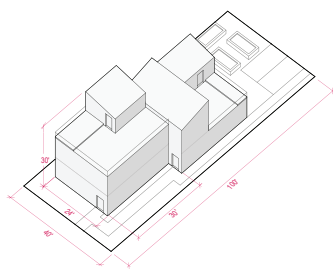


RSL UPDATE

Diagram illustrating the layout of cottages, showing dimensions and spatial arrangement. The layout includes several rectangular blocks and a central circular feature. Dimensions are indicated by red lines and labels:

- Overall width: 6
- Overall height: 30
- Width of the leftmost block: 4
- Height of the leftmost block: 30
- Width of the central area: 20
- Height of the rightmost block: 30

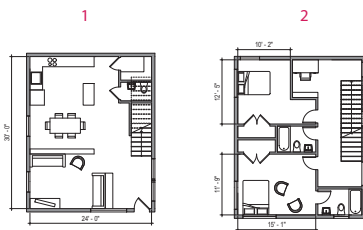
ATTACHED TOWNHOUSES



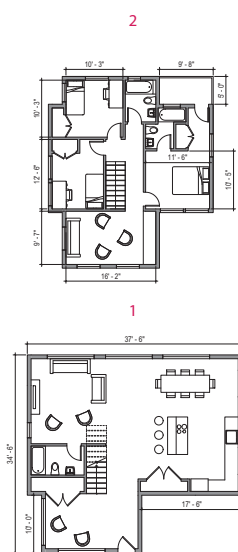
An isometric drawing of a building complex on a rectangular plot. The plot has overall dimensions of 100 units by 60 units. The building consists of two main parts: a smaller rectangular building on the left and a larger, more complex building on the right. The smaller building has a width of 30 units and a depth of 20 units. The larger building has a width of 30 units and a depth of 20 units. The total width of the building complex is 60 units, and the total depth is 40 units. The drawing shows various rooflines and structural details.

TANDEM HOUSING

Lot Size	5,000sf
Lot Coverage	45%
Total Allowed GSF	3,750sf
Efficiency Factor	1.0
Total NSF	1,900sf existing; 1,850sf new
Total Units	2 (1 existing, 1 new)
Parking Spaces Provided	2

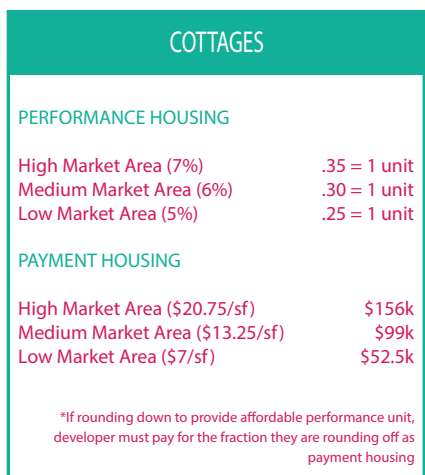


Example Floorplan
1400 SF



Example Floorplan
1850 SF

AFFORDABLE HOUSING QUANTITIES



ATTACHED TOWNHOUSES

TANDEM HOUSING

PERFORMANCE HOUSING

High Market Area (7%)	.14 = 1 unit
Medium Market Area (6%)	.12 = 1 unit
Low Market Area (5%)	.1 = 1 unit

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$62k
Medium Market Area (\$13.25/sf)	\$40k
Low Market Area (\$7/sf)	\$21k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

PERFORMANCE HOUSING

High Market Area (7%)	.07 = 1 unit
Medium Market Area (6%)	.06 = 1 unit
Low Market Area (5%)	.05 = 1 unit

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$38K
Medium Market Area (\$13.25/sf)	\$25K
Low Market Area (\$7/sf)	\$13K

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

EXISTING RSL
POTENTIAL RSL
(SF IN URBAN VILLAGES)
URBAN VILLAGE BOUNDARIES

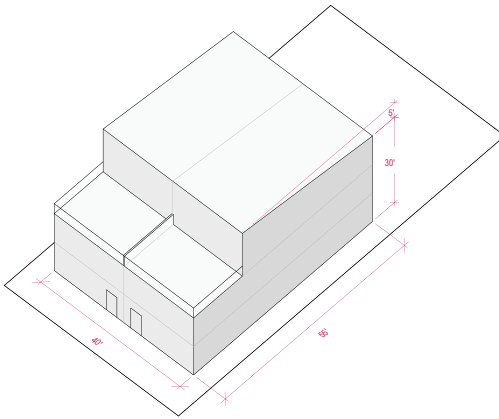


MAXIMUM DEVELOPMENT POTENTIAL

EXISTING LR1

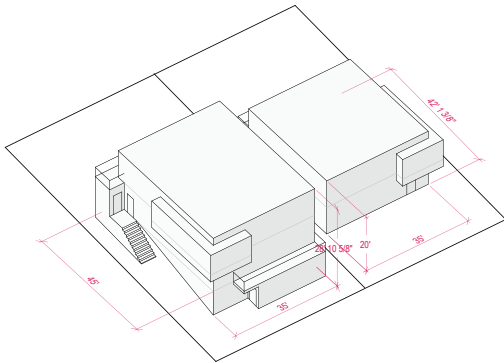
Max Density	1 unit per 2000 sf of lot area
Floor Area Ratio (FAR) Max	1.2
Height Limit	30'
Setbacks	
Front	5'
Rear	10' w alley 15' w/o alley
Sides	< 40' bldg: 5' > 40' bldg: 7' avg, 5' min.
Parking	1 per unit; No min. in Urban Villages

APARTMENTS - SMALL SITE



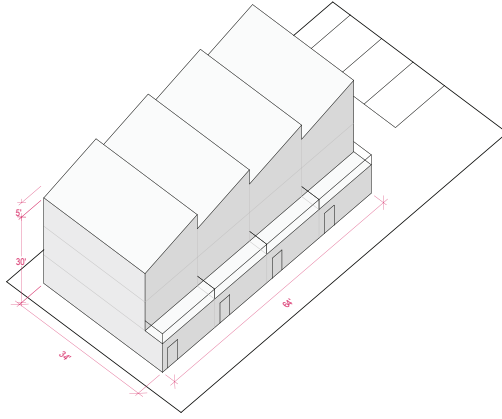
Lot Size	5,000sf
Total Allowed GSF	6,000sf
Efficiency Factor	.8
Total NSF	4,800sf
Maximum Density	1 unit per 2000sf
	max 3 units per lot
Total Units	2
Average Net Unit Size	2,400sf
Parking Spaces Provided	0

APARTMENTS -LARGE SITE



Lot Size	5,000sf + 5,000sf
Total Allowed GSF	12,000sf
Efficiency Factor	.8
Total NSF	9,600sf
SF Below Grade	1,300sf
Maximum Density	1 unity per 2000sf
	max 3 per lot
Total Units	5
Average Net Unit Size	1,900sf
Parking Spaces Provided	11

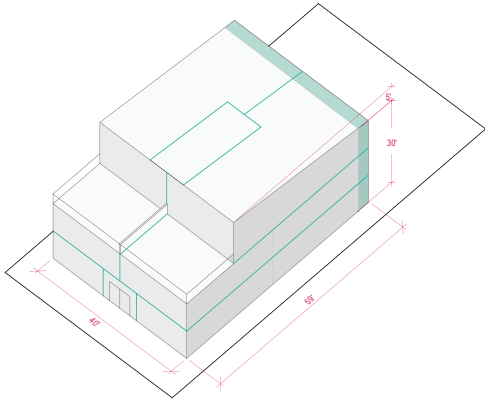
ROWHOUSES



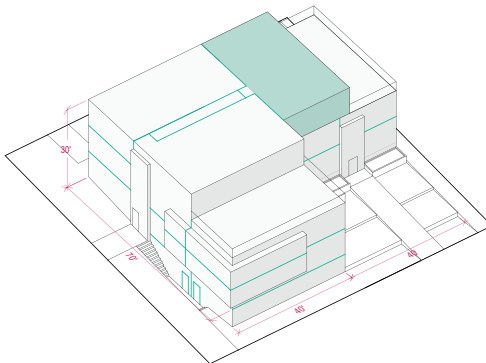
Lot Size	5,000sf
Total Allowed GSF	6,000sf
Efficiency Factor	0.8
Total NSF	6,000sf
Total Units	4
Average Net Unit Size	1,500sf
Parking Spaces Provided	3

PROPOSED MHA LR1

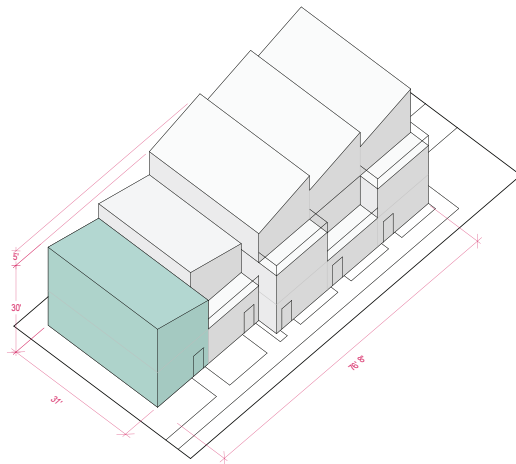
Max Density	Family-sized unit requirement*
Floor Area Ratio (FAR) Max	1.3
Height Limit	30'
Setbacks	
Front	5' min
Rear	10' w alley 15' w/o alley
Sides	< 40' bldg: 5' > 40' bldg: 7' avg, 5' min.
Parking	1 per unit; No min. in Urban Villages



Lot Size	5,000sf
Total Allowed GSF	6,500 sf
Efficiency Factor	.8
Total NSF	5,200sf
Maximum Density	Family-unit requirement.*
Total Units	9
Average Net Unit Size	578sf
Parking Spaces Provided	0



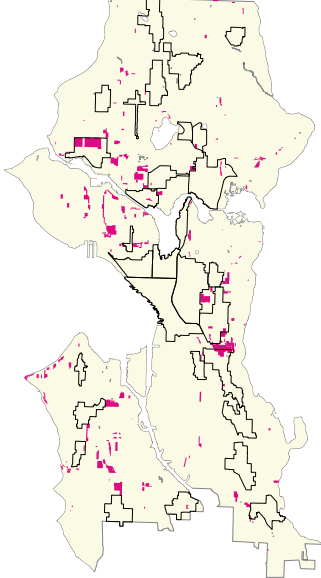
Lot Size	10,000sf
Total Allowed GSF	13,000sf
Efficiency Factor	.8
Total NSF	10,400sf
SF Below Grade	1,400sf
Maximum Density	Family-unit requirement.*
Total Units	15 (2 below)
Average Net Unit Size	787sf
Parking Spaces Provided	11



Lot Size	5,000sf
Total Allowed GSF	6,500sf
Efficiency Factor	1
Total NSF	6,500sf
Total Units	5
Average Net Unit Size	1,300sf
Parking Spaces Provided	3

* For every 8 units, at least one 2-bdrm unit (min. 850 sf). For every 16 units, at least one 3-bdrm unit (min. 1050 sf) or two 2-bdrm units (min. 850 sf)

LR1 ZONES IN SEATTLE



EXISTING LR1

URBAN VILLAGE BOUNDARIES

AFFORDABLE HOUSING QUANTITIES

APARTMENTS -SMALL SITE

PERFORMANCE HOUSING

High Market Area (7%)	.63 = 1 unit
Medium Market Area (6%)	.54 = 1 unit
Low Market Area (5%)	.45 = 1 unit

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$135k
Medium Market Area (\$13.25/sf)	\$86k
Low Market Area (\$7/sf)	\$45.5k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

APARTMENTS - LARGE SITE

PERFORMANCE HOUSING

High Market Area (7%)	1.05 = 1 unit
Medium Market Area (6%)	.90 = 1 unit
Low Market Area (5%)	.75 = 1 unit

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$299k
Medium Market Area (\$13.25/sf)	\$191k
Low Market Area (\$7/sf)	\$101k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

ROWHOUSES

PERFORMANCE HOUSING

High Market Area (7%)	.35 = 1 unit
Medium Market Area (6%)	.30 = 1 unit
Low Market Area (5%)	.25 = 1 unit

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$135k
Medium Market Area (\$13.25/sf)	\$86k
Low Market Area (\$7/sf)	\$46k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

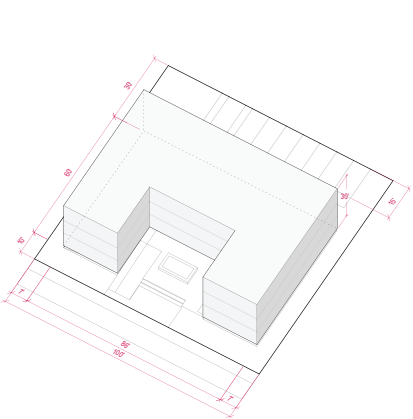


MAXIMUM DEVELOPMENT POTENTIAL

EXISTING LR2

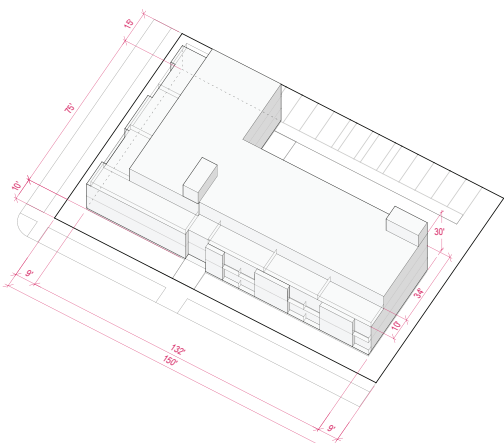
Floor Area Ratio (FAR) Max	1.3 (1.2 for townhouses)
Height Limit	30'
Setbacks	
Front	5' min
Rear	10' w alley 15' w/o alley
Sides	< 40' bldg: 5' > 40' bldg: 7' avg, 5' min.
Parking	1 per unit; No min. in Urban Villages

APARTMENTS - SMALL SITE



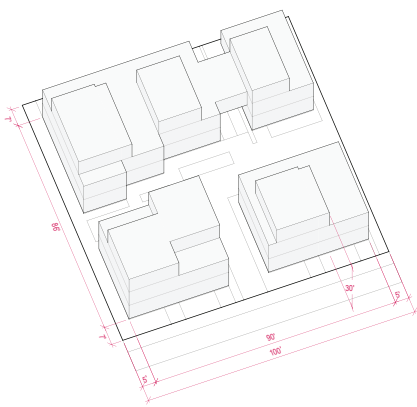
Lot Size	10,000sf
Total Allowed GSF	13,000sf
Efficiency Factor	.8
Total NSF	10,400sf
Total Units	16
Average Net Unit Size	650sf
Parking Spaces Provided	8

APARTMENTS - LARGE SITE



Lot Size	15,000sf
Total Allowed GSF	19,500sf
Efficiency Factor	.8
Total NSF	15,600sf
Total Units	24
Average Net Unit Size	650sf
Parking Spaces Provided	16

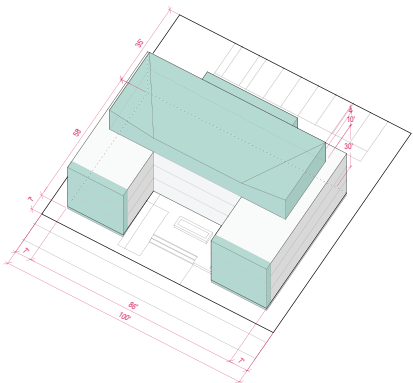
TOWNHOUSES



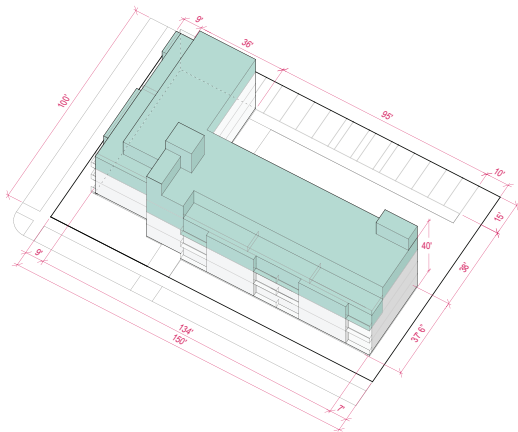
Lot Size	10,000sf
Total Allowed GSF	12,000sf
Efficiency Rate	1
Total NSF	12,000sf
Total Units	8
Average Net Unit Size	1,500sf
Parking Spaces Provided	6

PROPOSED MHA LR2

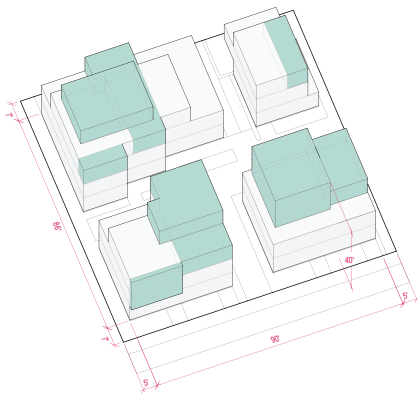
Floor Area Ratio (FAR) Max	1.5 (1.4 for townhouses)
Height Limit	40'
Setbacks	
Front	5' min
Upper	12' above 30'
Rear	10' w alley 15' w/o alley
Sides	< 40' bldg: 5' > 40' bldg: 7' avg, 5' min.
Parking	1 per unit; No min. in Urban Villages



Lot Size	10,000sf
Total Allowed GSF	15,000sf
Efficiency Factor	.8
Total NSF	12,000sf
Total Units	20
Average Net Unit Size	600sf
Parking Spaces Provided	8

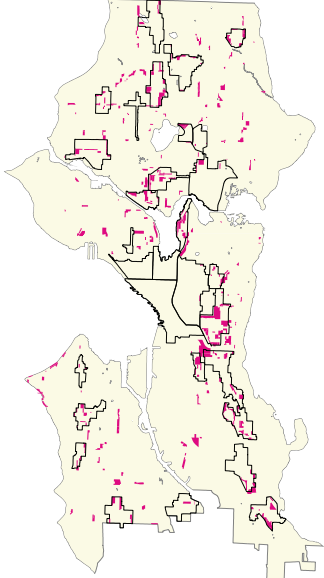


Lot Size	15,000sf
Total Allowed GSF	22,500sf
Efficiency Factor	.8
Total NSF	18,000sf
Total Units	26
Average Net Unit Size	692sf
Parking Spaces Provided	16



Lot Size	10,000sf
Total Allowed GSF	14,000sf
Efficiency Factor	1
Total NSF	14,000sf
Total Units	8
Average Net Unit Size	1,750sf
Parking spaces provided	6

LR2 ZONES IN SEATTLE



EXISTING LR2

URBAN VILLAGE BOUNDARIES

AFFORDABLE HOUSING QUANTITIES

APARTMENTS - SMALL SITE

PERFORMANCE HOUSING

High Market Area (7%)	1.4 = 2 units
Medium Market Area (6%)	1.2 = 2 units
Low Market Area (5%)	1.0 = 1 unit

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$311k
Medium Market Area (\$13.25/sf)	\$199k
Low Market Area (\$7/sf)	\$105k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

APARTMENTS - LARGE SITE

PERFORMANCE HOUSING

High Market Area (7%)	1.82 = 2 units
Medium Market Area (6%)	1.56 = 2 units
Low Market Area (5%)	1.30 = 2 units

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$467k
Medium Market Area (\$13.25/sf)	\$298k
Low Market Area (\$7/sf)	\$158k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

TOWNHOUSES

PERFORMANCE HOUSING

High Market Area (7%)	.56 = 1 unit
Medium Market Area (6%)	.48 = 1 unit
Low Market Area (5%)	.40 = 1 unit

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$291k
Medium Market Area (\$13.25/sf)	\$186k
Low Market Area (\$7/sf)	\$98k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

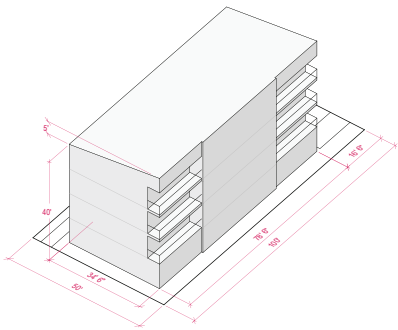


MAXIMUM DEVELOPMENT POTENTIAL

EXISTING LR3

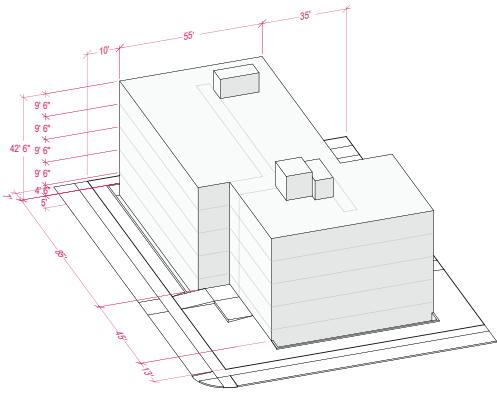
Floor Area Ratio (FAR) Max	2.0
Height Limit	40'
Setbacks	
Front	5' min
Rear	10' w alley 15' w/o alley
Sides	< 40' bldg: 5' > 40' bldg: 7' avg, 5' min.
Parking	1 per unit; No min. in Urban Villages

APARTMENTS - SMALL SITE



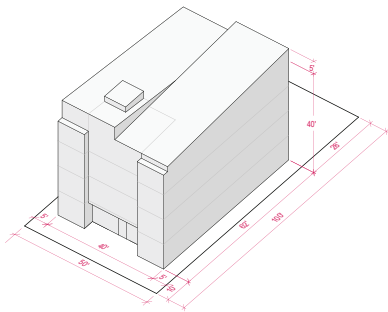
Lot Size	5,000sf
Total Allowed GSF	10,000sf
Efficiency Factor	.8
Total NSF	8,000sf
Total Units	10
Average Net Unit Size	800sf
Parking Spaces Provided	5

APARTMENTS - LARGE SITE



Lot Size	15,000sf
Total Allowed GSF	30,000sf
Efficiency Factor	.8
Total NSF	24,000sf
SF Below Grade	7,000sf
Total Units	48 (10 below)
Average Net Unit Size	650sf
Parking Spaces Provided	12

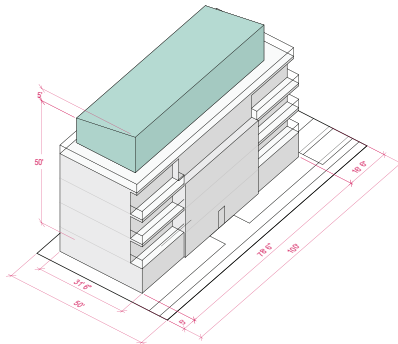
ROWHOUSES



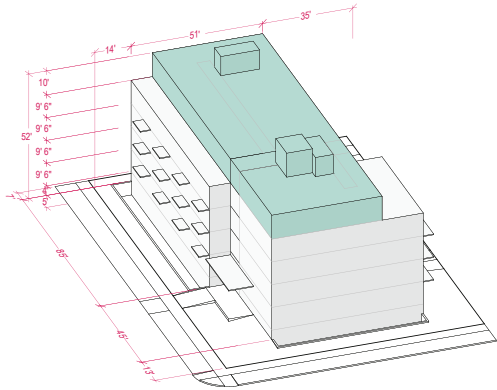
Lot Size	5,000sf
Total Allowed GSF	10,000sf
Efficiency Factor	.8
Total NSF	8,000sf
Total Units	10
Average Net Unit Size	800sf
Parking Spaces Provided	0

PROPOSED MHA LR3

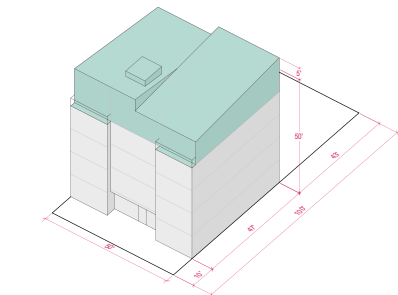
Floor Area Ratio (FAR) Max	2.2
Height Limit	50'
Setbacks	
Front	5' min
Upper	12' above 40'
Rear	10' w alley 15' w/o alley
Sides	< 40' bldg: 5' > 40' bldg: 7' avg, 5' min.
Parking	1 per unit; No min. in Urban Villages



Lot Size	5,000sf
Total Allowed GSF	11,000sf
Efficiency Factor	.8
Total NSF	8,800sf
Total Units	14
Average Net Unit Size	650 sf
Parking Spaces Provided	5

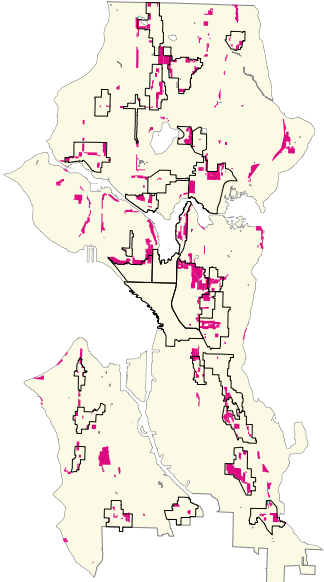


Lot Size	15,000sf
Total Allowed GSF	33,000sf
Efficiency Factor	.8
Total NSF	26,400sf
SF below grade	7,000sf
Total Units	51 (10 below)
Average Net Unit Size	655sf
Parking Spaces Provided	12



Lot Size	5,000sf
Total Allowed GSF	11,000sf
Efficiency Factor	.8
Total NSF	8,800sf
Total Units	14
Average Net Unit Size	629sf
Parking Spaces Provided	0

LR3 ZONES IN SEATTLE



EXISTING LR3

URBAN VILLAGE BOUNDARIES

AFFORDABLE HOUSING QUANTITIES

APARTMENTS - SMALL SITE

PERFORMANCE HOUSING

High Market Area (7%)	.98 = 1 unit
Medium Market Area (6%)	.84 = 1 unit
Low Market Area (5%)	.7 = 1 unit

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$228k
Medium Market Area (\$13.25/sf)	\$146k
Low Market Area (\$7/sf)	\$77k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

APARTMENTS - LARGE SITE

PERFORMANCE HOUSING

High Market Area (7%)	3.57 = 4 units
Medium Market Area (6%)	3.06 = 4 unit
Low Market Area (5%)	2.55 = 3 units

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$830k
Medium Market Area (\$13.25/sf)	\$530k
Low Market Area (\$7/sf)	\$280k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

ROWHOUSES

PERFORMANCE HOUSING

High Market Area (7%)	.98 = 1 unit
Medium Market Area (6%)	.84 = 1 unit
Low Market Area (5%)	.70 = 1 unit

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$228k
Medium Market Area (\$13.25/sf)	\$146k
Low Market Area (\$7/sf)	\$77k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

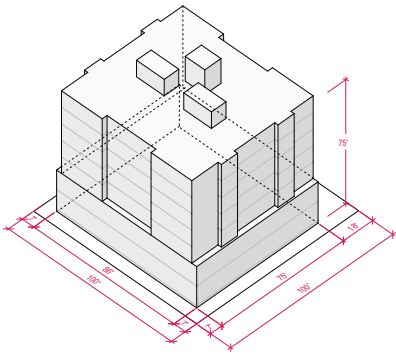


MAXIMUM DEVELOPMENT POTENTIAL

EXISTING MR

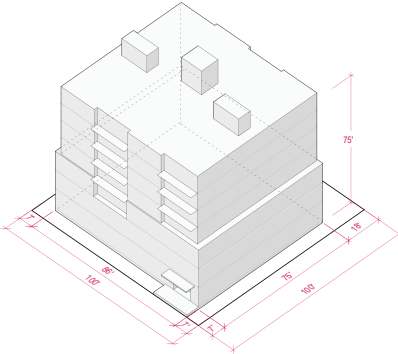
Floor Area Ratio (FAR) Max	3.2 base; 4.25 bonus
Height Limit	60' base; 75' bonus
Setbacks	
Front	5' min 0' if courtyard
Rear	10' w alley 15' w/o alley
Sides	< 42': 7' avg, 5' min > 42': 7' min.
Depth	75% of lot depth
Parking	1 per unit; No min. in Urban Villages

APARTMENTS - SMALL SITE -
ADDITIONAL DEPTH



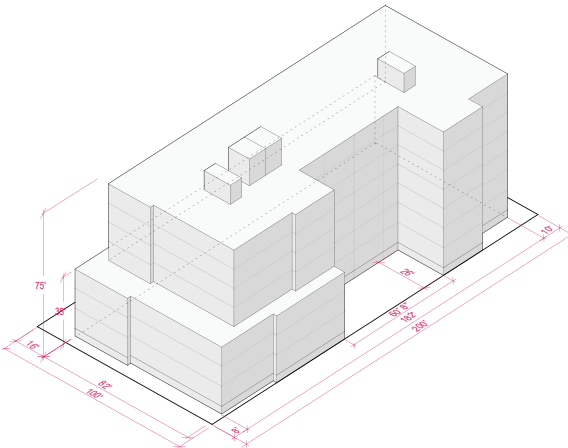
Lot Size	10,000sf
Total Allowed GSF	42,500sf
Efficiency Factor	.8
Total NSF	34,000sf
Total Units	56 total
Average Net Unit Size	607sf
Parking Spaces Provided	underground

APARTMENTS - SMALL SITE -
ADDITIONAL HEIGHT



Lot Size	10,000sf
Total Allowed GSF	42,500sf
Efficiency Factor	.8
Total NSF	34,000sf
Total Units	56 total
Average Net Unit Size	607sf
Parking Spaces Provided	underground

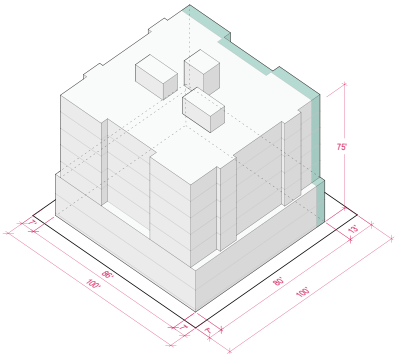
APARTMENTS - LARGE SITE



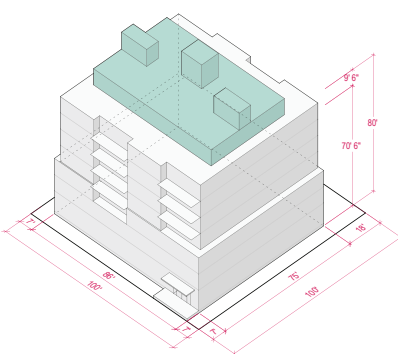
Lot Size	20,000sf
Total Allowed GSF	85,000sf
Efficiency Factor	.8
Total NSF	68,000sf
NSF Below Grade	5,000sf
Total Units	122
Average Net Unit Size	598sf
Parking Spaces Provided	underground

PROPOSED MHA MR

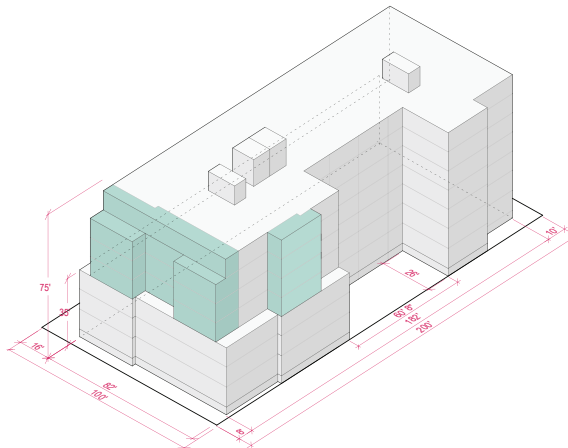
Floor Area Ratio (FAR) Max	4.5
Height Limit	80'
Setbacks	
Front	5' min 0' if courtyard
Upper	Above 70': 15' (front and rear) 5' (sides)
Rear	10' w alley 15' w/o alley
Sides	< 42': 7' avg, 5' min > 42': 7' min.
Depth	80% of lot depth
Parking	1 per unit; No min. in Urban Villages



Lot Size	10,000sf
Total Allowed GSF	45,000sf
Efficiency Factor	.8
Total NSF	36,000sf
Total Units	70 total
Average Net Unit Size	514sf
Parking Spaces Provided	underground

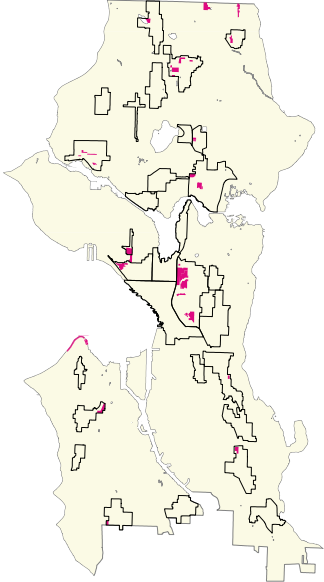


Lot Size	10,000sf
Total Allowed GSF	45,000sf
Efficiency Factor	.8
Total NSF	36,000sf
Total Units	60 total
Average Net Unit Size	600sf
Parking Spaces Provided	underground



Lot Size	20,000sf
Total Allowed GSF	90,000sf
Efficiency Factor	.8
Total NSF	72,000sf
NSF Below Grade	5,000sf
Total Units	126 (8 partially below)
Average Net Unit Size	611sf
Parking Spaces Provided	underground

MR ZONES IN SEATTLE



EXISTING MR

URBAN VILLAGE BOUNDARIES

AFFORDABLE HOUSING QUANTITIES

APARTMENTS - SMALL SITE -
ADDITIONAL DEPTH

PERFORMANCE HOUSING

High Market Area (7%)	4.9 = 5 units
Medium Market Area (6%)	4.2 = 5 units
Low Market Area (5%)	3.5 = 4 units

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$934k
Medium Market Area (\$13.25/sf)	\$596k
Low Market Area (\$7/sf)	\$315k

*If rounding down to provide affordable performance unit,
developer must pay for the fraction they are rounding off as
payment housing

APARTMENTS - LARGE SITE -
ADDITIONAL HEIGHT

PERFORMANCE HOUSING

High Market Area (7%)	4.20 = 5 units
Medium Market Area (6%)	3.60 = 4 units
Low Market Area (5%)	3.00 = 3 units

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$934k
Medium Market Area (\$13.25/sf)	\$596k
Low Market Area (\$7/sf)	\$315k

*If rounding down to provide affordable performance unit,
developer must pay for the fraction they are rounding off as
payment housing

APARTMENTS - LARGE SITE

PERFORMANCE HOUSING

High Market Area (7%)	8.82 = 9 units
Medium Market Area (6%)	7.56 = 8 units
Low Market Area (5%)	6.30 = 7 units

PAYMENT HOUSING

High Market Area (\$20.75/sf)	\$1,971k
Medium Market Area (\$13.25/sf)	\$1,259k
Low Market Area (\$7/sf)	\$665k

*If rounding down to provide affordable performance unit,
developer must pay for the fraction they are rounding off as
payment housing

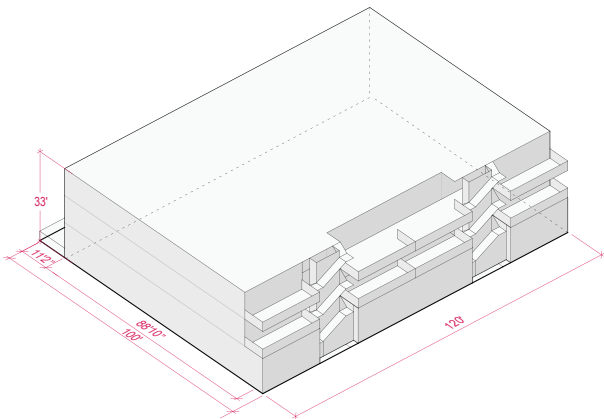


MAXIMUM DEVELOPMENT POTENTIAL

EXISTING NC-30

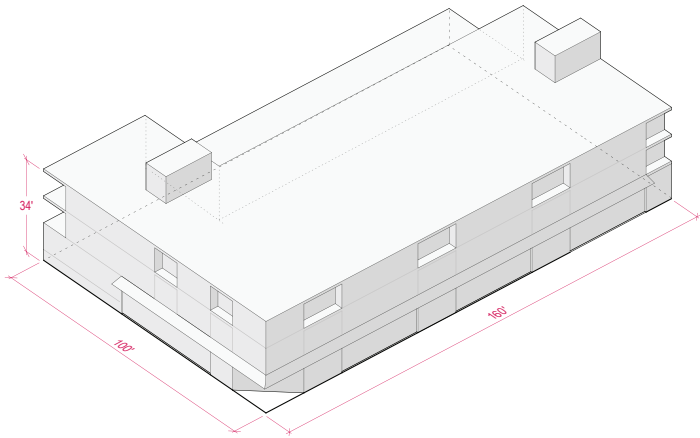
Floor Area Ratio (FAR)	2.5
Max Height Limit	30'
Setbacks	
Front	First floor dwellings must be 4' above or 10' back from street
Rear	10' next to residentially zoned lot
Sides	15' next to residentially zoned lot
Parking	1 per unit; No min. in Urban Villages

MIXED USE - SMALL SITE



Lot Size	12,000sf
Total Allowed GSF	30,000
Efficiency Factor	.8
Ground Floor Commercial GSF	4,000sf
Total Net Residential	20,800sf
Total Units	29
Average Net Unit Size	711sf
Parking spaces provided	0

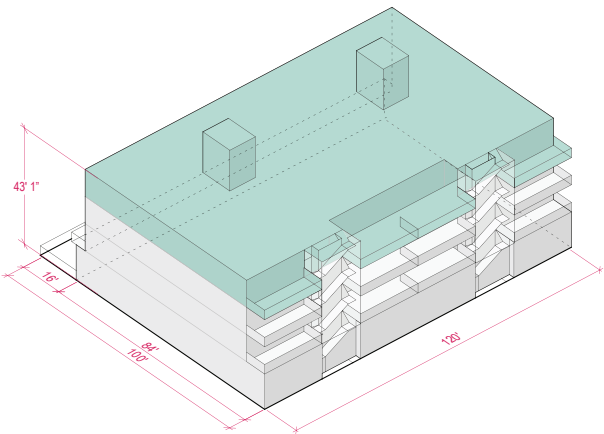
MIXED USE - LARGE SITE



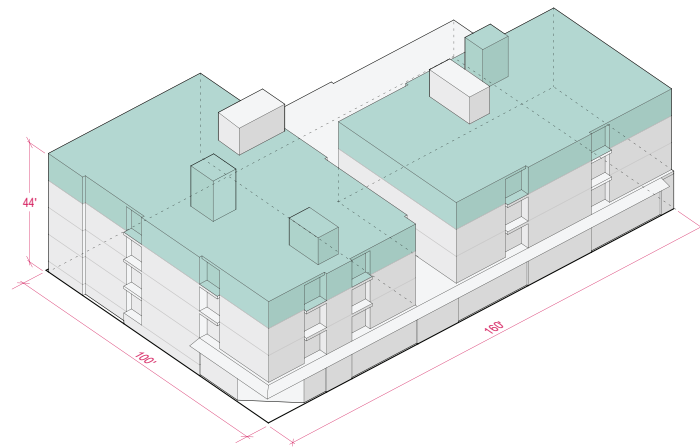
Lot Size	16,000sf
Total Allowed GSF	40,000sf
Efficiency Factor	.8
Ground Floor Commercial GSF	5,600sf
Total Net Residential	27,520sf
Total Units	33
Average Net Unit Size	827sf
Parking Spaces Provided	underground

PROPOSED MHA NC-40

Floor Area Ratio (FAR)	3.0
Max Height Limit	40'
Setbacks	
Front	First floor dwellings must be 4' above or 10' back from street
Rear	10' next to residentially zoned lot
Sides	15' next to residentially zoned lot
Parking	1 per unit; No min. in Urban Villages



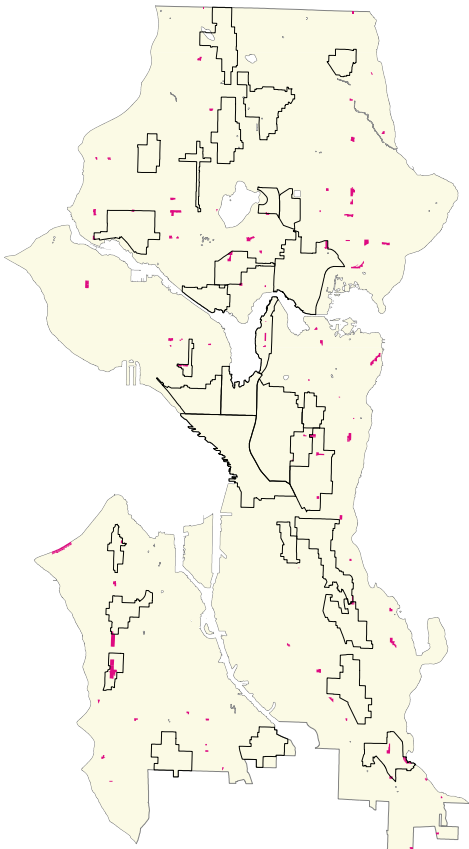
Lot Size	12,000sf
Total Allowed GSF	36,000sf
Efficiency Factor	.8
Ground Floor Commercial GSF	4,000sf
Total Net Residential	25,600sf
Total Units	36 / 18
Average Net Unit Size	689sf / 1108sf
Parking spaces provided	0



Lot Size	16,000sf
Total Allowed GSF	48,000sf
Efficiency Factor	.8
Ground Floor Commercial GSF	5,600sf
Total Net Residential	33,920sf
Total Units	41
Average Net Unit Size	827sf
Parking Spaces Provided	underground

AFFORDABLE HOUSING QUANTITIES

NC-30 ZONES IN SEATTLE



- EXISTING NC-30
- URBAN VILLAGE BOUNDARIES

MIXED USE - SMALL SITE

PERFORMANCE HOUSING	(commercial addition)
High Market Area (7%)	2.52(+.0) = 3 units
Medium Market Area (6%)	2.16 (+.0) = 3 units
Low Market Area (5%)	1.80 (+.0) = 2 units
PAYMENT HOUSING	
High Market Area (\$20.75/sf)	\$664k (+\$0) = \$664k
Medium Market Area (\$13.25/sf)	\$424k (+\$0) = \$424k
Low Market Area (\$7/sf)	\$224k (+\$0) = \$224k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

MIXED USE - LARGE SITE

PERFORMANCE HOUSING	(commercial addition)
High Market Area (7%)	2.87(+.16) = 3 units
Medium Market Area (6%)	2.46 (+.16) = 3 units
Low Market Area (5%)	2.05 (+.16) = 3 units
PAYMENT HOUSING	
High Market Area (\$20.75/sf)	\$880k (+\$13k) = \$893k
Medium Market Area (\$13.25/sf)	\$562k (+\$11k) = \$573k
Low Market Area (\$7/sf)	\$297k (+\$8k) = \$305k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

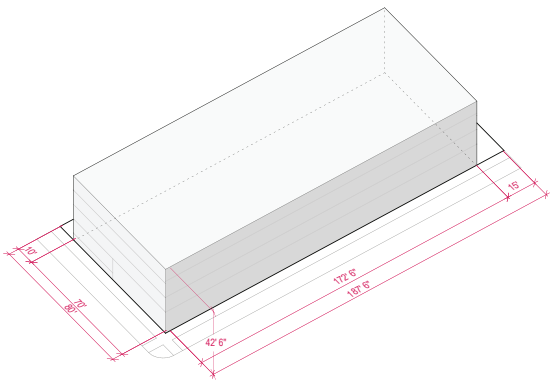


MAXIMUM DEVELOPMENT POTENTIAL

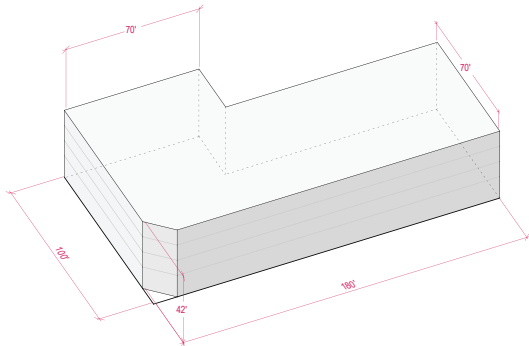
MIXED USE - SMALL SITE

EXISTING NC-40

Floor Area Ratio (FAR) Max	3.25
Height Limit	40'
Setbacks	
Front	First floor dwellings must be 4' above or 10' back from street
Rear	10' next to residentially zoned lot
Sides	15' next to residentially zoned lot
Parking	1 per unit; No min. in Urban Villages



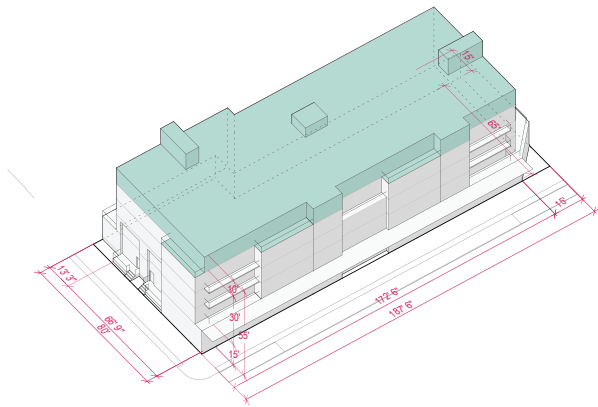
Lot Size	15,000sf
Total Allowed GSF	48,750sf
Efficiency Factor	.8
Ground Floor Commercial GSF	5,000sf
Total Net Residential	35,000sf
Total Units	40
Average Net Unit Size	875sf
Parking Spaces Provided	underground



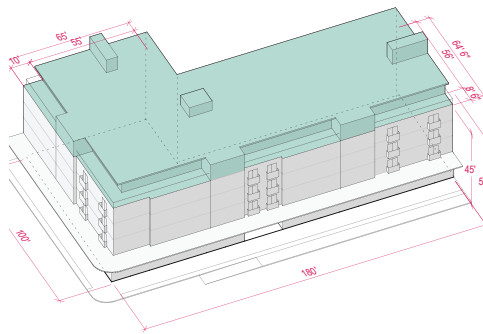
Lot Size	18,000sf
Total Allowed GSF	58,500sf
Efficiency Factor	.8
Ground Floor Commercial GSF	7,500sf
Total Net Residential	40,800sf
Total Units	54
Average Net Unit Size	755sf
Parking Spaces Provided	underground

PROPOSED MHA NC-55

Floor Area Ratio (FAR) Max	3.75
Height Limit	55'
Setbacks	
Front	First floor dwellings must be 4' above or 10' back from street
Upper	Avg. depth of 5', max. depth of 15' above 45'
Rear	10' next to residentially zoned lot
Sides	15' next to residentially zoned lot
Facade Modulation	Change of materials or a min. 18" deep setback at a min. of every 50' ft.
Parking	1 per unit; No min. in Urban Villages

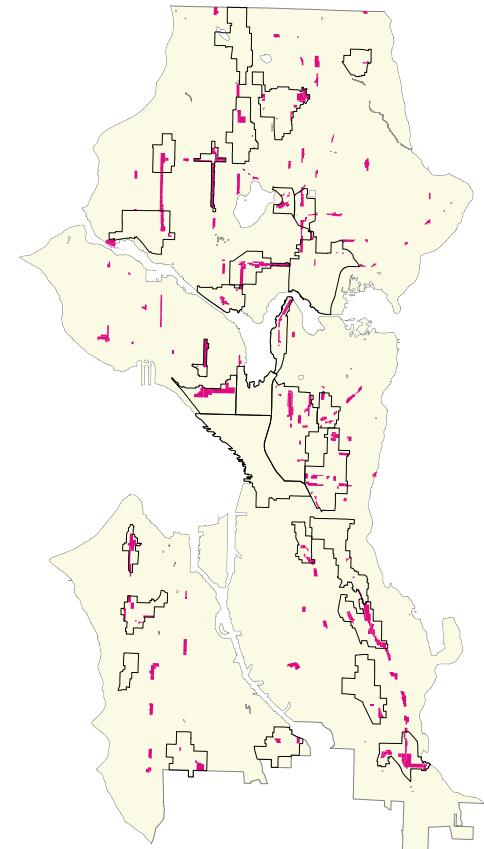


Lot Size	15,000sf
Total Allowed GSF	56,250sf
Efficiency Factor	.8
Ground Floor Commercial GSF	5,000sf
Total Net Residential	41,000sf
Total Units	52
Average Net Unit Size	788sf
Parking Spaces Provided	underground



Lot Size	18,000sf
Total Allowed GSF	67,500sf
Efficiency Factor	.8
Ground Floor Commercial GSF	7,500sf
Total Net Residential	48,000sf
Total Units	64
Average Net Unit Size	750sf
Parking Spaces Provided	underground

NC-40 ZONES IN SEATTLE



- EXISTING NC-40
- URBAN VILLAGE BOUNDARIES

AFFORDABLE HOUSING QUANTITIES

MIXED USE - SMALL SITE

PERFORMANCE HOUSING	(commercial addition)
High Market Area (7%)	3.64 (+.09) = 4 units
Medium Market Area (6%)	3.12 (+.09) = 4 units
Low Market Area (5%)	2.60 (+.09) = 3 units
PAYMENT HOUSING	
High Market Area (\$20.75/sf)	\$1,063k (+\$8k) = \$1,071k
Medium Market Area (\$13.25/sf)	\$679k (+\$7k) = \$686k
Low Market Area (\$7/sf)	\$359k (+\$5k) = \$364k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

MIXED USE - LARGE SITE

PERFORMANCE HOUSING	(commercial addition)
High Market Area (7%)	4.48 (+.33) = 5 units
Medium Market Area (6%)	3.84 (+.33) = 5 units
Low Market Area (5%)	3.20 (+.33) = 4 units
PAYMENT HOUSING	
High Market Area (\$20.75/sf)	\$1,245k (+\$28k) = \$1,273k
Medium Market Area (\$13.25/sf)	\$795k (+\$25k) = \$820k
Low Market Area (\$7/sf)	\$420k (+\$18k) = \$438k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

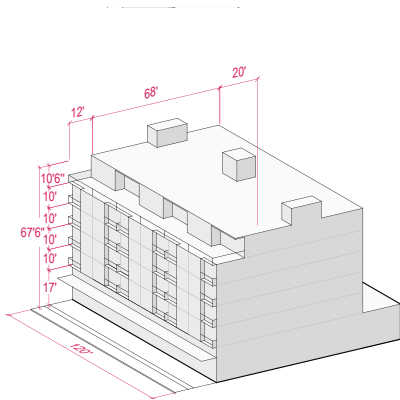


MAXIMUM DEVELOPMENT POTENTIAL

EXISTING NC-65

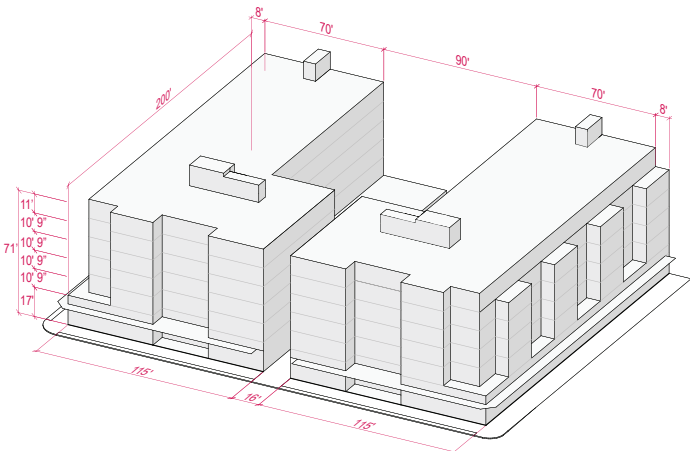
Floor Area Ratio (FAR) Max	4.75
Height Limit	65'
Setbacks	
Front	First floor dwellings must be 4' above or 10' back from street
Rear	10' next to residentially zoned lot
Sides	15' next to residentially zoned lot
Parking	1 per unit; No min. in Urban Villages

MIXED USE - SMALL SITE



Lot Size	12,000sf
Total Allowed GSF	57,000sf
Efficiency Factor	.8
Commercial GSF	10,000sf
Residential NSF	37,600sf
Total Units	65
Average Net Unit Size	575sf
Parking Spaces Provided	underground

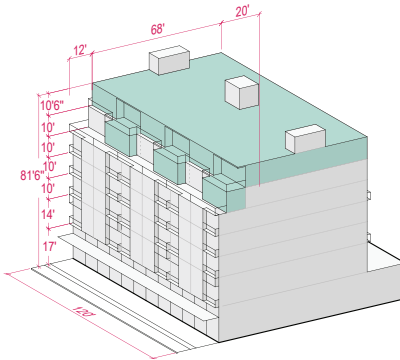
MIXED USE - LARGE SITE



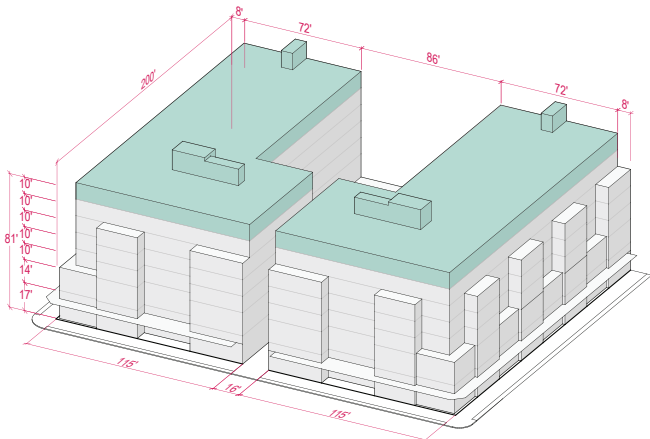
Lot Size	46,000sf
Total Allowed GSF	218,500sf
Efficiency Factor	.8
Commercial GSF	40,000sf
Residential NSF	142,800sf
Total Units	201
Average Net Unit Size	710sf
Parking spaces provided	underground

PROPOSED MHA NC-75

Floor Area Ratio (FAR) Max	5.5
Height Limit	75'
Setbacks	
Front	First floor dwellings must be 4' above or 10' back from street
Upper	Avg. depth of 10', max. depth of 20' above 55'
Rear	10' next to residentially zoned lot
Sides	15' next to residentially zoned lot
Facade Modulation	Change of materials or a min. 18" deep setback at a min. of every 50' ft.
Parking	1 per unit; No min. in Urban Villages



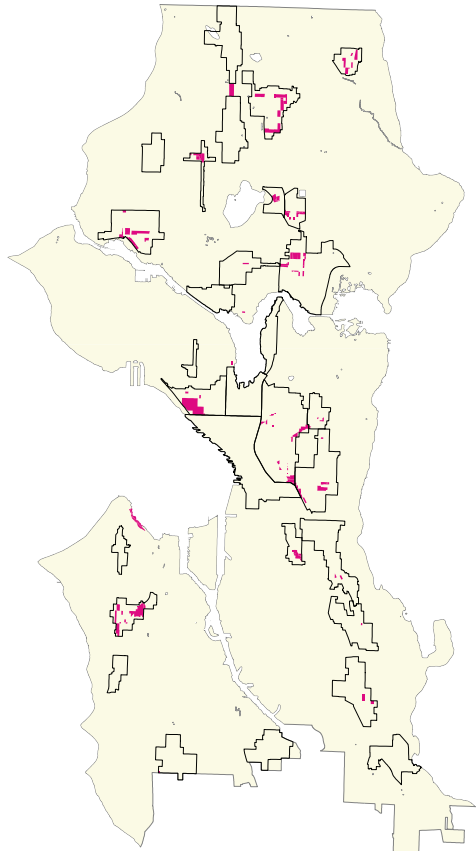
Lot Size	12,000sf
Total Allowed GSF	66,000sf
Efficiency Factor	.8
Commercial GSF	10,000sf
Residential NSF	44,800sf
Total Units	78
Average Net Unit Size	575 sf
Parking Spaces Provided	underground



Lot Size	46,000sf
Total Allowed GSF	253,000sf
Efficiency Factor	.8
Commercial GSF	40,000sf
Residential NSF	170,400sf
Total Units	240
Average Net Unit Size	710sf
Parking spaces provided	underground

AFFORDABLE HOUSING QUANTITIES

NC-65 ZONES IN SEATTLE



- EXISTING NC-65
- URBAN VILLAGE BOUNDARIES

MIXED USE - SMALL SITE

PERFORMANCE HOUSING	(commercial addition)
High Market Area (7%)	5.46 (+.52) = 6 units
Medium Market Area (6%)	4.68 (+.52) = 6 units
Low Market Area (5%)	3.90 (+.52) = 5 units
PAYMENT HOUSING	
High Market Area (\$20.75/sf)	\$1,162k (+48k) = \$1,210k
Medium Market Area (\$13.25/sf)	\$742k (+42k) = \$784k
Low Market Area (\$7/sf)	\$392k (+30k) = \$422k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

MIXED USE - LARGE SITE

PERFORMANCE HOUSING	(commercial addition)
High Market Area (7%)	16.80 (+2.54) = 20 units
Medium Market Area (6%)	14.40 (+2.54) = 17 units
Low Market Area (5%)	12.00 (+2.54) = 15 units
PAYMENT HOUSING	
High Market Area (\$20.75/sf)	\$4,420k (+288k) = \$4,708k
Medium Market Area (\$13.25/sf)	\$2,822k(+252k) = \$3,074k
Low Market Area (\$7/sf)	\$1,491k (+180k) = \$1,671k

*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing

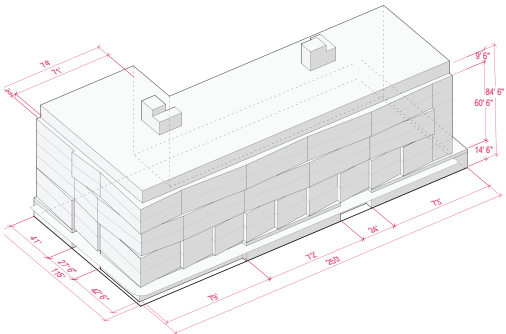


MAXIMUM DEVELOPMENT POTENTIAL

EXISTING NC-85

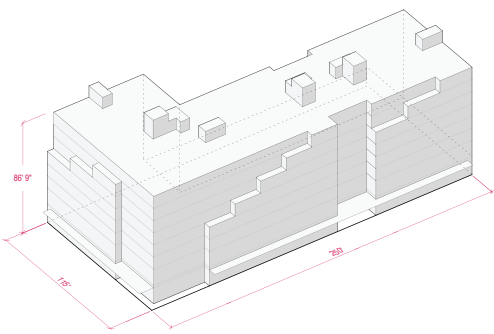
Floor Area Ratio (FAR) Max	4.5 single use 6.0 total mixed use
Height Limit	85'
Setbacks	
Front	First floor dwellings must be 4' above or 10' back from street
Rear	10' next to residentially zoned lot
Sides	15' next to residentially zoned lot
Parking	1 per unit; No min. in Urban Villages

NC-95 - "5 OVER 3" CONSTRUCTION



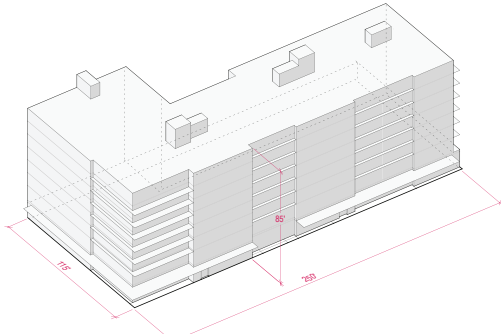
Lot Size	28,750sf
Total Allowed GSF	172,500sf
Efficiency Factor	.8
Commercial GSF	43,125sf
Residential NSF	103,500sf
Total Units	95 (18 live-work)
Average Net Unit Size	1,056sf
Parking spaces provided	underground

NC-95 - 9 STORY HIGHRISE CONSTRUCTION



Lot Size	28,750sf
Total Allowed GSF	172,500sf
Efficiency Factor	.8
Commercial GSF	43,125sf
Residential NSF	103,500sf
Total Units	116 (10 live-work)
Average Net Unit Size	819sf
Parking Spaces Provided	underground

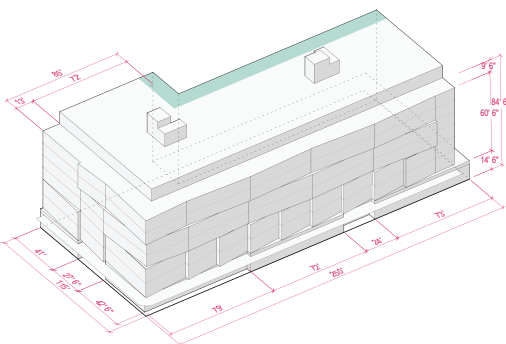
NC-100 - 100' HIGHRISE CONSTRUCTION TYPE OPTION



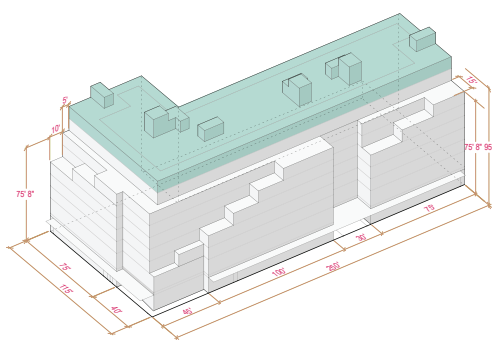
Lot Size	28,750sf
Total Allowed GSF	172,500sf
Efficiency Factor	.8
Commercial GSF	43,125sf
Residential NSF	103,500sf
Total Units	126
Average Net Unit Size	820sf
Parking Spaces Provided	underground

PROPOSED MHA NC-95

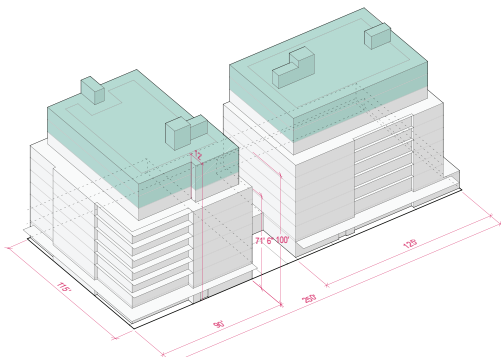
Floor Area Ratio (FAR) Max	5.0 single use 6.25 total mixed use
Height Limit	95'; 100' could allow for 10-story structure while providing adequate floor-to ceiling heights
Setbacks	
Front	First floor dwellings must be 4' above or 10' back from street
Upper	Avg. depth of 15', max. depth of 25' above 75'
Rear	10' next to residentially zoned lot
Sides	15' next to residentially zoned lot
Facade Modulation	Change of materials or a min. 18" deep setback at a min. of every 50' ft.



Lot Size	28,750sf
Total Allowed GSF	179,687.5sf
Efficiency Factor	.8
Commercial GSF	43,125sf
Residential NSF	109,250sf
Total Units	108 (18 live-work)
Average Net Unit Size	1,012sf
Parking Spaces Provided	underground

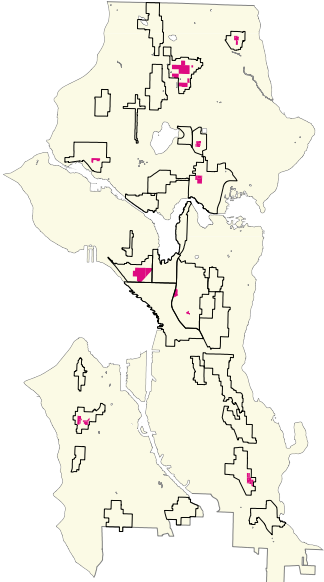


Lot Size	28,750sf
Total Allowed GSF	= 179,687.5sf
Efficiency Factor	.8
Commercial GSF	57,500sf
Residential NSF	97,750sf
Total Units	126 (10 live-work)
Average Net Unit Size	776sf
Parking Spaces Provided	underground



Lot Size	28,750sf
Total Allowed GSF	179,687.5sf
Efficiency Factor	.8
Commercial GSF	35,958sf
Residential NSF	115,000sf
Total Units	162
Average Net Unit Size	710sf
Parking Spaces Provided	underground

NC-85 ZONES IN SEATTLE



EXISTING NC-85

URBAN VILLAGE BOUNDARIES

AFFORDABLE HOUSING QUANTITIES

NC-95 - 5 OVER 3 CONSTRUCTION		NC-95 - 9 STORY HIGHRISE CONSTRUCTION		NC-100 - 100' HIGHRISE CONSTRUCTION TYPE OPTION	
PERFORMANCE HOUSING	(commercial addition)	PERFORMANCE HOUSING	(commercial addition)	PERFORMANCE HOUSING	(commercial addition)
High Market Area (7%)	7.56 (+1.93) = 10 units	High Market Area (7%)	8.82 (+3.45) = 13 units	High Market Area (7%)	11.34 (+2.25) = 14 units
Medium Market Area (6%)	6.48 (+1.93) = 9 units	Medium Market Area (6%)	7.56 (+3.45) = 12 units	Medium Market Area (6%)	9.72 (+2.25) = 12 units
Low Market Area (5%)	5.40 (+1.93) = 8 units	Low Market Area (5%)	6.30 (+3.45) = 10 units	Low Market Area (5%)	8.10 (+2.25) = 11 units
PAYMENT HOUSING		PAYMENT HOUSING		PAYMENT HOUSING	
High Market Area (\$20.75/sf)	\$2,834k (+313k) = 3,147k	High Market Area (\$20.75/sf)	\$2,536k (+428k) = \$2,964k	High Market Area (\$20.75/sf)	\$2,983k (+256k) = \$3,238k
Med Market Area (\$13.25/sf)	\$1,809k (+274k) = \$2,083k	Med Market Area (\$13.25/sf)	\$1,619k (+375k) = \$1,994k	Med Market Area (\$13.25/sf)	\$1,905k (+224k) = \$2,128k
Low Market Area (\$7/sf)	\$956k (+196k) = \$1,152k	Low Market Area (\$7/sf)	\$855k (+268k) = \$1,123k	Low Market Area (\$7/sf)	\$1,006k (+160k) = \$1,166k
*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing		*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing		*If rounding down to provide affordable performance unit, developer must pay for the fraction they are rounding off as payment housing	

