

1 SITE PLAN
SCALE: 1" = 20'-0"



PREVIOUSLY INSTALLED SIGN BOARD AND BUSINESS SIGNAGE



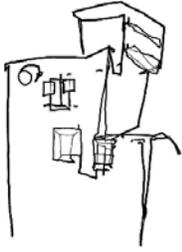
NEW BUSINESS SIGNAGE ON EXISTING SIGN BOARD

SWOOSE STUDIO
16044 33RD AVE NE
LAKE FOREST PARK, WA
Project #: 2405 Drawn By: AF

12463 REGISTERED ARCHITECT
Alexander J. Fraser
ALEXANDER J. FRASER
STATE OF WASHINGTON

ROAM BAR
5105 BALLARD AVE NW
SEATTLE, WA 98107
DofN CofA APPLICATION
ISSUE DATE: 2024.10.28 ISSUE DESCRIPTION: DEPT. OF NEIGHBORHOOD CofA

SHEET TITLE:
DofN SURVEY OF EXIST'G CONDITIONS
SHEET NUMBER:
G005
SHEET DIMENSIONS: 22X34



LETTER OF TRANSMITTAL

Date: November 24, 2024
Project: Roam Bar, 5105 Ballard Ave. NW, Seattle WA
To: Minh Chau Le, Department of Neighborhoods Board Coordinator
From: Swoose Studio, LLC
Re: DOHH-COA-01496, CORRECTION 1

Dear Minh Chau Le,

Please find the summary for corrections listed and responses below.

1. All visible changes associated with the new business require Landmark District Approval. Visible changes are features in the right of way, on the storefront, on the building exterior, and in the first three feet of the business interior. If there are any more new features besides the sign, please include them in the application or plan on submitting an application for them later, prior to making the changes.

The following items visible in the photos have not received Landmark District Approval: the outdoor dining structure, the weatherproofing material on the structure, the signs on the dining area railing. If you seek to keep these items, please add them to the current application by providing scale drawings, color and material details, and construction details (for the structure).

RESPONSE: The outdoor seating area was approved by the Ballard Avenue Landmark District Board in 2008, I have attached the 2008 recommendation in the permit resubmittal. The signs on the railing are not needed and are removed, and therefore not part of this application.

2. Provide the dimensions of the sign, and the dimensions of the new lettering.

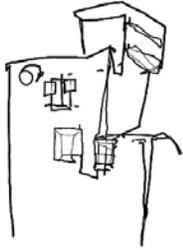
RESPONSE: The sign is 18" tall x 29" wide, made of Hemlock 1x that has been charred in character with Shou Sugi Ban wood burning technique and finished with a warm semigloss polyurethane. It is framed by black painted steel, and the letters are red painted steel. Attached in this correction submittal is a technical fabrication drawing for the lettering which has dimensions.

3. Provide photos taken from further back so more of the storefront and building can be seen, for context.

RESPONSE: Please see photos attached with this correction submittal.

4. Provide details about the wood background; is it new or is it from the previous sign? If it's new, what is the materials and the finish? What is the material for the Roam lettering? Is the Roam lettering on both sides of the sign?

RESPONSE: The framing of the sign is from the previous sign, but the wood infill and Roam signage graphic is new. It's 1x Hemlock burned in the Shou Sugi Ban technique, with a warm semigloss polyurethane finish. The letters are laser cut from 1/8" steel plate and painted red, and the Roam lettering exists on both sides of the sign. Please see photos uploaded with this round of corrections.



LETTER OF TRANSMITTAL

Date: December 5, 2024
Project: Roam Bar, 5105 Ballard Ave. NW, Seattle WA
To: Minh Chau Le, Department of Neighborhoods Board Coordinator
From: Swoose Studio, LLC
Re: DOHH-COA-01496, CORRECTION 2

Dear Minh Chau Le,

It is understood through our communications regarding Department of Neighborhoods Certificate of Approval application DOHH-COA-01496 that a retroactive application for the patio structure that was previously approved by the board in 2008 by the Department of Neighborhoods (see uploaded approval letter) and permitted in 2013 with Seattle Department of Construction and Inspections (see uploaded permit set for permit #6381543) is required.

Please see uploaded photo documentation for the existing structure, noted documenting the materials for construction, as per request in the correspondence attached in this upload. This ten page document contains photos of both interior and exterior of the structure with detail shots of the structure.

Please feel free to reach out if you have any questions or concerns.

Thank you,

Alex Fraser, Swoose Studio
p. 208.691.6148
e. afraser@swoosestudio.com



CURRENT PATIO STRUCTURE, SEE SHEET A2.0 OF 2013 APPROVED PLAN SET, PERMIT # 6381543-CN

1. CANVAS AWNING COVERING
2. GLULAM BEAM, SEALED W/ CLEAR POLYURETHANE
3. STRUCTURAL HSS STEEL POST, RAW
4. PRE-2013 CONSTRUCTION, STEEL RAILING STRUCTURE W/ CEDAR RAIL CAP, SEALED W/CLEAR POLYURETHANE.
5. BLADE FIN SIGN BOARD, BLACK STEEL FRAME W/ SHOU SUGI BAN WOOD INFILL AND RED STEEL LETTERING
6. BLACK CANVAS & CLEAR PLASTIC WEATHER SCREENING



SWOOSE STUDIO
 16044 33RD AVE NE
 LAKE FOREST PARK, WA
 208.691.6148

ROAM BAR
 5105 BALLARD AVE NW
 SEATTLE, WA 98107

DoN CofA RETROACTIVE APPLICATION

CURRENT PHOTOS OF AS BUILT CONDITIONS PER PERMIT 6381543-CN

PROJECT #: 2405

ISSUE DATE: 2024.12.05



CURRENT PATIO STRUCTURE, SEE SHEET S3 OF 2013 APPROVED PLAN SET,
PERMIT # 6381543-CN

1. CANVAS AWNING COVERING
2. GLULAM BEAM, SEALED W/ CLEAR POLYURETHANE
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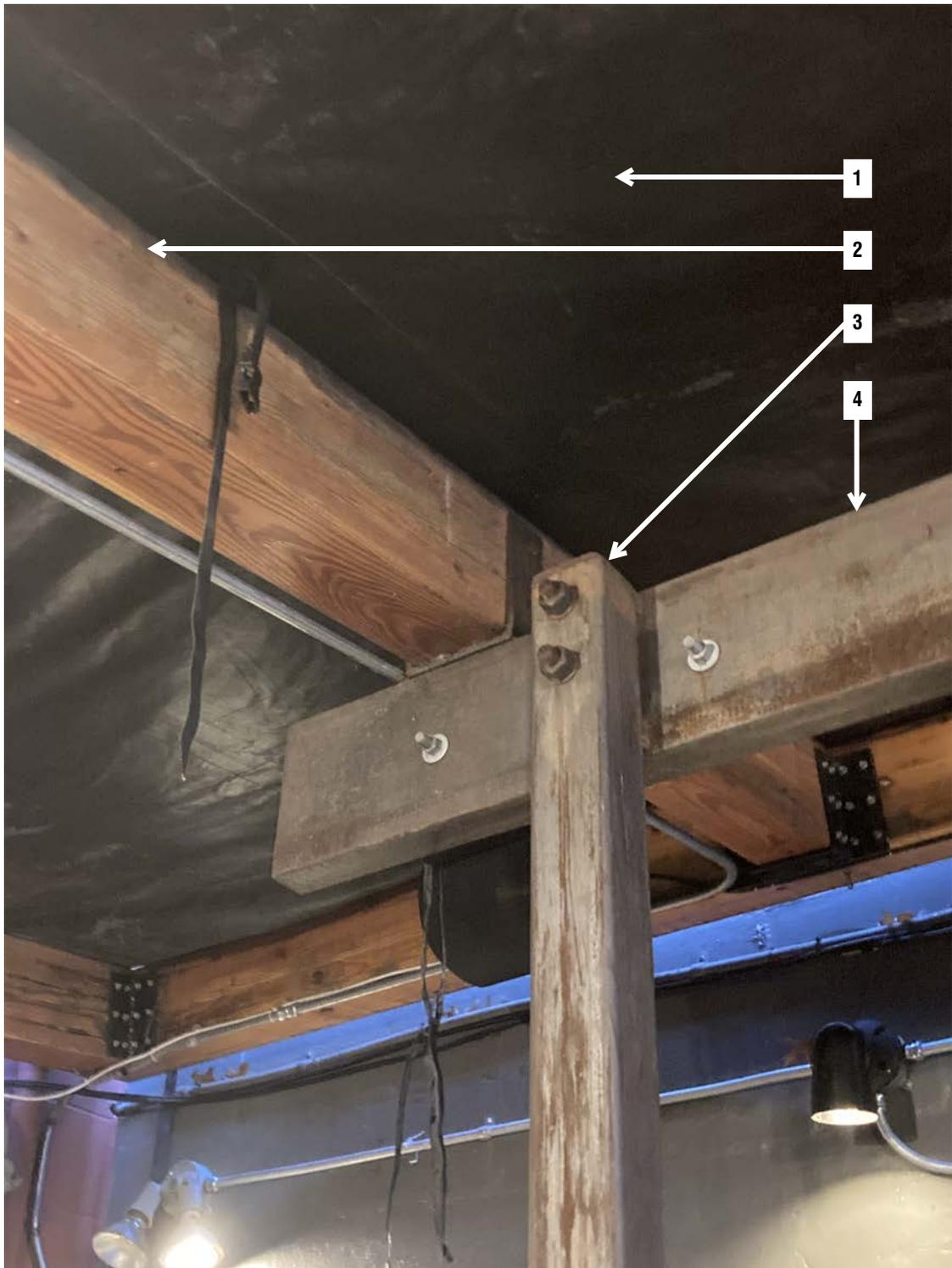
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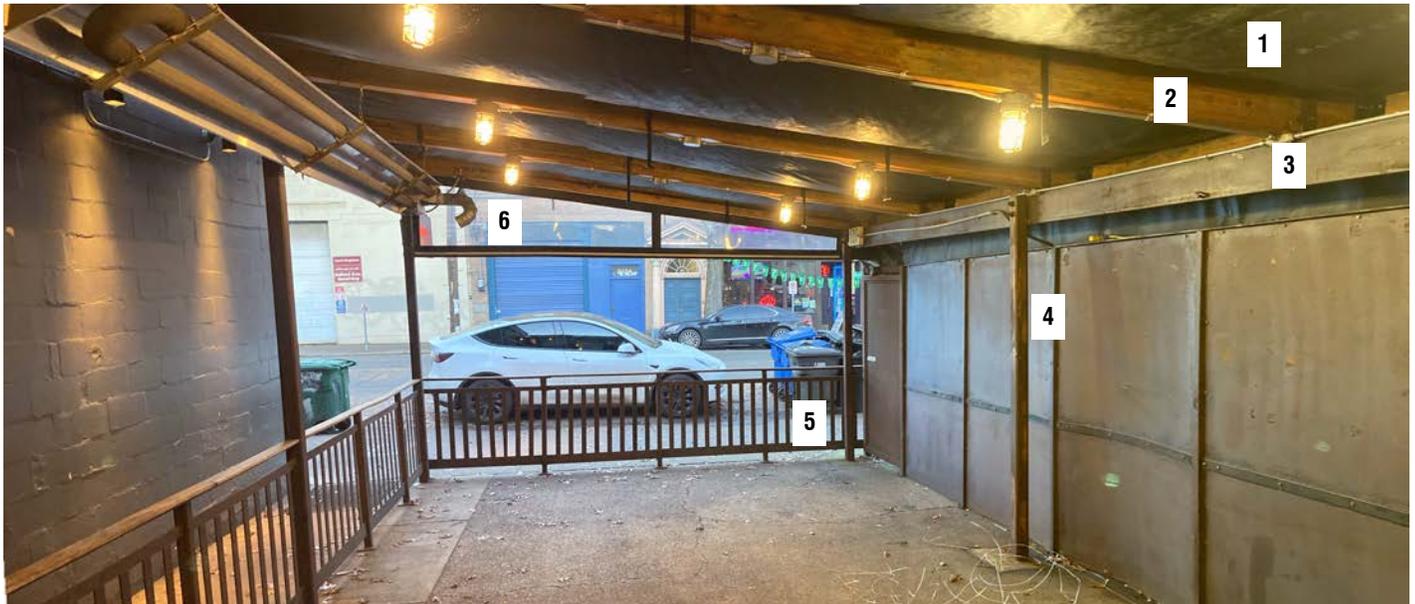
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PATIO RAILING

1. STEEL RAILING STRUCTURE W/ CEDAR RAIL CAP, SEALED W/CLEAR POLYURETHANE.



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1. STRUCTURAL HSS STEEL POST, RAW
2. COLUMN BASE DETAIL, CONCRETE



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4212 Russell Road Suite M
Mukilteo, WA 98275
800-513-5416 | terrene.biz

TO: Trent Brooks
FROM: ERIC
DATE: 9.4.2023
CUST. PO: ---
COMPANY: Roam
DRAWN BY: EJ
MATERIAL: CRS
THICKNESS: 16GA
QUANTITY: As Shown
SCALE: NOT TO SCALE
UNITS: INCHES
FINISH: ---

DWG TITLE: Roam Letters
DWG NO: 68923

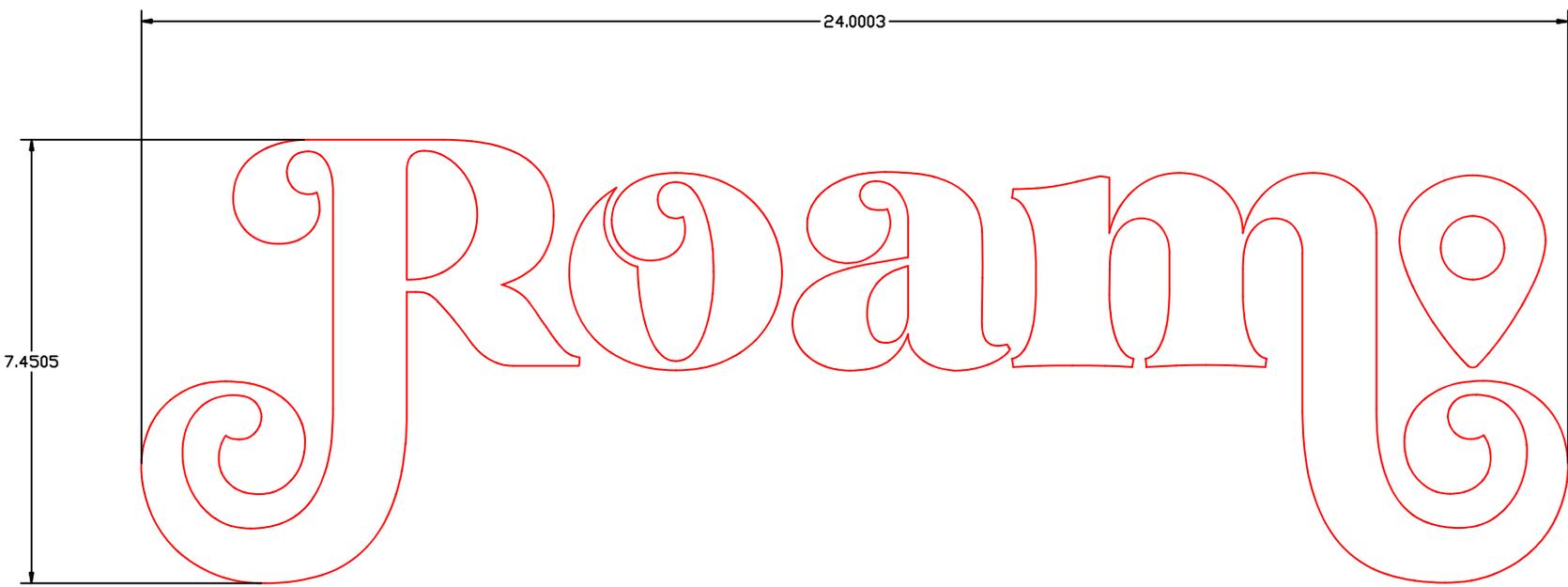
**FIRST ARTICLE / DRAWING
SPEC. CONFIRMATION**

**PLEASE REVIEW
FOR ACCURACY**

and email
changes or approval to:
approval@terrene.biz

SIGNATURE _____ DATE _____

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A rectangular wooden sign with a dark, charred border. The sign is made of horizontal wooden planks with a natural, weathered grain. The word "Roam" is mounted on the sign in a large, red, cursive script font. The letters are cut out, allowing the wood grain to be seen through them. The background behind the sign shows a brick wall and some green foliage.

Roam



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The City of Seattle

Ballard Avenue Landmark District Board

Mailing Address: PO Box 94649 Seattle WA 98124-4649
Street Address: 700 5th Ave Suite 1700

DATE: October 3, 2008

BLD 54/08

CERTIFICATE OF APPROVAL

Applicant: Dan Murphy
Business: Ballard Loft
Business Address: 5105 Ballard Ave NW

RECEIVED

9
AUG 16 2013

PKJB ARCHITECTURAL GROUP

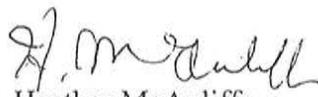
At its October 2, 2008 meeting, the Ballard Avenue Landmark District Board recommended approval of the following application:

Install awning over outdoor seating area.

(This action is categorically exempt from SEPA by the provisions of WAC 197-11-800.)

I concur with the Board's recommendation and hereby issue this Certificate of Approval pursuant to Ballard Avenue Landmark District SMC 25.16. It is the applicant's responsibility to obtain all other permits and comply with other City or County regulations. *To obtain a sign permit, call Kent Hunnicutt at the Seattle Department of Planning & Development, (206) 684-8419. To obtain a street use permit, call Angela Steel at the Seattle Department of Transportation, (206) 684-5967.*

Stella Chao, Director
Department of Neighborhoods

By: 
Heather McAuliffe
Board Coordinator
(206) 684-0229

cc: Diane Sugimura, DPD
Cheryl Mosteller, DPD
David Medina, Building Owner

Awning - 16 x 30 ft

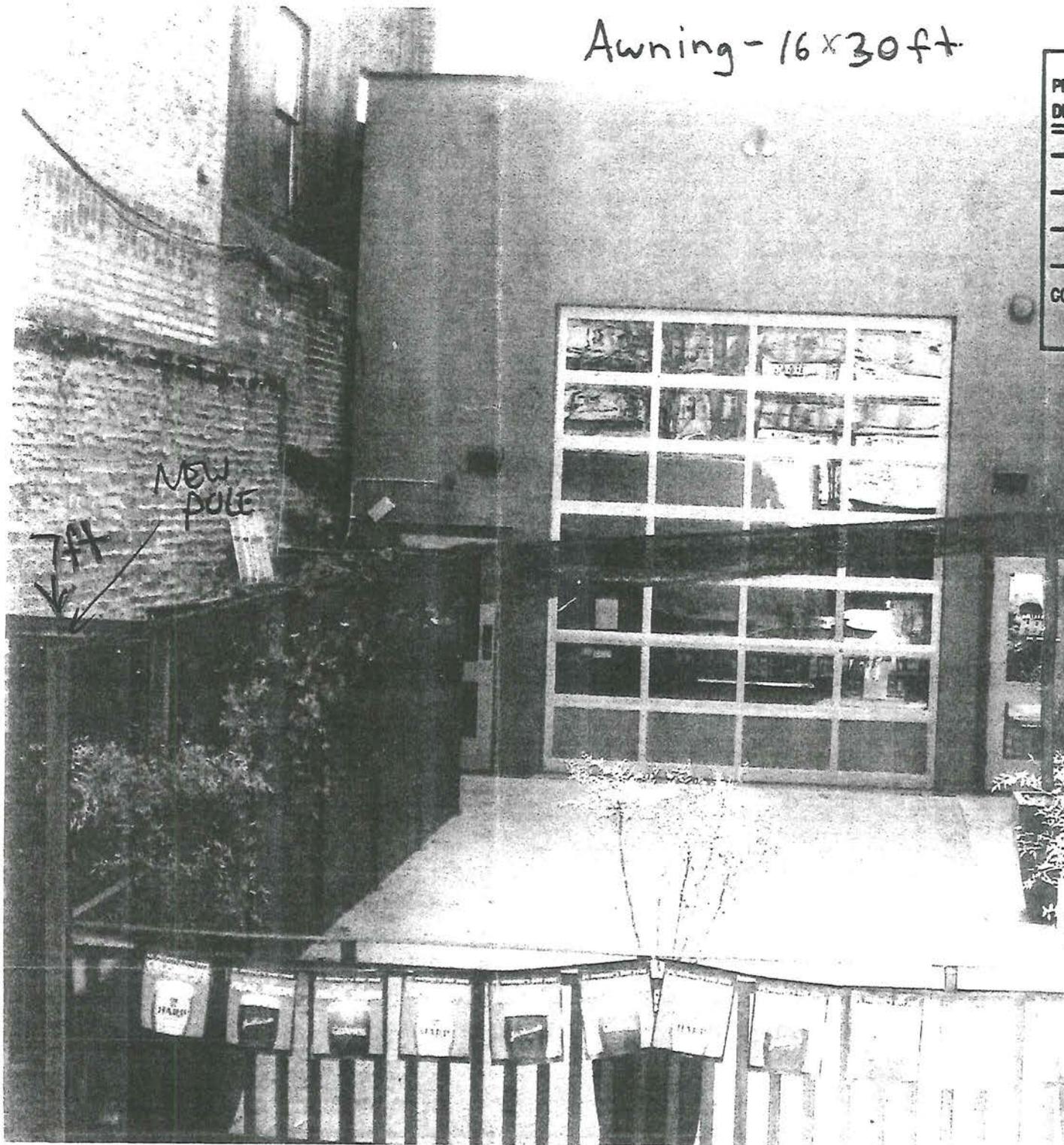
SPECIAL DISTRICT AND LANDMARK REVIEW	
PROPERTY OR DISTRICT	BLD
CHANGE OF USE	LOG # BLD 54/08
ST. USE	DATE 10/3/08
<input checked="" type="checkbox"/> EXT. DESIGN	STAFF H. M. AULIHO
INT. DESIGN	PHONE 684-0229
COMMENTS ON PAGES:	1 of 1

NEW POLE

NEW POLE

9ft

- AWNING TO BE LIGHT BROWN, CLOTT.
- TO BE ATTACHED TO A CABLE
- TWO NEW SUPPORT POLES
- ROLL UP INTO DUMPSTER



THE BALLARD LOFT - PATIO AWNING ADDITION

SEATTLE, WASHINGTON

GENERAL NOTES

- THE APPROVED PLANS SHALL NOT BE CHANGED OR ALTERED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL. THE APPROVED PLANS ARE REQUIRED TO BE ON THE JOB SITE.
- CONTRACTOR SHALL VERIFY AND CHECK ALL CONDITIONS AND DIMENSIONS AT THE BUILDING. REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
- IF ANY ERRORS, OMISSIONS OR INCONSISTENCIES APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER OR ARCHITECT IN WRITING OF SUCH OMISSIONS, ERRORS, OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK, OR ACCEPT FULL RESPONSIBILITY FOR COSTS TO RECTIFY SAME.
- TYPICAL DETAILS OR BUILDING STANDARDS SHALL APPLY WHERE NO SPECIFIC DETAILS ARE GIVEN.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, ELEVATIONS, SECTIONS AND DETAILS.
- FIRE EXTINGUISHERS SHALL BE PROVIDED PER NFPA #10, OR REQUIREMENTS OF LOCAL FIRE OFFICIALS.
- ALL 'OR EQUALS' TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
- BIDDER DESIGN WORK TO BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
- PENETRATIONS IN WALL REQUIRING PROTECTED OPENINGS ARE TO BE FIRE STOPPED.
- THE MEANS OF EGRESS INCLUDING THE EXIST DISCHARGE SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING IS OCCUPIED PER IBC 1006.3 ELECTRICAL DESIGN BUILD CONTRACTOR SHALL COMPLY AND SHALL SUBMIT A DEFERRED SUBMITTAL MEETING ALL REQUIREMENTS.
- THE BUILDING SHALL BE EQUIPPED WITH EMERGENCY LIGHTING AND IN THE EVENT OF A POWER FAILURE SHALL AUTOMATICALLY ILLUMINATE THE AREA OF THE EXIT DISCHARGE IMMEDIATELY ADJACENT TO THE DISCHARGE DOORS PER IBC 1006.3 ELECTRICAL DESIGN BUILD CONTRACTOR SHALL COMPLY AND SHALL SUBMIT A DEFERRED SUBMITTAL MEETING ALL REQUIREMENTS.
- PROVIDE 30 MINUTE OF EMERGENCY LIGHTING AT ALL EXTERIOR DOORS VIA SEPARATE BATTERY OR UNIT EQUIPMENT.
- THE MEANS OF EGRESS INCLUDING THE EXIT DISCHARGE SHALL BE ILLUMINATED TO MINIMUM 1 FOOT-CANDLE AT ALL TIMES THE SPACE IS OCCUPIED BY PREMISES ELECTRICAL SUPPLY. IN EVENT OF A POWER FAILURE THE LIGHTS SHALL OPERATE FOR A MINIMUM OF 90 MINUTES.

PROJECT SCOPE

INSTALLATION OF NEW TRELLIS/AWNING AT AN EXISTING BAR WITH EXISTING OUTDOOR PATIO SEATING AREA. AWNING IS SUPPORTED BY (6) STEEL POSTS WITH METAL CHANNEL BEAMS. WIRE CABLE TIES ARE USED TO FASTEN FABRIC AWNING TO TRELLIS. EXTERIOR WORK ONLY THIS PERMIT.

LEGAL DESCRIPTION

GILMAN PARK ADD FLAT 10 FLAT LOT 6

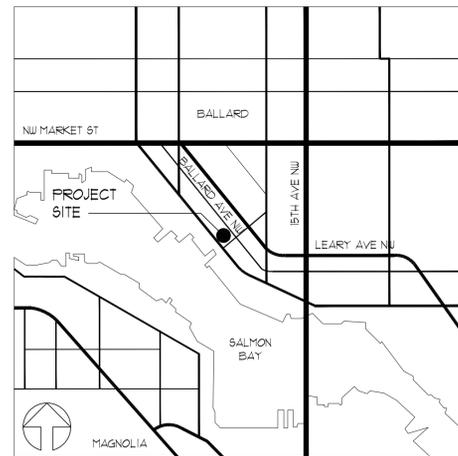
SITE & BUILDING INFO.

TAXPAYER -	DANIEL MURPHY C/O THE BALLARD LOFT 5105 BALLARD AVE. NW SEATTLE, WA 98107
TAX PARCEL NUMBER -	2767102330
PROJECT ADDRESS -	5105 BALLARD AVE. NW SEATTLE, WA 98107
GOVERNING BUILDING CODE -	2010 SEATTLE BUILDING CODE
GOVERNING ZONING CODE -	CITY OF SEATTLE MUNICIPAL CODE
SITE STATISTICS	
ZONE -	C1-65
SITE AREA -	5,000 SQ. FT. EXISTING UNCHANGED
URBAN VILLAGE OVERLAY -	BALLARD AVE LANDMARK DISTRICT
(PRIOR APPROVAL GRANTED FOR AWNING WORK)	
ECA ZONES -	N/A
ALLOWABLE LOT COVERAGE -	100% EXISTING
BUILDING STATISTICS	
ALLOWABLE HEIGHT -	65'
ACTUAL HEIGHT -	21' EXISTING
NEW AWNING HEIGHT -	10'-6" MAXIMUM HEIGHT
CONSTRUCTION TYPE -	V-B, EXISTING
OCCUPANCY TYPE -	A-2, EXISTING

BUILDING AREAS

CURRENT TENANT 'A' BUILDING AREA	1150 SF 1ST FLOOR 1320 SF 2ND FLOOR 2470 SF TOTAL BUILDING AREA
CURRENT TENANT 'B' AREA BUILDING:	1695 SF (NO CHANGE)
PARKING:	3070 SF - 1500 SF + 1570 SF 1570 SF / 250 SF/STALL + 628 STALLS WAIVE 628 STALLS PER SEATTLE LAND USE ORDINANCE 12231 SECTION 23.54.015.G
AREA OF WORK:	571 SF (EXTERIOR PATIO AREA)

VICINITY MAP



City of Seattle
Department of Planning and Development
Issued for Permit

OCCUPANT LOADS

PER 2010 SEATTLE BUILDING CODE

EXISTING RESTAURANT/BAR	A-2	=	119	OCCUPANTS
=	2 EXITS REQUIRED			
=	2 EXITS PROVIDED			
EXISTING PATIO AREA	A-2	=	24	OCCUPANTS
=	1 EXIT REQUIRED			
=	1 EXIT PROVIDED			

NOTE: NO CHANGE IN EXISTING OCCUPANT LOAD

PLUMBING FIXTURES

N/A - NO CHANGE IN OCCUPANCY

ENERGY CODE REQ.

PROJECT IS AN EXTERIOR SPACE, AND IS NOT CONDITIONED, ENERGY CODE N/A

STANDARD SYMBOLS

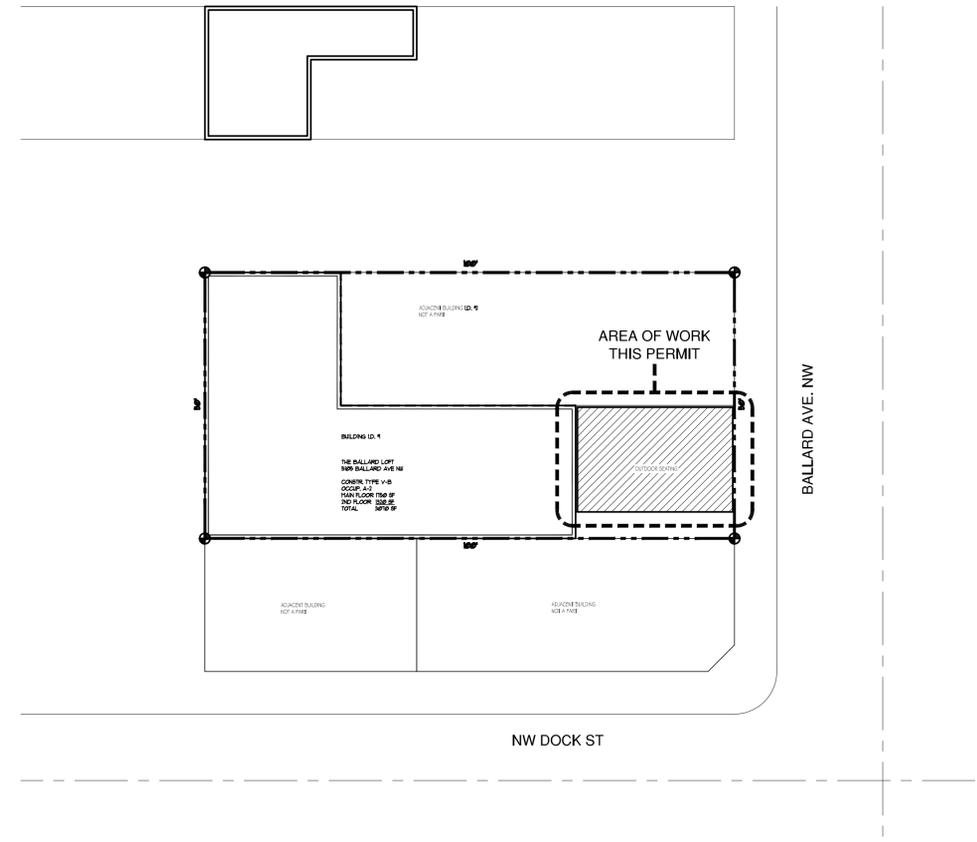
	BUILDING SECTION
	WALL SECTION
	DETAIL
	INTERIOR FINISH WALL ELEVATIONS
	GRID LINES - COLUMN
ROOMNAME 	ROOM NAME AND NUMBER
	FIRE EXTINGUISHER SEE SPECIFICATIONS
	REVISION TAG
	DOOR TAG
	ILLUMINATED EXIT SIGN ARROW INDICATES DIRECTION
	ILLUMINATED EXIT SIGN WITH EGRESS PATH LIGHTING WITH BATTERY BACKUP SYSTEM
	EGRESS PATH LIGHTING ON BATTERY BACKUP SYSTEM

PROJECT TEAM

TENANT: THE BALLARD LOFT 5105 BALLARD AVE NW SEATTLE, WA 98107 206.420.2131 CONTACT: DANIEL MURPHY	ARCHITECT: PKJB ARCHITECTURAL GROUP, P.S. 115 SOUTH MAIN STREET, SUITE 410 SEATTLE, WA 98104 206.624.3210 CONTACT: ROBERT KROESE, AIA
STRUCTURAL ENGINEER: PSM ENGINEERS 2200 SIXTH AVE, SUITE 601 SEATTLE, WA 98121 (206) 622-6480 CONTACT: DAVID STUBBS	

DRAWING INDEX

ARCHITECTURAL SITE	SD1.0 COVER SHEET - SITE PLAN
ARCHITECTURAL	A1.0 AWNING PLAN A2.0 ELEVATION AND DETAILS
STRUCTURAL	S1 GENERAL NOTES AND SPECIAL INSPECTIONS S2 FOUNDATION AND FRAMING PLAN S3 SECTIONS AND DETAILS



SITE PLAN

SCALE: 1/16" = 1'-0"

THE CITY OF SEATTLE
DEPARTMENT OF PLANNING AND DEVELOPMENT
APPROVED
Subject to Errors and Omissions
1/2/2014 Cheryl Burwell

THE BALLARD LOFT
OUTDOOR AWNING ADDITION
5105 BALLARD AVENUE NW
SEATTLE, WA 98107

5719 REGISTERED ARCHITECT
ROBERT A. KROESE
STATE OF WASHINGTON

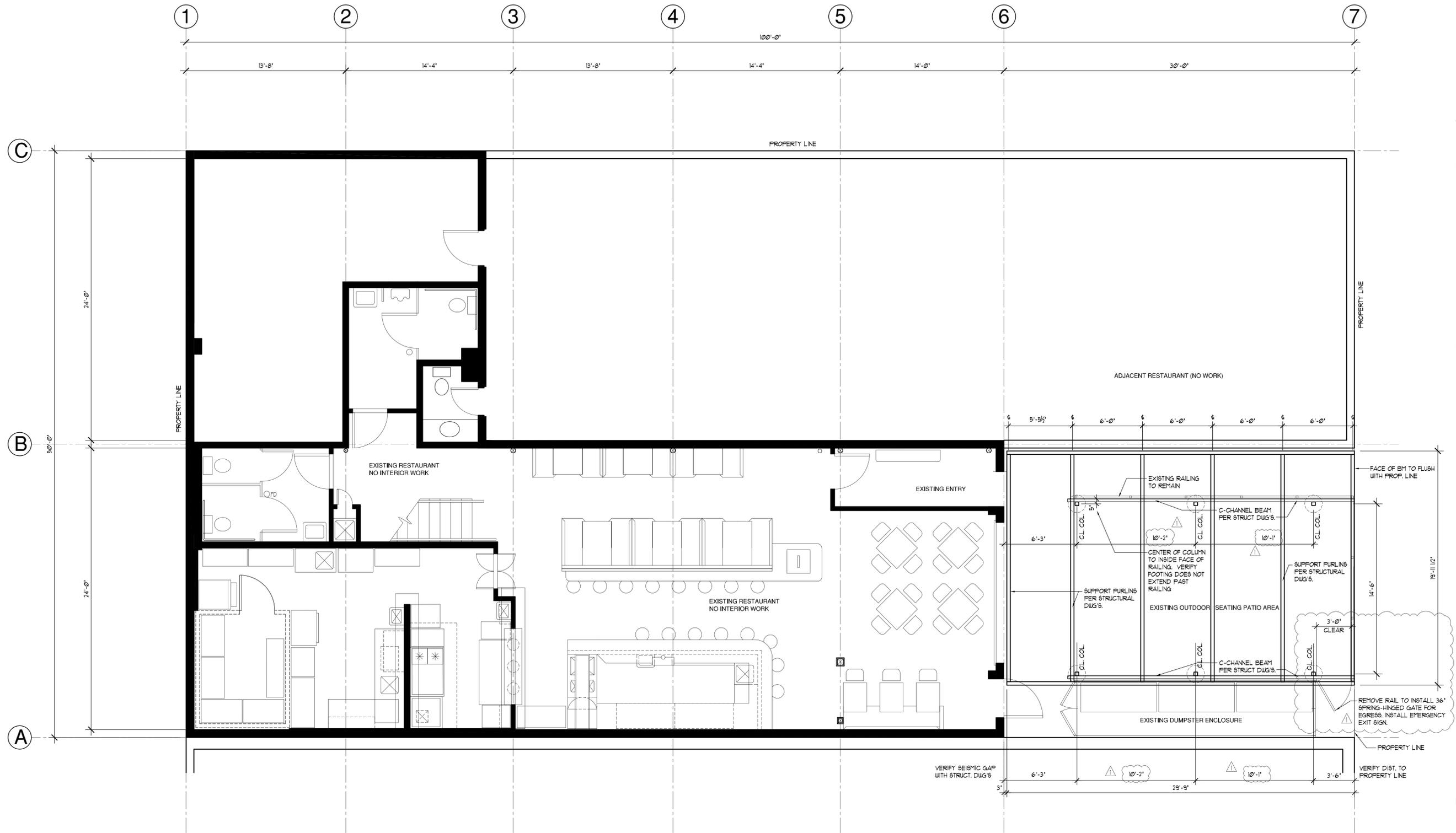
DRAWN
VF - RK
CHECKED
RK
DATE
10/02/2013
SCALE
AS NOTED
JOB NUMBER
13051.00

SD1.0

COVER SHEET - SITE PLAN

09/03/13 PROJECT START DATE
09/12/13 SUBMITTED FOR TENANT APPROVAL
10/02/13 TENANT REVISIONS
10/03/13 SUBMITTED FOR BUILDING PERMIT AND BID
BUILDING DEPARTMENT CORRECTIONS
CONSTRUCTION DRAWINGS
REVISION
REVISION
REVISION

PKJB
architectural group, p.s.
115 SOUTH MAIN STREET #410
SEATTLE, WA 98104
(206) 624-3210 FAX 624-3243



09/03/13	PROJECT START DATE
09/12/13	SUBMITTED FOR TENANT APPROVAL
10/02/13	TENANT REVISIONS
10/03/13	SUBMITTED FOR BUILDING PERMIT AND BID
12/19/13	BUILDING DEPARTMENT CORRECTIONS
	CONSTRUCTION DRAWINGS
	REVISION
	REVISION
	REVISION
	REVISION

p|k|j|b
 architectural group, p.s.
 118 SOUTHMAN STREET #100
 SEATTLE, WA 98104
 (206) 424-2010 FAX 206-424-2645

THE BALLARD LOFT
 OUTDOOR AWNING ADDITION
 5105 BALLARD AVENUE NW
 SEATTLE, WA 98107

5719 REGISTERED ARCHITECT
 ROBERT A. KROESE
 STATE OF WASHINGTON

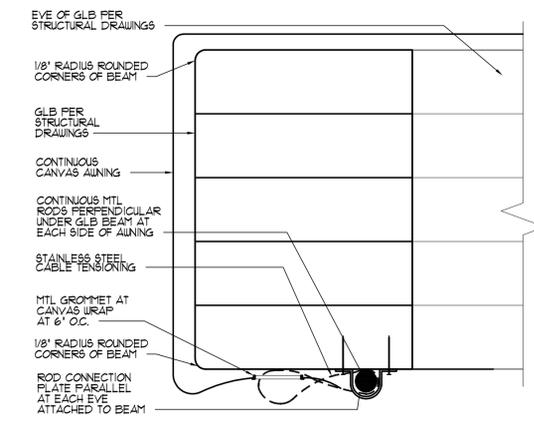
DRAWN	VF - RK
CHECKED	RK
DATE	12/19/2013
SCALE	AS NOTED
JOB NUMBER	13051.00

City of Seattle
 Department of Planning and
 Development
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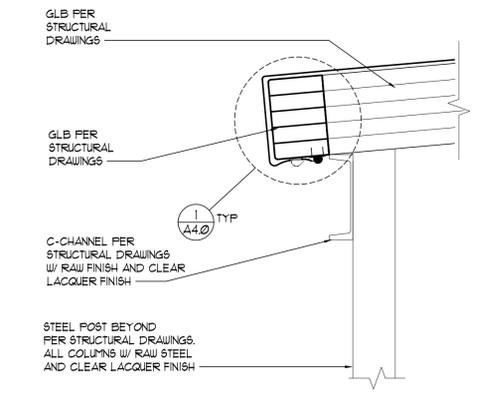
FRAMING PLAN
 SCALE: 1/4" = 1'-0"

THE CITY OF SEATTLE
 DEPARTMENT OF PLANNING AND DEVELOPMENT
 APPROVED
 Subject to Errors and Omissions
 1/2/2014 Cheryl Burwell

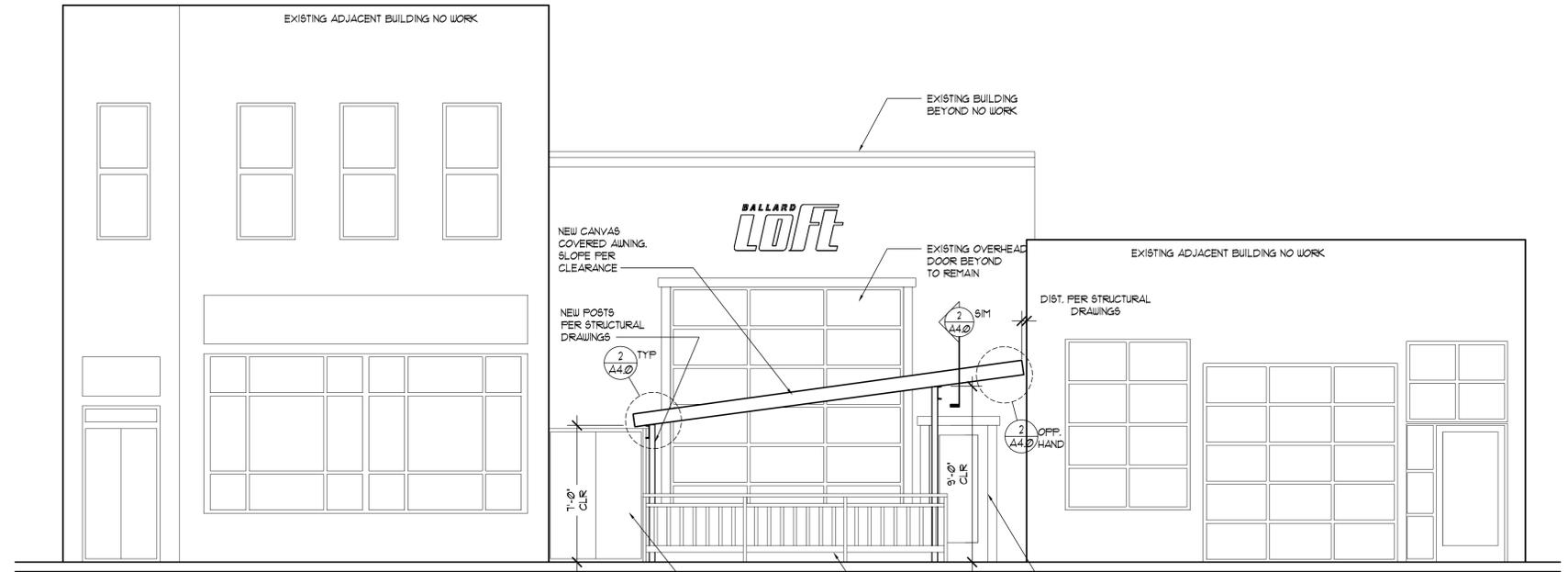
A1.0
 AWNING PLAN



1 CANVAS CONNECTION
6" = 1'-0"



2 WRAPPED ROOF CANVAS
1-1/2" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

09/03/13	PROJECT START DATE
09/12/13	SUBMITTED FOR TENANT APPROVAL
10/02/13	TENANT REVISIONS
10/03/13	SUBMITTED FOR BUILDING PERMIT AND BID
---	BUILDING DEPARTMENT CORRECTIONS
---	CONSTRUCTION DRAWINGS
---	REVISION
---	REVISION
---	REVISION

p|k|j|b
architectural group, p.s.
118 SOUTHWAN STREET #10
SEATTLE, WA 98104
(206) 624-2010 FAX 624-2645

THE BALLARD LOFT
OUTDOOR AWNING ADDITION
5105 BALLARD AVENUE NW
SEATTLE, WA 98107

5719 REGISTERED ARCHITECT
ROBERT A. KROESE
STATE OF WASHINGTON

DRAWN	VF - RK
CHECKED	RK
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A2.0
ELEVATION AND DETAILS

GENERAL NOTES

SPECIAL INSPECTIONS

THE FOLLOWING NOTES APPLY EXCEPT WHERE SHOWN OTHERWISE

CODE: INTERNATIONAL BUILDING CODE IBC (2009)

STRUCTURAL LOADS

ROOF SNOW LOADS: GROUND SNOW LOAD, $P_g = 20\text{PSF}$
 ROOF SNOW LOAD, $P_f = 25\text{PSF}$
 SNOW EXPOSURE FACTOR, $C_e = 1.0$
 SNOW LOAD IMPORTANCE FACTOR, $I_s = 1.0$
 THERMAL FACTOR, $C_t = 1.0$

WIND LOADS: BASIC WIND SPEED, $V_{3s} = 90\text{MPH}$
 WIND IMPORTANCE FACTOR, $I_w = 1.00$
 WIND EXPOSURE: 'B'
 $K_{zt} = 1.0$

EARTHQUAKE LOADS: SEISMIC OCCUPANCY CATEGORY: II
 SEISMIC IMPORTANCE FACTOR, $I_E = 1.00$
 MAPPED ACCELERATIONS, $S_s = 1.3$ $S_1 = 0.45$
 SITE CLASS = D
 DESIGN ACCELERATIONS, $S_{ds} = 0.87$ $SD_1 = 0.46$
 SEISMIC DESIGN CATEGORY: D
 BASIC SEISMIC FORCE RESISTING SYSTEM: CANTILEVER COLUMNS
 DESIGN BASE SHEAR, $V = 1.71$ KIPS (ASD)
 SEISMIC RESPONSE COEFFICIENT, $D_s = 0.57$ (ASD)
 RESPONSE MODIFICATION FACTOR, $R = 1.25$
 ANALYSIS PROCEDURE USED: STATIC LATERAL LOAD PROCEDURE

SHOP DRAWINGS

SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED, AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

FOUNDATIONS

MAXIMUM SOIL PRESSURE 1500 PSF. EXTERIOR FOOTINGS SHALL BEAR 1'-6" (MINIMUM) BELOW FINISH GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC, SURFACE SOILS AND SHALL BE LOWERED IF SUITABLE SOIL IS NOT FOUND AT ELEVATIONS SHOWN ON DRAWINGS. BACKFILL TO BE THOROUGHLY COMPACTED PER SPECIFICATIONS. PROVIDE 2 #5 (MINIMUM) CONTINUOUS BOTTOM OF ALL WALLS AND FOOTINGS.

CONCRETE

	MAX WATER/CEMENT RATIO				REMARKS
	F ^c	NON-AIR-ENT	AIR-ENT	MINIMUM SACKS/C.Y.	
FOOTINGS	2500	0.65	0.54	5 - 1/2"	

* CAN BE REDUCED 1/2 SACK/CUBIC YARD IF NOT EXPOSED TO WEATHER.

REINFORCING STEEL

ASTM A615 GRADE 60, REINFORCING STEEL DETAILS SHALL BE PREPARED BY AN EXPERIENCED DETAILER AND CONFORM TO STANDARD PRACTICE OUTLINED IN ACI REPORT 315. FIELD WELDING OR TACK WELDING OF REINFORCING BARS IS PROHIBITED, EXCEPT AS APPROVED BY THE ENGINEER. ANY REINFORCING TO BE WELDED TO BE ASTM A706, WELDABLE GRADE. WHEN APPROVED, WELDING OF REINFORCING BARS TO BE PER AWS D1.4. MECHANICAL SPLICE DEVICES, IF REQUIRED, SHALL BE ICC APPROVED AND SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. REINFORCING BARS SHALL BE LAP SPLICED FOR TENSION UNLESS NOTED OTHERWISE ON THE DRAWINGS.

LAP FOUNDATION REINFORCING 32 DIAMETERS. OTHER LAP LENGTHS PER DRAWINGS.

NOTE: REINFORCING STEEL NOT SPECIFICALLY SHOWN SHALL BE ASSUMED TYPICAL AS SIMILAR SECTIONS AND DETAILS WHERE REINFORCING IS SHOWN.

CONCRETE COVER OF REINFORCING

3"	CONCRETE POURED AGAINST EARTH.
2"	FORMED CONCRETE WITH EARTH BACKFILL.
1 - 1/2"	BEAMS AND COLUMNS (STIRRUPS, TIES), OUTSIDE FACE OF WALLS EXPOSED TO WEATHER, SLABS ON MOISTURE BARRIER.

ANCHORAGE TO HARDENED CONCRETE

WHERE EXPANSION ANCHORS ARE SPECIFIED, USE "HILTI KWIK BOLT TZ" (REFERENCE ICC REPORT ESR-1917).
 WHERE EPOXY ANCHORS ARE SPECIFIED, USE "HILTI HIT-RE 500-SD" OR "SIMPSON SET-XP" (REFERENCE ICC REPORT ESR-2322 AND ESR-2508). WHERE SCREW ANCHORS ARE SPECIFIED, USE "SIMPSON TITEN HD" (REFERENCE ICC REPORT ESR-2713). "HILTI HIT-RE 500", "HILTI HY-150", AND "SIMPSON SET" MAY NOT BE USED, UNLESS SPECIFICALLY PRE-APPROVED BY THE STRUCTURAL ENGINEER. USE ASTM A193 GRADE B7 THREADED ROD, UNLESS OTHERWISE NOTED. HOLES MUST BE CLEANED OF DUST AND DEBRIS AND BE FREE OF STANDING WATER WHEN EPOXY IS INSTALLED. SPECIAL INSPECTION OF EPOXY ANCHORS IS REQUIRED. DO NOT CUT ANY REINFORCING BARS TO INSTALL ANCHORS. DEFECTIVE HOLES SHALL BE FILLED SOLID WITH EPOXY.

FOR ANY SUBSTITUTIONS TO THE ABOVE, THE CONTRACTOR SHALL SUBMIT TO THE STRUCTURAL ENGINEER MANUFACTURER'S LITERATURE DESCRIBING THE ANCHORS AND LISTING ICC APPROVED ALLOWABLE SHEAR AND TENSION VALUES.

WOOD CONNECTORS

BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH MALLEABLE IRON WASHERS EXCEPT ON STEEL BEAM NAILERS USE CUT WASHERS. NAILERS TO STEEL BEAMS SHALL BE ATTACHED WITH 5/8" BOLTS AT 3'-0" O.C. STAGGERED.

NAILS SHALL CONFORM TO REQUIREMENTS OF ASTM F 1667 AND HAVE A MINIMUM BENDING STRENGTH OF 90 KSI FOR SHANK DIAMETERS BETWEEN .142" AND .177". ALL WOOD-TO-WOOD NAILING SHALL BE PER IBC TABLE 2304.9.1. IF PLANS AND DETAILS SPECIFY 8d, 10d OR 16d NAILS, THEY SHALL HAVE THE FOLLOWING PROPERTIES:

8d	= 0.131" DIA x 2 1/2"
10d	= 0.148" DIA x 3"
16d	= 0.162" DIA x 3 1/2"

ALL SUBSTITUTIONS SHALL HAVE THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD PRIOR TO USE.

LIGHT GAUGE METAL FRAMING CONNECTORS AND THEIR REQUIRED FASTENERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, OR APPROVED EQUAL.

STRUCTURAL GLUED-LAMINATED LUMBER

SHALL BE FABRICATED TO THE REQUIREMENTS OF PRODUCT STANDARD PS56. LUMBER SHALL BE VISUALLY GRADED WESTERN SPECIES, COMBINATION 24F-V4 FOR SIMPLE BEAMS, 24F-V8 FOR CANTILEVER BEAMS, COMBINATION 2 FOR COLUMNS, AND COMBINATION 5 FOR TRUSS MEMBERS PER 2005 NDS SUPPLEMENT, TABLE 5A (BEAMS) AND 5B (COLUMNS). LAMINATED MEMBERS TO BE ATC CERTIFIED. USE WATERPROOF GLUE.

STRUCTURAL STEEL

WIDE FLANGE SHAPES TO BE ASTM A992, $F_y = 50$ KSI.
 CHANNELS, ANGLES, AND PLATES TO BE ASTM A36, $F_y = 36$ KSI.
 PIPE COLUMNS TO BE ASTM A53, GRADE B, $F_y = 35$ KSI.
 HSS STRUCTURAL TUBE TO BE ASTM A500, GRADE B, $F_y = 46$ KSI.

ALL STEEL EXCEPT STEEL EMBEDDED IN CONCRETE SHALL BE GIVEN ONE SHOP COAT OF APPROVED PAINT.

WELDS TO BE 3/16" MINIMUM CONTINUOUS FILLET, BY CERTIFIED WELDERS USING E70XX ELECTRODES.
 ALL WELDING SHALL BE PERFORMED IN STRICT ADHERENCE TO A WRITTEN WELDING PROCEDURE SPECIFICATION (WPS) PER AWS D1.1. ALL WELDING PARAMETERS SHALL BE WITHIN THE ELECTRODE MANUFACTURER'S RECOMMENDATIONS. WELDING PROCEDURES SHALL BE SUBMITTED TO THE OWNER'S TESTING AGENCY FOR REVIEW BEFORE STARTING FABRICATION OR ERECTIONS. COPIES OF THE WPS SHALL BE ON SITE AND AVAILABLE TO ALL WELDERS AND THE SPECIAL INSPECTOR.

STEEL TO STEEL BOLTED CONNECTIONS ARE SHOWN TO BE BEARING-TYPE CONNECTIONS USING A325 BOLTS WITH THREADS INCLUDED IN THE SHEAR PLANE. HOLE SIZE SHALL BE IN ACCORDANCE WITH AISC SPECIFICATION FOR BEARING CONNECTION AND BOLTS SHALL BE TIGHTENED TO SNUG-TIGHT CONDITION. WHERE BOLTS ARE NOTED A325SC, CONNECTIONS SHALL BE FRICTION-TYPE CONNECTIONS WITH BOLTS TENSIONED AND USING APPROPRIATE HARDENED STEEL WASHERS AS REQUIRED BY AISC STANDARDS.

WHERE NOT SPECIFICALLY SHOWN BY DETAIL, CONNECTIONS SHALL BE BOLTED FRAME BEAM CONNECTIONS PER AISC STANDARDS. DURING ERECTION, STRUCTURAL STEEL SHALL BE SECURED FROM COLLAPSING WITH TEMPORARY BRACING.

SUBMIT SHOP DRAWINGS PREPARED BY AN EXPERIENCED DETAILER FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS TO BE COMPLETE, SHOWING ALL WELDS AND MATERIAL GRADES. PROVIDE A PLAN LOCATION OR DETAIL REFERENCE FOR EACH SHOP DRAWING. FOR MINOR STEEL-TO-STEEL CONNECTIONS OF 1/2" AND SMALLER STEEL MEMBERS: IF AN EXPLICIT CONNECTION IS NOT SHOWN ON THE STRUCTURAL DRAWINGS, DETAILER IS TO PROPOSE A CONNECTION SIMILAR TO THE CONNECTIONS ON THE DRAWINGS OR PER AISC STANDARD CONNECTIONS. ON THE SHOP DRAWING, CLOUD THE CONNECTION AND STATE 'VERIFY.' SHOP DRAWINGS NOT MEETING THESE CONDITIONS WILL BE REJECTED. REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS FOR DESIGN INTENT ONLY, AND DOES NOT INCLUDE VERIFICATION OF DIMENSIONS AND QUANTITIES. VERIFICATION OF DIMENSIONS AND QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

STEEL FABRICATORS AND DETAILERS: BASE BID TO INCLUDE STEEL DETAILER AND FABRICATOR TIME AND COSTS FOR ROUTINE CONSTRUCTION QUESTIONS. ROUTINE CONSTRUCTION QUESTIONS INCLUDE DIMENSIONAL QUESTIONS AND MINOR FRAMING QUESTIONS. ROUTINE CONSTRUCTION QUESTIONS ARE PART OF THE NORMAL CONSTRUCTION PROCESS, AND ARE TO BE INCLUDED IN THE BASE BID.

SCOPE OF STRUCTURAL ENGINEERING SERVICES

THE STRUCTURAL ENGINEER HAS PERFORMED THE STRUCTURAL DESIGN AND PREPARED THE STRUCTURAL WORKING DRAWINGS FOR THIS PROJECT. THE CONSTRUCTION MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE STRUCTURAL DRAWINGS. ANY DEVIATION FROM THE DRAWINGS MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER. ERRORS AND/OR OMISSIONS FOUND ON THE STRUCTURAL DRAWINGS MUST BE BROUGHT TO THE STRUCTURAL ENGINEER'S ATTENTION IMMEDIATELY.

ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. PRIMARY STRUCTURAL ELEMENTS ARE DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS. ANY DISCREPANCIES, CONTRADICTIONS, OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK OR FABRICATION OF THE ITEM(S) IN QUESTION.

THE STRUCTURAL ENGINEER IS RESPONSIBLE FOR THE DESIGN OF THE PRIMARY STRUCTURAL SYSTEM, EXCEPT FOR ANY COMPONENTS NOTED ABOVE. RESPONSIBILITY FOR ANY SECONDARY STRUCTURAL AND NON-STRUCTURAL SYSTEMS NOT SHOWN ON THE STRUCTURAL PLANS RESTS WITH SOMEONE OTHER THAN THE STRUCTURAL ENGINEER.

THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURALLY SOUND ONLY IN ITS COMPLETED FORM. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO STABILIZE THE BUILDING DURING CONSTRUCTION.

THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK, NOR WILL HE BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

FIELD MEASUREMENTS AND THE VERIFICATION OF FIELD DIMENSIONS ARE NOT PART OF THE STRUCTURAL ENGINEER'S RESPONSIBILITY. THE CONTRACTOR MUST CHECK ALL (ASSUMED) EXISTING CONDITIONS SHOWN ON THESE DRAWINGS FOR ACCURACY AND NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES.

OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS OR THE INADVERTENT MISLABELING OF DETAILS OF WORK WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INADVERTENT MISLABELED DETAILS OF THE WORK BUT THEY SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SPECIAL INSPECTIONS - GENERAL

SPECIAL INSPECTOR PROVIDE SPECIAL INSPECTIONS WITH THE TYPE AND FREQUENCY NOTED BELOW. SPECIAL INSPECTOR TO PROVIDE REPORTS WEEKLY TO:

1. THE OWNER
2. THE ARCHITECT
3. THE STRUCTURAL ENGINEER
4. THE CONTRACTOR

STRUCTURAL TESTING - GENERAL

TESTING AGENCY TO PROVIDE REPORTS OF THE TYPES BELOW. TESTING AGENCY TO DISTRIBUTE REPORTS TO:

1. THE OWNER
2. THE ARCHITECT
3. THE STRUCTURAL ENGINEER
4. THE CONTRACTOR

SPECIAL INSPECTIONS - CONCRETE CONSTRUCTION

ELEMENT: REINFORCING STEEL
 PERIOD: PERIODIC INSPECTION PRIOR TO POURING OF CONCRETE. SPECIAL INSPECTOR TO VERIFY REINFORCING SIZE/LOCATION.

ELEMENT: WELDING OF REINFORCING STEEL
 PERIOD: CONTINUOUS SPECIAL INSPECTION.

SPECIAL INSPECTIONS - STRUCTURAL STEEL CONSTRUCTION

ELEMENT: WELDING PROCEDURE
 PERIOD: ALL WELDING SHALL BE PERFORMED IN STRICT ADHERENCE TO A WRITTEN WELDING PROCEDURE PER AWS D1.1. THE WELDING PROCEDURE VARIABLES SHALL BE WITHIN THE PARAMETERS ESTABLISHED BY THE FILLER METAL MANUFACTURER. THE VARIABLES INCLUDE THE AMPERAGE, VOLTAGE, TRAVEL SPEED, AND SHIELDING GAS FLOW RATE. SUBMIT WELDING PROCEDURE FOR APPROVAL PRIOR TO BEGINNING WORK. A COPY OF THE WELDING PROCEDURE SHALL BE KEPT AT THE JOBSITE.

ELEMENT: WELDER CERTIFICATION
 PERIOD: SPECIAL INSPECTOR TO VERIFY WELDER QUALIFICATIONS FOR TYPE OF WELDS AND WELDING POSITIONS PRIOR TO WORK

ELEMENT: WELDING MATERIALS
 PERIOD: SPECIAL INSPECTOR TO VERIFY MATERIALS MEET THE WELDING PROCEDURE PRIOR TO WORK

ELEMENT: SHOP WELDING
 PERIOD: SPECIAL INSPECTIONS ARE NOT REQUIRED WHERE THE FABRICATOR IS REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION. APPROVAL SHALL BE BASED UPON REVIEW OF THE FABRICATOR'S WRITTEN PROCEDURAL AND QUALITY CONTROL MANUALS AND PERIODIC AUDITING OF FABRICATION PRACTICES BY AN APPROVED SPECIAL INSPECTION AGENCY. AT COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.



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09/12/13	SUBMITTED FOR OWNER / TENANT APPROVAL
10/03/13	SUBMITTED FOR BUILDING PERMIT AND BID
---	BUILDING DEPARTMENT CORRECTIONS
---	CONSTRUCTION DRAWINGS
---	REVISION
---	REVISION
---	REVISION

PSM

PSM CONSULTING ENGINEERS, INC.
 2200 SIXTH AVENUE, SUITE 601
 SEATTLE, WA 98101
 P: 206.622.4580 F: 206.622.0422
 www.psmengineers.com

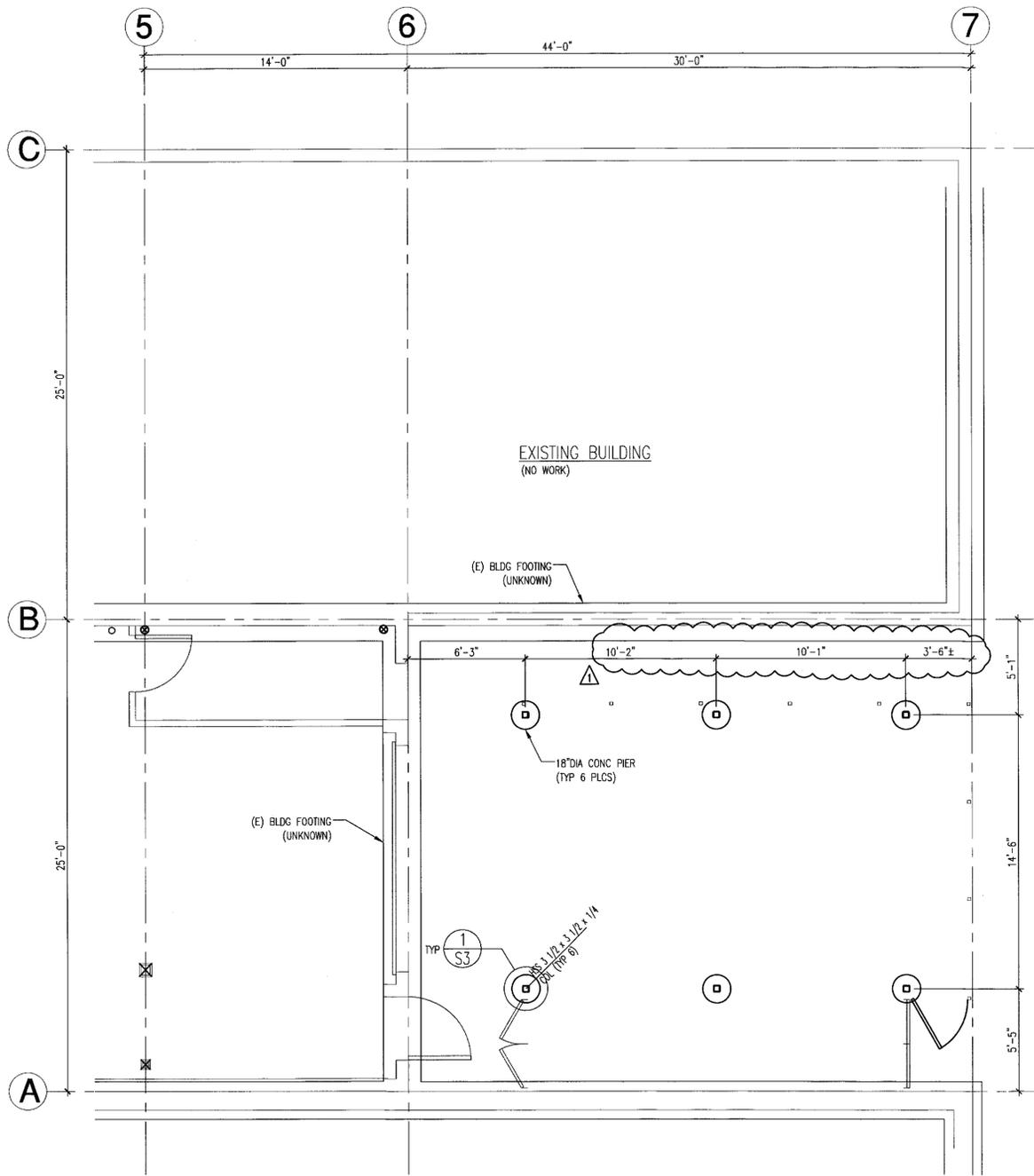
THE LOFT AWNING
 OUTDOOR AWNING ADDITION
 5105 BALLARD AVENUE NW
 SEATTLE, WA 98107

GENERAL
 NOTES AND
 SPECIAL
 INSPECTIONS

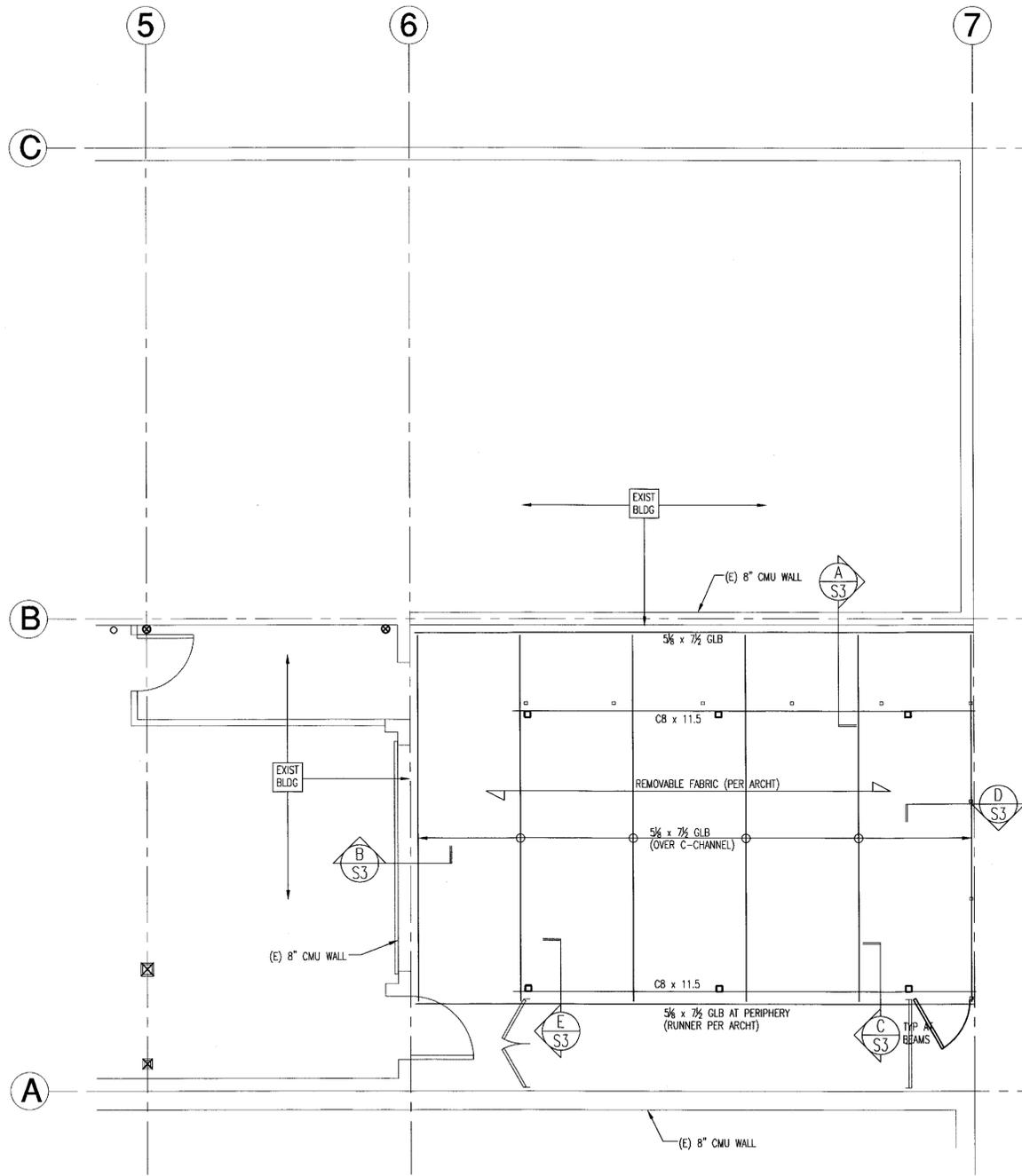
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10-01-2013	
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S1

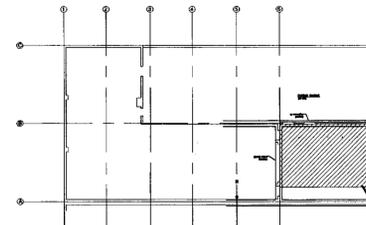


FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTES:
1. COORDINATE DIMENSIONS WITH ARCHITECTURAL PLANS.
2. SEE S1 FOR GENERAL NOTES AND SPECIAL INSPECTIONS.



KEY PLAN

City of Seattle
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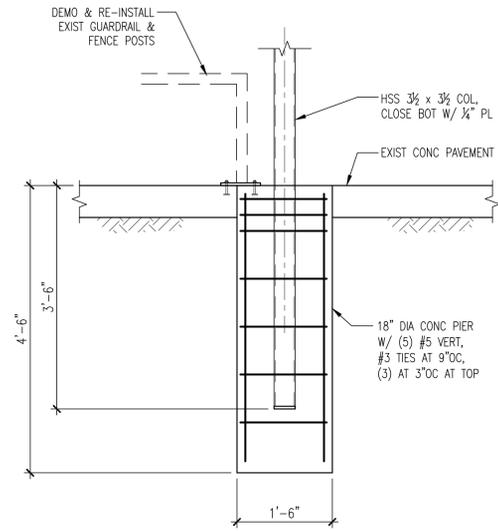
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THE LOFT AWNING
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SEATTLE, WA 98107

FOUNDATION AND FRAMING PLAN

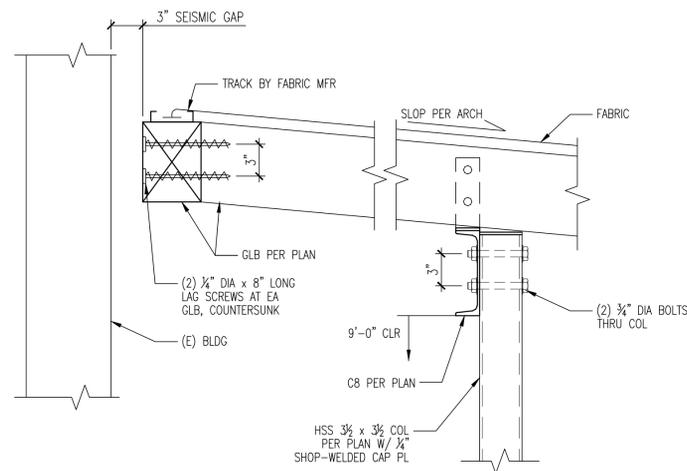
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CHECKED	DS
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DETAIL

SCALE: 3/4" = 1'-0"

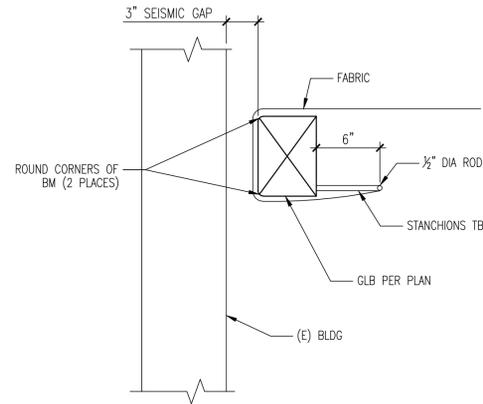
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SECTION

SCALE: 1 1/2" = 1'-0"

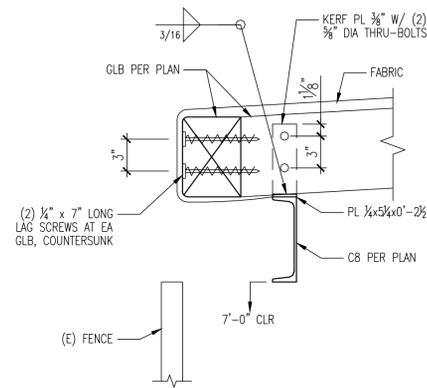
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SECTION

SCALE: 1 1/2" = 1'-0"

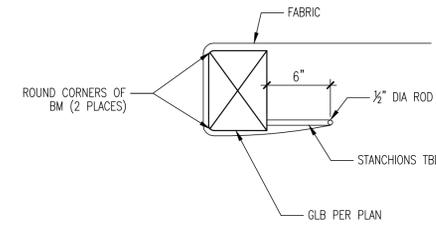
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SECTION

SCALE: 1 1/2" = 1'-0"

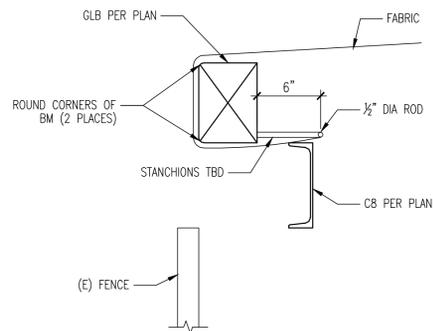
C



SECTION

SCALE: 1 1/2" = 1'-0"

D



SECTION

SCALE: 1 1/2" = 1'-0"

E

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**SECTIONS AND
DETAILS**

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S3

THE LOFT AWNING
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---	REVISION

ROAM BAR

PROJECT DESCRIPTION: EXISTING BUILDING, NO PLAN CHANGES.
CHANGE OF USE APPLICATION ONLY. EXISTING
USE CLASSIFIED C.2, PROPOSED USE C.3

PROJECT TEAM

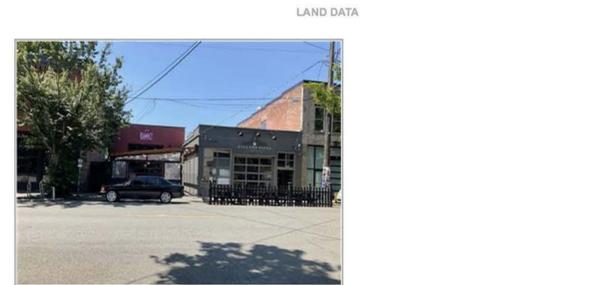
TENANT:
ROAM BAR
5105 BALLARD AVE NW
SEATTLE, WA
PH: (360) 919-4812
CONTACT: NICOLE HEALY
NICOLE@ROAMBARSEATTLE.COM

ARCHITECT:
SWOOSE STUDIO
16044 33RD AVE NE
LAKE FOREST PARK, WA
PH: (208) 691-6148
CONTACT: ALEX FRASER
AFRASER@SWOOSESTUDIO.COM

SHEET INDEX

GENERAL PROJECT INFO
G000 PROJECT INFORMATION
G001 NOTES, ABBREVIATIONS, AND SYMBOLS
G002 CODE ANALYSIS
G003 CODE ANALYSIS
G005 DoN SURVEY OF EXIST'G CONDITIONS

PARCEL DATA		Parcel Data	
Parcel	276770-2330	Jurisdiction	SEATTLE
Name	5105 LLC	Levy Code	0013
Site Address	5105 BALLARD AVE NW 98107	Property Type	C
Geo Area	19-10	Plat Block / Building Number	70
Spec Area		Plat Lot / Unit Number	6
Property Name	LOFT & BALLARD PIZZA	Quarter-Section-Township-Range	SE-11:25:3
Legal Description			
GILLMAN PARK ADD Plat Block: 70 Plat Lot: 6			



LAND DATA		Land Data	
Highest & Best Use As If Vacant	MANUFACTURING	Percentage Unusable	
Highest & Best Use As Improved	PRESENT USE	Unbuildable	NO
Present Use	Retail Store	Restrictive Size Shape	NO
Land SqFt	5,000	Zoning	C1-65
Acres	0.11	Water	WATER DISTRICT
		Sewer/Septic	PUBLIC
		Road Access	PUBLIC
		Parking	ADEQUATE
		Street Surface	PAVED

Views	
Rainier	
Territorial	
Olympics	
Cascades	
Seattle Skyline	
Puget Sound	
Lake Washington	
Lake Sammamish	
Lake/River/Creek	
Other View	

Designations	
Historic Site	
Current Use	(none)
Nbr Bldg Sites	
Adjacent to Golf Fairway	NO
Adjacent to Greenbelt	NO
Other Designation	NO
Deed Restrictions	NO
Development Rights Purchased	NO
Easements	NO
Native Growth Protection Easement	NO
DNR Lease	NO

Waterfront	
Waterfront Location	
Waterfront Footage	0
Lot Depth Factor	0
Waterfront Bank	
Tide/Shore	
Waterfront Restricted Access	
Waterfront Access Rights	NO
Poor Quality	NO
Proximity Influence	NO

Nuisances	
Topography	
Traffic Noise	
Airport Noise	
Power Lines	NO
Other Nuisances	NO
Problems	
Water Problems	NO
Transportation Concurrency	NO
Other Problems	NO
Environmental	
Environmental	NO

BUILDING	
Building Number	1
Building Description	RESTAURANT (LOFT)
Number Of Buildings Aggregated	1
Predominant Use	RESTAURANT, TABLE SERVICE (350)
Shape	Rect or Slight Irreg
Construction Class	MASONRY
Building Quality	AVERAGE
Stories	1
Building Gross Sq Ft	3,000
Building Net Sq Ft	3,000
Year Built	1900
Eff. Year	1980
Percentage Complete	100
Heating System	ELECTRIC
Sprinklers	Yes
Elevators	
	1 2

Section(s) Of Building Number: 1							
Section Number	Section Use	Description	Stories	Height	Floor Number	Gross Sq Ft	Net Sq Ft
2	RESTAURANT, TABLE SERVICE (350)	2007 addition	1	10	0	1,250	1,250
1	RESTAURANT, TABLE SERVICE (350)		1	10		1,750	1,750

Accessory									
Accessory Type	Picture	Description	Qty	Unit Of Measure	Size	Grade	Eff Yr	% Value	Date Valued
Canopies		Outdoor Patio Restaurant Area		Square Feet	600	LOW COST	2017		



VICINITY MAP

SITE



PROPERTY LOCATION

PROPERTY



SWOOSE STUDIO
16044 33RD AVE NE
LAKE FOREST PARK, WA

Project #: 2405 Drawn By: AF



ROAM BAR
5105 BALLARD AVE NW
SEATTLE, WA 98107

DoN CoFA APPLICATION

ISSUE DATE: 2024.10.28
ISSUE DESCRIPTION: DEPT. OF NEIGHBORHOOD CoFA

SHEET TITLE

PROJECT INFORMATION

SHEET NUMBER

G000

SHEET DIMENSIONS: 22X34

ABBREVIATIONS

#	NUMBER			OPNG	OPENING
@	AT	FOIO	FURNISHED BY OWNER	OPP	OPPOSITE
¢	CENTERLINE		INSTALLED BY OWNER	ORD	OVERFLOW ROOF DRAIN
AB	ANCHOR BOLT	FOM	FACE OF MASONRY	OVHD	OVERHEAD
ABS	ACRYLONITRILE BUTADIENE STYRENE	FOS	FACE OF STUDS	PBD	PARTICLE BOARD
AD	AREA DRAIN	FPHB	FROST-PROOF HOSE BIBB	PCP	PORTLAND CEMENT PLASTER
ADA	AMERICANS WITH DISABILITIES ACT	FP	FIREPLACE	PERF	PERFORATED
ADD'L	ADDITIONAL	FRMG	FRAMING	PERIM	PERIMETER
ADJ	ADJUSTABLE	FRT	FIRE RETARDANT TREATED	PERM	PERMANENT
AFF	ABOVE FINISH FLOOR	FT	"FOOT, FEET"	PERP	PERPENDICULAR
AP	ACCESS PANEL	FTG	FOOTING	PH	PHASE
APPROX	APPROXIMATE	FURN	FURNITURE	PL	PROPERTY LINE
ARCH	ARCHITECT (URAL)	GA	GAGE	PLAM	PLASTIC LAMINATE
ASPH	ASPHALT	GAL	GALLON	PLWD	PLYWOOD
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	GALV	"GALVANIZED, GALVANIC"	PRCST	PRECAST
A/V	AUDIO / VISUAL	GB	GRAB BAR	PREFAB	PREFABRICATED
AWI	ARCHITECTURAL WOODWORKING INSTITUTE	GC	GENERAL CONTRACTOR	PRELIM	PRELIMINARY
BD	BOARD	GEN	GENERAL	PRKG	PARKING
BITUM	BITUMINOUS	GL	GLASS	PROJ	PROJECT
BLDG	BUILDING	GLU LAM	GLUED LAMINATED WOOD	PROP	PROPERTY
BLKG	BLOCKING	GOV'T	GOVERNMENT	PSF	POUNDS PER SQUARE FOOT
BM	BEAM	GSM	GALVANIZED SHEET METAL	PSI	POUNDS PER SQUARE INCH
B.M.	BENCHMARK	GWB	GYPSTUM WALL BOARD	PSL	PARALLEL STRAND LUMBER
BO	BOTTOM OF	HB	HOSE BIBB	PTD	PAINTED
BOF	BOTTOM OF FOOTING	HC	HOLLOW CORE	PT	"POST-TENSIONED, PRESSURE TREATED"
BR	BEDROOM	HDR	HEADER	PTN	PARTITION
BSMT	BASEMENT	HDW	HARDWARE	PVA	POLYVINYL ACRYLIC
Btu	BRITISH THERMAL UNIT	HDWD	HARDWOOD	PVC	POLYVINYL CHLORIDE
CAB	CABINET	HDWR	HARDWARE	PVG	PAVING
CB	CATCH BASIN	HLDN	HOLDDOWN	QT	QUARRY TILE
C.C.	CENTER TO CENTER	HLM	HOLLOW METAL	QTY	QUANTITY
CFM	CUBIC FEET PER MINUTE	HM	HOLD OPEN	R	"RADIUS, RISER"
CFOI	CONTRACTOR FURNISHED; OWNER INSTALLED	HO	HORIZONTAL	RCP	REFLECTED CEILING PLAN
CH	CHANNEL	HORIZ	HORIZONTAL	RD	"ROOF DRAIN, ROAD"
CI	CAST IRON	HR	HOUR	REC	RECESSED
CIP	CAST-IN-PLACE	HSS	HOLLOW STRUCTURAL SECTION	REF	"REFER (ENCE), REFRIGERATOR"
CL	CENTERLINE	HTG	HEATING	REINF	"REINFORCE (D), (ING)"
CLG	CEILING	HVAC	"HEATING, VENTILATION, AND AIR CONDITIONING"	REQ'D	REQUIRED
CLR	CLEAR			RESIL	RESILIENT
CMU	CONCRETE MASONRY UNIT			REV	"REVISION (S), REVISED"
CO	CLEAN OUT	HWH	HOT WATER HEATER	RH	"ROOF HATCH, RIGHT HAND"
COL	COLUMN	ID	INSIDE DIAMETER	RHR	RIGHT HAND REVERSE
CONC	CONCRETE	IE	INVERT ELEVATION	RM	ROOM
CONT	CONTINUOUS	IN	INCH (S)	RO	ROUGH OPENING
COORD	COORDINATE	INCL	INCLUDING (ED)	ROW	RIGHT OF WAY
CSMT	CASEMENT	INFO	INFORMATION	RPM	REVOLUTIONS PER MINUTE
CT	CERAMIC TILE	INSUL	INSULATION	RT	RIGHT
CU. FT.	CUBIC FOOT	INT	INTERIOR	RWL	RAINWATER LEADER
CU. YD.	CUBIC YARD	INV	INVERT	S	SOUTH
D	"DRYER, DEEP"	JST	JOIST (S)	SAM	SELF-ADHERED MEMBRANE
DBL	DOUBLE	KIT	KITCHEN	SC	SOLID CORE
DEMO	"DEMOLISH, DEMOLITION"	KW	KILOWATT	SCHE	SCHEDULE
DEPT	DEPARTMENT	L	LENGTH	SD	STORM DRAIN
DET	DETAIL	LAM	LAMINATE(D), LIQUID APPLIED MEMBRAN	SF	SQUARE FOOT (FEET)
∅ or DIA	DIAMETER	LAV	LAVATORY	SHT	SHEET
dB	DECIBEL	LB (S)	POUND (S)	SIM	SIMILAR
DIM	DIMENSION	LF	LINEAL FOOT/FEET	SP	STANDPIPE
DIV	DIVISION	LH	LEFT HAND	SPEC	SPECIFICATION
DN	DOWN	LHR	LEFT HAND REVERSE	SQ	SQUARE
DP	DAMP/PROOFING	LR	LIVING ROOM	SQ IN	SQUARE INCH
DR	"DINING ROOM, DOOR"	LSL	LAMINATED STRAND LUMBER	SS	"SANITARY SEWER, STANDING SEAM"
DS	DOWNSPOUT	LT	LIGHT	SST	STAINLESS STEEL
DT	DRAINTILE	LVL	LAMINATED VENEER LUMBER	STC	SOUND TRANSMISSION CLASS
DW	DISHWASHER	MAG	MAGNET(IC)	STD	STANDARD
DWG	DRAWING	MATL	MATERIAL	STL	STEEL
(E)	EXISTING	MAX	MAXIMUM	STOR	STORAGE
E	EAST	MBR	MASTER BEDROOM	STRUCT	STRUCTURE (AL)
EA	EACH	MC	MEDICINE CABINET	SUSP	SUSPENDED
EL	ELEVATION	MECH	MECHANICAL	T	TREAD
ELEC	ELECTRIC (AL)	MEMB	MEMBRANE	T&G	TONGUE AND GROOVE
ELEV	ELEVATOR	MEP	MECHANICAL, ELECTRICAL, PLUMBING	TBD	TO BE DETERMINED
ENCL	ENCLOSE (URE)	MEZZ	MEZZANINE	TEMP	TEMPORARY
EQ	EQUAL	MFD	MANUFACTURED	TOFF	TOP OF FINISH FLOOR
EQUIP	EQUIPMENT	MFR	MANUFACTURER	THRU	THROUGH
ESMT	EASEMENT	MIN	"MINIMUM, MINUTE"	TOB	TOP OF BEAM
EST	ESTIMATE (D)	MIRR	MIRROR	TOC	TOP OF CONCRETE
EXH	EXHAUST	MISC	MISCELLANEOUS	TOS	TOP OF STEEL
EXIST.	EXISTING	MO	MASONRY OPENING	TOW	TOP OF WALL
EXP	EXPANSION	MTD	MOUNTED	TV	TELEVISION
EXT	EXTERIOR	MTL	METAL	TYP	TYPICAL
FAM	FLUID APPLIED MEMBRANE	MULT	MULLION	UBC	UNIFORM BUILDING CODE
FD	FLOOR DRAIN	(N)	NEW	UNFIN	UNFINISHED
FDN	FOUNDATION	NA	NOT APPLICABLE	UNO	UNLESS NOTED OTHERWISE
FE	FIRE EXTINGUISHER	NG	NATURAL GAS	UTIL	UTILITY
FF	FINISHED FLOOR	NIC	NOT IN CONTRACT	VERT	VERTICAL
FIN	FINISH (ED)	NO.	NUMBER	VIF	VERIFY IN FIELD
FL	FLASHING	NOM	NOMINAL	V	VOLT
FLR	FLOOR	N	NORTH	W	"WEST, WIDTH, WASHER"
FM	FACTORY MANUAL	NTS	NOT TO SCALE	W	WITH
FOC	FACE OF CONCRETE	OA	OVERALL	W/D	WASHER / DRYER
FOF	FACE OF FINISH	OC	ON CENTER	W/O	WITHOUT
FOIC	FURNISHED BY OWNER INSTALLED BY CONTRACTOR	OD	"OUTSIDE DIAMETER, DIMENSION"	WC	WATER CLOSET
		OFF	OFFICE	WD	"WOOD, WOOD DOOR"
		OPP	OPPOSITE HAND	WDW	WINDOW
				WRB	WEATHER RESISTIVE BARRIER

GENERAL NOTES

1. GENERAL:

- 1.A THE CONTRACTOR SHALL BE GOVERNED BY ALL CONDITIONS AS INDICATED IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
- 1.B THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
- 1.C THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY NEGLIGENCE OF CONTRACTOR, HIS AGENT, EMPLOYEES OR SUBCONTRACTORS.
- 1.D EACH CONTRACTOR/SUBCONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND IS RESPONSIBLE FOR THE REPAIR OF SAID DAMAGE AT THEIR OWN EXPENSE.
- 1.E THE CONTRACTOR SHALL REPORT ERRORS AND OMISSIONS TO THE ARCHITECT IMMEDIATELY IN WRITING. DO NOT VARY OR MODIFY THE WORK SHOWN EXCEPT UPON WRITTEN INSTRUCTIONS OF THE ARCHITECT.
- 1.F THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WALL BLOCKING AS REQUIRED FOR ALL WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH THE ARCHITECT AND/OR OWNER LOCATION OF ALL MOUNTED ITEMS WHICH ARE N.I.C.
- 1.G ALL CONSTRUCTION SHALL BE STABILIZED AGAINST LATERAL MOVEMENT IN ACCORDANCE WITH REQUIREMENTS OF THE LATEST ADOPTED EDITION OF THE I.B.C. IN THE LOCAL JURISDICTION AND IN STRICT ACCORDANCE WITH THE STRUCTURAL DETAILS OF THIS SET OF DRAWINGS.

- 1.H ALL WORK SHALL BE INSTALLED TRUE, PLUM, SQUARE, LEVEL AND IN PROPER ALIGNMENT.
- 1.I OFFSET STUDS WHERE REQUIRED SO THAT FINISH WALL SURFACES WILL BE FLUSH.
- 1.J MECHANICAL, ELECTRICAL, VERTICAL TRANSPORTATION, & SPRINKLER WORK CONDUCTED UNDER SEPARATE PERMIT & NOT PART OF THIS CONTRACT.
- 1.H INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S SPECIFICATION.
- 1.J CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST FAULT OF ANY MATERIAL OR WORKMANSHIP FOR PERIOD OF ONE YEAR AFTER COMPLETION AND ACCEPTANCE. FAULTY WORK SHALL BE REPLACED OR REPAIRED AS REQUIRED AT CONTRACTOR'S EXPENSE.
- 1.J ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE 2018 I.R.C., THE GOVERNING ENERGY CODE AND MECHANICAL CODE WITHIN THE JURISDICTION OF THE PROJECT. IN CASE OF CONFLICT WHERE METHODS OR STANDARDS OF INSTALLATION OR MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE ORDINANCES SHALL GOVERN. NOTIFY THE ARCHITECT OF ANY CONFLICT.
- 1.K IMPORTANT: IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH AND EVERY SUBTRADE TO ENSURE EVERY ASPECT OF THIS WORK IS IN COMPLIANCE WITH THE PREVAILING CODES.

2. CODES:

- 2.A ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE 2018 I.R.C., THE GOVERNING ENERGY CODE AND MECHANICAL CODE WITHIN THE JURISDICTION OF THE PROJECT. IN CASE OF CONFLICT WHERE METHODS OR STANDARDS OF INSTALLATION OR MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE ORDINANCES SHALL GOVERN. NOTIFY THE ARCHITECT OF ANY CONFLICT.
- 2.B IMPORTANT: IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH AND EVERY SUBTRADE TO ENSURE EVERY ASPECT OF THIS WORK IS IN COMPLIANCE WITH THE PREVAILING CODES.

3. DRAWINGS:

- 3.A THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT. AUTHORIZED REPRODUCTION MUST BEAR THE NAME OF THE FIRM.
- 3.B IN CASE OF DISCREPANCY OR AMBIGUITY, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH ANY WORK.
- 3.C DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED ONLY SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.
- 3.D CONTRACTOR SHALL FURNISH SHOP DRAWINGS FOR THE ARCHITECT'S APPROVAL PRIOR TO MANUFACTURE OF ANY CABINET WORK, MILLWORK AND ANY OTHER SPECIAL ITEMS REQUIRING CUSTOM SHOP FABRICATED WORK.

DRAWINGS CONT'D:

- 3.E DRAWINGS INCLUDE ABBREVIATIONS WHICH ARE IN COMMON USE. THE LIST OF ABBREVIATIONS PROVIDED IS NOT INTENDED TO BE COMPLETE OR REPRESENTATIVE OF CONDITIONS OR MATERIALS SPECIFICALLY USED ON THE PROJECT. THE ARCHITECT WILL DEFINE THE INTENT OF ANY DEFINITION OR TERM IN QUESTION.

4. SUPPLEMENTARY DRAWINGS AND SPECIFICATIONS:

- 4.A STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS ARE SUPPLEMENTARY TO THESE DRAWINGS. THE CONTRACTOR SHALL COORDINATE THE WORK OF EACH CONSULTING ENGINEER WITH THESE DRAWINGS OR SPECIFICATIONS AND SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES WITH A WRITTEN REQUEST FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THESE CONTRACT DOCUMENTS SHALL BE CORRECTED SOLELY AT THE EXPENSE OF THE CONTRACTOR.

5. DIMENSIONS:

- 5.A DO NOT SCALE THESE DRAWINGS. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE ITEM OF WORK AFFECTED.
- 5.B DIMENSIONS ON THE PLANS ARE TO FACE OF STRUCTURE, UNLESS OTHERWISE NOTED.

6. COORDINATION:

- 6.A THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND COORDINATION OF THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.

7. FIRE PROTECTION:

- 7.A FIRE PROTECTION CONTRACTORS SHALL PROVIDE FIRE PROTECTION DRAWINGS REQUIRED BY GOVERNING AUTHORITY. DRAWINGS SHOULD BE SUBMITTED TO THE ARCHITECT FOR REVIEW.
- 7.B PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RATED ELEMENTS REQUIRED BY THE FIRE OFFICIAL.

8. ELECTRICAL NOTES:

- 8.A THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH ALL CODES AND OBTAINING ALL NECESSARY PERMITS.
- 8.B ALL DEVIATIONS FROM DIMENSIONED LOCATIONS MUST BE APPROVED BY THE ARCHITECT.
- 8.C THE ELECTRICAL CONTRACTOR SHALL VERIFY THE LOCATION OF EACH CORE DRILL WITH THE EXISTING STRUCTURE, PIPING, CONDUIT, ETC. AND SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- 8.D ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS SHOULD BE CALLED TO THE ATTENTION OF THE ARCHITECT.
- 8.E ALL NEW ELECTRICAL/TELEPHONE OUTLETS ARE TO BE MOUNTED VERTICALLY AT 15" AFF UNLESS NOTED. ALL WALL MOUNTED RECEPTACLES LOCATED IN CASEWORK ARE TO BE MOUNTED HORIZONTALLY UNLESS OTHERWISE NOTED.
- 8.F SPECIAL HEIGHTS ARE NOTED ADJACENT TO THE OUTLET.

9. MECHANICAL NOTES:

- 9.A EXCEPT AS PROVIDED BY ARCHITECT IN THE CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL DESIGN, REPAIR NECESSARY PLANS, PROVIDE SIZING OF ALL HVAC EQUIPMENT AND CALCULATIONS, HAVE PLANS CHECKED, AND OBTAIN BUILDING PERMITS FOR THE HVAC SYSTEMS.
- 9.B ALL HVAC SYSTEMS ARE TO COMPLY WITH ALL APPLICABLE CODES, AND ARE NOT PART OF THIS CONTRACT.
- 9.C THE CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS AS WELL AS SHOP DRAWINGS BEFORE PROCEEDING WITH WORK.

10. FINISH NOTES:

- 10.A ALL FINISH MATERIAL COLORS SHALL MATCH ARCHITECT'S CONTROL SAMPLES AND REQUIRE THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

SYMBOL LEGEND

	1. GRIDLINE REFERENCE		8. TOP OF WALL ELEVATION SYMBOL
	2. NORTH SYMBOL		9. SPOT ELEVATION SYMBOL
	3. BUILDING ELEVATION SYMBOL		9. CEILING HEIGHT SYMBOL
	4. BUILDING SECTION SYMBOL		10. MATCHLINE SYMBOL DRAWING # / SHEET #
	5. WALL SECTION SYMBOL		11. ROOM TAG SYMBOL
	6. DETAIL REFERENCE SYMBOL		12. DOOR TAG SYMBOL
	7. INTERIOR ELEVATION SYMBOL		13. WINDOW TAG SYMBOL
	8. INTERIOR ELEVATION SYMBOL		14. ASSEMBLY TAG SYMBOL
	15. REVISION REFERENCE SYMBOL		16. EXISTING CONSTRUCTION
	17. DEMOLISH		18. NEW CONSTRUCTION

MATERIAL LEGEND

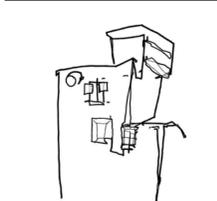
1. EARTH		9. STEEL, OTHER METALS	
2. FREE DRAINING FILL		10. WOOD BLOCKING OR SHIM	
3. SAND, GROUT		11. WOOD FRAMING, CONTINUOUS	
4. CONCRETE		12. PLYWOOD	
5. BRICK		13. FINISHED WOOD	
6. CONCRETE MASONRY UNITS		14. BATT INSULATION	
7. STONE		15. RIGID INSULATION	
8. ALUMINIUM		16. SPRAY FOAM INSULATION	

GENERAL SITE NOTES

1. BUILDING PLACEMENT AND ALL DEVELOPMENT COMPONENTS WITHIN THE BOUNDS OF THE OWNER'S PROPERTY SHALL COMPLY WITH ALL LOCAL JURISDICTIONAL DEVELOPMENT STANDARDS AND REQUIREMENTS.
2. THIS SITE PLAN SHALL BE COORDINATED WITH THE OWNER AND ARCHITECT.
3. IT WILL BE THE OWNER'S RESPONSIBILITY TO DEFINE THE LANDSCAPING PLAN POST CONSTRUCTION
4. ALL GRADING AND DRAINAGE TO PROMOTE SURFACE WATER TO DRAIN AWAY FROM ALL BUILDINGS AND INFILTRATED NATURALLY TO RECHARGE THE GROUND
5. NEW CONTOUR LINES DRAWN ARE APPROXIMATE AND WILL BE VERIFIED DURING CONSTRUCTION TO ENSURE WATER DRAINS AWAY FROM BUILDING AND MINIMAL CHANGES ARE MADE TO EXISTING TOPOGRAPHY
6. GRADE WILL BE BALANCED ON SITE TO THE MAXIMUM EXTENT POSSIBLE WITH NO FILL TO BE BROUGHT IN AND CUT TO BE REDISTRIBUTED ON SITE.
7. POTABLE WATER PROVIDED TO THE HOUSE FROM EXISTING WATER SERVICE AT NORTHWEST CORNER OF THE PROPERTY, VIA WATERLINE TO NORTHEAST SIDE OF THE BUILDING
8. SEPTIC DESIGN PROVIDED AND PERMITTED UNDER PERMIT #XXXXX
9. POWER Routed TO NORTHEAST SIDE OF THE BUILDING FROM ELECTRICAL VAULT AT NORTHWEST CORNER OF THE PROPERTY.
10. REMOVE TREES THAT IMPEDE INSTALLATION OF SEPTIC SYSTEM AND THE CONSTRUCTION OF THE HOUSE. TREES TO BE REMOVED TO BE VERIFIED WITH OWNER PRIOR TO REMOVAL.
11. SITE SHALL REMAIN FORESTED WITH MINIMUM DISTURBANCE TO EXISTING VEGETATION WHERE THE PROPOSED HOUSE AND GARAGE ARE TO BE LOCATED. ALL OTHER AREAS OF THE SITE SHALL REMAIN IN THEIR NATURAL STATE.

PERMITTING

1. A SEPARATE ELECTRICAL PERMIT IS REQUIRED AND IS THE CONTRACTOR'S RESPONSIBILITY
2. DEFERRED SUBMITTAL, IF APPLICABLE, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL



SWOOSE STUDIO
16044 33RD AVE NE
LAKE FOREST PARK, WA

Project #: 2405 Drawn By: AF



ROAM BAR

5105 BALLARD AVE NW
SEATTLE, WA 98107

DofN CoFA APPLICATION

ISSUE DATE: 2024.10.28
ISSUE DESCRIPTION: DEPT. OF NEIGHBORHOOD CoFA

NOTES, ABBREVIATIONS, AND SYMBOLS

SHEET NUMBER

G001

SHEET DIMENSIONS: 22X34

