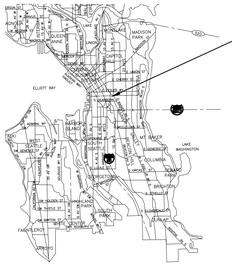


VICINITY MAP
CITY OF SEATTLE - NOT TO SCALE

LOCATION MAP

Project Address
1222 South King Street
Seattle, WA 98144

LEGAL DESCRIPTION
Parcel number: 817010-0175 / Legal Description: LOT 13, BLOCK 2, SYNDICATE ADDITION
Parcel number: 817010-0140 / Legal Description: LOT 6, BLOCK 2, SYNDICATE ADDITION LESS ST

Little Saigon Park Development

Parks Contract # 2064 PW # 2020-105 Project PRK # 730308-11

Funding Source: Seattle Parks District

Owner:
City of Seattle Department of Finance & Administrative Services,
Purchasing & Contracting Services Division

Administering Department:
City of Seattle Department of Parks and Recreation, Planning & Development Division
300 Elliot Ave. W., Suite 100 Seattle, WA 98119
Project Manager: Katie Bang, Senior Capital Projects Coordinator 206-684-9286

Landscape Architect /Lead Designer:
Murase Associates
210 E Boston Street, Seattle, WA 98102
Mark Tilbe, PLA, ASLA, Principal, 206-322-4937

Civil Engineer:
KPFF Consulting Engineers
1601 5th Avenue, Suite 1600, Seattle, WA 98101
Alberto Cisneros, PE, Associate, 206-622-5822

Structural Engineer:
Giraf Design
9220 Roosevelt Way NE, Seattle, WA 98115
Nic Rossouw, 206-621-0060

Electrical Engineer/ Lighting Design:
Rushing
1725 Westlake Avenue N, Seattle, WA 98109
Emily Carrasco, Lead Lighting Designer, 206-285-7100

STANDARD ABBREVIATIONS

Aban	Abandon(ed)	Gal	Gallon	Qty	Quantity
Adj	Adjust	GPM	Gallons Per Minute		
ADA	Americans with Disabilities Act	Galv	Galvanize/Galvanized	R	Radius
AIC	Aerial Interconnect	GIP	Galvanized Iron Pipe	RR	Railroad
Al	Aluminum	GSP	Galvanized Steel Pipe	Rlwy	Railway
AP	Angle Point	GM	Gas Meter	Reconn	Reconnect
Approx	Approximate	G Reg	Gas Regulator	Red	Reducer
Asph	Asphalt	Gas V	Gas Valve	Ref	Refer/Reference
ABW	Asphalt Bike Way	Gr	Grade	Reinf	Reinforcing/Reinforcement
ATB	Asphalt Treated Base	Gnd	Ground	RCP	Reinforced Concrete Pipe
ACV	Automatic Control Valve	GP	Guy Pole	Reloc	Relocate
AVB	Automatic Vacumn Breaker			Rem	Remove
Ave	Avenue	HH	Handhole	R&R	Remove and Replace
Avg	Average	HPG	High Pressure Gas	Repl	Replace
BV	Ball Valve	HPS	High Pressure Sodium	Req'd	Required
BOC	Beginning of Curb	Horiz	Horizontal	Ret	Retire(d)
BO	Blow Off	HB	Hose Bib	Rt	Right
BF	Bottom Face	HC	Hose Connection	R/W	Right of Way
Br	Brick	Hse	House	RGS	Rigid Galvanized Steel
Blkhd	Bulkhead	Hyd	Hydrant	RS	Rigid Steel
BfV	Butterfly Valve			Rdwy	Roadway
		In	Inch/Inches	RD	Roof Drain
Cb	Cable	Inl	Inlet		
Cal	Caliper	ID	Inside Diameter	SB	Sand Box
CIP	Cast Iron Pipe	IE	Invert Elevation	SCL	Seattle City Light
CB	Catch Basin	Inv	Invert (Line)	SED	Seattle Engineering Dept.
CL	Center Line	IP	Iron Pipe	SWD	Seattle Water Department
C-C	Center to Center	Irrg	Irrigation	SG	Subgrade
CLF	Chain Link Fence	IRC	Irrigation Controller	SD	Service Drain
Ch	Chamber	Irrg	Irrigation	Sht	Sheet
Cl	Class	IH	Irrigation Head	SS	Side Sewer – Combined
CO	Clean Out			SSS	Side Sewer – Sanitary
Clr	Clearance	Jt	Joint	Sl	Sleeve
Conc	Concrete	JB	Junction Box	Spcs	Spaces
CBW	Concrete Bike Way			Spec	Specification(s)
CC	Concrete Culvert	KV	Kilovolt	SH	Sprinkler Head
CW	Concrete Walk			Sq	Square
Cond	Condition	LIT	Large Inlet Top	Std	Standard
Cd	Conduit	Lt	Left	Stl	Steel
Conn	Connect	LP	Light Pole	Stl P	Steel Pipe
CMP	Corrugated Metal Pipe	LF	Lineal Feet	St	Street
Cont	Continuous	Loc	Location/Locate	SDS	Street Designation Sign
Cr	Cross	MH	Manhole	SLHH	Street Light Handhole
Cu Ft	Cubic Feet	MCV	Manual Control Valve	SNS	Street Name Sign
Cu Yd	Cubic Yard	MDV	Manual Drain Valve	Struct	Structural/Structure
Culv	Culvert	Max	Maximum	SL	Survey Line
C&G	Curb and Gutter	MJ	Mechanical Joint		
CR	Curb Radius	MVL	Mercury Vapor Light	T	Tee
		Min	Miniumum	Tel	Telephone
Dept	Department	Misc	Miscellaneous	TCb	Telephone Cable
Dia	Diameter	ML	Monument Line	TCd	Telephone Conduit
DB	Direct Burial Cable	NIC	Not In Contract	TC	Top of Curb
DGV	District Gate Valve	NTS	Not To Scale	THH	Telephone Handhole
DCV	Double Check Valve	No.	Number	TVCb	Television Cable
Dwy	Driveway			TVHH	Television Handhole
DIP	Ductile Iron Pipe	OC	On Center	Temp	Temporary
		OD	Outside Diameter	TH	Testhole
Ea	Each			TF	Top Face
Esmt	Easement	Pav	Pavement	Tr	Traffic
Ecc	Eccentric	PPB	Pedestrian Push Button	TrCb	Traffic Cable
Elec	Electric/Electrical	PDP	Perforated Drain Pipe	TrCd	Traffic Conduit
ECb	Electric Cable	PS	Pipe Sewer Combined	TCHH	Traffic Handhole
ECd	Electric Conduit	PSS	Pipe Sewer Sanitary	TrSB	Traffic Signal Box
ED	Electric Duct	PSD	Pipe Storm Drain	TrSP	Traffic Signal Pole
EMH	Electric Manhole	PSDD	Pipe Storm Drain Detention	XP	Transmission Pole
EV	Electric Vault	PE	Plain End	Typ	Typical
El	Elevation	PL	Plate		
Elev	Elevation	PCC	Point of Compound Curvature	VCh	Valve Chamber
Encl	Enclosure	PC	Point of Curvature	V/Var	Variable
EOC	End of Curb	PI	Point of Intersection	Vert	Vertical
Eq	Equal	PRC	Point of Reverse Curve	VB	Valve Box
Ex	Existing	PT	Point of Tangency	V/C	Vertical Curve
Exp	Expansion	PVC	Polyvinyl Chloride		
		LBS	Pounds	W	Water
Ft	Feet	PSI	Pounds per Square Inch	WM	Water Meter
FLP	Field Light Pole	PP	Power Pole	WCR	Wheel Chair Ramp
Fig	Figure	PPL	Power Pole with Light	w/	With
FF	Finished Floor	PRV	Pressure Reducing Valve	WP	Wood Pole
FG	Finish Grade	PVB	Pressure Vacumn Breaker	WSP	Wood Stave Pipe
FS	Finished Surface (paving)	PL	Property Line		
FM	Force Main	Prop	Proposed		

GENERAL NOTES:

SHEET INDEX

APPROVED FOR ADVERTISING:
Nancy Locke
Purchasing & Contracting Services Division

Seattle, Washington _____ 20_____
Date

Signature: _____
Director, Purchasing & Contracting Services Division

NO.	REVISION – AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/28/21
1	30% DD SUBMITTAL	12/05/19

REVIEWED: _____ _____
PARK ENGINEER DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

MURASE ASSOCIATES
LANDSCAPE ARCHITECTURE
200 East Boston, Seattle, WA 98102
T 206 322 4937 www.murase.com

Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

COVER SHEET

DESIGNED SM
DRAWN CA/DR
CHECKED MT
DATE 01/28/2021
SHEET 1 OF 26

ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE

L0.0

LEGEND

2 FOOT CONTOUR LINE	WM	WATER METER	IRRG = IRRIGATION CONTROL VALVE
1 FOOT CONTOUR LINE		WATER VALVE	IRRIGATION CONTROL BOX
COMBINATION SEWER LINE		SPRINKLER HEAD	PICNIC TABLE
WATERLINE W		FIRE HYDRANT	BENCH
WOOD FENCE		DOWNSPOUT	CONIFEROUS TREE
CHAINLINK FENCE		STORM SAND BOX	DECIDUOUS TREE
RAILING		STORM JUNCTION BOX	SHRUB
GUARD RAIL		STORM MANHOLE	
ROAD CENTERLINE		SAN. SEWER MANHOLE	
RIGHT OF WAY	GM	GAS METER	
IRRIGATION LINE	PM	POWER METER	
PARCEL LINE		SIGN	
		METAL POST	
		TRASH RECEPTACLE	
	BLRD	BOLLARD	
	EPP	POWER POLE W/LIGHT	
		GUY WIRE	
		LUMINAIRE	

HORIZONTAL DATUM: NAD83–2011 EPOCH 2010.00 DERIVED FROM THE WSRN AND NGS CORS

BASIS OF BEARING: WASHINGTON STATE PLANE COORDINATE SYSTEM, NORTH ZONE

VERTICAL DATUM: NAVD88, CITY OF SEATTLE

VERTICAL BENCHMARKS: SNV–2506, SNV–2628, 3805–3201

PARKS FIELD BOOK: #494

SURVEY NOTES:
FIELD MEASUREMENTS FOR THIS SURVEY PERFORMED WITH A TRIMBLE R10 GNSS RECEIVER REFERENCING WSRN WITH DUAL OCCUPATIONS AT POINTS 98 & 99 AND WITH A 3" TRIMBLE S6 TOTAL STATION USING TRAVERSE METHODS THAT MEET OR EXCEED ACCURACY REQUIREMENTS CONTAINED IN WAC 332–130–090.

SURVEY WAS CONDUCTED WITHOUT A CURRENT SUBDIVISION GUARANTEE OR TITLE REPORT. PARKS BOUNDARY LINES SHOWN FROM RECORD INFORMATION.

SITE CONTROL POINT: CONTROL POINT 105 MONUMENT IN CASE
ELEVATION=150.10

SITE CONTROL POINT: CONTROL POINT 110 TACK AND LEAD IN CONC WALK
ELEVATION=152.71

SITE CONTROL POINT: CONTROL POINT 112 MAG NAIL
ELEVATION=156.74

SITE CONTROL POINT: CONTROL POINT 113 BRASS CAP
ELEVATION=173.41

REFERENCE DOCUMENTS:

VAULT PLAN NO.: 776–150–6, I05544–W06191–48–X–1

SEWER CARDS: 4624, 6025

FIELD SURVEY DATE: 7/2/2020–RETAINING WALL PREVIOUSLY OBSCURED
11/20/2019–STORM AND SANITARY STRUCTURES
8/6&8/2018–SITE TOPOGRAPHY

PRJ. SURVEYOR: T. BARGER, PLS

PRIMARY CREW: S. KEESEE, PLS, J. NAYLOR, PLS, H. LIEU, PLS
N. SMITH, A. KNIGHT

OFFICE TECH: H. LIEU, PLS, T. BARGER, PLS

GEOREGISTRATION NOTES:
NW 1/4 SEC5, T24N, R4E, W.M. – TILE 089

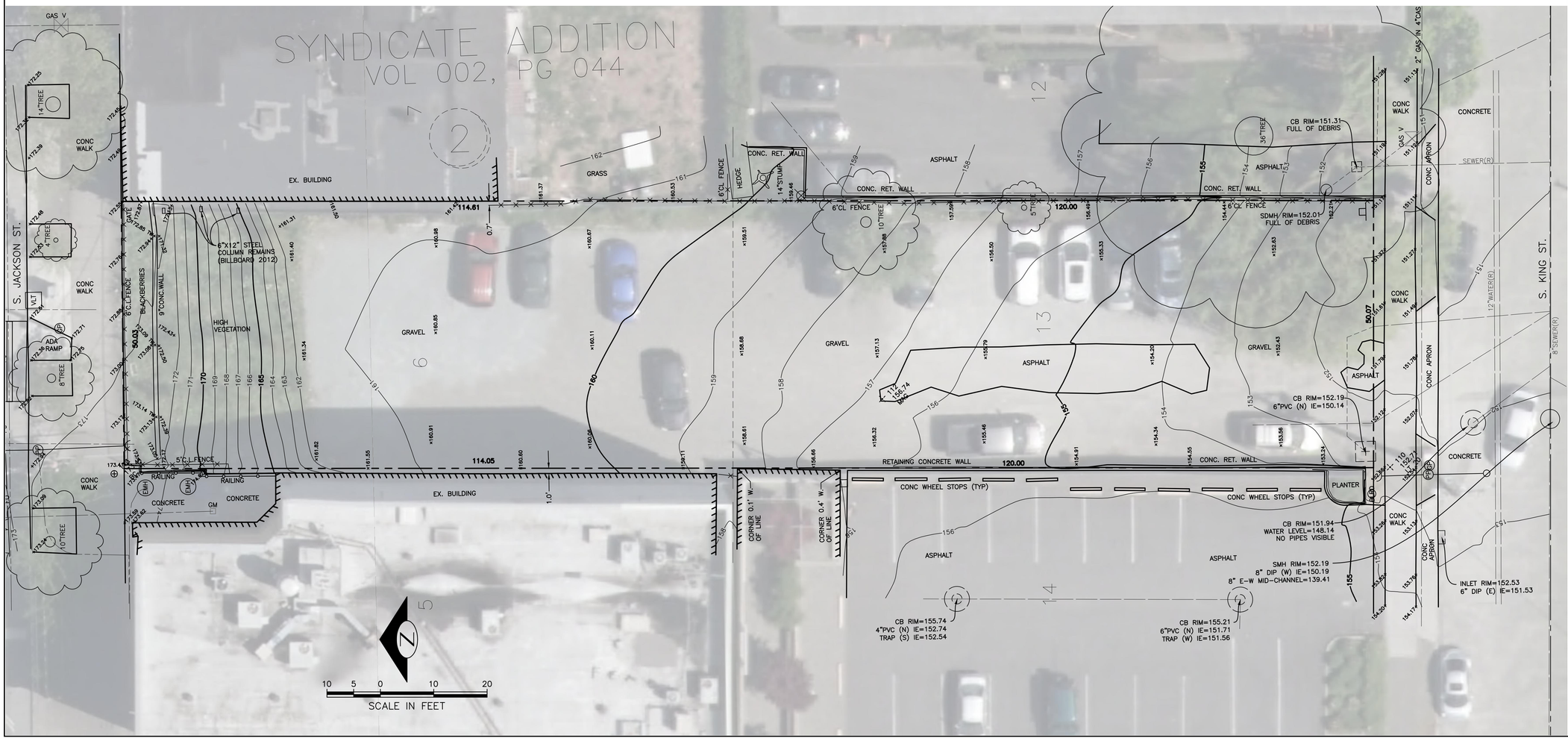
COMMENTS: 2015 ORTHOPHOTO SHOWN. 2012 AND 2017 ARE AVAILABLE.

TAX PARCEL ACCOUNT NUMBERS: 817010–0140–06 AND 817010–0175–04

LEGAL DESCRIPTION: (ABBREVIATED PER KING COUNTY ASSESSOR)
LOT 6, BLOCK 2 SYNDICATE ADDITION LESS ST;
LOT 13, BLOCK 2 SYNDICATE ADDITION

LEGAL DESCRIPTION: (PER SPECIAL WARRANTY DEED RECORDING NUMBER 20131109001181)
LOTS 6 AND 13, BLOCK 2, SYNDICATE ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 44, IN KING COUNTY, WASHINGTON;

EXCEPT THE NORTH 15 FEET OF SAID LOT 6 CONDEMNED IN KING COUNTY SUPERIOR COURT CAUSE NUMBER 56407 FOR WIDENING OF SOUTH JACKSON STREET.



>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER
BEFORE YOU DIG!
WWW.CALL811.COM

Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.

NO.	REVISION – AS BUILT	DATE
3		
2		
1	CONCRETE RETAINING WALL ADDED	7/2/2020

REVIEWED: _____ PARK ENGINEER _____ DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

SEATTLE PARKS AND RECREATION
Survey + Mapping
800 Maynard Avenue S., 2nd Floor
Seattle, WA 98134-1336

THOMAS S. BARGER JR. STATE OF WASHINGTON 56144 REGISTERED PROFESSIONAL LAND SURVEYOR

Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

TOPOGRAPHIC SURVEY

FIELD CREW SDK/JJN/ADK/HDL
DRAWN HDL/TSB
CHECKED TSB
DATE 11/20/2019
SHEET 2 OF 26

ORDINANCE NO. ######
SPECIFICATION NO. ####
SCALE 1" = 10'

L0.1

LITTLE SAIGON PARK DEVELOPMENT

1224 S KING STREET
SEATTLE, WASHINGTON

VICINITY MAP
SCALE: 1" = 200'±

PROJECT TEAM

OWNER:
SEATTLE PARKS AND RECREATION
300 ELLIOTT AVENUE WEST
SUITE 100
SEATTLE, WA 98119

ARCHITECT:
MURASE ASSOCIATES
200 E BOSTON STREET
SEATTLE, WA 98102
CONTACT:MARK TILBE

CIVIL ENGINEER
KPFF CONSULTING ENGINEERS
1601 5TH AVENUE, SUITE 1600
SEATTLE, WA 98101
CONTACT: ALBERTO CISNEROS

SURVEY INFORMATION
SURVEY BY: CITY OF SEATTLE

LEGAL DESCRIPTION
TAX PARCEL ACCOUNT NUMBERS: 817010-0140-06 AND 817010-0175-04

(ABBREVIATED PER KING COUNTY ASSESSOR)
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HORIZONTAL DATUM/BASIS OF BEARINGS
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WASHINGTON STATE PLANE COORDINATE SYSTEM, NORTH ZONE

VERTICAL DATUM
NAVD88, CITY OF SEATTLE

VERTICAL BENCHMARKS:
SNV-2506, SNV-2628, 3805-3201

PARKS FIELD BOOK:
#494

SHEET INDEX

PROPOSED LEGEND

- CEMENT CONCRETE SIDEWALK
- CEMENT VEHICULAR PAVEMENT
- ASPHALT CONCRETE PAVEMENT
- PAVERS (PER LANDSCAPE)
- PLANTING (PER LANDSCAPE)
- CURB
- PAVING THROUGH JOINT
- GRADE BREAK
- XXX.XX — SPOT ELEVATION
- X% — SLOPE ARROW
- RIGHT OF WAY LINE (SDCI)
- RIGHT OF WAY LINE (SIP)
- CENTERLINE
- EASEMENT LINE
- BUILDING OVERHANG
- BELOW GRADE BUILDING OUTLINE
- ELECTRICAL CONDUIT
- DUCT BANK
- PROJECT LIMITS
- CHANNELIZATION STRIPING
- STREETLIGHT LUMINAIRE
- X / XX — DETAIL NUMBER / SHEET NUMBER

ABBREVIATIONS

AGG	AGGREGATE	POC	POINT OF CONNECTION
ARCH	ARCHITECTURAL	PSD	PIPED STORM DRAIN (MAINLINE)
ASPH	ASPHALT		
AVE	AVENUE	PSE	PUGET SOUND ENERGY
B/BC	BOTTOM OF CURB	PSS	PIPED SANITARY SEWER (MAINLINE)
BM	BENCHMARK		
BSE	BOTTOM OF STAIR ELEVATION	RL	RIGHT OF WAY LINE
CB	CATCH BASIN	ROW	RIGHT OF WAY
CD	CONDUIT DUCT BANK	ROWIM	RIGHT OF WAY IMPROVEMENT MANUAL
CL	CENTER LINE, CLASS		
CO	CLEANOUT	ROWORR	SEATTLE RIGHT OF WAY OPENING AND RESTORATION RULES (SDOT DR1-2017)
COMM	COMMUNICATIONS		
CONC	CONCRETE		
COS	CITY OF SEATTLE	RT	RIGHT
DB	DUCT BANK	S	SOUTH
DSUB	DENNY SUBSTATION PROJECT	SCL	SEATTLE CITY LIGHT
DWG	DRAWING	SD	SERVICE DRAIN (STORM)
DWY	DRIVEWAY	SDCI	SEATTLE DEPARTENT OF CONSTRUCTION & INSPECTIONS
E	EAST		
ECB	ELECTRICAL CONDUIT, BURIED	SDOT	SEATTLE DEPARTMENT OF TRANSPORTATION
ECD	ELECTRICAL CONDUIT, DUCT		
ELEC	ELECTRICAL	SIP	STREET IMPROVEMENT PERMIT
EL/ELEV	ELEVATION	SL	STREET LIGHT
ESMT	EASEMENT	SNS	STREET NAME SIGN
EX/EXIST	EXISTING	SPU	SEATTLE PUBLIC UTILITIES
FF	FINISHED FLOOR	SS	SIDE SEWER COMBINED
FG	FINISH GRADE	SSS	SIDE SEWER SANITARY
FL	FLOW LINE	ST	STREET
FND	FOUNDATION	STA	STATION
FO	FIBER OPTIC	STD	STANDARD
FU	FRANCHISE UTILITY	TBD	TO BE DETERMINED
G	GAS	TBM	TEMPORARY BENCH MARK
HH	HANDHOLE	TC	TOP OF CURB
HMA	HOT MIX ASPHALT	TR	TRAFFIC
LA	LANDSCAPE ARCH	TS	TRAFFIC SIGNAL
LT	LEFT	TSE	TOP OF STAIR ELEVATION
MAX	MAXIMUM	TYP	TYPICAL
ME	MATCH EXISTING	UMP	UTILITY MAJOR PERMIT
MEP	PLUMBING (DESIGN BUILD)	UNO	UNLESS NOTED OTHERWISE
MH	MANHOLE	W	WATER, WEST, WITH
MIN	MINIMUM	WAC	WASHINGTON ADMINISTRATIVE CODE
MNRL	MINERAL		
NO	NUMBER	WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
N	NORTH		
P	PRIMARY POWER		
PED	PEDESTRIAN	#	NUMBER
PL	PROPERTY LINE	&	AND

UTILITY PROVIDERS:

SANITARY SEWER AND STORM DRAINAGE:
SEATTLE PUBLIC UTILITIES
PROJECT MANAGEMENT AND ENGINEERING
700 5TH AVENUE
PO BOX 34018
SEATTLE, WA 98124-4018
(206) 233-7900

WATER:
SEATTLE PUBLIC UTILITIES
700 5TH AVENUE, SUITE 4900
PO BOX 34018
SEATTLE, WA 98124-4018
(206) 684-3000

POWER:
SEATTLE CITY LIGHT
700 5TH AVENUE, SUITE 3200
SEATTLE, WA 98124-4023
(206) 684-3000

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NO.	REVISION – AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/28/21
1	30% DD SUBMITTAL	12/05/19

REVIEWED: _____ PARK ENGINEER _____ DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

kpff
1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

ALBERTO G. CISNEROS — STATE OF WASHINGTON — 32120 — REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY

Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

COVER SHEET

DESIGNED SM
DRAWN CA/DR
CHECKED MT
DATE 01/28/21
SHEET 3 OF 26
ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE

C0.0

X

GENERAL NOTES (GENERAL NOTES FOR SDOT STREET IMPROVEMENT PLANS)

1. ALL WORK SHALL CONFORM TO THE 2020 EDITION OF CITY OF SEATTLE STANDARD SPECIFICATIONS, THE 2020 EDITION OF THE CITY OF SEATTLE STANDARD PLANS; AND SEATTLE DEPARTMENT OF TRANSPORTATION DIRECTOR'S RULE 01-2017 RIGHT-OF-WAY OPENING AND RESTORATION RULES. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION.
2. A COPY OF THE APPROVED PLAN MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
3. ERRORS AND OMISSIONS ON THE PERMITTED PLANS MUST BE CORRECTED BY THE ENGINEER AND APPROVED BY THE CITY OF SEATTLE.
4. ALL PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
5. PRIOR TO THE START OF CONSTRUCTION WITHIN THE RIGHT OF WAY, THE PERMITTEE/CONTRACTOR SHALL SCHEDULE AND ATTEND A PRECONSTRUCTION MEETING WITH THE CITY OF SEATTLE DEPARTMENT OF TRANSPORTATION.
6. PERMITTEE/CONTRACTOR SHALL CONTACT SEATTLE DEPARTMENT OF TRANSPORTATION, STREET USE INSPECTOR A MINIMUM OF 2 BUSINESS DAYS PRIOR TO NEEDING AN INSPECTION.
7. ALL DAMAGE TO CITY INFRASTRUCTURE CAUSED BY THE CONSTRUCTION SHALL BE IMMEDIATELY REPORTED AND REPAIRED AS REQUIRED BY THE SEATTLE DEPARTMENT OF TRANSPORTATION. TO REPORT DAMAGE TO SPU INFRASTRUCTURE, INCLUDING ANY SEWAGE RELEASE OR BLOCKAGE, CALL 206-386-1800.
8. THE APPROVED PLANS SHALL SHOW THE APPROXIMATE AREA OF PAVEMENT RESTORATION BASED ON THE DEPTH OF UTILITY CUTS AND/OR THE AREA OF CURB AND/OR PAVEMENT TO BE REMOVED AND REPLACED. THE ACTUAL LIMITS OF THE PAVEMENT RESTORATION SHALL BE PER THE DIRECTOR'S RULE 01-2017, RIGHT-OF-WAY OPENING AND RESTORATION RULE AND WILL BE DETERMINED IN THE FIELD BY THE SEATTLE DEPARTMENT OF TRANSPORTATION STREET USE INSPECTOR PRIOR TO THE PAVEMENT RESTORATION. FOR SPU WATER SERVICES, APPLICANT MUST SHOW THE PAVEMENT RESTORATION LIMITS FOR THE PROPOSED AND THE EXISTING WATER SERVICES TO BE RETIRED, INCLUDING SERVICES THAT ARE OUTSIDE THE PROJECT AREA, BUT SERVE THE PARCEL.
9. DATUM: NAVD 88 AND NAD83 (1991).
10. SURVEYING AND STAKING OF ALL IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY SHALL BE COMPLETED PRIOR TO CONSTRUCTION. PERMITTEE/CONTRACTOR TO STAKE THE CURB AT THE CENTERLINE OF DRAINAGE GRATES PER STANDARD PLAN 260A. SURVEY GRADE SHEETS MUST BE SUBMITTED AND APPROVED BY THE SEATTLE DEPARTMENT OF TRANSPORTATION AT LEAST 2 BUSINESS DAYS PRIOR TO CONSTRUCTION.
11. IF AN EXISTING CURB IS TO BE REMOVED AND REPLACED IN THE SAME LOCATION THE PERMITTEE/CONTRACTOR SHALL PROVIDE THE STREET USE INSPECTOR A PLAN WITH EXISTING FLOW LINE AND TOP OF CURB ELEVATIONS IDENTIFIED. PERMITTEE/CONTRACTOR TO STAKE THE LOCATION OF THE EXISTING CURB PRIOR TO DEMOLITION.
12. THE PERMITTEE/CONTRACTOR SHALL BE RESPONSIBLE FOR REFERENCING AND REPLACING ALL MONUMENTS THAT MAY BE DISTURBED, DESTROYED OR REMOVED BY THE PROJECT AND SHALL FILE AN APPLICATION FOR PERMIT TO REMOVE OR DESTROY A SURVEY MONUMENT WITH THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, PURSUANT TO RCW 58.24.040(8).
13. THE PERMITTEE/CONTRACTOR SHALL SUBMIT ALL APPLICABLE DOCUMENTS REQUIRED UNDER SECTION 1-05.3 OF THE STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION. A MATERIAL SOURCE FORM FOR ALL MATERIALS TO BE PLACED IN THE RIGHT OF WAY AND MIX DESIGNS FOR ALL ASPHALT, CONCRETE AND AGGREGATES TO BE PLACED IN THE RIGHT OF WAY MUST BE SUBMITTED TO THE SEATTLE DEPARTMENT OF TRANSPORTATION FOR REVIEW AND APPROVAL PRIOR TO BEGINNING CONSTRUCTION. A REVISED MATERIAL SOURCE FORM AND MIX DESIGNS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY SUBSTITUTE MATERIALS.
14. THE PERMITTEE/CONTRACTOR SHALL NOTIFY THE SEATTLE FIRE DEPARTMENT DISPATCHER (206-386-1495) AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF ALL WATER SERVICE INTERRUPTIONS, HYDRANT SHUTOFFS, AND STREET CLOSURES OR OTHER ACCESS BLOCKAGE. THE PERMITTEE/CONTRACTOR SHALL ALSO NOTIFY THE DISPATCHER OF ALL NEW, RELOCATED, OR ELIMINATED HYDRANTS RESULTING FROM THIS WORK.
15. THE PERMITTEE/CONTRACTOR SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION.
16. THE PERMITTEE/CONTRACTOR SHALL CONTACT THE UNDERGROUND UTILITIES LOCATOR SERVICE (811) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
17. IT IS THE SOLE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR TO VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
18. THE PERMITTEE/CONTRACTOR SHALL ADJUST ALL EXISTING MAINTENANCE HOLE RIMS, DRAINAGE STRUCTURE LIDS, VALVE BOXES, AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY THE PROPOSED IMPROVEMENTS.
19. THE PERMITTEE/CONTRACTOR SHALL FOLLOW SPU CORE TAP PROCEDURES FOR ALL NEW CONNECTIONS TO EXISTING SEWER OR DRAINAGE MAINS OR STRUCTURES. CONTRACTORS ARE NOT ALLOWED TO CORE INTO MAINS OR STRUCTURES WITHOUT PRIOR APPROVAL FROM SPUDWW. TO SCHEDULE CORE CUT CONTACT SPU-DWW AT 206-615-0511 A MINIMUM OF 2 BUSINESS DAYS IN ADVANCE.
20. ALL UTILITY SERVICE CONNECTIONS SHOWN ON THIS PLAN REQUIRE SEPARATE PERMITS.
21. THE PERMITTEE/CONTRACTOR SHALL PROVIDE FOR ALL TESTING AS REQUIRED BY THE STREET USE INSPECTOR.
22. INSPECTION AND ACCEPTANCE OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY REPRESENTATIVES OF THE CITY OF SEATTLE. IT SHALL BE THE PERMITTEE/CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS ALLOWING FOR PROPER ADVANCE NOTICE. THE SEATTLE DEPARTMENT OF TRANSPORTATION STREET USE INSPECTOR MAY REQUIRE REMOVAL AND RECONSTRUCTION OF ANY ITEMS PLACED IN THE RIGHT OF WAY THAT DO NOT MEET CITY STANDARDS OR THAT WERE CONSTRUCTED WITHOUT APPROPRIATE INSPECTIONS.
23. THE PERMITTEE/CONTRACTOR SHALL PROVIDE A PLAN FOR STORMWATER AND EROSION CONTROL AND INSTALL, MAINTAIN AND REMOVE TEMPORARY FACILITIES PER SECTION 8-01. AS CONSTRUCTION PROGRESSES AND CONDITIONS DICTATE, ADDITIONAL CONTROL FACILITIES MAY BE REQUIRED. DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THE PERMITTEE/CONTRACTOR'S ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.
24. ALL DISTURBED SOILS MUST BE AMENDED PER STANDARD PLAN 142 AND SECTION 8-02 OF THE STANDARD SPECIFICATIONS UNLESS WITHIN ONE FOOT OF A CURB OR SIDEWALK, THREE FEET OF A UTILITY STRUCTURE (E.G. WATER METER, UTILITY POLE, HAND HOLE, ETC.), OR THE DRIPLINE OF AN EXISTING TREE.
25. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE TRAFFIC CONTROL MANUAL FOR IN-STREET WORK. AN APPROVED TRAFFIC CONTROL PLAN WILL BE REQUIRED FOR ALL ARTERIAL STREETS, HIGH IMPACT AREAS AND CONSTRUCTION HUBS PRIOR TO BEGINNING CONSTRUCTION.
26. PERMITTEE/CONTRACTOR SHALL NOTIFY KING COUNTY METRO AT 206-477-1140 FOURTEEN DAYS IN ADVANCE OF ANY IMPACT TO TRANSIT OPERATIONS. CALL 206-477-1150 FOR ANY COORDINATION RELATED TO KING COUNTRY METRO TROLLEY (INCLUDING SLU AND FIRST HILL STREET CAR). CONTACT KING COUNTY METRO TWO MONTHS PRIOR FOR ANY TROLLEY DE-ENERGIZING REQUESTS.
27. COORDINATE PARKING/LOADING SIGN(S) AND PAY STATION REMOVAL / RELOCATION AND INSTALLATION WITH SEATTLE DEPARTMENT OF TRANSPORTATION CURB SPACE MANAGEMENT AT 206-684-5370 WITH AT LEAST 10 BUSINESS DAYS' NOTICE. SIGNPOSTS ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD PLANS 616, 620, 621A, 621B, 625, & 626.
28. ALL STREET NAME SIGNS MUST BE INSTALLED BY SEATTLE DEPARTMENT OF TRANSPORTATION AT THE PERMITTEE/CONTRACTOR'S EXPENSE.
29. ALL WORK PERFORMED BY SEATTLE CITY LIGHT, SEATTLE PUBLIC UTILITIES, AND OTHER UTILITIES TO INSTALL, REPAIR, REMOVE OR RELOCATE UTILITIES SHALL BE DONE AT THE PERMITTEE/CONTRACTOR'S EXPENSE.
30. PERMITTEE/CONTRACTOR MUST CONTACT THE SEATTLE DEPARTMENT OF PARKS AND RECREATION TO APPLY FOR A SEPARATE PERMIT IF WORKING WITHIN A DESIGNATED PARK BOULEVARD.
31. CARE SHALL BE EXERCISED WHEN EXCAVATING OR REMOVING PAVEMENT NEAR EXISTING CHARGED WATER MAINS. CAST IRON WATER MAINS ARE KNOWN TO BE SENSITIVE TO EXCESSIVE VIBRATION. COORDINATE PROTECTION METHODS WITH SPU.

CITY OF SEATTLE WATER SERVICE NOTES

1. APPLICATION FOR A NEW METERED WATER SERVICE AND PAYMENT OF ALL FEES IS REQUIRED BEFORE SERVICE WILL BE AVAILABLE.
2. APPLICANT WILL NEED A WATER AVAILABILITY CERTIFICATE (WAC) AND LEGAL DESCRIPTION OF PROPERTY WHEN SUBMITTING THE APPLICATION. TO OBTAIN A WAC, PLEASE CONTACT THE DEVELOPMENT SERVICES OFFICE AT (206) 684-3333 OR SPUWATERAVAILABILITY@SEATTLE.GOV.
3. ALL WATER SERVICES SHALL BE LOCATED IN THE PUBLIC RIGHT OF WAY AND WITHIN THE FRONTAGE OF THE PARCEL BEING SERVED.
4. ALL WATER SERVICES PIPING ON PROPERTY MUST BE INSPECTED PRIOR TO BACKFILLING TRENCH. CONTACT (206) 684-5800 TO REQUEST AN INSPECTION.
5. CUSTOMERS ARE REQUIRED TO INSTALL AN APPROVED AIR GAP OR REDUCED-PRESSURE BACKFLOW ASSEMBLY (RPBA/RPDA) ON ALL WATER SERVICE CONNECTIONS POSING A HIGH HEALTH CROSS-CONNECTION HAZARD (PURSUANT TO WAC 246-290-490). BACKFLOW PREVENTION IS ALSO REQUIRED ON WATER SERVICE CONNECTIONS SUCH AS FIRE SERVICES, IRRIGATION SERVICES, BUILDINGS EXCEEDING THREE STORIES OR 30 FT. IN HEIGHT ABOVE THE METER (MEASURED TO THE HIGHEST WATER FIXTURE), AND MAY BE REQUIRED FOR OTHER WATER SERVICES. SPU AND KING COUNTY HEALTH DEPARTMENT (KCHD) ARE THE ADMINISTRATIVE AUTHORITIES ENGAGED IN A JOINT PROGRAM IDENTIFYING ACTUAL AND POTENTIAL CROSS-CONNECTIONS BETWEEN THE PUBLIC WATER SUPPLY AND POSSIBLE SOURCES OF CONTAMINATION. FOR ANSWERS TO SPECIFIC CROSS-CONNECTION CONTROL QUESTIONS OR TO REQUEST AN INSPECTION, PLEASE CALL (206) 684-3536.

CITY OF SEATTLE EROSION/SEDIMENT CONTROL (ESC) NOTES:

1. THE CONTRACTOR SHALL PREPARE A WORK PLAN FOR TEMPORARY EROSION AND SEDIMENTATION CONTROL AS REQUIRED PER COS GENERAL NOTES FOR SIP# 23. IMPLEMENTATION, CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS ACCEPTED BY THE CITY.
2. THE ESC FACILITIES SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS.
3. THE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND BERMS, ETC.) BY THE CONTRACTOR AS NEEDED FOR UNEXPECTED STORM EVENTS.
4. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED AS NECESSARY OR AS DIRECTED BY THE ENGINEER TO ENSURE THEIR CONTINUED FUNCTIONING.
5. WATER FROM DISTURBED AREAS SHALL BE DIRECTED TO BAKER TANKS AS NEEDED OR AS DIRECTED BY THE ENGINEER.
6. THE CONTRACTOR SHALL FIELD LOCATE THE ESC FACILITIES TO ACCOMMODATE CONSTRUCTION SEQUENCING.
7. CONTRACTOR SHALL PROVIDE CONSTRUCTION FENCING AS REQUIRED FOR SAFETY AND AS DIRECTED BY THE ENGINEER.
8. CATCH BASINS IN THE STREET SHALL BE INSPECTED DAILY BY THE CONTRACTOR. WATER LEAVING THE WORK AREA DURING CONSTRUCTION, INCLUDING WATER CARRIED BY THE TRUCK TIRES, SHALL BE CLEAN. THE CONTRACTOR SHALL CLEAN CITY CATCH BASINS AND IMPLEMENT EXTRA SEDIMENTATION CONTROL METHODS IF NECESSARY AND AS DIRECTED BY THE ENGINEER.
9. EXCAVATION DEWATERING THAT INCLUDES DISCHARGE TO THE CITY STREET, CATCH BASIN, OR SEWER SHALL BE IMPLEMENTED ONLY AFTER APPROVAL BY THE ENGINEER.
10. NO SEDIMENT SHALL BE TRACKED INTO THE STREET OR ONTO PAVED SURFACES. SEDIMENT SHALL BE REMOVED FROM TRUCKS AND EQUIPMENT PRIOR TO LEAVING THE SITE. IN THE EVENT OF FAILURE OF THE EROSION CONTROL SYSTEM RESULTING IN SEDIMENT BEING TRACKED ONTO PAVED SURFACES, THE CONTRACTOR SHALL IMMEDIATELY IMPLEMENT MEASURES TO CORRECT THE SITUATION, AND STREET SWEEPING SHALL BE EMPLOYED ON AN EMERGENCY BASIS. IF STREET SWEEPING VEHICLES ARE UTILIZED, THEY SHALL BE OF THE TYPE THAT REMOVES THE SEDIMENT FROM THE PAVEMENT.
11. CONTRACTOR SHALL COMPLY WITH NPDES PERMIT REGULATIONS AND REQUIREMENTS AS APPLICABLE.

CITY OF SEATTLE CONSTRUCTION STORMWATER CONTROL (CSC) GENERAL NOTES:

1. A FIRST GROUND DISTURBANCE INSPECTION IS REQUIRED PRIOR TO START OF WORK ON ALL SITES WITH LAND DISTURBING ACTIVITY.
2. SCHEDULE A FIRST GROUND DISTURBANCE INSPECTION FOR A ISSUED BUILDING PERMIT AT 206-684-8900 OR ONLINE AT WWW.SEATTLE.GOV/DPD/PERMITS/INSPECTIONS/
3. THE APPLICANT SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) SUPERVISOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPS). FOR LARGE CONSTRUCTION PROJECTS, THE ESC SUPERVISOR SHOULD BE A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESCL). PROVIDE THE NAME AND PHONE NUMBER OF THE ESC SUPERVISOR TO THE SITE INSPECTOR AT THE FIRST GROUND DISTURBANCE INSPECTION.
4. BMPS SHALL BE INSTALLED PRIOR TO STARTING CONSTRUCTION TO ENSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROJECT SITE OR ENTER ROADSIDE DITCHES, STORM DRAINS, SURFACE WATERS, OR WETLANDS.
5. THE BMPS INCLUDED IN THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT BMPS ARE MODIFIED AS NEEDED FOR UNEXPECTED STORM EVENTS OR OTHER UNFORESEEN CIRCUMSTANCES, AND TO ACCOUNT FOR CHANGING SITE CONDITIONS.
6. ANY AREAS OF DISTURBED SOIL THAT WILL NOT BE WORKED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) OR SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) SHALL BE IMMEDIATELY STABILIZED WITH APPROVED BMP METHODS (E.G. STRAW, MULCH, PLASTIC COVERING, COLD MIX, ETC.)
7. GRADING AND/OR SOIL DISTURBING ACTIVITIES MAY BE LIMITED OR PROHIBITED FOR CERTAIN SITES SUBJECT TO ECA STANDARDS (I.E. ECA STEEP SLOPES, LANDSLIDE PRONE AREAS, ETC.) BETWEEN OCTOBER 31ST AND APRIL 1ST. IF NOTED IN THE GEOTECHNICAL SPECIAL INSPECTIONS REQUIREMENTS, A GRADING SEASON EXTENSION LETTER (GSEL) ISSUED BY SDCI IS REQUIRED FOR ALL GRADING AND/OR SOIL DISTURBING ACTIVITIES DURING THIS PERIOD. THE GEOTECHNICAL SPECIAL INSPECTOR MUST SUBMIT ELECTRONIC APPLICATIONS FOR A GSEL USING THE SDCI PROJECT PORTAL. ALLOW FOUR TO SIX WEEKS FOR PROCESSING. FAILURE TO OBTAIN THE GSEL PRIOR TO OCTOBER 31 MAY RESULT IN A WORK STOPPAGE.
8. CITY STREETS AND SIDEWALK SHALL BE KEPT CLEAN AT ALL TIMES. NO MATERIAL SHALL BE STORED ON CITY STREETS OR SIDEWALKS WITHOUT A STREET USE PERMIT FROM THE SEATTLE DEPARTMENT OF TRANSPORTATION (SDOT).
9. POLLUTION CONTROL MEASURES SHALL BE FOLLOWED TO ENSURE THAT NO LIQUID PRODUCTS OR CONTAMINATED WATER ENTERS ANY STORM DRAINAGE FACILITIES OR OTHERWISE LEAVES THE PROJECT SITE. ANY HAZARDOUS MATERIALS OR LIQUID PRODUCTS THAT HAVE THE POTENTIAL TO POLLUTE RUNOFF SHALL BE STORED AND DISPOSED OF PROPERLY.
10. ENSURE THAT WASHOUT FROM CONCRETE TRUCKS IS PERFORMED OFF-SITE OR IN DESIGNATED CONCRETE WASHOUT AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND, OR TO STORM DRAINS OR OPEN DITCHES. DO NOT DUMP EXCESS CONCRETE ONSITE, EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS.
11. ALL AREAS OF DISTURBED SOIL SHALL BE FULLY STABILIZED WITH THE APPROPRIATE SOIL AMENDMENT AND COVER MEASURE AT COMPLETION OF THE PROJECT. TYPICAL COVER MEASURES INCLUDE LANDSCAPING OR HYDROSEED WITH MULCH.

GENERAL SITE UTILITY NOTES:

1. COORDINATE WITH THE OWNER FOR ALL UTILITY SHUT DOWNS AND BYPASSES.
2. VERIFY ALL EXISTING UTILITY DEPTHS AND LOCATIONS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
3. ALL WATER INVERT ELEVATIONS SHALL BE CONTROLLED BY THE EXISTING UTILITIES, UTILITY CROSSING CLEARANCES AND MINIMUM COVER REQUIREMENTS. THESE PLANS SHOW THE PROPOSED ROUTING OF WATER PIPES. CONTRACTOR SHALL INSTALL WATER PIPES AS FOLLOWS, UNLESS NOTED OTHERWISE:
   - 3.0' MIN COVER
   - 12" MINIMUM CLEAR FROM OBSTRUCTIONS (PIPE, VAULTS, ETC.), UNLESS NOTED OTHERWISE.
   - 18" MINIMUM VERTICAL AND 10.0' MINIMUM HORIZONTAL CLEAR FROM SANITARY SEWER PIPES MEASURED FROM THE OUTSIDE EDGE OF PIPE.
4. CONSTRUCT WATER LINES IN ORDER TO AVOID CREATING HIGH OR LOW POINTS. WHERE HIGH OR LOW POINTS ARE CREATED, CONTRACTOR SHALL INSTALL AIR RELEASE/VACUUM VALVES OR BLOWOFF VALVES. PRIOR TO CREATING A HIGH/LOW POINT, CONTRACTOR SHALL CONSULT WITH THE OWNER TO AVOID PLACING VALVES IN UNDESIRABLE LOCATIONS.
5. PROVIDE THRUST BLOCKING WHERE INDICATED PER COS PLANS 330a, 330b, 331a, AND 331b.
6. RESET RIMS AND LIDS OF EXISTING UTILITY STRUCTURES TO REMAIN TO MATCH FINISH GRADE.
7. ALL DIMENSIONS, STATIONS, OFFSETS, NORTHINGS AND EASTINGS SHOWN FOR UTILITY STRUCTURES ARE MEASURED TO THE CENTER OF STRUCTURE, UNLESS NOTED OTHERWISE.
8. HORIZONTAL CONTROL PROVIDED FOR ALL HORIZONTAL UTILITY BENDS AND SWEEPS IS TO THE POINT OF INTERSECTION OF THE CENTERLINES OF THE STRAIGHT UTILITY ALIGNMENTS.
9. PIPE BEDDING FOR SANITARY SEWER PIPES SHALL BE PER COS STD PLAN 285. PIPE BEDDING FOR WATER PIPES SHALL BE PER COS STD PLAN 350.

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NO.	REVISION – AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/28/21
1	30% DD SUBMITTAL	12/05/19

REVIEWED: PARK ENGINEER ______ DATE ______

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

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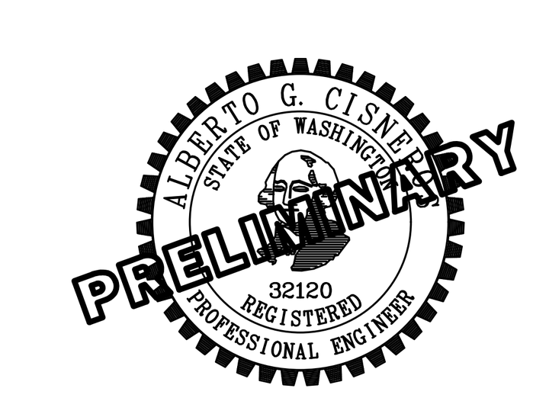


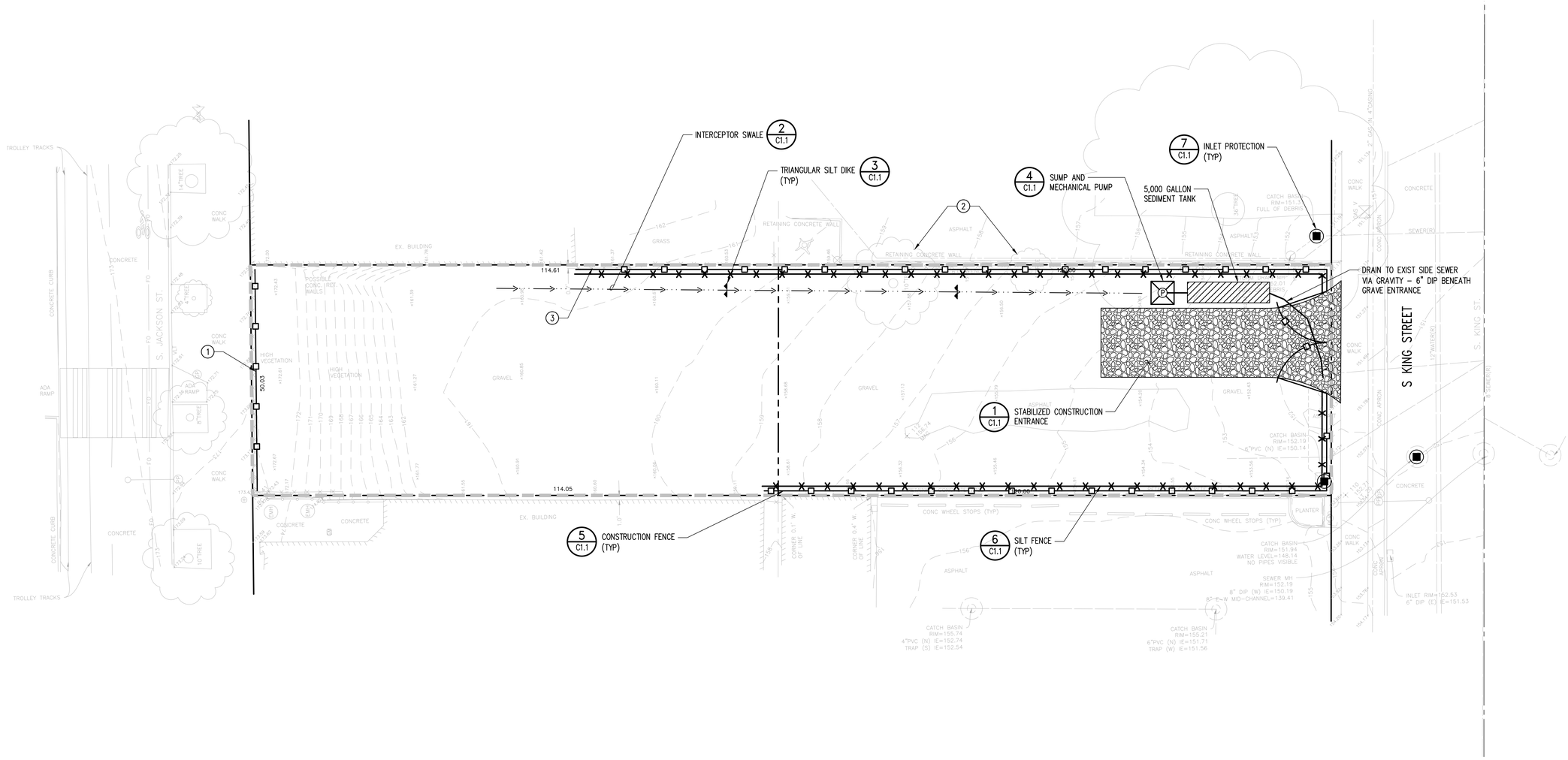
Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

GENERAL NOTES

DESIGNED SM	DATE 01/28/21
DRAWN CA/DR	SHEET 4 OF 26
CHECKED MT	
ORDINANCE NO. 125475	**C0.1**
CONTRACT NO. 2064	
SCALE	



LEGEND

- LIMITS OF CONSTRUCTION
- INTERCEPTOR SWALE
- CONSTRUCTION FENCE
- SILT FENCE
- CONSTRUCTION ENTRANCE
- TRIANGULAR SILT DIKE
- STORM DRAIN INLET PROTECTION
- RIGHT OF WAY/PROPERTY LINE
- SUMP AND PUMP

DEMOLITION NOTES:

1. TEMPORARY SECURITY FENCE SHALL BE INCLUDED WITHIN LIMITS OF WORK AND RECONNECTED ATO OTHER EXISTING CHAIN LINK FENCE IF ALLOWED.
2. REMOVE EXISTING TREES WITHIN LIMITS OF WORK.
3. REMOVE EXISTING CHAIN LINK FENCE LOCATED WITHIN LIMITS OF WORK.

TESC NOTES:

1. CONTRACTOR SHALL COORDINATE WITH CITY OF SEATTLE PRIOR TO DISCHARGING CONSTRUCTION WATER FROM THIS SITE. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE SIDE SEWER PERMIT FOR TEMPORARY DEWATERING, AS REQUIRED BY THE CITY OF SEATTLE
2. GROUNDWATER DEWATERING TO COMBINED SEWERS MUST BE METERED PRIOR TO DISCHARGE. CONTACT THE SPU SUBMETER PROGRAM OFFICE AT (206) 684-5089 TO DETERMINE THE REQUIRED METER TYPE, INSTALLATION LOCATION AND BILLING INFORMATION AND TO SCHEDULE AN INSPECTION OF YOUR METER AFTER INSTALLATION.
3. PUMP DISCHARGE PIPE AND PUMP SYSTEM SHOWN FOR COORDINATION PURPOSES ONLY. PUMP DISCHARGE PIPE, AND PUMP SHALL BE DESIGNED BY CONTRACTOR AND FIELD LOCATED AS NEEDED TO ACCOMMODATE CONSTRUCTION ACTIVITIES. ADDITION SUMPS AND PUMPS MAY BE REQUIRED FOR TEMPORARY DEWATERING OF GROUNDWATER.
4. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS DURING CONSTRUCTION PERIOD. THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT LADEN-WATER DOES NOT LEAVE THE SITE.
5. PER VOLUME 2 OF SDCI DIRECTOR'S RULE 17-2017, SEDIMENT SETTLING TANK(S) SHALL BE FIELD LOCATED AND SHALL HAVE A MINIMUM TOTAL CAPACITY OF 5,000 GALLONS, BASED ON THE 2-YEAR, 24-HOUR DESIGN STORM PEAK VOLUME FOR A DISTURBED SITE AREA OF 0.27 ACRES WITHIN THE LIMITS OF CONSTRUCTION. CONTRACTOR SHALL MONITOR DISCHARGE FLOW INTO DEDICATED STORM PIPE. INCLUDE SAND FILTER, AS REQUIRED, TO MEET THE CITY OF SEATTLE TURBIDITY AND PH DISCHARGE REQUIREMENTS. ADDITIONAL STORAGE VOLUME MAY BE REQUIRED TO MEET MAXIMUM DAILY DISCHARGE RATES DURING TEMPORARY DEWATERING OPERATIONS.
6. THE CONTRACTOR SHALL LOCATE AND PROVIDE A CONCRETE WASHOUT FACILITY IN ACCORDANCE WITH CITY OF SEATTLE REQUIREMENTS. WASHOUT FACILITY SHALL NOT BE LOCATED IN AN AREA THAT RECEIVES SURFACE WATER RUNOFF AND SHALL NOT BE LOCATED WITHIN 50 FEET OF A DITCH OR CONNECTION TO THE STORM DRAIN SYSTEM.
7. A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD SHALL BE PRESENT ON-SITE OR BE ON-CALL AT ALL TIMES.
8. CONTRACTOR SHALL FIELD LOCATE A CONSTRUCTION ENTRANCE PER CITY OF SEATTLE DPD STANDARD DRAWING E2.10.

N

0 5 10 20
1 inch = 10 feet

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REVIEWED: _____ PARK ENGINEER _____ DATE

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ALBERTO G. CESAR — STATE OF WASHINGTON — 32120 — REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY

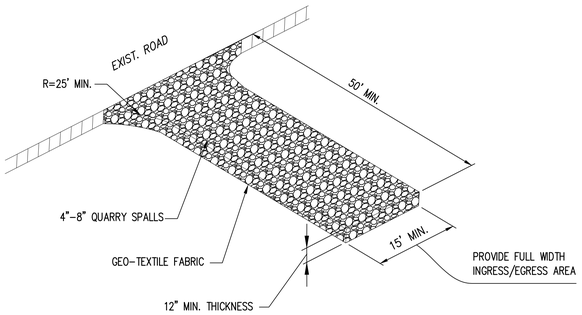
Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

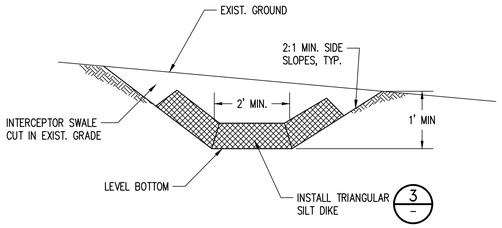
DEMOLITION AND TESC PLAN

DESIGNED SM	DATE 01/28/21
DRAWN CA/DR	SHEET 5 OF 26
CHECKED MT	
ORDINANCE NO. 125475	**C1.0**
CONTRACT NO. 2064	
SCALE	



STABILIZED CONSTRUCTION ENTRANCE (1 / C1.0)

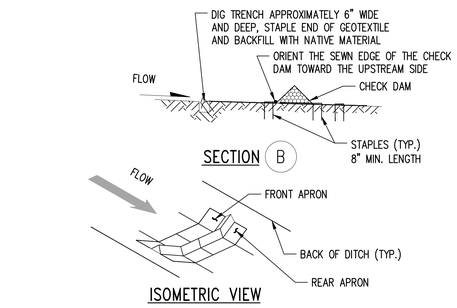
CITY OF SEATTLE BMP E2.10
NTS

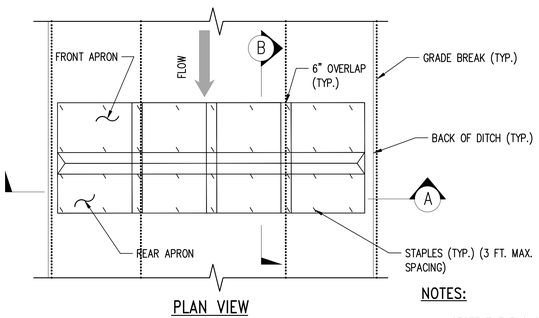


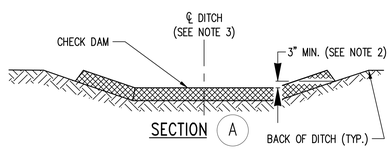
NOTE:
DAMAGE RESULTING FROM RUNOFF OR CONSTRUCTION ACTIVITY SHALL BE REPAIRED IMMEDIATELY.

TEMPORARY INTERCEPTOR SWALE (2 / C1.0)

NTS





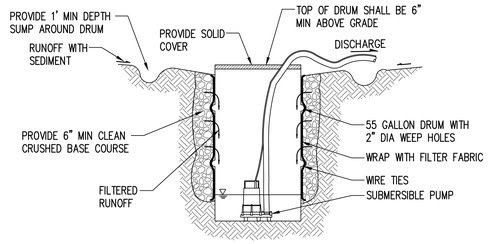


NOTES:

1. GEOTEXTILE ENCASED CHECK DAMS SHALL MEET THE REQUIREMENTS OF STANDARD SPECIFICATIONS 8–01.3(5)A AND 9–14.5(4).
2. INSTALL THE SLOPED ENDS OF THE CHECK DAM A MINIMUM OF 3" HIGHER THAN THE TOP OF THE CHECK DAM IN THE CHANNEL TO ENSURE THAT WATER FLOWS OVER THE DAM AND NOT AROUND IT.
3. FLAT BOTTOM DITCH DESIGN SHOWN, CHECK DAM INSTALLATION DETAILS ARE SIMILAR FOR "V" BOTTOM DITCHES.
4. PERFORM MAINTENANCE IN ACCORDANCE WITH STANDARD SPECIFICATION 8–01.3(15).

TRIANGULAR SILT DIKE (3 / C1.0)

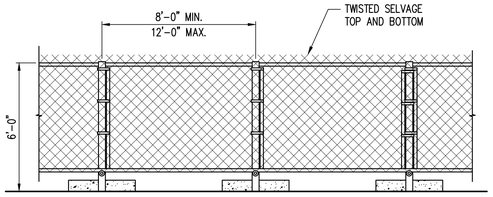
CITY OF SEATTLE DPD STANDARD DRAWING E2.60
NTS



NOTE
PUMPS SHALL BE SUBMERSIBLE.
CONTRACTOR IS RESPONSIBLE FOR SIZING PUMP BASED ON FIELD CONDITIONS.

MOBILE 55 GALLON STEEL DRUM WITH PUMP (4 / C1.0)

NTS

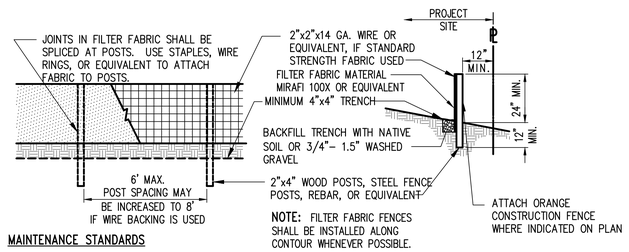


NOTES:

1. CHAIN LINK FABRIC TO BE MIN. 11 GAUGE, GALVANIZED. NO RUSTED OR EXCESSIVELY MALFORMED FABRIC.
2. FENCE BASES SHALL BE OF SUFFICIENT WEIGHT AND/OR SPREAD TO ADEQUATELY SUPPORT EACH PANEL.
3. PANEL–TO–PANEL CONNECTIONS SHALL BE MADE AT A MIN. TWO LOCATIONS PER CONNECTION UNLESS OTHERWISE APPROVED.
4. INSTALL 11'–8" X 5'–6" MESH CONSTRUCTION SCRIM PER FENCE PANEL AND/OR CONSTRUCTION WARNING SIGNAGE 50' O.C. BASED ON CONSTRUCTION GRAPHIC PLAN.

TEMPORARY CHAINLINK CONSTRUCTION FENCE DETAIL (5 / C1.0)

NTS

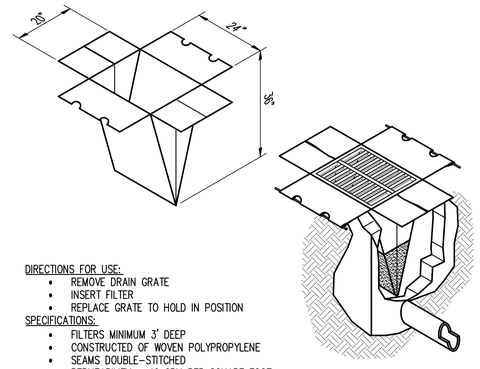


MAINTENANCE STANDARDS

1. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
2. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
3. IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE OR REMOVE THE TRAPPED SEDIMENT.
4. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6" HIGH.
5. IF THE FILTER FABRIC HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

SILT FENCE/ CONSTRUCTION FENCE DETAIL (6 / C1.0)

(KING COUNTY STANDARD DETAIL, MODIFIED DETAIL D.3.3.A)
NTS



DIRECTIONS FOR USE:
- REMOVE DRAIN GRATE
- INSERT FILTER
- REPLACE GRATE TO HOLD IN POSITION

SPECIFICATIONS:
- FILTERS MINIMUM 3" DEEP
- CONSTRUCTED OF WOVEN POLYPROPYLENE
- SEAMS DOUBLE–STITCHED
- PERMEABILITY – 40 GPM PER SQUARE FOOT

MAINTENANCE:
- REMOVE WHEN FILLED TO ONE THIRD
- CLEAN AND RE–USE, OR REPLACE

CATCH BASIN/INLET PROTECTION (7 / C1.0)

NTS

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REVIEWED:
PARK ENGINEER DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

kpff
1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

ALBERTO G. CISNEROS — STATE OF WASHINGTON — 32120 — REGISTERED PROFESSIONAL ENGINEER
PRELIMINARY

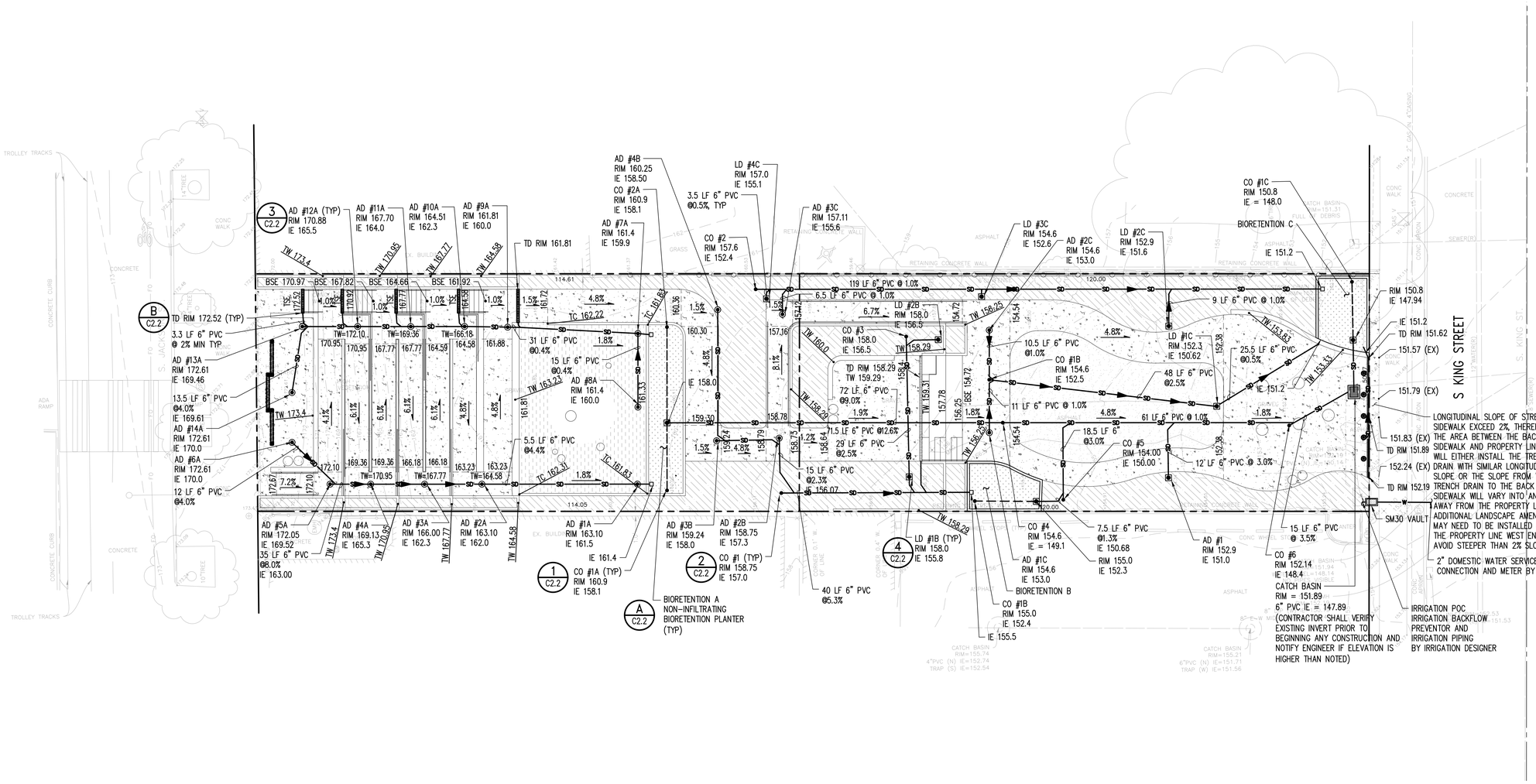
Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

DEMOLITION AND TESC DETAILS

DESIGNED SM	DATE 01/28/21
DRAWN CA/DR	
CHECKED MT	SHEET 6 OF 26
ORDINANCE NO. 125475	C1.1
CONTRACT NO. 2064	
SCALE	



LEGEND

- SD — STORM DRAINAGE
- PERFORATED DRAIN PIPE
- CATCH BASIN (CB)
- LANDSCAPE DRAIN (LD)
- AREA DRAIN (AD)
- CLEANOUT (CO)
- 6" TRENCH DRAIN (TD)
- BIORETENTION
- 169.23 — GRADE BREAK WITH ELEVATION
- TW — TOP OF WALL
- BW — BOTTOM OF WALL
- TSE — TOP OF STEP ELEVATION
- BSE — BOTTOM OF STEP ELEVATION

STORMWATER NOTES:

1. CONSTRUCTION OF STORMWATER CONTROL SHALL BE PROVIDED BY VARIOUS TESC BMPS, INCLUDING BUT NOT LIMITED TO: A STABILIZED CONSTRUCTION ENTRANCE; SILT FENCING; AND SEDIMENT SETTLING AREAS.
2. STORMWATER RUNOFF FROM THE SITE DISCHARGES TO THE EXISTING PUBLIC SEWER SYSTEM ALONG S KING STREET.
3. ON-SITE STORMWATER MANAGEMENT SHALL BE PROVIDED VIA BIORETENTION PLANTERS. REFER TO C2.1 FOR AN OSM PLAN.
4. REFER TO LANDSCAPE PLANS FOR CONCRETE SURFACES AND FINISHES, CONCRETE WALLS, AND STAIRS.
5. WATER METER WILL BE REQUIRED FOR IRRIGATION SERVICES. SIZE TO BE DETERMINED BY IRRIGATION DESIGNER AND APPLICATION TO SPU.

GRADING NOTES:

1. TOP OF WALL AT CONTIGUOUS ACCESSIBLE RAMPS ARE CONSISTENT ALONG EACH WALL AND ARE AS MARKED ON PLANS.

N

0 5 10 20
1 inch = 10 feet

>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER BEFORE YOU DIG!
WWW.CALL811.COM
Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.

NO.	REVISION – AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/28/21
1	30% DD SUBMITTAL	12/05/19

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Seattle Parks & Recreation

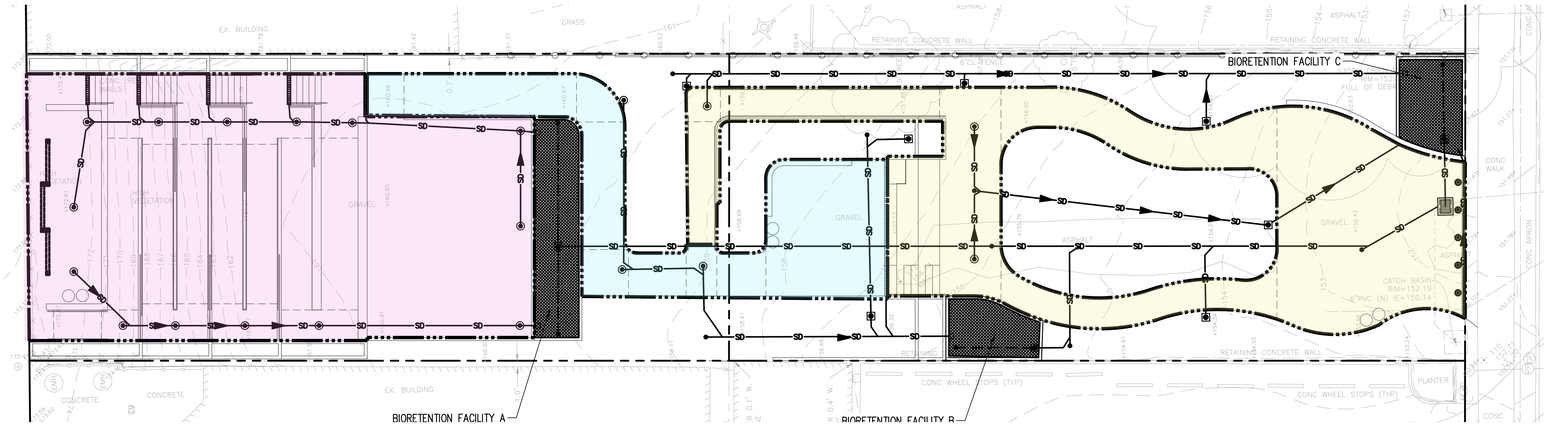
LITTLE SAIGON

PARK DEVELOPMENT

GRADING AND DRAINAGE PLAN

DESIGNED SM
DRAWN CA/DR
CHECKED MT
DATE 01/28/21
SHEET 7 OF 26
ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE

C2.0



BIORETENTION PLANTER INFORMATION

NAME	HARD SURFACE MITIGATED (SF)	AREA REQUIRED (SF)	AREA PROVIDED (SF)	TOP OF MULCH EL. (FT)	BASINS
BIORETENTION FACILITY A	3388	190	256	160.9	BASIN A
BIORETENTION FACILITY B	1105	62	122	155.0	BASIN B*
BIORETENTION FACILITY C	2397	134	148	150.8	BASIN C*

*THE SOME LAWN AND PLANTER AREA WILL ALSO BE ROUTED TO BIORETENTION FACILITIES B AND C, BUT ARE NOT INCLUDED IN THE BASIN AREA

LEGEND

- SD — STORM DRAINAGE
- PERFORATED DRAIN PIPE
- CATCH BASIN (CB)
- LANDSCAPE DRAIN (LD)
- AREA DRAIN (AD)
- CLEANOUT (CO)
- BIORETENTION
- SUB-BASIN LINE

STORMWATER NOTES:

1. STORMWATER RUNOFF FROM THE SITE DISCHARGES TO THE EXISTING PUBLIC SEWER SYSTEM ALONG S KING STREET.
2. ON-SITE STORMWATER MANAGEMENT SHALL BE PROVIDED VIA 3 NON-INFILTRATING BIORETENTION PLANTERS. SEE SHEET C2.2 FOR BIORETENTION DETAILS
3. ALL BIORETENTION PLANTERS SHALL HAVE A 6-INCH PONDING DEPTH

On-site Stormwater Management - List Approach Calculator
Site and Drainage Control Summary

Version 07-28-2017

To use the On-Site List Calculator you must select "Enable Content" when the Security Warning appears.

Project Information

Site Address	1224 South King Street	SDCI Project Number	
Primary Contact	Sam Brick	SDOT Project Number	
Project Type	Parcel-Based	Primary Contact E-mail or Phone	sam.brick@kpff.com

Total Site Area	11,729	sf
Total New plus Replaced Hard Surface Area	6,890	sf
Existing Hard Surface Area to Remain	0	sf
Total New and/or Replaced Lawn and Landscaping	4,839	sf
Undisturbed and protected site area	0	sf
Was the project lot created or reduced in size after Jan 1, 2016?	No	

Project Engineer: Alberto Cisneros — Engineer E-mail: alberto.cisneros@kpff.com

On-site Stormwater Management required for ≥ 1,500 sf of new plus replaced area.

On-site Performance Standard will be used (professional engineer required)? No

Site Information

Note: If required for your project, reference the Preliminary Assessment Report (PAR) to complete this section. If the total areas proposed are different form those provided in the PAR, requirements may change.

Approved Point of Stormwater Discharge	Public Combined Sewer Main
Drainage Basin	Combined Sewer Service Area
Is the downstream drainage system considered Capacity Constrained by SPU?	No
Approved Point of Wastewater Discharge	Public Combined Sewer Main
Approved Point of Sub-Surface Discharge	Public Combined Sewer Main
Flow Control is required	No
Flow Control Standard	Peak Control Standard
Water Treatment for pollution-generating surfaces is required	No

Select required treatment: ☐ Oil Control ☐ Phosphorus ☐ Enhanced ☐ Basic

Total Pollution Generating Hard Surface Area: ____ sf

Total Pollution Generating Pervious Surface Area: ____ sf

Source Control is required	No		
Environmentally Critical Areas	No		

☐ Steep Slope ☐ Potential Slide ☐ Riparian Corridor ☐ Wetland ☐ Liquefaction ☐ Flood Prone
☐ Landfill ☐ Known Landslide ☐ Fish / Wildlife ☐ Peat / Groundwater Management ☐ Shoreline Habitat

Temporary dewatering required	Yes	Permanent dewatering required	No
Is there known soil and/or groundwater contamination on this site?			No
A licensed professional recommends dispersion not be used anywhere within the project site due to reasonable concerns of erosion, slope failure, or flooding.			No

Infiltration Information

Is infiltration investigation required?	No	Why?	Other
Is infiltration on the site feasible?	No	Why?	Site constraints make infiltration infeasible
Site Measured Infiltration Rate		x Infiltration Rate Correction Factor	0.5 = 0 Site Design Inf Rate

On-site Stormwater Management

Number of roof areas	0
Number of other surface areas	3

	Surfaces Description	On-site BMP	Contrib. Area (sf)	Facility Size (sf)	Facility Configuration
1	Surface:Hard Surface 1	Non-Infiltrating Bioretention #1	3,388	190 sf	Vertical sides 6 inch
2	Surface:Hard Surface 2	Non-Infiltrating Bioretention #2	1,105	62 sf	Vertical sides 6 inch
3	Surface:Hard Surface 3	Non-Infiltrating Bioretention #3	2,397	134 sf	Vertical sides 6 inch

Total New/Replaced Roof Area	0	Total Roof Area Managed	0
Total New/Replaced Other Surface Area	6,890	Total Other Surface Managed	6,890
Total Area Managed	6,890	Total Volume Managed On Site	49,791 gal
Estimated compost required for soil amendment	30.0018 cy	*Volume of compost required for soil amendment will be verified by the DPD Site Inspector for SDCI permitted projects.*	

seattle.gov

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NO.	REVISION – AS BUILT	DATE
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Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

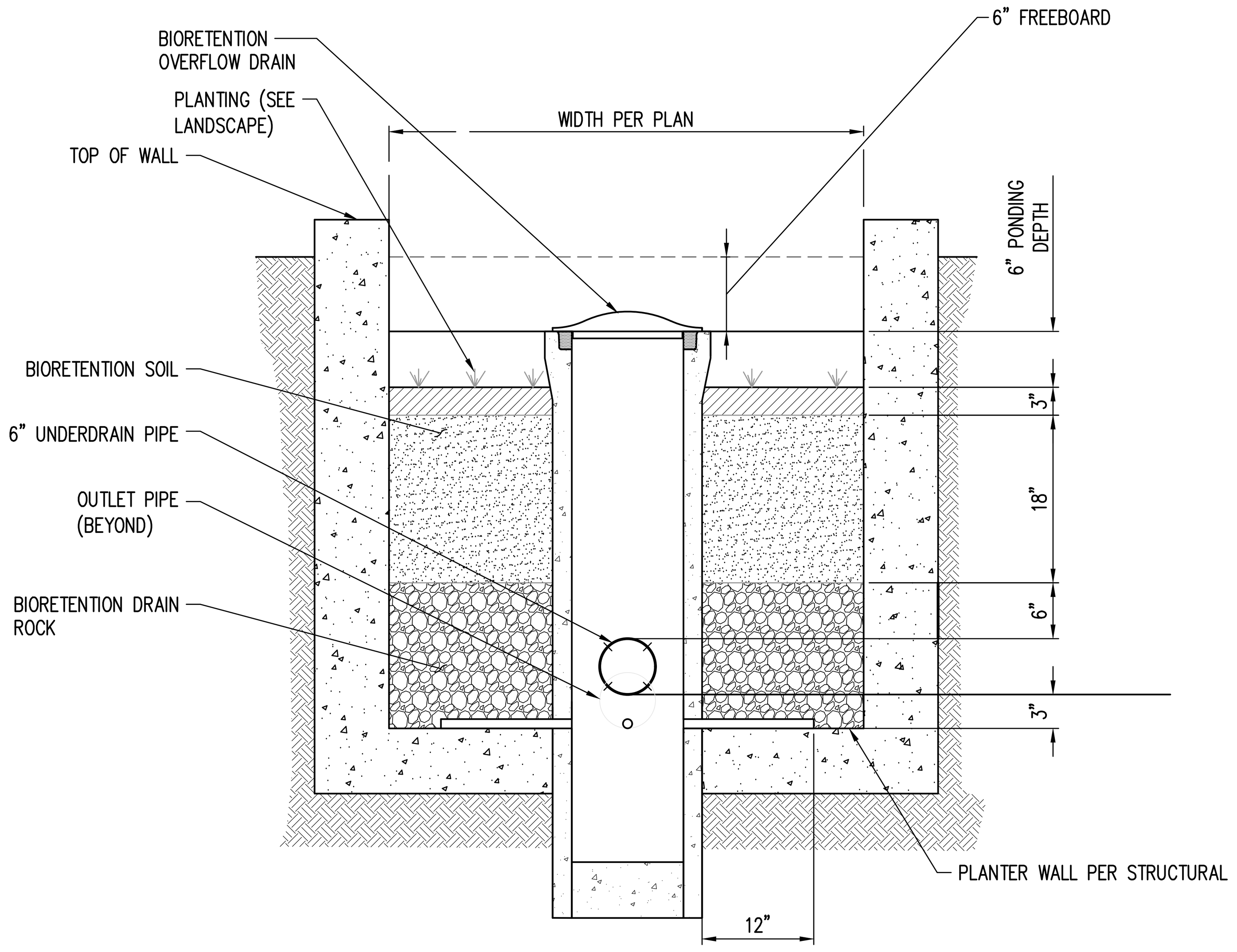
ON-SITE STORMWATER MANAGEMENT PLAN

DESIGNED SM — DATE 01/28/21
DRAWN CA/DR
CHECKED MT — SHEET 8 OF 26

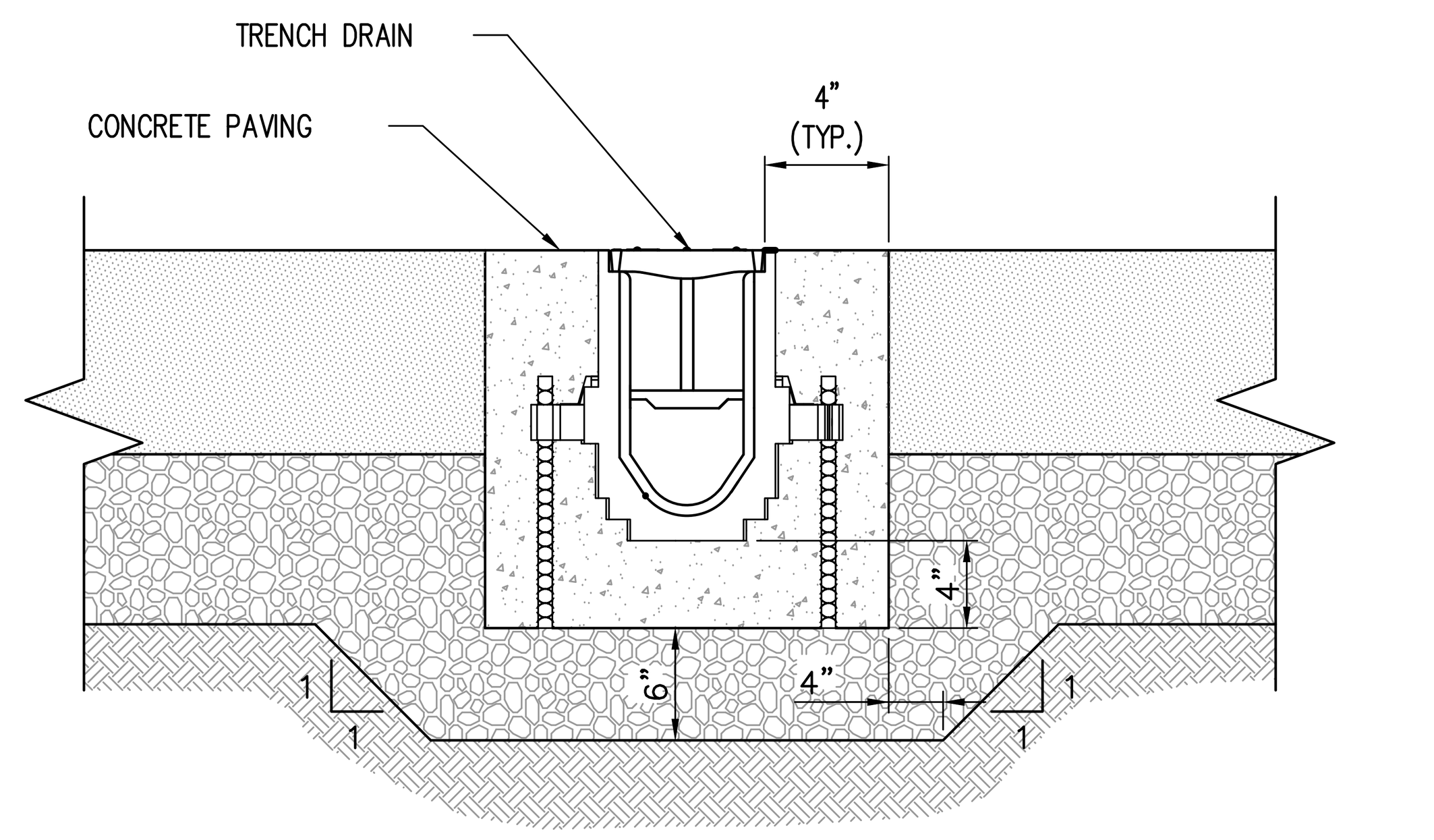
ORDINANCE NO. 125475
CONTRACT NO. 2064

C2.1

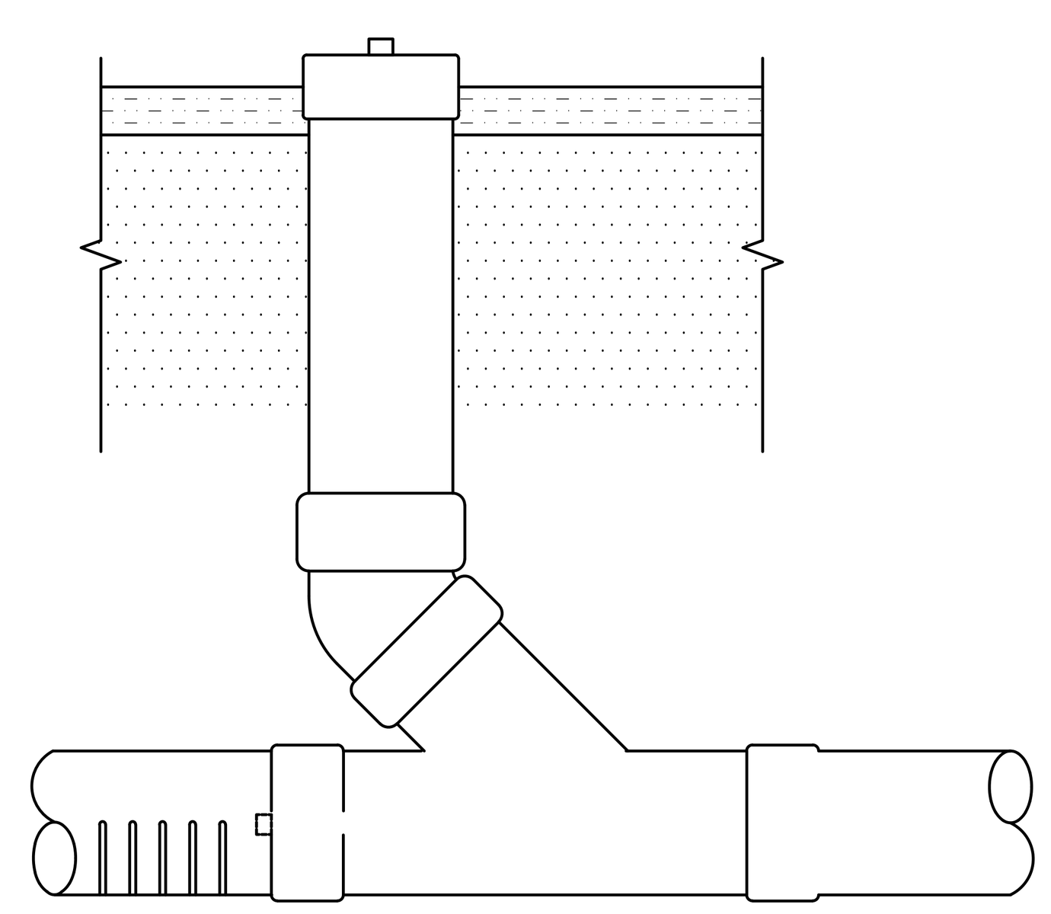
SCALE



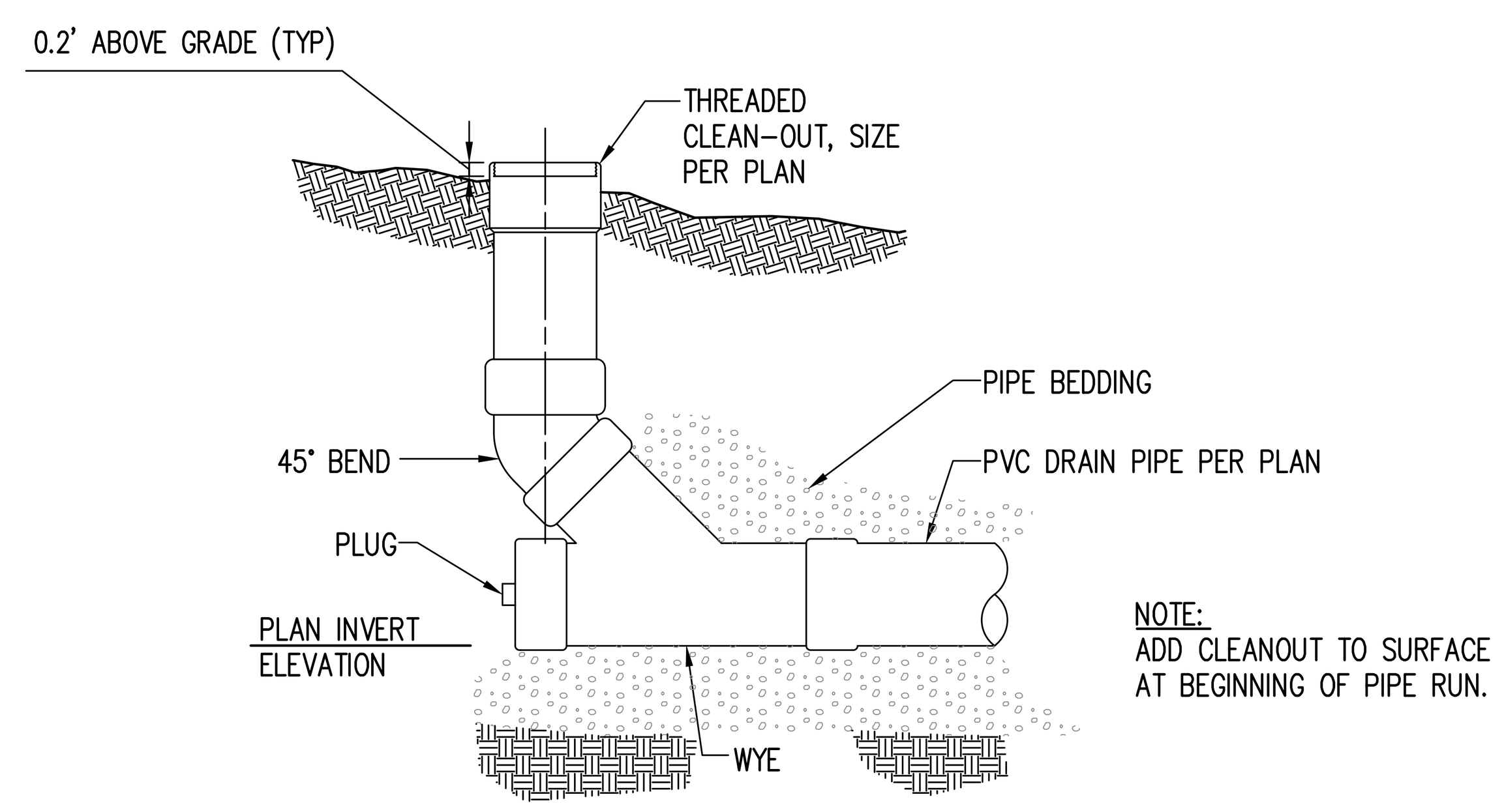
NON–INFILTRATING BIORETENTION PLANTER IN CONCRETE ENCLOSURE (A / C2.0)
NTS



TYPICAL TRENCH DRAIN (B / C2.0)
NTS

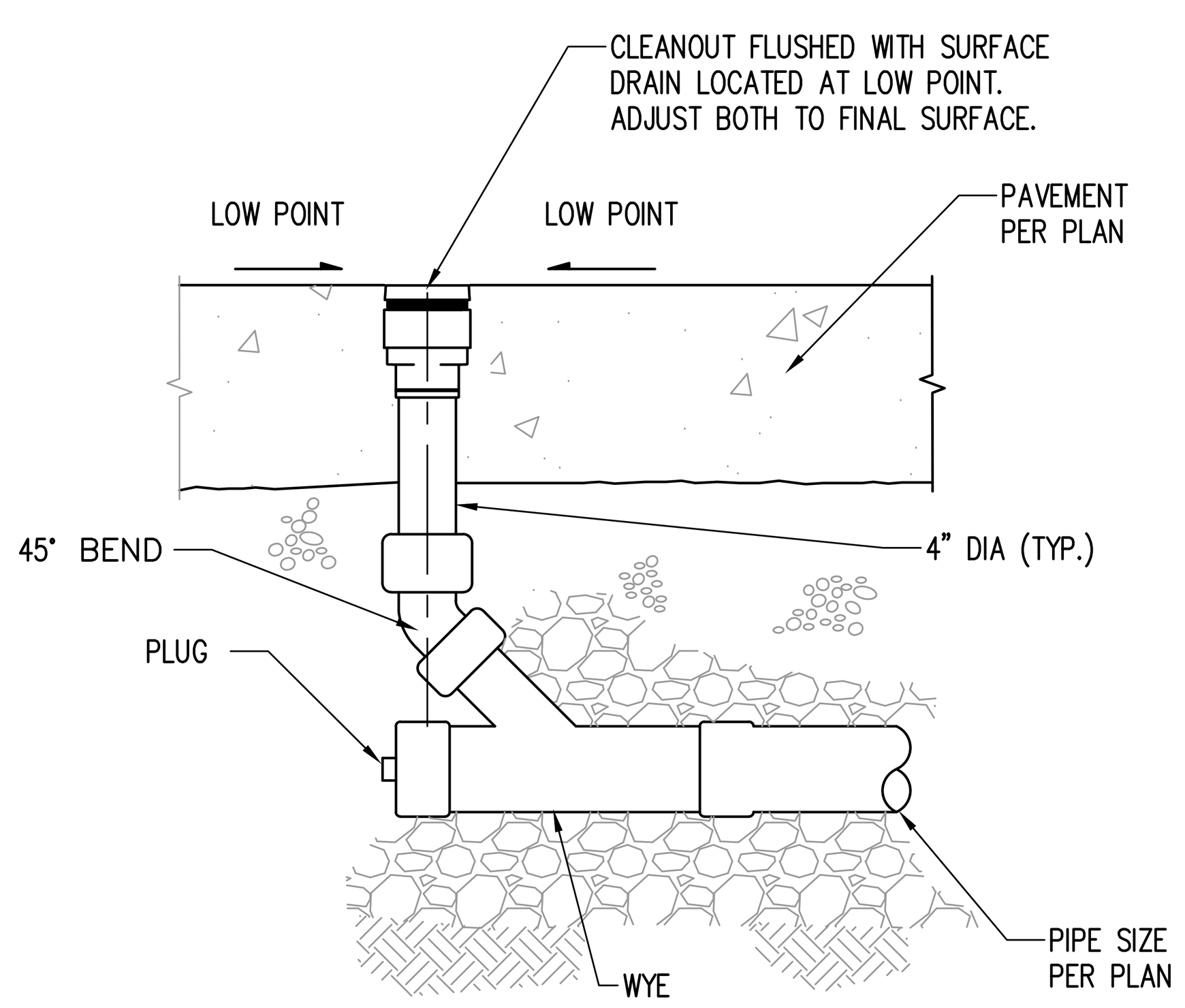


BIORETENTION CLEANOUT DETAIL (1 / C2.0)
NTS

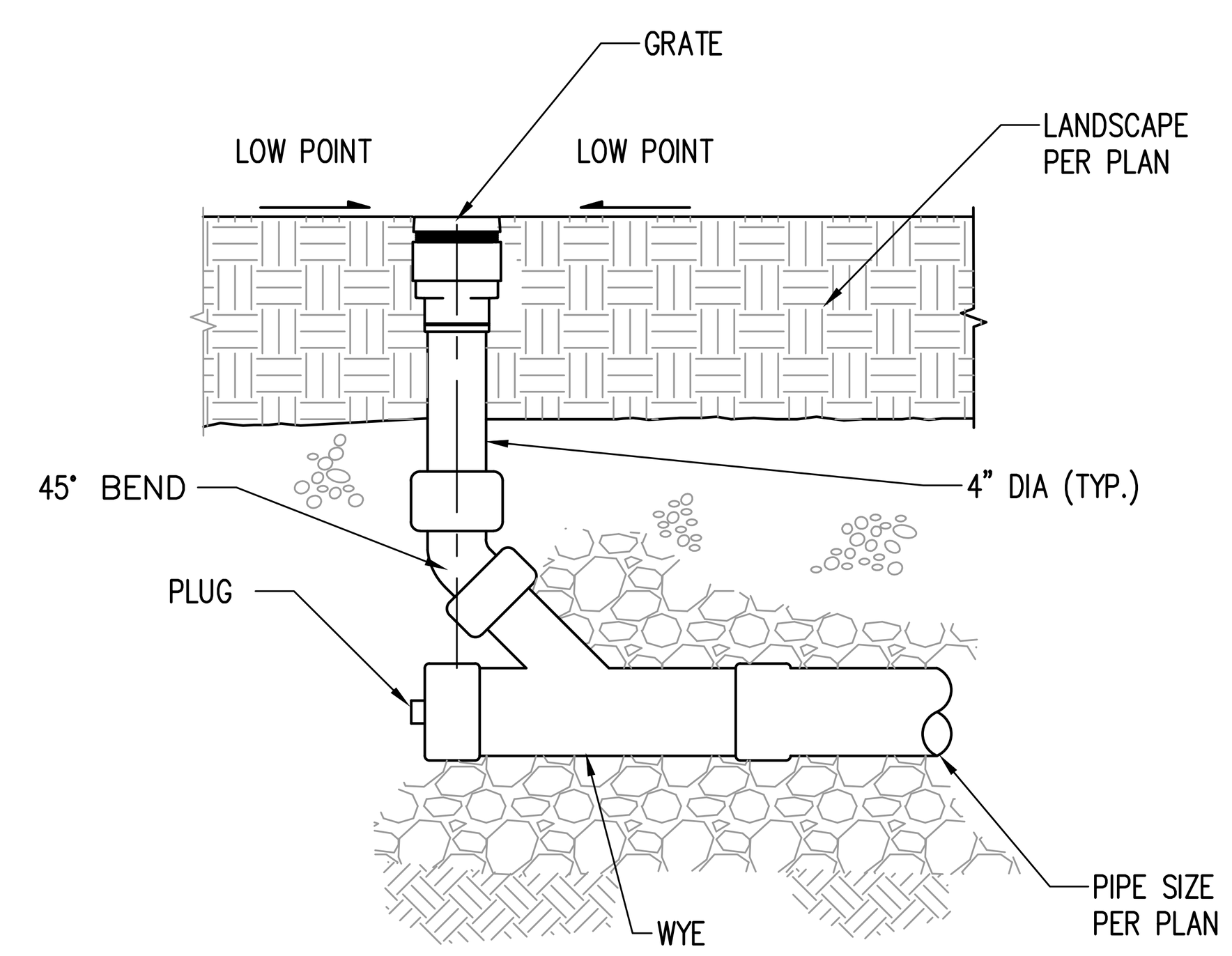


NOTE:
ADD CLEANOUT TO SURFACE AT BEGINNING OF PIPE RUN.

CLEANOUT IN LANDSCAPE AREA (2 / C2.0)
NTS



TYPICAL DRAIN/CLEANOUT IN HARDSCAPE AREA (3 / C2.0)
NTS



LANDSCAPE DRAIN (4 / C2.0)
NTS

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PRELIMINARY

Seattle Parks & Recreation

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PARK DEVELOPMENT

GRADING AND DRAINAGE PLAN

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CHECKED MT
DATE 01/28/21
SHEET 9 OF 26
ORDINANCE NO. 125475
CONTRACT NO. 2064
C2.2
SCALE

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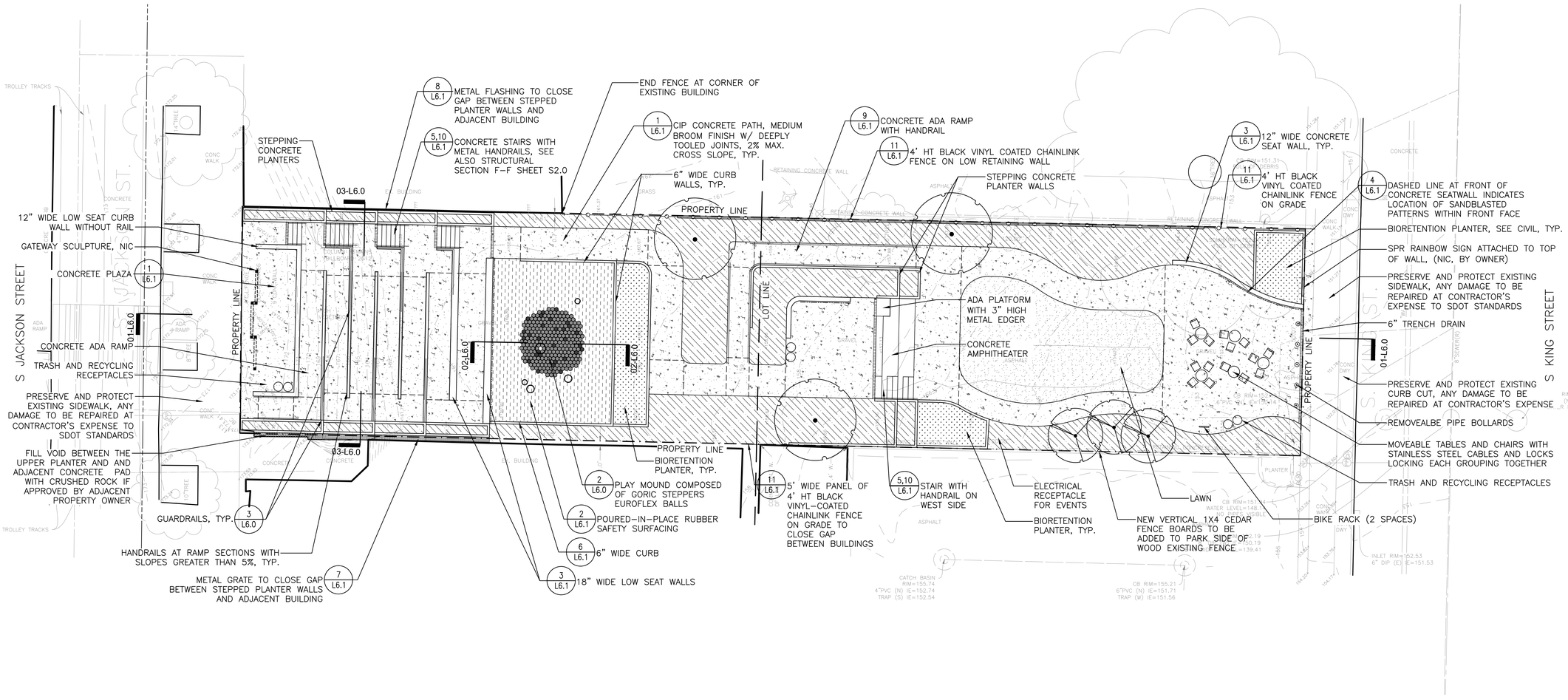
LEGEND

- CONCRETE SURFACING (1 / L6.1)
- POURED–IN–PLACE RUBBER SAFETY SURFACING (2 / L6.1)
- LAWN
- PROPOSED TREES
- PLANTING AREA
- BIORETENTION PLANTER, SEE CIVIL
- BIKE RACK
- TRASH/RECYCLING RECEPTACLES
- REMOVEABLE PIPE BOLLARDS
- DASHED LINE AT FRONT OF CONCRETE SEATWALLS INDICATES LOCATION OF SANDBLASTED PATTERNS WITHIN FRONT FACE (4 / L6.1)
- 4' HT BLACK VINYL COATED CHAINLINK (11 / L6.1)



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10 5 0 10 20

SCALE IN FEET

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LANDSCAPE ARCHITECTURE
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LITTLE SAIGON

PARK DEVELOPMENT

MATERIALS PLAN

DESIGNED SM
DRAWN CA/DR
CHECKED MT
DATE 01/28/21
SHEET 10 OF 26
ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE 1"=10'–0"

L1.0

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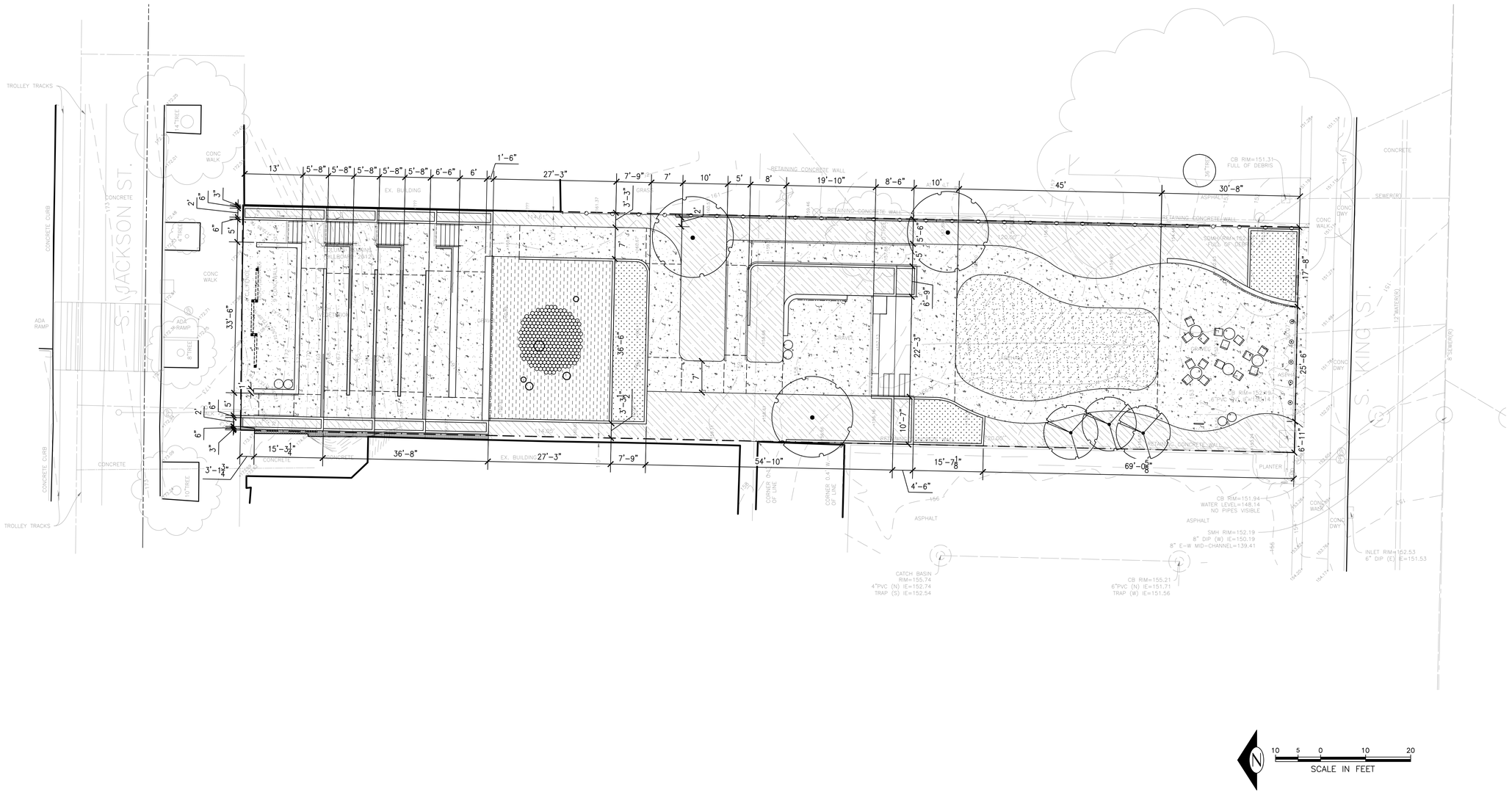

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Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

LAYOUT PLAN

DESIGNED SM	DATE 01/28/21
DRAWN CA/DR	SHEET 11 OF 26
CHECKED MT	
ORDINANCE NO. 125475	L1.0
CONTRACT NO. 2064	
SCALE 1"=10'-0"	

NOTE TO CONTRACTOR

SLOPES SHOWN ON THIS PLAN FOR GENERAL REFERENCE, BUILD PER CIVIL GRADING PLAN SPOT ELEVATIONS ON SHEET C2.0 AND VERIFY ALL SLOPES MEET ADA REQUIREMENTS PER ADA ACCESSIBILITY NOTES BELOW.

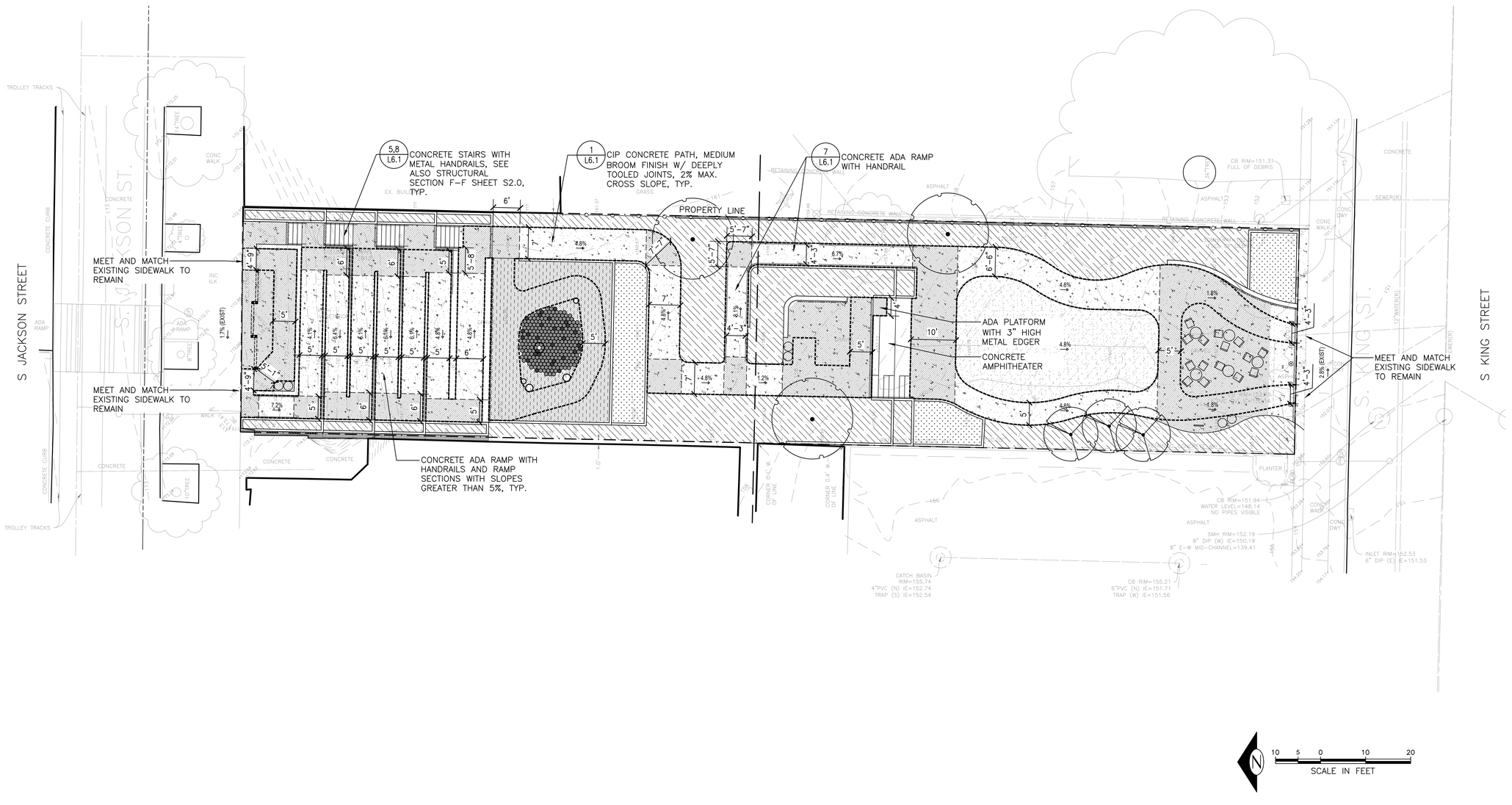
ADA ACCESSIBILITY NOTES

1. NEW CONCRETE PATHWAYS SHALL NOT EXCEED 8.3% IN AREAS WITH HANDRAILS OR 5% IN AREAS WITHOUT HANDRAILS, IN THE DIRECTION OF TRAVEL, CROSS SLOPES TO BE 2% MAXIMUM.
2. LANDINGS AT INTERSECTIONS SHALL BE 2% MAXIMUM SLOPE IN ANY DIRECTION. SEE GRADING PLAN.

ADA LEGEND

---------- DASHED LINE DESIGNATES ADA ACCESSIBLE PATHS WITH SLOPES NOT TO EXCEED 8.3% IN AREAS WITH HANDRAILS OR 5% IN AREAS WITHOUT HANDRAILS IN THE DIRECTION OF TRAVEL, CROSS SLOPES TO BE 2% MAXIMUM

LANDINGS AT INTERSECTION, PLAZA SPACES, AND PLAY AREA SURFACING TO HAVE 2% MAXIMUM SLOPE IN ANY DIRECTION, TYP.



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PARK DEVELOPMENT

ADA COMPLIANCE PLAN

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CHECKED MT
DATE 01/28/21
SHEET 12 OF 26
ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE 1"=10'–0"

L3.0

IRRIGATION LEGEND

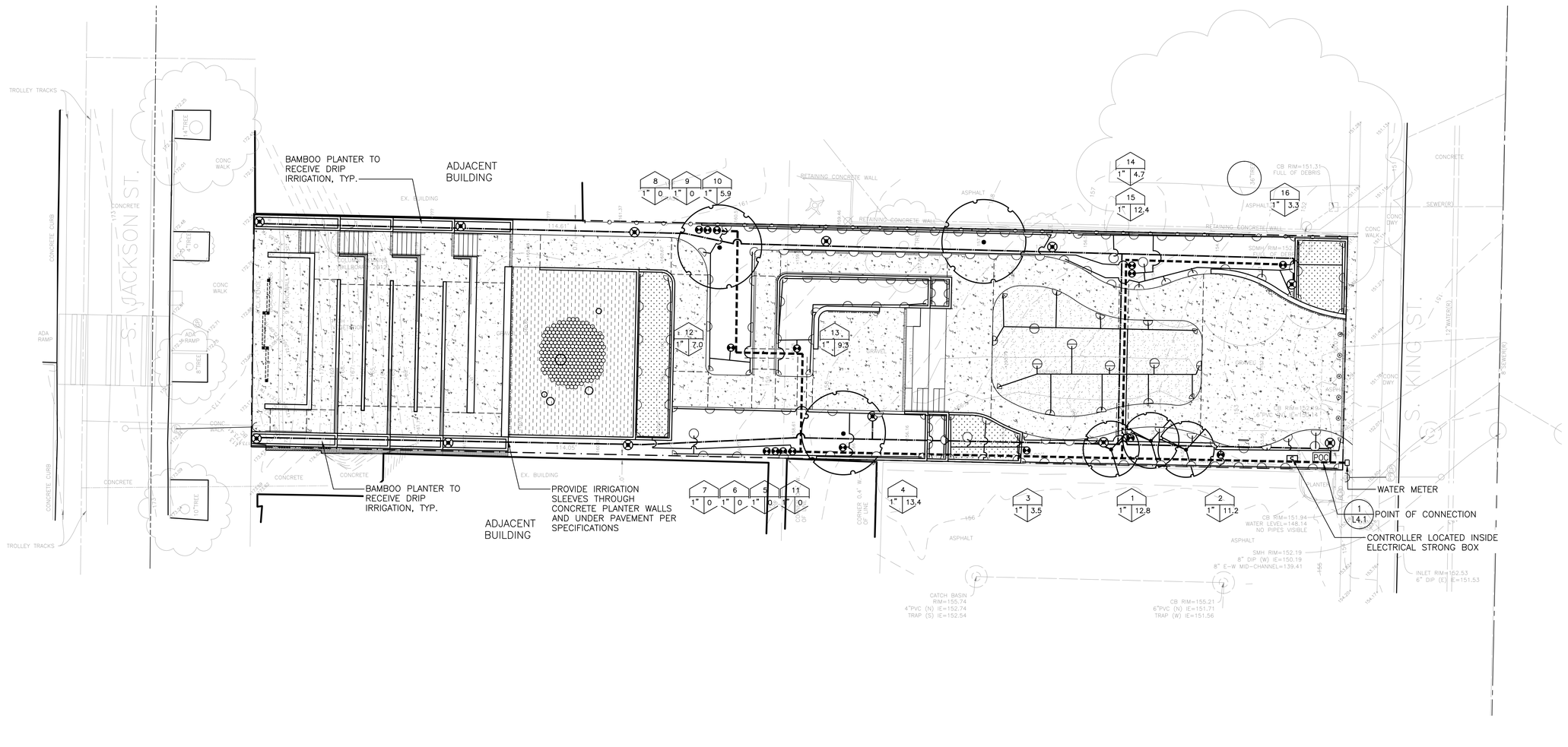
- SPRAY IRRIGATION (6-7 / L4.1)
- REMOTE CONTROL VALVE, SOLENOID VALVE, SIZE PER PLAN (4 / L4.1)
- QUICK COUPLING VALVE (3 / L4.1)
- SLEEVE, SIZE ø = 2X LINE SIZE, 2" MIN.
- MAINLINE – 1¼" SCHEDULE 40 PVC (2 / L4.1)
- SEPARATE QUICK COUPLER MAINLINE – 1¼ " SCHEDULE 40 PVC
- LATERAL – PVC – SIZE PER CHART
- POC — POINT OF CONNECTION IN VAULT (1 / L4.1)
- C — CONTROLLER

PIPE SIZING CHART

GALLONS	MIN. PIPE SIZE
0 - 10	3/4 INCH
10 - 16	1 INCH
16 - 26	1-1/4 INCH

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE (30 PSI) AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S REPRESENTATIVE.
2. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS EXCEPT WHERE SHOWN UNDER PAVEMENT. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
3. IRRIGATION SYSTEMS SHALL BE DESIGNED WITH PROVISIONS FOR WINTERIZATION BY PROVIDING QUICK COUPLER VALVES AT ALL LOW POINTS AND A MEANS TO BLOW OUT IRRIGATION SYSTEM PIPES WITH PRESSURIZED AIR. SLOPE PIPE AT 1/2" MIN. TO DRAINS.
4. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS APPARENT IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
5. WHERE THE FIELD CONDITIONS REQUIRE ADJUSTMENTS, EMITTERS SHALL BE ADDED OR DELETED IN ACCORDANCE WITH THE IRRIGATION LEGEND OR MANUFACTURER'S SPECIFICATIONS. PIPE SIZING SHALL BE ADJUSTED ACCORDINGLY, AND WATER VELOCITY SHALL NOT EXCEED 5 FEET PER SECOND.
6. PROVIDE SLEEVES WHERE MAINLINE AND LATERALS PASS UNDER PAVEMENT.
7. PLACE AND ADJUST HEADS TO AVOID WATERING PAVEMENT WHERE POSSIBLE.



10 5 0 10 20
SCALE IN FEET

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Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

IRRIGATION PLAN

DESIGNED SM
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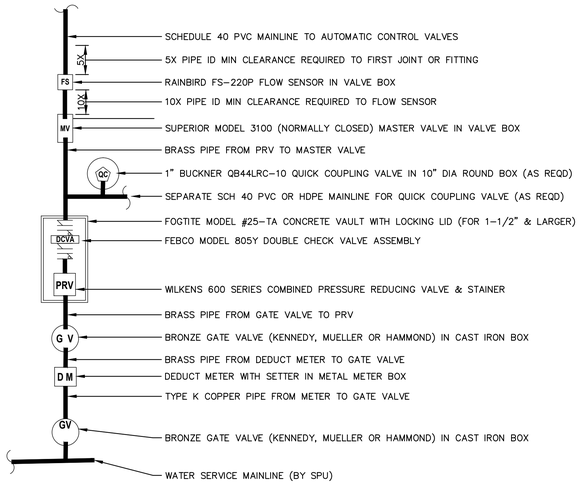
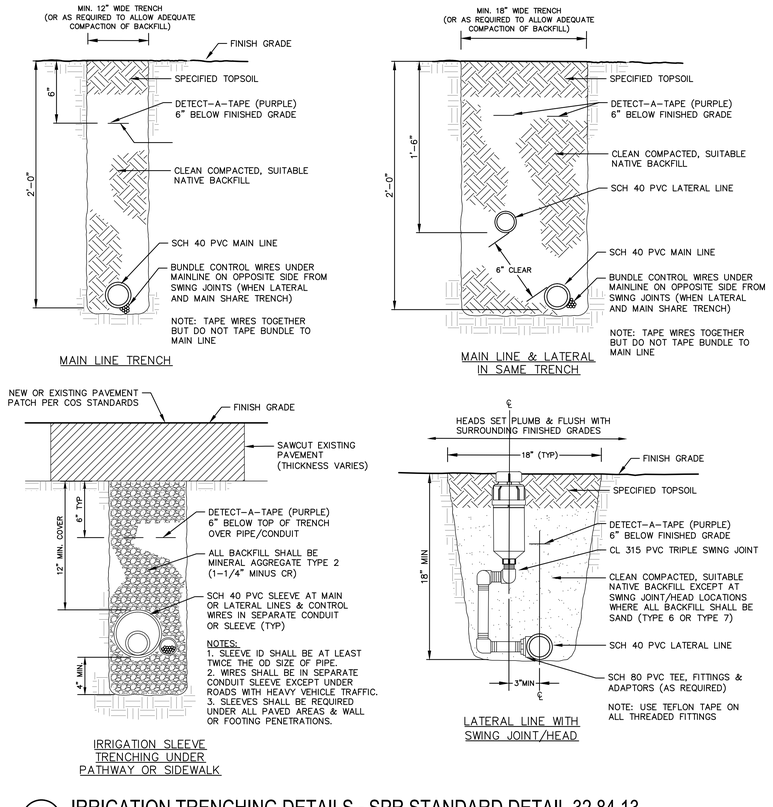
SHEET 13 OF 26
ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE 1"=10'-0"

L4.0

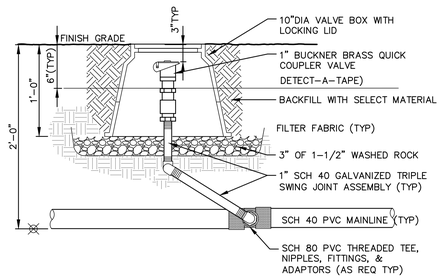


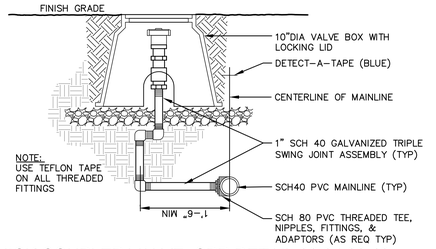
NOTES:
1. ALL COMPONENTS OF SCHEMATIC POINT OF CONNECTION SHALL BE INSTALLED PER SPR STANDARD DETAILS.
2. BACKFLOW PREVENTION DEVICE INSTALLATIONS REQUIRE INSPECTION, TESTING, AND CERTIFICATION BY SPU INSPECTION SERVICES.
3. FOR 1-1/4" AND SMALLER SIZED PRV/DCVA APPLICATIONS, USE FOGTITE #2 METER BOX

1 POINT OF CONNECTION - SPR DETAIL 32 84 00.13
SCALE: NTS

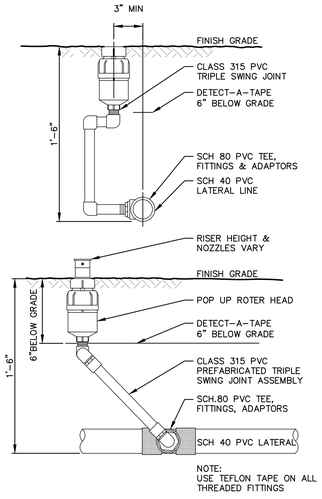


2 IRRIGATION TRENCHING DETAILS - SPR STANDARD DETAIL 32 84 13
SCALE: NTS

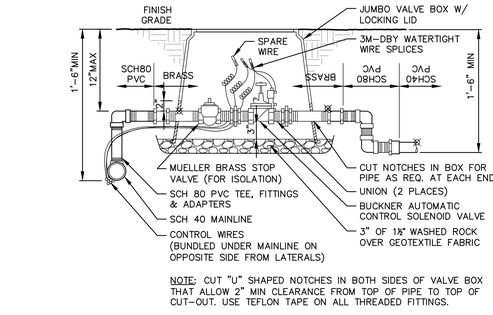




3 QUICK COUPLER VALVE- SPR DETAIL 32 84 23.13
SCALE: NTS

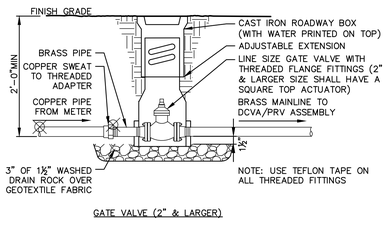


7 POP-UP ROTOR - SPR DETAIL 32 84 26.16
SCALE: NTS



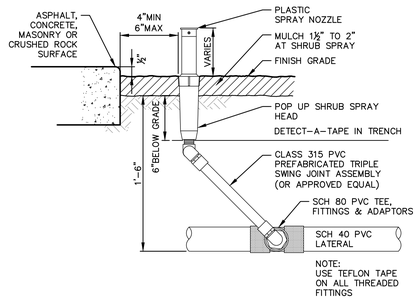
NOTE: CUT "U" SHAPED NOTCHES IN BOTH SIDES OF VALVE BOX THAT ALLOW 2" MIN CLEARANCE FROM TOP OF PIPE TO TOP OF CUT-OUT. USE TEFLON TAPE ON ALL THREADED FITTINGS.

4 AUTOMATIC CONTROL VALVE - SPR DETAIL 32 84 29.16
SCALE: NTS

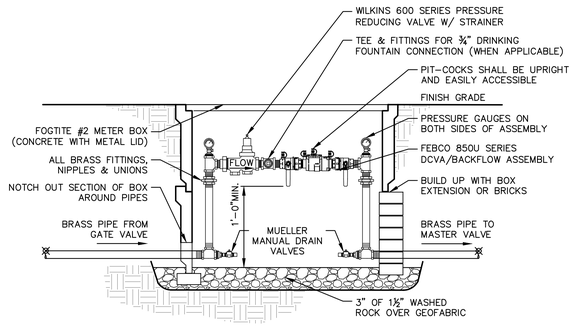


GATE VALVE (2" & LARGER)

5 GATE VALVE - SPR DETAIL 32 84 23.23
SCALE: NTS



6 POP-UP SPRAY HEAD - SPR DETAIL 32 84 26.19
SCALE: NTS



8 PRV-DCVA ASSEMBLY - SPR DETAIL 32 84 19.13
SCALE: NTS

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NO.	REVISION - AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/28/21
1	30% DD SUBMITTAL	12/05/19

REVIEWED: _____ PARK ENGINEER _____ DATE

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MURASE ASSOCIATES
LANDSCAPE ARCHITECTURE
200 East Boston, Seattle, WA 98102
T 206 322 4937 www.murase.com

Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

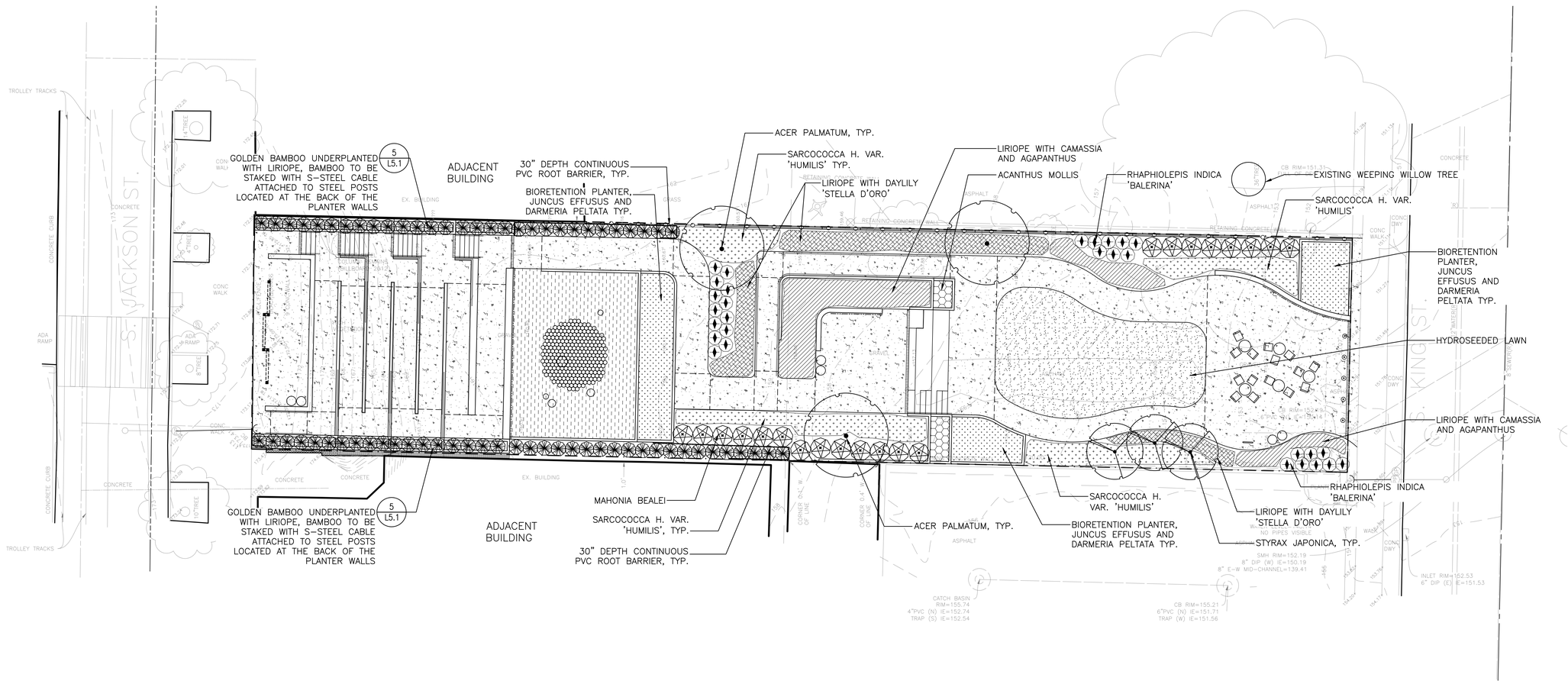
IRRIGATION DETAILS

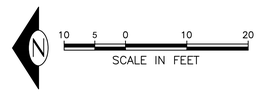
DESIGNED SM	DATE 01/28/21
DRAWN CA/DR	SHEET 14 OF 26
CHECKED MT	
ORDINANCE NO. 125475	L4.1
CONTRACT NO. 2064	
SCALE PER DETAIL	

PLANTING SCHEDULE - LEVEL 1

SYMBOL		BOTANICAL NAME / COMMON NAME	SIZE	COMMENTS	DROUGHT TOLERANT (DT) / NATIVE (N)
1/L5.1 TREES					
3		ACER PALMATUM / JAPANESE MAPLE	8' MIN HT.	STRAIGHT LEADER, FULL AND SYMMETRICAL CROWN; BRANCHING ABOVE 5'	
3		STYRAX JAPONICA / JAPANESE SNOWBELL	MIN. 1.5" CAL.	STRAIGHT LEADER, FULL AND SYMMETRICAL CROWN; BRANCHING ABOVE 5'	
2,4/L5.1 SHRUBS AND GRASSES					
21		MAHONIA BEALEI / LEATHERLEAF MAHONIA	2-GAL. CONT.	48" O.C.; FULL FOLIAGE AND VIGOROUS GROWTH	DT
68		PHYLLOSTACHYS AUREA / GOLDEN BAMBOO	10 GAL. CONT., 10' MIN. HT.	FULL FOLIAGE, UPRIGHT GROWTH WITH MULTIPLE CANES	DT
29		RAPHIOLEPIS INDICA 'BALLERINA / INDIAN HAWTHORN	2-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE	DT
54		SARCOCOCCA HOOKERIANA VAR. HUMILIS / HIMALAYAN SWEET BOX	2-GAL. CONT.	WELL SPREAD WITH DENSE FOLIAGE TO GRADE	DT*
3,4/L5.1 GROUNDCOVER					
18		ACANTHUS MOLLIS / BEAR'S BREECHES	1 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 24" O.C. TRIANGULAR SPACING, TYP. W/ MIN. 2 ROWS	DT*
		GROUNDCOVER MIX TYPE 1			
169		50% LIRIOPE MUSCARI 'BIG BLUE'/ LILY TURF	1 GAL. CONT.	COMPACT AND VIGOROUS FOLIAGE, 15" O.C. TRIANGULAR SPACING, TYP.	DT
117		50% HEMEROCALLIS X 'STELLA DE ORO' / DWARF DAYLILY	1 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 18" O.C. TRIANGULAR SPACING, TYP.	DT
		GROUNDCOVER MIX TYPE 2			
156		50% LIRIOPE MUSCARI 'BIG BLUE'/ LILY TURF	1 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 15" O.C. TRIANGULAR SPACING, TYP.	DT
121		25% CAMASSIA LEICHTLINII / GREAT CAMAS	2 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 12" O.C. TRIANGULAR SPACING, TYP	DT, N
54		25% AGAPANTHUS PRAECOX / LILY OF THE NILE	1 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 18" O.C. TRIANGULAR SPACING, TYP.	DT
		GROUNDCOVER MIX TYPE 3: BIORETENTION			
465		75% JUNCUS EFFUSUS / SOFT RUSH	1 GAL. CONT.	COMPACT AND VIGOROUS GROWTH, 12" O.C. TRIANGULAR SPACING, TYP.	DT, N
17		25% DARMERA PELTATA / UMBRELLA PLANT	1 GAL. CONT.	FULL FOLIAGE, 36" O.C. TRIANGULAR SPACING, TYP.	N

INFO SOURCES FOR PLANT DROUGHT TOLERANCE:
DT = DROUGHT TOLERANT PER CITY OF SEATTLE GREEN FACTOR PLANT LIST
DT* = UW CENTER FOR URBAN HORTICULTURE - ELISABETH C. MILLER BOTANICAL GARDEN, GREAT PLANT PICKS PLANT DATABASE
DT** = BELLEVUE BOTANICAL GARDEN WATERWISE GARDEN PLANT LIST





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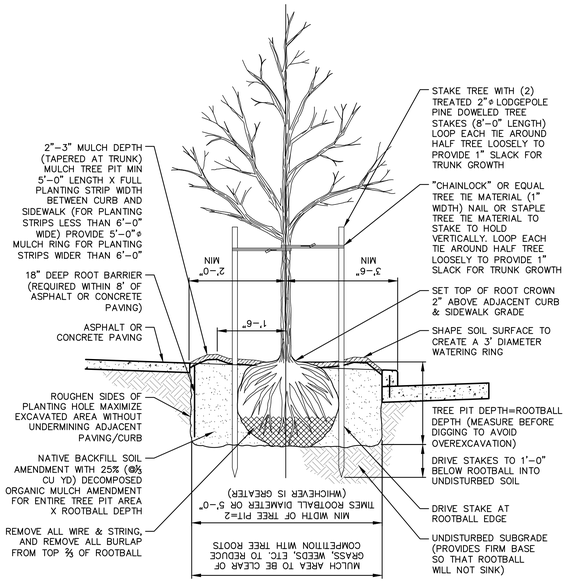
Seattle Parks & Recreation

LITTLE SAIGON

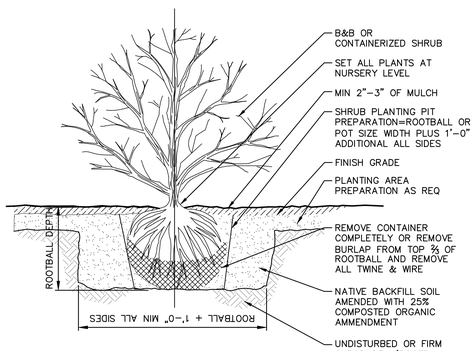
PARK DEVELOPMENT

PLANTING PLAN

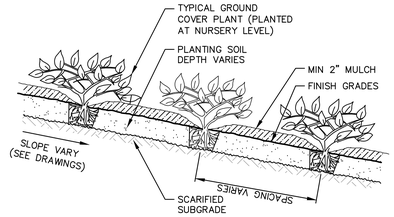
DESIGNED SM
DRAWN CA/DR
CHECKED MT
DATE 01/28/21
SHEET 15 OF 26
ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE 1"=10'-0"
L5.00



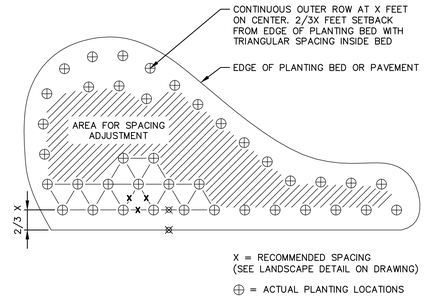
1 DECIDUOUS TREE PLANTING- SPR DETAIL 32 93 43
SCALE: NTS



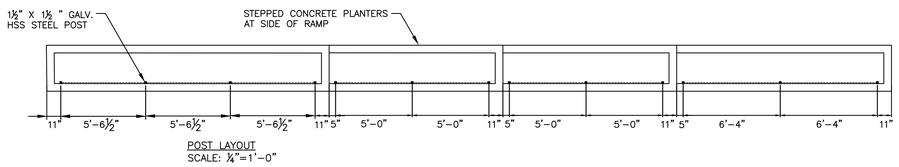
2 SHRUB PLANTING- SPR DETAIL 32 93 33
SCALE: NTS



3 GROUND COVER PLANTING- SPR DETAIL 32 93 13
SCALE: NTS



4 TYPICAL PLANTING PATTERN- SPR DETAIL 32 93 36
SCALE: NTS



POST LAYOUT
SCALE: ¼"=1'–0"

5 BAMBOO STAKING
SCALE: 1/2"=1'-0"

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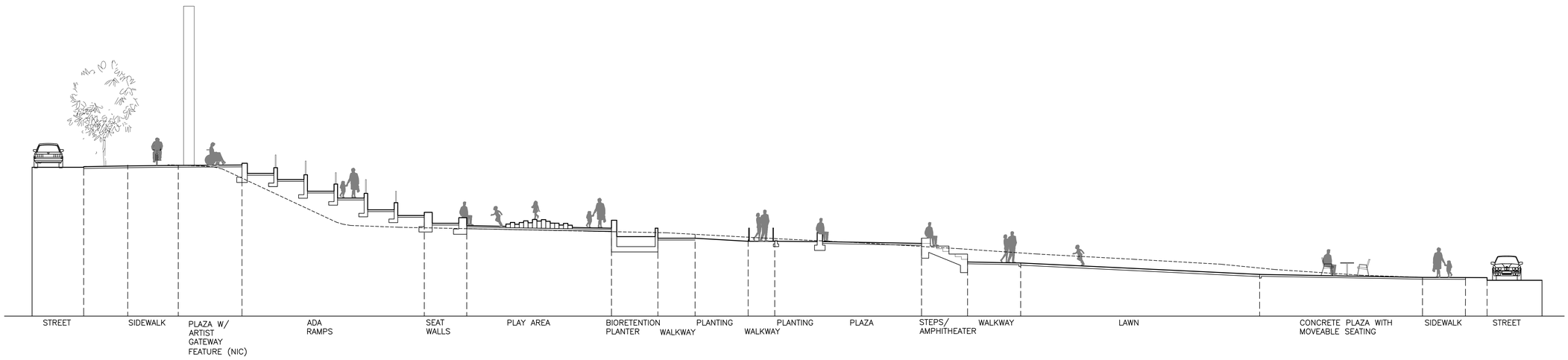
LITTLE SAIGON

PARK DEVELOPMENT

PLANTING DETAILS

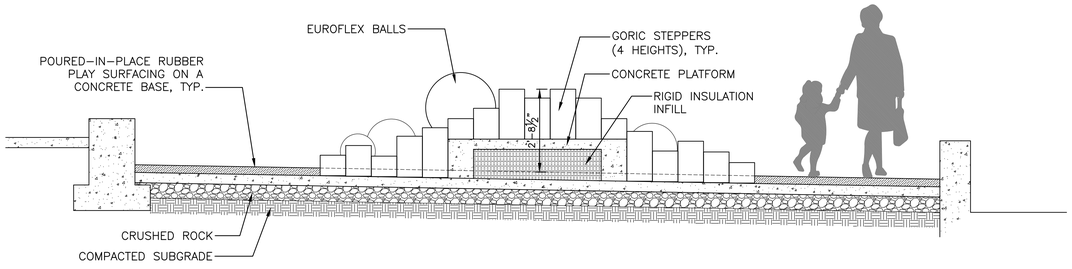
DESIGNED SM
DRAWN CA/DR
CHECKED MT
DATE 01/28/21
SHEET 16 OF 26
ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE PER DETAIL

L5.1



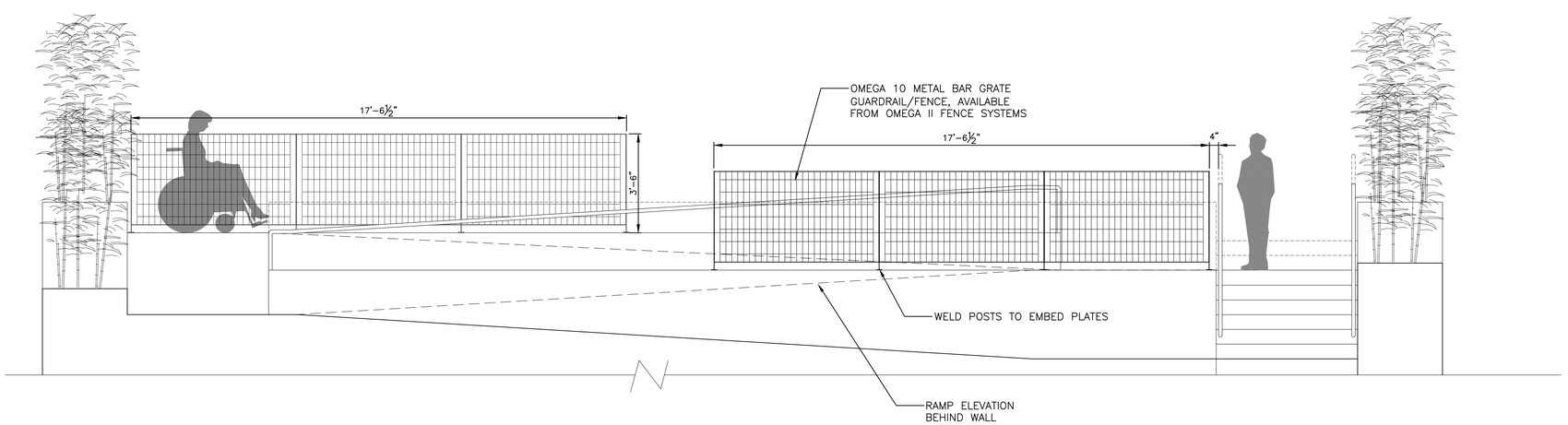
1 PARK SECTION FROM NORTH TO SOUTH

SCALE: 1/8"= 1'-0"



2 PLAY AREA SECTION FROM NORTH TO SOUTH

SCALE: 1/2"= 1'-0"



3 SECTION THROUGH RAMP

SCALE: 1/2"= 1'-0"

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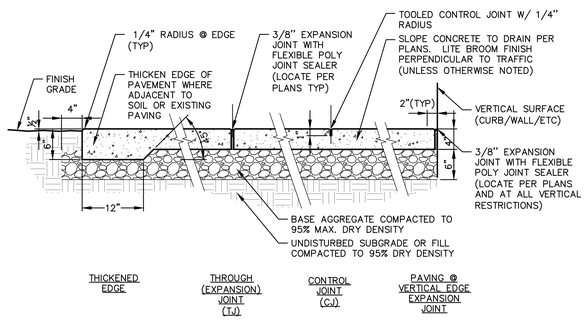
PARK DEVELOPMENT

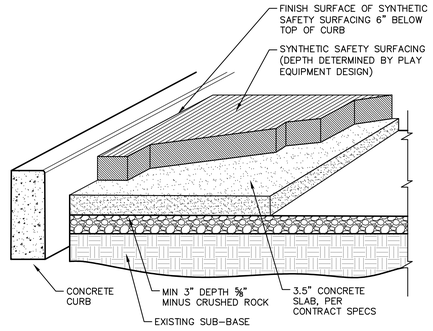
LANDSCAPE SECTIONS

DESIGNED SM
DRAWN CA/DR
CHECKED MT
DATE 01/28/21
SHEET 17 OF 26
ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE PER DETAIL

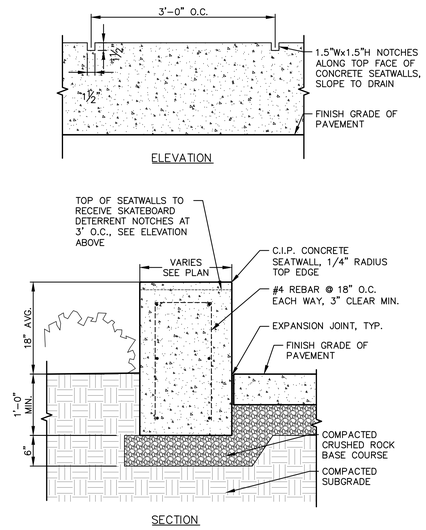
L6.0



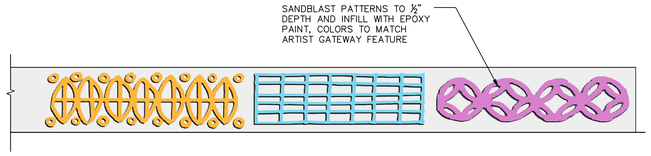
1 CONCRETE PAVING - SPR DETAIL 32 13 73
SCALE: 1"=1'-0"



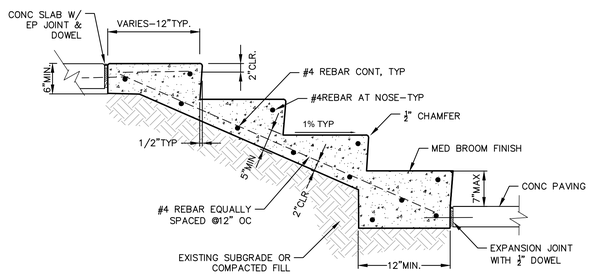
2 SYNTHETIC PLAY SURFACING - SPR DETAIL 32 15 93
SCALE: NTS



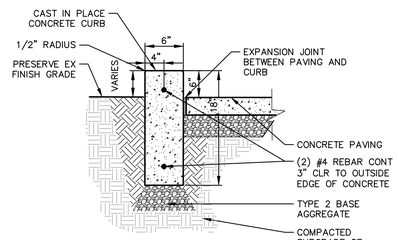
3 SEAT WALL
SCALE: 1"=1'-0"



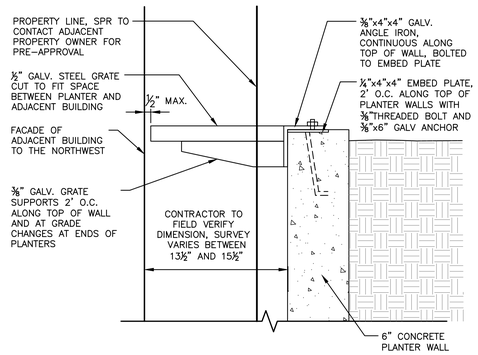
4 SANDBLASTED PATTERNS IN SEATWALLS
SCALE: NTS



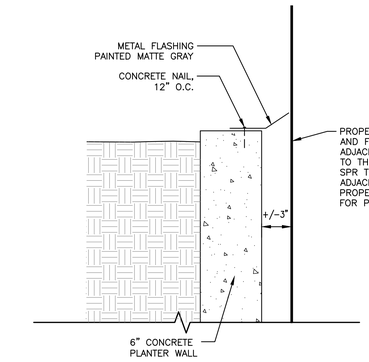
5 CONCRETE STAIRS - SPR DETAIL 03 30 53.13
SCALE: 1"=1'-0"



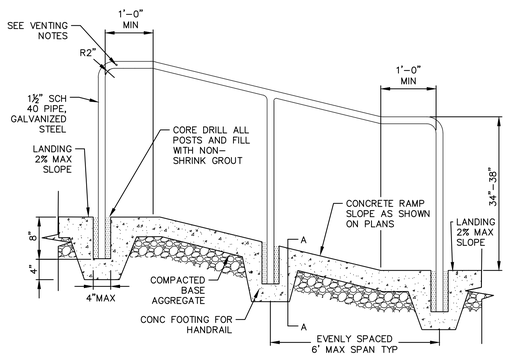
6 CONCRETE CURB- SPR DETAIL 32 16 65
SCALE: 3/4"=1'-0"

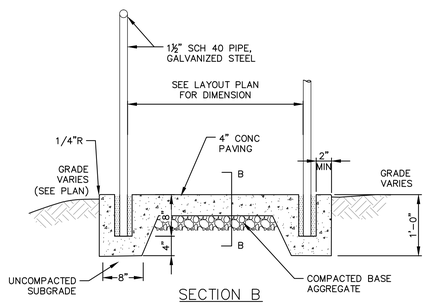


7 METAL GRATE AT WEST PROPERTY LINE
SCALE: 1/2"= 1'-0"



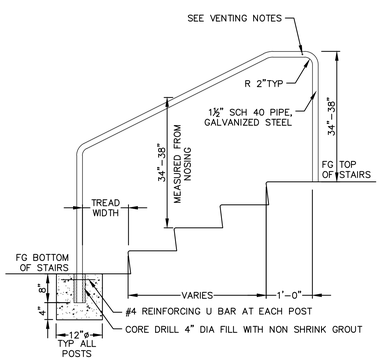
8 FLASHING AT EAST PROPERTY LINE
SCALE: NTS





NOTES:
1. ALL PIPE SHALL BE 1½" SCH 40 PIPE, GALVANIZED STEEL.
2. GRIND ALL WELDED JOINTS SMOOTH.
3. HOT DIP GALVANIZED AFTER FABRICATION.
4. PIPE SHALL FOLLOW ALIGNMENT OF STAIR NOSINGS.
5. PROVIDE SHOP DRAWINGS BEFORE FABRICATION.
6. FOR HANDRAILS LONGER THAN 50', PROVIDE SLIP JOINT ADJACENT TO POST EVERY 50', SPACE EVENLY.
7. EXTERNAL VENT HOLES MUST BE AS CLOSE TO THE WELD AS POSSIBLE AND MUST BE 25% THE SIZE OF THE I.D. OF THE PIPE, BUT NOT LESS THAN ⅜" IN DIA.
8. VENT HOLES IN END SECTIONS OR IN SIMILAR SECTIONS MUST BE ½" IN DIA.
9. ENDS SHOULD BE LEFT COMPLETELY OPEN. ANY DEVICE USED FOR FIELD-ERECTION THAT PREVENTS FULL OPENINGS ON ENDS OF HORIZONTAL RAILS AND VERTICAL LEGS SHOULD BE GALVANIZED SEPARATELY AND ATTACHED AFTER GALVANIZING.

9 HANDRAIL AT ADA RAMP - MODIFIED SPR DETAIL 05 52 13.47
SCALE: 1"=1'-0"



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2. GRIND ALL WELDED JOINTS SMOOTH.
3. HOT DIP GALVANIZED AFTER FABRICATION.
4. PIPE SHALL FOLLOW ALIGNMENT OF STAIR NOSINGS.
5. PROVIDE SHOP DRAWINGS BEFORE FABRICATION.
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7. EXTERNAL VENT HOLES MUST BE AS CLOSE TO THE WELD AS POSSIBLE AND MUST BE 25% THE SIZE OF THE I.D. OF THE PIPE, BUT NOT LESS THAN ⅜" IN DIA.
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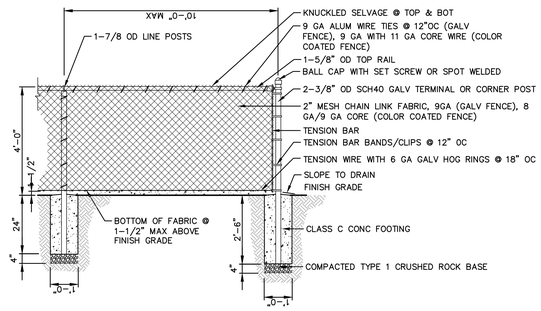
10 METAL PIPE HANDRAIL - SPR DETAIL 05 52 13.33
SCALE: 3/4"=1'-0"



11 4' CHAINLINK FENCE - SPR DETAIL 32 31 00.13
SCALE: 1/2"=1'-0"

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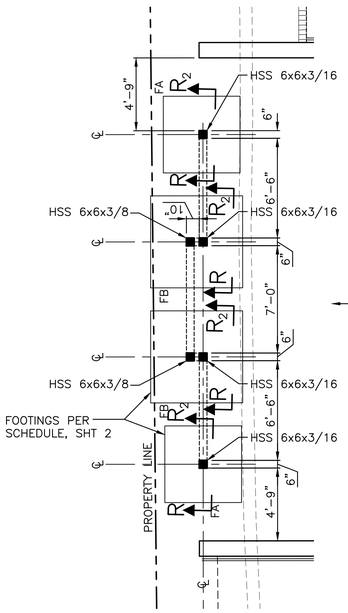
Seattle Parks & Recreation

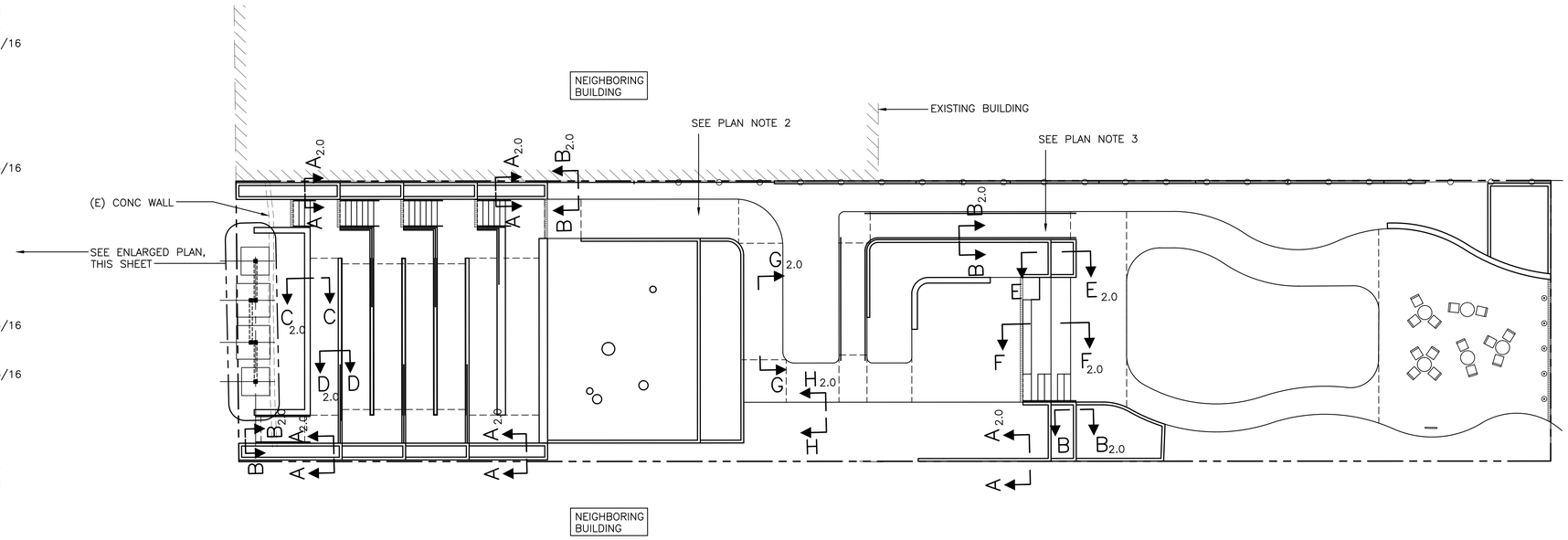
LITTLE SAIGON

PARK DEVELOPMENT

LANDSCAPE DETAILS

DESIGNED SM	DATE 01/28/21
DRAWN CA/DR	SHEET 18 OF 26
CHECKED MT	
ORDINANCE NO. 125475	L6.1
CONTRACT NO. 2064	
SCALE PER DETAIL	





ENLARGED FOUNDATION PLAN – ARTWORK

4 2 0 4 8
SCALE IN FEET

FOUNDATION PLAN

10 5 0 10 20
SCALE IN FEET

FOUNDATION PLAN NOTES: (TYPICAL UNLESS NOTED OTHERWISE)

1. SEE REINFORCING SPLICE LENGTH AND DEVELOPMENT LENGTH SCHEDULE FOR REINFORCING DETAILS.
2. 4" CONCRETE SLAB REINFORCED WITH #4 @ 18"oc EACH WAY ON 4" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED BACKFILL. SEE DETAIL J–J FOR CONSTRUCTION/CONTROL JOINTS IN SLAB.
3. PROVIDE CORNER BARS PER DETAIL K–K AT WALL AND FOOTING INTERSECTIONS.
4. STEP FOOTINGS AS REQUIRED PER DETAIL L–L.
5. SEE DETAIL M–M FOR ALL PIPES AND TRENCHES ADJACENT TO AND THROUGH FOOTINGS.

GENERAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

CRITERIA

1.1 ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE SEATTLE BUILDING CODE (2015 EDITION).

1.3 STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH LANDSCAPE DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

1.4 CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.

1.5 CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.

1.6 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS THE ENGINEER OF RECORD HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE ENGINEER OF RECORD HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

1.7 CONTRACTOR–INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE LANDSCAPE ARCHITECT AND ENGINEER OF RECORD FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

1.8 DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND THE ENGINEER OF RECORD.

1.9 ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

1.10 SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT AND ENGINEER OF RECORD FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

STRUCTURAL STEEL

APPROVED SETS OF ALL SHOP DRAWINGS SHALL ALSO BE SUBMITTED TO THE BUILDING DEPARTMENT.

1.11 SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

QUALITY ASSURANCE

2.1 SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 109 AND 1704 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE LANDSCAPE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE LANDSCAPE ARCHITECT, ENGINEER OF RECORD, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION

CONCRETE CONSTRUCTION	PER TABLE 1704.4

GEOTECHNICAL

3.1 FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

ALLOWABLE SOIL PRESSURE. . . . . 2500 PSF
LATERAL EARTH PRESSURE (RESTRAINED/UNRESTRAINED) . . . . . .54 PCF/32 PCF

SOILS REPORT REFERENCE: PROJECT NO. NS01005 BY SEATTLE PUBLIC UTILITIES DATED SEPTEMBER 2020

CONCRETE

5.1 CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905, 1906, AND ACI 301. STRENGTHS AT 28 DAYS AND MIX CRITERIA SHALL BE AS FOLLOWS:

TYPE OF CONSTRUCTION	28 DAY STRENGTH (f'c)	MAXIMUM ABSOLUTE WATER– CEMENT RATIO NON–AIR ENTRAINED CONCRETE	AIR ENTRAINED CONCRETE
A. LEAN MIX CONCRETE	700 PSI	270# CONCRETE PER CUBIC YARD	
B. SLABS AND STAIRS ON GRADE	2,500 PSI	0.58	0.46
C. ALL STRUCTURAL CONCRETE	4,000 PSI	0.50	0.38

5.2 THE MINIMUM AMOUNTS OF CEMENT MAY BE CHANGED IF A CONCRETE PERFORMANCE MIX IS SUBMITTED TO THE ENGINEER OF RECORD AND THE BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FLYASH, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH IBC 1905.6. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS GENERALLY WITH CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.

ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR–ENTRAINED WITH AN AIR–ENTRAINING AGENT CONFORMING TO ASTM C260, C494, and C618. TOTAL AIR CONTENT FOR FROST–RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH TABLE 1904.2.1 OF THE INTERNATIONAL BUILDING CODE.

5.4 REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy = 60,000 PSI.

5.7 DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315–92 AND 318–02. LAP ALL REINFORCEMENTS IN ACCORDANCE WITH "THE REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE." PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

5.8 CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH . . . . . 3"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#6 BARS OR LARGER). . . . .2"
FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER) .1–1/2"

5.10 CAST–IN–PLACE CONCRETE: SEE LANDSCAPE DRAWINGS FOR EXACT DIMENSIONS. SEE ELECTRICAL DRAWINGS FOR SIZE AND LOCATION OF ALL CONDUIT AND OTHER OPENINGS THROUGH CONCRETE WALLS. SEE LANDSCAPE DRAWINGS FOR HANDRAILS AND GUARDRAILS, ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES.

5.13 NON–SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (4000 PSI MINIMUM).

ANCHORAGE

6.1 EXPANSION BOLTS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "STRONG–BOLT" ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC–ES REPORT NO. 1771, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED FOR ALL EXPANSION BOLT INSTALLATION.

6.2 EPOXY–GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) SPECIFIED ON THE DRAWINGS INTO EXISTING CONCRETE AND GROUTED CMU SHALL BE INSTALLED USING "SET–XP" EPOXY AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC–ES REPORT NO. 2508. SPECIAL INSPECTION OF INSTALLATION IS REQUIRED. RODS SHALL BE ASTM A–36 UNLESS OTHERWISE NOTED.

6.4 SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" HEAVY DUTY SCREW ANCHORS AS MANUFACTURED BY SIMPSON STRONG–TIE. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SUBSTITUTES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED FOR REVIEW WITH ICBO, OR ICC REPORTS INDICATING EQUIVALENT OR GREATER LOAD CAPACITIES. INSTALL IN STRICT ACCORDANCE WITH ICC–ES REPORT NO. 1056.

STEEL

8.1 STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:

1. EITHER AISC–LRFD, AISC 355, OR AISC–HSS AND SECTION 2205.2 OF THE INTERNATIONAL BUILDING CODE.

8.2 ROLLED SHAPES INCLUDING PLATES, SHALL CONFORM TO ASTM A36, Fy = 36 KSI. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B, Fy = 46 KSI. CONNECTION BOLTS SHALL CONFORM TO ASTM A307.

8.3 ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL CONFORM TO SECTION 10 OF THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.

8.5 ALL ANCHORS EMBEDDED IN MASONRY OR CONCRETE SHALL BE A307 HEADED BOLTS OR A36 THREADED ROD WITH AN ASTM 563 HEAVY HEX NUT TACK WELDED ON THE EMBEDDED END.

8.9 ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND A.W.S. STANDARDS AND SHALL BE PERFORMED BY W.A.B.O. CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PREQUALIFIED WELDS (AS DEFINED BY A.W.S.) SHALL BE USED. ALL COMPLETE JOINT PENETRATION GROOVE WELDS SHALL BE MADE WITH A FILLER MATERIAL THAT HAS A MINIMUM CVN TOUGHNESS OF 20 FT–LBS AT –20 DEGREES F AND 40 FT–LBS AT 70 DEGREES F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION.

8.15 STRUCTURAL ALUMINUM MEMBERS OF ALL SHAPES AND PLATES SHALL BE TYPE 6061–T6 ALLOY WITH A MINIMUM YIELD STRESS OF 35,000 PSI. ALL BOLTS AND WASHERS IN DIRECT CONTACT WITH STRUCTURAL ALUMINUM SHALL BE EITHER BRASS OR NICKEL UNLESS OTHERWISE NOTED OR DETAILED.

>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER BEFORE YOU DIG!
WWW.CALL811.COM
Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.

NO.	REVISION – AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/21/21
1	30% DD SUBMITTAL	12/05/19

REVIEWED: _____ PARK ENGINEER _____ DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

structural engineering
giraf design
9220 Roosevelt Way NE
Seattle, WA 98115
206.621.0060

Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

GEN'L NOTES & FND PLAN

DESIGNED NJR	DATE 01/28/21
DRAWN JAS	
CHECKED NJR	SHEET 19 OF 26
ORDINANCE NO. 125475	S 1.0
CONTRACT NO. 2064	
SCALE AS NOTED	

REINFORCING SPLICE AND DEVELOPMENT LENGTH SCHEDULE

FOR f'c = 4000 psi, GRADE 60 REINFORCING

(I) MINIMUM STRAIGHT DEVELOPMENT LENGTH (ℓd)

BAR SIZE	TOP BARS	OTHER BARS
#3	18"	14"
#4	25"	19"
#5	31"	24"
#6	37"	28"
#7	54"	42"
#8	62"	47"
#9	70"	54"
#10	78"	60"
#11	87"	67"

(II) MINIMUM LAP SPLICE LENGTHS (ℓs)

BAR SIZE	TOP BARS	OTHER BARS
#3	24"	18"
#4	32"	25"
#5	40"	31"
#6	48"	37"
#7	70"	54"
#8	80"	62"
#9	90"	70"
#10	102"	78"
#11	113"	87"

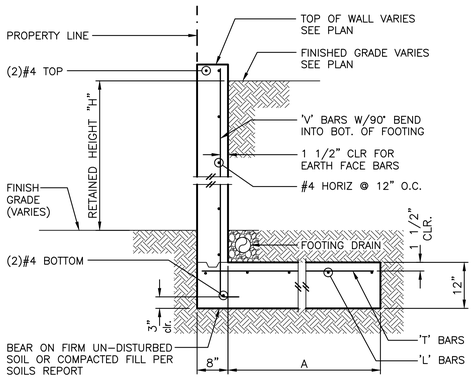
TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" DEPTH OF CONCRETE CAST BELOW THEM.

IF CLEAR CONCRETE COVER IS NOT GREATER THAN THE DIAMETER OF THE BAR, OR THE CENTER TO CENTER SPACING IS NOT GREATER THAN 3 BAR DIAMETERS, THEN LENGTHS SHALL BE INCREASED BY 50%

(III) MINIMUM EMBEDMENT LENGTHS (ℓdh) FOR STANDARD END HOOKS

BAR SIZE	LENGTH
#3	8"
#4	10"
#5	12"
#6	15"
#7	17"
#8	19"
#9	22"
#10	24"
#11	27"

1. SIDE COVER MUST BE EQUAL TO OR GREATER THAN 2 1/2"
2. END COVER FOR 90° HOOKS MUST BE EQUAL TO OR GREATER THAN 2"



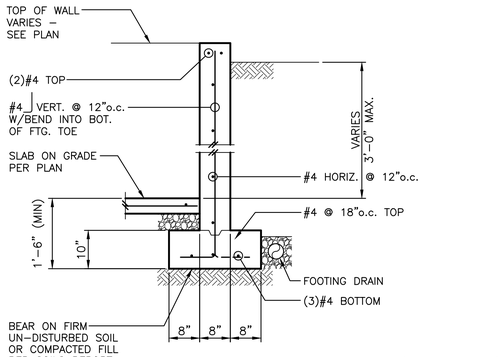
NOTE: SEE SECTION B/1 FOR PARALLEL PLANTER WALL WHERE OCCURS

NOTE: SEE O-O WHERE FOOTINGS BEAR ON SHORING BLOCKS

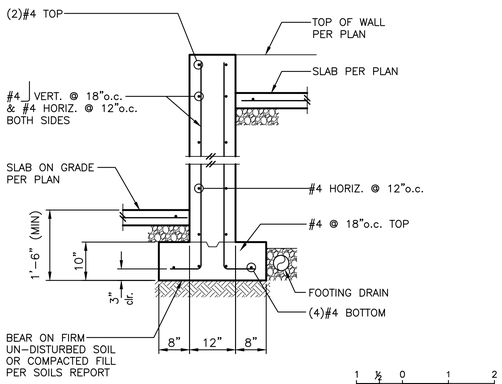
RETAINING WALL SCHEDULE

HEIGHT 'H'	A	'V' BARS	'T' BARS	'L' BARS
4'-0" (MAX.)	2'-0"	#4 @ 18"o.c. CENTERED	#4 @ 18"o.c.	(2)#4
6'-0" (MAX.)	3'-6"	#4 @ 16"o.c. EARTH FACE	#4 @ 16"o.c.	(6)#4
8'-0" (MAX.)	5'-6"	#5 @ 12"o.c. EARTH FACE	#5 @ 12"o.c.	(6)#5
10'-0" (MAX.)	8'-4"	5 @ 6"o.c. EARTH FACE	#5 @ 6"o.c.	(8)#5

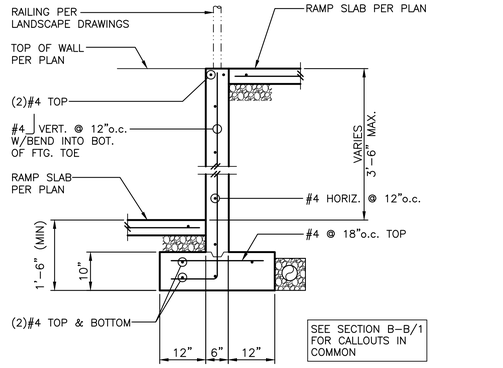
SECTION A-A 1 — SCALE IN FEET (1, ½, 0, 1, 2)



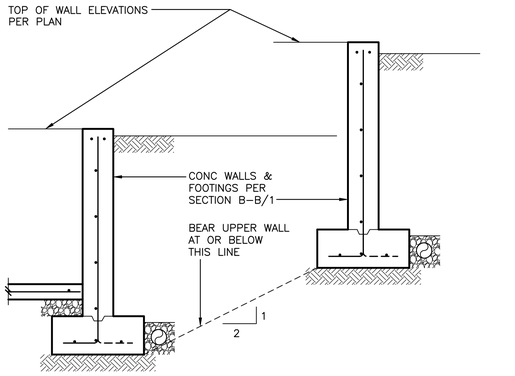
SECTION B-B 1 — SCALE IN FEET (1, ½, 0, 1, 2)



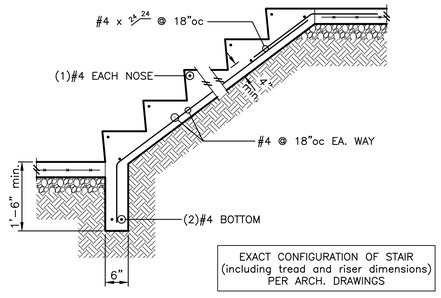
SECTION C-C 1 — SCALE IN FEET (1, ½, 0, 1, 2)



SECTION D-D 1 — SCALE IN FEET (1, ½, 0, 1, 2)

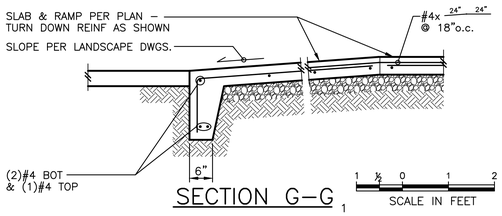


SECTION E-E 1 — SCALE IN FEET (1, ½, 0, 1, 2)

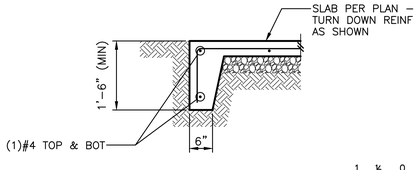


TYPICAL STAIR ON GRADE

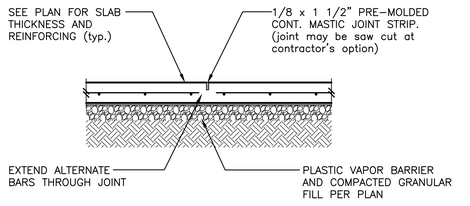
SECTION F-F 1 — SCALE IN FEET (1, ½, 0, 1, 2)



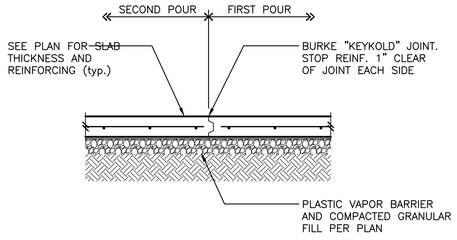
SECTION G-G 1 — SCALE IN FEET (1, ½, 0, 1, 2)



SECTION H-H 1 — SCALE IN FEET (1, ½, 0, 1, 2)



CONTROL JOINT

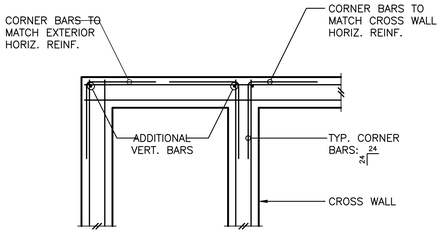


CONSTRUCTION JOINT

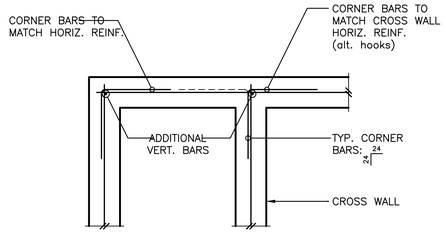
PROVIDE CONTROL OR CONSTRUCTION JOINTS IN SLABS ON GRADE TO BREAK UP SLAB INTO RECTANGULAR AREAS OF 400 SQUARE FEET OR LESS. AREAS TO BE APPROX. SQUARE AND HAVE NO ACUTE ANGLES. JOINT LOCATIONS TO BE APPROVED BY THE ARCHITECT.

TYPICAL SLAB JOINTS

SECTION J-J 1 — SCALE IN FEET (1, ½, 0, 1, 2)



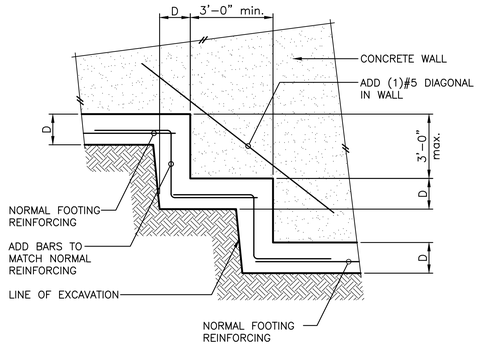
DOUBLE CURTAIN



SINGLE CURTAIN

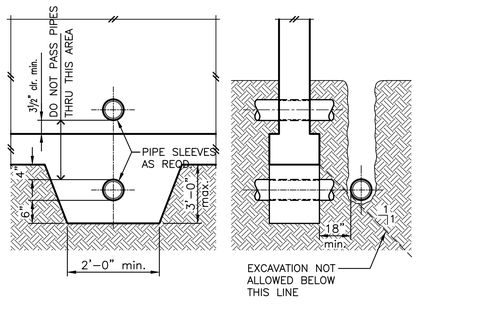
TYPICAL CORNER BARS AT CONCRETE WALLS AND FOOTINGS

SECTION K-K 1 — SCALE IN FEET (1, ½, 0, 1, 2)



TYPICAL STEPPED FOOTING

SECTION L-L 1 — SCALE IN FEET (1, ½, 0, 1, 2)



PIPE AND TRENCH LOCATIONS

SECTION M-M 1 — SCALE IN FEET (1, ½, 0, 1, 2)

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NO.	REVISION – AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/21/21
1	30% DD SUBMITTAL	12/05/19

REVIEWED: _____ PARK ENGINEER _____ DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

structural engineering
giraf design
9220 Roosevelt Way NE
Seattle, WA 98115
206.621.0060

Seattle Parks & Recreation

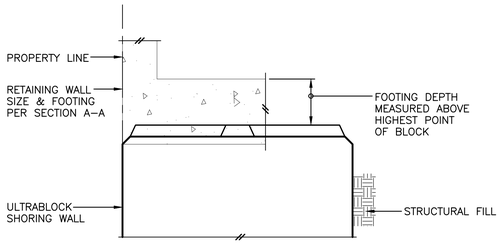
LITTLE SAIGON

PARK DEVELOPMENT

STRUCTURAL DETAILS

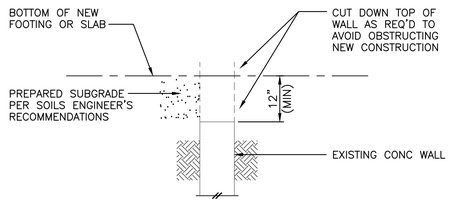
DESIGNED	NJR
DRAWN	JAS
CHECKED	NJR
DATE	01/28/21
SHEET	20 OF 26
ORDINANCE NO.	125475
CONTRACT NO.	2064
SCALE	AS NOTED

S 2.0



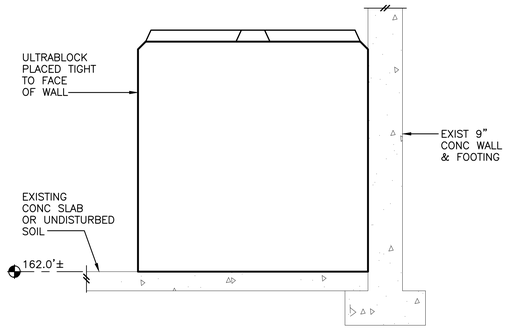
SECTION N–N 3

1 ½ 0 1 2
SCALE IN FEET



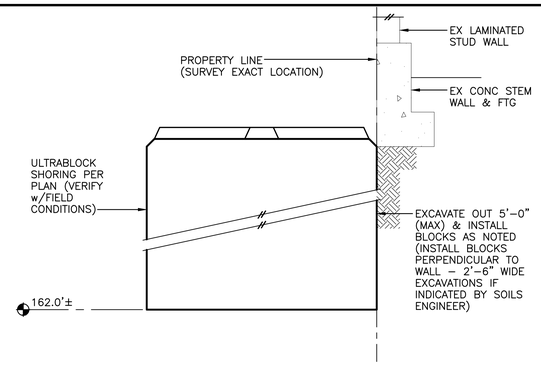
SECTION O–O 3

1 ½ 0 1 2
SCALE IN FEET



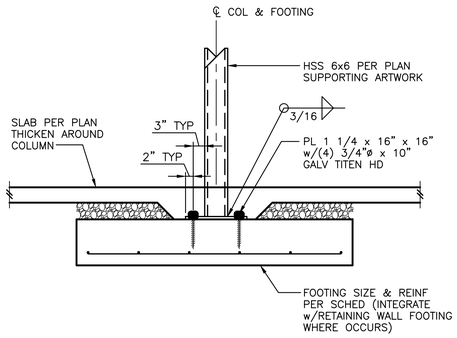
SECTION P–P 3

1 ½ 0 1 2
SCALE IN FEET



SECTION Q–Q 3

1 ½ 0 1 2
SCALE IN FEET



FOOTING SCHEDULE

MARK	SIZE (MIN) ①	REINFORCING (MIN) ②
FA	5'–0" x 5'–0" x 12"	(5)#5 EACH WAY BOTTOM
FB	6'–0" x 6'–0" x 12"	(6)#5 EACH WAY BOTTOM

NOTES:

① INTEGRATE w/RETAINING WALL FOOTING, WHERE OCCURS

② CONTINUE RETAINING WALL REINF THROUGH FOOTING BOT DO NOT COUNT AS PART OF SCHEDULED REINFORCING, WHERE OCCURS

SECTION R–R 1

1 ½ 0 1 2
SCALE IN FEET

>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER BEFORE YOU DIG!
WWW.CALL811.COM
Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.

NO.	REVISION – AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/21/21
1	30% DD SUBMITTAL	12/05/19

REVIEWED: _____ PARK ENGINEER _____ DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

structural engineering
giraf design
9220 Roosevelt Way NE
Seattle, WA 98115
206.621.0060

Seattle Parks & Recreation

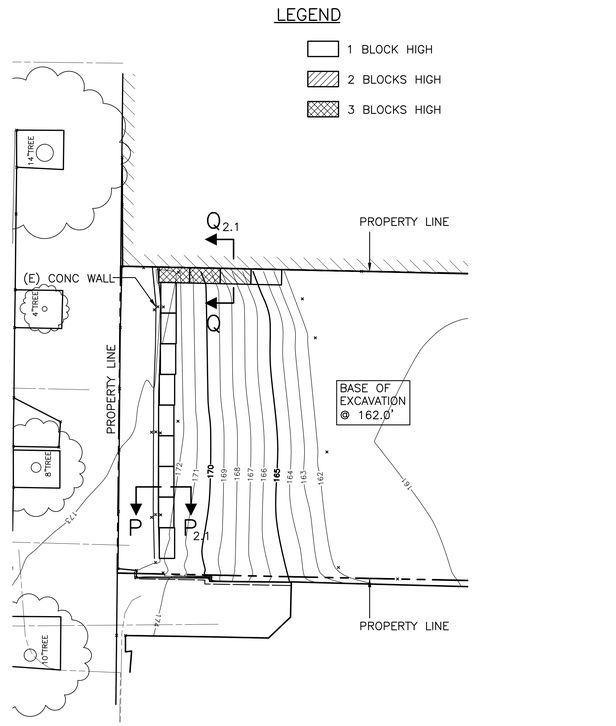
LITTLE SAIGON

PARK DEVELOPMENT

STRUCTURAL DETAILS

DESIGNED NJR
DRAWN JAS
CHECKED NJR
DATE 01/28/21
SHEET 21 OF 26
ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE AS NOTED

S 2.1



EXCAVATION & SHORING PLAN

N

10 5 0 10 20
SCALE IN FEET

GENERAL SHORING NOTES

(The following apply unless shown otherwise on the plans)

CRITERIA

1. CODE REQUIREMENTS: ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE SEATTLE BUILDING CODE, 2015 EDITION.
2. REFERENCE DOCUMENTS:
   a. TOPOGRAPHIC AND BOUNDARY SURVEY BY SEATTLE PARKS AND RECREATION SURVEY AND MAPPING DATED 11/20/2019
   b. GEOTECHNICAL INVESTIGATION BY SEATTLE PUBLIC UTILITIES GEOTECHNICAL ENGINEERING DATED SEPTEMBER 2020.
3. DESIGN LOADS: THE SOIL PRESSURE INDICATED ON THE SOIL PRESSURE DIAGRAM WAS USED FOR THE DESIGN, IN ADDITION TO THE DEAD AND LIVE LOADS, AND SHALL BE VERIFIED BY THE SOILS ENGINEER.
4. SOILS INSPECTION: INSPECTION OF THE GRAVITY WALL INSTALLATION SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER OF RECORD.
5. UTILITY LOCATION: THE SHORING CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO EXCAVATION. THE UTILITIES INFORMATION SHOWN ON THE PLANS MAY BE NOT COMPLETE.
6. SPECIAL CONDITIONS: CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF EXISTING STRUCTURES IN THE FIELD AND SHALL NOTIFY THE ENGINEER OF ALL FIELD CHANGES PRIOR TO FABRICATION AND INSTALLATION.
7. SOILS: SEE REPORT OF GEOTECHNICAL INVESTIGATION FOR MORE COMPLETE INFORMATION, INCLUDING RECOMMENDATIONS FOR SHORING IN GENERAL, SHORING MONITORING, EXCAVATION, LAGGING, AND DRAINAGE.
8. GRAVITY WALL BLOCKS SHALL USE FULL AND HALF SIZE 'ULTRABLOCKS' AS SUPPLIED BY ULTRABLOCK INC. AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
9. SHORING MONITORING: A SYSTEMATIC PROGRAM OF OBSERVATION SHALL BE CONDUCTED DURING THE PROJECT EXECUTION TO DETERMINE THE EFFECT OF CONSTRUCTION ON ADJACENT FACILITIES AND STRUCTURES IN ORDER TO PROTECT THEM FROM DAMAGE. REFER TO REPORT OF GEOTECHNICAL INVESTIGATION FOR RECOMMENDATIONS. FIELD DATA AND MEASUREMENTS ARE TO BE SUBMITTED TO STRUCTURAL AND GEOTECHNICAL ENGINEER FOR REVIEW.

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NO.	REVISION – AS BUILT	DATE
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structural engineering
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9220 Roosevelt Way NE
Seattle, WA 98115
206.621.0060

Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

EXCAV & SHORING PLAN

DESIGNED NJR
DRAWN JAS
CHECKED NJR
DATE 01/28/21
SHEET 22 OF 26
ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE AS NOTED

S 3.0

ABBREVIATIONS

A	AMPERE
AC	ABOVE COUNTER, ALTERNATING CURRENT
AF	AMP FUSE; AMP FRAME
AFF	ABOVE FINISHED FLOOR
AHJ	AUTHORITIES HAVING JURISDICTION
AIC	AMPERE INTERRUPTING CURRENT
AL	ALUMINUM
AS	AMP SWITCH
AT	AMP TRIP
ATS	AUTOMATIC TRANSFER SWITCH
AV	AUDIO VISUAL
C	CONDUIT; DEGREES CELSIUS
CAT	CATEGORY
CCTV	CLOSED CIRCUIT TELEVISION
CU	COPPER
DWG	DRAWING
(E)	EXISTING
EC	ELECTRICAL CONTRACTOR, END CAP
EF	EXHAUST FAN
ELEC	ELECTRICAL
EPO	EMERGENCY POWER OFF
EQ, EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
EWH	ELECTRIC WATER HEATER
FA	FIRE ALARM
FAAP	FIRE ALARM ANNUNCIATOR PANEL
FACP	FIRE ALARM CONTROL PANEL
FBO	FURNISHED BY OWNER
FOIC	FURNISHED BY OWNER INSTALLED BY CONTRACTOR
FOIO	FURNISHED BY OWNER INSTALLED BY OWNER
FSD	FIRE SMOKE DAMPER
FT	FOOT; FEET
G, GND	GROUND
GC	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPTER
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
HP	HORSE POWER
IBC	INTERNATIONAL BUILDING CODE
JB	JUNCTION BOX
kVA	KILOVOLT AMPERE
KW	KILOWATT
KCMIL	THOUSAND CIRCULAR MILS
LCP	LIGHTING CONTROL PANEL
LTG	LIGHTING
LF	LINEAL FOOT
MAX	MAXIMUM
MCB	MAIN CIRCUIT BREAKER
MDP	MAIN DISTRIBUTION PANEL
MIN	MINIMUM
MLO	MAIN LUGS ONLY
MSB	MAIN SWITCHBOARD
MTD	MOUNTED
N	NEUTRAL
(N)	NEW
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NL	NIGHT LIGHT
NTS	NOT TO SCALE
OC	ON CENTER
OH	OVERHEAD LINE
OS	OCCUPANCY SENSOR
PIV	POST INDICATOR VALVE
QTY	QUANTITY
REV	REVISION
SCL	SEATTLE CITY LIGHT
SF	SQUARE FOOT, SUPPLY FAN
SMR	SURFACE METAL RACEWAY
SPEC	SPECIFICATION
TBB	TELECOMMUNICATIONS BACKBOARD
TBD	TO BE DETERMINED
TYP	TYPICAL
UG	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
V	VOLTS
VAV	VARIABLE AIR VOLUME
VFD	VARIABLE FREQUENCY DRIVE
W	WATT; WIRE
WP	WEATHERPROOF
XFMR	TRANSFORMER
Y	WYE

GROUNDING

- GROUND PIGTAIL
- WELDED GROUND CONNECTION
- GROUND ROD

EXISTING CONSTRUCTION

EXISTING	DEMO	NEW	DESCRIPTION
			DUPLEX RECEPTACLE

SCHEMATIC / ONE LINE

- 480V P / 208Y/120V S SIZED PER CODE — TRANSFORMER: VOLTAGES AS NOTED
- CURRENT TRANSFORMER WITH METER ENCLOSURE
- OWNER METER PER SEC CHAPTER 12 METER BY SCL
- 400A/3P — CIRCUIT BREAKER; NUMBER OF POLES; BREAKER SIZE
- EXOTHERMIC WELD
- GROUND CONNECTION
- 50A — FUSE, SIZE AS INDICATED
- ST — SHUNT TRIP
- TRANSFER SWITCH

GENERIC

- XXX-XX-XXX — EQUIPMENT TAG
- 1 — FLAG NOTE
- X / X.X — DETAIL / PLAN INDENTIFIER
- X — REVISION CALLOUT
- XXX — FEEDER TAG

WIRING

- CONDUIT, EXPOSED OR CONCEALED
- CONDUIT (UNDERGROUND)
- CONDUIT OR CABLE DOWN
- CONDUIT OR CABLE UP
- 3 — CABLE CAPPED
- 2 — CONDUIT CONTINUATION/BREAK
- HOME RUN
  - INDICATES PHASE CONDUCTORS
  - INDICATES NEUTRAL
  - INDICATES GROUND
  - INDICATES ISOLATED GROUND

FEEDER DESIGNATIONS:
( ) 2"C, 3#1/0, 1#2 GND
- GROUND CONDUCTOR QTY & SIZE
- PHASE CONDUCTOR QTY & SIZE
- CONDUIT SIZE
- QTY RUNS

MISCELLANEOUS

- K — KEY PAD
- PUSH BUTTON DOOR OPERATOR
- EPO — EMERGENCY POWER OFF SWITCH
- CLOCK
- EQUIPMENT AS NOTED
- DH — DOOR HOLDER - CLOSER
- DR — DOOR RELEASE
- IC — INTERCOM
- DD — DESTINATION DISPATCH
- T — THERMOSTAT

POWER

- RECEPTACLE OUTLET: SUBSCRIPT NUMBER INDICATES PANEL CIRCUIT NUMBER. SUBSCRIPT LETTER INDICATES:
  WP - WEATHERPROOF
  USB- DUPLEX RECEPTACLE WITH USB PORT
  T - TAMPERPROOF RECEPTACLE
- GFCI FOURPLEX RECEPTACLE
- GFCI DUPLEX RECEPTACLE
- FOURPLEX RECEPTACLE
- DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE - HALF SWITCH
- CEILING DUPLEX RECEPTACLE
- ABOVE COUNTER FOURPLEX RECEPTACLE
- ABOVE COUNTER DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE ON EMERGENCY CIRCUIT
- QUADPLEX RECEPTACLE ON EMERGENCY CIRCUIT
- F — POKE-THRU, DEVICES AS INDICATED; F - FLUSH MOUNTED
- FLOOR BOX, DEVICES AS INDICATED
- EQUIPMENT CONNECTION
- 30A — SPECIAL PURPOSE RECEPTACLE, DEVICE RATING AS SHOWN
- J — J-BOX
- 30A — NON-FUSED DISCONNECT; SIZE AS INDICATED
- 40/60 — FUSED DISCONNECT; AMP SWITCH SIZE (60 AS); AMP FUSE SIZE (40 AF)
- MOTOR STARTER
- COMBINATION MOTOR STARTER - DISCONNECT SWITCH
- SHUNT TRIP CIRCUIT BREAKER
- MOTOR CONNECTION
- MOTOR CONNECTION - 3 PHASE
- 480Y/277V ELECTRICAL PANEL
- 208Y/120V ELECTRICAL PANEL
- RESIDENTIAL PANEL
- ECP — PANEL, TYPE AS NOTED; ECP - ELEVATOR CONTROL PANEL; LCP - LIGHTING CONTROL PANEL
- SURFACE MOUNTED RACEWAY WITH DEVICE AS SHOWN, OR WITH SPACING INDICATED
- DOOR CONTACT

DATA

- BROADBAND COAX OUTLET W/ (1) RG-6 CABLE
- W — WALL PHONE OUTLET, MOUNT AT +48", W/ (1) CAT5E CABLE
- X — TELECOM OUTLET; SUBSCRIPT INDICATES: X - QTY OF CAT5E CABLES; (1) CAT5E CABLE UON; WAP - WIRELESS ACCESS POINT; (1) CAT5E CABLE UON
- CAMERA
- CR — CARD READER
- D — INTERCOM STATION - FOR RESCUE ASSISTANCE, CONNECT TO HEAD-END SYSTEM WITH CAT5E CABLE.
- COMMUNICATIONS BACKBOARD (BACKBOARD LENGTH AS INDICATED)
- RR — RADIO READER
- S / B — SMART BOX (APARTMENT DISTRIBUTION FRAME) WITH RECEPTACLE

LIGHTING

- ^{a} — WALL SWITCH - SUBSCRIPT INDICATES:
  3 = 3-WAY
  4 = 4-WAY
  LV = LOW-VOLTAGE
  NS = NIGHT SETBACK
  a = LOWER CASE LETTERS INDICATES SWITCHING GROUP DESIGNATION
  T = TIMER
  OS = OCCUPANCY SENSOR
- ^{a} — DIMMER SWITCH
- DS — DAYLIGHT SENSOR
- OS — OCCUPANCY SENSOR, CEILING MOUNTED
- OS — OCCUPANCY SENSOR, WALL MOUNTED
- F1 / 6a, b — LIGHT FIXTURE, SIZES VARY. REFER TO FIXTURE TYPE. TYPICAL ALL FIXTURES: ADJACENT NUMBER INDICATES CIRCUIT GROUPING; LOWER CASE LETTER INDICATES SWITCHING GROUP
- FIXTURE ON EMERGENCY CIRCUIT; SIZE VARIES, REFER TO FIXTURE TYPE.
- WALL-MOUNTED FIXTURE; SIZE VARIES, REFER TO FIXTURE TYPE.
- WALL MOUNTED FIXTURE ON EMERGENCY CIRCUIT. SIZE VARIES, REFER TO FIXTURE TYPE.
- STRIP FIXTURE; SIZE VARIES, REFER TO FIXTURE TYPE.
- STRIP FIXTURE ON EMERGENCY CIRCUIT; SIZE VARIES, REFER TO FIXTURE TYPE.
- RECESSED DOWNLIGHT FIXTURE
- RECESSED WALL WASH/ADJUSTABLE FIXTURE
- DOWNLIGHT ON EMERGENCY CIRCUIT
- STEP LIGHTS
- TRACK LIGHTING, LENGTH AS INDICATED
- PENDANT LIGHT
- WALL SCONCE
- ILLUMINATED EXIT SIGN - FACES & DIRECTION OF ALL ARROWS AS SHOWN, WHERE INDICATED
- TROFFER
- SURFACE DOWNLIGHT
- SURFACE WALL WASH/ADJUSTABLE DOWNLIGHT
- LINEAR PENDANT
- LINEAR WALL WASH

FIRE ALARM

CLG MTD	WALL MTD	
N/A	F	MANUAL PULL STATION
N/A	H	FIRE ALARM HORN
L	L	FIRE ALARM STROBE
FS	FS	FIRE ALARM SPEAKER
F	F	FIRE ALARM HORN/STROBE
	FARA	FIRE ALARM REMOTE ANNUNCIATION
	FACP	FIRE ALARM CONTROL PANEL
		FIRE ALARM SMOKE DETECTOR
	D	FIRE ALARM SMOKE DUCT DETECTOR
	R	RESIDENTIAL COMBO SMOKE ALARM/ CO DETECTOR
		FIRE ALARM HEAT DETECTOR
SD		COMBINATION SMOKE/FIRE DAMPER
	KB	FIRE KNOX BOX
	TS	TAMPER SWITCH
	M	MAGNETIC DOOR HOLD OPEN
	DR	DOOR RELEASE
	DH	DOOR HOLDER-CLOSER
AS		ALARM SWITCH
PS		PRESSURE SWITCH
V		VALVE
FL		FLOW SWITCH

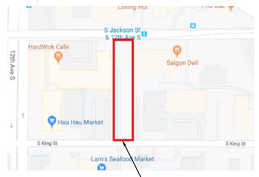
OUTLET MOUNTING HEIGHTS

SPECIAL OUTLET HEIGHTS ARE SHOWN ON THE ELECTRICAL DRAWINGS OR ON THE ARCHITECTURAL DRAWINGS. IF SPECIAL OUTLET HEIGHTS ARE NOT SHOWN OR REQUIRED, LOCATE OUTLETS AS NOTED BELOW. OUTLET HEIGHTS ARE MEASURED FROM THE CENTERLINE OF THE OUTLET TO THE FINISHED FLOOR, UNO.

RECEPTACLES	+18 INCHES VERTICAL
LIGHT SWITCHES	+48 INCHES SET VERTICAL
PANEL BOARDS	+4 FEET TO THE HIGHEST CIRCUIT BREAKER ON PANEL
RESI PANEL BOARDS	+4 FEET TO THE HIGHEST CIRCUIT BREAKER ON PANEL
ADA PANEL BOARDS	+4 FEET TO THE HIGHEST CIRCUIT BREAKER ON PANEL
TELECOM OUTLET-DESK	+18 INCHES VERTICAL
TELECOM OUTLET-WALL	+18 INCHES VERTICAL
MANUAL STATION	+18 INCHES VERTICAL
FIRE ALARM CONTROL PANEL	+6 FEET TO TOP
FIRE ALARM VISUAL ALARM	+80 INCHES OR 6 INCHES BELOW CEILING, WHICHEVER IS
LIGHT	LOWER
FIRE ALARM SPEAKER HORN,	+80 INCHES OR 6 INCHES BELOW CEILING, WHICHEVER IS
CHIME	LOWER

PROJECT ADDRESS:

1222 S KING ST;
SEATTLE, WA 98144



LOCATION/SITE MAP
SCALE: NOT TO SCALE

ELECTRICAL DRAWING INDEX

SHEET NUMBER	SHEET TITLE	SHEET SCALE	60% CD 1/27/2020
E0.0	ELECTRICAL LEGEND	NTS	X
E1.0	ELEC SITE PLAN	1"=10'-0"	X
E2.0	ELEC DETAILS	NTS	X
E3.0	LIGHTING ENERGY CODE	NTS	X

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NO.	REVISION – AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/27/21
1		

REVIEWED:
PARK ENGINEER DATE

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RUSHING
Engineering – Essentials – Delivery
1725 WESTLAKE AVE N, SUITE 300
SEATTLE, WA 98109
P: (206) 285-7100 F: (206) 285-7111

Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

ELECTRICAL LEGENDS

DESIGNED
DRAWN
CHECKED
DATE 01/27/2021
SHEET 23 OF 26

ORDINANCE NO. 125475
CONTRACT NO. 2064

E0.0

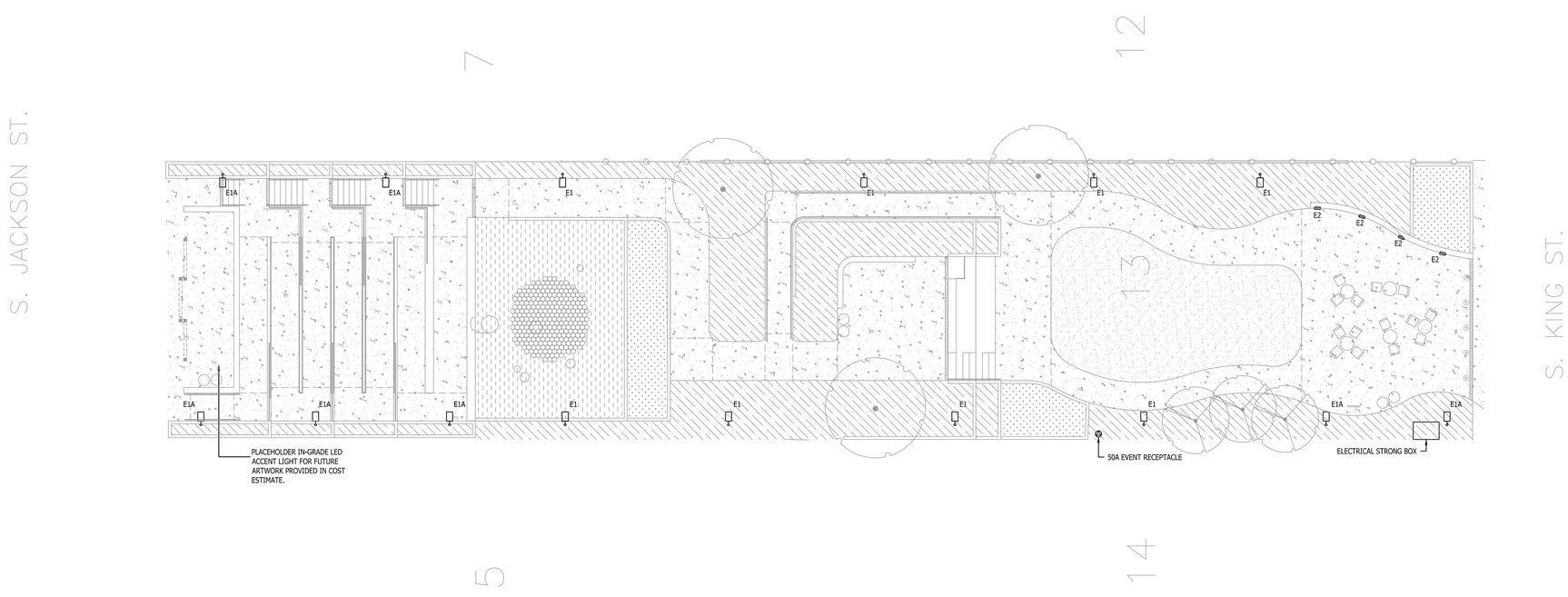
SCALE NTS

GENERAL NOTES:
1. ALL LIGHT FIXTURE FINISHES TO BE VERIFIED BY OWNER/ARCHITECT.
2. CCT = CORRELATED COLOR TEMPERATURE (MEASURED IN KELVIN, K)
3. CRI = COLOR RENDERING INDEX (HIGHER NUMBER IS BETTER RENDERING)

TYPE	DESCRIPTION	LOCATION	MANUFACTURER	PRODUCT NO.	LAMP, CCT, CRI	LUMENS	WATTS	VOLTAGE	DRIVER	DIMMING	OPTIC	FINISH	NOTES
EXTERIOR LIGHTING													
E1	16' POLE MOUNTED TYPE III LED AREA LIGHT WITH FLAT GLASS LENS AND BACKLIGHT CONTROL	SITE BOUNDARIES	KIM	HEAD: ALT1-28L-20-3K8-3-UNV-VSF-BL-4NSP30F-BC POLE: PRA16-4188	LED, 3000K, 80 CRI	1,180	20	120-277V	INTEGRAL	0-10V	TYPE III WITH BACKLIGHT CONTROL	BLACK	1. PROVIDE INTEGRAL OCCUPANCY SENSOR.
E1A	16' POLE MOUNTED TYPE IV LED AREA LIGHT WITH FLAT GLASS LENS AND BACKLIGHT CONTROL	SITE ENTRIES	KIM	HEAD: ALT1-28L-20-3K8-4-UNV-VSF-BL-4NSP30F-BC POLE: PRA16-4188	LED, 3000K, 80 CRI	2,190	20	120-277V	INTEGRAL	0-10V	TYPE IV WITH BACKLIGHT CONTROL	BLACK	1. PROVIDE INTEGRAL OCCUPANCY SENSOR.
E2	RECESSED LED LOUVERED STEPLIGHT	BENCH	BEGA	33 019 + K3 + BLK	LED, 3000K, 80 CRI	64	7	120-277V	INTEGRAL	0-10V	LOUVERED	BLACK	

GENERAL NOTE:

1. ALL EXTERIOR LIGHTING TO BE TIED TO STRONG BOX WITH PROGAMMABLE ON/OFF AUTOMATIC TIME CLOCK CONTROL AND PHOTOCELL BYPASS SWITCH PER SEATTLE PARKS AND RECREATION STANDARDS. INTEGRAL OCCUPANCY SENSORS IN EACH POLE TO BE PROVIDED FOR CODE REQUIRED DIMMING.
2. ALL CONDUIT ROUTING TO BE 1" PVC SCHEDULE 40, UNLESS NOTED OTHERWISE.



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NO.	REVISION – AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/27/21
1		

REVIEWED: _____ PARK ENGINEER _____ DATE

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RUSHING
Engineering – Essentials – Delivery
1725 WESTLAKE AVE N. SUITE 300
SEATTLE, WA 98109
P: (206) 285-7100 F: (206) 285-7111

Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

ELEC SITE PLAN

DESIGNED _____
DRAWN _____
CHECKED _____
DATE 01/27/2021
SHEET 24 OF 26

ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE 1" = 10'-0"

E1.0

>>>>CAUTION - CALL 811<<<<
UTILITY NOTIFICATION CENTER BEFORE YOU DIG!
WWW.CALL811.COM

Also, verify all underground utilities not located by the 811 service by using a commercial location service and call SPR Inspection Request Line (206) 684-7034.

(A) IRRIGATION CONTROL PANEL LEGEND:

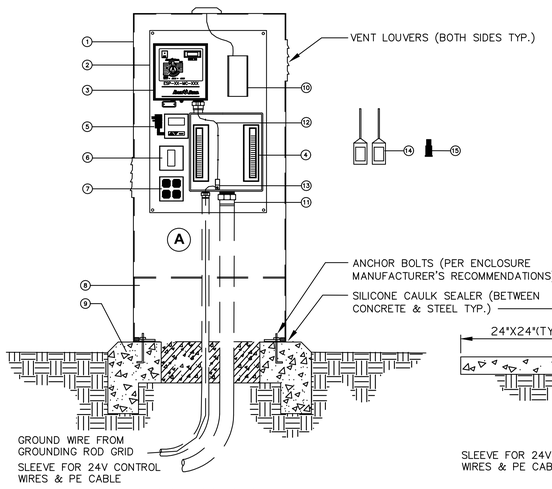
1. STRONGBOX ENCLOSURE #SB24-SS-120V
2. ALUMINUM PANEL (BOLTED TO BACK WALL OF BOX)
3. HYBRID CONTROLLER: RAINBIRD ESP *LXME, SITE, OR SITESAT-XX-XXXX (EDIT - EXACT TYPE OF CONTROLLER & # OF STATIONS VARIES BY PROJECT).*
4. TERMINAL BOX WITH TERMINAL STRIPS.
5. RAINBIRD FLOW MONITOR.
6. *PUMP MANUFACTURER (OPTIONAL IF REQUIRED)*
7. LEVITON 5280-W, GFI OUTLET.
8. 12" ENCLOSURE EXTENSION (TYP.)
9. PRE-CAST OR CONCRETE BASE
10. DATAREMOTE DIGITAL CELLULAR COMMUNICATION UNIT (#CDS-9022-1X-V) WITH DOMED TOP ANTENNA & CABLE
11. MIN. 2" CONDUIT FOR STATION CONTROL WIRES
12. GROUND WIRE CONNECTS FROM GROUND LUG TO GROUNDING BUSS IN CONTROLLER (TYP.)
13. GROUND LUG (RUN WIRE FROM GROUND LUG TO GROUNDING ROD GRID TYP.)
14. TRC COMMANDER REMOTE TRANSMITTERS (2 UNITS PER PROJECT TYP.)
15. PULSE DECODER (OPTIONAL IF REQUIRED)

(B) METER / LOAD CENTER PANEL LEGEND:

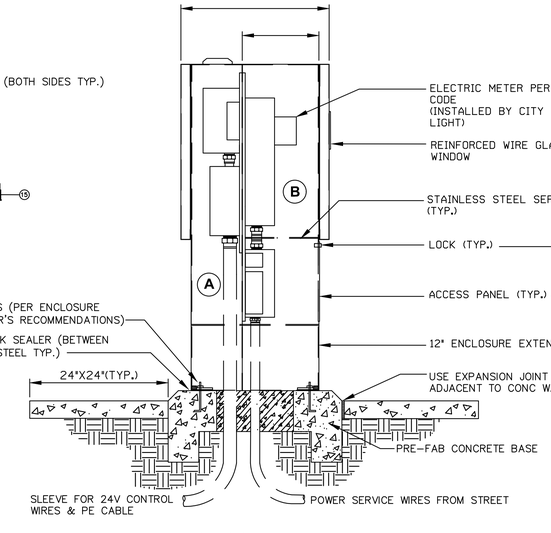
16. 200 AMP METER BASE REQUIRED BY CITY LIGHT (ALIGN METER WITH WINDOW TYP.)
17. SIEMENS LOAD CENTER, #E0816ML1125SCU - 8/16, W/125A, WITH 8 SPACES & 16 CIRCUITS, 4- QP MAX. 2-POLES, 14-3/4"X12-3/8"X3-7/8", (WITH BACK-FED MAIN BREAKER TYP.)
18. PHOTOCELL BYPASS SWITCH
19. LIGHTING CONTACTOR (OPTIONAL IF REQUIRED)

ENCLOSURE CABINET & PANEL NOTES:

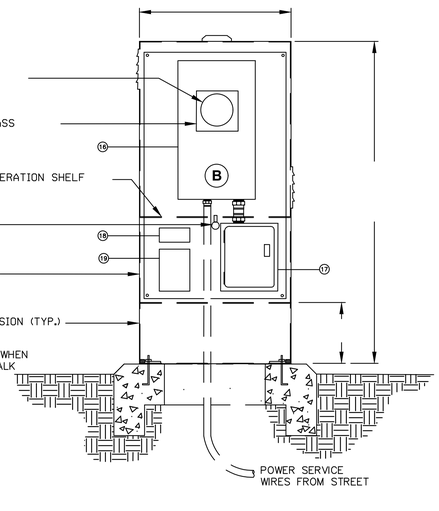
1. STRONG BOX CABINET - #SB-24SS-120V.
2. COLD ROLLED STEEL CONSTRUCTION
3. POWDER COATED DARK GREEN COLOR
4. TWO LOUVERED VENTS ON EACH SIDE
5. REMOVABLE EQUIPMENT MOUNTING PANELS
6. CABINET BOLTED TO A PREFABRICATED CONCRETE BASE
7. HINGED METER VIEWING WINDOW WITH REINFORCED GLASS
8. CONTROL CABINET, PREFABRICATED CONCRETE BASE, IRRIGATION CONTROLLER, TERMINAL STRIPS, SURGE PROTECTION, & PANEL ASSEMBLY AVAILABLE FROM UNITED PIPE AND SUPPLY *(MODEL # IT-ICC-SBMC12MB-RP).*



IRRIGATION CONTROLLER SIDE

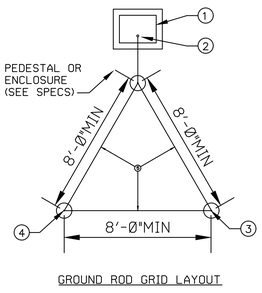


SECTION VIEW



METER / LOAD CENTER SIDE

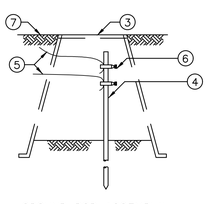
(1) POWER DROP WITH METER & IRRIGATION CONTROLLER ENCLOSURE DETAILS
NOT TO SCALE



GROUND ROD GRID LAYOUT

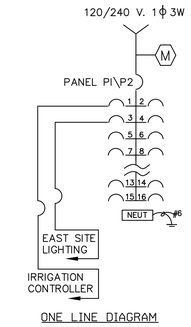
GROUNDING LEGEND

1. CONTROLLER AND/OR CLUSTER CONTROL UNIT (CCU)
2. #10 AWG SOLID BARE COPPER WIRE FROM GROUNDING ROD TO GROUND LUG ON CONTROLLER (OR CCU). MAKE WIRE AS SHORT AS POSSIBLE.
3. COVER GROUNDING ROD WITH 6" ROUND VALVE BOX
4. 5/8"X8'-0" COPPER CLAD GROUNDING RODS. INSTALL RODS IN SOIL IN A TRIANGULAR PATTERN, SPACED 8'-0"MIN APART. GROUNDING GRID SHALL HAVE A RESISTANCE OF 10 OHMS OR LESS.
5. #10 AWG BARE COPPER WIRE BETWEEN GROUNDING RODS (TYP.).
6. BRASS WIRE CLAMP (USE SEPARATE CLAMP FOR EACH WIRE).
7. FINISH GRADE.



GROUND ROD ASSEMBLY

(2) GROUNDING ROD GRID DETAILS
NOT TO SCALE



ONE LINE DIAGRAM

PANEL SCHEDULE

LOCATION: PEDESTAL PANEL — 120/240 VOLTS, 1 PHASE, 3 WIRE
NO. SERVING: IRRIGATION PUMP, LIGHTING CONTROLS — 100 AMP WITH MAIN BREAKER

CKT NO.	LOAD DESCRIPTION	KVA	TRIPS AMPS			TRIPS AMPS	KVA	LOAD DESCRIPTION	CKT NO.
1	EAST SITE LIGHTS	0.5	20			20	0.4	WEST SITE LIGHTS	2
3	IRRIGATION CONTROLLER	1.0	20			50	6.0	50A EVENT RECEPTACLE	4
5	SPARE	–	20			50	6.0	–	6
7	SPARE	–	20			20	–	SPARE	8
9	SPACE ONLY		XX			XX		SPACE ONLY	10
11	SPACE ONLY		XX			XX		SPACE ONLY	12
13	SPACE ONLY		XX			XX		SPACE ONLY	14
15	SPACE ONLY		XX			XX		SPACE ONLY	16

REMARKS: _____
CONNECTED LOAD: 13.9 KVA 57.9 AMPS
DEMAND LOAD: 14.13 KVA 58.9 AMPS

SYMBOL KEY

- TC – ELECTRONIC TIME CLOCK – TORK Z400
- (M) – PHOTOCELL 105–285 V. 1800 VA. MOUNT ON CHANNEL MARKER SHELTER
- $ – SWITCH 15 A. 120V.
- – DUPLEX RECEPTACLE SS COVER 20A. 120V.
- LC–1 – 3P30A ELECTRICALLY HELD LIGHTING CONTRACTOR WITH 120 V. COIL.
- – HOA SWITCH – INTERGRAL IN TIME CLOCK

(3) ONE LINE DIAGRAM, PANEL SCHEDULE & SYMBOL KEY
NOT TO SCALE

NO.	REVISION – AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/27/21
1		

REVIEWED: _____ PARK ENGINEER _____ DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

RUSHING
Engineering–Essentials–Delivery
1725 WESTLAKE AVE N, SUITE 300
SEATTLE, WA 98109
P: (206) 285-7100 F: (206) 285-7111

Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

ELEC DETAILS

DESIGNED _____ DATE 01/27/2021
DRAWN _____ SHEET 25 OF 26
CHECKED _____

ORDINANCE NO. 125475
CONTRACT NO. 2064
SCALE NTS

E2.0

Lighting Summary — LGT-SUM

2015 Seattle Energy Code Compliance Forms for Commercial Buildings including R2, R3 & R4 over 3 stories + all R1 — Revised Jan 2017

Project Info

Project Title:	LITTLE SAIGON PARK DEVELOPMENT
Date	1/28/2021
Applicant Information	Provide contact information for individual who can respond to inquiries about compliance form information provided.
Company Name:	RUSHING
Company Address:	1725 WESTLAKE AVE N, SUITE 300, SEATTLE, WA, 98109
Applicant Name:	
Applicant Phone:	206-285-7100
Applicant Email:	LIGHTING@RUSHINGCO.COM

Compliance forms do not require a password to use. Instructional and calculating cells are write-protected.

For SDCI Use

Project Description

☐ New Building ☐ Addition ☐ Alteration ☑ Plans Included

Include PROJ-SUM form (included in envelope forms workbook) with lighting compliance forms.

Building Additions

Refer to Section C502.2.6 for additional requirements.

Compliance Method	Interior lighting	Exterior lighting
Lighting systems in addition area comply with all applicable provisions as a stand alone new construction project.	☐	☐
Lighting systems in addition are combined with existing building lighting systems to demonstrate compliance	☐	☐

Addition is combined with existing:
*For **interior** lighting projects, include new + existing interior lighting fixture wattage in Proposed Lighting Wattage table in LTG-INT-BLD or LTG-INT-SPACE form.*
*For **exterior** lighting projects, include new + existing exterior lighting fixture wattage in Proposed Tradable and Proposed Non-Tradable Lighting Wattage tables in LTG-EXT form.*

Interior and Exterior Lighting Alterations

Select all Lighting Power and Lighting Control elements that apply to the scope of the retrofit project. If project includes a combination of spaces where less than 20% of the existing fixtures are replaced in some spaces, and 20% or more of the fixtures are replaced in others, then provide separate lighting power compliance forms for the two retrofit conditions. Spaces undergoing the same type of retrofit may be combined into one lighting power compliance form. Parking garages and exterior lighting have 50% thresholds.

Refer to Section C503.6 for additional requirements.

Lighting Power	Interior lighting	Parking garage	Exterior lighting
More lighting than threshold replaced (20% int., 50% garage, 50% ext.)	☐	☐	☐
Less lighting than threshold replaced (20% int., 50% garage, 50% ext.)	☐	☐	☐
Lamp and/or ballast replacement only – existing total wattage not increased	☐	☐	☐

***More lighting than threshold replaced** - Total lighting power of new + existing-to-remain fixtures shall comply with total LPA per Sections C405.4.2 and C405.5.2. Include new + existing-to-remain fixtures in Proposed Lighting Wattage table in LTG-INT-BLD, LTG-INT-SPACE or LTG-EXT form.*

***Less lighting than threshold replaced** - Total lighting power of new + existing-to-remain fixtures shall not exceed the total lighting power prior to alteration. Include new + existing-to-remain fixtures in the Proposed Lighting Wattage table in LTG-INT-BLD, LTG-INT-SPACE or LTG-EXT form.*
*The **threshold** for interior lighting is 20% of the luminaires within an enclosed space, for parking garages the threshold is 50% of the luminaires within the garage, and for exterior spaces the threshold is 50% of the total installed lighting power for the exterior luminaires.*

Lighting Controls	Interior lighting	Parking garage	Exterior lighting
New wiring installed to serve added fixtures and/or fixtures relocated to new circuit(s)	☐	☐	☐
New or moved lighting panel	☐	☐	☐
Interior space is reconfigured - luminaires unchanged or relocated	☐		

***New wiring or circuit** - For interior lighting, provide required manual controls per C405.2.3, occupancy sensor controls per C405.2.1, daylight responsive controls per C405.2.4 and application specific lighting controls per C405.2.5. For exterior lighting, provide required controls per C405.2.7.*
***New or moved panel** - Provide all applicable lighting controls as noted for New Wiring and automatic time switch controls per C405.2.2.*
***Reconfigured interior space** - Provide all required lighting controls that apply to a new interior space. Application specific lighting control provisions per C405.2.5 do not apply to reconfigured*

☐ ***No changes are being made to the interior or exterior lighting systems and existing space uses and configuration are not changed.***

Change of Space Use

☐ Existing interior lighting systems in areas under-going a change in space use are upgraded to comply with LPAs for the new space types per Tables C405.4.2(1) or C405.4.2(2).

Identify interior spaces requiring LPD upgrade to the current Code in Proposed Lighting Wattage table in LTG-INT-BLD or LTG-INT-SPACE form.

Exterior Lighting — LTG-EXT

2015 Seattle Energy Code Compliance Forms for Commercial Buildings including R2, R3 & R4 over 3 stories + all R1 — Revised Jan 2017

Project Title:	LITTLE SAIGON PARK DEVELOPMENT
Date	1/28/2021

For SDCI Use

Exterior Lighting Zone *Table C405.5.2(1) Specified by jurisdiction*

○ Zone 1 ○ Zone 2 ● Zone 3

Zone selection required to enable LTG-EXT form

Calculation Area

● New construction ○ Addition - stand alone ○ Addition + existing

○ Alteration with < 50% ext. wattage replaced ○ Alteration with ≥ 50% ext. wattage replaced

Building Grounds

Applies to luminaires > 100 Watts. C405.5.1

☐ Efficacy > 80 lumens/watt ☐ Exemption _____

☐ Controlled by motion sensor

Tradable Maximum Allowed Lighting Wattage [NOTE 1]

Base Site Allowance: **750**

Tradable Surfaces	Surface Description	Area (ft², perimeter (lf) or # of items	Allowed Watts per ft² or per #	Allowed Watts x ft² (or x lf)
Stairways	STAIRS	288	1.0 W/ft2	288
Grounds Walkways >10' wide	GROUNDS	11312	0.16 W/ft2	1810

Total Allowed Tradable + Site Allowance Watts: **2848**

Tradable Proposed Lighting Wattage [NOTE 2]

Tradable Surface	Fixture Description [NOTE 3, 4]	Number of Fixtures	Watts per Fixture [NOTE 5]	Watts Proposed
Grounds Walkways >10' wide	E1	8	20	160
Stairways	E1A	7	20	140
Grounds Walkways >10' wide	E2	4	7	28

Total proposed tradable watts may not exceed the sum of total allowed tradable watts plus the base site allowance. Any base site allowance not needed to make tradable watts comply can be applied to individual non-tradable

Total Proposed Tradable Watts: **328**

Non-Tradable Maximum Allowed Lighting Wattage [NOTE 1]

Site Allowance Remaining: **750**

Non-Tradable Surfaces	Surface Description	Area (ft², perimeter (lf) or # of items	Allowed Watts per ft² or per #	Allowed Watts x ft² (or x lf)

Non-Tradable Proposed Lighting Wattage [NOTE 2]

Non-Tradable Surface	Fixture Description [NOTE 3, 4]	Number of Fixtures	Watts per Fixture [NOTE 5]	Watts Proposed

Non-tradable proposed watts may not exceed allowed watts for any individual surface unless the total excess watts for all non-tradable surfaces are less than the remaining site allowance.

Non-Tradable Watts Exceeding LPA: **0**

Remaining Site Allowance: **750**

Exterior Lighting **COMPLIES WITH MAX. ALLOWANCE**

***Note 1** - List all unique exterior surfaces per Table C405.5.2(2) that occur in the project scope. Select exterior surface categories from drop down menu.*
***Note 2** - List all proposed lighting fixtures including existing-to-remain fixtures.*
***Note 3** - For proposed Fixture Description, indicate fixture type, lamp type, number of lamps in the fixture, and ballast type (if applicable).*
***Note 4** - Existing-to-remain fixtures shall be included in the Tradable and Non-Tradable Proposed Lighting Wattage tables in the same manner as new fixtures. Identify as existing in fixture description.*
***Note 5** - For proposed Watts/Fixture enter the luminaire wattage for installed lamp and ballast using manufacturer or other approved source.*

Lighting, Motor, and Electrical Permit Checklist, Pg. 2 — LTG-CHK

2015 Seattle Energy Code Compliance Forms for Commercial Buildings including R2, R3 & R4 over 3 stories + all R1 — Revised Jan 2017

Project Title:	LITTLE SAIGON PARK DEVELOPMENT
Date	1/28/2021

The following information is necessary to check a permit application for compliance with the lighting, motor, and electrical requirements in the Washington State Energy Code, Commercial Provisions.

Applicability (yes,no,na)	Code Section	Component	Compliance information required in permit documents	Location in Documents	SDCI Notes
NA	C405.2.5 - Item 3	Hotel/motel guest rooms	Indicate method of automatic control - vacancy sensor or captive key control of all installed luminaires and switched receptacles in guest room		
NA	C405.2.5 - Item 4	Supplemental task lighting	Indicate method and location of automatic shut-off vacancy control for supplemental task lighting, including under-shelf or under-cabinet lighting		
NA	C405.2.5 - Item 5	Lighting for non-visual applications	Indicate on plans eligible non-visual lighting applications, include sq. ft. area of each lighting control zone;		
			Indicate on plans that non-visual lighting is controlled independently from both general area lighting and other lighting applications within the same space;		
			Indicate method of manual lighting control and applicable automatic lighting control		
NA	C405.2.5 - Item 6	Lighting equipment for sale or demonstration	Indicate on plans that lighting equipment for sale or demonstration are controlled independently from both general area lighting and other lighting applications within the same space;		
			Indicate method of manual lighting control and applicable automatic lighting control		
NA	C405.2.5 - Item 7	Means of egress lighting	Identify on plans light fixtures that function as both normal and emergency means of egress illumination within the exit access, as defined in the SBCC;		
			Provide calculation of lighting power density of total egress lighting that remains on while general lighting is off;		
			If total egress lighting power density is greater than 0.02 W/sq ft., indicate on plans egress fixtures requiring automatic shut-off during unoccupied periods;		
			Indicate method of automatic shut-off control		
NA	C405.2.5 - Item 8	Stairways	Indicate on plans that each stairway has automatic controls to reduce lighting by ≥ 50% when no occupants detected;		
			Indicate that lighting maintains Seattle Building Code compliant lighting when lighting is reduced		
NA	C405.2.5 - Item 9	Parking Garages	Indicate on plans that garage lighting has automatic controls to reduce lighting by ≥ 50% when no occupants detected;		
			Indicate on plans required control sequence and configuration		
Yes	C405.2.7	Exterior lighting controls	Indicate on exterior lighting plans and fixture schedules the automatic lighting control method, control sequence, and locations served;	**E1.0, E3.0**	
			For building façade and landscape lighting, indicate automatic controls shut off lighting as a function of dawn/dusk, and between midnight and 6 a.m. or while closed;		
			For all other exterior lighting, indicate automatic controls shut off lighting as a function of available daylight; include control sequence that also reduces lighting power by at least 30% between 12am-6am, or from 1 hour after closing to 1 hour before opening, or based upon motion sensor		
NA	C405.5.1	Exterior building grounds lighting controls	For building grounds fixtures greater than 100 watts, indicate on plans whether fixtures have efficacy greater than 80 lumens/w; are controlled by motion sensor, or are exempt lighting per C405.5.2		
Yes	C405.2.5 (listed after C405.2.7)	Area controls - Master control switches and circuit power limit	Indicate location(s) of master control switch(es) intended to control multiple independent switches; circuit breaker may not be used as a master control switch;	**E1.0, E3.0**	
			Verify that no 20 amp circuit controlled by a single switch or automatic control is loaded beyond 80%		
NA	C406.4	Enhanced digital lighting controls	To comply with additional efficiency package option, indicate on plans all interior lighting fixtures that are individually addressed and provided with continuous dimming, or exception taken;		
			Include calculation of percent total installed interior lighting power that is configured with required enhanced lighting control functions (min 90% to comply with additional efficiency package option)		
NA	C405.13 C408.3	Lighting system functional testing	If claiming lighting system commissioning exemption provide supporting calculation;		
			Identify applicable commissioning documentation requirements per Section C408 or eligibility for exception;		
			Provide written procedures for functional testing of all automatic controls and describe the expected system response		

Lighting, Motor, and Electrical Permit Checklist, Pg. 4 — LTG-CHK

2015 Seattle Energy Code Compliance Forms for Commercial Buildings including R2, R3 & R4 over 3 stories + all R1 — Revised Jan 2017

Project Title:	LITTLE SAIGON PARK DEVELOPMENT
Date	1/28/2021

The following information is necessary to check a permit application for compliance with the lighting, motor, and electrical requirements in the Washington State Energy Code, Commercial Provisions.

Applicability (yes,no,na)	Code Section	Component	Compliance information required in permit documents	Location in Documents	SDCI Notes
MOTORS & TRANSFORMERS					
NA	C405.6	Electrical transformers	Include electrical transformer schedule on electrical plans; indicate transformer size, efficiency, or exception taken		
NA	C405.7	Dwelling unit electrical energy consumption	Indicate on electrical plans that each dwelling unit in Group R-2 has a separate electrical energy meter		
NA	C405.8	Electric motor efficiency	Include all motors, including fractional hp motors, in electric motor schedule on electrical plans; indicate hp, rpm, rated efficiency, or exception applied		
NA	C405.9.1	Elevator cabs	For luminaires in each elevator cab, provide calculated average efficacy of combined fixtures that indicates efficacy is not less than 35 lumens per watt;		
			Indicate rated watts per cfm for elevator cab ventilation fans do not exceed 0.33 watts per cfm;		
			Indicate automatic controls that de-energize lighting and ventilation fans when elevator is stopped and unoccupied for a period of 15 minutes or more		
NA	C405.9.2	Escalators and moving walks	Indicate escalators comply with ASME A17.1/CSA B44; automatic controls are configured to reduce operational speed to the minimum permitted when not in use.		
NA	C405.9.3	Regenerative drive	Indicate all one-way down or reversible escalators are provided with a variable frequency regenerative drive		
NA	C405.10	Controlled receptacles	Identify all controlled and uncontrolled receptacles on electrical plans in each space in which they are required; include receptacle configuration such as spacing between controlled and uncontrolled, duplex devices, etc.,		
			Indicate on plans whether the method of automatic control for each controlled receptacle zone is by occupant sensor or programmable time-of-day control		
NA	C405.13	Commissioning	Indicate all lighting systems and controlled receptacles shall be commissioned in accordance with Section C408		

If "no" is selected for any question, provide explanation:

PROJECT HAS EXTERIOR SPACES ONLY. NO INTERIOR LIGHTING IS REQUIRED.

End of Lighting, Motor & Transformer Permit Documents Checklist

Lighting Summary, cont. — LGT-SUM

2015 Seattle Energy Code Compliance Forms for Commercial Buildings including R2, R3 & R4 over 3 stories + all R1 — Revised Jan 2017

Project Title:	LITTLE SAIGON PARK DEVELOPMENT
Date	1/28/2021

Interior Lighting System Description

NO INTERIOR SPACES ON THIS PROJECT.

Interior Lighting Power Allowance Method

☐ Building Area Method ☐ Space-by-space Method

Select method used in project.

Interior Lighting Permit Date

○ Before January 1, 2018 ● January 1, 2018 or after

Select date range for the initial building permit application or initial TI permit acceptance

Interior Lighting Controls

☐ All C405.2.1 - C405.2.8 Controls ☐ C405.2 Exception 5 Luminaire Level Lighting Control (LLLC)

☐ Additional Efficiency Package Option
C406.4 Enhanced digital lighting controls

To comply with C406.4, no less than 90% of the total installed interior lighting power shall comply with required controls per C406.4.

Dwelling Unit Interior Lighting

Permanently installed interior lighting fixtures in dwelling units comply with: ●

○ C405.2 thru C405.5 Commercial Lighting Controls and LPA

○ C406.3 High Efficacy Lighting

○

Exterior Lighting System Description

ALL EXTERIOR LIGHTING TO BE TIED TO STRONG BOX WITH PROGAMMABLE ON/OFF AUTOMATIC TIME CLOCK CONTROL AND PHOTOCELL BYPASS SWITCH PER SEATTLE PARKS AND RECREATION STANDARDS. INTEGRAL OCCUPANCY SENSORS IN EACH POLE TO BE PROVIDED FOR CODE REQUIRED DIMMING.

Exterior Lighting Controls

☑ All C405.2.1 - C405.2.8 Controls ☐ C405.2 Exception 5 Luminaire Level Lighting Control (LLLC)

☐ Additional Efficiency Package Option
C406.4 Enhanced digital lighting controls

To comply with C406.4, no less than 90% of the total installed interior lighting power shall comply with required controls per C406.4.

Lighting, Motor, and Electrical Permit Checklist, Pg. 1 — LTG-CHK

2015 Seattle Energy Code Compliance Forms for Commercial Buildings including R2, R3 & R4 over 3 stories + all R1 — Revised Jan 2017

Project Title:	LITTLE SAIGON PARK DEVELOPMENT
Date	1/28/2021

The following information is necessary to check a permit application for compliance with the lighting, motor, and electrical requirements in the Washington State Energy Code, Commercial Provisions.

Applicability (yes,no,na)	Code Section	Component	Compliance information required in permit documents	Location in Documents	SDCI Notes
LIGHTING CONTROLS					
Yes	C405.2	Lighting controls, general	For all lighting fixtures, indicate lighting control method on plans for spaces and lighting zone(s) served, or exception taken	**E1.0, E3.0**	
NA	C405.2	Luminaire level lighting controls (LLLC)	Indicate on plans all fixtures provided with LLLC in lieu of C405.2 lighting controls; provide description of control capabilities and performance parameters		
NA	C405.1	Lighting in dwelling units	For permanently installed lighting fixtures in dwelling units, demonstrate that ≥ 75% of lamps are high efficacy as defined in chapter 2		
NA	C405.2.3 C405.2.1.1 C405.2.2.2 C405.2.4 C405.2.5	Manual controls	Indicate on plans the method of manual lighting control (whether combined with occupancy sensor, automatic light reduction, daylight responsive or specific application controls); location of manual control device and area or specific application it serves		
NA	C405.2.2.1 C405.2.2.2 C405.2.3	Manual light reduction controls	Indicate on plans which method of manual 50% lighting load reduction is provided, or whether lighting load is reduced via occupancy sensors or daylight responsive controls		
NA	C405.2.2	Method of automatic shut-off control	Indicate lighting zones where automatic shutoff is provided by other methods (occupancy sensor or digital timer switch) or which time switch control exception applies		
			Indicate on plans the spaces served by occupancy sensors;		
NA	C405.2.1 C405.2.1.1	Occupancy sensor controls	Indicate whether occupancy sensor controls are configured to be manual-on, automatic 50%-on, or serve a space eligible for automatic 100%-on per exception		
NA	C405.2.1.2	Occupancy sensor controls - warehouses	Indicate aisleways and open areas in warehouse spaces provided with occupancy sensor controls that independently reduce lighting power by 50%		
NA	C405.2.6	Digital timer switch	Indicate room type and digital timer switch control function if control is used instead of occupancy sensor		
NA	C405.2.2.1	Automatic time switch controls	Indicate locations of override switches on plans and the lighting zone(s) served, include area sq. ft. of each zone		
NA	C405.2.4.2 C405.2.4.3	Daylight zones - Sidelight and toplight	Indicate primary and secondary sidelight daylight zone areas on plans, include sq. ft. of each zone;		
			Indicate toplight daylight zone areas on plans, include sq. ft.;		
			For small vertical fenestration assemblies (rough opening less than 10 percent of primary daylight zone) where daylight responsive controls are not required, provide fenestration area to daylight zone calculation(s)		
NA	C405.2.4	Daylight responsive controls	Identify sidelight and toplight daylight zones that are not provided with daylight sensing controls and the exception(s) that apply;		
			Indicate on plans the lighting load reduction method - continuous dimming, or stepped-dimming that provides at least two even steps between 0%-100% of rated power;		
			Indicate that daylight sensing controls are configured to completely shut off all controlled lights in the lighting zone		
NA	C405.2.5	Additional controls - Specific application lighting controls	Identify spaces and lighting fixtures on plans that require specific application lighting controls per this section		
NA	C405.2.5 - Items 1&2	Display and accent lighting	Indicate on plans that display and accent lighting, and display case lighting are controlled independently from both general area lighting and other lighting applications within the same space;		
			Indicate manual and automatic lighting control method		

Lighting, Motor, and Electrical Permit Checklist, Pg. 3 — LTG-CHK

2015 Seattle Energy Code Compliance Forms for Commercial Buildings including R2, R3 & R4 over 3 stories + all R1 — Revised Jan 2017

Project Title:	LITTLE SAIGON PARK DEVELOPMENT
Date	1/28/2021

The following information is necessary to check a permit application for compliance with the lighting, motor, and electrical requirements in the Washington State Energy Code, Commercial Provisions.

Applicability (yes,no,na)	Code Section	Component	Compliance information required in permit documents	Location in Documents	SDCI Notes
INTERIOR LIGHTING POWER & EFFICACY					
NA	C405.4.1 C405.4.2	Total connected interior lighting power	Include all luminaires in lighting fixture schedule; indicate fixture types, lamps, ballasts, and manufacturer's rated watts per fixture;		
			Identify spaces eligible for lighting power exemption on plans and in compliance forms; indicate the exception applied;		
			Identify lighting equipment eligible for lighting power exemption in fixture schedule and in compliance forms; indicate the exception applied;		
			Indicate that exempt lighting equipment is in addition to general area lighting and is controlled independently		
NA	C405.4.1	Total connected interior lighting power alternative	Indicate on plans any areas where proposed wattage is calculated as the total dedicated lighting branch wattage; detail rated wattage and proposed lighting power for each branch		
NA	C405.3	Exit signs	Indicate location of exit signs on plans and rated watts per fixture in lighting fixture schedule (maximum 5 watts per side)		
NA	C405.1	Lighting in dwelling units - lamp efficacy	In dwelling units, indicate in lighting fixture schedule if lamps in fixtures are high efficacy per R404.1. Calculate percentage of fixtures with high efficacy lamps in project (min 75% to comply with exception).		
NA	C406.3	Reduced lighting power density - dwelling unit lamp efficacy	For project with dwelling units, to comply with additional efficiency package option indicate in lighting fixture schedule if lamps in fixtures have efficacy rating of 60 lumens per watt or more. Calculate percentage of fixtures with lamps that have this efficacy rating (min 95% to comply with option).		
Lighting Power Calculation - Indicate compliance path taken					
NA	C405.4.2.1	Building Area Method	Complete required compliance forms – proposed wattage per building area does not exceed maximum allowed wattage per building area. Identify locations of building areas on plans		
NA	C405.4.2.2	Space-By-Space Method	Complete required compliance forms – total proposed wattage does not exceed maximum allowed wattage. Identify locations of space types on plans, including retail display areas, lobby art & exhibit display areas, and ceiling heights as applicable		
NA	C406.3	Reduced lighting power density	To comply with additional efficiency package option, demonstrate in compliance forms that total connected interior lighting wattage is 25% less than the total maximum allowed lighting wattage via Building Area Method or Space-By-Space Method		
EXTERIOR LIGHTING POWER & EFFICACY					
Yes	C405.5.2	Total connected exterior lighting power	Include all luminaires in lighting fixture schedule; indicate fixture types, lamps, ballasts, and manufacturer's rated watts per fixture;	**E1.0, E3.0**	
			Identify exterior applications eligible for lighting power exemption on plans and in compliance forms; indicate exception applied;		
			Indicate that exempt exterior lighting is controlled independently from non-exempt exterior lighting; include exception claimed for each fixture or group of fixtures under exception category		
Yes	Table C405.5.2(1)	Exterior lighting zone	Indicate building exterior lighting zone as defined by the SDCI	**E3.0**	
Yes	C405.5.2	Exterior lighting power calculations	Complete required compliance form – proposed wattage for exterior lighting plus base site allowed does not exceed maximum allowed	**E3.0**	
Yes	C405.5.3	Full cutoff luminaires	For open parking, outdoor area, and roadway luminaires mounted more than 15 above the ground, indicate fixture with zero candela at an angle of 90 degrees.	**E1.0**	

NO.	REVISION – AS BUILT	DATE
3		
2	60% CD SUBMITTAL	01/27/21
1		

REVIEWED: _____ PARK ENGINEER _____ DATE

All work done in accordance with the City of Seattle Standard Plans and Specifications in effect on the date shown above, and supplemented by Special Provisions.

RUSHING
Engineering – Essentials – Delivery
1725 WESTLAKE AVE N, SUITE 300
SEATTLE, WA 98109
P: (206) 285-7100 F: (206) 285-7111

Seattle Parks & Recreation

LITTLE SAIGON

PARK DEVELOPMENT

LIGHTING ENERGY CODE FORMS

DESIGNED _____ DRAWN _____ CHECKED _____

DATE 01/27/2021

SHEET 26 OF 26

ORDINANCE NO. 125475

CONTRACT NO. 2064

E3.0

SCALE NTS