION - AS BUILT	DATE

REVIEWED: _____
 PARK ENGINEER DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.



1011 SW Klickitat Way, Ste #208 | Seattle, WA 98134
 p. (206) 631-8442 | http://www.oai.com



WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS

BUILDING #2 - EXTERIOR ELEVATIONS

DESIGNED	JJM	DATE	6/29/2022
DRAWN	JJM		
CHECKED	KN	SHEET	18 OF 25

ORDINANCE NO. PRK730300-142
 CONTRACT NO. PR2020-033
A2.0a
 SCALE As indicated (U.N.O.)

>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER
BEFORE YOU DIG!
 WWW.CALL811.COM

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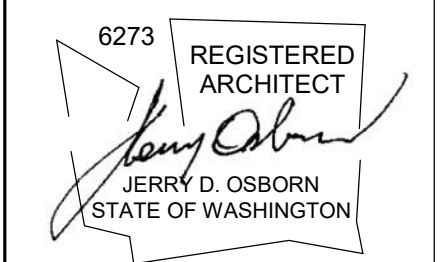
RECORD DRAWING

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3		
2		
1		
NO.	REVISION - AS BUILT	DATE

REVIEWED: _____
 PARK ENGINEER _____ DATE _____

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WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS

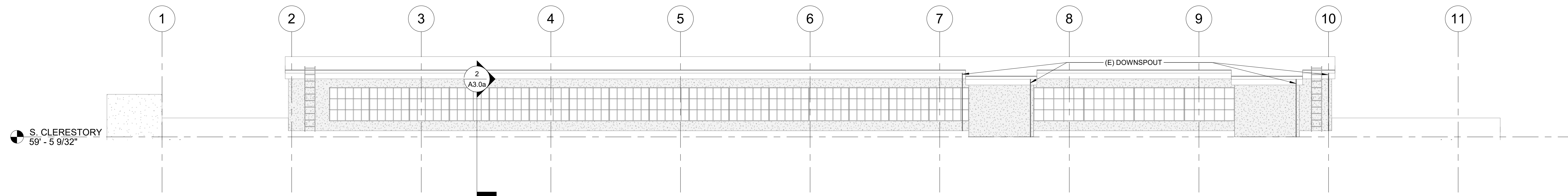
BUILDING #2 - EXTERIOR ELEVATIONS

DESIGNED: JIM DATE: 6/29/2022
 DRAWN: CY
 CHECKED: KN SHEET: 19 OF 25

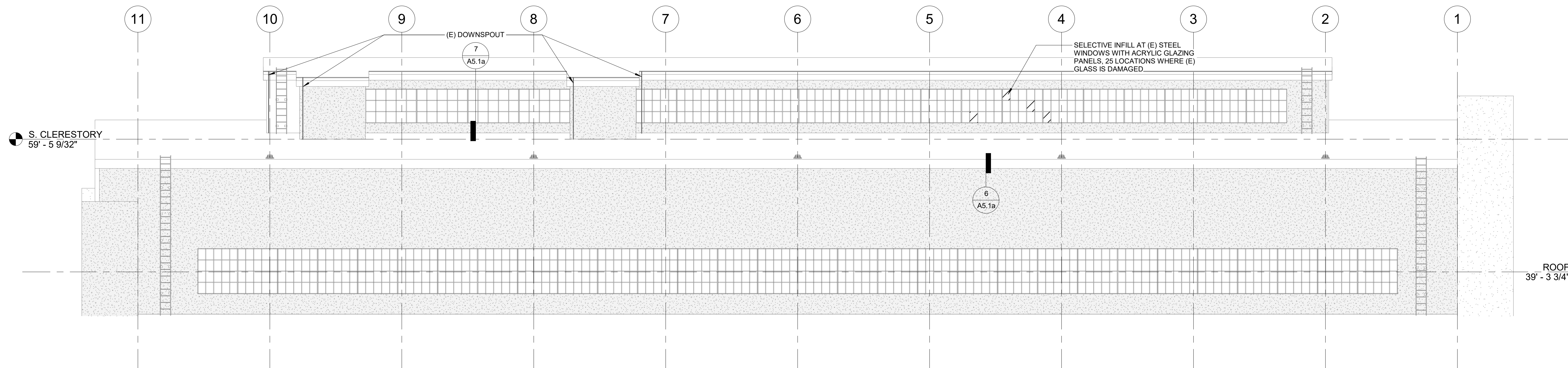
ORDINANCE NO. PRK730300-142
 CONTRACT NO. PR2020-033

A2.1a

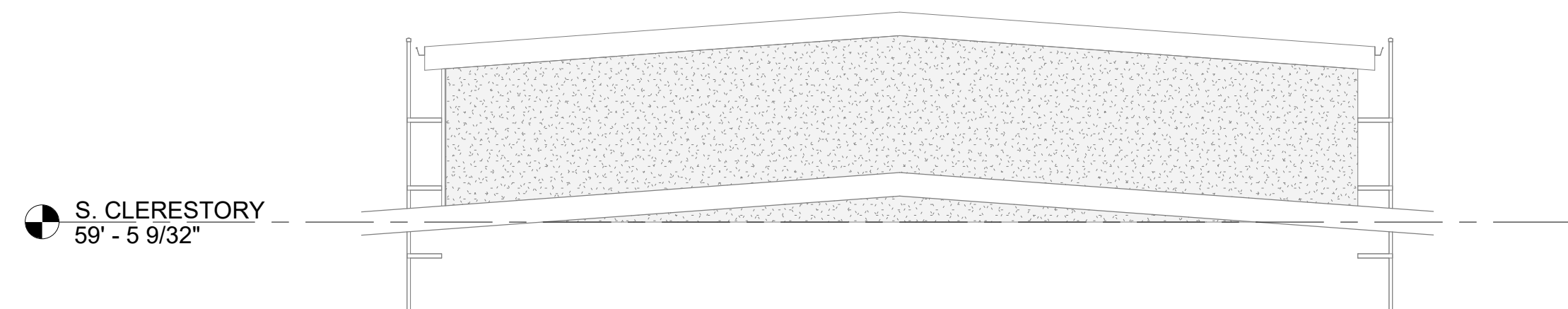
SCALE: 1/8" = 1'-0" (U.N.O.)



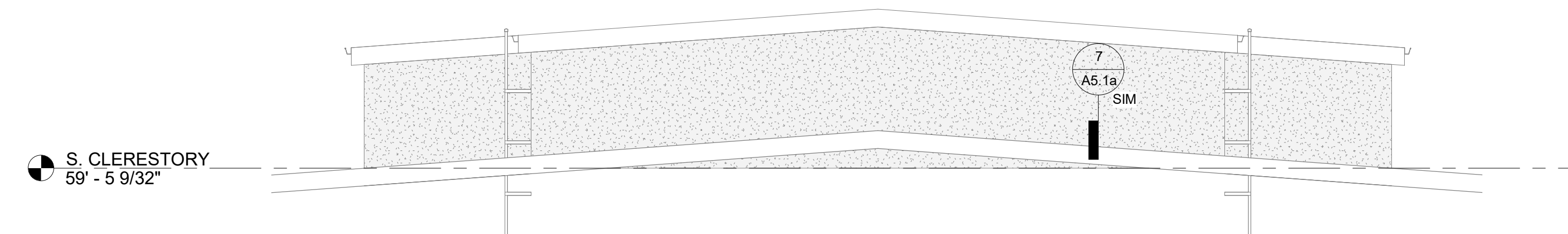
1 NORTH ELEVATION AT SOUTH HANGAR CLERESTORY
 1/8" = 1'-0"



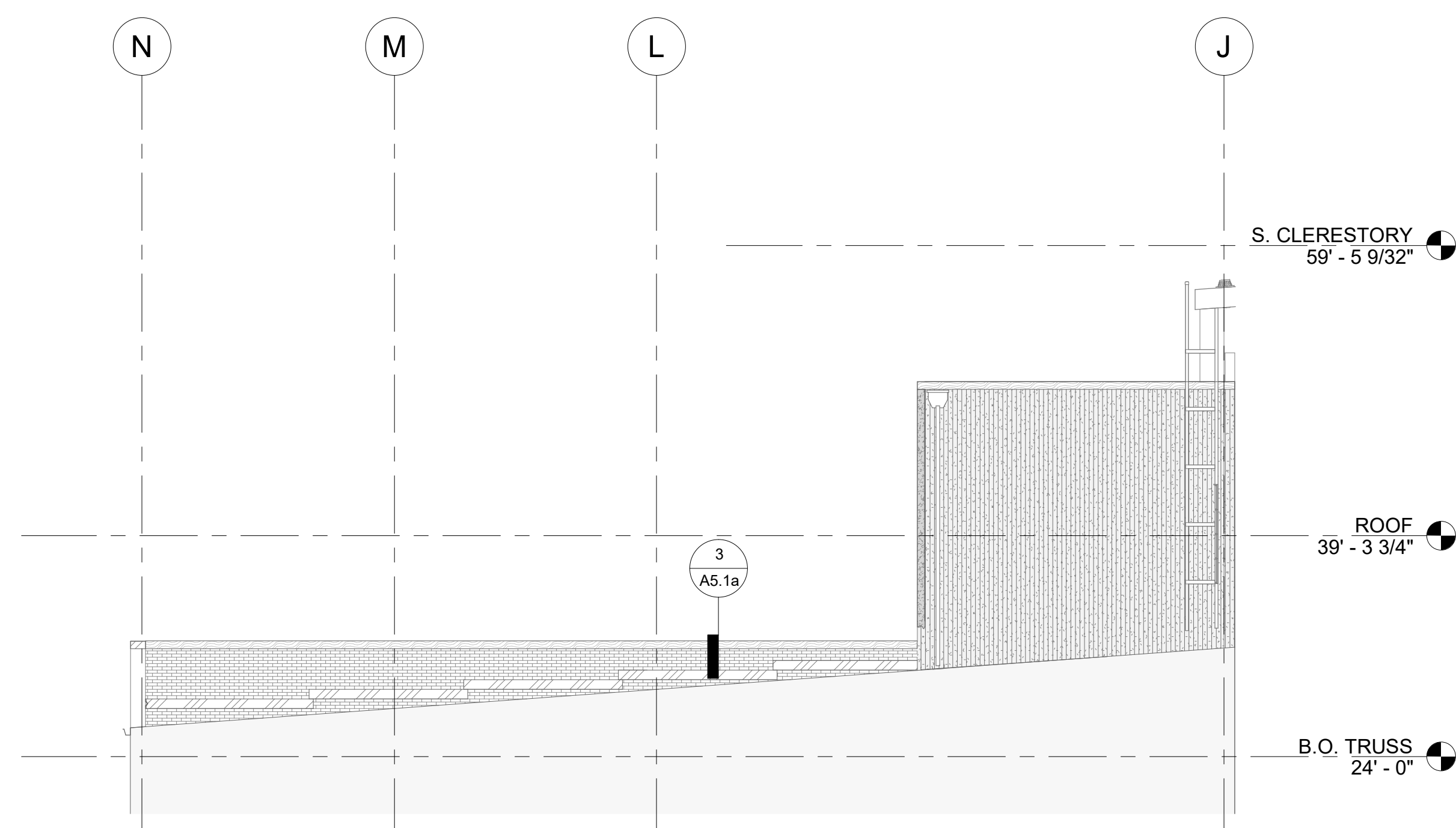
2 SOUTH ELEVATION AT SOUTH HANGAR
 1/8" = 1'-0"



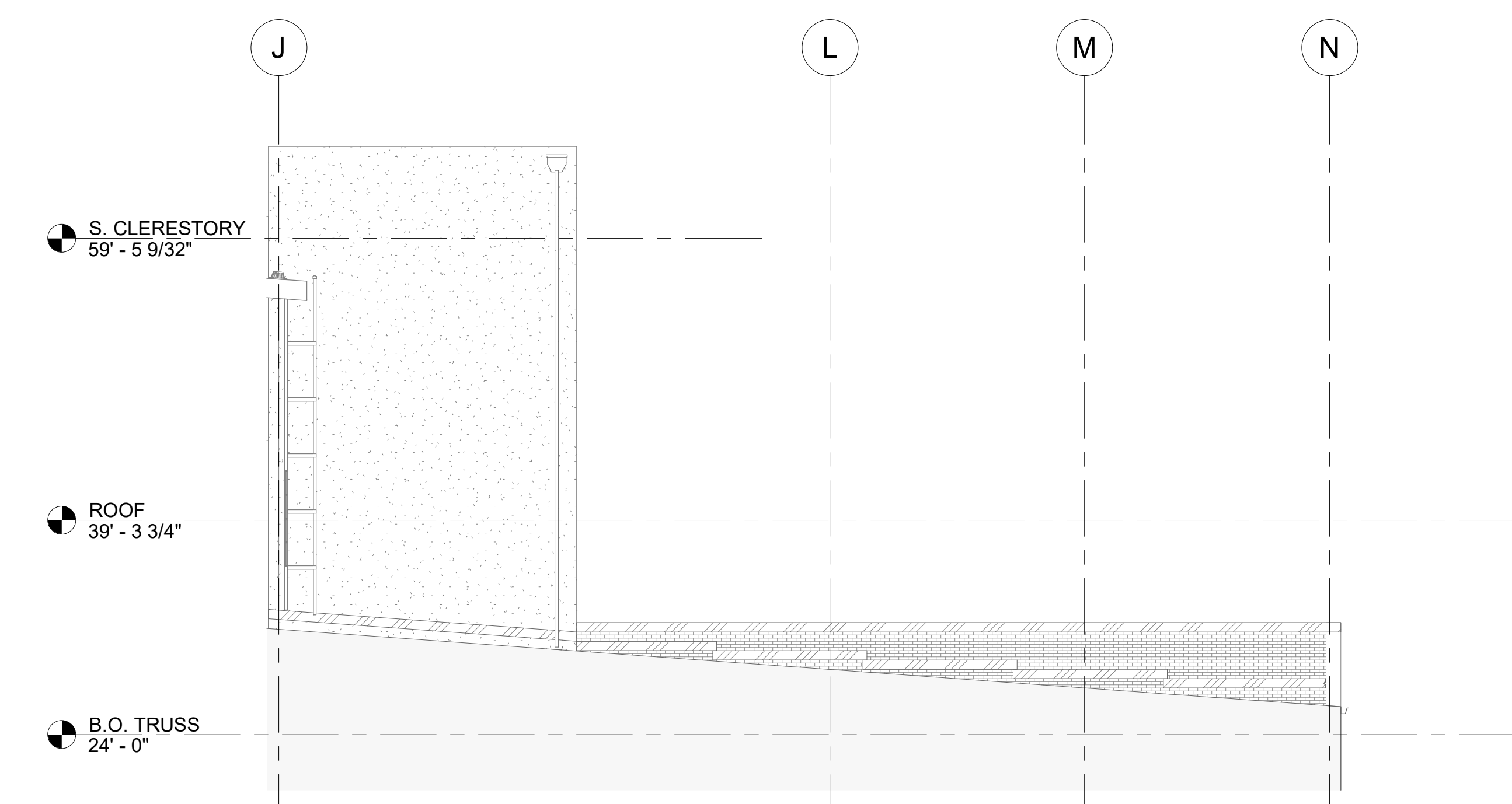
3 PARTIAL EAST ELEVATION
 1/8" = 1'-0"



4 PARTIAL WEST ELEVATION
 1/8" = 1'-0"



5 PARTIAL WEST ELEVATION
 1/8" = 1'-0"



6 PARTIAL EAST ELEVATION
 1/8" = 1'-0"

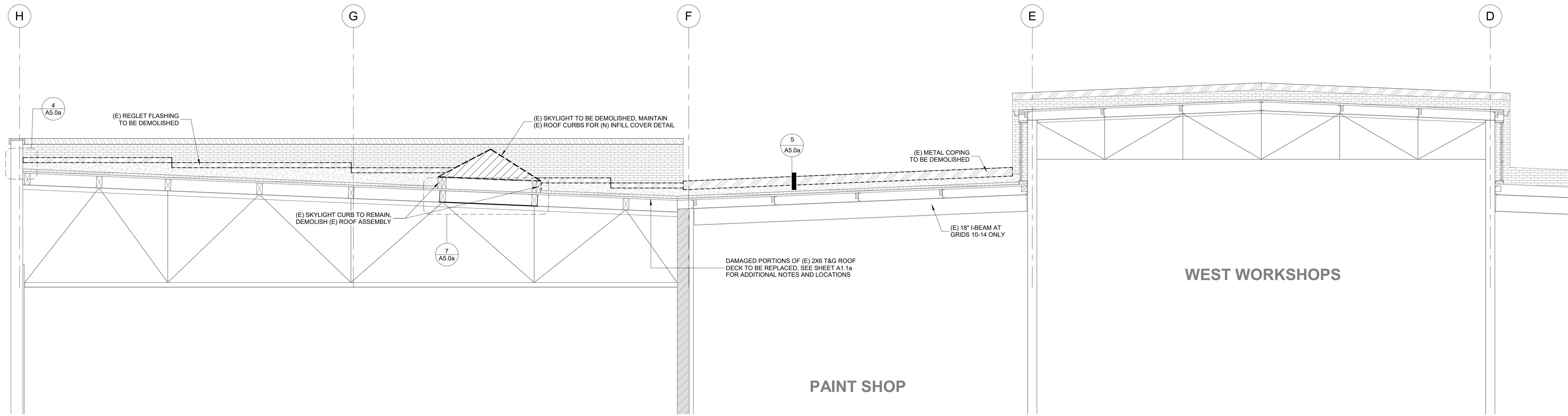
G:\Shared drives\ARCH - Projects\Seattle\11 Seattle Parks\2019\1911.04 Magnuson Building 2 Floor\1 Drawing\Rev\Wing B\fig 2_138 Permi Submittal 29 June.rvt 6/29/2022 11:16:53 AM

>>>>CAUTION - CALL 811<<<<
 UTILITY NOTIFICATION CENTER
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 WWW.CALL811.COM

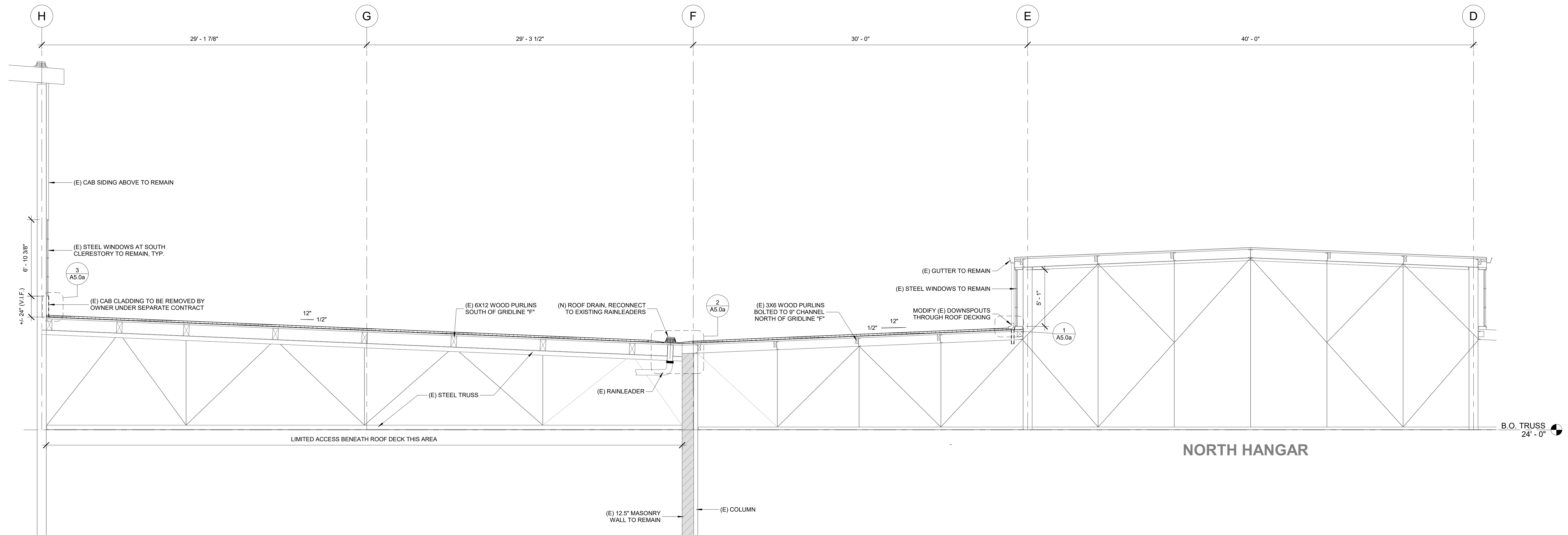
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RECORD DRAWING

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1 BUILDING 2 - E/W SECTION AT GRID 12
 1/4" = 1'-0"

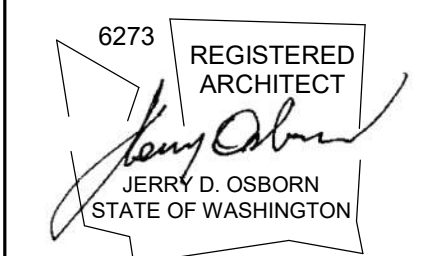


2 BUILDING 2 - E/W SECTION AT GRID 3
 1/4" = 1'-0"

3		
2		
1		
NO.	REVISION - AS BUILT	DATE

REVIEWED: _____
 PARK ENGINEER DATE

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WARREN G. MAGNUSON PARK
 7400 SAND POINT WAY NE

BUILDING #2 & #138 ROOF REPLACEMENTS

BUILDING #2 - BUILDING SECTIONS

DESIGNED	JJM	DATE	6/29/2022
DRAWN	JJM		
CHECKED	KN	SHEET	18 OF 25

ORDINANCE NO. PRK730300-142
 CONTRACT NO. PR2020-033
A3.0a

SCALE 1/4" = 1'-0" (U.N.O.)

G:\Shared drives\ARCH - Projects\Seattle\11 Seattle Parks\2019\1911.04 Magnuson Building 2 Roof\Drawings\Revit\Bldg #2_138 Permi Submittal 29 June.rvt

6/29/2022 11:16:24 AM

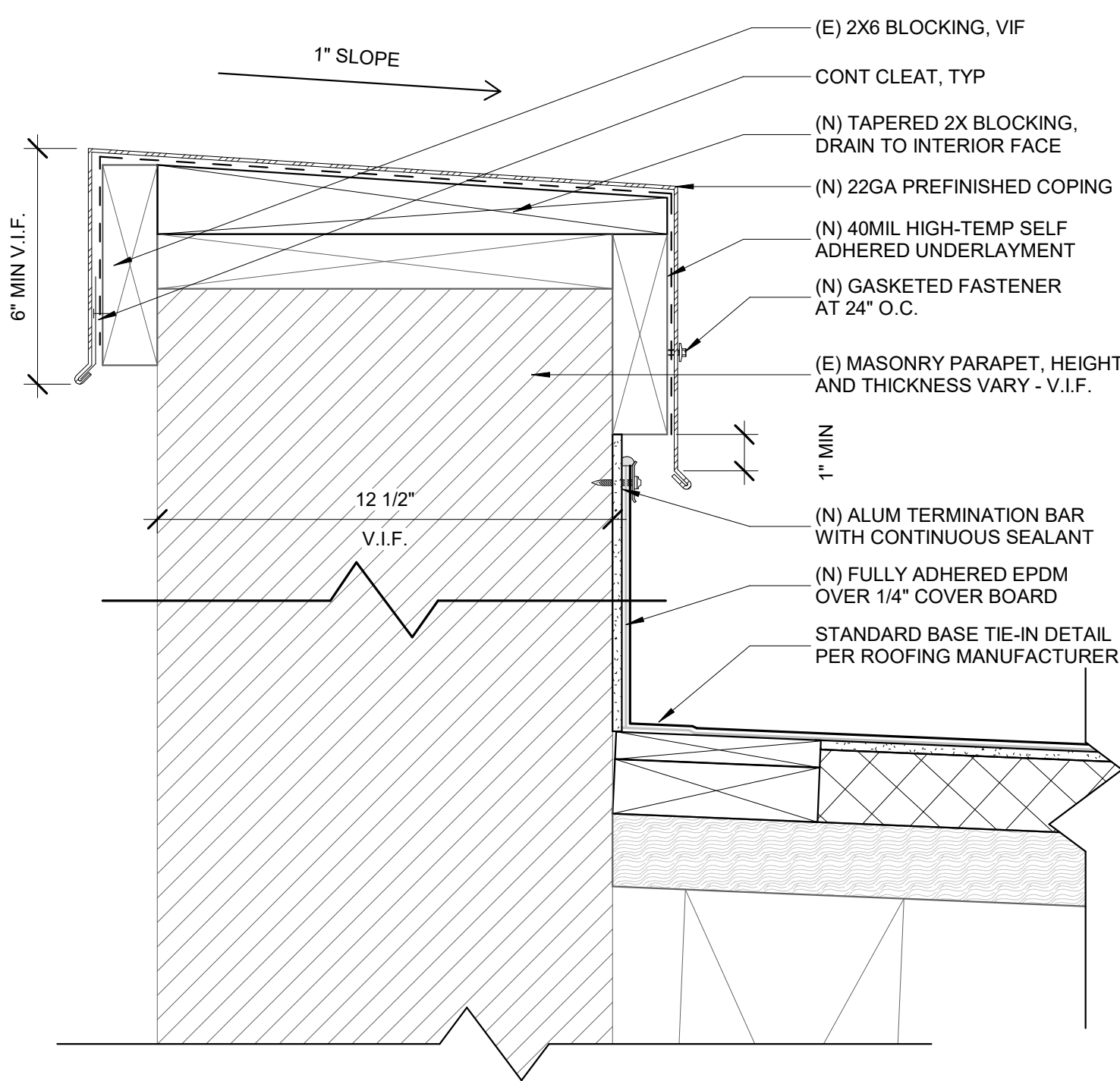
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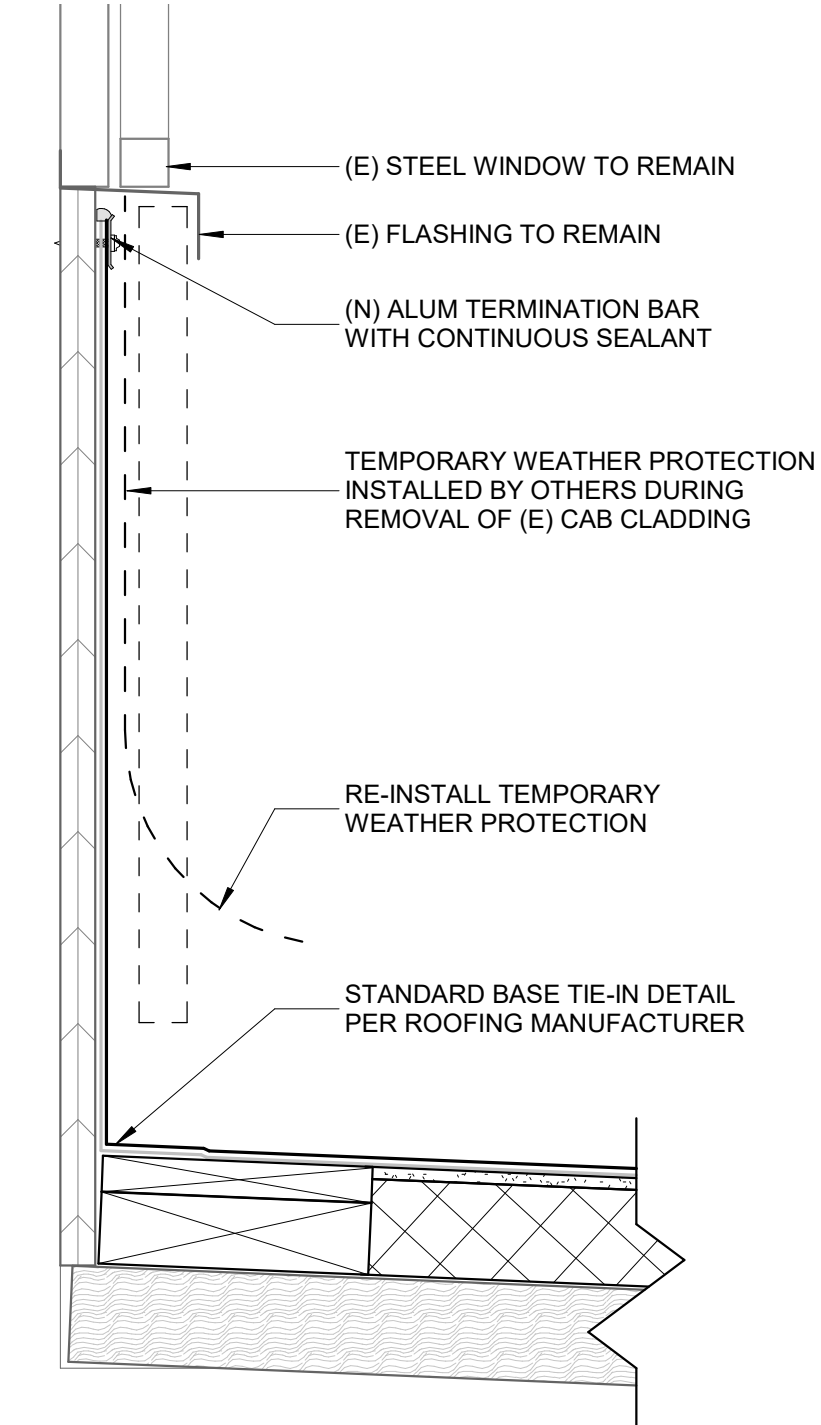
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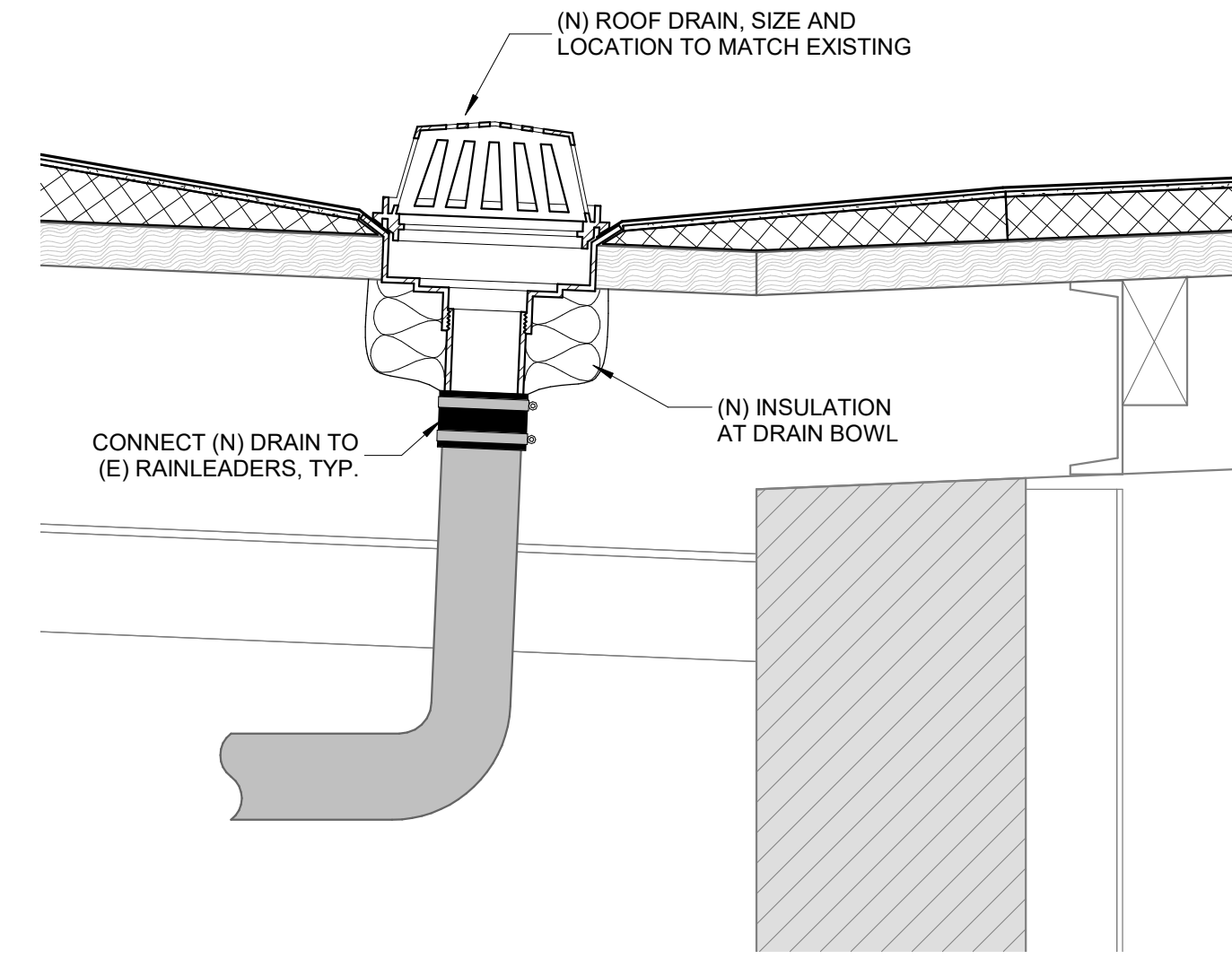
PROVIDE REDUCED TAPERED INSULATION AT 1/8" TO MAXIMIZE VERTICAL FLASHING AT SILL



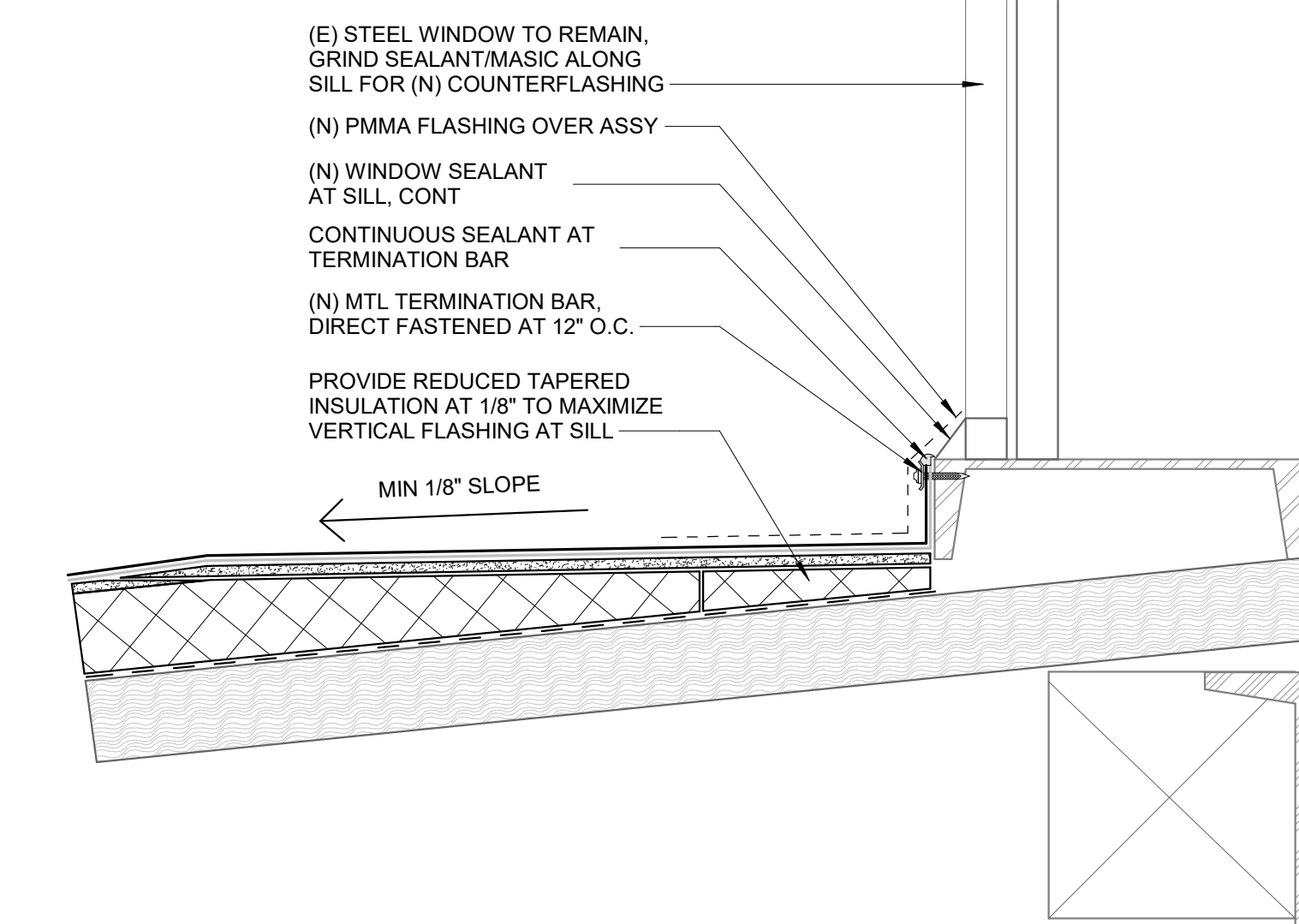
4 PARAPET DETAIL
 A5.0a 3" = 1'-0"



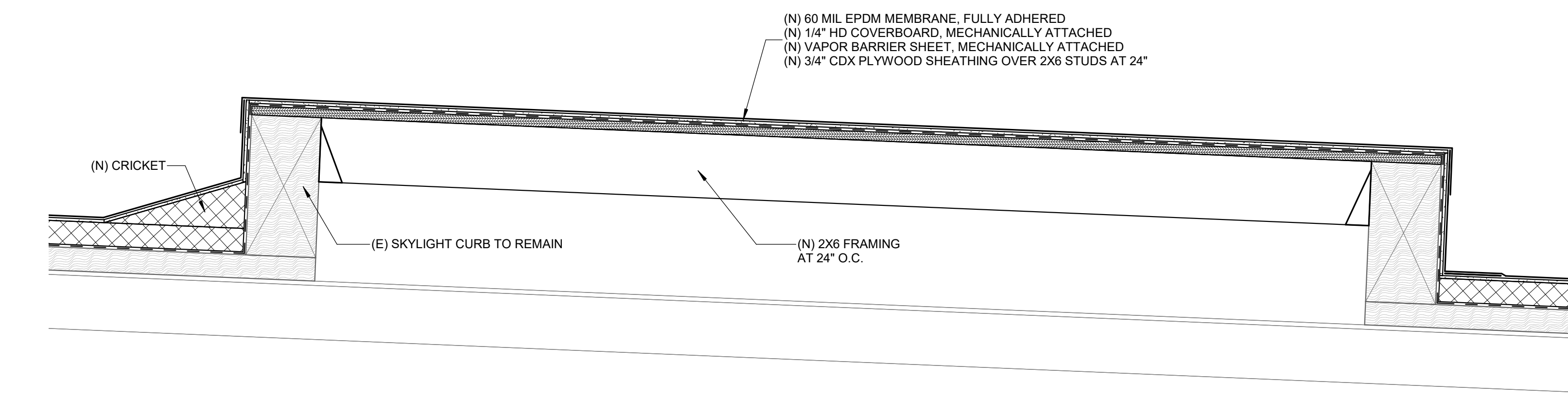
3 ROOFING AT WALL
 A5.0a 3" = 1'-0"



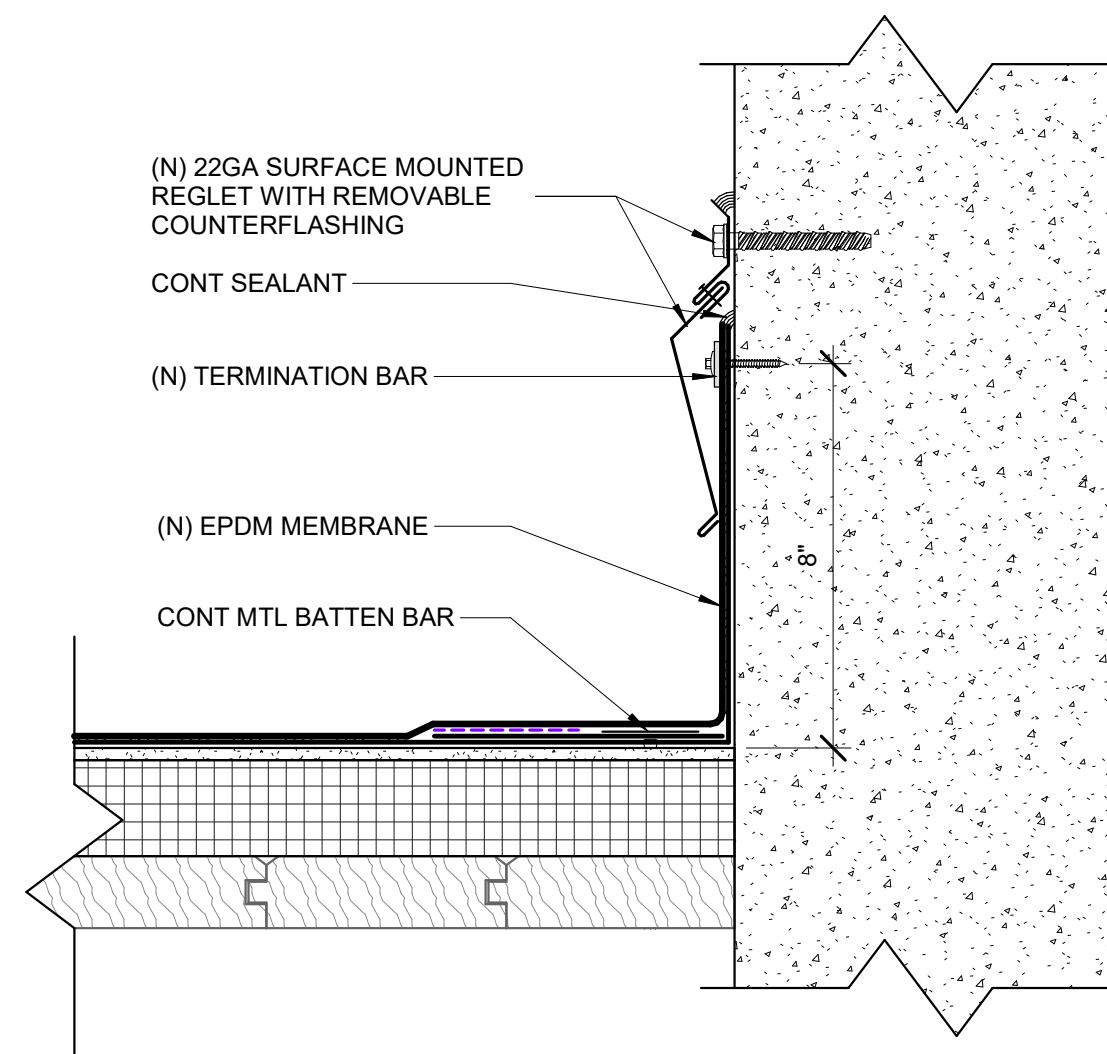
2 CONNECTION AT (N) ROOF DRAIN
 A5.0a 1 1/2" = 1'-0"



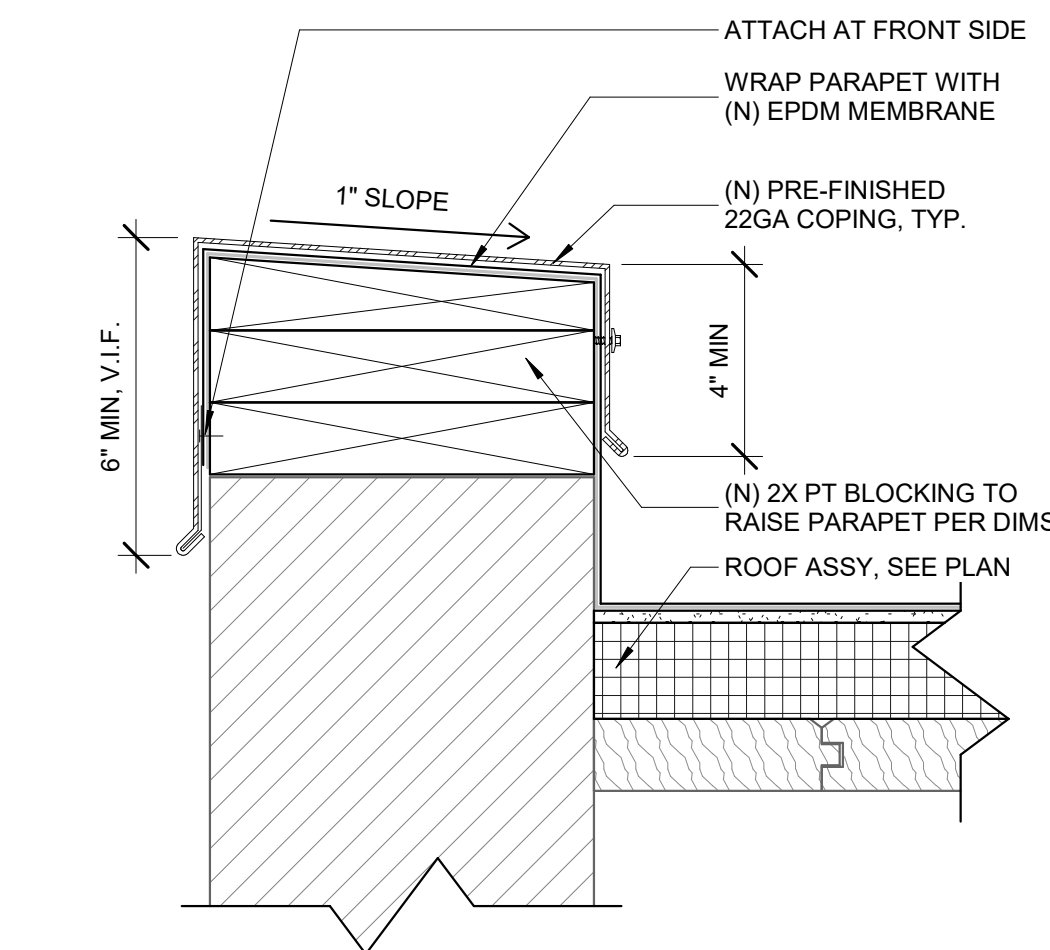
1 ROOFING AT SILL
 A5.0a 3" = 1'-0"



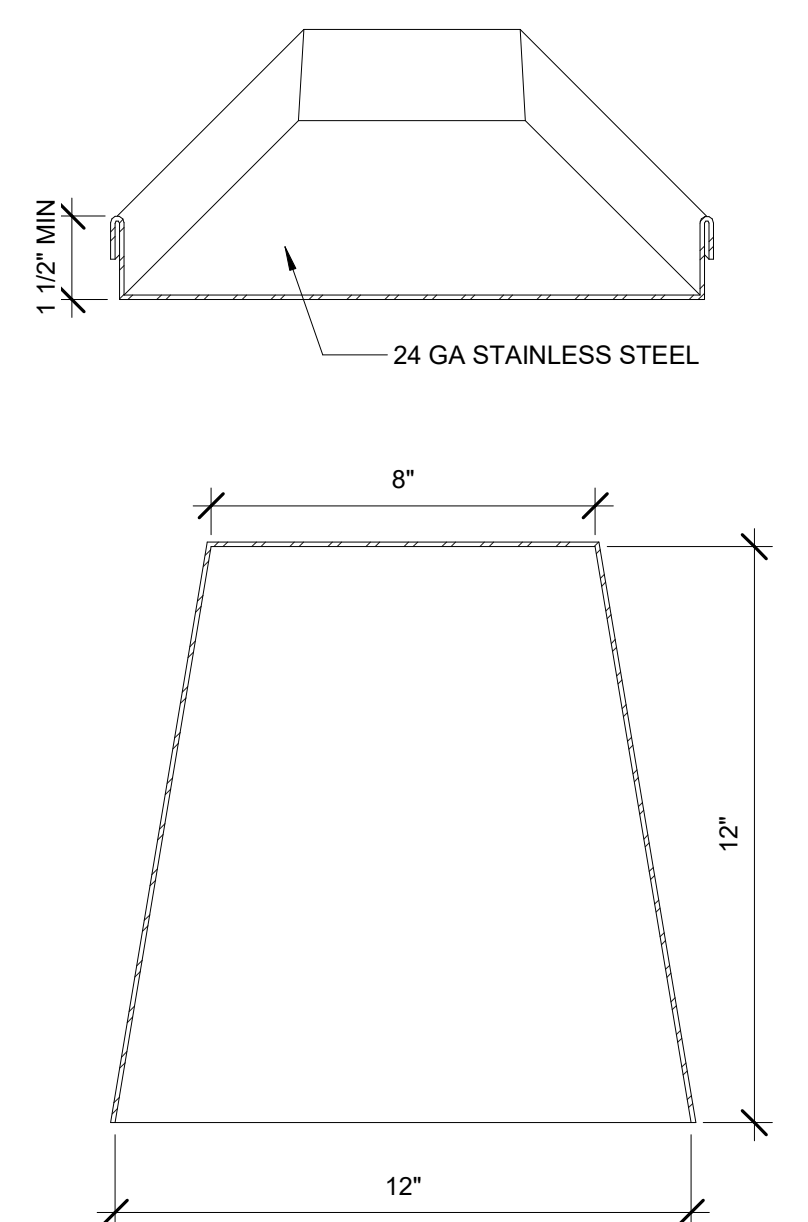
7 (N) INFILL FRAMING AT SKYLIGHT
 A5.0a 1 1/2" = 1'-0"



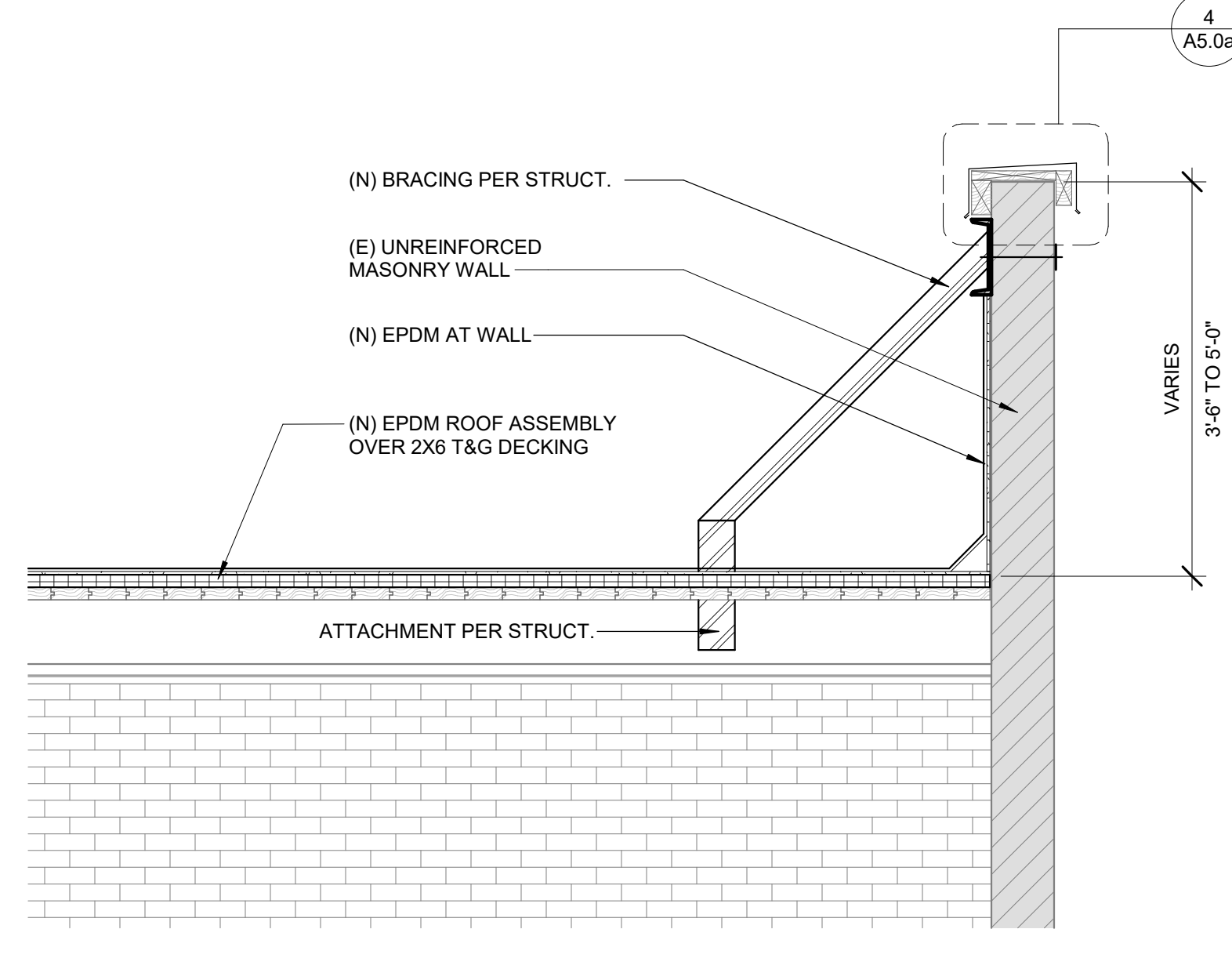
6 ROOFING AT WALL
 A5.0a 3" = 1'-0"



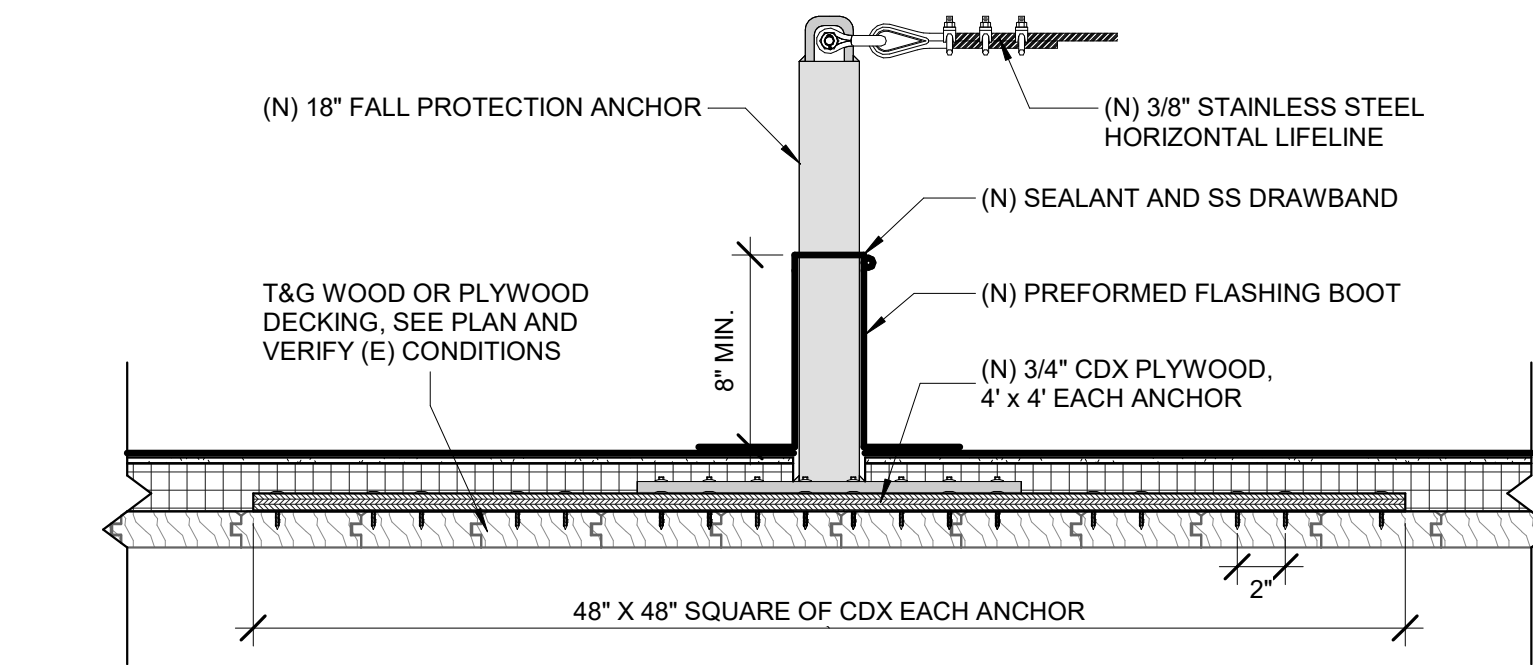
5 PARAPET DETAIL
 A5.0a 3" = 1'-0"



8 SPLASH BLOCK DETAIL
 A5.0a NTS



9 BRACING AT PARAPET
 A5.0a 1/2" = 1'-0"

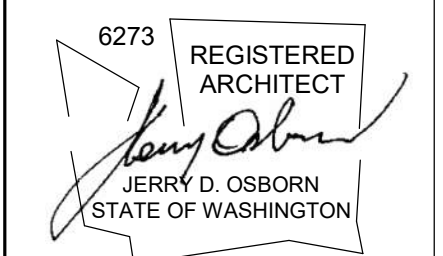


10 FALL PROTECTION ANCHOR - T&G
 A5.0a 1 1/2" = 1'-0"

3		
2		
1		
NO.	REVISION - AS BUILT	DATE

REVIEWED: _____ PARK ENGINEER _____ DATE _____

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WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS

BUILDING #2 - ROOF DETAILS

DESIGNED JJM DATE 6/29/2022
 DRAWN JJM
 CHECKED KN SHEET 21 OF 25

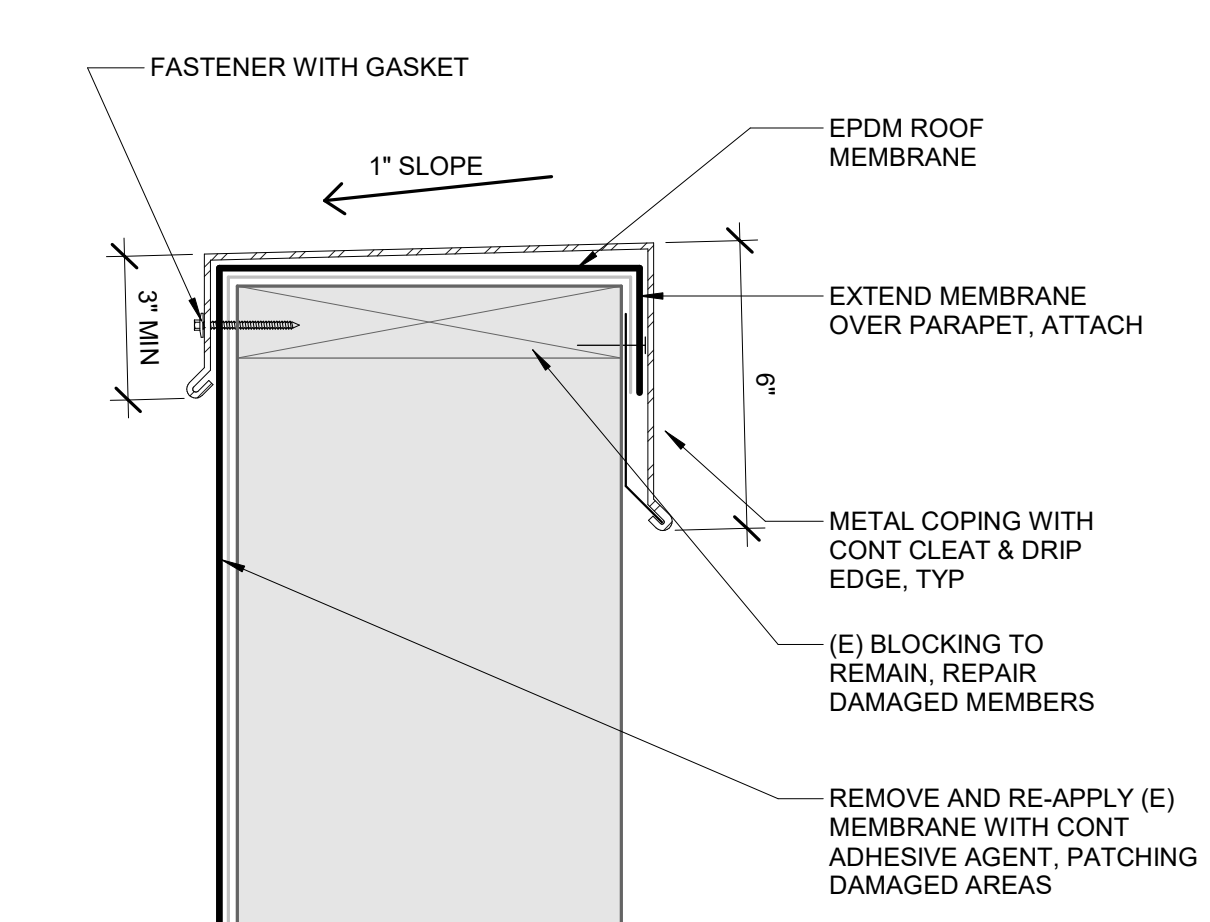
ORDINANCE NO. PRK730300-142
 CONTRACT NO. PR2020-033
 SCALE As Indicated (U.N.O.) **A5.0a**

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BEFORE YOU DIG!
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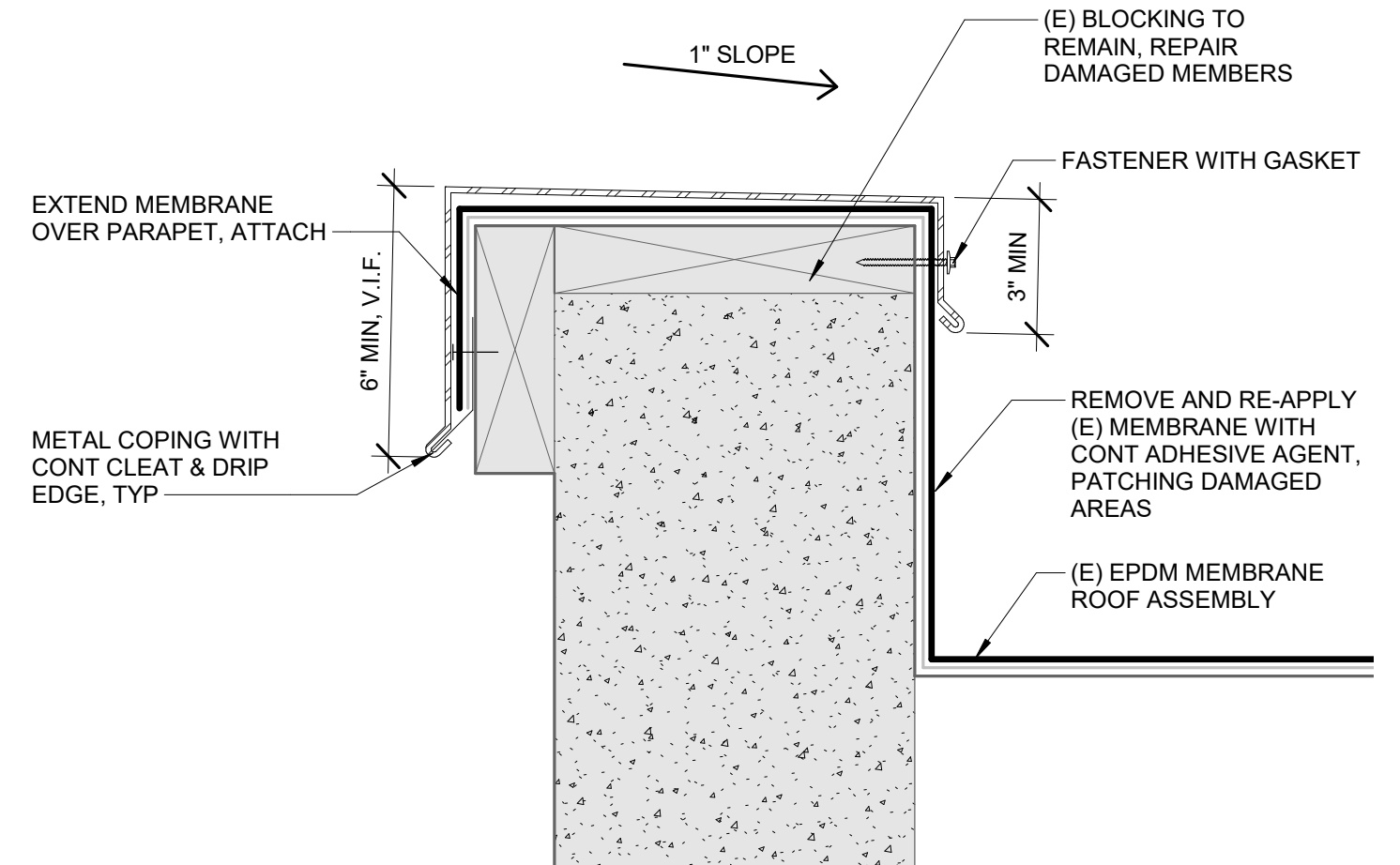
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RECORD DRAWING

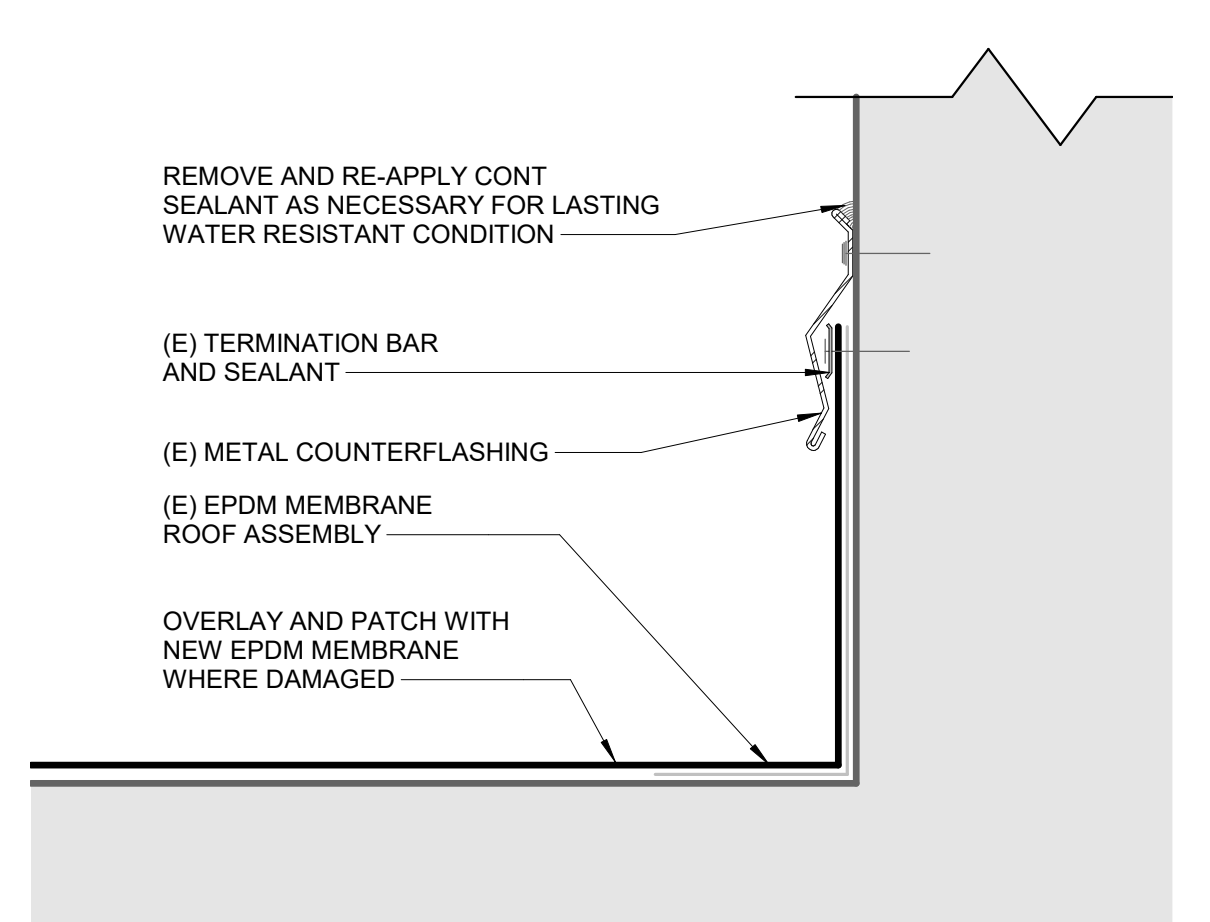
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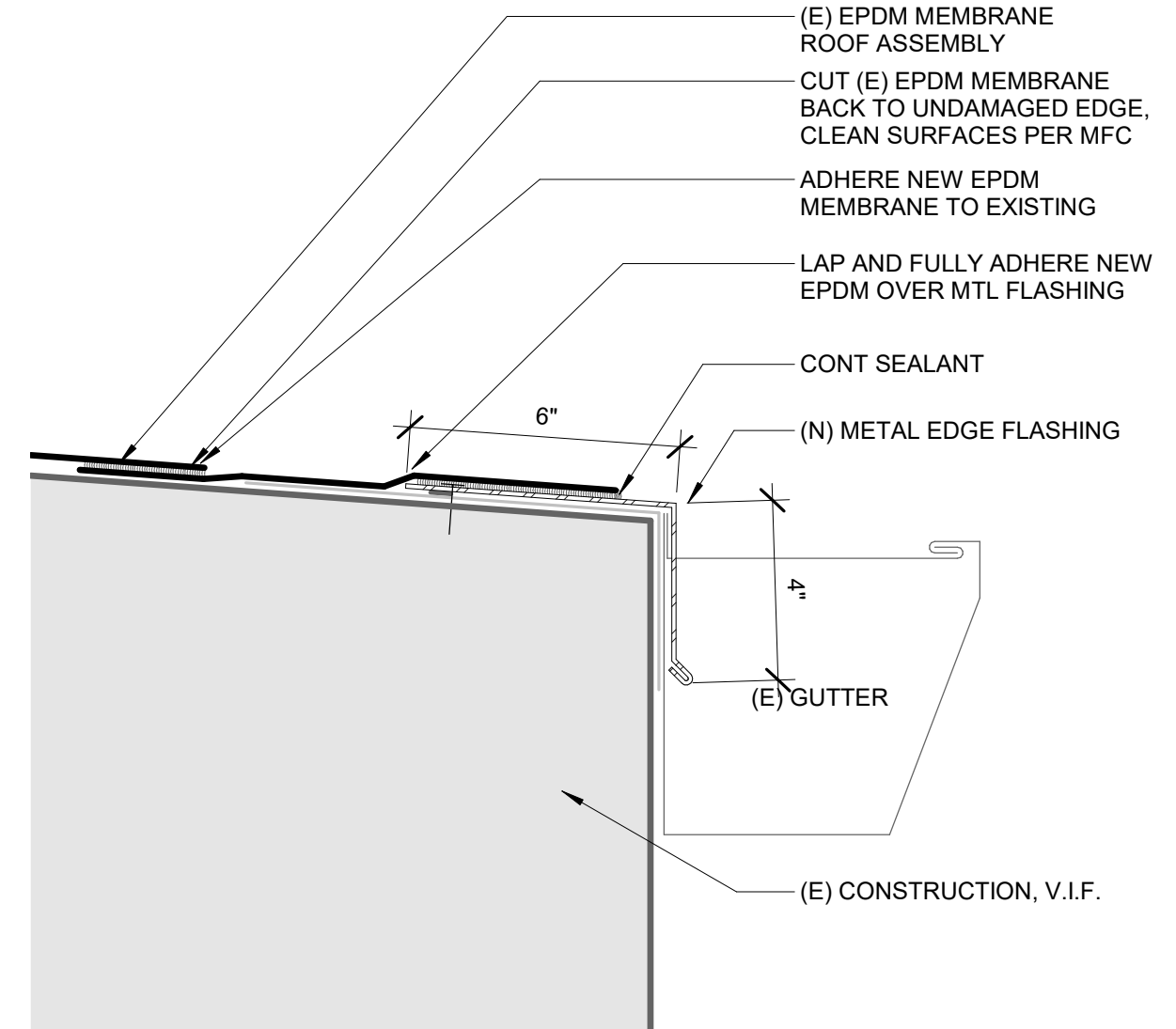
1
 A5.1a
PARAPET
 3" = 1'-0"



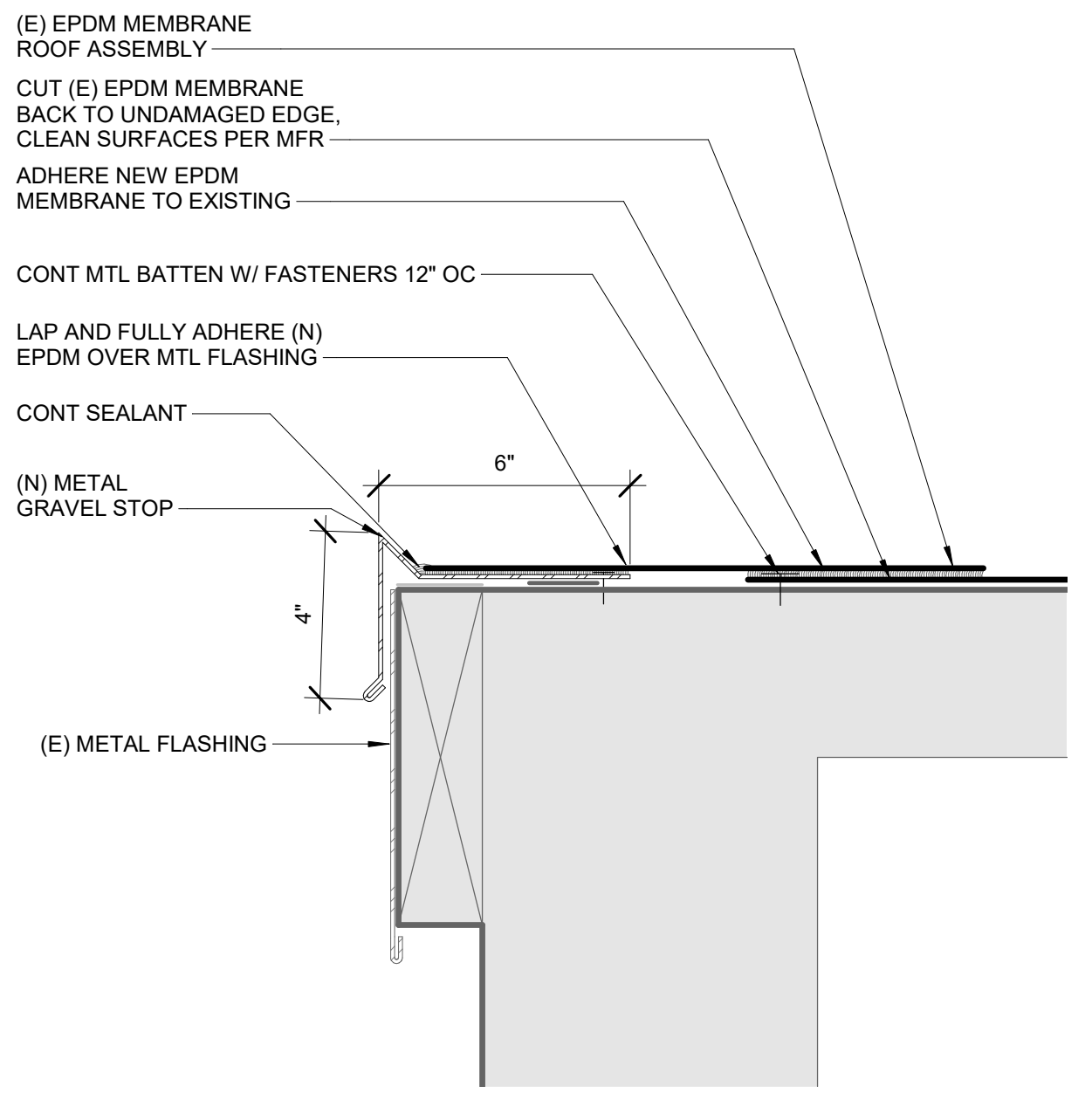
2
 A5.1a
PARAPET
 3" = 1'-0"



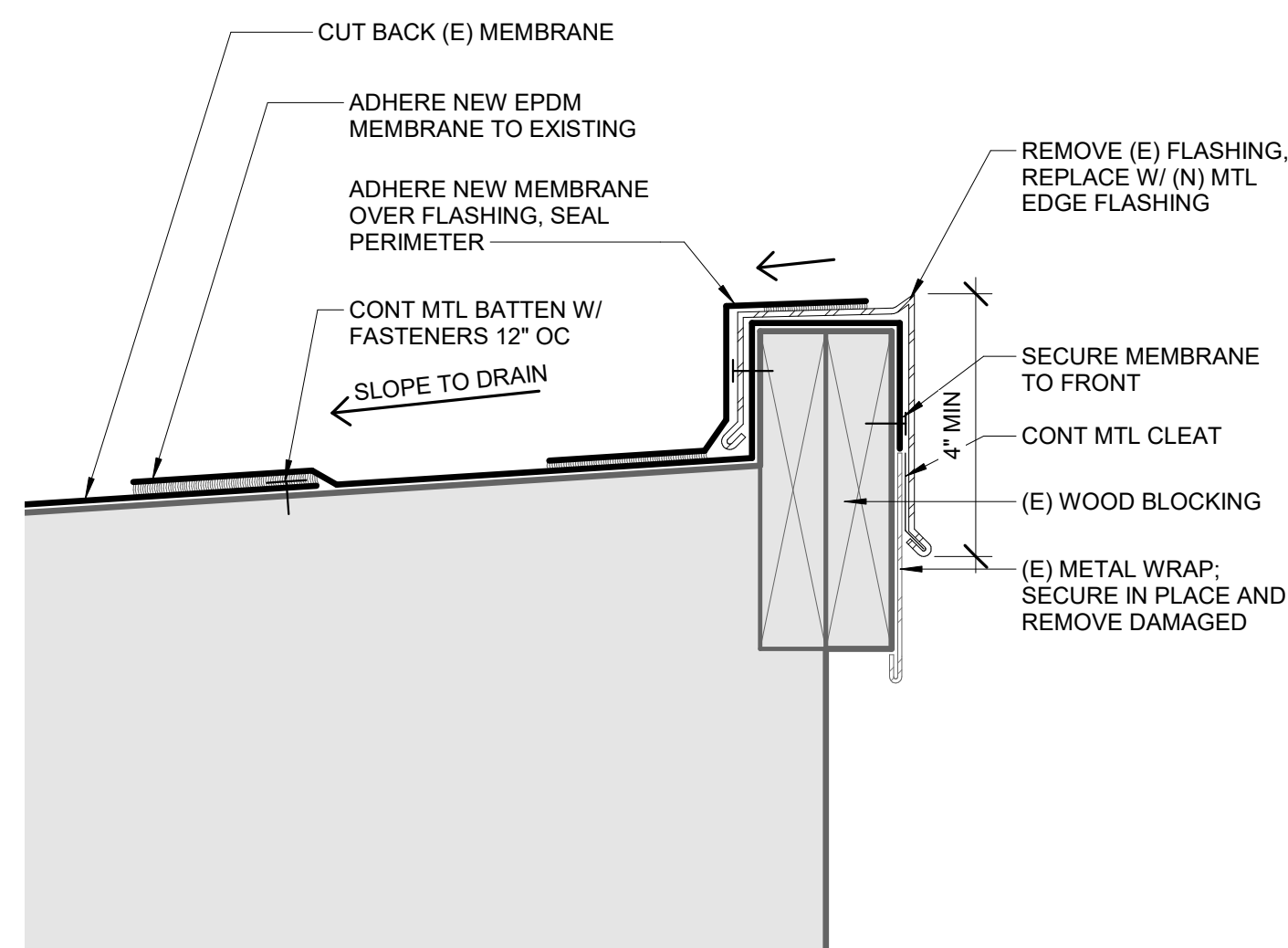
3
 A5.1a
COUNTER FLASHING AT WALL
 3" = 1'-0"



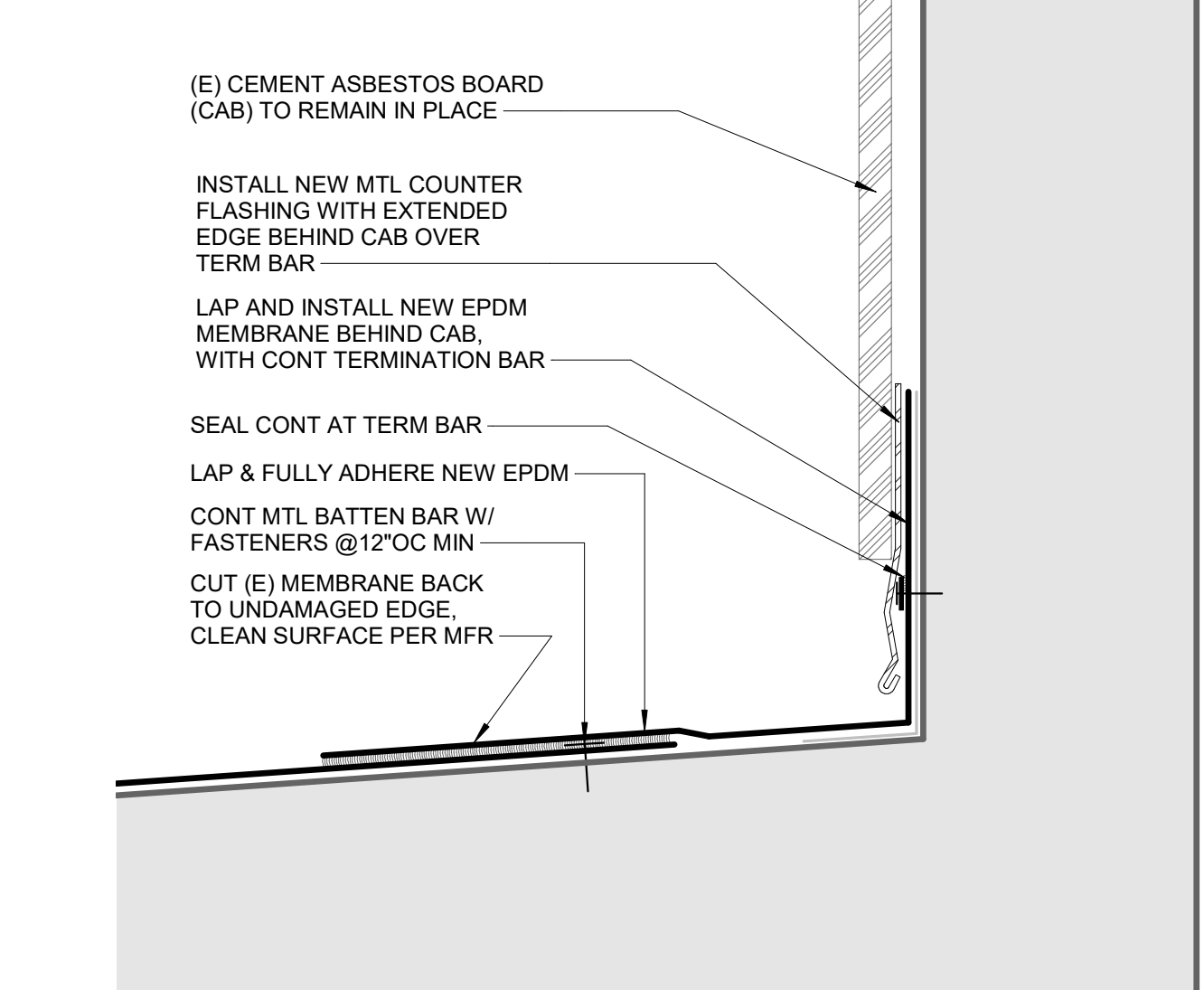
4
 A5.1a
EDGE DETAIL AT GUTTER
 3" = 1'-0"



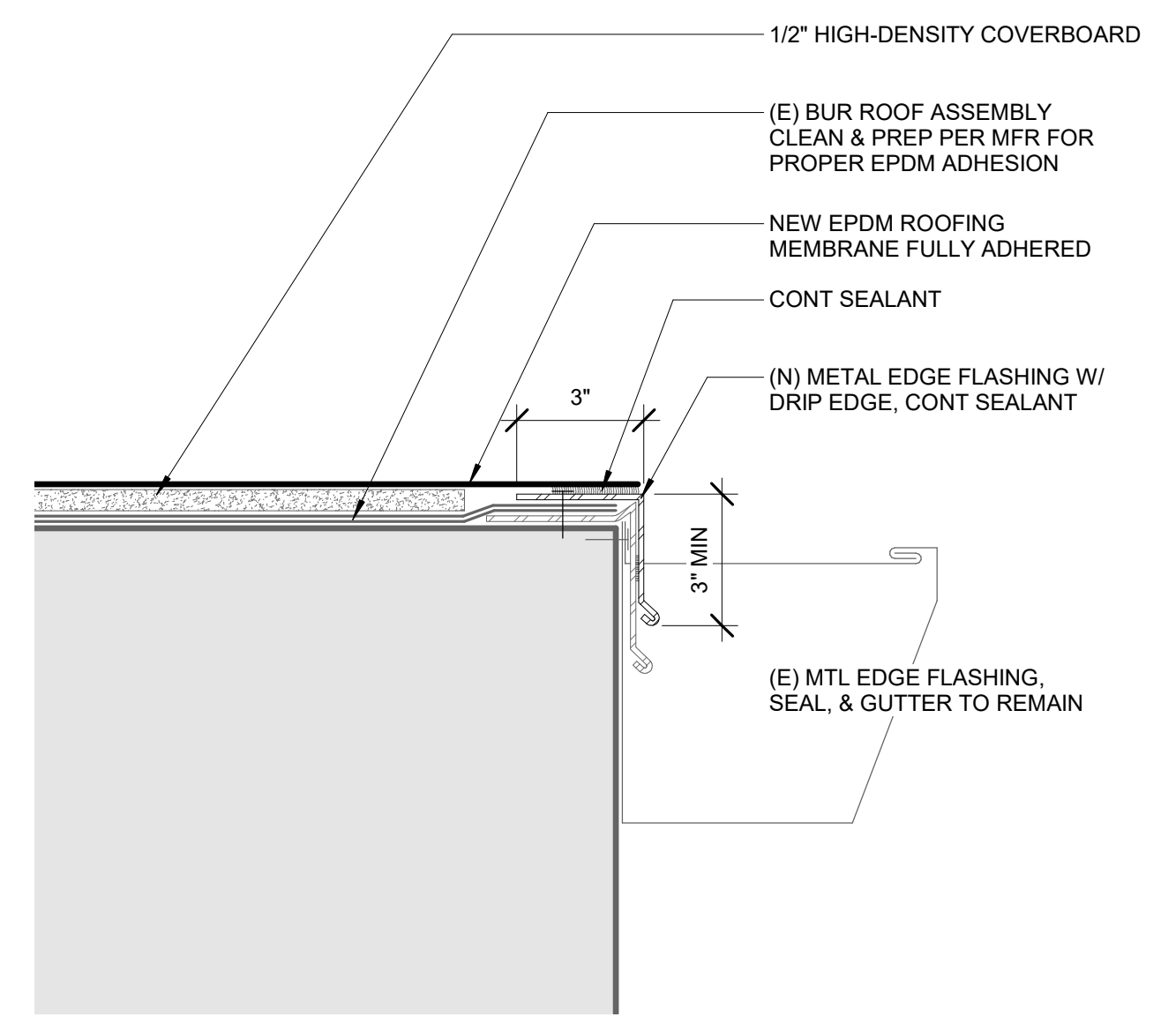
5
 A5.1a
ROOF EDGE
 3" = 1'-0"



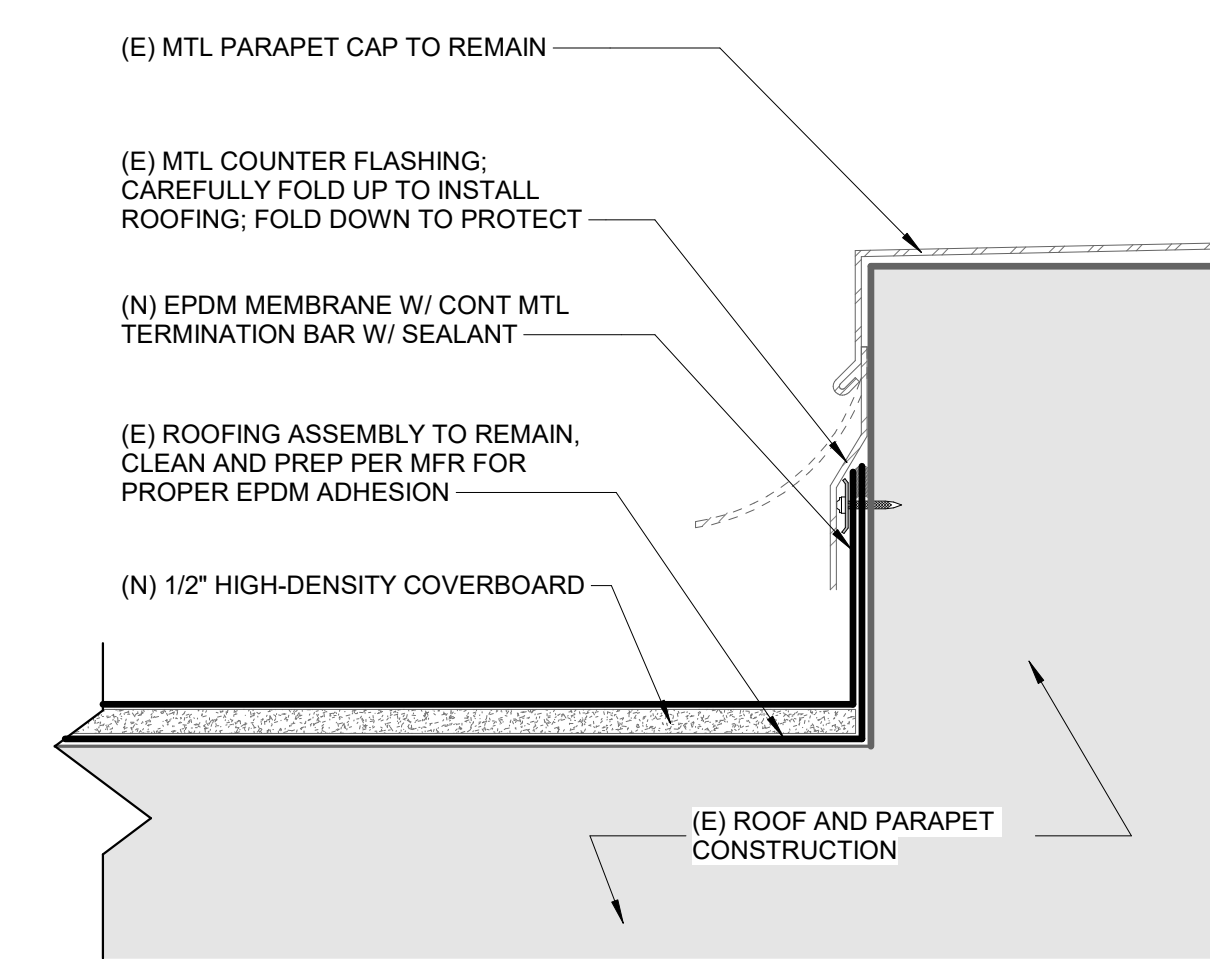
6
 A5.1a
ROOF EDGE
 3" = 1'-0"



7
 A5.1a
FLASHING AT WALL CLADDING
 3" = 1'-0"



8
 A5.1a
EDGE DETAIL @ GUTTER
 3" = 1'-0"



9
 A5.1a
ROOFING AT PARAPET
 3" = 1'-0"

3		
2		
1		
NO.	REVISION - AS BUILT	DATE

REVIEWED: _____
 PARK ENGINEER DATE

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6273 REGISTERED ARCHITECT
 JERRY D. OSBORN
 STATE OF WASHINGTON



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WARREN G. MAGNUSON PARK
7400 SAND POINT WAY NE
BUILDING #2 & #138 ROOF REPLACEMENTS

BUILDING #2 - ROOF DETAILS

DESIGNED	JJM	DATE	6/29/2022
DRAWN	CY		
CHECKED	KN	SHEET	22 OF 26
ORDINANCE NO.	PRK730300-142	A5.1a	
CONTRACT NO.	PR2020-033		
SCALE	3" = 1'-0" (U.N.O.)		

G:\Shared drives\ARCH - Projects\Seattle\11 Seattle Parks\2019\1011_04 Magnuson Building 2 Roof\1 Drawing\Rev\Title\Bldg #2_138 Perim. Submittal 29 June.rvt 6/29/2022 11:16:37 AM



PARTIAL ROOF FRAMING PLAN
 SCALE: 1/8" = 1'-0"
 NORTH

>>>>CAUTION - CALL 811<<<<
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3		
2		
1		
NO.	REVISION - AS BUILT	DATE

REVIEWED: _____ DATE _____
 PARK ENGINEER

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ARCHITECT OF RECORD
OAI PS ARCHITECTURE & PLANNING
 1011 SW KLUCKITAT WAY, #208
 SEATTLE, WA 98134
 (206) 631-8442

STRUCTURAL ENGINEER
PSM CONSULTING ENGINEERS
 2200 6TH AVENUE, #601
 SEATTLE, WA 98121
 (206) 622-4580



Seattle Parks & Recreation

WARREN G. MAGNUSON PARK
 7400 SAND POINT WAY NE

BUILDING #2 & #138
 ROOF REPLACEMENTS

BUILDING #2 PARTIAL
 ROOF FRAMING PLAN

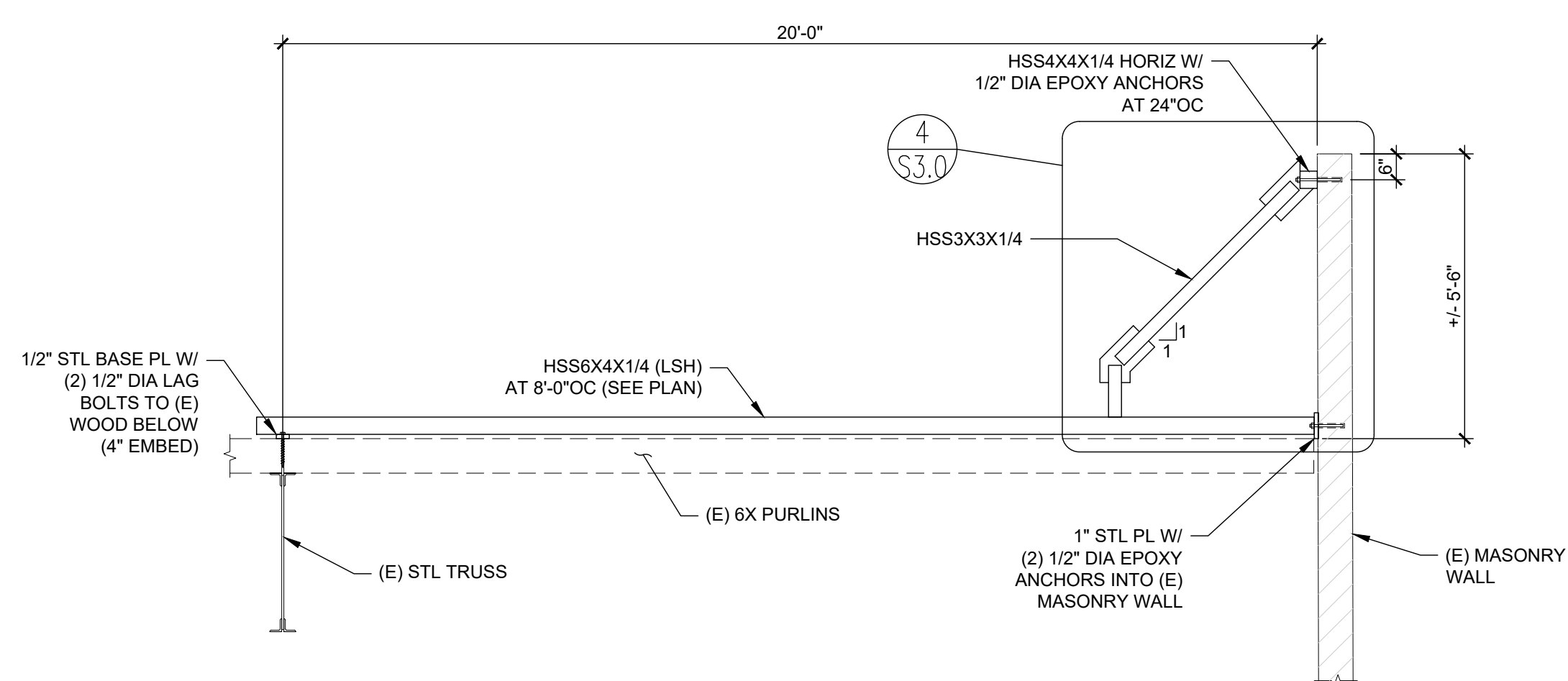
DESIGNED	RC	DATE	03/25/21
DRAWN	MB		
CHECKED	REM	SHEET	OF
ORDINANCE NO.		S2.0	
CONTRACT NO.			
SCALE	(U.N.O.)		

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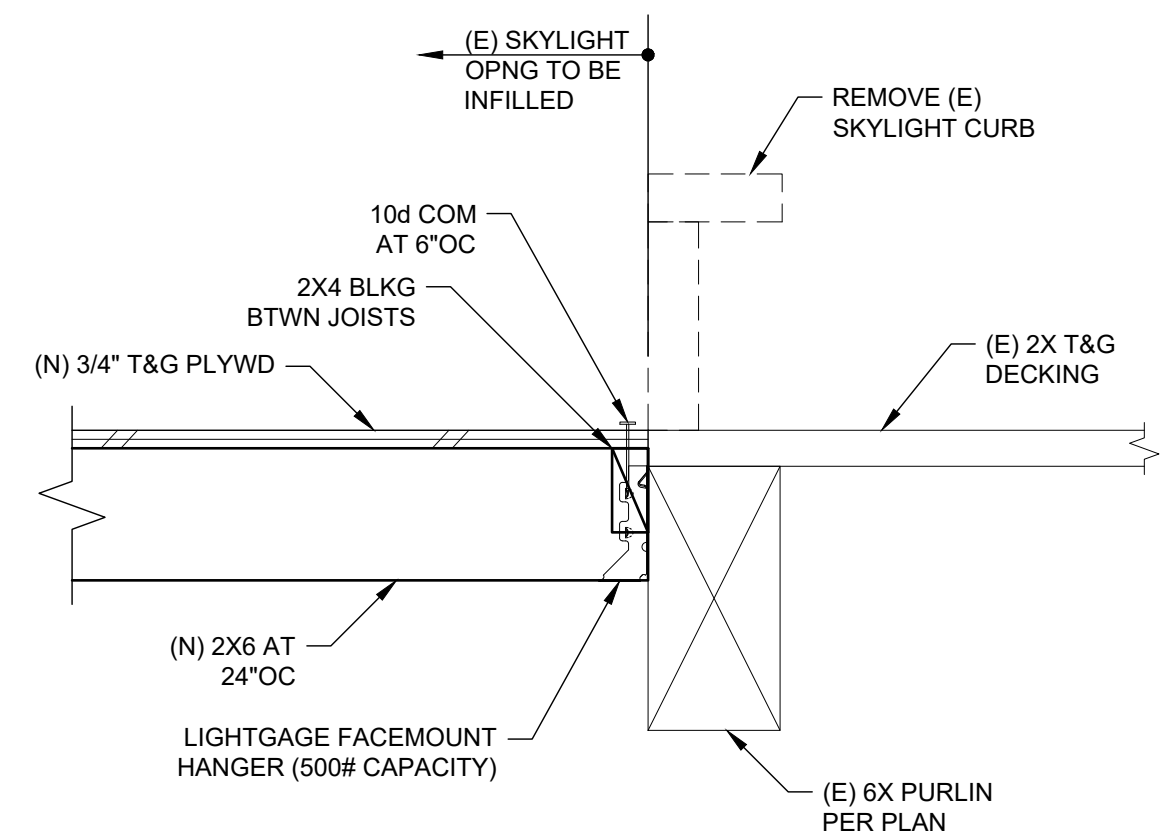
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RECORD DRAWING

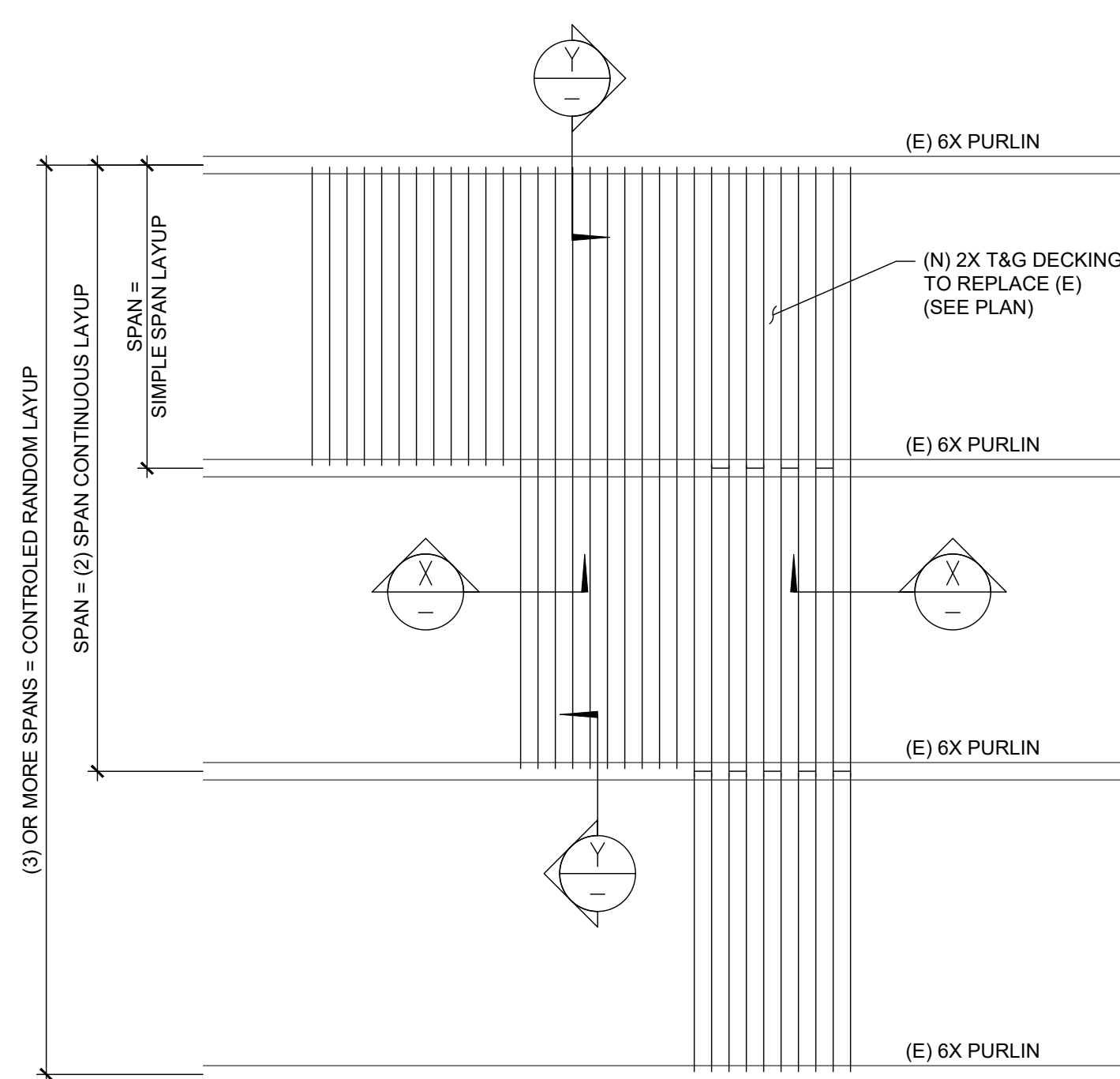
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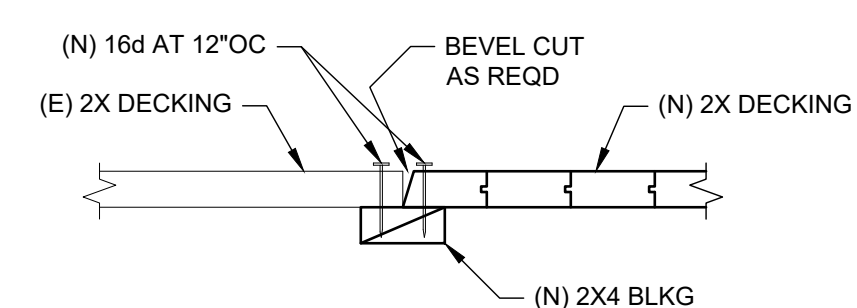
SECTION A
 SCALE: 3/8" = 1'-0"



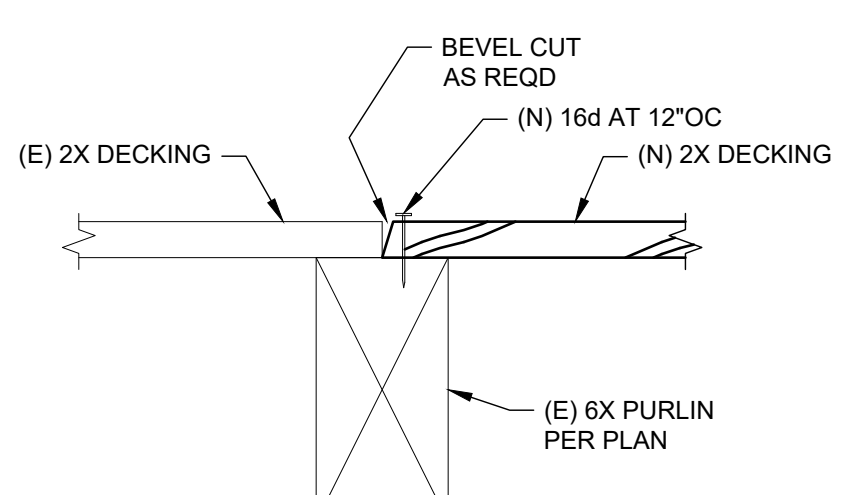
SECTION B
 SCALE: 1-1/2" = 1'-0"



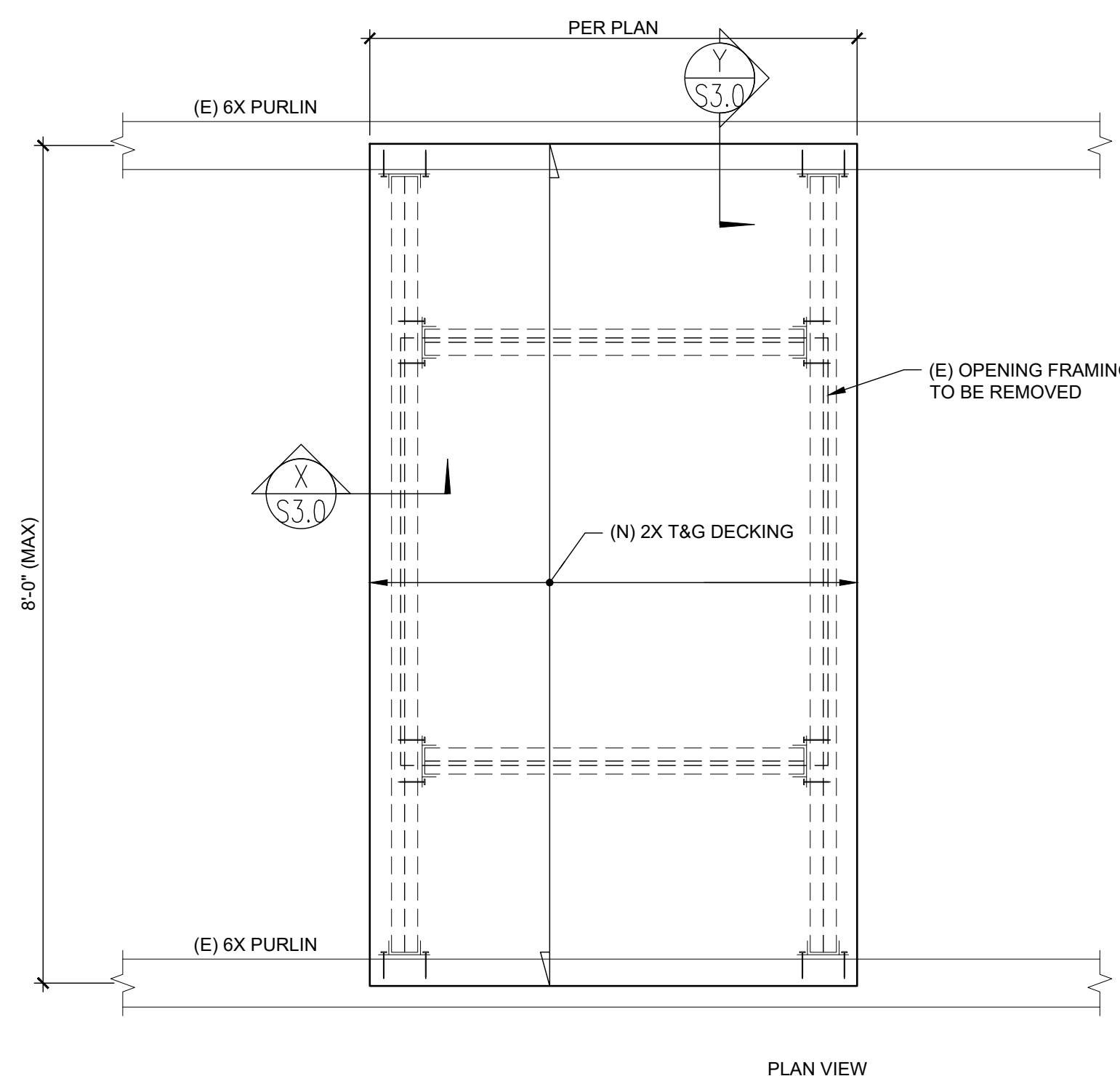
2X T&G DECKING REPLACEMENT
 NTS



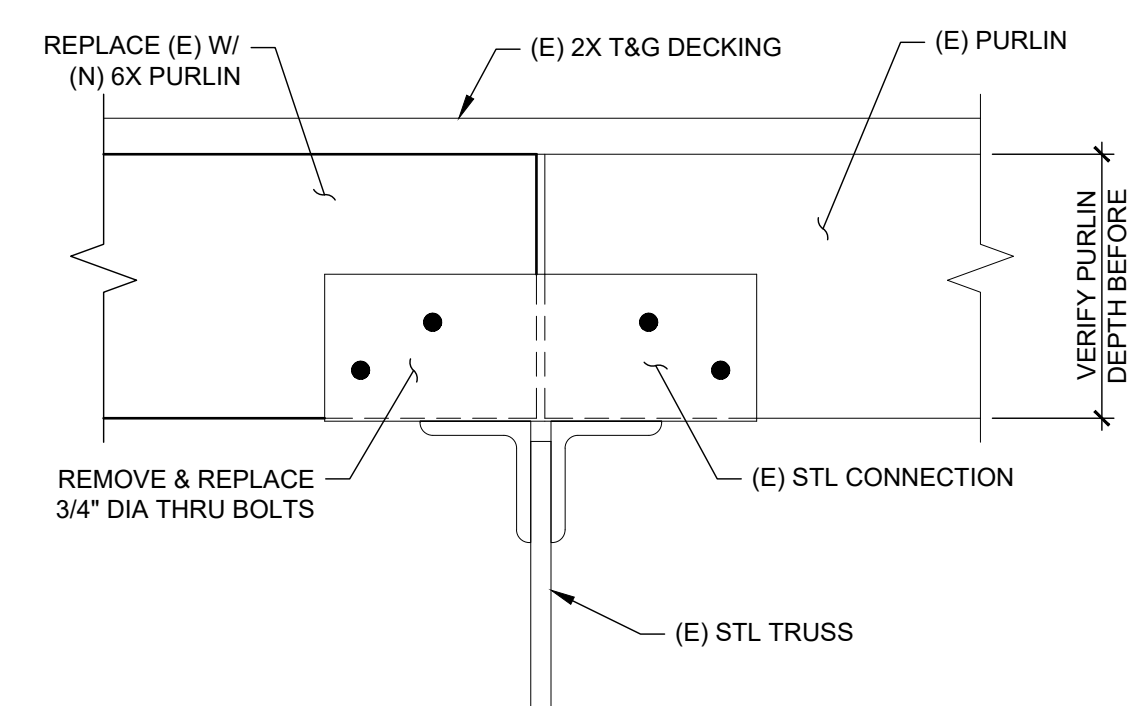
SECTION X



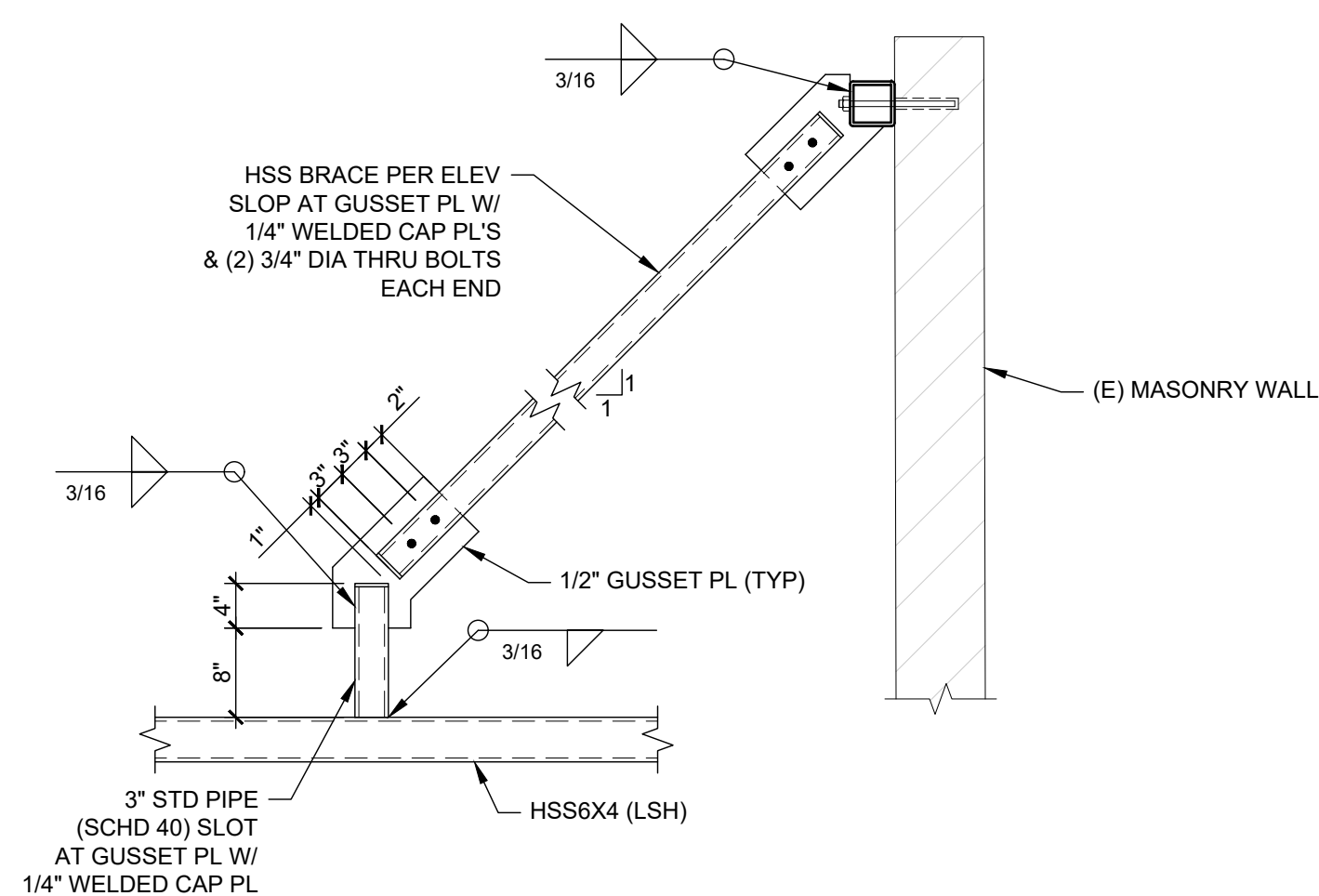
SECTION Y



ROOF INFILL DETAIL
 SCALE: 3/4" = 1'-0"



DETAIL
 SCALE: 1-1/2" = 1'-0"



DETAIL 4
 SCALE: 3/4" = 1'-0"

3		
2		
1		
NO.	REVISION - AS BUILT	DATE

REVIEWED: _____ DATE _____
 PARK ENGINEER

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ARCHITECT OF RECORD
OAI PS OAI PS, INC.
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 SEATTLE, WA 98134
 (206) 631-8442

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PSM PSM CONSULTING ENGINEERS
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Seattle Parks & Recreation

WARREN G. MAGNUSON PARK
 7400 SAND POINT WAY NE

BUILDING #2 & #138
ROOF REPLACEMENTS

SECTIONS & DETAILS

DESIGNED	Author	DATE	03/25/21
DRAWN	Designer		
CHECKED	Checker	SHEET	OF

ORDINANCE NO. _____

CONTRACT NO. _____

SCALE (U.N.O.) _____

S3.0

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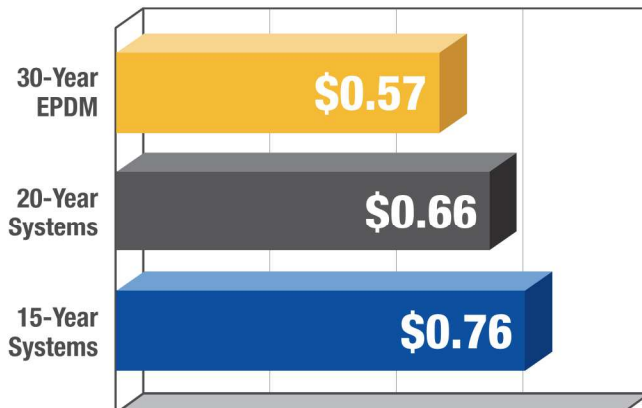


SAVINGS FOR TOMORROW

Long-term analysis has shown that a quality designed roof system can cut the life-cycle costs of your roof by up to 25%. Plus, by reducing the number of times you replace your roof, you are taking an active role in decreasing the amount of waste that is transported to landfills. Carlisle's 30-year roof system – good for you...good for the environment.

Why install two, average roof systems in a 30-year period when you can install Carlisle's premium, 30-year 90-mil EPDM only once? By investing today, savings can be recognized well down the road.

Equivalent Uniform Annual Cost (\$/s.f. per year)



ATTENTION TO DETAIL

Carlisle protects the best roofing membrane by addressing every detail, including higher performing insulation, cover board, and metal edging. System components produced under strict quality control guidelines outperform traditional methods assembled by hand on the roof.

Factory-Applied 6" Tape

A seam applied in a controlled factory environment is a tremendous advantage that enhances workmanship. Six inch Factory-Applied Tape greatly exceeds the peel and shear strength of hand applied seams while delivering a permanent watertight bond.

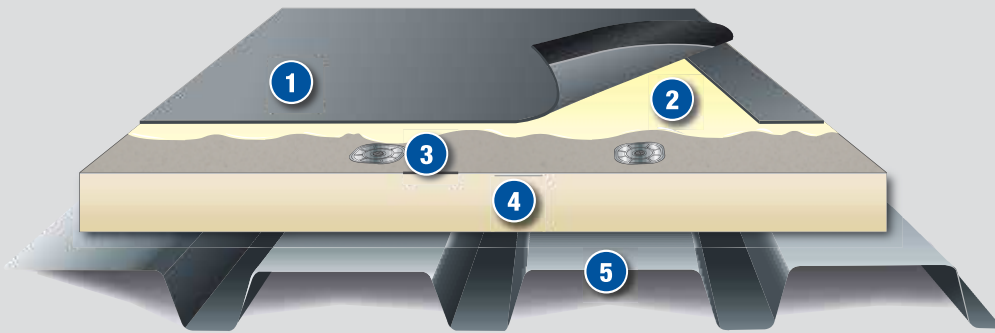
Rooftop Flashing Details Times Two

Critical flashing details are double wrapped for added security and resilient performance.



Sure-Seal® EPDM

Fully-Adhered Roofing Systems



- 1 Sure-Seal Membrane with Factory-Applied Tape (FAT™)
- 2 Carlisle Bonding Adhesive
- 3 Carlisle Fasteners and Plates
- 4 Acceptable Insulation
- 5 Approved Roof Deck

Sure-Seal EPDM Membranes for fully adhered roofing systems are available in the following:

Color	Black
Thicknesses (mils)	45, 60 and 90
Standard Widths	10' – 30'
Standard Lengths	50' – 100'

System Features & Benefits:

- » Over 50 years of proven performance
- » In colder climates, dark-colored EPDM reduces heating costs, which are generally 3–5 times greater than cooling costs
- » Industry leading UV resistance of 41,580 kJ/m²
- » Full thickness of weathering material, no internal scrim
- » 465% elongation results in superior hail damage resistance
- » Lowest global warming potential, acid rain and smog impact according to EPA's TRACI model

Existing or New Deck Type	New Construction						Re-roofing		
	Steel	Plywood or OSB	Lt. Wt. Concrete	Structural Concrete	Wood Planks	Gypsum & Fibrous Cement	Smooth Surface BUR	Gravel Surfaced BUR	Existing Single-Ply
Insulation Required	Yes	No	*Refer to Specs	No	Yes	Yes	No	Yes	Yes
Recommended Insulations	Carlisle Polyiso, OSB or SecurShield™ HD Cover Board over Polystyrene						← Refer to New Construction		
Insulation Attached By	FAST™ Adhesive (non-penetrating) or Carlisle Fasteners and Plates						← Refer to New Construction		
Membrane Attached By	Carlisle-Approved Bonding Adhesive						← Refer to New Construction		

FOR TEAR OFF OPTIONS REFER TO NEW CONSTRUCTION ABOVE.

For current code approvals, warranties and specifications and details, visit Carlisle's web site or contact Project Review.

* Refer to Carlisle's Adhered Design Criteria portion of the current specification for requirements.

Sure-Seal® EPDM

Fully-Adhered Roofing Systems

Installation

Carlisle's fully adhered roofing system utilizes 45-, 60- and 90-mil Sure-Seal non-reinforced or 45-, 60- and 75-mil Sure-Tough™ reinforced membranes.

Insulation is either mechanically fastened to the roof deck every two square feet, adhered with FAST Adhesive or other Carlisle approved insulation adhesive. Membrane is adhered to the insulation with Carlisle Approved Bonding Adhesive. Adjoining sheets of EPDM are spliced together a minimum of 3" using Carlisle's SecurTAPE™ or FAT™ seam technology.

The above information represents a typical Carlisle fully adhered roofing system. Refer to Carlisle's published specifications and details for more complete information.

Membrane and System Strengths

- » Carlisle manufactures all major components of the roof system
- » Dimensionally stable in both hot and cold climates
- » No slope restrictions
- » Lightweight assembly for a variety of decks
- » Reduces carbon footprint by lowering heating costs
- » Reduces safety hazard from snow and ice accumulation
- » Reduces hazardous rooftop conditions from frost, dew, or ice that are difficult to see on white membrane
- » Reduces potential condensation problems that can erode system performance
- » FAT Seam Technology and Pressure-Sensitive Flashing accessories enhance workmanship quality
- » 45-mil, 60-mil and 90-mil Sure-Seal membranes available for 15-, 25- and 30-year system warranties
- » Available in 10', 16½', 20', 25' and 30' widths. These widths of non-reinforced Sure-Seal membrane reduce splices between sheets
- » Using Sure-Tough reinforced membrane increases puncture resistance and tolerates heavy foot traffic
- » Carlisle's Fully Adhered Roof System offers design flexibility, addresses unconventional building configurations, and conforms to steeply sloped roof designs
- » Zero (no growth) rating for fungal growth

System Codes

- » UL Class A and B ratings are available over most deck types
- » FM uplift ratings up to 1-120 are available

For code specifics, refer to Carlisle's Code Approval Guide.

Quality Assurance

Carlisle Authorized Applicators have been trained to install fully adhered roofing systems.

Inspection

Upon installation completion, and prior to the issuance of a membrane system warranty, an inspection will be conducted by a Carlisle Technical Representative.

Warranty

Consult your Authorized Applicator or Carlisle Manufacturer's Representative/Distributor for associated warranty charges.

This system properly installed and inspected on a commercial project may receive:

- » A 10-, 15-, 20-, 25- or 30-year (75-mil or 90-mil required) Golden Seal™ Total System Warranty may be requested when all materials used for the roofing installation are manufactured or marketed by Carlisle. A maximum peak gust wind speed coverage of 55 miles per hour is standard. Additional coverage up to 30 years and 120 mph is available.
- » A 1" hail warranty is available with 60-mil EPDM and a 2" hail warranty is available with 75-mil or 90-mil EPDM
- » A 40-year non-prorated ELITE membrane material warranty is available with 90-mil black EPDM
- » Warranty for systems incorporating Carlisle's Sure-Tough membrane include coverage for damage caused by accidental punctures

For more specifics or for international warranty programs, contact Carlisle.



Architectural Metal Roofing and Siding

COLOR CHART

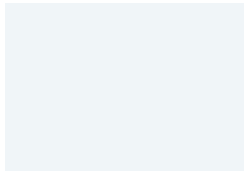


STANDARD COLORS

DURA TECH™ 5000 - Premium 70% Fluoropolymer (PVDF) Coating



ZINCALUME® Plus*
SRI: 64 • LRV: 67



Cool REGAL WHITE
SRI: 88 • LRV: 75



Cool PARCHMENT
SRI: 58 • LRV: 40



Cool SIERRA TAN
SRI: 55 • LRV: 34



Cool PEBBLE
SRI: 48 • LRV: 27



Cool WALNUT
SRI: 38 • LRV: 18



Cool WEATHERED COPPER
SRI: 34 • LRV: 11



Cool DARK BRONZE
SRI: 32 • LRV: 8



Cool TERRA-COTTA
SRI: 41 • LRV: 15



Cool COLONIAL RED
SRI: 35 • LRV: 9



Cool OLD TOWN GRAY
SRI: 43 • LRV: 27



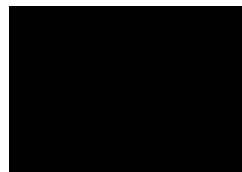
Cool ZINC GRAY
SRI: 39 • LRV: 20



Cool SLATE GRAY
SRI: 33 • LRV: 12



Cool MIDNIGHT BRONZE
SRI: 27 • LRV: 7



Cool MATTE BLACK
SRI: 29 • LRV: 5



Cool TAHOE BLUE
SRI: 33 • LRV: 14



Cool REGAL BLUE
SRI: 29 • LRV: 10



Cool SAGE GREEN
SRI: 41 • LRV: 21



Cool LEAF GREEN
SRI: 30 • LRV: 11



Cool FOREST GREEN
SRI: 29 • LRV: 9

METALLIC COLORS¹

DURA TECH™ mx - Premium Fluoropolymer (PVDF) Pearlescent Coating (Subject to upcharge)

PREMIUM COLORS¹

(Subject to upcharge)



VINTAGE®¹
SRI: 22 • LRV: 20



NATURAL RUST¹
SRI: 32 • LRV: 10



Cool METALLIC SILVER¹
SRI: 65 • LRV: 50



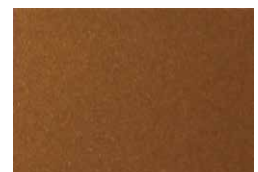
Cool SILVERSMITH¹
SRI: 58 • LRV: 54



Cool ZACTique® II¹
SRI: 39 • LRV: 22



Cool METALLIC CHAMPAGNE¹
SRI: 54 • LRV: 33



Cool METALLIC COPPER¹
SRI: 53 • LRV: 29

REPRESENTATION OF COLORS MAY VARY DUE TO PRINTING LIMITATIONS.

Sample color chips are available upon request. Consult your AEP Span representative for more information.