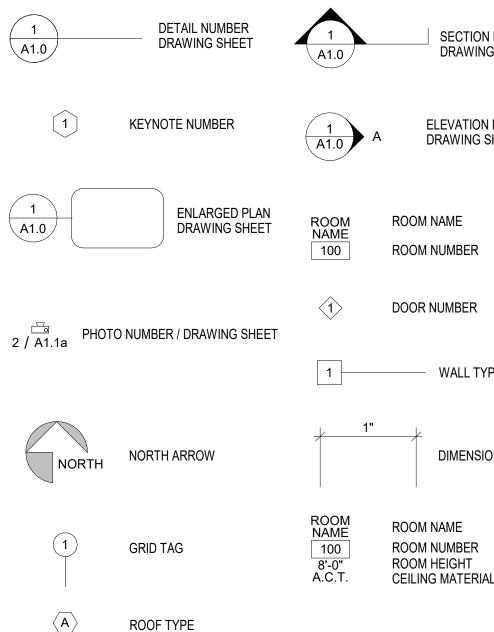


Magnuson Building #2 & #138 **Partial Roof & Structural Repairs**

GENERAL NOTES

- ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES, LAWS AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK.
- 2. CONTRACTOR TO VERIFY ALL DIMENSIONS, PROPERTY LINES MEASUREMENTS AND CONDITIONS IN THE FIELD BEFORE BEGINNING WORK. ANY DISCREPANCIES, ERRORS OR OMISSIONS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- 3. THE ARCHITECT WILL HAVE A REPRESENTATIVE ON SITE, PART-TIME TO OBSERVE THE CONSTRUCTION FOR COMPLIANCE WITH THE DESIGN INTENT AND TO ASSIST THE CONTRACTOR IN RESOLVING VARIATIONS IN THE EXISTING CONSTRUCTION. THESE DOCUMENTS ADDRESS ALL KNOWN CONDITIONS, BUT IT IS ANTICIPATED THAT HIDDEN CONDITIONS WILL BE ENCOUNTERED DURING CONSTRUCTION. THE ARCHITECT WILL OBSERVE ALL SUCH HIDDEN CONDITIONS AND ISSUE CLARIFICATIONS OR MODIFICATIONS OF THE DESIGN TO ADDRESS SUCH CONDITIONS AND WILL DOCUMENT ALL
- 4. UNLESS OTHERWISE NOTED, ALL ANGLES TO BE RIGHT ANGLES, ALL LINES WHICH APPEAR PARALLEL ARE TO BE PARALLEL, AND ALL ITEMS WHICH APPEAR CENTERED ARE TO BE CENTERED CONTRACTOR TO BE RESPONSIBLE FOR MAINTAINING ALL LINES TRUE, LEVEL, PLUMB AND SQUARE
- 5. DETAILED AND/OR LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER GENERAL AND SMALLER SCALE DRAWINGS. POSTED DIMENSIONS WILL TAKE PRECEDENCE OVER SCALED DIMENSIONS CONTRACTOR TO VERIFY SCALED DIMENSIONS WITH ARCHITECT BEFORE PROCEEDING WITH WORK.
- 6. ALL ATTACHMENTS, CONNECTIONS AND FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH THE BEST PRACTICES OF THE BUILDING INDUSTRY. DRAWINGS SHOW ONLY SPECIAL REQUIREMENTS TO ASSIST THE CONTRACTOR AND DO NOT SHOW EVERY DETAIL.
- 7. DETAILS SHOWN IN THESE DRAWINGS ARE TYPICAL AND WILL APPLY UNLESS OTHERWISE NOTED OR SHOWN. DETAILS OF CONSTRUCTION NOT FULLY SHOWN ARE TO BE OF THE SAME NATURE AS THOSE DRAWN FOR SIMILAR CONDITIONS.
- 8. CONTRACTOR TO COORDINATE ALL OPERATIONS WITH OWNER, INCLUDING: SITE ACCESS. MATERIALS STORAGE AND STAGING. INTERRUPTION OF ELECTRICAL, MECHANICAL, FIRE-ALARM, LOW-VOLTAGE SERVICES AND TIMING OF NOISY OR DISRUPTIVE OPERATIONS. CONTRACTOR TO VERIFY SEQUENCE OF WORK WITH
- 9. ALL LUMBER OR PLYWOOD IN CONTACT WITH CONCRETE OR LUMBER INSTALLED AS NAILERS (EXCEPT PLYWOOD DECK OR CRICKETS) SHALL BE PRESSURE-TREATED WITH WATER-BORNE
- 10. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING DUST BARRIERS AT ALL WORK LOCATIONS AND DURING ALL PHASES OF THE WORK.

DRAWING SYMBOLS



Project # PRK730300-142, PRK730300-166 PR # 2020-033

City of Seattle Department of Finance & Administrative Services,

City of Seattle Department of Parks and Recreation, Planning & Development Division

Structural Engineer: PSM Engineering 2200 6th Avenue, Suite #601 **Seattle, WA 98121**

> **Ron Martinson**, **P.E.** TEL: (206) 622-4580

DRAWING INDEX

DRAWING SHEETGENERAL PROJECT SHEETSA0.1COVER SHEETA0.2OVERALL SITE PLANA0.3aBUILDING #2 - SCOPE OF WORK SUMMARY AND CODE ANALYSISELEVATION NUMBER DRAWING SHEETG0.1STANDARD TREE PROTECTION, STORMWATER CONTROL DETAILSG0.2STANDARD STORMWATER CONTROL DETAILS	
A0.2 OVERALL SITE PLAN A0.3a BUILDING #2 - SCOPE OF WORK SUMMARY AND CODE ANALYSIS ELEVATION NUMBER DRAWING SUFET BRAWING SUFET	
A0.3a BUILDING #2 - SCOPE OF WORK SUMMARY AND CODE ANALYSIS ELEVATION NUMBER G0.1 STANDARD TREE PROTECTION, STORMWATER CONTROL DETAILS	
ELEVATION NUMBER G0.1 STANDARD TREE PROTECTION, STORMWATER CONTROL DETAILS	
DRAWING QUEET	
G0.2 STANDARD STORMWATER CONTROL DETAILS	
D1.0a BUILDING #2 - ROOF DEMOLITION PLAN	
D2.0a BUILDING #2 - DEMOLITION ELEVATIONS	
D5.0a BUILDING #2 - ROOF PHOTOS	
OM NUMBER D5.1a BUILDING #2 - ROOF PHOTOS	
D5.2a BUILDING #2 - ROOF PHOTOS	
A1.0a BUILDING #2 - ROOF REPLACEMENT PLAN	
OR NUMBER A1.1a BUILDING #2 - ROOF DECK REPLACEMENT PLAN	
A1.2a BUILDING #2 - ROOF REPAIR PLAN - NORTH	
— WALL TYPE A1.3a BUILDING #2 - ROOF REPAIR PLAN - SOUTH	
A2.0a BUILDING #2 - EXTERIOR ELEVATIONS	
A2.1a BUILDING #2 - EXTERIOR ELEVATIONS	
A3.0a BUILDING #2 - BUILDING SECTIONS	
DIMENSION A5.0a BUILDING #2 - ROOF DETAILS	
A5.1a BUILDING #2 - ROOF DETAILS	
S1.0a BUILDING #2 - STRUCTURAL NOTES & SPECIAL INSPECTIONS	
S2.0a BUILDING #2 - STRUCTURAL ROOF FRAMING PLAN	
OM NAME S3.0a BUILDING #2 - STRUCTURAL SECTIONS AND DETAILS	
OM NUMBER	

LANDMARKS RESUBMITTAL R2 - LPB 192/22



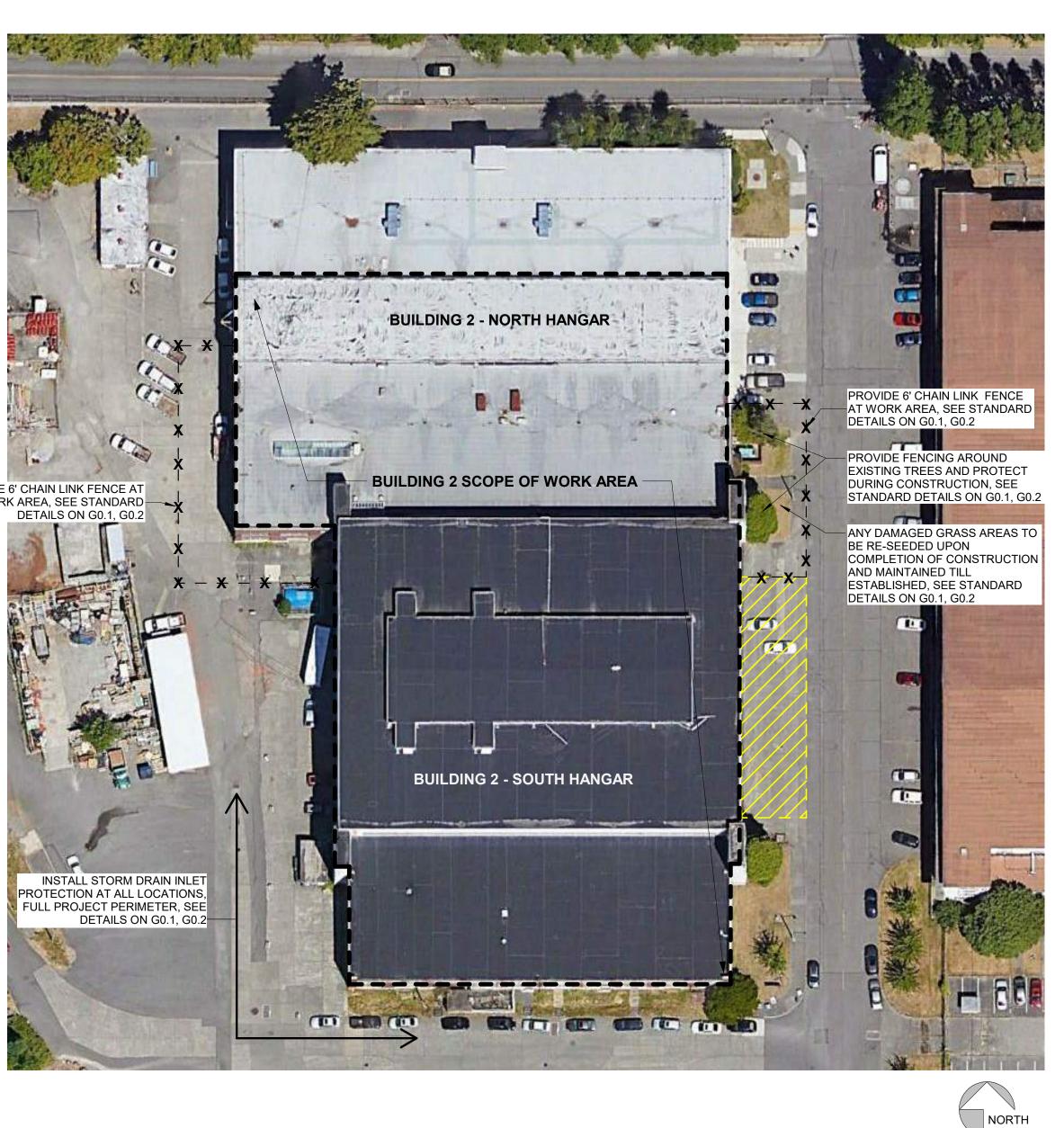








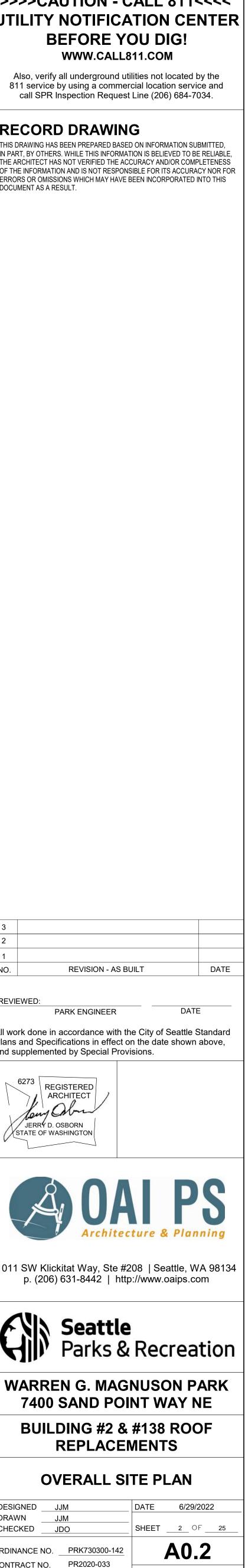


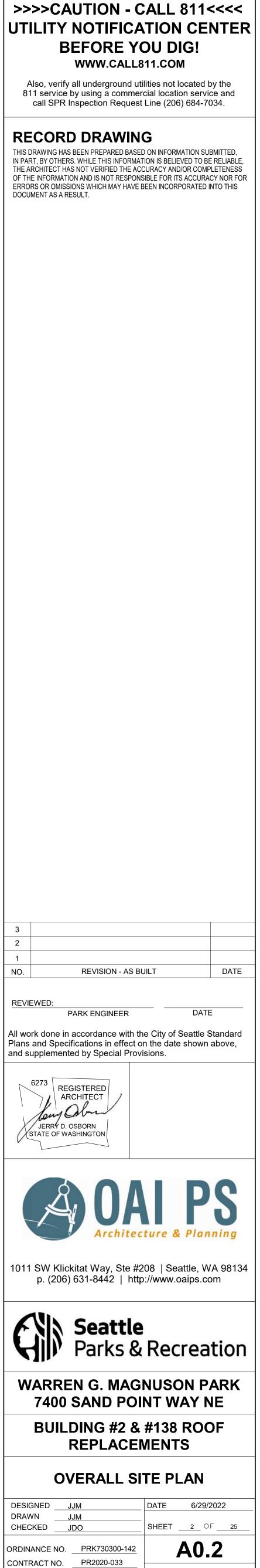


BUILDING 2 - AERIAL SITE PLAN (NTS)

100.0

3 2 NO.





CODE SUMMA	NRY:
PROJECT NAME:	BUILDING 2 - PARTIAL ROOF AND STRUCTURAL REPAIRS
PROJECT ADDRESS:	7727 63RD AVE NE SEATTLE, WA 98115
KING COUNTY PARCEL #:	022504-9062
SDCI PARCEL #:	DV0065879
LEGAL DESCRIPTION:	PORTION STR 02-25-04 DESCRIBED AS FOLLOWS: COMMENCING AT QTR CORNER COMMON TO TH N15-58-06 W 2978.33 FT TO CONCRETE MONUMENT STAMPED 10 AS SET BY NOAA TH N 89-4 CONCRETE MONUMENT STAMPED 9 TH S 00-01-58 E 546.89 FT TO TPOB TH CONTG S 00-01-58 E MONUMENT STAMPED 10-6 TH N 89-57-50 E 447.35 FT TO CONCRETE MONUMENT STAMPED 10- FT TH S 89-38-18 W 550.63 FT TO TPOB TGW PORTIONS STR 02-25-04 AS DESCRIBED IN DEED T UNDER REC NO 9905041194 AS PARCEL 1-LOT A, PARCEL 1-LOT B PARCEL 1-LOT C, PARCEL 1- PARCEL 3-LOT E, PARCEL 6-LOT A, PARCEL 6-LOT B, PARCEL 6-LOT C, PARCEL 6-LOT D, PARCE G, & PARCEL 6B WESTERN SEGMENT
PROJECT DESCRIPTION:	ALTERATION/REPAIR
SCOPE OF WORK:	PARTIAL ROOF AND STRUCTURAL REPAIRS TO A PORTION OF BUILDING #2.
JURISDICTION:	CITY OF SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS 700 5TH AVE, SUITE 2000 SEATTLE, WA 98104 P. (206) 684-8600
BUILDING CODE EDITION:	2018 SEATTLE BUILDING CODE (SBC)
	2018 SEATTLE ENERGY CODE - COMMERCIAL (SEC-C)
	2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
CONSTRUCTION TYPE:	ORIGINAL UNKNOWN, BUILT IN 1929 AND 1941.
DATES BUILT:	1929 - NORTH HANGAR 1941 - SOUTH HANGAR
OCCUPANCY:	ORIGINAL - AIRCRAFT STORAGE AND REPAIR CURRENT - UNOCCUPIED
SQUARE FEET:	105,500 SQFT - OVERALL BUILDING #2 FOOTPRINT 22,540 SQFT - PORTION OF WORK UNDER THIS PROJECT

CONTACT INFORMATION:

CITY OF SEATTLE DEPARTMENT OF PARKS AND RECREATION **OWNER:** PLANNING AND DEVELOPMENT DIVISION 100 DEXTER AVE N SEATTLE, WA 98109

P. (206) 684-4075 KELLY GOOLD, PROJECT MANAGER CONTACT: E. Kelly.Goold@seattle.gov

ARCHITECT: OAI, PS 1011 SW KLICKITAT WAY, SUITE 208 SEATTLE, WA 98134 KIRT A NEAL | AIA E. kneal@oaips.com P. (206) 721-0061

ENVELOPE SUMMARY:

EXEMPTION NOTE: WORK UNDER THIS PROJECT DOES NOT OCCUR AT OR ADJACENT TO CONDITIONED SPACE, AND IS NOT PART OF THE BUILDING THERMAL ENVELOPE AS DEFINED UNDER SECTION C202 OF THE SEATTLE ENERGY CODE.

Project Info	Project Title:	or Commercial Buildings including R2, R3, & R4 over 3 storie Building 2 - Partial Roof Repairs	DateO3/14/2021
Compliance forms	Applicant Information.	Provide contact information for individual who can out compliance form information provided.	For SDCI Use
do not require a password to use.	Company Name:	OAI, PS	1
Instructional and calculating cells are	Company Address:	1101 SW KLICKITAT WAY, SUITE 208	1
write-protected.	Applicant Name:	JOE MULLER	1
	Applicant Phone:	(206) 227-0314	1
	Applicant Email:	jmuller@oaips.com	2
Project Descrip	otion	New Building Addition	ation V No Envelope Scope
Envelope Proje	ect Scope	All Commercial Group R - Commercial Mixed	d Use - Commercial + Group R
Select all that apply.		Semi-heated Refrigerated Cooler Refrig	gerated Freezer 🔲 Equipment Buildin
Envelope Desc	ription	Scope of work for this project includes a partial roof re	eplacement related to structural
Provide brief descripti relevant supporting do	on of the project and	repairs occuring over an unconditioned portion of Bui roof assembly will replace roof insulation in kind. Wor Building Thermal Envelope as defined under the 2018	lding #2 at Magnuson Park. New k area does not occur within the
If project includes mul Allowance areas, and compliance as an Add Alteration + Existing, o Addition + Alteration provide a brief summa whole building compli	lition + Existing, or + Existing project, ary of the approach to		Seallie Lifeigy Gode G202.
Air Barrier Tes		Air barrier testing per Section C402.5.1.2 included in pr	roject scope
	Testing criteria is 0.25	Additional Efficiency Package Option - C406.11 Reduc	ed Air Infiltration
	.11, demonstrate that does not exceed 0.17	✓ Testing not required. Explanation:	conditioned portion of the building.
Compliance Do	ocumentation So	cope and Method	
Scope of This (Calculation	New Building Addition Altera	ation V No Envelope Scope
Target Insulati	on Allowance	O Fully Conditioned - Commercial, Group R, Mixed Use	
Sets the title and cald compliance forms. So to enable forms.		O Semi-heated O Refrigerated Cooler O If project includes more than one Target Insulation Allowa addition and alteration areas complying independently, for Rows 16-55 and either an ENV-PRESCRIPTIVE form, or	r each area complete an ENV-SUM forr
- 1		demonstrating compliance via component performance.	
Envelope Com Selection required to	 A second state of the second stat	O Prescriptive O Component Performance	
			0.107
		Change of Occupancy (C503.2) / Conditioning (C505)/	C407 - 10% higher UA allowed
Component Pe	rformance	Substantial Alteration (C503.8) - 15% higher than C4(

ADDITIVE 2: SOUTH HANGER

- TIGHT CONDITION
- REINFORCING OF ALL SEAMS AT ROOF MEMBRANE SURFACE AND TRANSITIONS
- REPAIR OF ALL PERIMETER TRANSITIONS AND FLASHING CONDITIONS •
- REPLACEMENT OF ALL EXISTING DRAINS AND RECONNECT TO EXISTING RAIN LEADERS
- REMOVAL, PATCHING AND RE-INSTALLATION OF FULLY ADHERED ROOF MEMBRANE •
- RE-INSTALLATION OF PERIMETER METAL FLASHINGS AND COPING TO ENCAPSULATE PARAPET • WALL CAPS AND BUILDING INFILTRATION POINTS

TO SECTIONS 2 & 11-25-04 9-57-50 E 690.52 FT TO B E 276.81 FT TO CONCRETE 10-5 TH N 20-12-50 E 298.36 D TO CITY OF SEATTLE 1-LOT D, PARCEL 1-LOT E, RCEL 6-LOT F, PARCEL 6-LOT





BUILDING 2: SCOPE OF WORK SUMMARY:

THE SCOPE OF WORK FOR BUILDING #2 GENERALLY INCLUDES, BUT IS NOT LIMITED TO:

PATCH AND REPAIR OF ALL ROOF AREAS; SECURE FLASHINGS AND SEAL FOR EXTENDED WATER-

BASE BID:

- NORTH HANGER, LOWER SOUTH ROOF DEMOLITION OF EXISTING BUILT-UP ROOFING, INCLUDING ABATEMENT OF ASBESTOS CONTAINING MATERIAL (ACM).
- INSTALLATION OF NEW EPDM MEMBRANE ROOF ASSEMBLY AND TAPERED DRAINAGE CRICKETS PER PLAN.
- SELECT REPLACEMENT OF DAMAGED T&G ROOF DECKING AND STRUCTURAL WOOD FRAMING • MEMBERS.
- INSTALLATION OF NEW STRUCTURAL BRACING AT EXISTING UN-REINFORCED MASONRY (URM) • PARAPETS.
- DEMOLITION OF EXISTING SKYLIGHTS AND INSTALLATION OF NEW INFILL COVER AND ٠ RELATED FRAMING.
- SELECT DEMOLITION OF ABANDONED VENTS, DUCTS, AND OTHER MISCELLANEOUS ROOF PENETRATIONS.
- SELECT DEMOLITION OF EXISTING MECHANICAL EQUIPMENT INCLUDING EXHAUST DUCTS, DAMPERS, AND ACCESSORIES.
- INFILL AND REPAIR OF EXISTING T&G DECKING AT ABANDONED ROOF PENETRATIONS.
- EXISTING ROOF DRAINS TO BE REPLACED AND RECONNECTED TO EXISTING RAINLEADERS.
- NEW METAL FLASHING INCLUDING PARAPET COPING, REGLETS, SPLASH PANS, AND CUSTOM FABRICATED SADDLE FLASHINGS.
- INSTALLATION OF NEW FALL PROTECTION ANCHORS AND HORIZONTAL LIFELINES.
- INSTALLATION OF NEW TREADED WALKWAY PAD ALONG ROOFTOP TRAFFIC AREAS.
- MODIFICATION OF EXISTING STAINLESS STEEL DOWNSPOUTS TO DRAIN TO ROOF.
- ABATEMENT AND REMOVAL OF EXISTING ASBESTOS CONTAINING MATERIAL SEALANT AND • MASTIC.

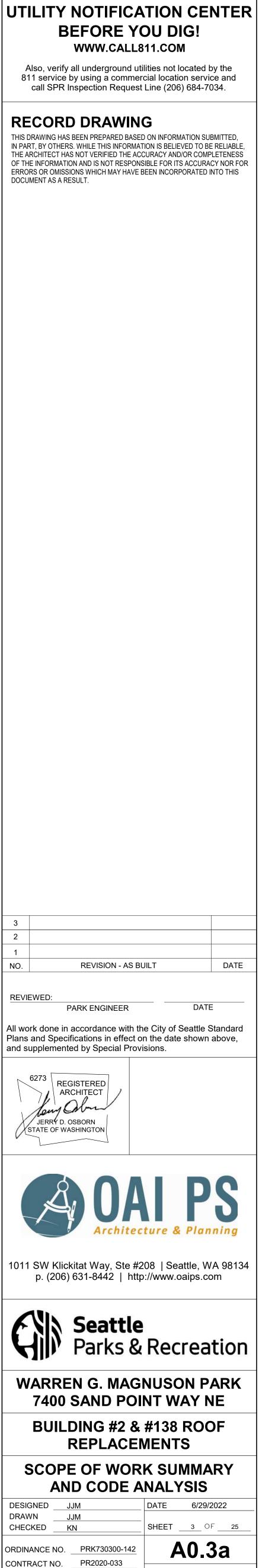
NORTH /

ADDITIVE 1:

•

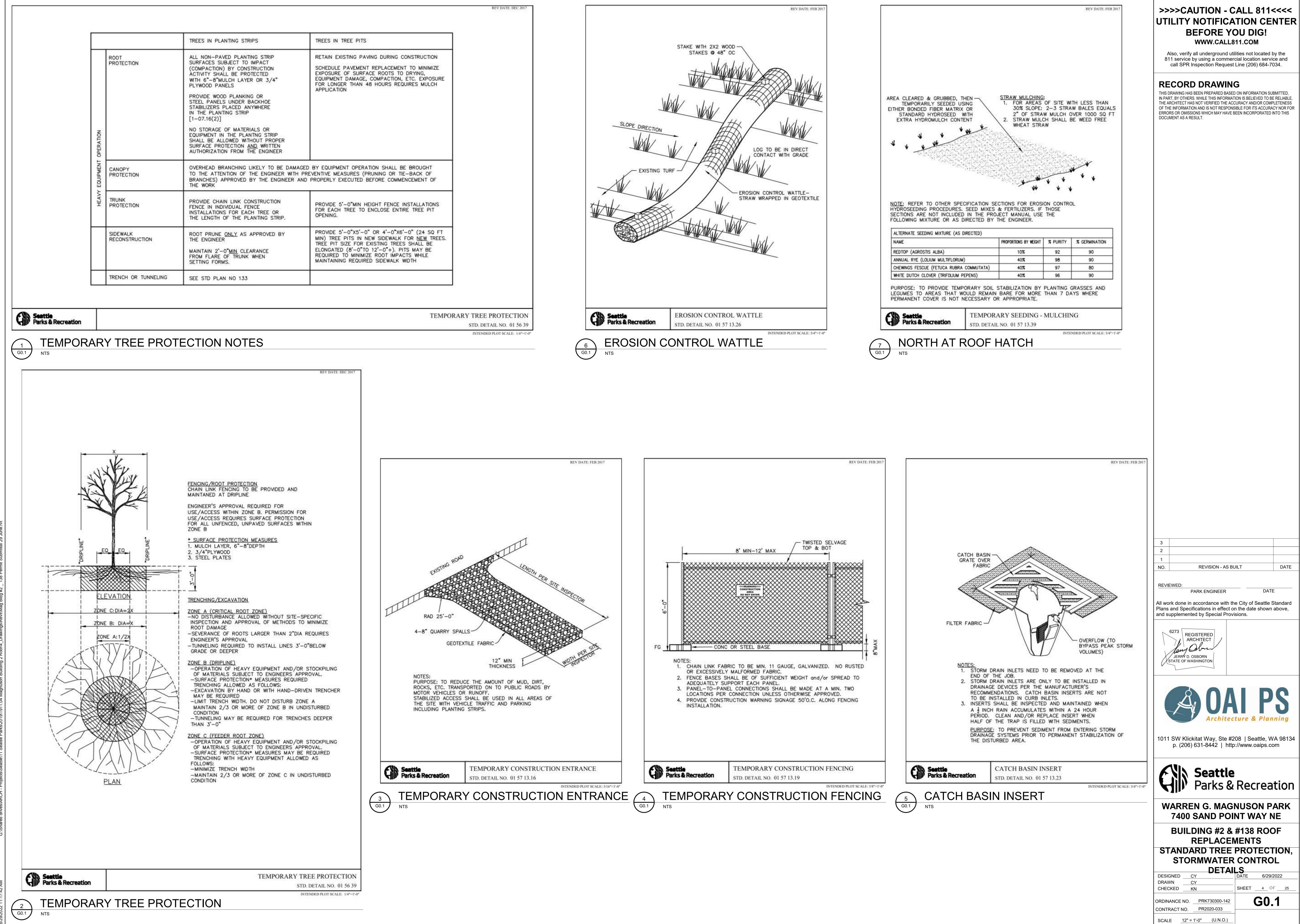
NORTH HANGER, ROOF ABOVE CLERESTORY

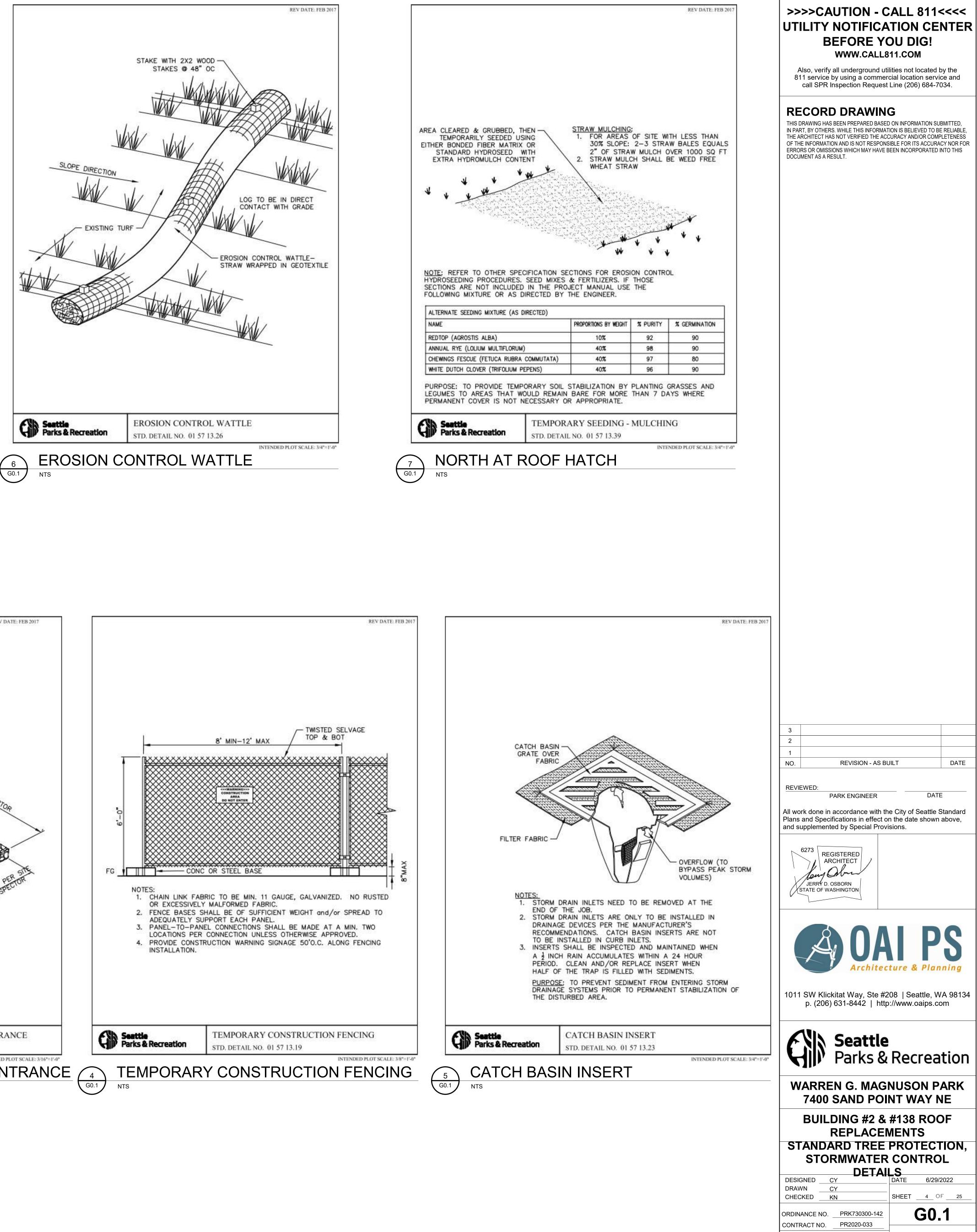
- REMOVAL OF ALL EXISTING BUILT UP ROOFING •
- INSTALLATION OF NEW EPDM ROOF MEMBRANE ASSEMBLY
- REPAIR OF PERIMETER FLASHING FOR INSTALLATION OF ROOF MEMBRANE



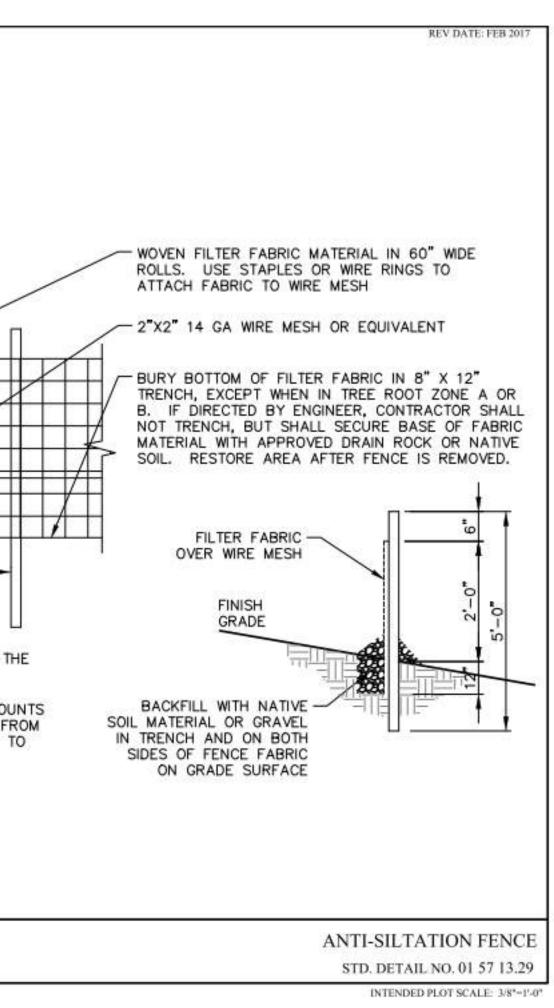
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>>>CAUTION - CALL 811<<<<

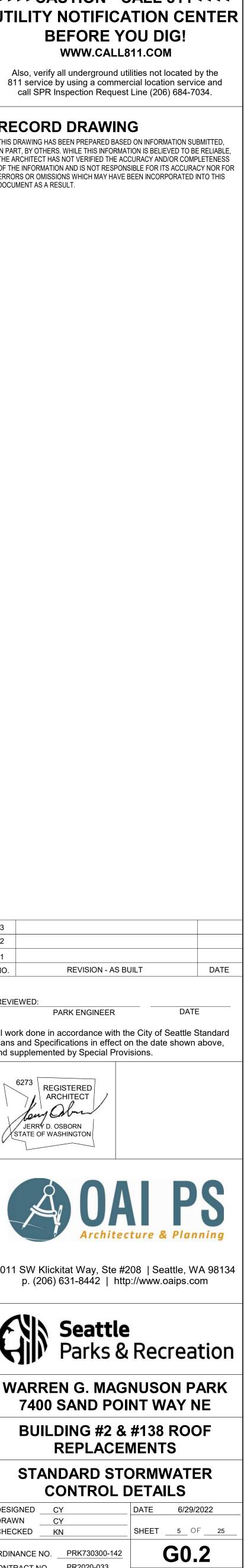


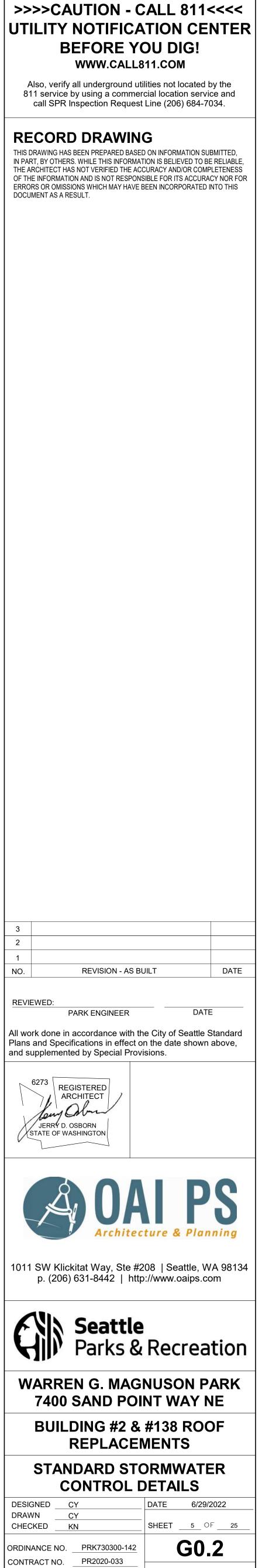


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			/	METAL FENCE POSTS
			5'-0"	
				6'-0"MIN
			NOTE: ANGLE SILT FENCE END OF THE RUN PURPOSE: TO INTERCEPT OF SEDIMENT UNDER SHE	& DETAIN SMALL AMO
			OF SEDIMENT UNDER SHE DISTURBED AREAS DURIN REDUCE THE VELOCITY O	G CONSTRUCTION AND F SHEET FLOWS.
	Seattle Parks & Recreation			
		ION FENCE		
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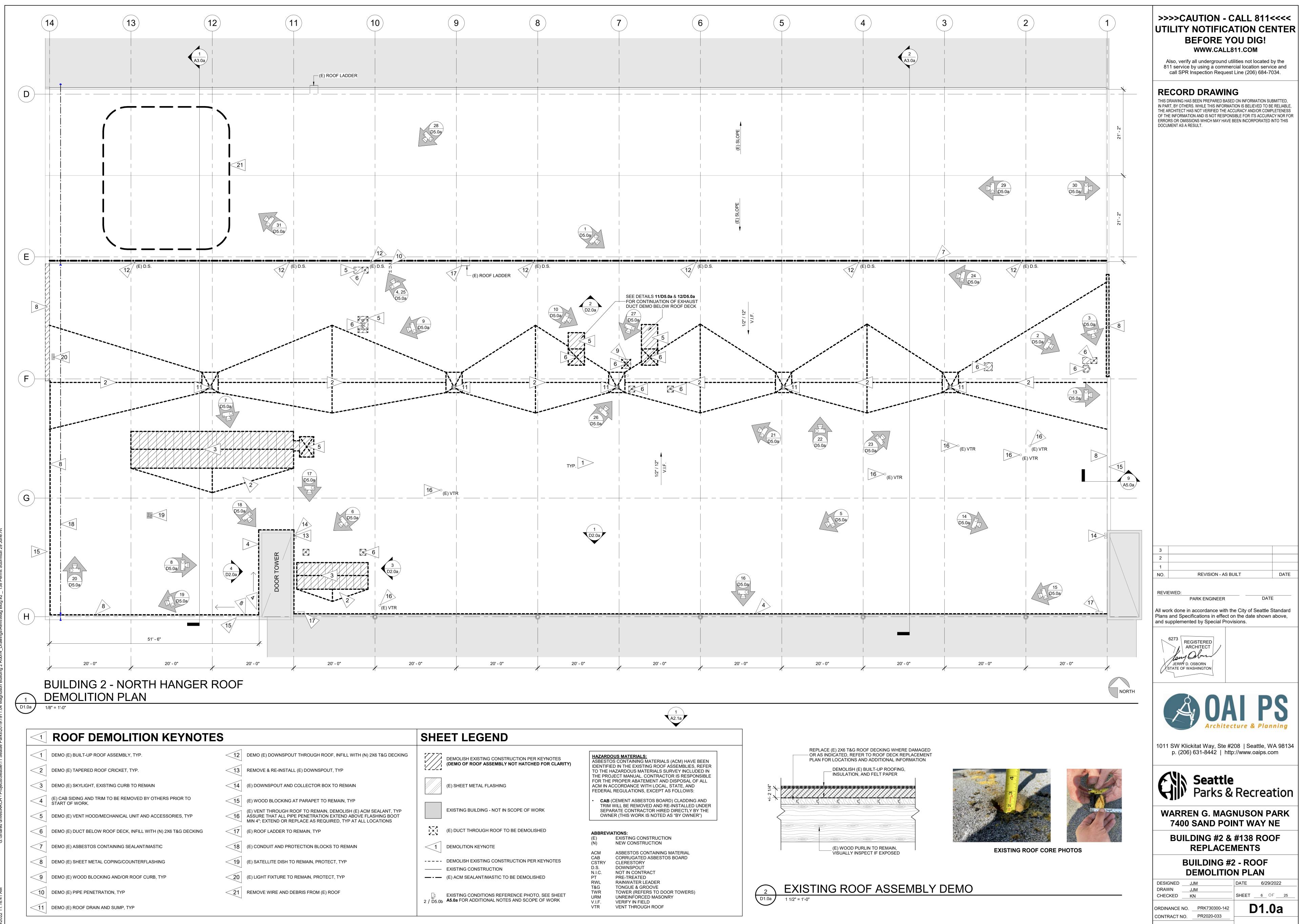


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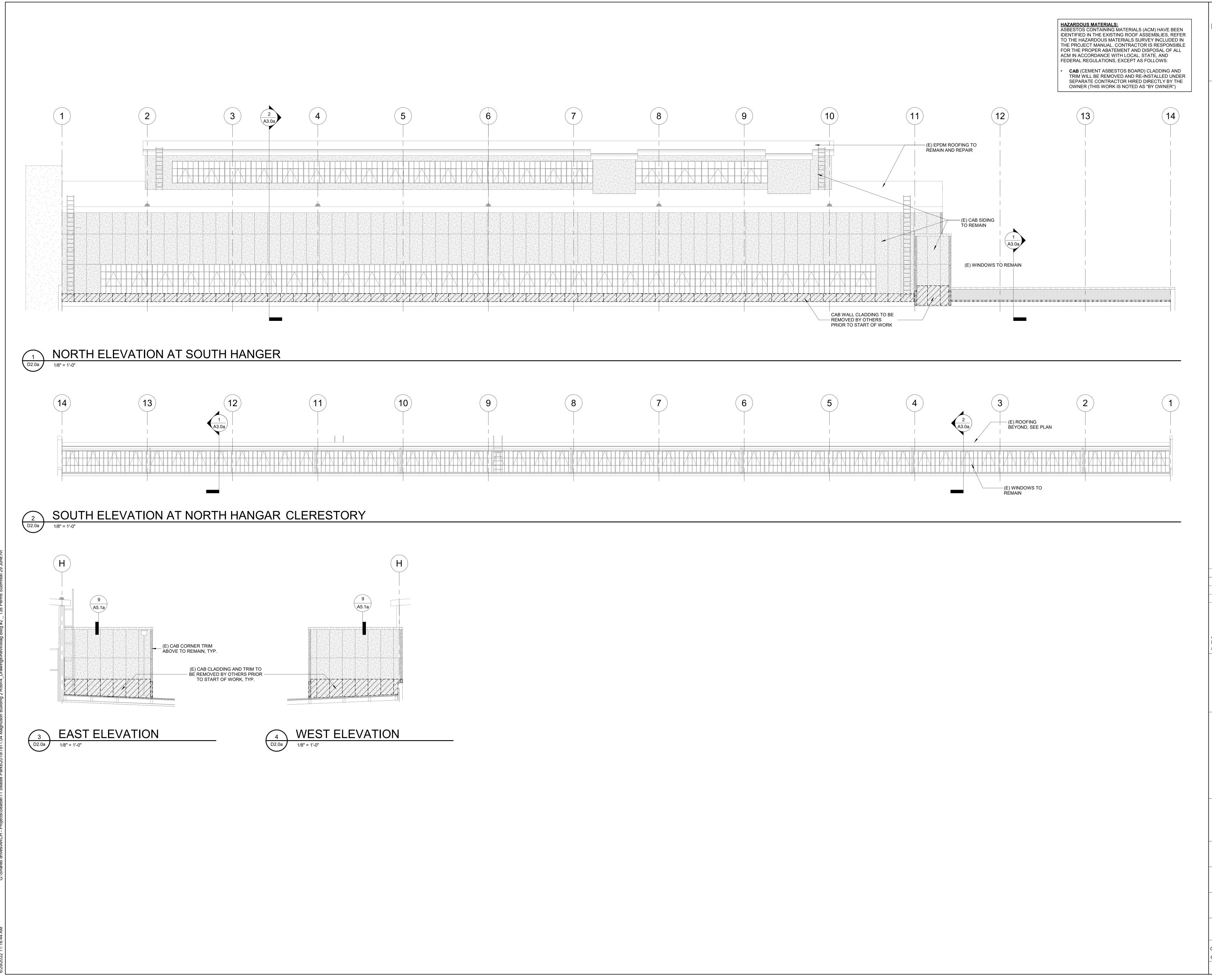


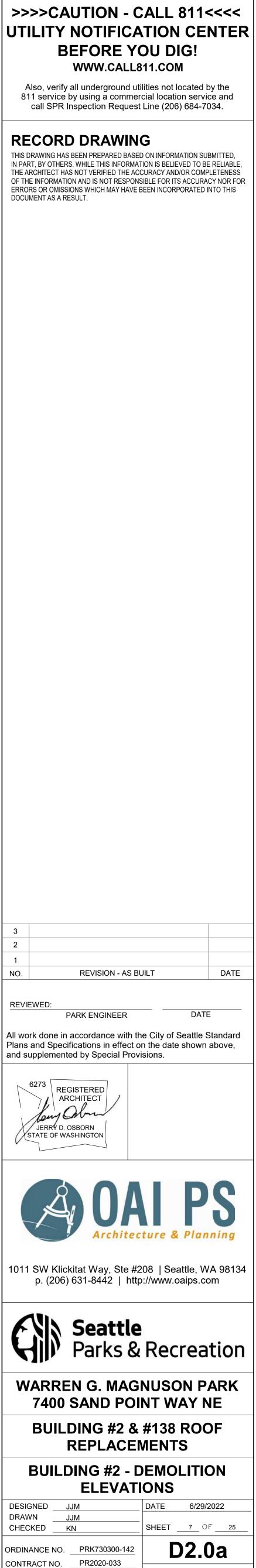


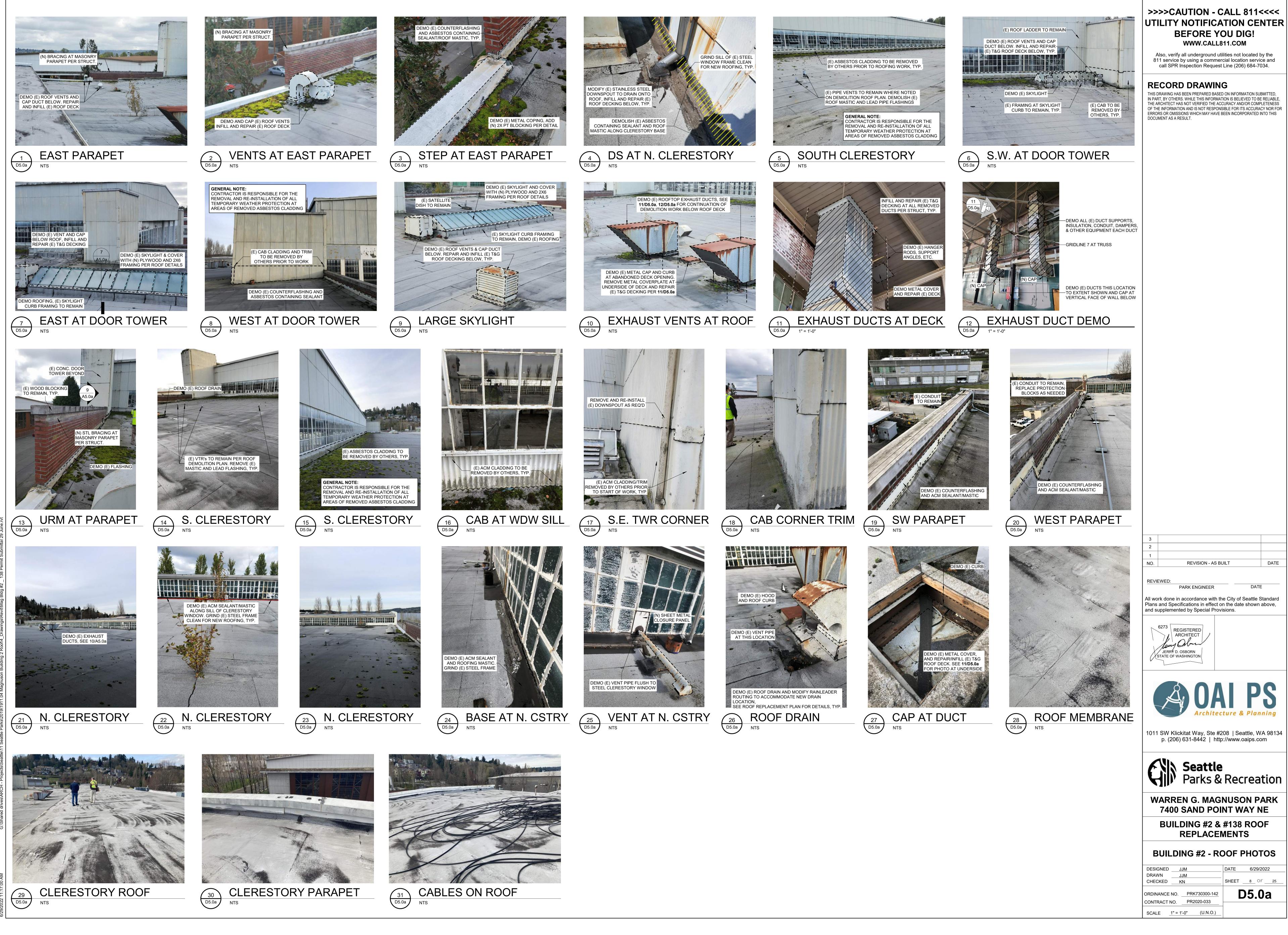
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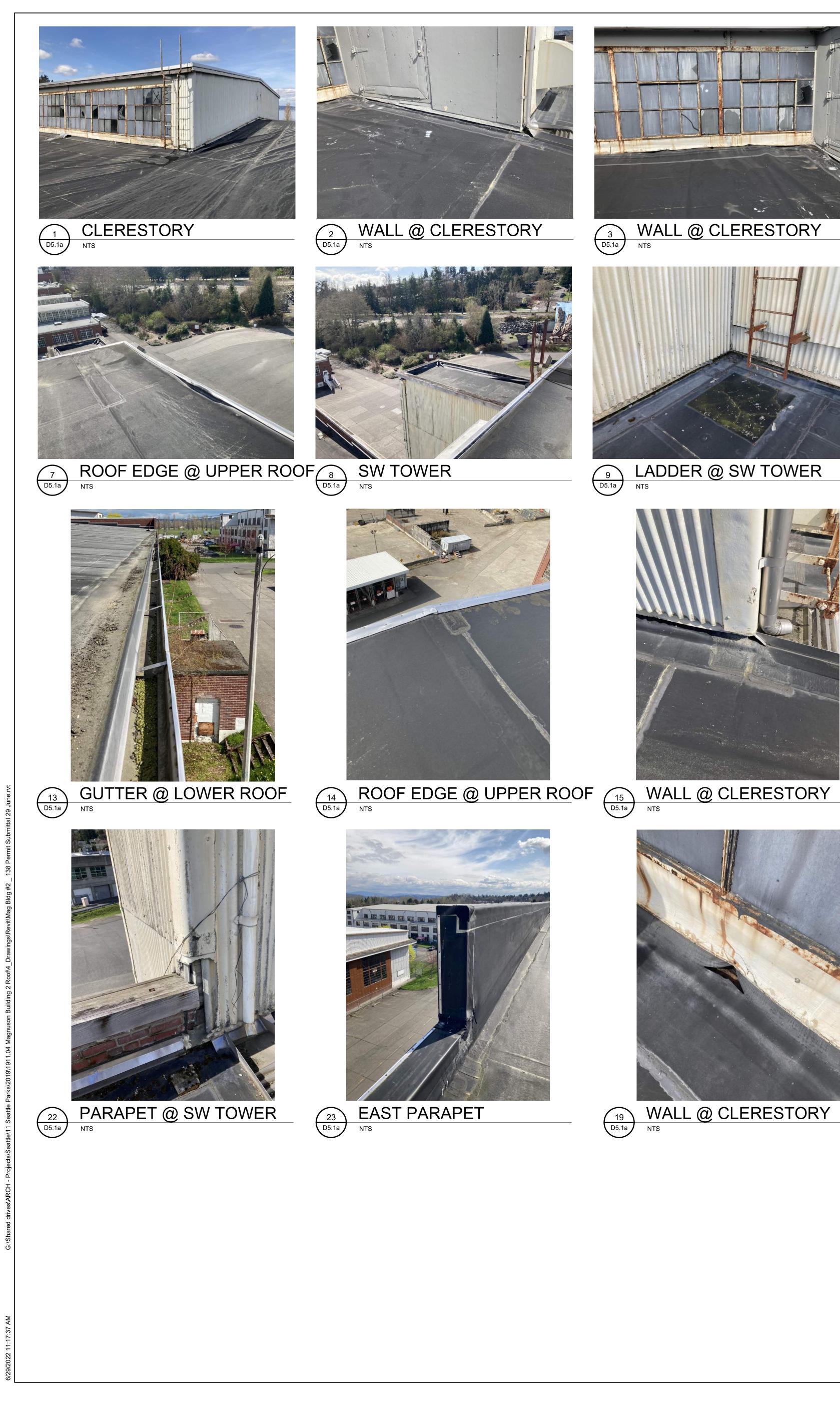


		1 A2.1a	
	SHEET LEGEND		
) 2X6 T&G DECKING	DEMOLISH EXISTING CONSTRUCTION PER KEYNOTES (DEMO OF ROOF ASSEMBLY NOT HATCHED FOR CLARITY)	HAZARDOUS MATERIALS: ASBESTOS CONTAINING MATERIALS (ACM) HAVE BEEN IDENTIFIED IN THE EXISTING ROOF ASSEMBLIES, REFER TO THE HAZARDOUS MATERIALS SURVEY INCLUDED IN	
	(E) SHEET METAL FLASHING	THE PROJECT MANUAL. CONTRACTOR IS RESPONSIBLE FOR THE PROPER ABATEMENT AND DISPOSAL OF ALL ACM IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS, EXCEPT AS FOLLOWS:	- 2 1/4"
M SEALANT, TYP LASHING BOOT LOCATIONS	EXISTING BUILDING - NOT IN SCOPE OF WORK	CAB (CEMENT ASBESTOS BOARD) CLADDING AND TRIM WILL BE REMOVED AND RE-INSTALLED UNDER SEPARATE CONTRACTOR HIRED DIRECTLY BY THE OWNER (THIS WORK IS NOTED AS "BY OWNER")	+
		ABBREVIATIONS: (E) EXISTING CONSTRUCTION	
		(N) NEW CONSTRUCTION	
	DEMOLISH EXISTING CONSTRUCTION PER KEYNOTES EXISTING CONSTRUCTION (E) ACM SEALANT/MASTIC TO BE DEMOLISHED	ACMASBESTOS CONTAINING MATERIALCABCORRUGATED ASBESTOS BOARDCSTRYCLERESTORYD.S.DOWNSPOUTN.I.C.NOT IN CONTRACTPTPRE-TREATEDRWLRAINWATER LEADER	
	EXISTING CONDITIONS REFERENCE PHOTO, SEE SHEET 2 / D5.0b A5.0a FOR ADDITIONAL NOTES AND SCOPE OF WORK	T>ONGUE & GROOVETWRTOWER (REFERS TO DOOR TOWERS)URMUNREINFORCED MASONRYV.I.F.VERIFY IN FIELDVTRVENT THROUGH ROOF	2 D1.0a

















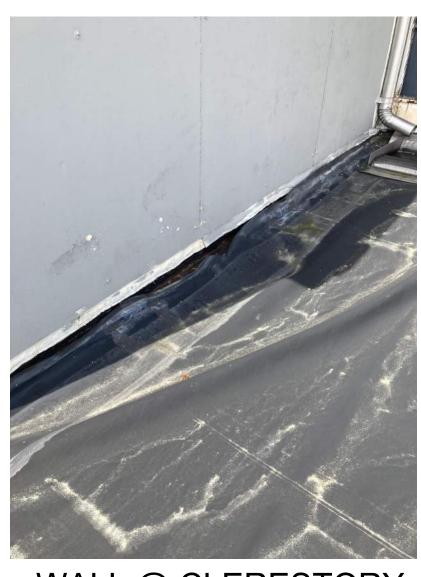


4 WALL @ CLERESTORY D5.1a NTS



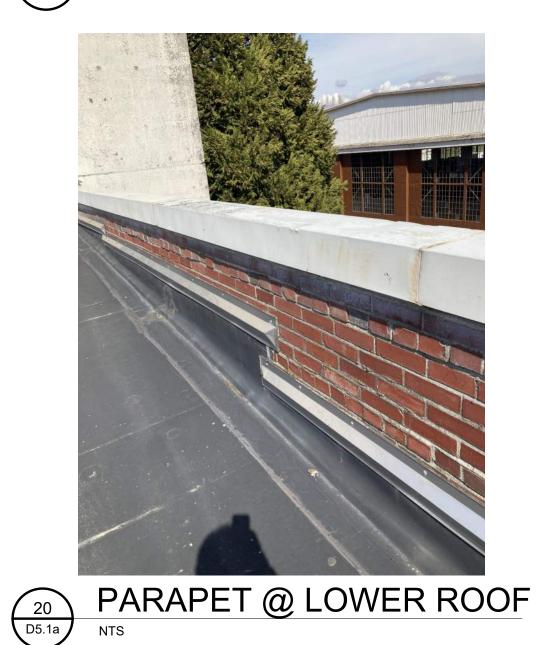


10 ROOF @ W PARAPET





16 WALL @ CLERESTORY D5.1a NTS











WALL @ LOWER ROOF





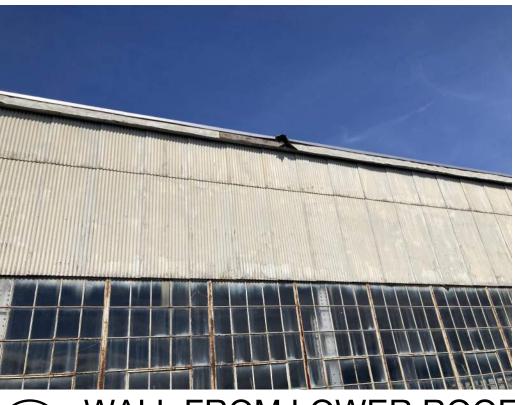
17 WALL @ CLERESTORY D5.1a NTS



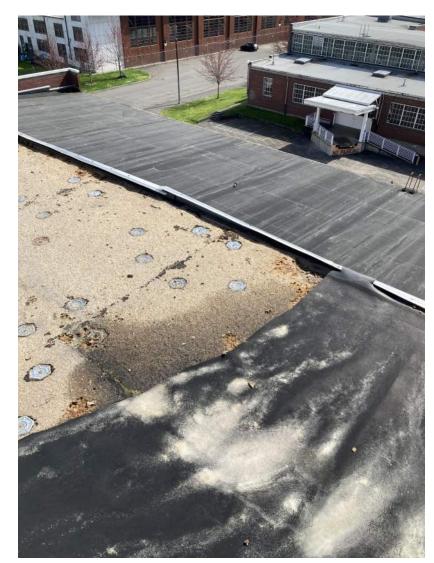






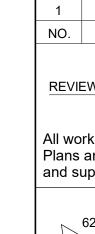


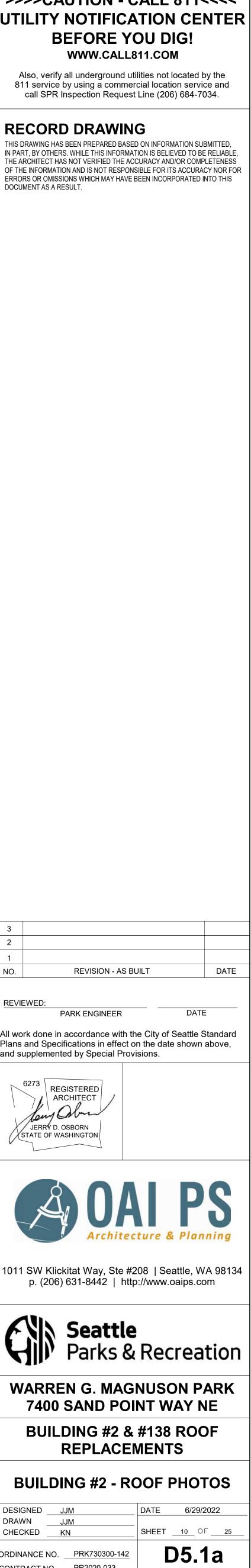
WALL FROM LOWER ROOF 12 D5.1a NTS

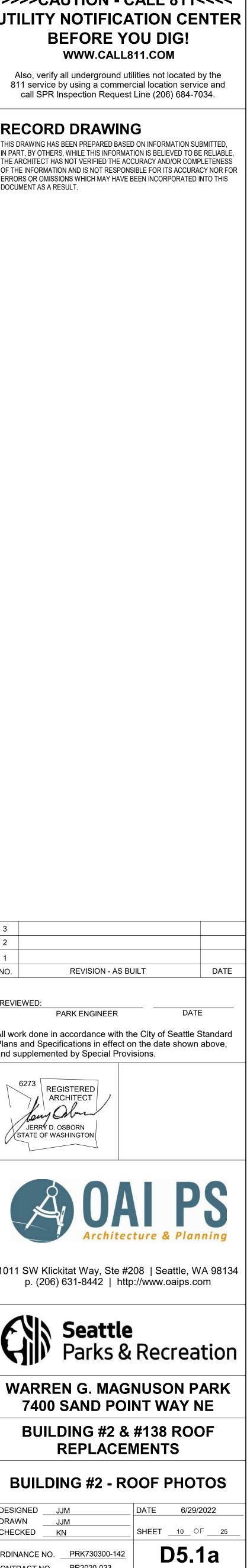


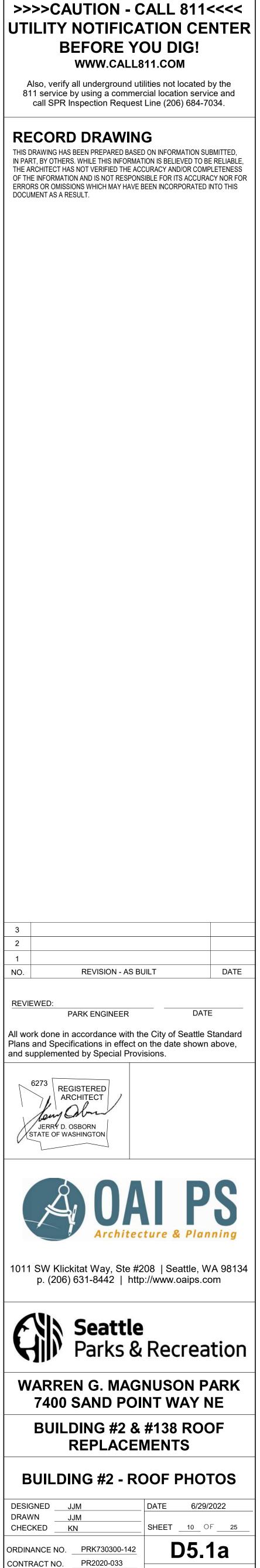


ROOF EDGE @ UPPER ROOF



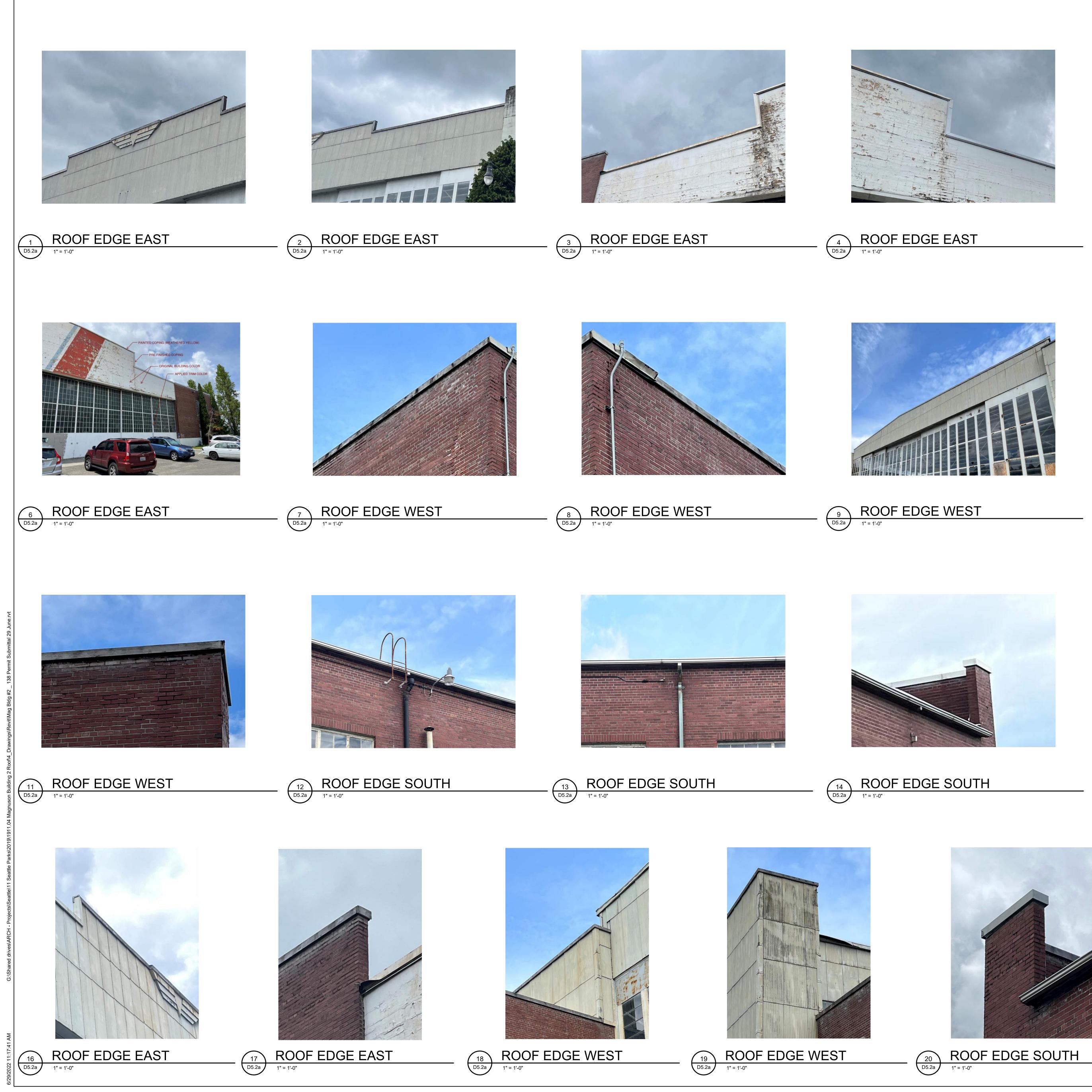


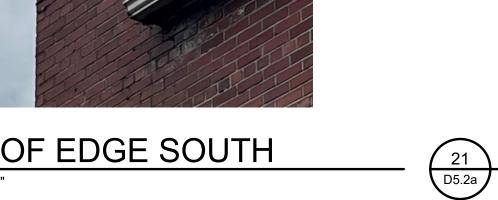




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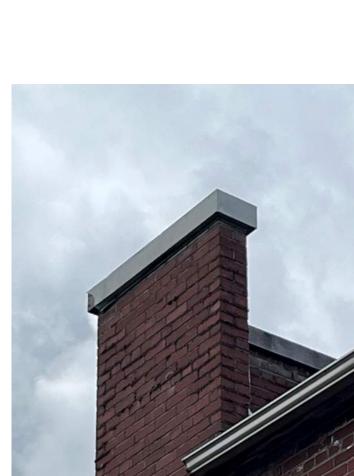




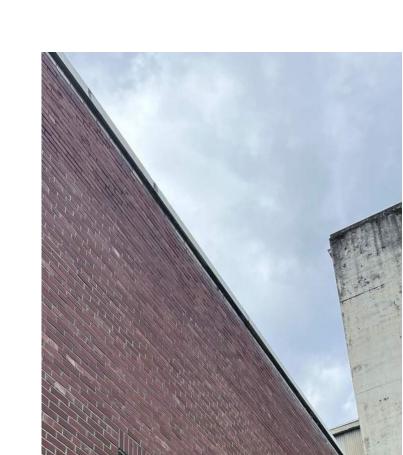


ROOF EDGE SOUTH









ROOF EDGE WEST





ROOF EDGE EAST

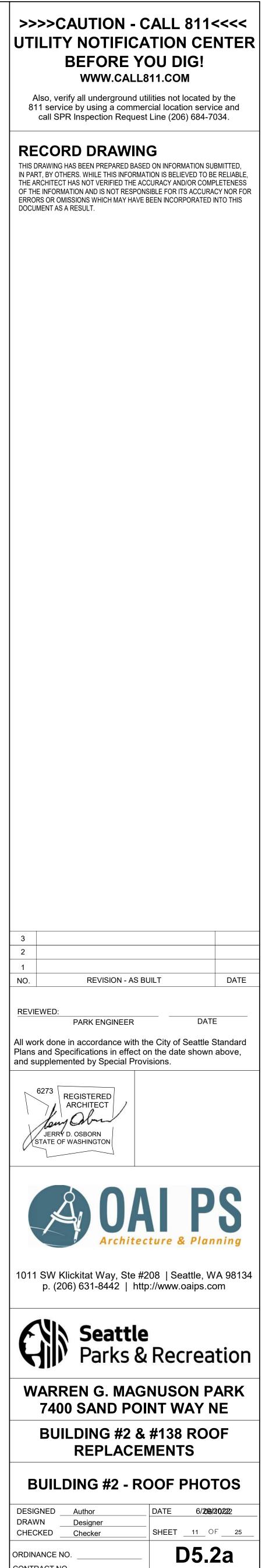
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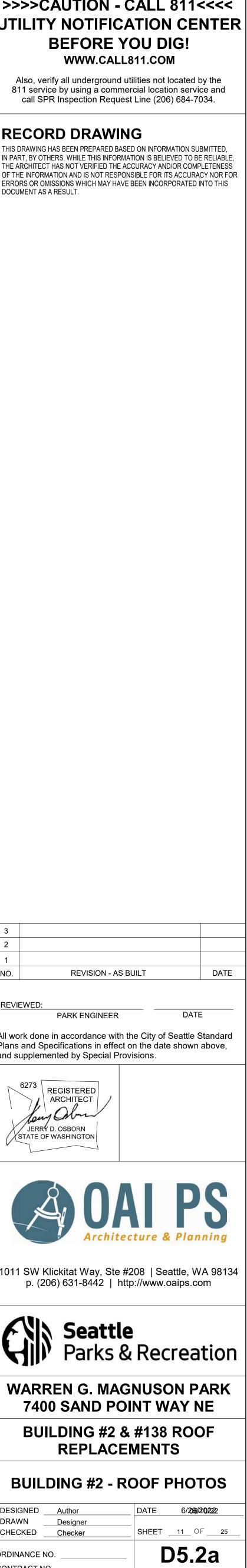
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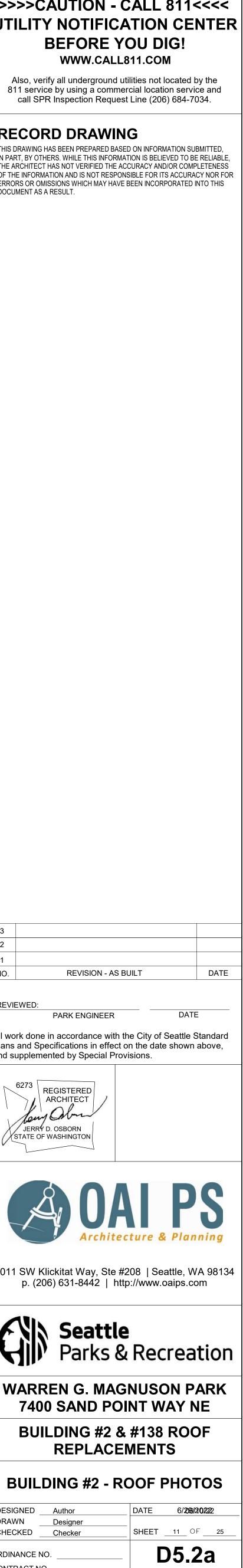
D5.2a

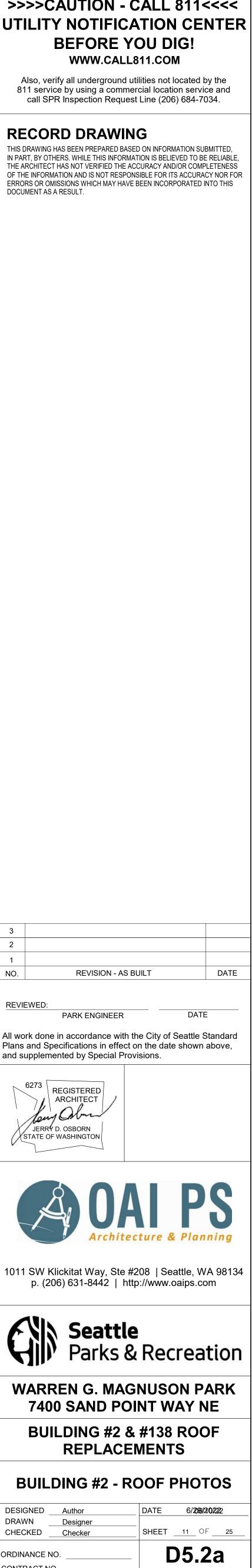
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D5.2a



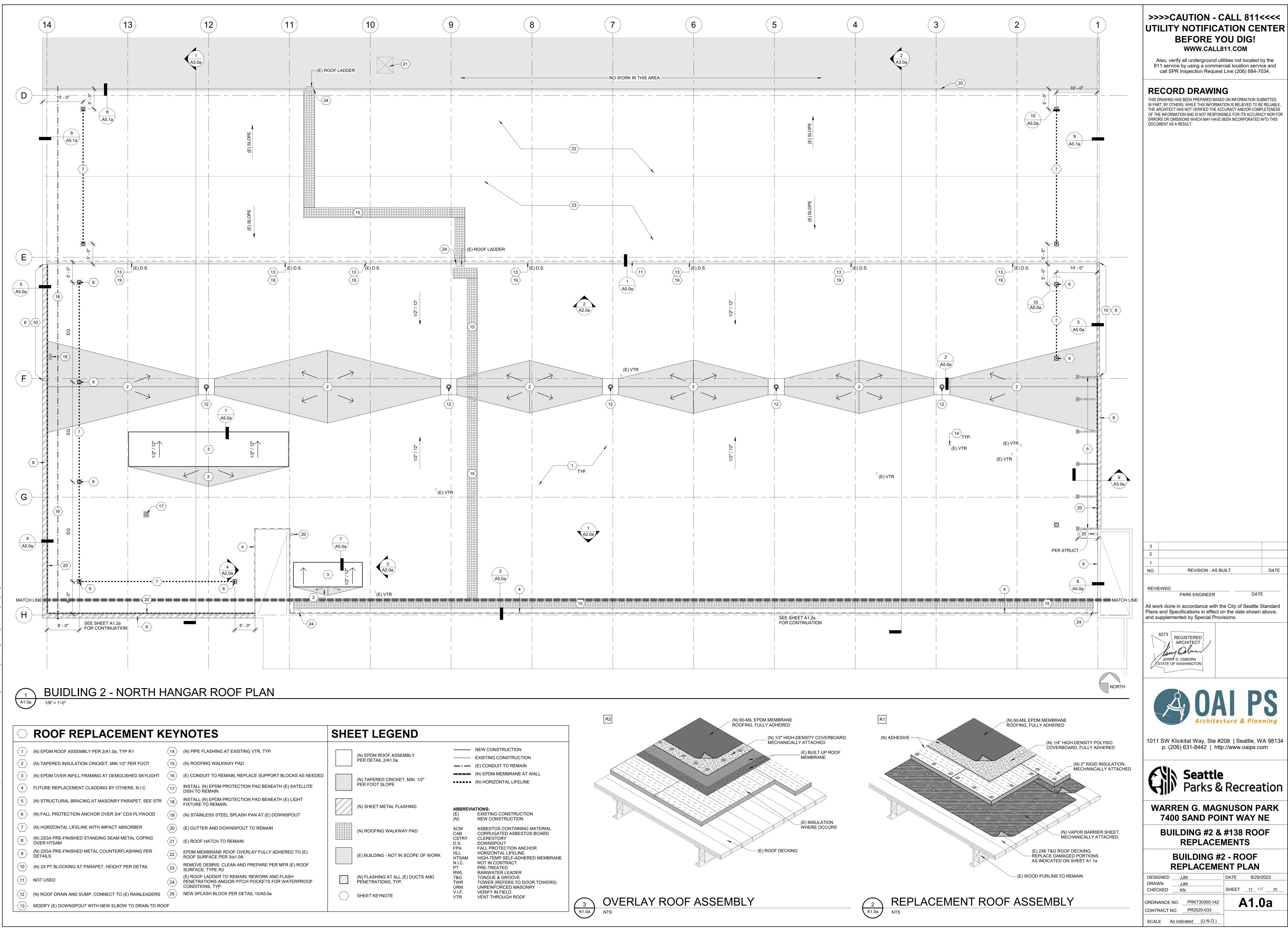






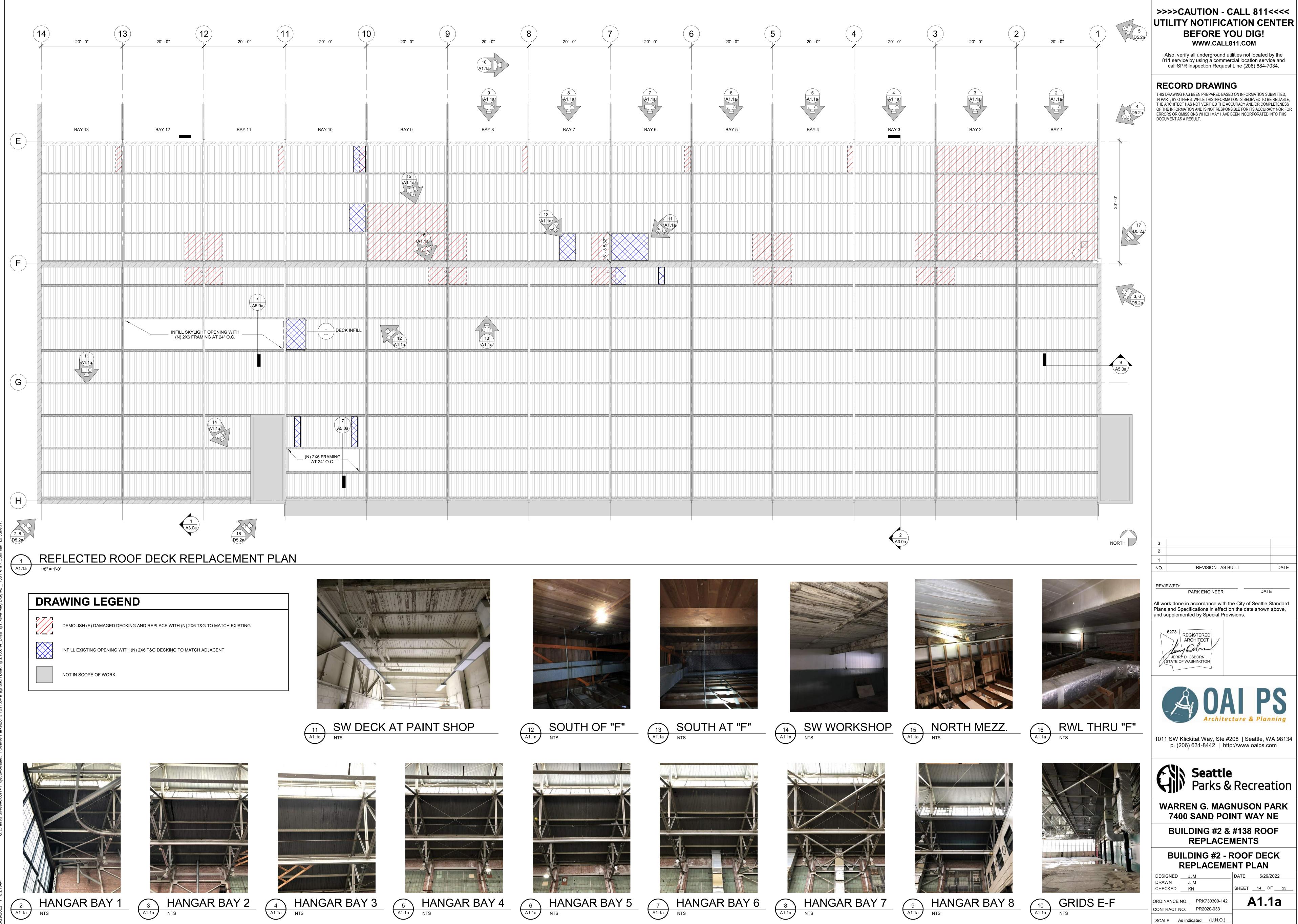
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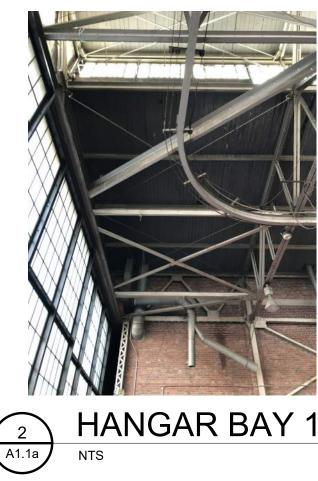


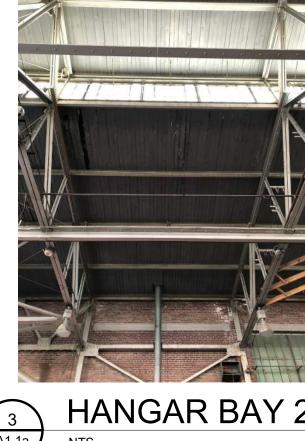


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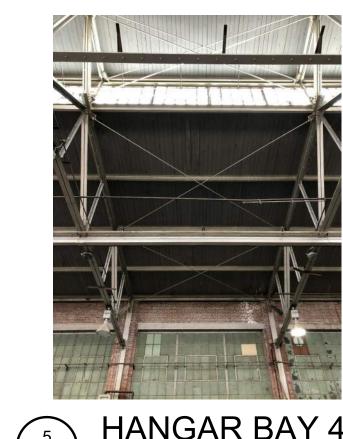
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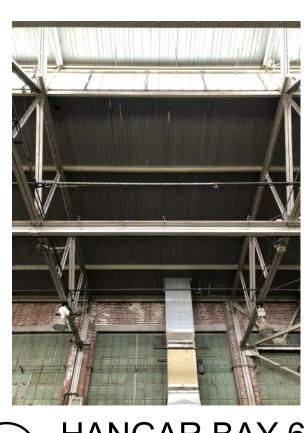






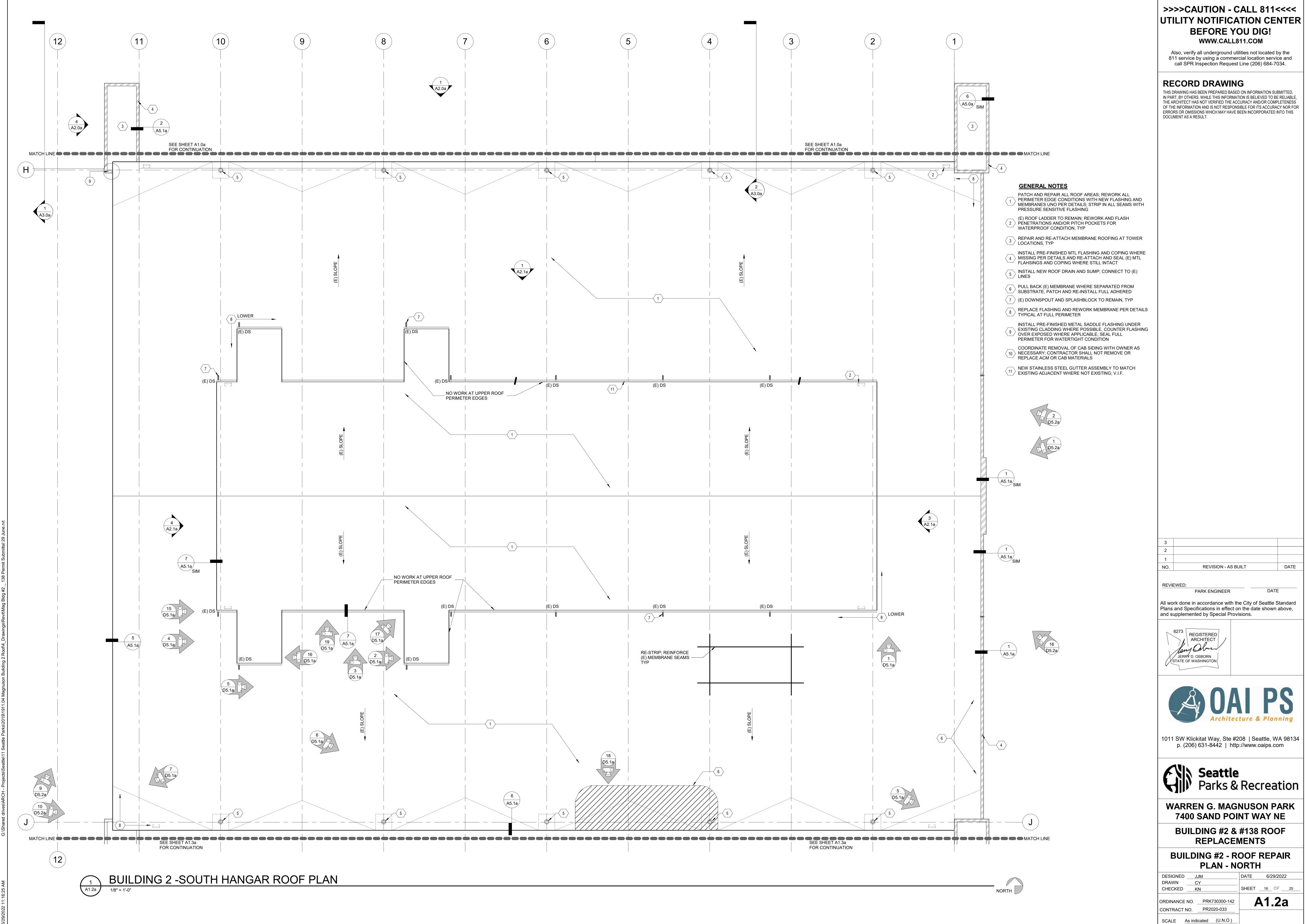


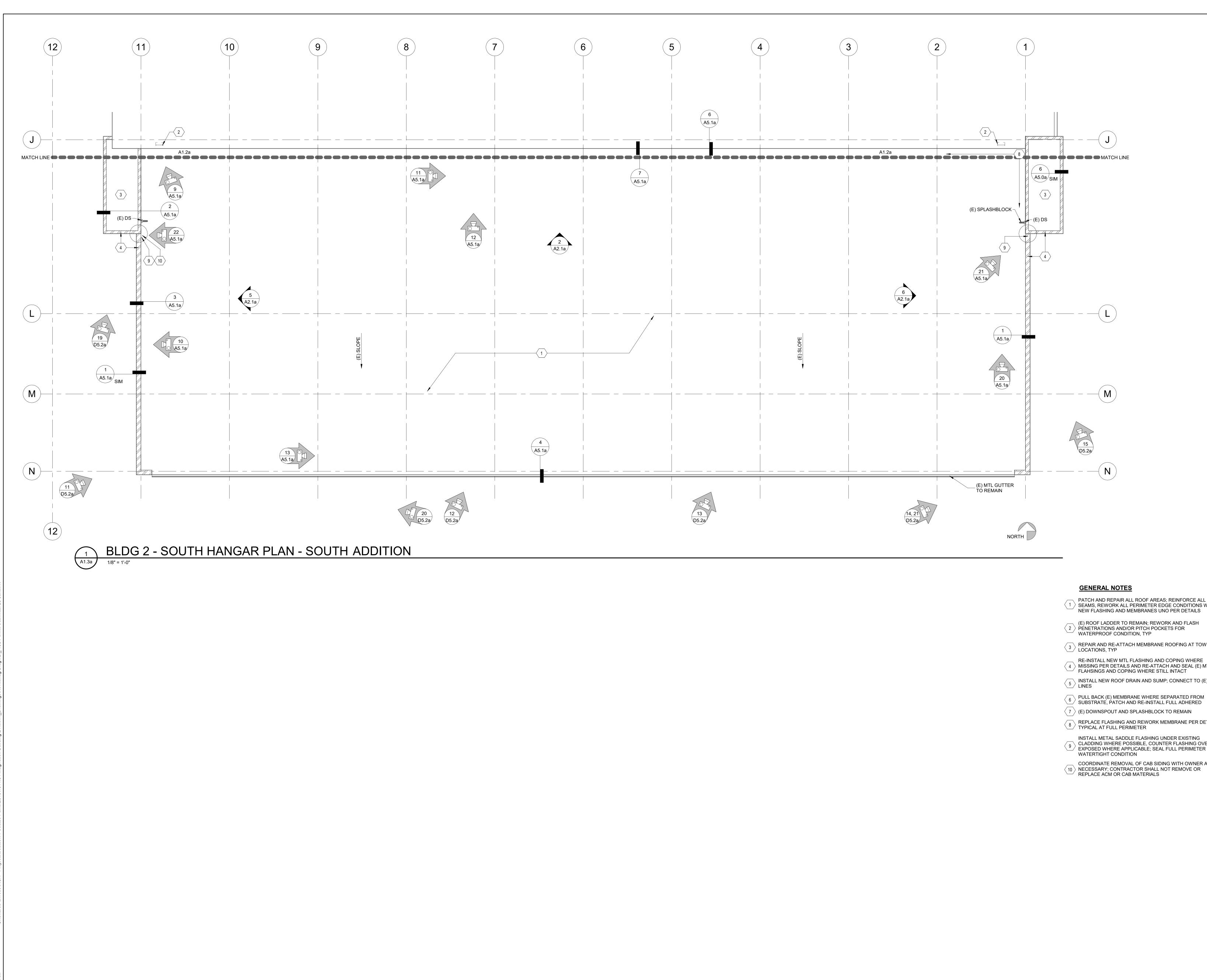




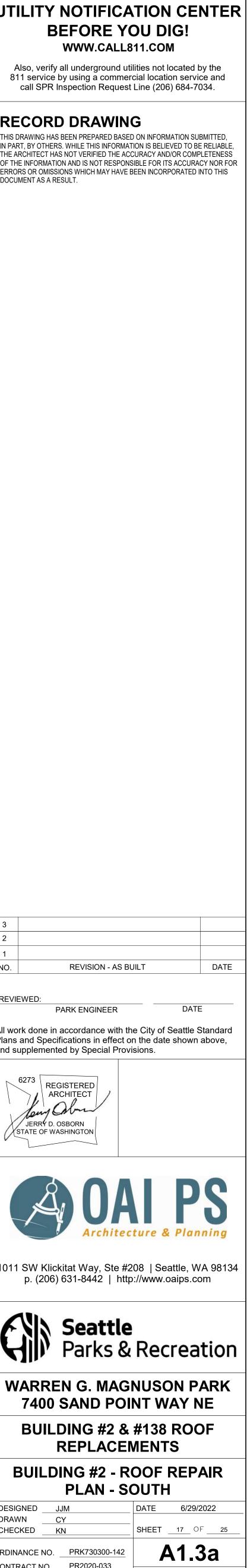




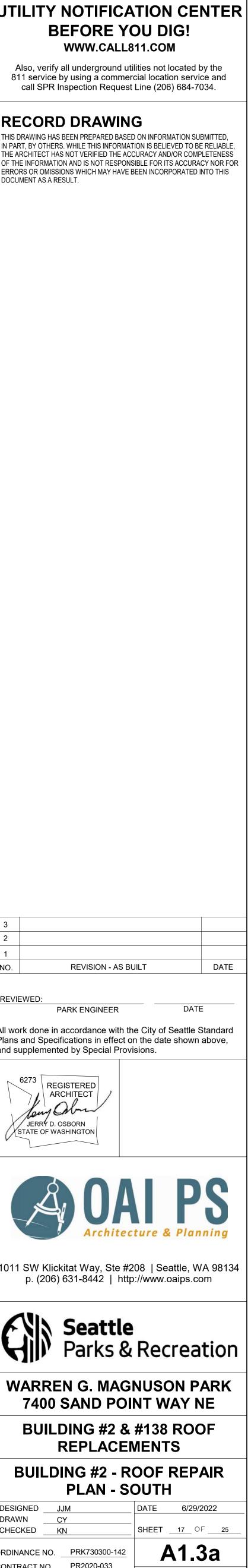


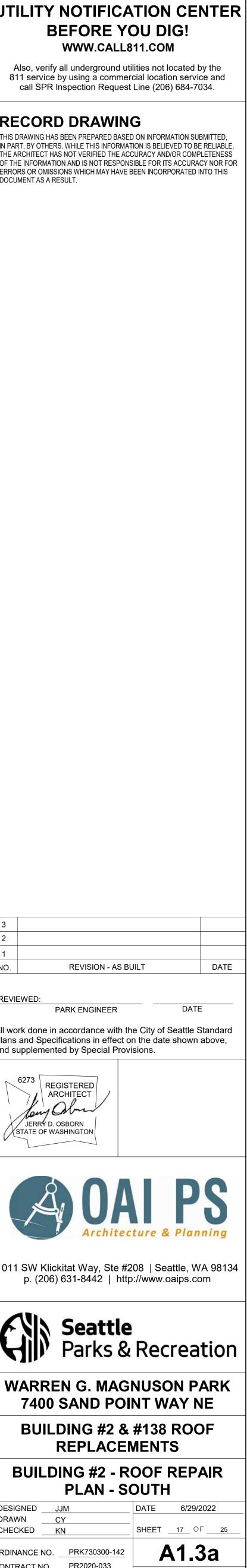


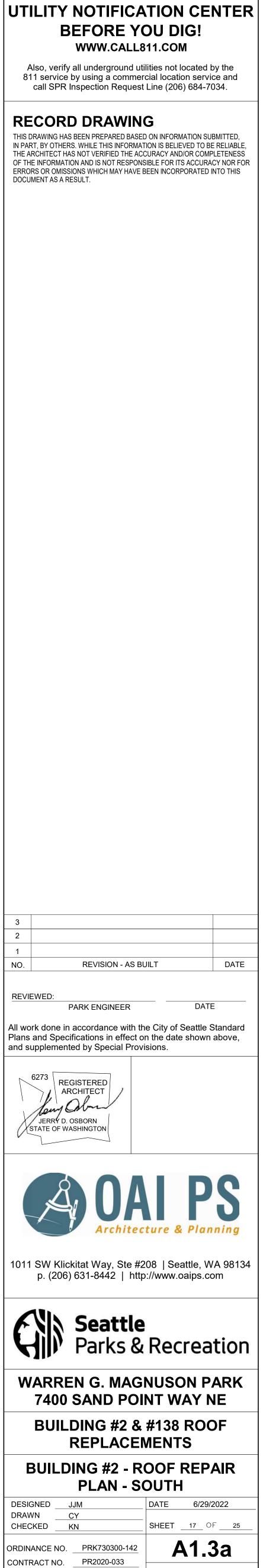
- PATCH AND REPAIR ALL ROOF AREAS; REINFORCE ALL SEAMS, REWORK ALL PERIMETER EDGE CONDITIONS WITH NEW FLASHING AND MEMBRANES UNO PER DETAILS
- (E) ROOF LADDER TO REMAIN; REWORK AND FLASH PENETRATIONS AND/OR PITCH POCKETS FOR
- REPAIR AND RE-ATTACH MEMBRANE ROOFING AT TOWER
- 4 MISSING PER DETAILS AND RE-ATTACH AND SEAL (E) MTL FLAHSINGS AND COPING WHERE STILL INTACT
- $\fbox{5}$ INSTALL NEW ROOF DRAIN AND SUMP; CONNECT TO (E) LINES
- 6 PULL BACK (E) MEMBRANE WHERE SEPARATED FROM SUBSTRATE, PATCH AND RE-INSTALL FULL ADHERED
- 8REPLACE FLASHING AND REWORK MEMBRANE PER DETAILS100TYPICAL AT FULL PERIMETER
- INSTALL METAL SADDLE FLASHING UNDER EXISTING CLADDING WHERE POSSIBLE, COUNTER FLASHING OVER EXPOSED WHERE APPLICABLE; SEAL FULL PERIMETER FOR
- COORDINATE REMOVAL OF CAB SIDING WITH OWNER AS 10 NECESSARY; CONTRACTOR SHALL NOT REMOVE OR REPLACE ACM OR CAB MATERIALS

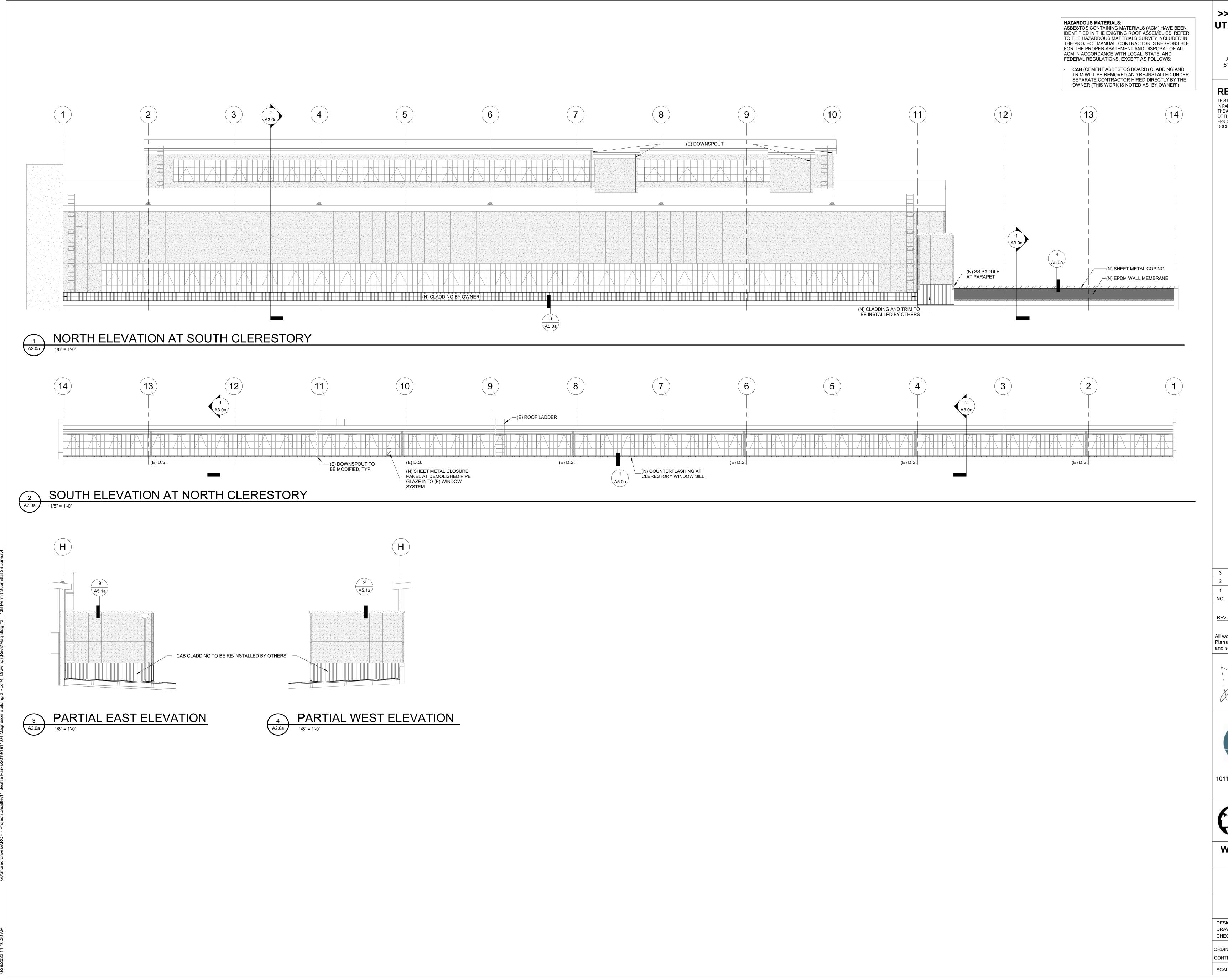


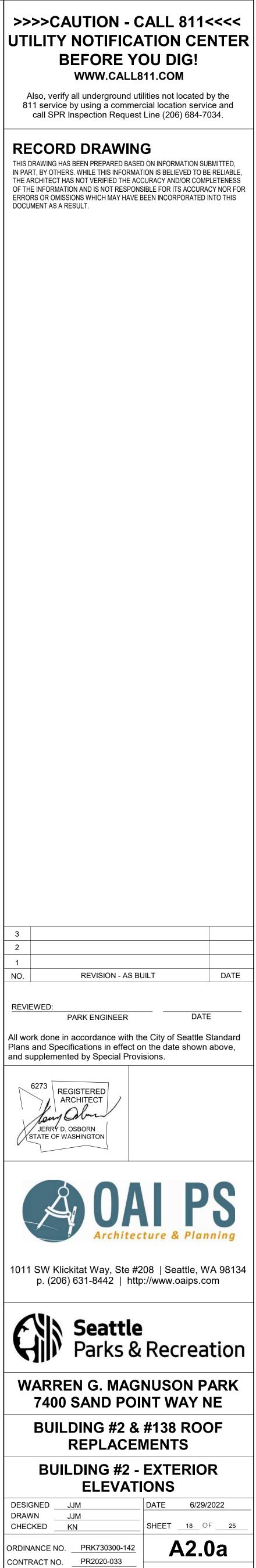
>>>>CAUTION - CALL 811<<<<

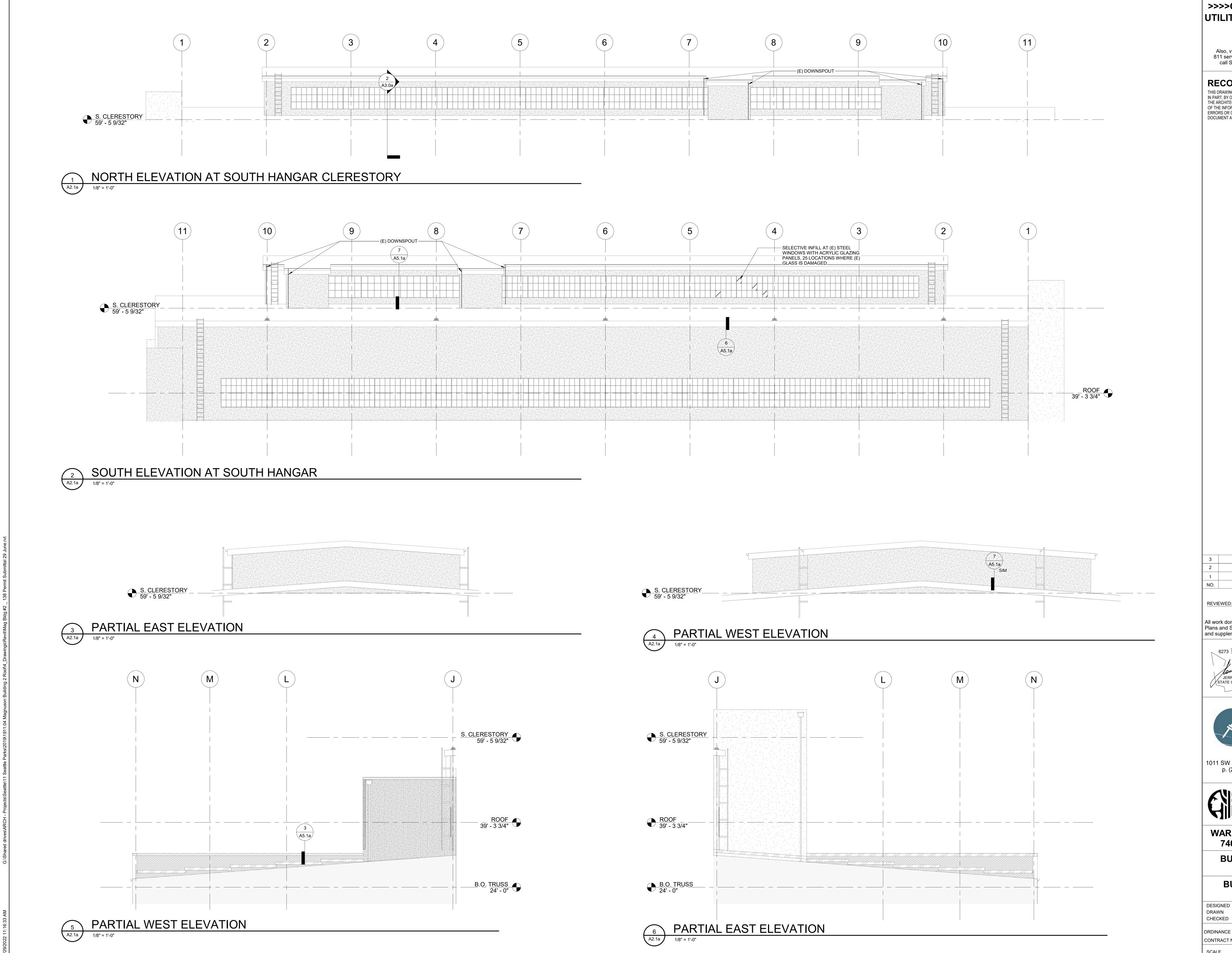




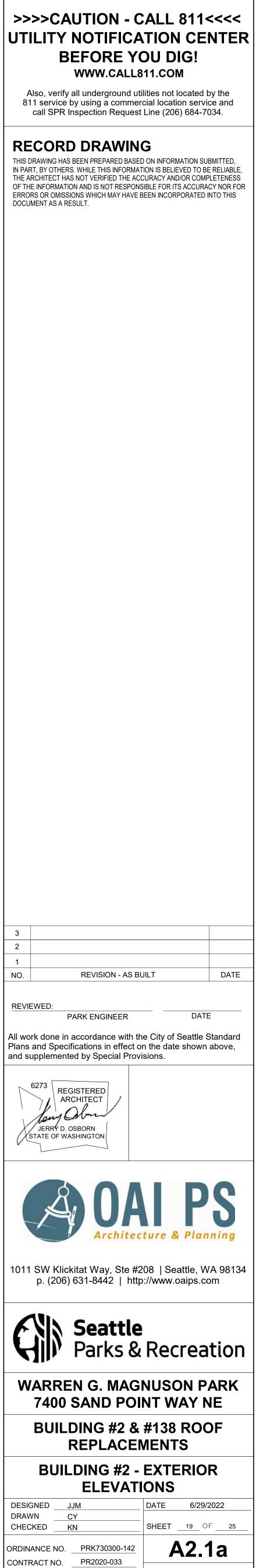


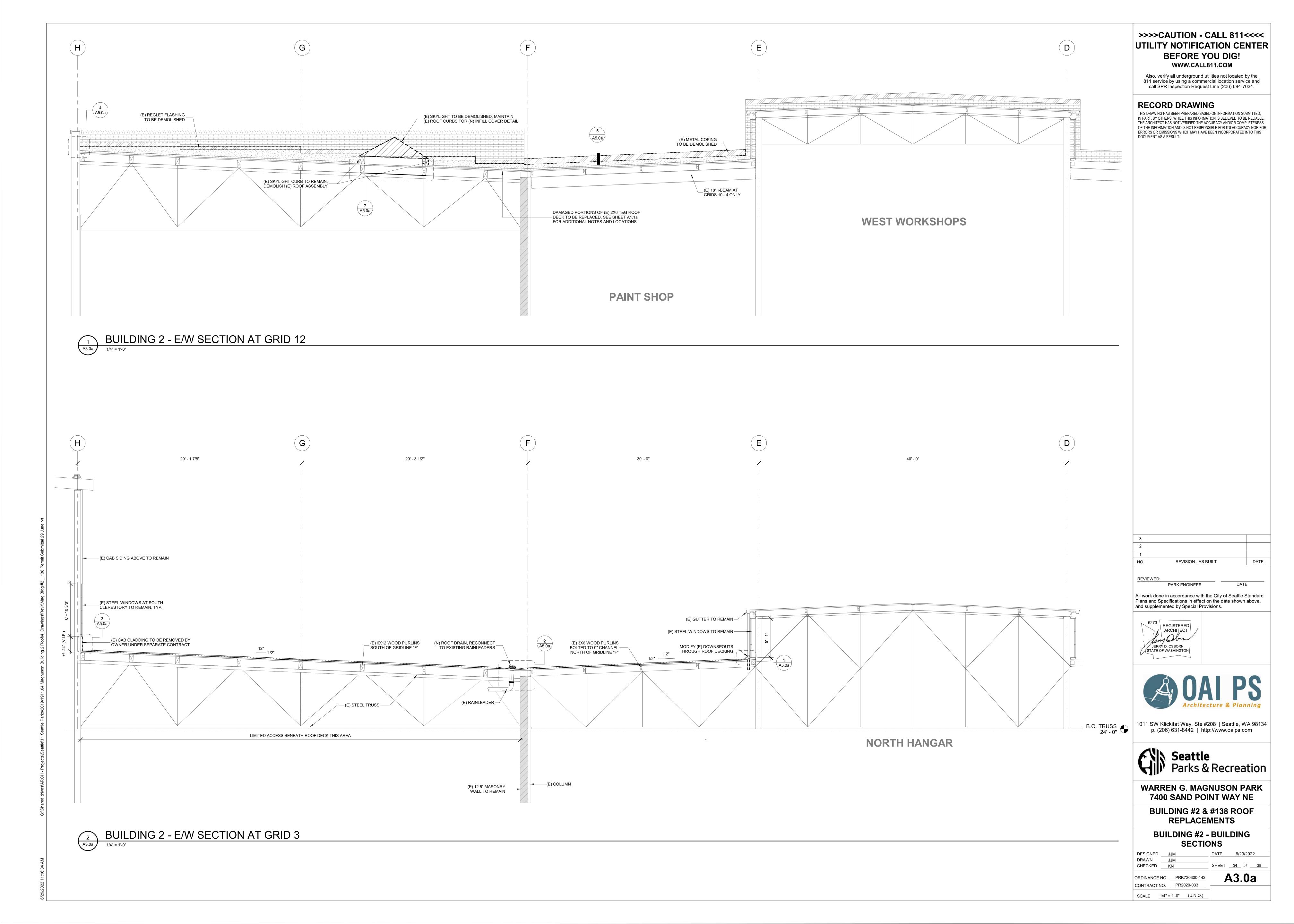


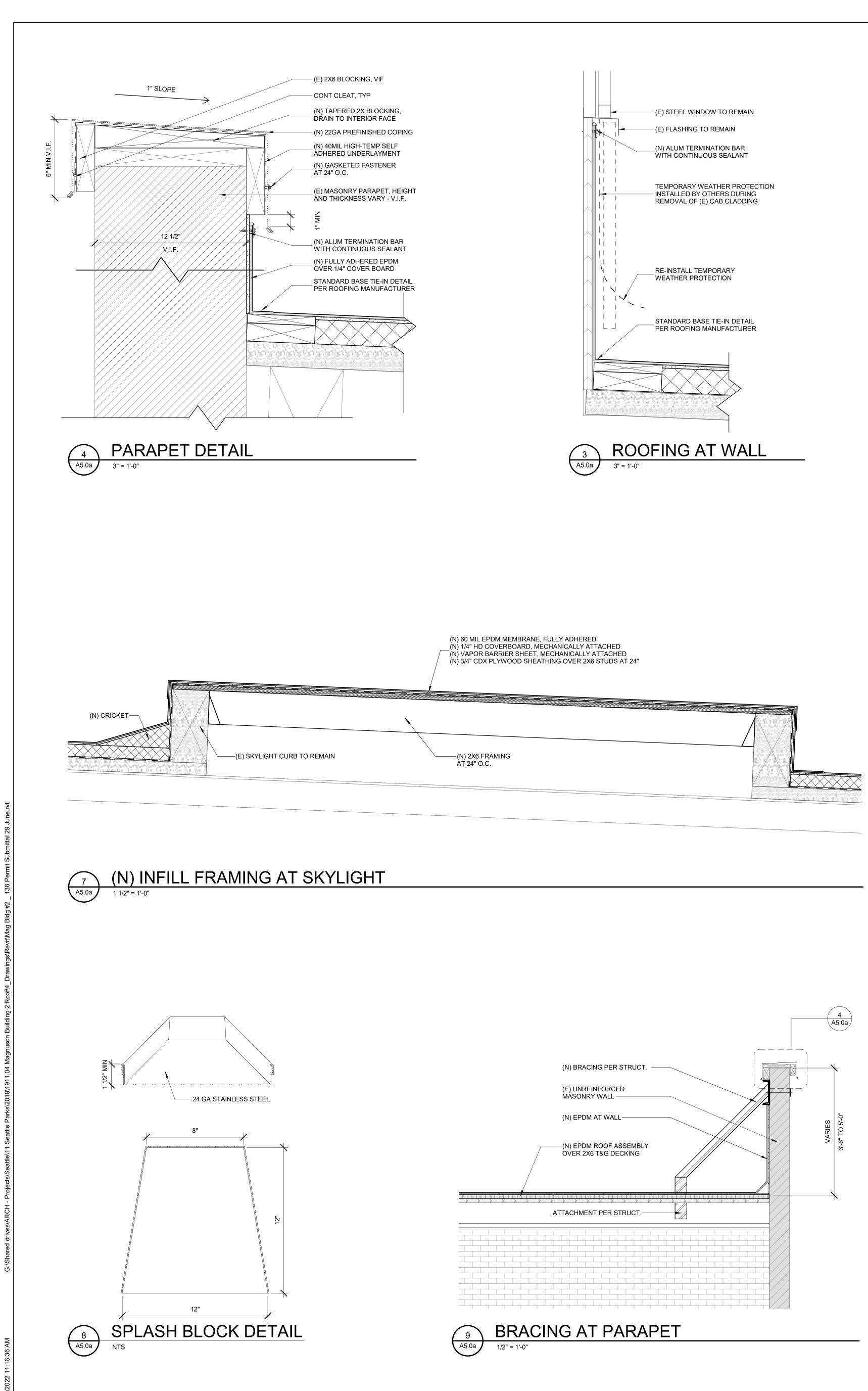


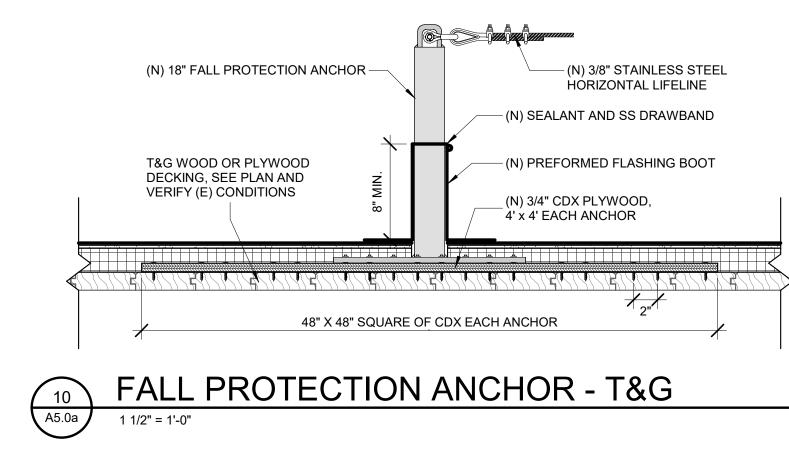


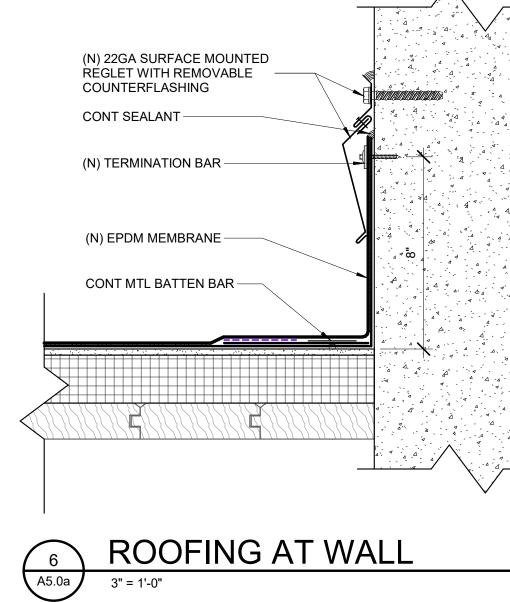
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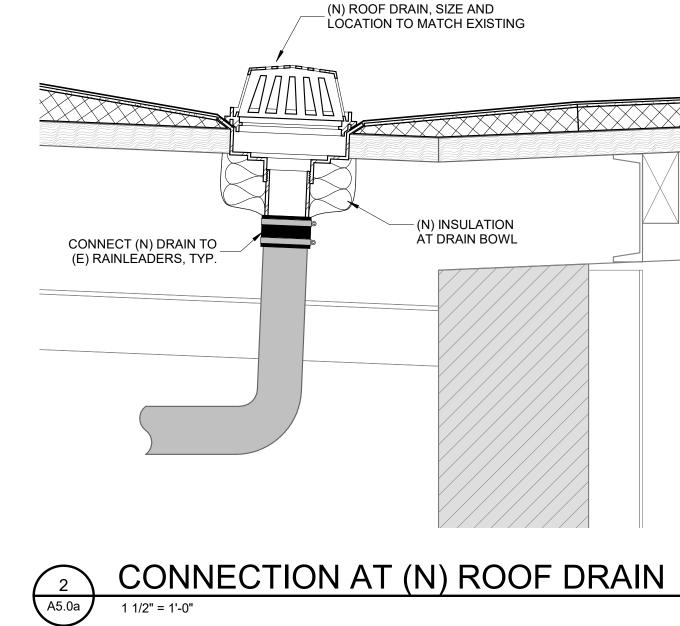


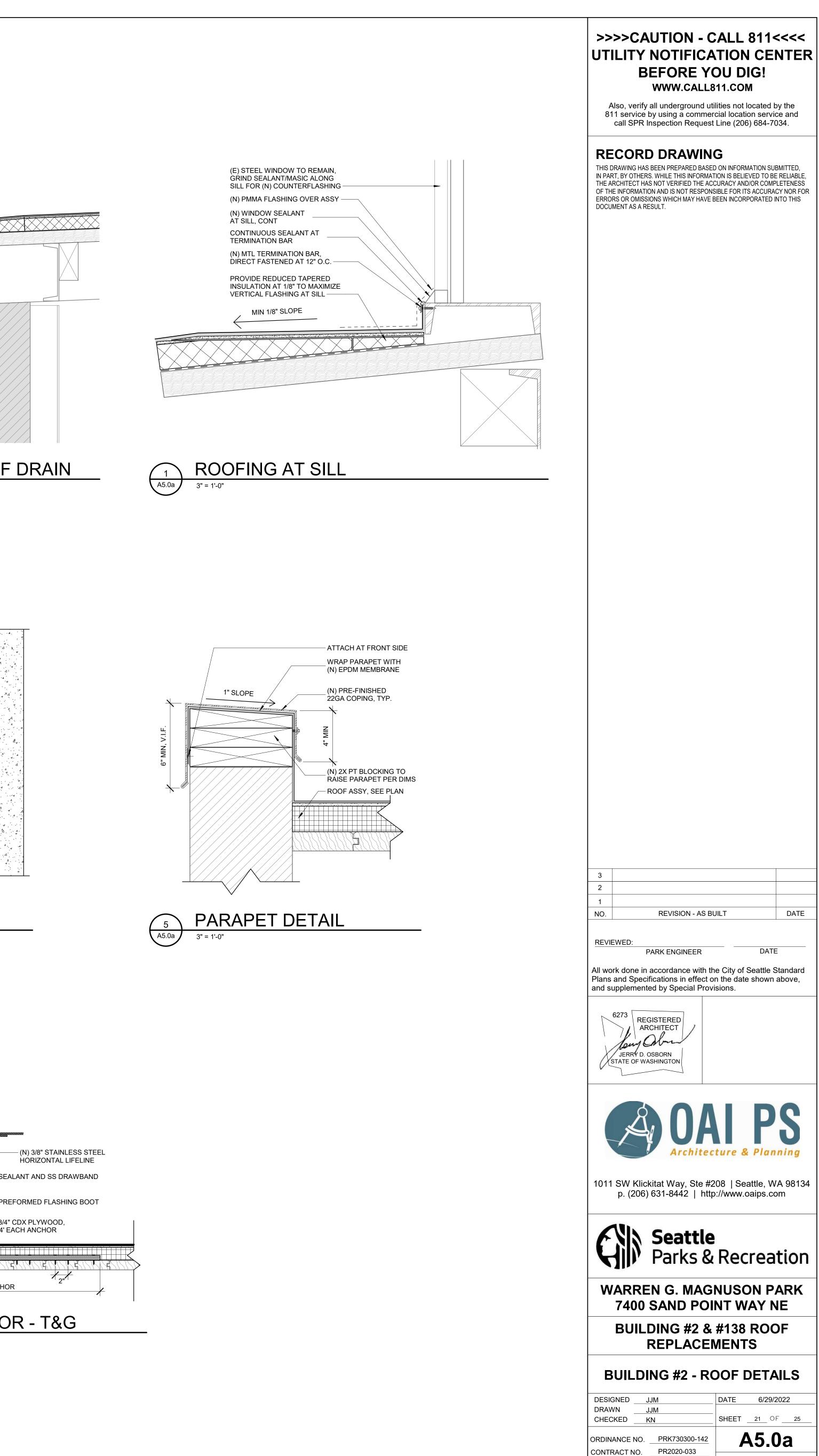


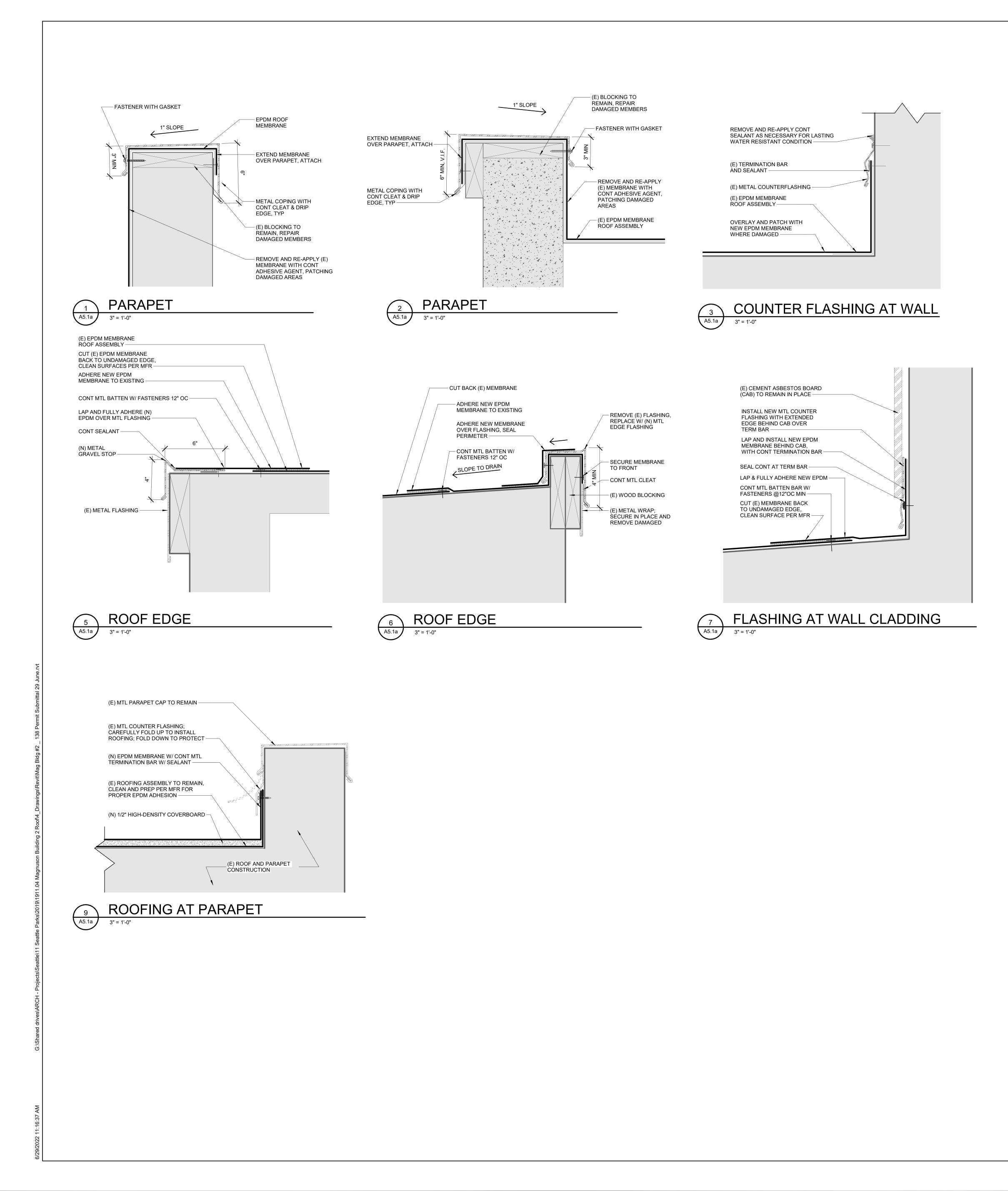


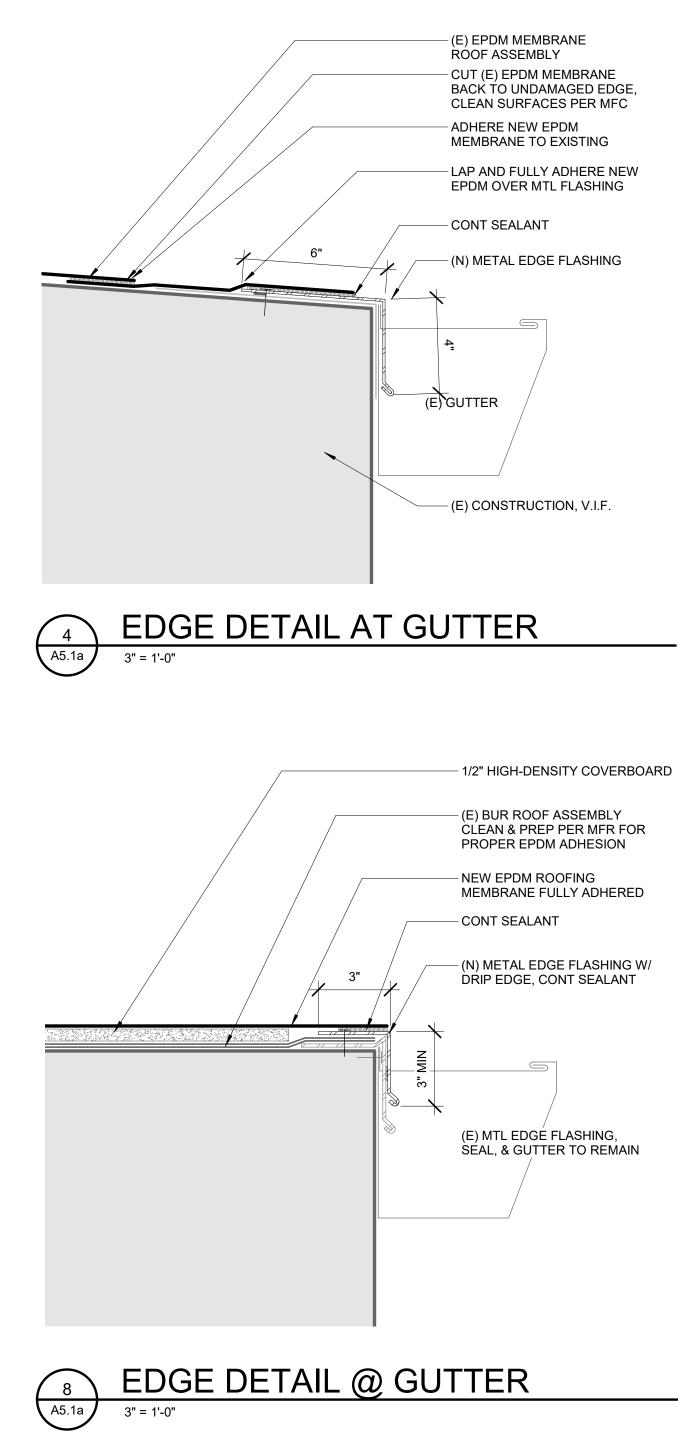


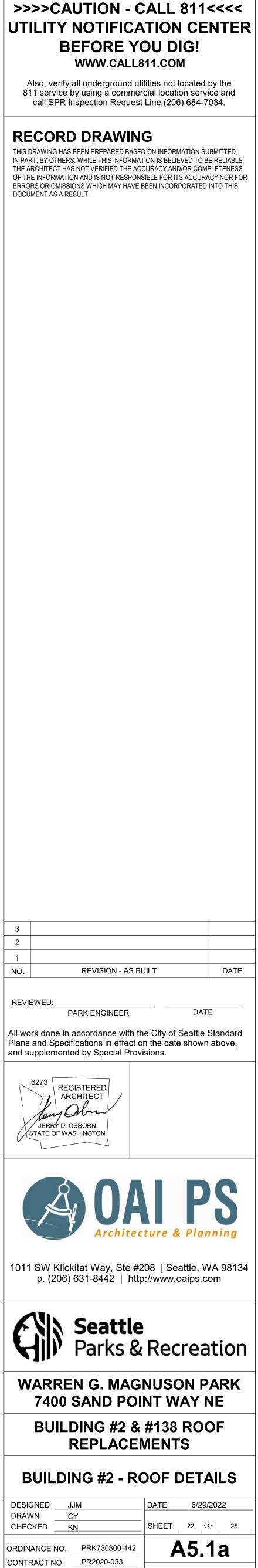
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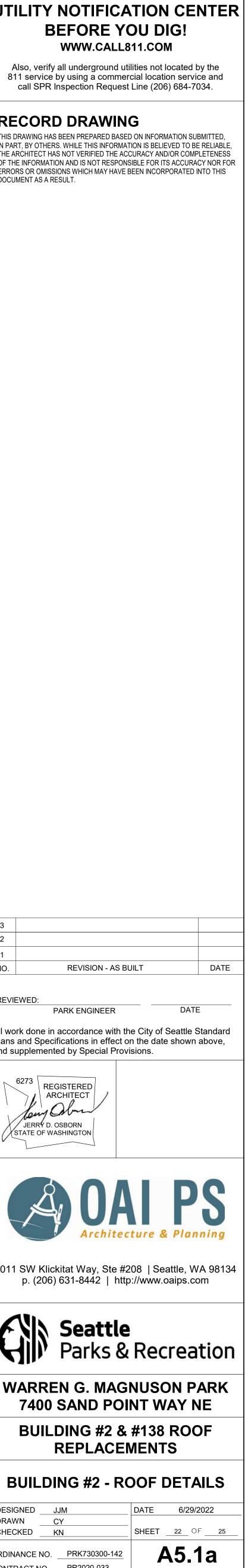


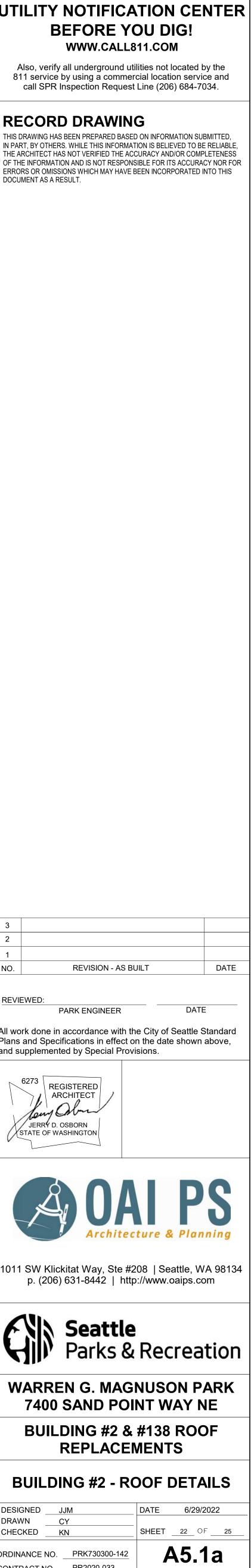












SCALE <u>3" = 1'-0"</u> (U.N.O.)

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SEATTLE BUILDING CODE 2018 <u>CODE</u>

STRUCTURAL LOADS

ROOF SNOW LOADS: GROUND SNOW LOAD, Pg = 15-PSF ROOF SNOW LOAD, Pf = 30-PSF (TO MATCH EXISTING DESIGN DRAWINGS - CIRCA 1942)

EARTHQUAKE LOADS:

SEISMIC RISK OCCUPANCY CATEGORY: II SEISMIC IMPORTANCE FACTOR, le = 1.00 MAPPED ACCELERATIONS, Ss = 1.27 S1 = 0.44 SITE CLASS = D (DEFAULT) DESIGN ACCELERATIONS, Sds = 1.021 Sd1 = *NULL SEISMIC DESIGN CATEGORY: D

SHOP DRAWINGS

SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED, AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED. SUBMITTAL REVIEW IS FOR GENERAL CONFORMANCE ONLY; THIS REVIEW DOES NOT CHECK DIMENSIONS OR QUANTITIES.

ANCHORAGE TO MASONRY:

WHERE EPOXY ANCHORS ARE SPECIFIED, USE "HILTI HY-270" (REFERENCE ICC REPORT ESR-4144).

FOR EPOXY ANCHORS, USE ASTM A193 GRADE B7 THREADED ROD, UNLESS OTHERWISE NOTED. HOLES MUST BE CLEANED OF DUST AND DEBRIS AND BE FREE OF STANDING WATER WHEN EPOXY IS INSTALLED. SPECIAL INSPECTION OF EPOXY ANCHORS IS REQUIRED. DO NOT CUT ANY REINFORCING BARS TO INSTALL ANCHORS. DEFECTIVE HOLES SHALL BE FILLED SOLID WITH EPOXY.

FOR ANY SUBSTITUTIONS TO THE ABOVE, THE CONTRACTOR SHALL SUBMIT TO THE STRUCTURAL ENGINEER MANUFACTURER'S LITERATURE DESCRIBING THE ANCHORS AND LISTING ICC APPROVED ALLOWABLE SHEAR AND TENSION VALUES.

TIMBER:

STRUCTURAL TIMBER AND LUMBER TO BE STRESS GRADE DOUGLAS FIR AS FOLLOWS:

USE	SPECIES	GRADE	<u>FB</u>
6 X BEAMS	DOUGLAS FIR	NO. 1	1350 PSI
ROOF JOISTS	DOUGLAS FIR	NO. 2	900 PSI
ALL OTHER LUMBER	DOUGLAS FIR	STANDARD / BETTER	

WOOD AND WOOD BASED MATERIALS USED IN CONTACT WITH SOIL, CONCRETE OR MASONRY, INSTALLED WITHIN 1" OF CONCRETE OR MASONRY, OR EXPOSED TO MOISTURE EITHER INTERIOR OR EXTERIOR, SHALL BE TREATED WITH AN APPROVED PRESERVATIVE PER THE "PRESERVATIVE TREATMENT" SECTION BELOW. SOLID BLOCKING OF NOT LESS THAN 2" NOMINAL THICKNESS SHALL BE PROVIDED AT ENDS AND AT ALL SUPPORTS OF JOISTS AND RAFTERS. BETWEEN SUPPORTS PROVIDE BLOCKING OR BRIDGING AT 8' - 0" O.C.

ALL STUD WALL SILL AND TOP PLATE MEMBERS SHALL BE SURFACE-DRIED (S-DRY) LUMBER (MOISTURE CONTENT = 19% OR LESS DURING FRAMING). ALL STUDS AND POSTS MAY BE SURFACE-GREEN (S-GREEN) LUMBER (MOISTURE CONTENT = 19% TO 23% DURING FRAMING) OR S-DRY LUMBER. THE MOISTURE CONTENT OF THE FRAMING SHALL BE LESS THAN 12 % PRIOR TO INSTALLATION OF GYPSUM WALLBOARD SHEATHING.

WOOD CONNECTORS:

BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH MALLEABLE IRON WASHERS EXCEPT ON STEEL BEAM NAILERS USE CUT WASHERS. NAILERS TO STEEL BEAMS SHALL BE ATTACHED WITH 5/8" BOLTS AT 3' - 0" O.C. STAGGERED.

NAILS SHALL CONFORM TO REQUIREMENTS OF ASTM F 1667 AND HAVE A MINIMUM BENDING STRENGTH OF 90 KSI FOR SHANK DIAMETERS BETWEEN .142" AND .177". ALL WOOD-TO-WOOD NAILING SHALL BE PER IBC TABLE 2304.9.1. IF PLANS AND DETAILS SPECIFY 8D, 10D OR 16D NAILS, THEY SHALL HAVE THE FOLLOWING PROPERTIES:

8D = 0.131" DIA X 2-1/2" 10D = 0.148" DIA X 3"

16D = 0.162" DIA X 3-1/2"

ALL SUBSTITUTIONS SHALL HAVE THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD PRIOR TO USE.

LIGHT GAUGE METAL FRAMING CONNECTORS AND THEIR REQUIRED FASTENERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, OR APPROVED EQUAL.

ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESERVATIVE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL WITH A G185 SPECIFICATION OR TYPE 304 & 316 STAINLESS STEEL. TYPE 304 AND 316 STAINLESS STEEL SHOULD BE USED FOR ALL CONNECTORS AND FASTENERS IN CONTACT WITH AZCA TREATED WOOD AND SOME VARIATIONS OF ACQ TREATED WOODS. HOT-DIPPED GALVANIZED STEEL SHOULD NEVER COME IN CONTACT WITH STAINLESS STEEL.

PLYWOOD/ OSB:

PLYWOOD/OSB ROOF SHEATHING TO BE APA RATED C-D EXPOSURE 1 PER APA "PLYWOOD DESIGN SPECIFICATION" (Y510). MAXIMUM FASTENER SPACING SHALL BE 6" O.C. AT ALL SUPPORTED PANEL EDGES, AND 12" O.C. AT INTERMEDIATE SUPPORTS. FASTENERS INTO WOOD MEMBERS SHALL BE 10D NAILS PER THE "WOOD CONNECTORS" SECTION. FASTENERS INTO COLD-FORMED STEEL MEMBERS SHALL BE #10 SCREWS PER THE "COLD-FORMED STEEL CONNECTORS" SECTION.

STAGGER END LAPS AT ROOF AND FLOOR SHEATHING. SUPPORT SHALL BE SUPPLIED TO ALL PLYWOOD EDGES WITH PLYCLIPS, BLOCKING, TONGUE AND GROOVE PLYWOOD JOINTS OR OTHER APPROVED METHODS PER APA RECOMMENDATION.

PRESERVATIVE TREATMENT:

ALL LUMBER, TIMBER, PLYWOOD, GLUE-LAMINATED AND OTHER COMPOSITE LUMBER THAT IS IN CONTACT WITH CONCRETE OR MASONRY OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH CURRENT AMERICAN WOOD-PRESERVERS' ASSOCIATION (AWPA) PRESERVATIVE (P) STANDARDS. THESE MEMBERS SHALL BE TREATED WITH COPPER AZOLE PRESERVATIVE IN ACCORDANCE WITH CURRENT AWPA COMMODITY (C) STANDARDS AND THE AWPA USE CATEGORY SYSTEM (UCS). WHEREVER POSSIBLE, PRECUT ALL MATERIAL BEFORE TREATMENT. HANDLE TREATED LUMBER IN ACCORDANCE WITH AWPA M4 STANDARDS.

FIELD CUTS, HOLES (SUCH AS ANCHOR BOLT HOLES IN TREATED SILL PLATES) AND PENETRATION DAMAGE SHALL BE TREATED WITH COPPER AZOLE IN ACCORDANCE WITH THE CURRENT AWPA M4 STANDARDS.

ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESERVATIVE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED OR TYPE STAINLESS STEEL. SEE THE "WOOD CONNECTORS" SECTION.

PRESERVATIVE TREATMENT PRODUCT AND PROCEDURES SHALL BE SUBMITTED AND REVIEWED PRIOR TO CONSTRUCTION. OWNER REVIEW REQUIRED.

T & G DECKING:

2" AND 3" T & G DECKING TO BE DOUGLAS-FIR SELECT DECKING GRADE OR BETTER. DECKING SHALL BE LAYED UP AND NAILED IN A "CONTROLLED RANDOM LAYUP" CONFIGURATION PER AMERICAN WOOD COUNCIL'S (AWC.ORG) "WOOD CONSTRUCTION DATA 2, TONGUE AND GROOVE ROOF DECKING".

STRUCTURAL STEEL:

CHANNELS, ANGLES, AND PLATES TO BE ASTM A36, FY=36 KSI, HSS RECTANGULAR AND SQUARE STRUCTURAL TUBE TO BE ASTM A500, GRADE B, FY=46 KSI.

ALL STEEL EXCEPT STEEL EMBEDDED IN CONCRETE SHALL BE GIVEN ONE SHOP COAT OF APPROVED PAINT. WELDS TO BE 3/16" MINIMUM CONTINUOUS FILLET, BY CERTIFIED WELDERS USING E70XX ELECTRODES.

ALL WELDING SHALL BE PERFORMED IN STRICT ADHERENCE TO A WRITTEN WELDING PROCEDURE SPECIFICATION (WPS) PER AWS D1.1. ALL WELDING PARAMETERS SHALL BE WITHIN THE ELECTRODE MANUFACTURER'S RECOMMENDATIONS. WELDING PROCEDURES SHALL BE SUBMITTED TO THE OWNER'S TESTING AGENCY FOR REVIEW BEFORE STARTING FABRICATION OR ERECTIONS. COPIES OF THE WPS SHALL BE ON SITE AND AVAILABLE TO ALL WELDERS AND THE SPECIAL INSPECTOR.

ANCHOR BOLTS EMBEDDED IN MASONRY ARE ASTM F1554 GRADE 36. UNLESS OTHERWISE NOTED. USE HEADED ANCHOR BOLTS. NOT "J" BOLTS. DO NOT ENLARGE HOLES IN BASE PLATE BY BURNING. BENDING OF ANCHOR BOLTS IS PERMITTED ONLY WITH THE PRIOR APPROVAL FROM THE ENGINEER.

WHERE NOT SPECIFICALLY SHOWN BY DETAIL, CONNECTIONS SHALL BE BOLTED FRAME BEAM CONNECTIONS PER AISC STANDARDS. DURING ERECTION, STRUCTURAL STEEL SHALL BE SECURED FROM COLLAPSING WITH TEMPORARY BRACING.

SUBMIT SHOP DRAWINGS PREPARED BY AN EXPERIENCED DETAILER FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS TO BE COMPLETE, SHOWING ALL WELDS AND MATERIAL GRADES. PROVIDE A PLAN LOCATION OR DETAIL REFERENCE FOR EACH SHOP DRAWING. FOR MINOR STEEL-TO-STEEL CONNECTIONS OF 12" AND SMALLER STEEL MEMBERS: IF AN EXPLICIT CONNECTION IS NOT SHOWN ON THE STRUCTURAL DRAWINGS, DETAILER IS TO PROPOSE A CONNECTION SIMILAR TO THE CONNECTIONS ON THE DRAWINGS OR PER AISC STANDARD CONNECTIONS. ON THE SHOP DRAWING, CLOUD THE CONNECTION AND STATE "VERIFY." SHOP DRAWINGS NOT MEETING THESE CONDITIONS WILL BE REJECTED. REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS FOR DESIGN INTENT ONLY, AND DOES NOT INCLUDE VERIFICATION OF DIMENSIONS AND QUANTITIES. VERIFICATION OF DIMENSIONS AND QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

STEEL FABRICATORS AND DETAILERS: BASE BID TO INCLUDE STEEL DETAILER AND FABRICATOR TIME AND COSTS FOR ROUTINE CONSTRUCTION QUESTIONS. ROUTINE CONSTRUCTION QUESTIONS INCLUDE DIMENSIONAL QUESTIONS AND MINOR FRAMING QUESTIONS. ROUTINE CONSTRUCTION QUESTIONS ARE PART OF THE NORMAL CONSTRUCTION PROCESS, AND ARE TO BE INCLUDED IN THE BASE BID.

SCOPE OF STRUCTURAL ENGINEERING SERVICES:

THE STRUCTURAL ENGINEER HAS PERFORMED THE STRUCTURAL DESIGN AND PREPARED THE STRUCTURAL WORKING DRAWINGS FOR THIS PROJECT. THE CONSTRUCTION MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE STRUCTURAL DRAWINGS. ANY DEVIATION FROM THE DRAWINGS MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER. ERRORS AND/OR OMISSIONS FOUND ON THE STRUCTURAL DRAWINGS MUST BE BROUGHT TO THE STRUCTURAL ENGINEER'S ATTENTION IMMEDIATELY.

ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. PRIMARY STRUCTURAL ELEMENTS ARE DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS. ANY DISCREPANCIES, CONTRADICTIONS, OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK OR FABRICATION OF THE ITEM(S) IN QUESTION.

THE STRUCTURAL ENGINEER IS RESPONSIBLE FOR THE DESIGN OF THE PRIMARY STRUCTURAL SYSTEM, EXCEPT FOR ANY COMPONENTS NOTED ABOVE. RESPONSIBILITY FOR ANY SECONDARY STRUCTURAL AND NON-STRUCTURAL SYSTEMS NOT SHOWN ON THE STRUCTURAL PLANS RESTS WITH SOMEONE OTHER THAN THE STRUCTURAL ENGINEER.

THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURALLY SOUND ONLY IN ITS COMPLETED FORM. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO STABILIZE THE BUILDING DURING CONSTRUCTION.

THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK, NOR WILL HE BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

FIELD MEASUREMENTS AND THE VERIFICATION OF FIELD DIMENSIONS ARE NOT PART OF THE STRUCTURAL ENGINEER'S RESPONSIBILITY. THE CONTRACTOR MUST CHECK ALL (ASSUMED) EXISTING CONDITIONS SHOWN ON THESE DRAWINGS FOR ACCURACY AND NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES. OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS OR THE INADVERTENT MISLABELING OF DETAILS OF WORK WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INADVERTENT MISLABELED DETAILS OF THE WORK BUT THEY SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SPECIAL INSPECTION SCHEDULE REQUIRED INSPECTIONS AND VERIFICATIONS FOR MASONRY CONSTRUCTION CONTINOUS PERIODIC REFERENCE STANDARD TYPE DURING CONSTRUCTION THE INSPECTION PROGRAM SHALL VERIFY: 1. TYPE, SIZE AND LOCATION OF ANCHORS, INCLUDING OTHER DETAILS OF TMS 602/ACI 530.1/ASCE 6a Art. 1.8C, 1.8D, 2.4, 3.3F, 3.4, 3.6B; TMS 402/ACI 530/ASCE 5a ANCHORAGE OF MASONRY TO STRUCTURAL MEMBERS, FRAME OR OTHER CONSTRUCTION Sec. 1.2.2(e), 1.15, 1.16.1, 2.1.9.73.2, 3.3.3.4(b); 2. SPECIFIED SIZE, GRADE AND TYPE OF ANCHOR BOLTS AND ANCHORAGES CBC Sec. 2104A.3, 2104A.4

IBC REFERENCE



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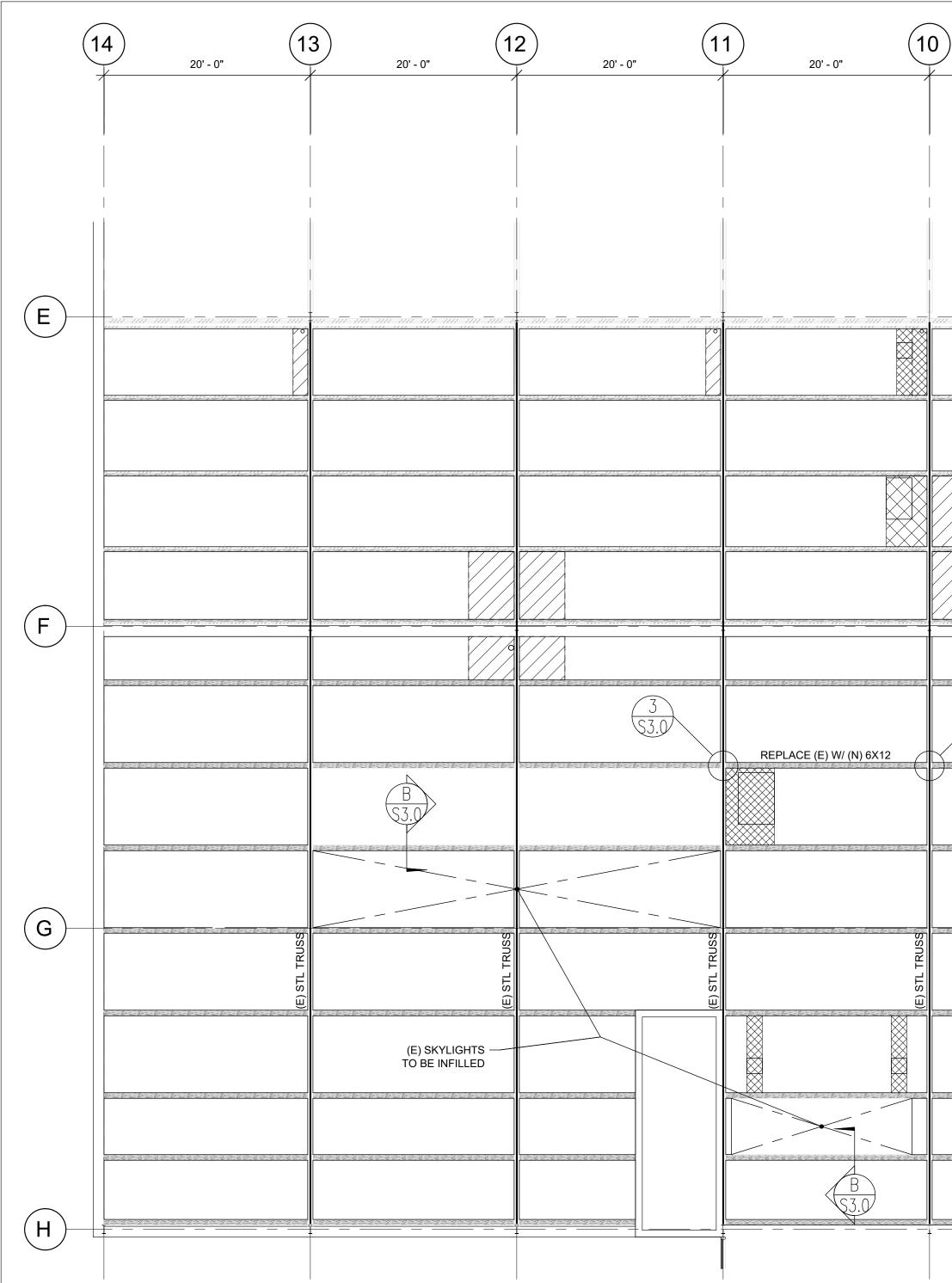




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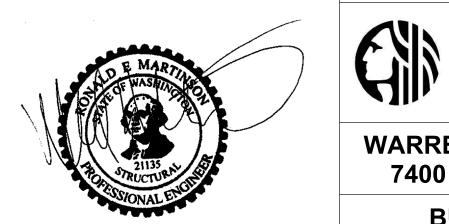


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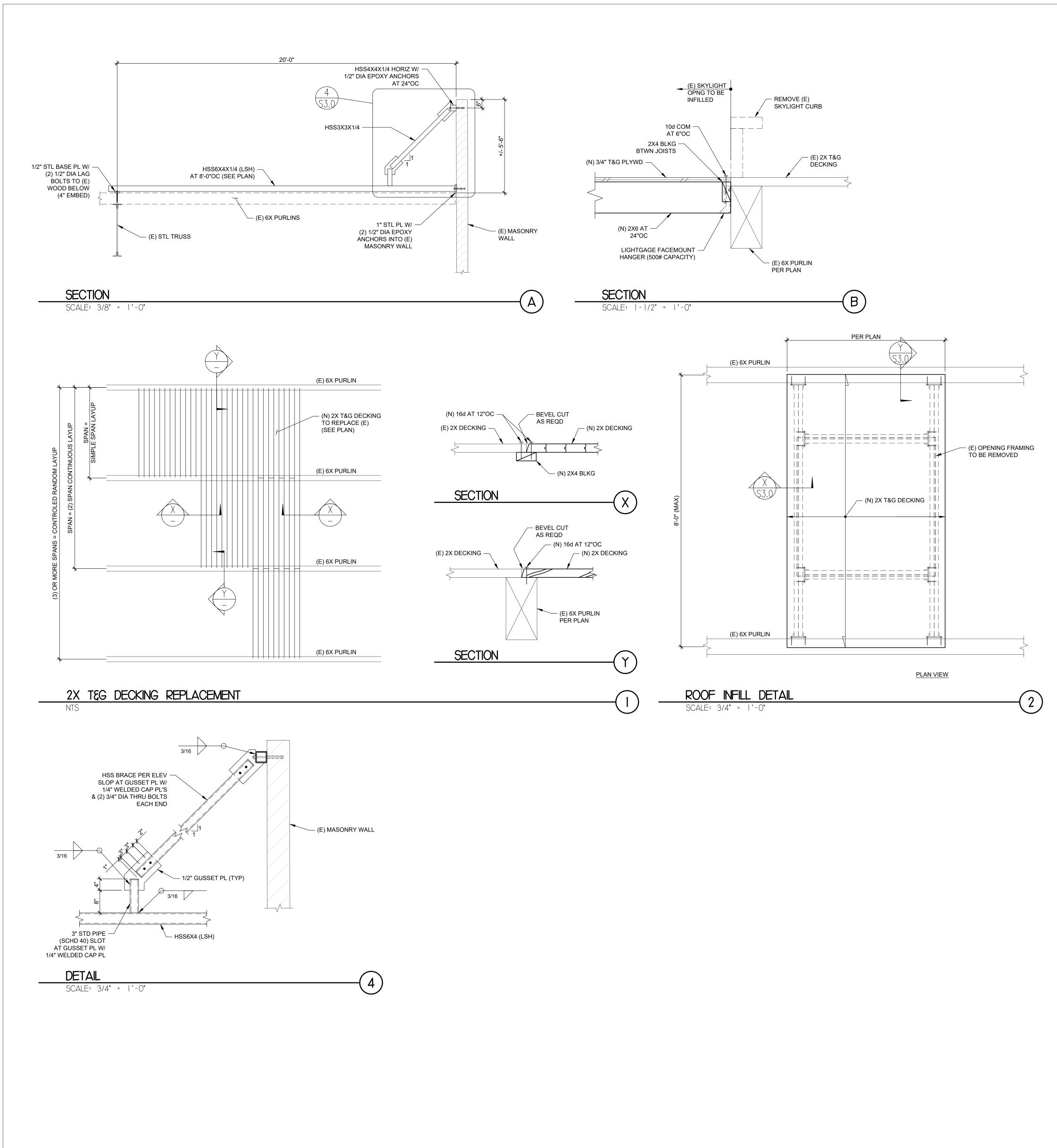
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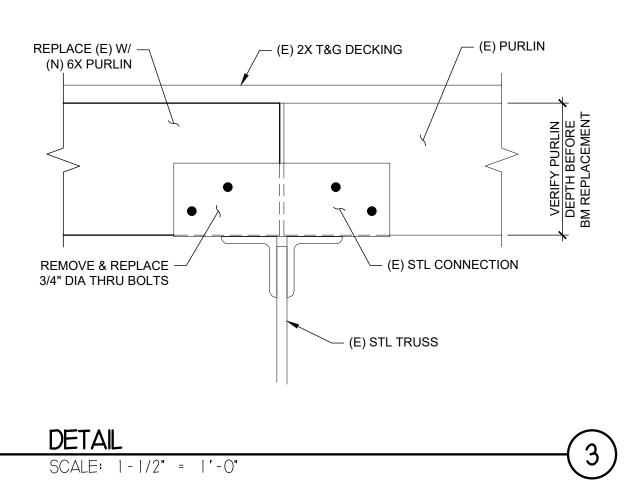


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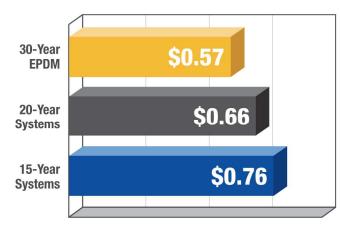


SAVINGS FOR TOMORROW

Long-term analysis has shown that a quality designed roof system can cut the life-cycle costs of your roof by up to 25%. Plus, by reducing the number of times you replace your roof, you are taking an active role in decreasing the amount of waste that is transported to landfills. Carlisle's 30-year roof system – good for you...good for the environment.

Why install two, average roof systems in a 30-year period when you can install Carlisle's premium, 30-year 90-mil EPDM only once? By investing today, savings can be recognized well down the road.

Equivalent Uniform Annual Cost (\$/s.f. per year)



ATTENTION TO DETAIL

Carlisle protects the best roofing membrane by addressing every detail, including higher performing insulation, cover board, and metal edging. System components produced under strict quality control guidelines outperform traditional methods assembled by hand on the roof.

Factory-Applied 6" Tape

A seam applied in a controlled factory environment is a tremendous advantage that enhances workmanship. Six inch Factory-Applied Tape greatly exceeds the peel and shear strength of hand applied seams while delivering a permanent watertight bond.

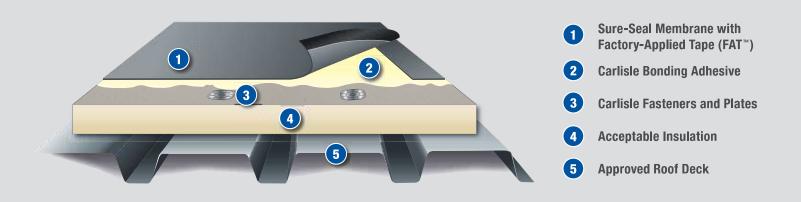
Rooftop Flashing Details Times Two

Critical flashing details are double wrapped for added security and resilient performance.





Sure-Seal[®] EPDM Fully-Adhered Roofing Systems



Sure-Seal EPDM Membranes for fully adhered roofing systems are available in the following:

Color	Black			
Thicknesses (mils)	45, 60 and 90			
Standard Widths	10' – 30'			
Standard Lengths	50'-100'			

System Features & Benefits:

- » Over 50 years of proven performance
- » In colder climates, dark-colored EPDM reduces heating costs, which are generally 3-5 times greater than cooling costs
- » Industry leading UV resistance of 41,580 kJ/m²
- » Full thickness of weathering material, no internal scrim
- » 465% elongation results in superior hail damage resistance
- » Lowest global warming potential, acid rain and smog impact according to EPA's TRACI model

	New Construction							Re-roofing		
Existing or New Deck Type	Steel	Plywood or OSB	Lt. Wt. Concrete	Structural Concrete	Wood Planks	Gypsum & Fibrous Cement	Smooth Surface BUR	Gravel Surfaced BUR	Existing Single-Ply	
Insulation Required	Yes	No	*Refer to Specs	No	Yes	Yes	No	Yes	Yes	
Recommended Insulations	Carlisle Polyiso, OSB or SecurShield [™] HD Cover Board over Polystyrene						Refer to New Construction			
Insulation Attached By	FAST [™] Adhesive (non-penetrating) or Carlisle Fasteners and Plates						Refer to New Construction			
Membrane Attached By	Carlisle-Approved Bonding Adhesive						Refer to New Construction			

FOR TEAR OFF OPTIONS REFER TO NEW CONSTRUCTION ABOVE.

For current code approvals, warranties and specifications and details, visit Carlisle's web site or contact Project Review.

* Refer to Carlisle's Adhered Design Criteria portion of the current specification for requirements.



Sure-Seal[®] EPDM Fully-Adhered Roofing Systems

Installation

Carlisle's fully adhered roofing system utilizes 45-, 60- and 90-mil Sure-Seal non-reinforced or 45-, 60- and 75-mil Sure-Tough[™] reinforced membranes.

Insulation is either mechanically fastened to the roof deck every two square feet, adhered with FAST Adhesive or other Carlisle approved insulation adhesive. Membrane is adhered to the insulation with Carlisle Approved Bonding Adhesive. Adjoining sheets of EPDM are spliced together a minimum of 3" using Carlisle's SecurTAPE[™] or FAT[™] seam technology.

The above information represents a typical Carlisle fully adhered roofing system. Refer to Carlisle's published specifications and details for more complete information.

Membrane and System Strengths

- » Carlisle manufactures all major components of the roof system
- » Dimensionally stable in both hot and cold climates
- » No slope restrictions
- » Lightweight assembly for a variety of decks
- » Reduces carbon footprint by lowering heating costs
- » Reduces safety hazard from snow and ice accumulation
- » Reduces hazardous rooftop conditions from frost, dew, or ice that are difficult to see on white membrane
- » Reduces potential condensation problems that can erode system performance
- » FAT Seam Technology and Pressure-Sensitive Flashing accessories enhance workmanship quality
- » 45-mil, 60-mil and 90-mil Sure-Seal membranes available for 15-, 25- and 30-year system warranties
- » Available in 10', 16¹/₂', 20', 25' and 30' widths. These widths of non-reinforced Sure-Seal membrane reduce splices between sheets
- » Using Sure-Tough reinforced membrane increases puncture resistance and tolerates heavy foot traffic
- » Carlisle's Fully Adhered Roof System offers design flexibility, addresses unconventional building configurations, and conforms to steeply sloped roof designs
- » Zero (no growth) rating for fungal growth

System Codes

- » UL Class A and B ratings are available over most deck types
- » FM uplift ratings up to 1-120 are available

For code specifics, refer to Carlisle's Code Approval Guide.

Quality Assurance

Carlisle Authorized Applicators have been trained to install fully adhered roofing systems.

Inspection

Upon installation completion, and prior to the issuance of a membrane system warrranty, an inspection will be conducted by a Carlisle Technical Representative.

Warranty

Consult your Authorized Applicator or Carlisle Manufacturer's Representative/Distributor for associated warranty charges.

This system properly installed and inspected on a commercial project may receive:

- » A 10-, 15-, 20-, 25- or 30-year (75-mil or 90-mil required) Golden Seal[™] Total System Warranty may be requested when all materials used for the roofing installation are manufactured or marketed by Carlisle. A maximum peak gust wind speed coverage of 55 miles per hour is standard. Additional coverage up to 30 years and 120 mph is available.
- » A 1" hail warranty is available with 60-mil EPDM and a 2" hail warranty is available with 75-mil or 90-mil EPDM
- » A 40-year non-prorated ELITE membrane material warranty is available with 90-mil black EPDM
- » Warranty for systems incorporating Carlisle's Sure-Tough membrane include coverage for damage caused by accidental punctures

For more specifics or for international warranty programs, contact Carlisle.

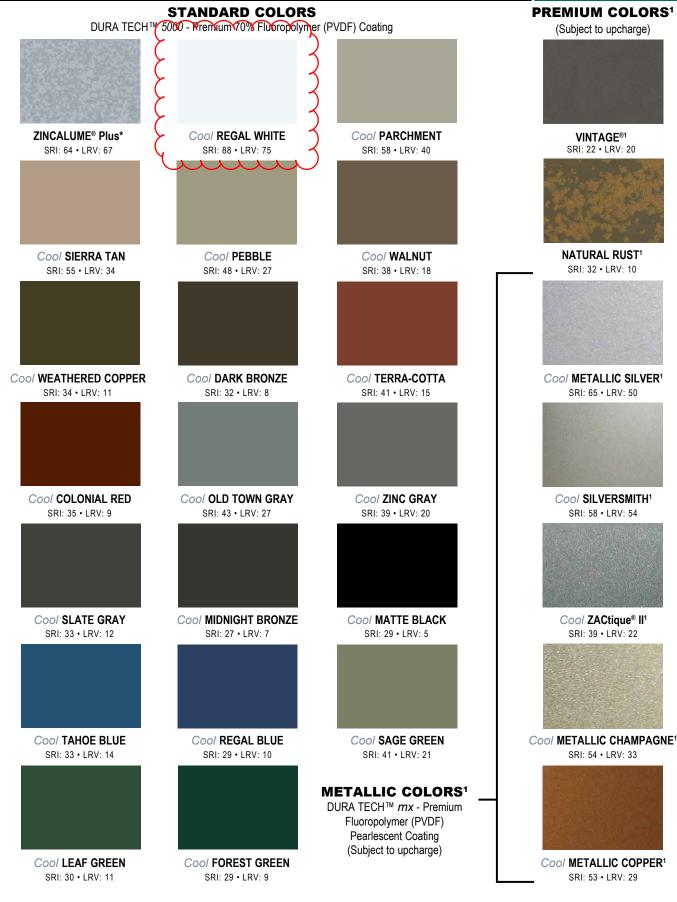


Carlisle, Sure-Seal, Sure-Tough, Sure-White, SecurTAPE, Golden Seal, FAST, FAT and Factory-Applied Tape are trademarks of Carlisle.

Architectural Metal Roofing and Siding COLOR CHART

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REPRESENTATION OF COLORS MAY VARY DUE TO PRINTING LIMITATIONS. Sample color chips are available upon request. Consult your AEP Span representative for more information.

800-733-4955

Custom colors available by request

www.aepspan.com