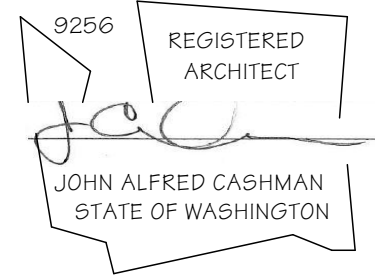


BALLARD AVENUE LANDMARK DISTRCIT BOARD
DESIGN APPROVAL

5419 AND 5417 BALLARD AVE. NW
AXIOM DESIGN BUILD AND VISIBILITY PARTNERS

*PLEASE SEE SEPARATE DOCUMENT FOR
DESCRIPTION OF PROPOSAL

AXIOM DESIGN BUILD
5424 BALLARD AVENUE NW
SEATTLE, WA 98107
(206) 283-9535



AXIOM AND KAVU PROPOSAL
5419/5417 BALLARD AVE NW SEATTLE WA 98107

PROJECT NUMBER:
2675

PERMIT NUMBER:

DRAWING SET DATE:
01/28/21

REVISIONS:

DCI SEAL

5419 EXISTING KAVU FACADE & 5417 VACANT LOT



AXIOM DESIGN BUILD
5424 BALLARD AVENUE NW
SEATTLE, WA 98107
(206) 283-9535



9256
REGISTERED
ARCHITECT
JOHN ALFRED CASHMAN
STATE OF WASHINGTON

AXIOM AND KAVU PROPOSAL

5419/5417 BALLARD AVE NW SEATTLE WA 98107

PROJECT NUMBER:
2675

PERMIT NUMBER:

DRAWING SET DATE:
01/28/21

REVISIONS:

1

SITE PHOTOS

DCI SEAL

TAX LOT NUMBER

PARCEL #276770-2720

AND

#276770-2721

ADDRESS OF PROPERTY

5419/5417 BALLARD AVE NW SEATTLE WA 98107

LEGAL DESCRIPTION

GILMAN PARK ADD SE 1/2 LESS ALLEY
PLat Block: 72 Plat Lot: 8

OWNERS OF PROPERTIES

VISIBILITY PARTNERS LLC & AXIOM SKINNY LOT LLC

PREPARED BY

ANNALEA OVERA
AXIOM DESIGN BUILD
5424 BALLARD AVE NW SUITE #204
SEATTLE, WA 98107
T (206) 283-9535
F (206) 283-2082
aovera@axiomdesignbuild.com

SCOPE OF WORK

PROPOSAL FOR NEW, FOUR STORY MIXED USE BUILDING
SPANNING BOTH LOTS.
EXISTING FACADE ON KAVU TO REMAIN. DEMO (E) N,S,W,
EXTERIOR WALLS AND INTERIOR. CONSTRUCT NEW RETAIL,
OFFICE, AND RESIDENTIAL SPACES.

ZONING

NC2P-65

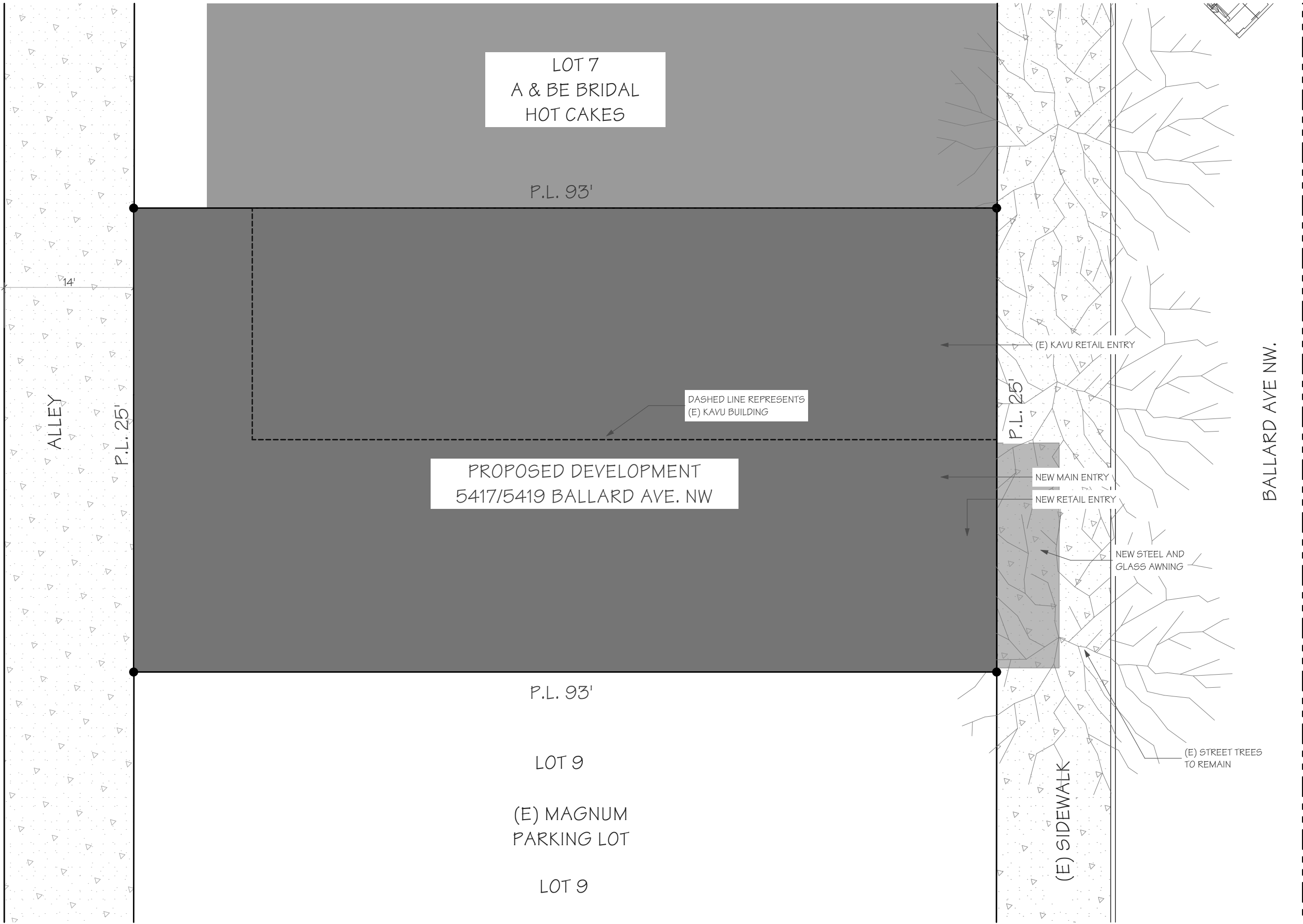
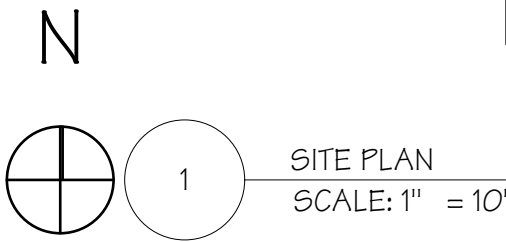
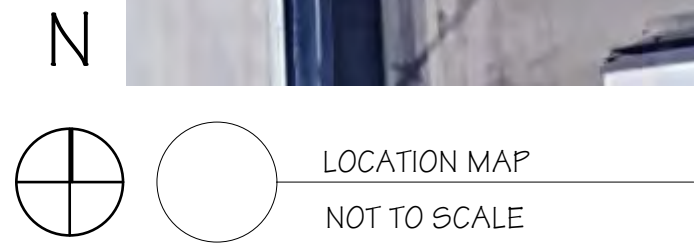
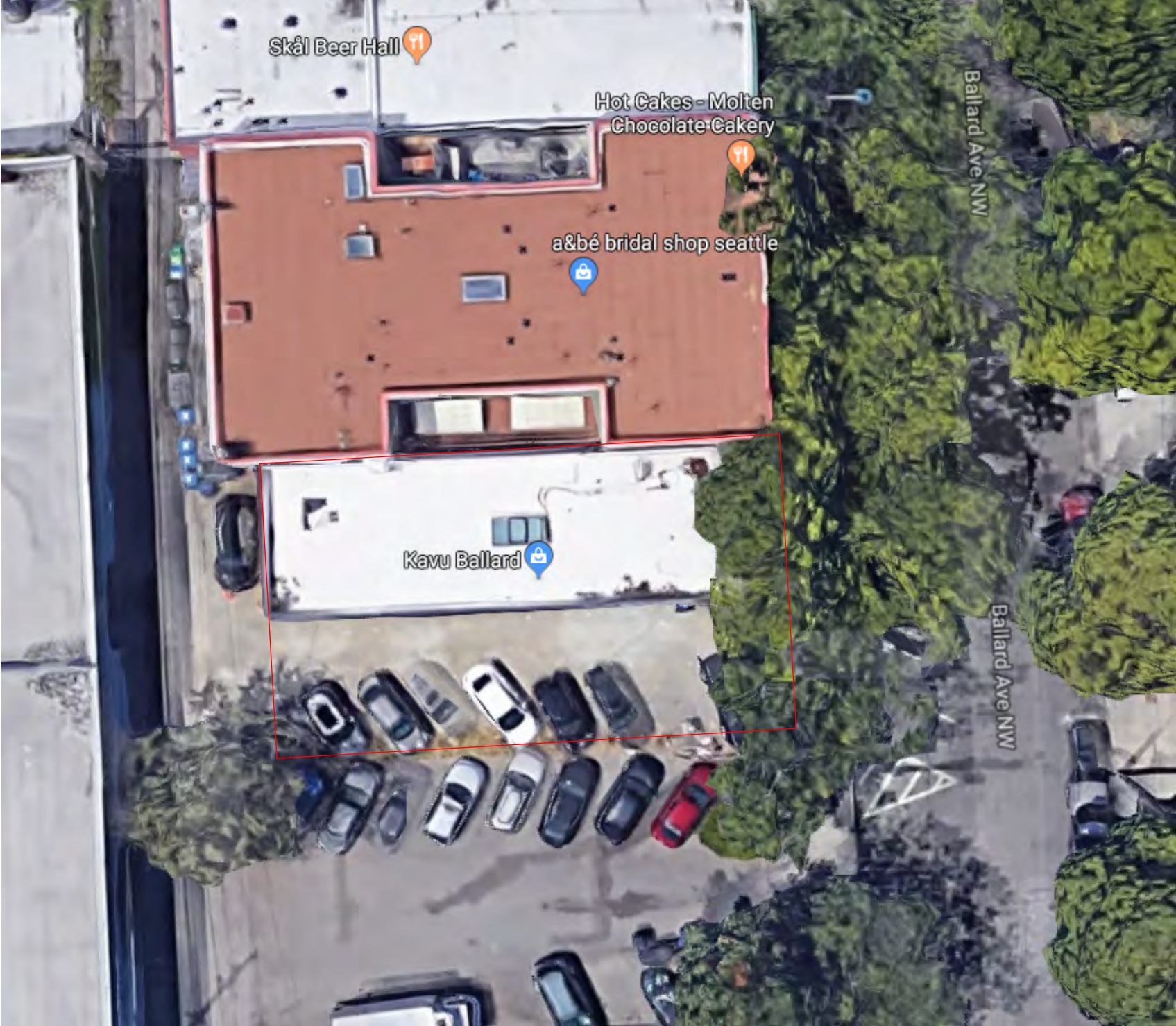
BUILDING HEIGHT

(E) KAVU FACADE HEIGHT	21'-4 1/4"
PROPOSED ADDITION	50'
PROPOSED ADDITION w PARAPETS	53'-0"

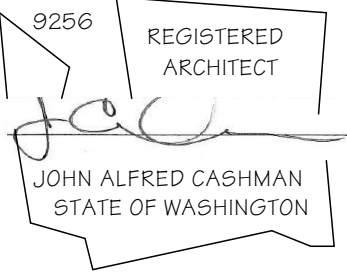
GROSS FLOOR AREA

MAIN FLOOR	3251 SF TOTAL RETAIL
2ND FLOOR	3994 SF TOTAL OFFICE
2ND FLOOR DECK	285 SF
3RD FLOOR	3994 SF TOTAL OFFICE
4TH FLOOR	3740 SF TOTAL RESIDENTIAL
4TH FLOOR DECK	228 SF
ROOF DECK	3740 SF COMMON SPACE

TOTAL GROSS FLOOR AREA=19,232 SF



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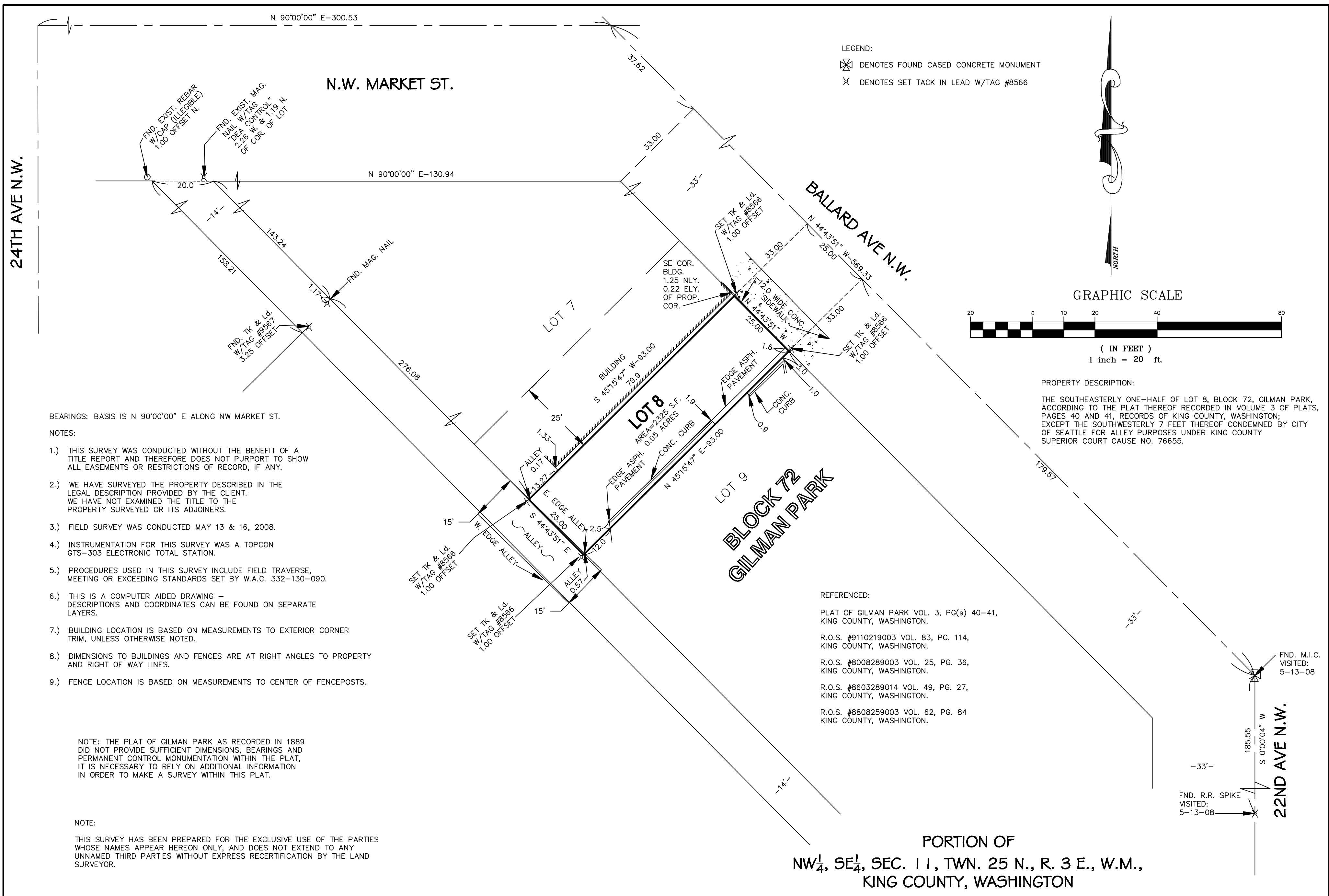
DRAWING SET DATE:
01/28/21

REVISIONS:

2
COVER SHEET

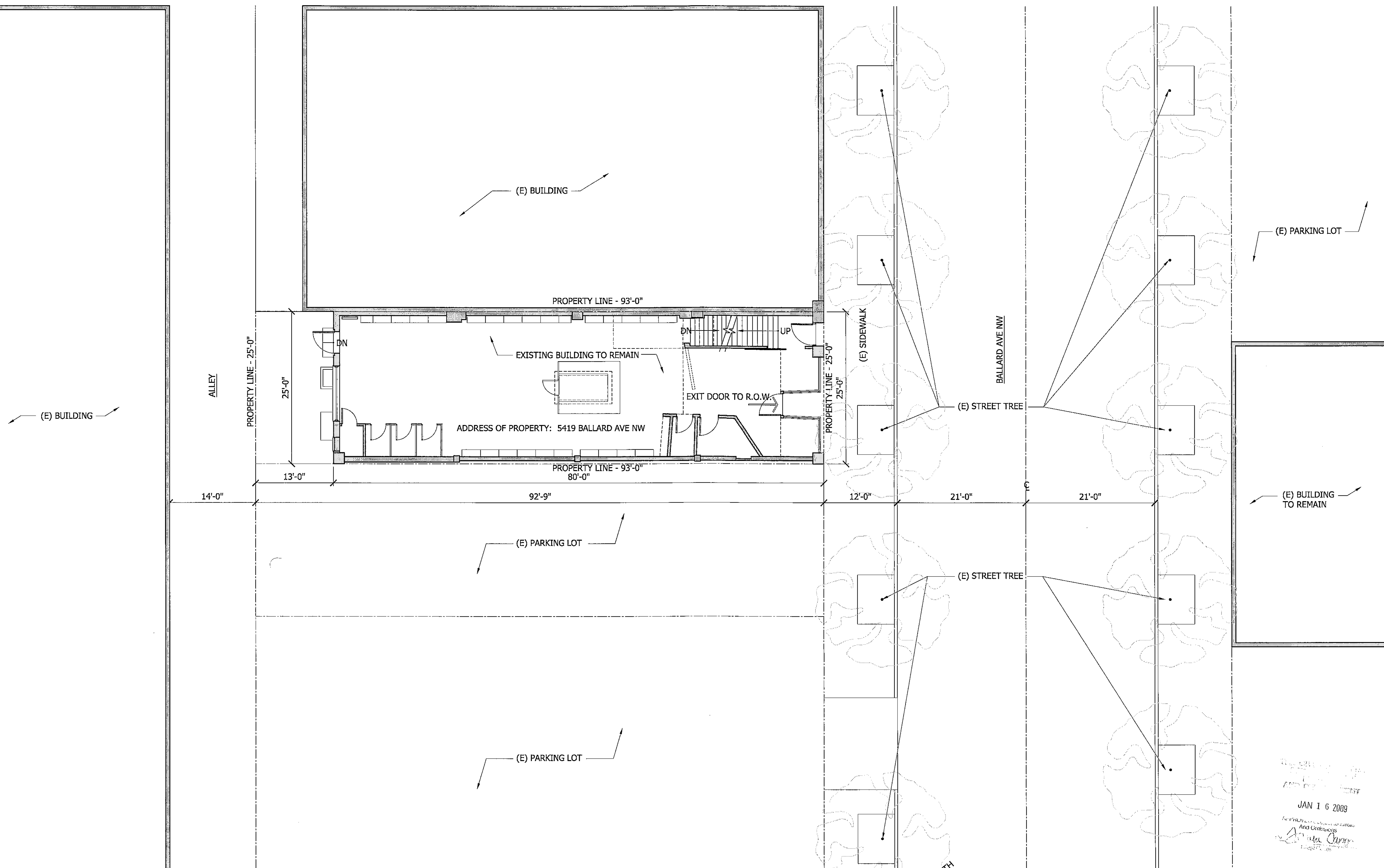
DCI SEAL

<div>AS BUILT CONDITIONS</div> <div>THE FOLLOWING DOCUMENTS ARE THE AS-BUILT PLANS AND DETAILS FOR THE EXISTING KAVU BUILDING AT 5419 BALLARD AVE. FOR REFERENCE</div>		<div>AXIOM DESIGN BUILD 5424 BALLARD AVENUE NW SEATTLE, WA 98107 (206) 283-9535</div> <div></div>	
		<div><div>9256</div><div>REGISTERED ARCHITECT</div><div></div><div>JOHN ALFRED CASHMAN STATE OF WASHINGTON</div></div>	
		<div>AXIOM AND KAVU PROPOSAL</div> <div>5419/5417 BALLARD AVE NW SEATTLE WA 98107</div>	
		PROJECT NUMBER:	2675
		PERMIT NUMBER:	
		DRAWING SET DATE:	01/28/21
		REVISIONS:	
		3	AS BUILT
		DCI SEAL	

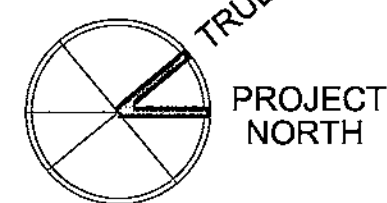


RECORDER'S CERTIFICATE	SURVEYOR'S CERTIFICATE		CONTINENTAL SURVEYING CO. 10007 GREENWOOD AVE. N. P.O. BOX #33725 SEATTLE, WA 98133 (206) 783-7177 FAX: (206) 789-5568 EMAIL: landsurveyors@comcast.net		PREPARED FOR JOHN CASHMAN	4
Filed for record this _____ day of _____, 20____ at _____ M in book _____ of _____ at page _____ at the request of _____ _____ Surveyor's Name	This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of JOHN CASHMAN in MAY _____, 2008 _____ _____ Certificate No. _____ 8566 _____		DWN. BY N.A.P.	DATE 5-29-08	JOB NO.08078	
Mgr. _____ Supt. of Records _____			CHKD. BY F.W.H.	SCALE 1" = 20'	SHEET 1 OF 1	

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1 SITE PLAN
SCALE: 1/8" = 1'-0"

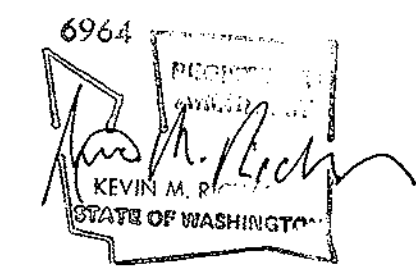


0 2' 4' 8' 16'

RECEIVED
DEC 22 2008
DEPT. OF PLANNING AND
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F: (206)239-0851



KAVU

5419 BALLARD AVE NW
SEATTLE, WA 98119

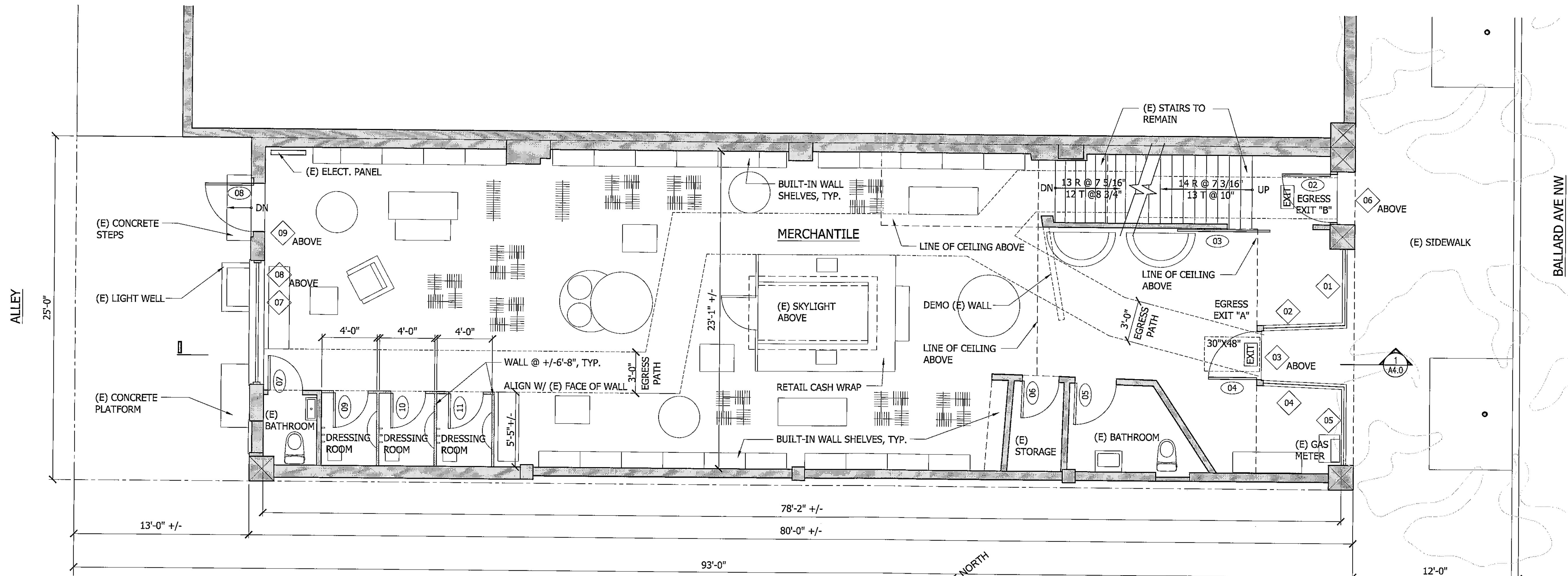
PERMIT
DRAWINGS

DATE: DECEMBER 17, 2008
PROJECT#:
REF#:
SCALE: AS NOTED

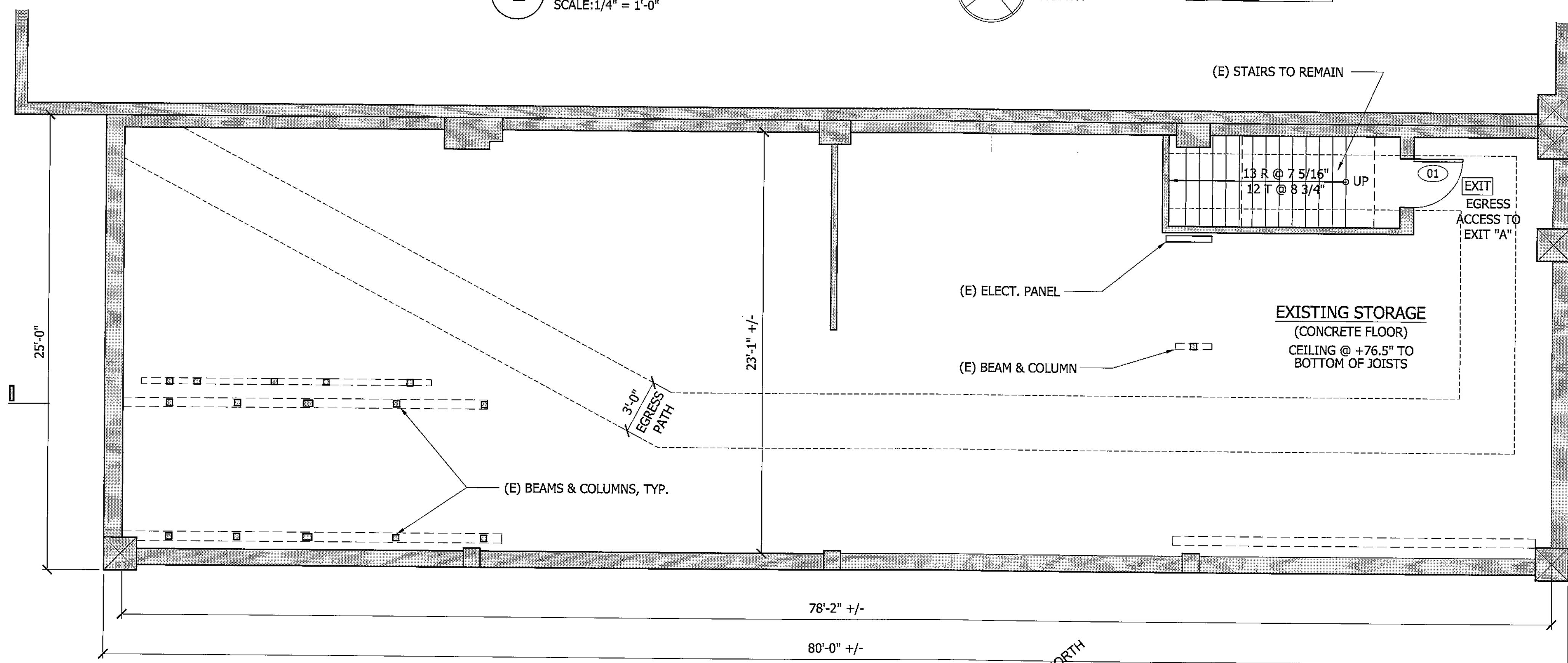
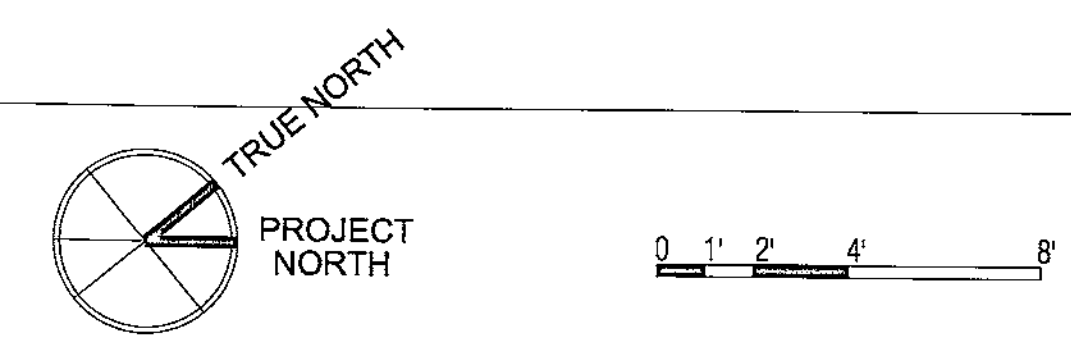
DESIGNED: KR
DRAWN: LD
REVIEWED: KR

SITE
PLAN
5

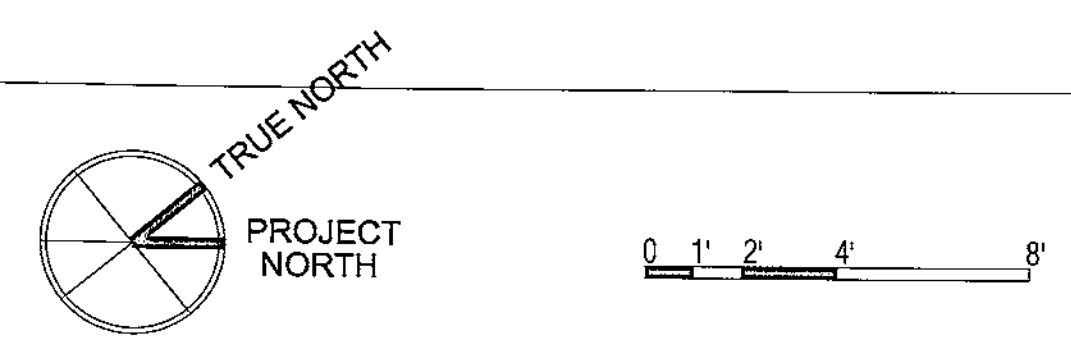
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2 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 LOWER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



LEGEND:

	EXISTING WALL TO REMAIN
	NEW FRAMED PARTIAL HEIGHT WALL
	WALL TO BE DEMOLISHED
	EMERGENCY EXIT LIGHTING SIGN



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KAVU

5419 BALLARD AVE NW
SEATTLE, WA 98119

PERMIT
DRAWINGS

DATE: DECEMBER 17, 2008
PROJECT#: REF#:
SCALE: AS NOTED

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DEVELOPMENT

DESIGNED: KR
DRAWN: LD
REVIEWED: KR

LOWER & MAIN
LEVEL FLOOR PLAN

WINDOW SCHEDULE					
WINDOW	SIZE (W X H)	OPERATION	AREA (SQ. FT.)	U-VALUE	REMARKS
01	5'-8 1/2" X 8'-9" +/-	FIXED	50 SF +/-	MAX .40	TEMPERED GLAZING
02	6'-0" X 8'-9" +/-	FIXED	52.5 SF +/-	MAX .40	TEMPERED GLAZING
03	3'-6" X 1'-7" +/-	AWNING	5.5 SF +/-	MAX .40	TEMPERED GLAZING
04	6'-0" X 8'-9" +/-	FIXED	52.5 SF +/-	MAX .40	TEMPERED GLAZING
05	5'-8 1/2" X 8'-9" +/-	FIXED	50 SF +/-	MAX .40	TEMPERED GLAZING
06	3'-6" X 2'-6 1/2" +/-	FIXED	8.9 SF +/-		EXISTING TO REMAIN
07	8'-8" X 7'-4 3/4" +/-	FIXED	64.1 SF +/-	MAX .40	
08	8'-8" X 3'-2" +/-	FIXED	27.4 SF +/-	MAX .40	
09	3'-6" X 3'-9" +/-	FIXED	13.1 SF +/-	MAX .40	TEMPERED GLAZING
10	3'-6" X 4'-4" +/-	FIXED	15.1 SF +/-		EXISTING TO REMAIN
11	15'-4 1/2" X 4'-4" +/-	FIXED	66.6 SF +/-		EXISTING TO REMAIN
TOTAL			405.7 SF		

NOTES:

- 1) FIELD VERIFY ROUGH OPENINGS PRIOR TO ORDERING WINDOWS
2) SHOP DRAWINGS TO BE REVIEWED AND APPROVED PRIOR TO PRODUCTION

DOOR SCHEDULE					
DOOR	SIZE (W X H)	MATERIAL	U-VALUE	REMARKS	HARDWARE
01	2'-8" X 6'-3" +/-	METAL		EXISTING DOOR	
02	3'-6" X 7'-6" +/-	WOOD		EXISTING DOOR	
03	6'-3" X 7'-4" +/-	WOOD		EXISTING SLIDING BARN DOOR	
04	3'-6" X 7'-6" +/-	WOOD	MAX .60	STOREFRONT SWING DOOR - EGRESS DOOR - TEMPERED SAFETY GLASS	
05	3'-0" X 6'-8" +/-	WOOD		EXISTING DOOR	
06	2'-8" X 6'-8" +/-	WOOD		EXISTING DOOR	
07	2'-6" X 6'-8" +/-	WOOD		EXISTING DOOR	
08	3'-6" X 8'-0" +/-	METAL		EXISTING DOOR	
09	2'-6" X 5'-0"	WOOD		NEW DRESSING ROOM DOOR	
10	2'-6" X 5'-0"	WOOD		NEW DRESSING ROOM DOOR	
11	2'-6" X 5'-0"	WOOD		NEW DRESSING ROOM DOOR	

NOTES:

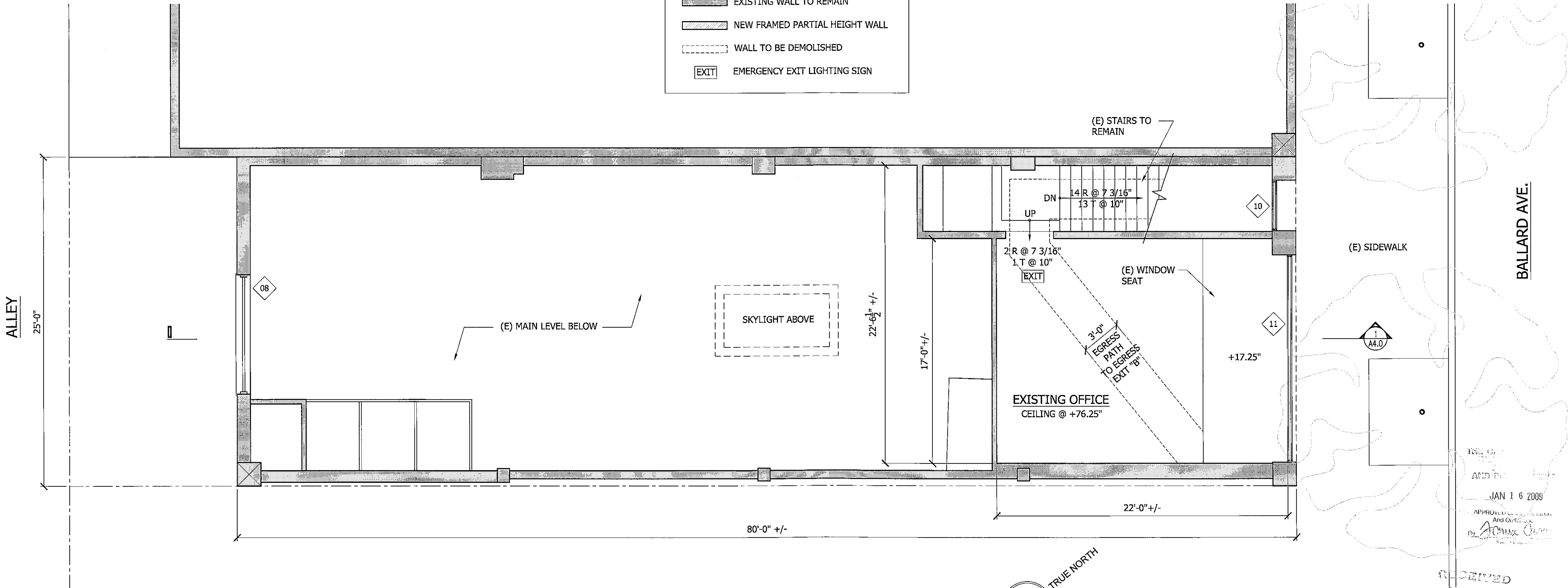
- 1) ALL DOOR LEAVES TO BE 1-3/4" THICK UNLESS OTHERWISE NOTED
2) FIELD VERIFY ROUGH OPENINGS PRIOR TO ORDERING DOORS
3) SHOP DRAWINGS TO BE REVIEWED AND APPROVED PRIOR TO PRODUCTION
4) HARDWARE TO BE SELECTED BY OWNER

3 WINDOW SCHEDULE

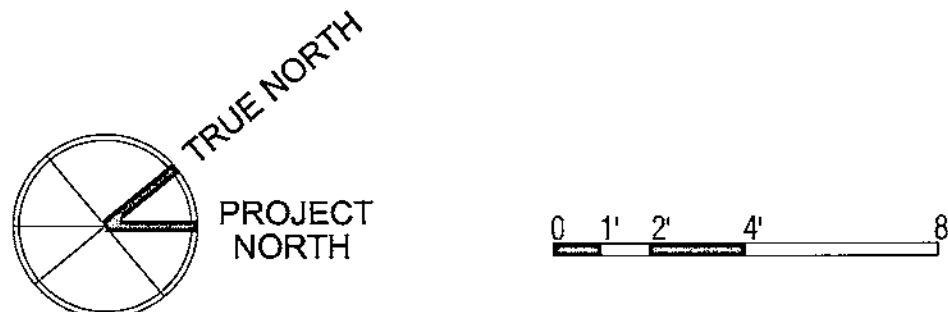
2 DOOR SCHEDULE

LEGEND:

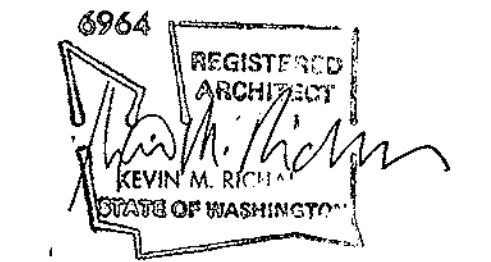
- EXISTING WALL TO REMAIN
- NEW FRAMED PARTIAL HEIGHT WALL
- WALL TO BE DEMOLISHED
- EXIT EMERGENCY EXIT LIGHTING SIGN



1 UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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KAVU

5419 BALLARD AVE NW
SEATTLE, WA 98119

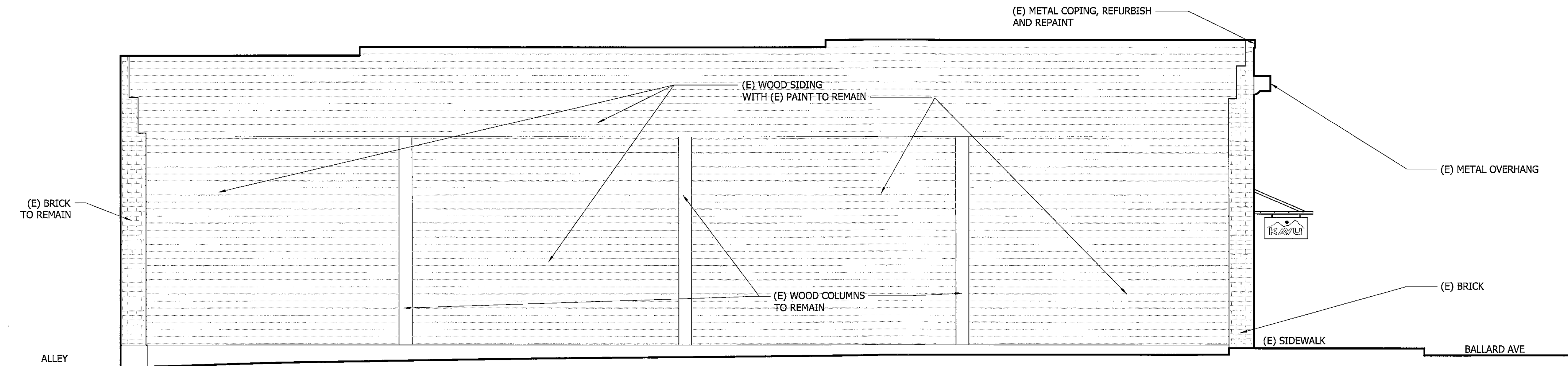
PERMIT
DRAWINGS

DATE: DECEMBER 17, 2008
PROJECT#: REF#: SCALE: AS NOTED

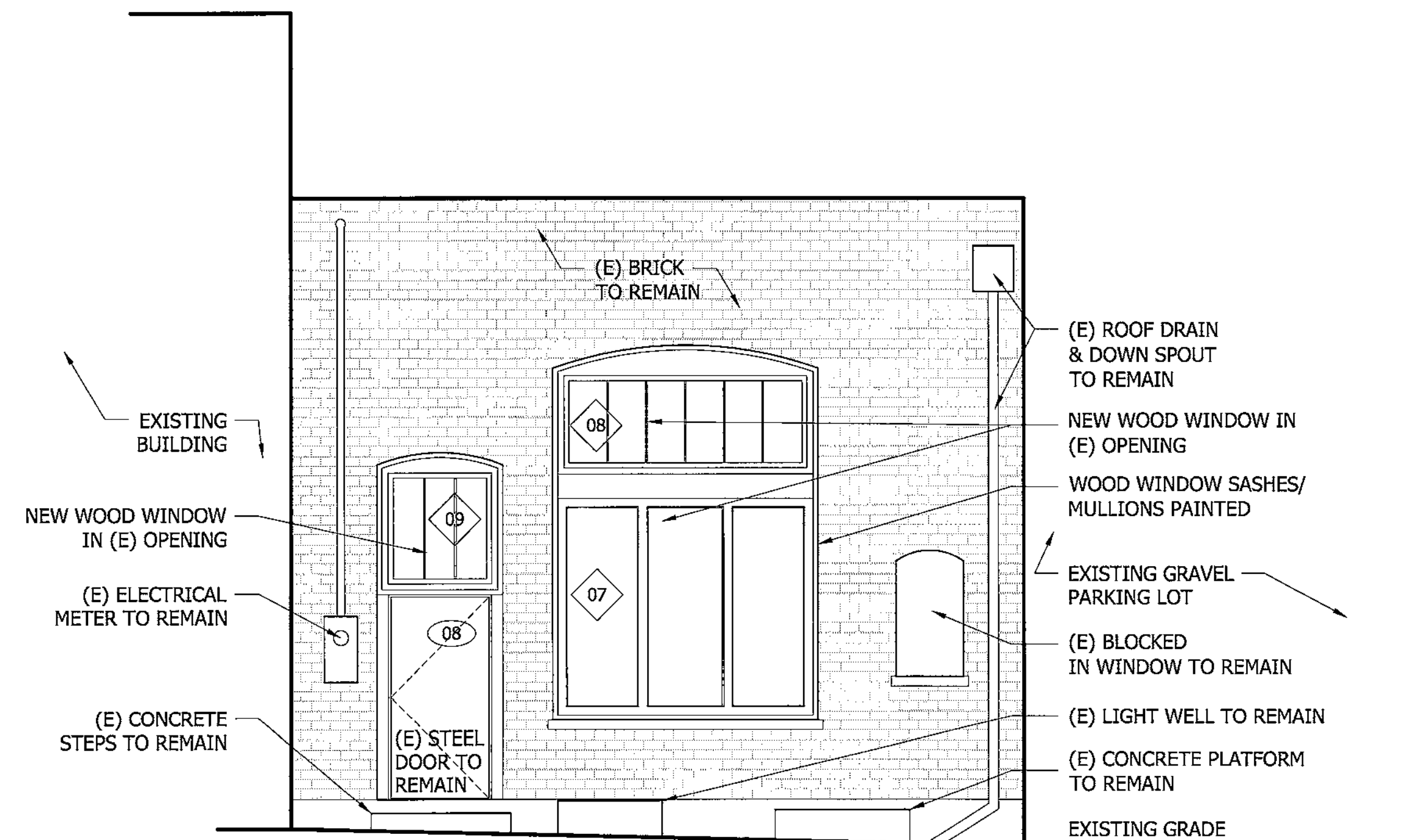
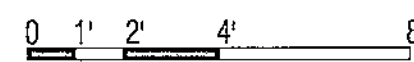
DESIGNED: KR
DRAWN: LD
REVIEWED: KR

UPPER LEVEL
FLOOR PLAN
& SCHEDULES

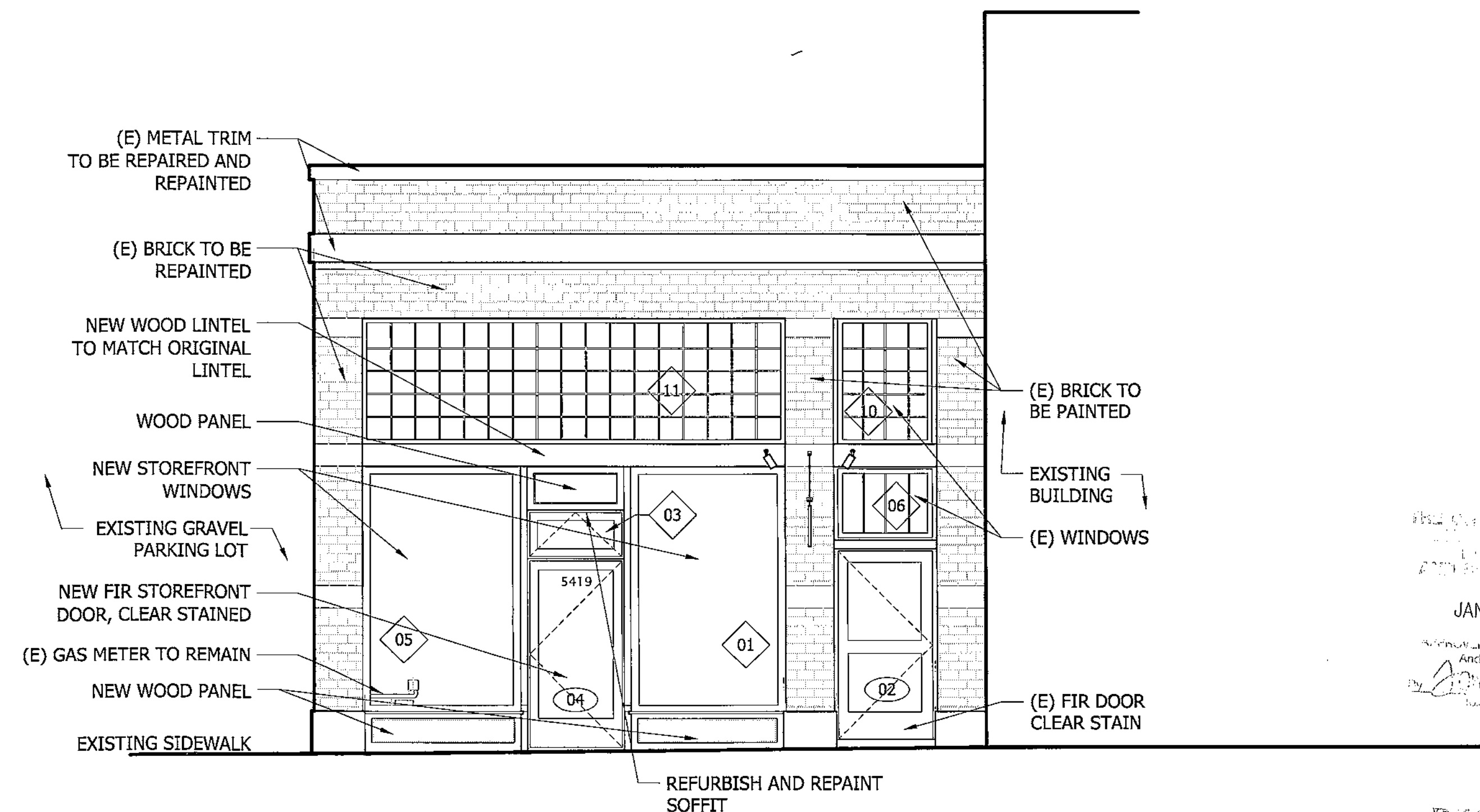
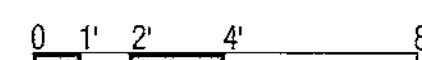
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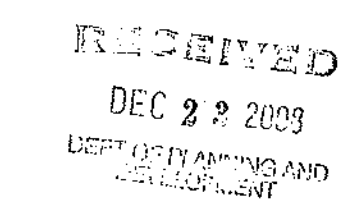
3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

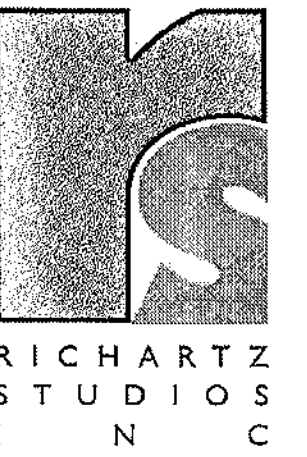


2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

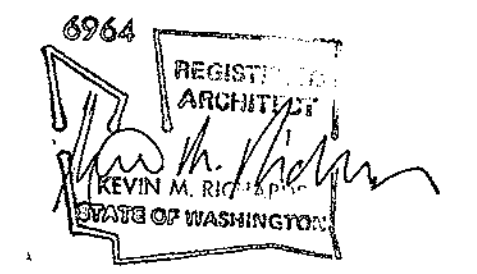


1 NORTH EXTERIOR
SCALE: 1/4" = 1'-0"





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KAVU

5419 BALLARD AVE NW
SEATTLE, WA 98119

PERMIT
DRAWINGS

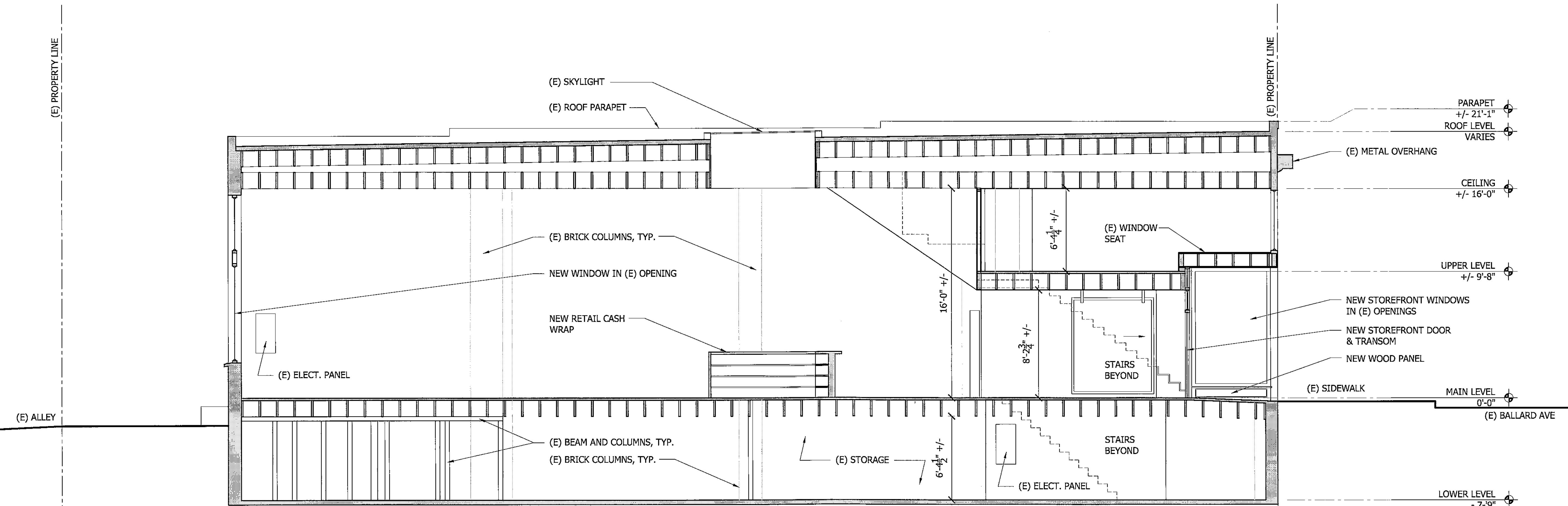
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PROJECT #:
REF #:
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DESIGNED: KR
DRAWN: LD
REVIEWED: KR

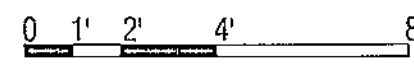
BUILDING
SECTION

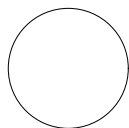
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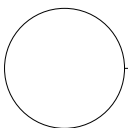


1 BUILDING SECTION
SCALE: 1/4" = 1'-0"





EXISTING FACADE TO REMAIN
NOT TO SCALE



EXISTING DROPPED CEILING AT ENTRY TO REMAIN
NOT TO SCALE

AXIOM DESIGN BUILD
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9256
REGISTERED
ARCHITECT
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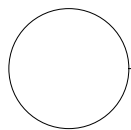
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5419/5417 BALLARD AVE NW SEATTLE WA 98107

PROJECT NUMBER:
2675

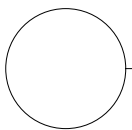
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11/12/20

REVISIONS:

10
EXISTING TO
REMAIN



EXISTING DROPPED CEILING AT ENTRY TO REMAIN
NOT TO SCALE



EXISTING DROPPED CEILING AT ENTRY TO REMAIN
NOT TO SCALE

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ARCHITECT
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STATE OF WASHINGTON

CASHBARR PROPOSAL
5419/5417 BALLARD AVE NW SEATTLE WA 98107

PROJECT NUMBER:
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11/12/20

REVISIONS:

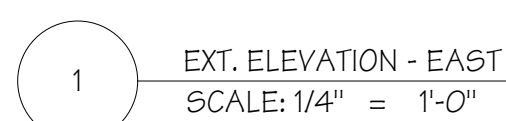
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EXISTING TO
REMAIN

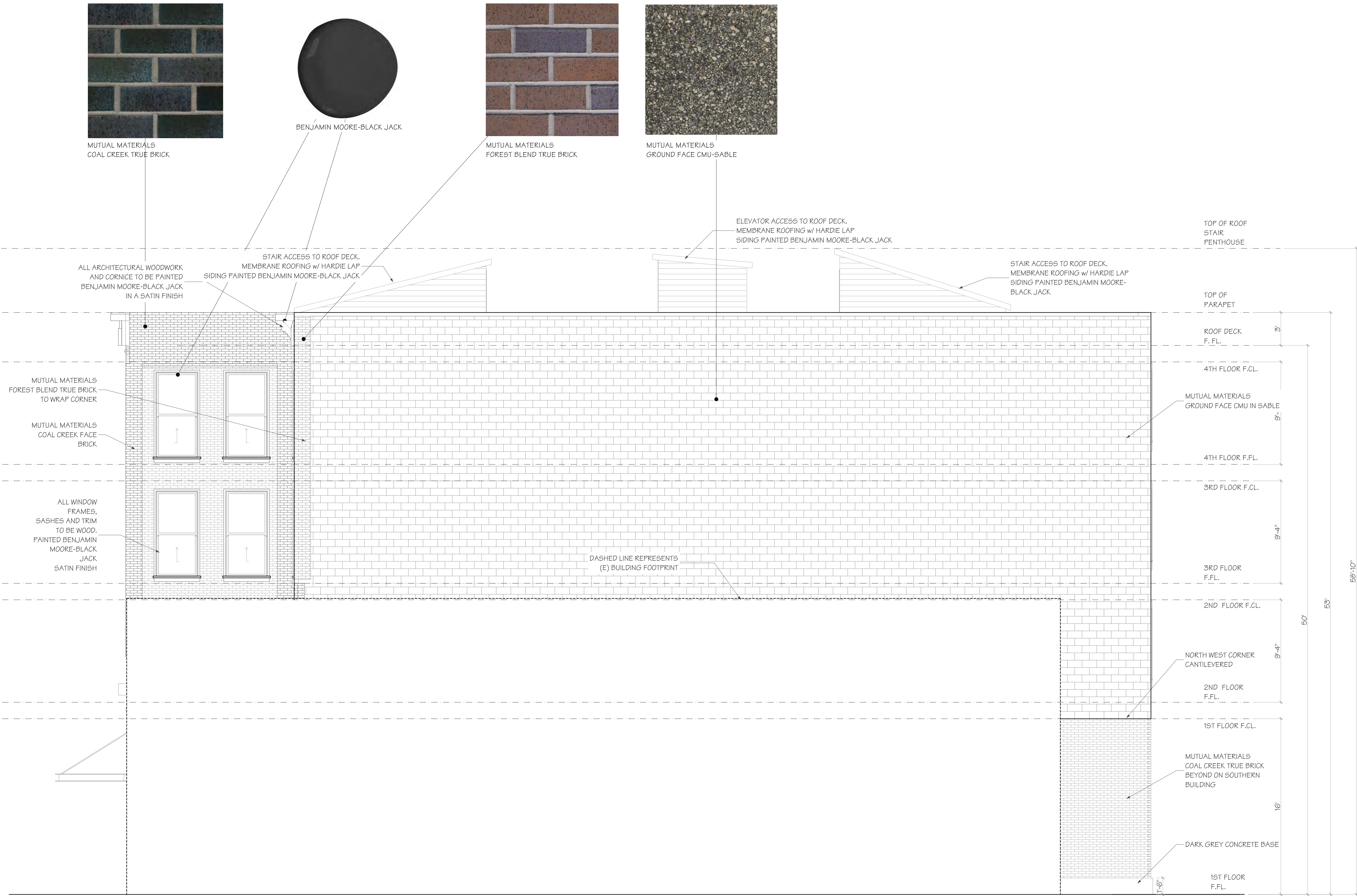
5419/5417 BALLARD AVE NW SEATTLE WA 98107

PERMIT NUMBER:

REVISIONS:

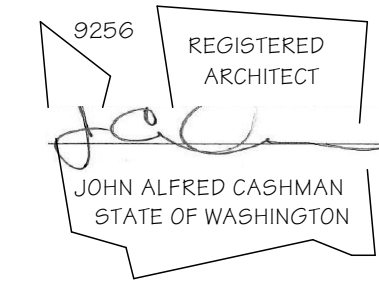
DCI SEAL





1 EXT. ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

AXIOM DESIGN BUILD
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AXIOM AND KAVU PROPOSAL
5419/5417 BALLARD AVE NW SEATTLE WA 98107

PROJECT NUMBER:
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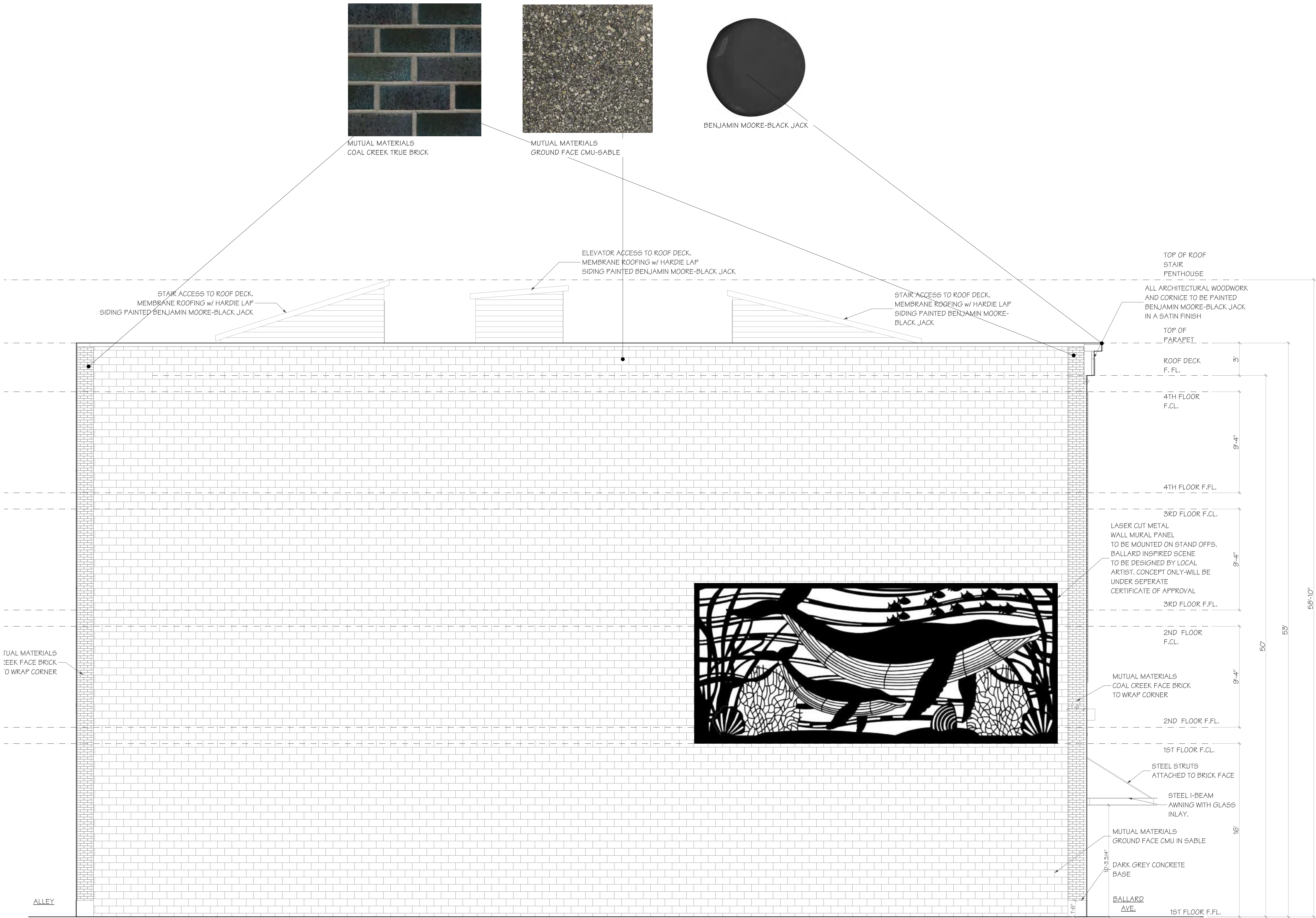
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01/28/21

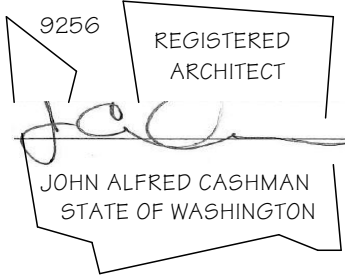
REVISIONS:

14
EXT. ELEV.

DCI SEAL



AXIOM DESIGN BUILD
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AXIOM AND KAVU PROPOSAL

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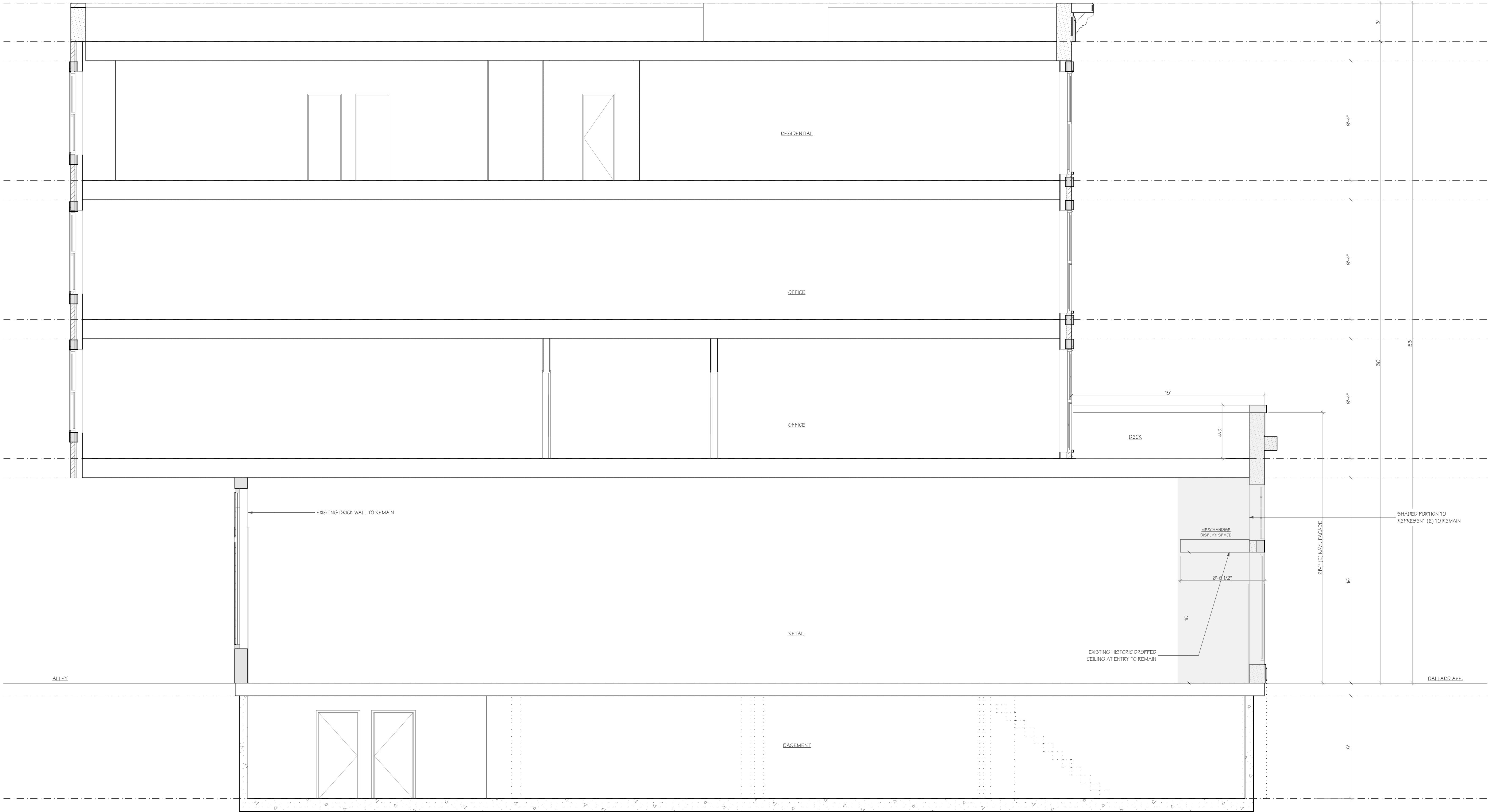
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01/28/21

REVISIONS:

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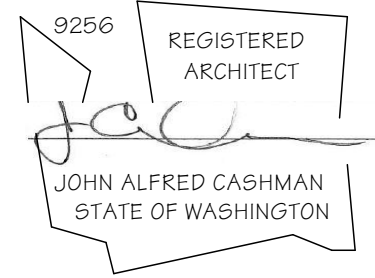
EXT. ELEV.

DCI SEAL



1 BUILDING SECTION-NORTH SIDE (KAVU)
SCALE: 1/4" = 1'-0"

AXIOM DESIGN BUILD
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16

BLDG. SECTION

DCI SEAL

PROPOSED MASSING

-HISTORIC FACADE AT 5419 TO BE RETAINED

-EXISTING DROPPED CEILING AT ENTRY TO BE RETAINED

-NEW CEILING ON FIRST FLOOR TO BE 16'-0" TO MATCH THE EXISTING INTERIOR CEILING HEIGHT

-ALL OTHER CEILINGS AT 9'-4"

-15'-0" SETBACK FROM EXISTING STRUCTURE

-4 STORY STRUCTURE

-50' TO TOP OF ROOF w/3'-0" PARAPET ON ROOF DECK

-BRICK FACADE WITH WOOD FRAMED STOREFRONT WINDOWS AND WOOD WINDOW TRIM

-TRIM DETAILS AND COLORS SET THE ADDITION AND NEW STRUCTURE APART AND GIVE THEM THEIR OWN CHARACTER, WHILE STILL REMAINING COHESIVE

-CUSTOM HISTORIC BALLARD INSPIRED LASER CUT METAL WALL MURAL



PROPOSED MASSING
NOT TO SCALE



PROPOSED MASSING
NOT TO SCALE



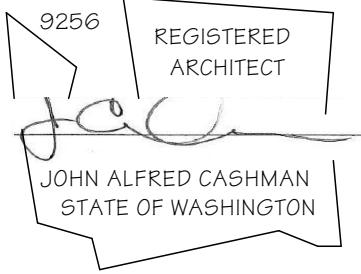
PROPOSED MASSING
NOT TO SCALE

LASER CUT METAL WALL MURAL
TO BE UNDER SEPARATE
CERTIFICATE OF APPROVAL.
CONCEPT ONLY



LASER CUT METAL WALL PANEL CONCEPT-TO
BE A ONE OF A KIND HISTORIC BALLARD
INSPIRED SCENE. TO BE REVIEWED UNDER
SEPERATE CERTIFICATE OF APPROVAL.
CONCEPT ONLY

AXIOM DESIGN BUILD
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SEATTLE, WA 98107
(206) 283-9535



AXIOM AND KAVU PROPOSAL
5419/5417 BALLARD AVE NW SEATTLE WA 98107

PROJECT NUMBER:
2675

PERMIT NUMBER:

DRAWING SET DATE:
01/28/21

REVISIONS:

17
3D MASSING

DCI SEAL

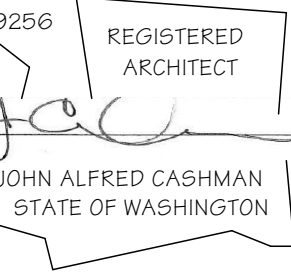


COUCH-VALHALLA BUILDING
NOT TO SCALE



PROPOSED MASSING
NOT TO SCALE

AXIOM DESIGN BUILD
5424 BALLARD AVENUE NW
SEATTLE, WA 98107
(206) 283-9535



AXIOM AND KAVU PROPOSAL
5419/5417 BALLARD AVE NW SEATTLE WA 98107

PROJECT NUMBER:
2675

PERMIT NUMBER:

DRAWING SET DATE:
01/28/21

REVISIONS:

18
3D MASSING

DCI SEAL