

# Z.H.S.

## **PC Comment Response Letter**

---

April 13, 2026

**Subject:** Project Narrative  
**Permit No:** 001757-26PA  
**Address:** 2622 Franklin Ave E  
Seattle  
**To:** City of Seattle

### **Project Narrative**

The proposed project consists of an interior remodel of an existing single-family residence located at 2622 Franklin Ave E, Seattle, WA. The scope includes cosmetic bathroom upgrades and removal of an existing non-functional fireplace and chimney.

The fireplace is no longer in use and is proposed to be removed to improve interior functionality and allow for a more efficient layout.

The work is limited in scope and primarily interior in nature. No additional exterior alterations are proposed beyond removal of the existing chimney. The project is intended to maintain the overall character of the structure while allowing for necessary interior improvements.

Best Regards,  
Francisco Lopez  
Zepol Homes Solutions.  
414 522 3626

---

# Z.H.S.

---

April 13, 2026

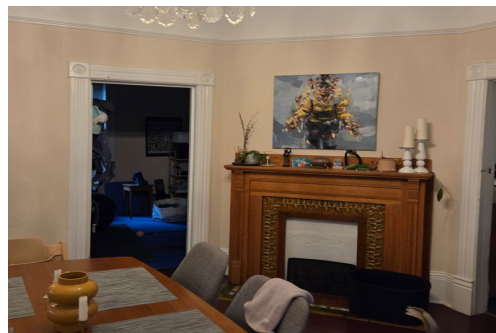
## EXISTING PHOTOS



EXTERIOR LEVEL



MAIN LEVEL



UPPER LEVEL



### PROJECT INFORMATION

OWNER: STROUPE KIEL REBECA & COBURN KENDRICK  
 JURISDICTION: SEATTLE  
 PARCEL NUMBER: 195970-0205  
 ZONING: LR2 (M)  
 BUILT: 1901  
 LOT AREA: 5500 SQ-FT

### VICINITY MAP

FROM GOOGLE MAPS

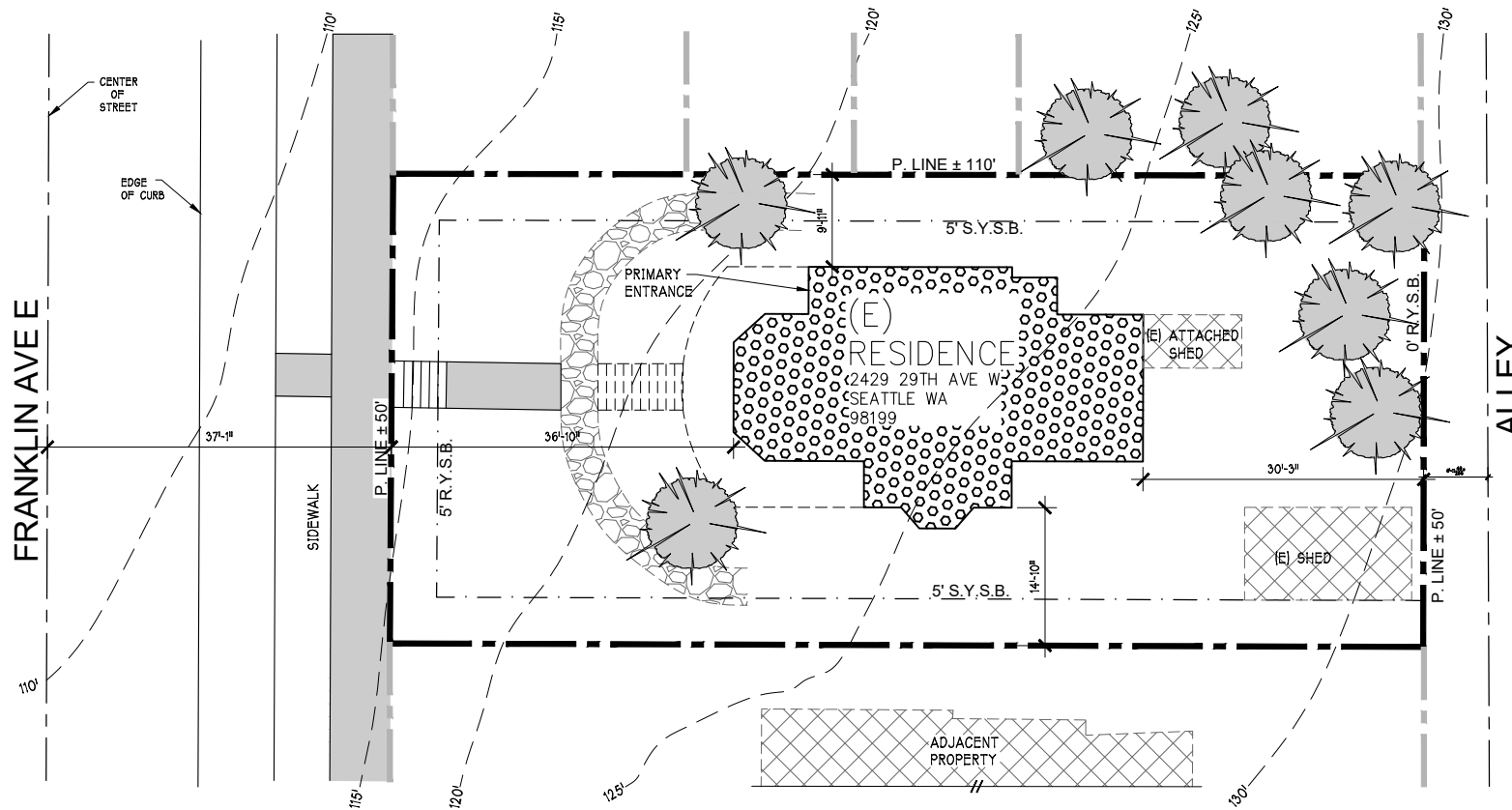


### LEGEND

- PROPERTY LINE OF PROPOSED PROJECT
- PROPERTY LINE OF ADJACENT PROPERTIES
- CONTOUR LINE - 5' ELEVATION CHANGE
- EXISTING STRUCTURE W/ INTERIOR RENOVATION
- EXISTING STRUCTURE
- CENTER LINE OF STREET
- EDGE OF CONCRETE
- ROOF OUTLINE
- PROPERTY SETBACK
- EDGE OF GRAVEL
- EXISTING TREES/FOLIAGE



REV	DATE	DESCRIPTION



### PROJECT DESCRIPTION

UPPER LEVEL BATHROOM REMODEL, COMESTIC CHANGES

### LEGAL DESCRIPTION

DENNY FUHRMAN ADD  
 PLAT BLOCK:6  
 PLAT LOT: 4

### YARD CALCULATIONS

REAR YARD = 0' W/ ALLEY, 7' W/ NO ALLEY  
 REAR YARD = 0"

FRONT YARD = 5 FEET MIN REQUIRED.  
 FRONT YARD = 5'

SIDE YARD = 5 FEET MIN REQUIRED  
 SIDE YARD = 5'

### BUILDING HEIGHT

MAX BUILDING HEIGHT 35' ALLOWED  
 ADDITION BUILDING HEIGHT

### FLOOR AREA RATIO

TOTAL LOT AREA 6300 SQ-FT

MAIN FLOOR LEVEL 911 SQ-FT  
 UPPER FLOOR LEVE 696 SQ-FT  
 TOTAL 1607 SQ-FT

ALLOWABLE FLOOR AREA = 5500 \* .5 = 2750 SQ-FT  
 PROPOSED FLOOR AREA = 1607 SQ-FT (OK)

### AREA TABULATIONS

CONDITIONED SPACE  
 MAIN LEVEL 911 SQ-FT  
 UPPER LEVEL 696 SQ-FT  
 TOTAL 1607 SQ-FT

UNCONDITIONED SPACE  
 OPEN PORCH 250 SQ-FT  
 DETACHED GARAGE 180 SQ-FT  
 ATTACHED SHED 61 SQ-FT  
 BASEMENT 508 SQ-FT  
 TOTAL 1005 SQ-FT

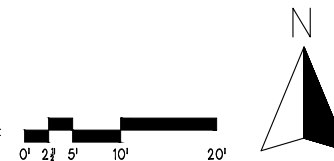
TOTAL AREA 2612 SQ-FT

### SHEET INDEX

- C1.1 SITE PLAN & PROJECT INFO
- A1.1 GENERAL NOTES
- A2.1 PROPOSED MAIN FLOOR PLANS
- A2.2 PROPOSED UPPER FLOOR PLANS
- A5.1 ARCHITECTURAL DETAILS

### SITE PLAN

SCALE 22X34 1" = 10'-0"  
 SCALE 11X17 1" = 20'-0"



RESIDENTIAL CONSTRUCTION  
**2622 - SEATTLE**  
 2622 FRANKLIN AVE E  
 SEATTLE WA 98102

SITE PLAN &  
 PROJECT INFO

APPROVAL STAMP

ENGINEER STAMP

**C1.1**

HALF SCALE 11x17  
 FULL SCALE 22x34  
 SHEET

**GENERAL NOTES:**

CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING THE WORK.

WORK SHALL COMPLY WITH THE FOLLOWING CODES:

2021 SEATTLE RESIDENTIAL CODE

2021 WASHINGTON ENERGY CODE

OTHER CODES APPLICABLE BY JURISDICTION.

**AIR SEALING:**

- 1. ALL PLUMBING, ELECTRICAL, AND HVAC PENETRATIONS IN FLOOR, WALLS, AND CEILINGS ARE CAULKED AND SEALED.
2. WHERE PENETRATIONS NEED A FIRESTOP, DISCUSS WITH BUILDING OFFICIAL.
3. ELECTRICAL OUTLET AND LIGHT SWITCH BOXES ON EXTERIOR WALLS MUST BE SEALED AT THE BACK OF THE RECEPTACLE OR SEALED WITH FACEPLATE GASKETS.
4. SEAL RIM JOIST BETWEEN HEATED FLOORS OR USE PRODUCT LIKE "TYVEK" ON EXTERIOR.
5. VAPOR BARRIER SHALL BE EITHER FACE STAPLED BATTS, 4 MIL. VISQUEEN OR AN APPROVED VAPOR BARRIER PAINT.

**SEPARATION BETWEEN DWELLING AND GARAGE/CARPORT:**

- a. NO SEPARATION REQUIRED IF ENTIRELY OPEN ON 2 OR MORE SIDES AND NO ENCLOSED USES. [OPEN DECKS ABOVE ARE OKAY. NON-RATED WALLS AND OPENABLE WINDOWS BETWEEN THE DWELLING AND CARPORT ARE OKAY].
b. MINIMUM 1/2" GWB ON GARAGE/CARPORT SIDE OF WALLS REQUIRED FOR ALL GARAGES/CARPORTS NOT COVERED BY 1A ABOVE.
c. 1-HOUR FIRE RATED WALL REQUIRED IF LESS THAN 5 FEET FROM PROPERTY LINE (NO OPENINGS ALLOWED LESS THAN 3' FROM PROPERTY LINE, 25% MAXIMUM OPENINGS BETWEEN 3' AND 5' TO PROPERTY LINE). OVERHANGS MUST BE A MINIMUM 2" FROM PROPERTY LINE, EXCEPT STEEL GUTTER ALLOWED CLOSER AND 5/8" GWB SHEATHING REQUIRED ON UNDERSIDE WHEN 5' OR LESS FROM PROPERTY LINE.

**EGRESS WINDOWS:** REQUIRED FOR 1 WINDOW/BEDROOM OR SLEEPING AREA (BELOW 4TH FLOOR) AND 1 WINDOW/BASEMENT.

- a. MIN. NET CLEAR AREA = 5.7 SQ. FT., [MIN. 3/0" x 4'6" IF DOUBLE HUNG OR 4'0" x 3'6" WINDOW IF SLIDER], 5.0 SQ. FT. IF SILL HEIGHT IS WITHIN 44" OF GRADE (ABOVE OR BELOW).
b. MIN. NET CLEAR OPENING WIDTH = 20", MIN. NET CLEAR OPENING HEIGHT = 24"
c. MAX. SILL HEIGHT = 44" [ONE PERMANENTLY INSTALLED STEP WITH MAX. 8" RISE AND MIN. 9" RUN OKAY FOR EXISTING BEDROOMS].

**REQUIRED GLAZING FOR HABITABLE ROOMS:**

- a. MIN. GLAZED EXTERIOR OPENING AREA = 8% OF FLOOR AREA.
b. GLAZED OPENINGS NOT REQUIRED WHERE PERMANENTLY INSTALLED ARTIFICIAL LIGHT IS PROVIDED.
c. OK IF OPENINGS ARE BELOW DECK & ROOFED PORCHES w/MIN. CEILING HEIGHT OF 7 FT. (LONG SIDE 65% OPEN).

**MECHANICAL/VENTILATION:** REQUIRED FOR HABITABLE ROOMS OF ADDITIONS AND ALTERATIONS MORE THAN 500 SQ. FT. OR THAT INCLUDE A KITCHEN, BATHROOM AND OTHER AREAS WHERE COOKING ODOR OR EXCESS WATER VAPOR WILL BE PRODUCED.

- a. MIN. 50 CFM FOR BATHROOM AND LAUNDRY; MIN. 100 CFM FOR KITCHEN.
b. MIN. AIR INTAKE OPENINGS = 4 SQ. IN. PER ROOM.
c. WHOLE HOUSE FAN MUST OPERATE AS SPECIFIED IN IRC M1505.4

**SMOKE ALARMS:** REQUIRED INSIDE AND OUTSIDE OF SLEEPING AREAS AND ON ALL FLOORS. DIRECT WIRING IS REQUIRED FOR SMOKE DETECTORS, UNLESS REMOVAL OF INTERIOR WALL OR CEILING FINISHES IS NECESSARY TO INSTALL THE WIRING.

**CARBON MONOXIDE ALARMS:** REQUIRED OUTSIDE SLEEPING AREAS AND ON ALL FLOORS, UNLESS WORK ONLY INVOLVES EXTERIOR SURFACES OF THE BUILDING.

**STAIR REQUIREMENTS:** [APPLIES TO ALL R-3 STAIRS AND R-2 PRIVATE STAIRWAYS]:

- a. MIN. WIDTH = 36"
b. MAX. HEIGHT/RISE = 7-3/4"; MIN. TREAD RUN = 10"
c. MIN. HEADROOM = 6'8"
d. HANDRAIL 34"-38" ABOVE TREAD NOSING (RETURN ENDS)
e. HANDRAIL GRASP DIMENSION: MIN. 1-1/4", MAX. 2"
f. WINDING STAIRS:
1. MIN. TREAD RUN AT NARROWEST POINT = 6"
2. MIN. TREAD RUN 12" FROM NARROWEST POINT = 10"
g. SPIRAL STAIRS:
1. MIN. CLEAR WALKING AREA WIDTH = 26"
2. MIN. TREAD RUN 12" FROM NARROWEST POINT = 7-1/2" / MAX. RISER HEIGHT = 9-1/2"
3. MIN. HEADROOM = 6'6"

**CEILING HEIGHT IN ADDITIONS AND ALTERATIONS:**

- a. MIN. 7'0" FOR NEW CONSTRUCTION OR ADDITIONS
b. MIN. 6'4" IF BUILDING WAS IN EXISTENCE PRIOR TO 10/17/79 [SEE DR 23-2008 FOR SPECIFICS].
c. ROOMS WITH SLOPED CEILINGS REQUIRE MINIMUM CEILING HEIGHT IN 1/2 OF THE AREA. (PORTIONS OF THE ROOM WITH CEILING HEIGHT LESS THAN 5 FT. DO NOT COUNT IN TOTAL AREA).

**INSULATION:**

- 1. FACED BATTS ARE LAPPED AND FACE STAPLED AT FRAMING MEMBERS.
2. ALL EXTERIOR WALL CAVITIES ARE FILLED WITH UNCOMPRESSED INSULATION, INCLUDING ALL CAVITIES ISOLATED DURING FRAMING, WIRING, AND PLUMBING.
3. ALL RECESSED FIXTURES IN EXTERIOR WALLS HAVE RIGID BOARD INSULATION BEHIND THEM.
4. UNDERFLOOR INSULATION IS SUPPORTED BY LATH, TWINE, OR OTHER NON-COMPRESSING MEANS.
5. ATTIC ACCESS IS BAFFLED, WEATHER-STRIPPED AND INSULATED.

**FOUNDATION LOCATION:** PROPERTY CORNERS MUST BE ACCURATELY DETERMINED AND INDICATED ON SITE FOR FOUNDATION INSPECTION. A SURVEY MAY BE REQUIRED. FENCE LOCATIONS WILL NOT BE ACCEPTED AS ESTABLISHING PROPERTY CORNERS.

**OTHER REQUIREMENTS:**

- a. GUARDRAILS: MUST BE AT LEAST 36" HT. W/ LESS THAN 4" SPACING BETWEEN INTERMEDIATE MEMBERS [42" MIN. HT. FOR R-2 EXTERIOR].
b. FLOORINGS: BOTTOM MIN. 12" ABOVE EXPOSED GROUND IN CRAWL SPACE, TOP OF FOUNDATION WALL MIN. 6" ABOVE GRADE.
c. CONCRETE SLABS ON GRADE: 3-1/2" MIN. THICKNESSES.
d. PIER BLOCKS: MIN. 12" X 12" SIZE; RESTING ON CONCRETE PAD MIN. 12" BELOW GRADE.
e. FOUNDATION WALLS: PROVIDE ONE (1) #4 REBAR TOP AND BOTTOM AND AT ALL WINDOWS/DOOR OPENINGS. LIMIT 4' MAX. BACKFILL.
f. FOUNDATION ANCHOR BOLTS: MIN. 1/2" x 10", 6 FT. ON CENTER MAX. WITH TWO (2) BOLTS PER PIECE OF PLATE AND AT LEAST ONE (1) BOLT WITH 12" AT END OF EACH PIECE [REQUIRED FOR NEW CONSTRUCTION].
g. ALL STRUCTURAL SOFTWOOD PLYWOOD, PARTICLE BOARD, WAFER BOARD, AND OSB BOARD ARE STAMPED WITH EXPOSURE '1' OR 'EXTERIOR'.
h. WATER HEATER STORAGE TANK LABELED AS MEETING 1987 NAT'L APPLIANCE ENERGY CONSERVATION ACT. ASHRAE STANDARD 90A-1980 INSULATION TO R-16 OR R-10 PAD IF LOCATED OVER UNINSULATED SLAB.
i. INSULATE HOT AND COLD WATER PIPES TO R-3 IN UNHEATED AREAS. [INSULATION FOR HOT WATER PIPE, BOTH WITHIN AND OUTSIDE CONDITIONED SPACE, SHALL HAVE A MIN R-VALUE OF R-3 PER WSEC R403.5.3]
j. SHOWER REGULATOR TO LIMIT HOT WATER DISCHARGE TO 2.5 GPM
k. WOODSTOVES AND FIREPLACES HAVE TIGHT FITTING DOORS, OUTSIDE COMBUSTION AIR DUCTED TO FIREBOX WITH ACCESSIBLE DAMPER, MIN 6 SQ IN FREE VENT AREA. TIGHT FITTING FLUE DAMPERS REQ'D.
l. ALL GAS AND OIL COMBUSTION APPLIANCES HAVE A DIRECT VENT OR FORCED DRAFT VENTING.
m. RECESSED LIGHTS ARE I.C. RATED, DOUBLE WALL CAN LIGHTS OR WITHIN SEALED WPGWB BOX-IN.
n. CONTRACTOR TO PROVIDE (1) 16"x24" MINIMUM CRAWL SPACE ACCESS INTO NEW CRAWL SPACE AREA THAT IS ACCESSIBLE FROM EITHER THE OUTSIDE OR FROM THE EXISTING CRAWLSPACE AREA. OTHERWISE CONTRACTOR IS TO PROVIDE (1) 18"x24" MINIMUM CRAWL SPACE ENTRANCE THROUGH MAIN LEVEL FLOOR FRAMING THAT ACCESSES NEW CRAWL SPACE AREA.
o. A CERTIFICATE IS REQUIRED TO BE POSTED WITHIN 3' OF THE ELECTRICAL PANEL PER WSEC R401.3 AND INCLUDE THE FOLLOWING: PREDOMINATE R-VALUES, U-VALUES OF FENESTRATION, RESULTS FROM DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING, AND EFFICIENCIES OF HEATING/COOLING/WATER HEATING EQUIPMENT.
p. A MIN OF 90 PERCENT OF PERMANENTLY INSTALLED LAMPS IN INTERIOR AND EXTERIOR LIGHTING FIXTURES MUST BE HIGH-EFFICIENCY LAMPS PER WSEC R404.1

**INSULATION**

Table with 2 columns: INSULATION AND FENESTRATION REQUIREMENTS R402.1.1, CLIMATE ZONE, 5 AND MARINE 4. Rows include FENESTRATION U-FACTOR (b), SKYLIGHT U-FACTOR (b), CEILING R-VALUE (a), WOOD FRAME WALL R-VALUE (g), FLOOR R-VALUE, BELOW-GRADE WALL R-VALUE (c), and SLAB R-VALUE & DEPTH (d).

FOR SI: 1 FOOT = 304.8 MM, CI = CONTINUOUS INSULATION, INT = INTERMEDIATE FRAMING.

- a. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE COMPRESSED R-VALUE OF THE INSULATION FROM APPENDIX TABLE A101.4 SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.
b. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS.
c. "10/15/21 +5TB" MEANS R-10 CONTINUOUS INSULATION ON THE EXTERIOR OF THE WALL, OR R-15 CONTINUOUS INSULATION ON THE INTERIOR OF THE WALL, OR R-21 CAVITY INSULATION PLUS A THERMAL BREAK BETWEEN THE SLAB AND THE BASEMENT WALL AT THE INTERIOR OF THE BASEMENT WALL. "10/15/21 +5TB" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE WALL. "5TB" MEANS R-5 THERMAL BREAK BETWEEN FLOOR SLAB AND BASEMENT WALL.
d. R-10 CONTINUOUS INSULATION IS REQUIRED UNDER HEATED SLAB ON GRADE FLOORS. SEE R402.2.9.1.
e. FOR SINGLE RAFTER- OR JOIST-VAULTED CEILINGS, THE INSULATION MAY BE REDUCED TO R-38 IF THE FULL INSULATION DEPTH EXTENDS OVER THE TOP PLATE OF THE EXTERIOR WALL.
f. R-7.5 CONTINUOUS INSULATION INSTALLED OVER AN EXISTING SLAB IS DEEMED TO BE EQUIVALENT TO THE REQUIRED PERIMETER SLAB INSULATION WHEN APPLIED TO EXISTING SLABS COMPLYING WITH SECTION R503.1.1. IF FOAM PLASTIC IS USED, IT SHALL MEET THE REQUIREMENTS FOR THERMAL BARRIERS PROTECTING FOAM PLASTICS.
g. FOR LOG STRUCTURES DEVELOPED IN COMPLIANCE WITH STANDARD ICC 400, LOG WALLS SHALL MEET THE REQUIREMENTS FOR CLIMATE ZONE 5 OF ICC 400.

h. INT. [INTERMEDIATE FRAMING] DENOTES FRAMING AND INSULATION AS DESCRIBED IN SECTION A103.2.2 INCLUDING STANDARD FRAMING 16 INCHES ON CENTER, 78 PERCENT OF THE WALL CAVITY INSULATED AND HEADERS INSULATED WITH A MINIMUM OF R-10 INSULATION.

**MECHANICAL/VENTILATION**

Table: LOCAL EXHAUST REQUIREMENTS M1505.4.4(1). Columns: AREAS TO BE EXHAUSTED, EXHAUST RATES. Rows: KITCHENS, BATHROOMS/TOILET ROOMS.

Table: WHOLE-HOUSE MECHANICAL VENTILATION AIRFLOW RATE M1505.4.3(1). Columns: DWELLING UNIT FLOOR AREA (SQUARE FEET), NUMBER OF BEDROOMS (0-1, 2, 3, 4, 5 OR MORE), AIRFLOW IN CFM.

Table: INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS M1505.4.3(2). Columns: RUN-TIME X IN EACH 4-HOUR SEGMENT, 50%, 66%, 75%, 100%, FACTOR (2, 1.5, 1.5, 1.0).

BATHROOMS, TOILET ROOMS, AND KITCHENS SHALL INCLUDE A LOCAL EXHAUST SYSTEM. SUCH LOCAL EXHAUST SYSTEMS SHALL HAVE THE CAPACITY TO EXHAUST THE MINIMUM AIRFLOW RATE IN ACCORDANCE WITH TABLE M1505.4.4(1). FANS REQUIRED BY THIS SECTION SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE OR AUTOMATIC OCCUPANCY SENSOR, HUMIDITY SENSOR OR POLLUTANT SENSOR CONTROLS. AN "ON/OFF" SWITCH SHALL MEET THIS REQUIREMENT FOR MANUAL CONTROLS. MANUAL FAN CONTROLS SHALL BE READILY ACCESSIBLE IN THE ROOM SERVED BY THE FAN.

- 1. EXHAUST FANS SHALL MEET THE FOLLOWING CRITERIA:
- EXHAUST FANS SHALL BE TESTED AND RATED IN ACCORDANCE WITH THE AIRFLOW AND SOUND RATING PROCEDURES OF THE HOME VENTILATING INSTITUTE (HVI 915, HVI LOUDNESS TESTING AND RATING PROCEDURE, HVI 916, HVI AIRFLOW TEST PROCEDURE, AND HVI 920, HVI PRODUCT PERFORMANCE CERTIFICATION PROCEDURE). EXCEPTION: WHERE A RANGE HOOD OR DOWN DRAFT EXHAUST FAN IS USED FOR LOCAL EXHAUST FOR A KITCHEN, THE DEVICE IS NOT REQUIRED TO BE RATED PER THESE STANDARDS.
- FAN AIRFLOW RATING AND DUCT SYSTEM SHALL BE DESIGNED AND INSTALLED TO DELIVER AT LEAST THE EXHAUST AIRFLOW REQUIRED BY TABLE M1505.4.4(1). THE AIRFLOWS REQUIRED REFER TO THE DELIVERED AIRFLOW OF THE SYSTEM AS INSTALLED AND TESTED USING A FLOW HOOD, FLOW GRID, OR OTHER AIRFLOW MEASUREMENT DEVICE. LOCAL EXHAUST SYSTEMS SHALL BE TESTED, BALANCED AND VERIFIED TO PROVIDE A FLOW RATE NOT LESS THAN THE MINIMUM REQUIRED BY THIS SECTION.
- DESIGN AND INSTALLATION OF THE SYSTEM OR EQUIPMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- FAN AIRFLOW RATING AND DUCT SYSTEM SHALL BE DESIGNED AND INSTALLED TO DELIVER AT LEAST THE EXHAUST AIRFLOW REQUIRED BY TABLE M1505.4.4(1).
2. WHOLE-HOUSE VENTILATION USING EXHAUST FANS MUST COMPLY WITH:
- IRC M1505.4: EACH DWELLING UNIT SHALL BE EQUIPPED WITH A VENTILATION SYSTEM. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1505.4.1 THROUGH M1505.4.4.
- WHOLE-HOUSE VENTILATION FANS SHALL BE RATED FOR SOUND AT NO LESS THAN THE MINIMUM AIRFLOW RATE REQUIRED BY SECTION M1505.4.3.1. VENTILATION FANS SHALL BE RATED FOR SOUND AT A MAXIMUM OF 1.0 SONE. THIS SOUND RATING SHALL BE AT A MINIMUM OF 0.1 IN. W.C. [25 PA] STATIC PRESSURE IN ACCORDANCE WITH HVI PROCEDURES SPECIFIED IN SECTIONS M1505.4.1.2 AND M1505.4.1.3.
3. DUCTS MUST BE LEAK TESTED IN ACCORDANCE WITH WSU R5-33 USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED. DUCT TIGHTNESS MUST BE VERIFIED BY EITHER A POST-CONSTRUCTION TEST OR ROUGH - IN TEST PER WSEC R403.3.3. TOTAL LEAKAGE MUST BE LESS THAN OR EQUAL TO 4 CFM PER 100 SQ-FT OF CONDITIONED FLOOR AREA WHEN TESTED AT A PRESSURE DIFFERENTIAL OF 0.1" W.G. [25 PA] ACROSS THE ENTIRE SYSTEM.

4. PER IRC M1503.6, WHERE ONE OR MORE GAS, LIQUID OR SOLID FUEL-BURNING APPLIANCE THAT IS NEITHER DIRECT-VENT NOR USES A MECHANICAL DRAFT VENTING SYSTEM IS LOCATED WITHIN A DWELLING UNIT'S AIR BARRIER, EACH EXHAUST SYSTEM CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE [0.19 M3/S] SHALL BE MECHANICALLY OR PASSIVELY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT FEWER THAN ONE DAMPER COMPLYING WITH SECTION M1503.6.2.
5. WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, AN OPENING HAVING AN AREA OF NOT LESS THAN 100 SQ. INCHES SHALL BE PROVIDED IN THE CLOSET ENCLOSURE OR MAKEUP AIR SHALL BE PROVIDED BY OTHER APPROVED MEANS PER SMC 504.6.

**SAFETY GLAZING FOR EXISTING OPENING REPLACEMENT:**

- 1. GLAZING IN DOORS: SAFETY GLAZING IS REQUIRED IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS. SAFETY GLAZING IS NOT REQUIRED IN A DOOR IF THE GLAZED OPENINGS DO NOT ALLOW THE PASSAGE OF A 3 INCH SPHERE, OR THE GLAZING IN THE DOOR IS DECORATIVE.
2. GLAZING ADJACENT TO DOORS: GLAZING ADJACENT TO DOORS IS REQUIRED IN THE FOLLOWING LOCATIONS IF THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE: WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IF GLAZING IS IN THE SAME PLANE AS THE DOOR, OR IF GLAZING IS IN A WALL PERPENDICULAR TO THE DOOR WITHIN 24 INCHES ON THE HINGE SIDE OF AN INSWING DOOR. SAFETY GLAZING IS NOT REQUIRED IF THERE IS AN INTERVENING WALL OR PERMANENT BARRIER BETWEEN THE DOOR AND THE GLAZING.
3. GLAZING IN WINDOWS: SAFETY GLAZING IN WINDOWS IS REQUIRED IF THE INDIVIDUAL PANEL MEETS ALL OF THE FOLLOWING REQUIREMENTS:
- EXPOSED AREA OF THE INDIVIDUAL PANEL IS GREATER THAN 9 SQUARE FEET.
- THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES FROM THE FLOOR
- THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR.
- THERE IS A WALKING SURFACE WITHIN 36 INCHES, MEASURED HORIZONTALLY, FROM THE GLAZING.
EXCEPTIONS
\* DECORATIVE GLAZING
\* WHERE A HORIZONTAL RAIL CAPABLE OF RESISTING 50 PLF OF FORCE WITHOUT MAKING CONTACT WITH THE GLASS IS INSTALLED ON THE ACCESSIBLE SIDE OF THE GLAZING 34-38 INCHES ABOVE WALKING SURFACE.
4. GLAZING IN RAILINGS AND GUARDS: ALL GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS, IS REQUIRED TO BE SAFETY GLAZING.
5. GLAZING AND WET SURFACE: GLAZING IN WALLS, ENCLOSURES, OR FENCES AROUND SHOWERS, BATHTUBS, POOLS, HOT TUBS, SPAS, SAUNAS, AND STEAM ROOMS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES FROM THE STANDING OR WALKING SURFACE IS REQUIRED TO BE SAFETY GLAZING. SAFETY GLAZING IS NOT REQUIRED WHERE THE GLAZING IS MORE THAN 60 INCHES, HORIZONTALLY, FROM THE EDGE OF THE WATER.

REFER TO IRC SECTION 312.2 FOR ADDITIONAL WINDOW FALL PROTECTION REQUIREMENTS.

**WINDOW & DOOR SCHEDULE NOTES:**

- 1. XO = SLIDER, SH = SINGLE HUNG, DH = DOUBLE HUNG, FIX = PICTURE, C = CASEMENT
2. IF CONTRACTOR DECIDES TO REPLACE WINDOWS, THEY MUST MEET ENERGY PERFORMANCE STANDARDS, HEAT TREATMENT REQUIREMENTS AND EGRESS.
3. ALL WINDOWS SHALL BE NFRC CERTIFIED.
4. CONTRACTOR TO VERIFY EGRESS AND HEAT TREATMENT REQUIREMENTS WITH WINDOW & DOOR MANUFACTURER.
5. EGRESS WINDOWS SIZED FOR "MILGARD STYLE LINE" SERIES WINDOWS. CONTRACTOR TO VERIFY EGRESS REQUIREMENTS IF A DIFFERENT MANUFACTURER / MODEL IS CHOSEN.



Table with 2 columns: REV, DESCRIPTION. Multiple empty rows for revision tracking.

RESIDENTIAL CONSTRUCTION
2022 - SEATTLE
2622 FRANKLIN AVE E
SEATTLE WA 98102

GENERAL NOTES
APPROVAL STAMP
ENGINEER STAMP

APPROVAL STAMP
ENGINEER STAMP

A1.1

Table with 2 columns: SCALE, VALUE. Rows: HALF SCALE (11x17), FULL SCALE (22x34), SHEET.







# GENERAL NOTES

- A. PLANS MUST BE APPROVED BY THE GOVERNING BUILDING OFFICIAL OR PROFESSIONAL ENGINEER PRIOR TO WORK COMMENCING.
- B. CONTRACTOR TO VERIFY ALL STRUCTURAL LOAD PATHS AND EXISTING SHEAR / BRACED WALL LOCATIONS BEFORE REMOVING ANY WALLS. STRUCTURAL DEVIATIONS FROM THE PLAN SHOULD BE VERIFIED BY A STRUCTURAL ENGINEER OR BUILDING INSPECTOR.
- C. SEE SHEET 11 FOR COMMON CODE REQUIREMENTS.
- D. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND PLACED IN PROXIMITY TO SLEEPING AREAS.
- E. SMOKE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND WITHIN EACH SLEEPING AREA. DIRECT WIRING REQUIRED.
- F. VERIFY WINDOW & DOOR ROUGH OPENING SIZES WITH WINDOW & DOOR MANUFACTURER.
- G. ALL DIMENSIONS TO FINISH WALL.
- H. CONTRACTOR TO VFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
- I. CONTRACTOR TO DETERMINE & VERIFY ALL WASTE DIVERSION REQUIREMENTS PER THE LOCAL JURISDICTION. CONTRACTOR MAY BE REQUIRED TO REQUEST LEED REPORTS FROM RECEIVING FACILITIES.
- J. DOORS WITHOUT PLACEMENT DIMENSIONS WILL BE 3" OFF WALL OR ON CENTER, AS APPROPRIATE.
- K. CONTRACTOR TO VERIFY EXHAUST POINTS ARE NOT LESS THAN 3' FROM PROPERTY LINES, 3' FROM OPERABLE OPENINGS INTO THE BUILDING, AND 10' FROM MECHANICAL AIR INTAKES.
- L. EACH HABITABLE SPACE SHALL BE PROVIDED WITH OPERABLE WINDOWS WITH AN OPENABLE AREA NOT LESS THAN 4 SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH 10 CFM OF OUTDOOR AIR. WINDOW IS TO HAVE SCREEN AND SHALL BE CONTROLLABLE AND SECURABLE.

# PLAN KEYNOTES

- 1. RESERVED.
- 2. RESERVED.
- 3. CHIMNEY TO BE REMOVED ENTIRELY. CEILING ABOVE TO BE INFILL, SEE DETAIL 4/A5.1 FOR BALANCE OF INFO.
- 4. RESERVED.

# LEGEND

-  NEW STUD WALL. SEE 7/A5.1 FOR FRAMING INFO.
-  SMOKE DETECTOR
-  INDICATES REFERENCE TO KEYNOTES SEE KEYNOTES ON THIS SHEET FOR BALANCE OF INFORMATION
-  CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP.
-  EXHAUST FAN (INTERMITTENT) 50 CFM U.N.O.
-  SEE DOOR AND WINDOW SCHEDULE ON SHEET A11 FOR DETAILED INFO. SEE 2/B3.1 FOR FRAMING INFO.



REV	DATE	DESCRIPTION

RESIDENTIAL CONSTRUCTION  
**2622 - SEATTLE**  
 2622 FRANKLIN AVE E  
 SEATTLE WA 98102

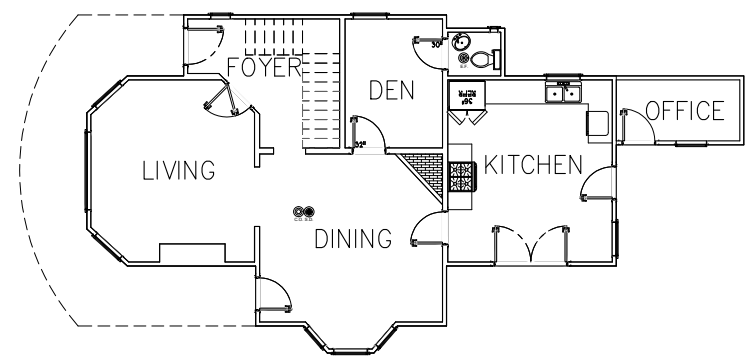
**BASEMENT LEVEL PLANS**

APPROVAL STAMP

ENGINEER STAMP

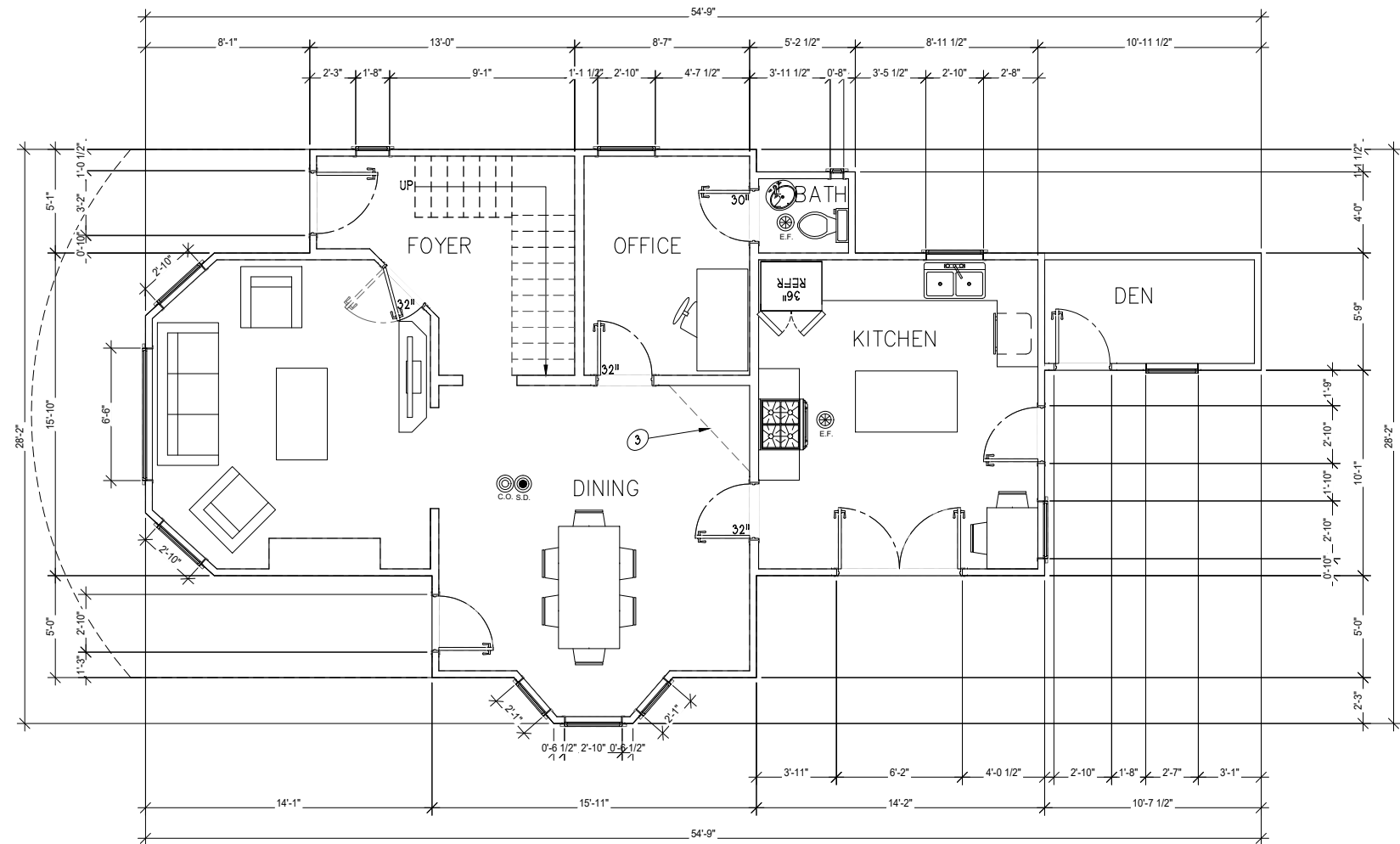
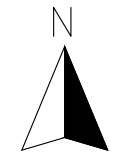
**A2.1**

HALF SCALE 11x17  
 FULL SCALE 22x34  
 SHEET



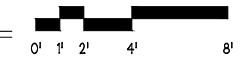
EXISTING MAIN FLOOR PLAN

22x34: SCALE 1/8" = 1'-0"  
 11x17: SCALE 1/16" = 1'-0"



EXISTING MAIN FLOOR PLAN

22x34: SCALE 1/4" = 1'-0"  
 11x17: SCALE 1/8" = 1'-0"









# GENERAL NOTES

- A. PLANS MUST BE APPROVED BY THE GOVERNING BUILDING OFFICIAL OR PROFESSIONAL ENGINEER PRIOR TO WORK COMMENCING.
- B. CONTRACTOR TO VERIFY ALL STRUCTURAL LOAD PATHS AND EXISTING SHEAR / BRACED WALL LOCATIONS BEFORE REMOVING ANY WALLS. STRUCTURAL DEVIATIONS FROM THE PLAN SHOULD BE VERIFIED BY A STRUCTURAL ENGINEER OR BUILDING INSPECTOR.
- C. SEE SHEET 11 FOR COMMON CODE REQUIREMENTS.
- D. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND PLACED IN PROXIMITY TO SLEEPING AREAS.
- E. SMOKE DETECTORS SHALL BE INSTALLED ON ALL LEVELS OF THE DWELLING AND WITHIN EACH SLEEPING AREA. DIRECT WIRING REQUIRED.
- F. VERIFY WINDOW & DOOR ROUGH OPENING SIZES WITH WINDOW & DOOR MANUFACTURER.
- G. ALL DIMENSIONS TO FINISH WALL.
- H. CONTRACTOR TO VFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.
- I. CONTRACTOR TO DETERMINE & VERIFY ALL WASTE DIVERSION REQUIREMENTS PER THE LOCAL JURISDICTION. CONTRACTOR MAY BE REQUIRED TO REQUEST LEED REPORTS FROM RECEIVING FACILITIES.
- J. DOORS WITHOUT PLACEMENT DIMENSIONS WILL BE 3" OFF WALL OR ON CENTER, AS APPROPRIATE.
- K. CONTRACTOR TO VERIFY EXHAUST POINTS ARE NOT LESS THAN 3' FROM PROPERTY LINES, 3' FROM OPERABLE OPENINGS INTO THE BUILDING, AND 10' FROM MECHANICAL AIR INTAKES.
- L. EACH HABITABLE SPACE SHALL BE PROVIDED WITH OPERABLE WINDOWS WITH AN OPENABLE AREA NOT LESS THAN 4 SQUARE INCHES OF NET FREE AREA OF OPENING FOR EACH 10 CFM OF OUTDOOR AIR. WINDOW IS TO HAVE SCREEN AND SHALL BE CONTROLLABLE AND SECURABLE.

# PLAN KEYNOTES

1. ATTIC AREA TO BE USE AS STORAGE SPACE.
2. RESERVED.
3. CHIMNEY TO BE REMOVED ENTIRELY. CEILING ABOVE TO BE INFILL, SEE DETAIL 4/A5.1 FOR BALANCE OF INFO.
4. CREATING SHOWER SAPCE ON (E) BATHROOM.

# LEGEND

-  NEW STUD WALL. SEE 7/A5.1 FOR FRAMING INFO.
-  SMOKE DETECTOR
-  INDICATES REFERENCE TO KEYNOTES SEE KEYNOTES ON THIS SHEET FOR BALANCE OF INFORMATION
-  CARBON MONOXIDE DETECTOR WITH BATTERY BACKUP.
-  EXHAUST FAN (INTERMITTENT) 50 CFM U.N.O.
-  SEE DOOR AND WINDOW SCHEDULE ON SHEET A11 FOR DETAILED INFO. SEE 2/S3.1 FOR FRAMING INFO.



REV	DATE	DESCRIPTION

RESIDENTIAL CONSTRUCTION  
**2622 - SEATTLE**  
 2622 FRANKLIN AVE E  
 SEATTLE WA 98102

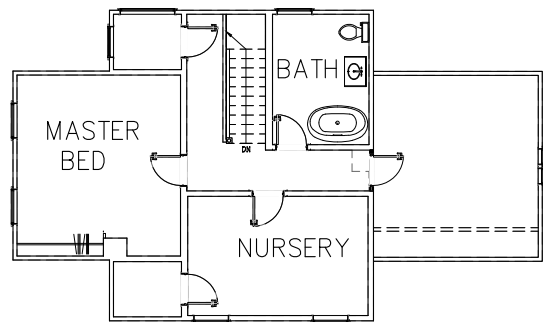
PROPOSED FLOOR  
 LEVEL PLAN

APPROVAL STAMP

ENGINEER STAMP

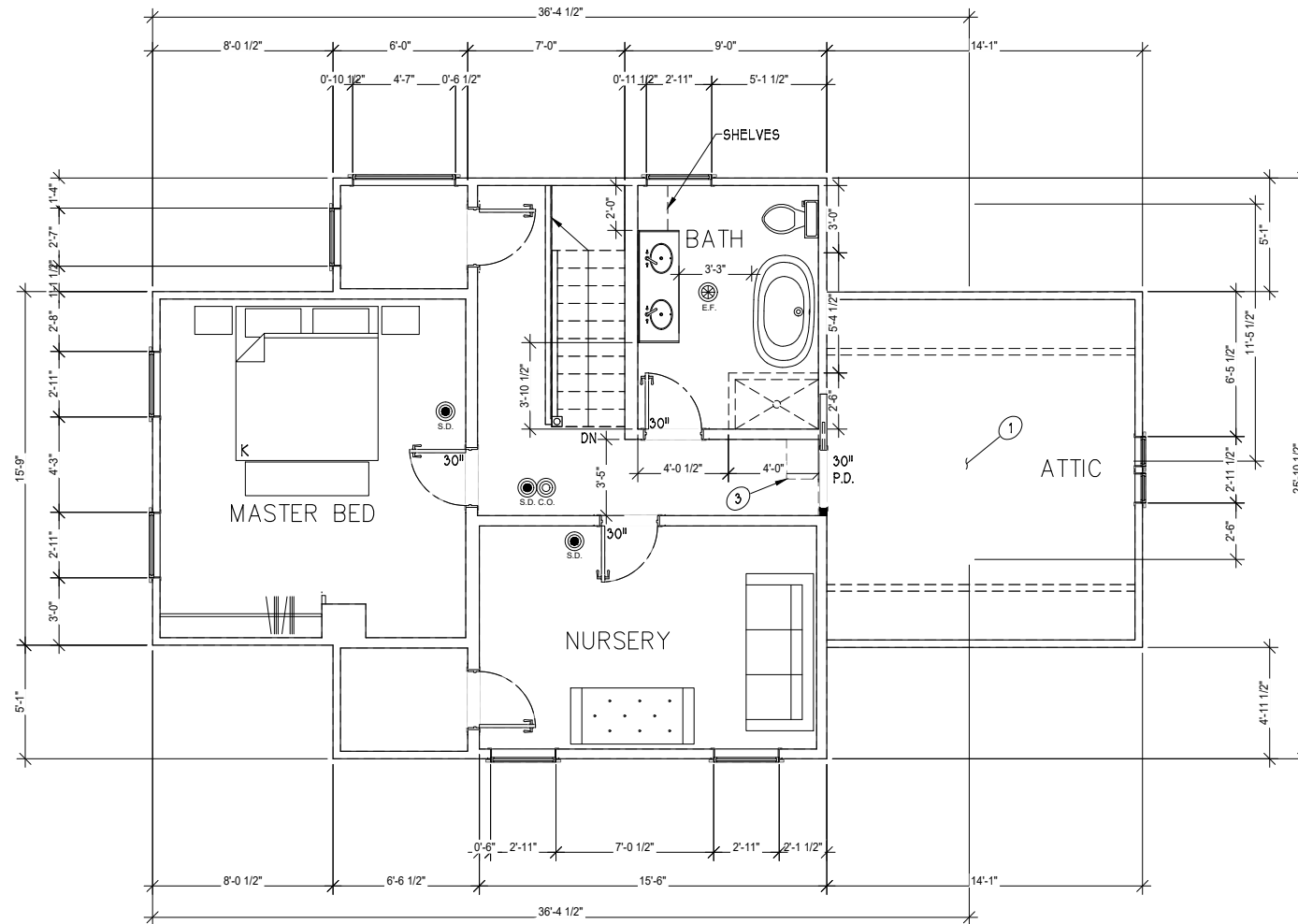
**A2.2**

HALF SCALE 11x17  
 FULL SCALE 22x34  
 SHEET



EXISTING UPPER FLOOR PLAN

22x34: SCALE 1/8" = 1'-0"  
 11x17: SCALE 1/16" = 1'-0"



EXISTING UPPER FLOOR PLAN

22x34: SCALE 1/4" = 1'-0"  
 11x17: SCALE 1/8" = 1'-0"





REV	DATE	DESCRIPTION

RESIDENTIAL CONSTRUCTION  
**2622 - SEATTLE**  
 2622 FRANKLIN AVE E  
 SEATTLE WA 98102

DEMO PLAN

APPROVAL STAMP

ENGINEER STAMP

**A2.3**

HALF SCALE 11x17  
 FULL SCALE 22x34  
 SHEET

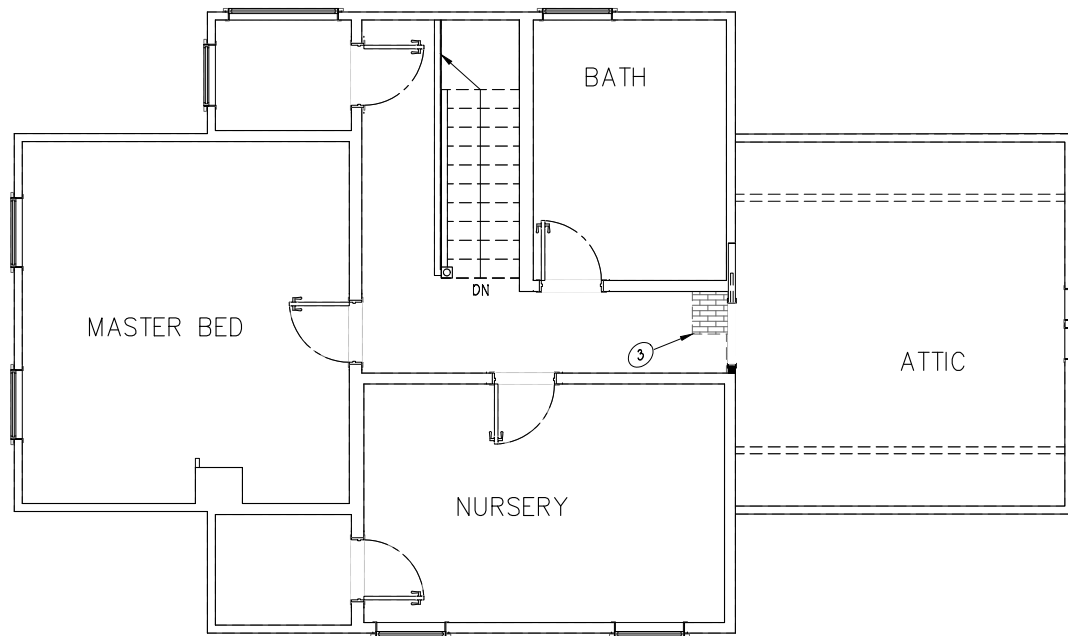
**LEGEND**

- NEW STUD WALL
- EXISTING WALL TO REMAIN
- DEMOLISHED NON-BEARING WALLS (U.N.O.)
- NEW BEAM
- EXISTING BEAM

**PLAN KEYNOTES**

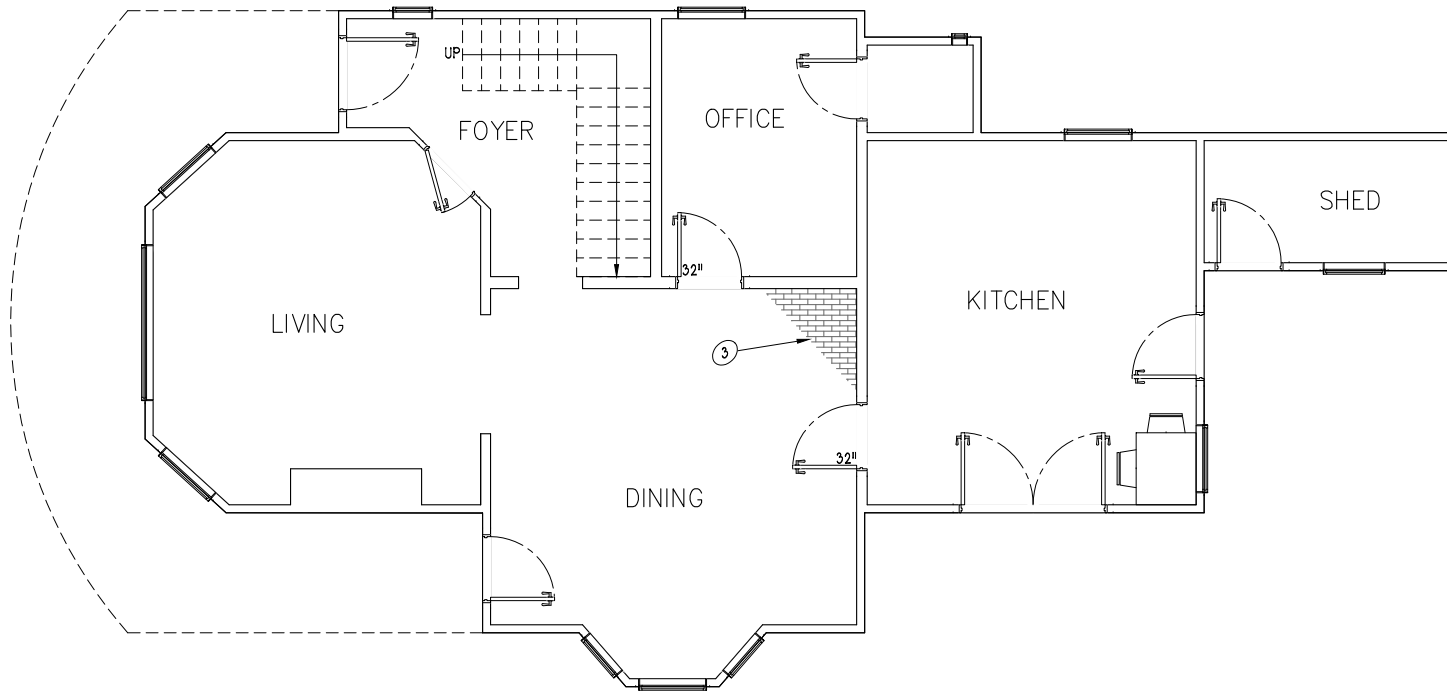
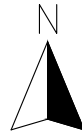
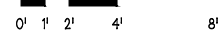
1. RESERVED.
2. RESERVED.
3. CHIMNEY TO BE REMOVED ENTIRELY. CEILING ABOVE TO BE INFILL, SEE DETAIL 1&2/A2.3 FOR BALANCE OF INFO.
4. RESERVED.

THE EXISTING CHIMNEY HAS BEEN DECOMMISSIONED AND IS CURRENTLY CONTRIBUTING TO WATER INTRUSION. SEE PHOTO DOCUMENTATION FOR EXISTING CONDITIONS



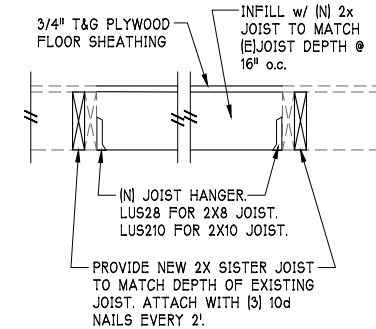
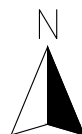
**CHIMNEY DEMO PLAN**

22x34: SCALE 1/4" = 1'-0"  
 11x17: SCALE 1/8" = 1'-0"

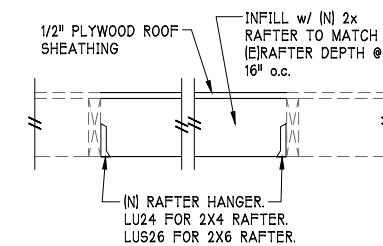


**CHIMNEY DEMO PLAN**

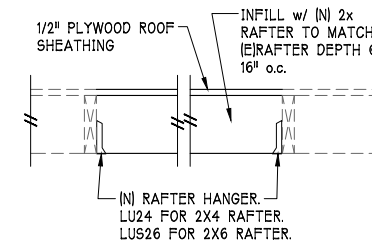
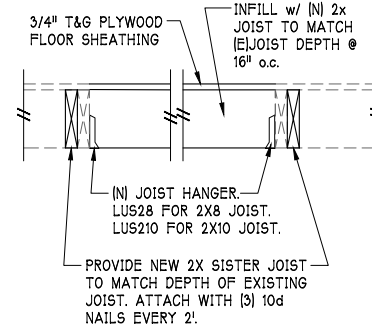
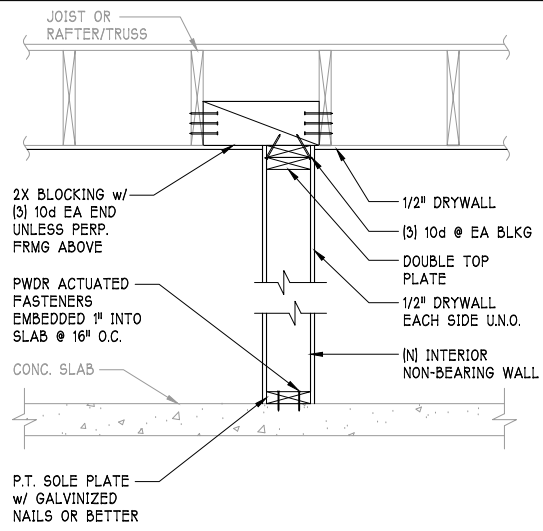
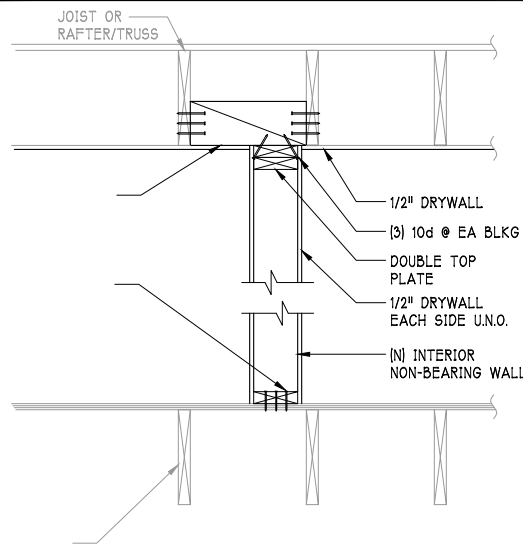
22x34: SCALE 1/4" = 1'-0"  
 11x17: SCALE 1/8" = 1'-0"



**1** INFILL FLOOR OPENING DETAIL  
 A2.3 SCALE: 1"=1'-0"



**2** INFILL ROOF OPENING DETAIL  
 A2.3 SCALE: 1"=1'-0"



1 NEW INTERIOR WALL SECTION  
A5.1 SCALE: 1"=1'-0"

2 INFILL FLOOR OPENING DETAIL  
A5.1 SCALE: 1"=1'-0"

3 INFILL ROOF OPENING DETAIL  
A5.1 SCALE: 1"=1'-0"



REV	DATE	DESCRIPTION

RESIDENTIAL CONSTRUCTION  
**2622 - SEATTLE**  
2622 FRANKLIN AVE E  
SEATTLE WA 98102

ARCHITECTURAL  
DETAILS

APPROVAL STAMP

ENGINEER STAMP

A5.1

HALF SCALE 11x17  
FULL SCALE 22x34  
SHEET