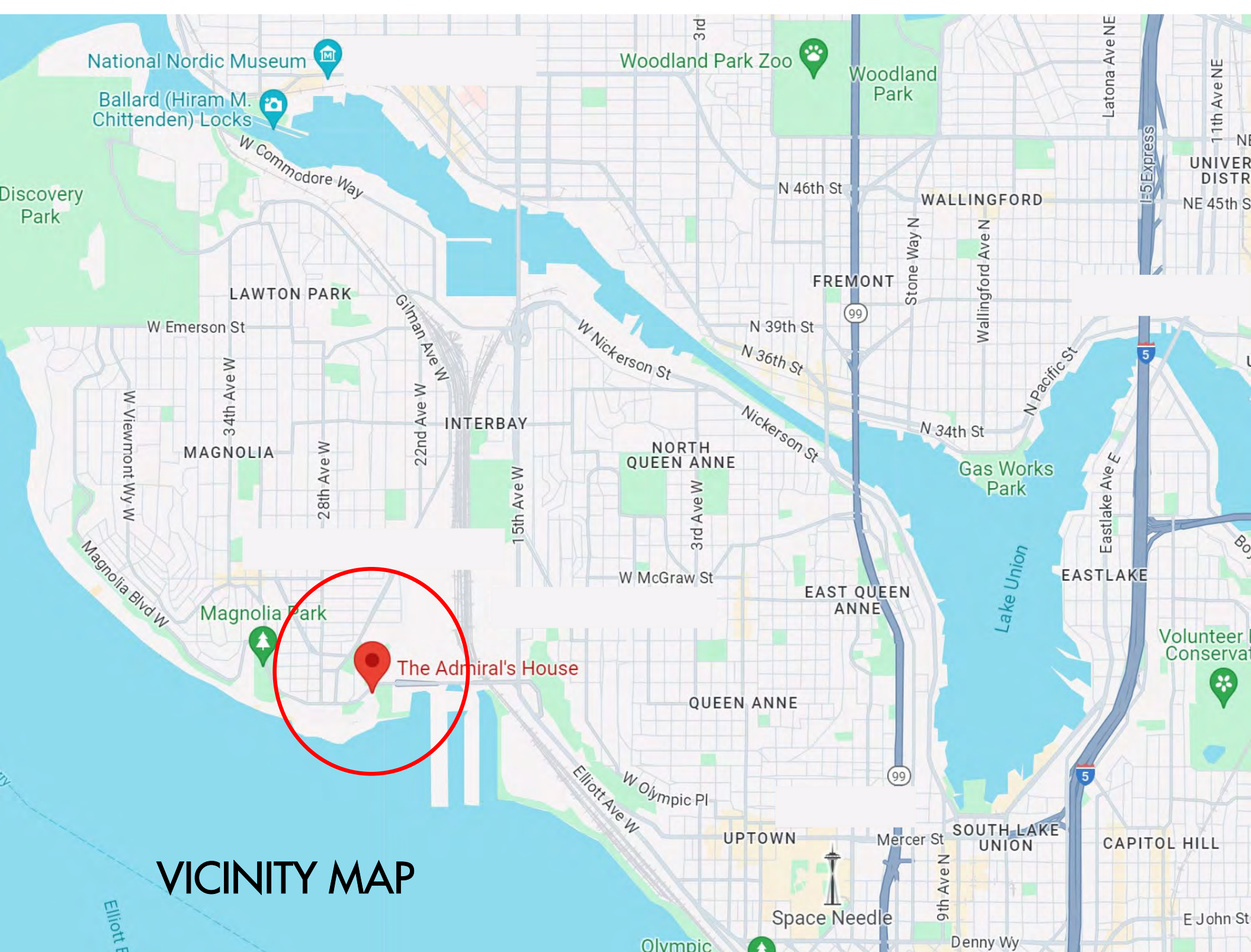




ADMIRAL'S HOUSE DRIVEWAY TURNAROUND PROPOSAL



GELOTTE HOMMAS DRIVDAHL
ARCHITECTURE



National Nordic Museum

Ballard (Hiram M. Chittenden) Locks

Woodland Park Zoo

Woodland Park

Discovery Park

LAWTON PARK

W Emerson St

MAGNOLIA

Magnolia Park

INTERBAY

NORTH QUEEN ANNE

FREMONT

WALLINGFORD

EAST QUEEN ANNE

Gas Works Park

Lake Union

EASTLAKE

QUEEN ANNE

UPTOWN

SOUTH LAKE UNION

CAPITOL HILL

VICINITY MAP

Space Needle

Denny Wy

E John St





HISTORIC PHOTOGRAPH - CIRCA 1945



HISTORIC AERIAL VIEW - 1953



ENTRY DRIVE

EXISTING Y
TURNAROUND

CURRENT AERIAL VIEW

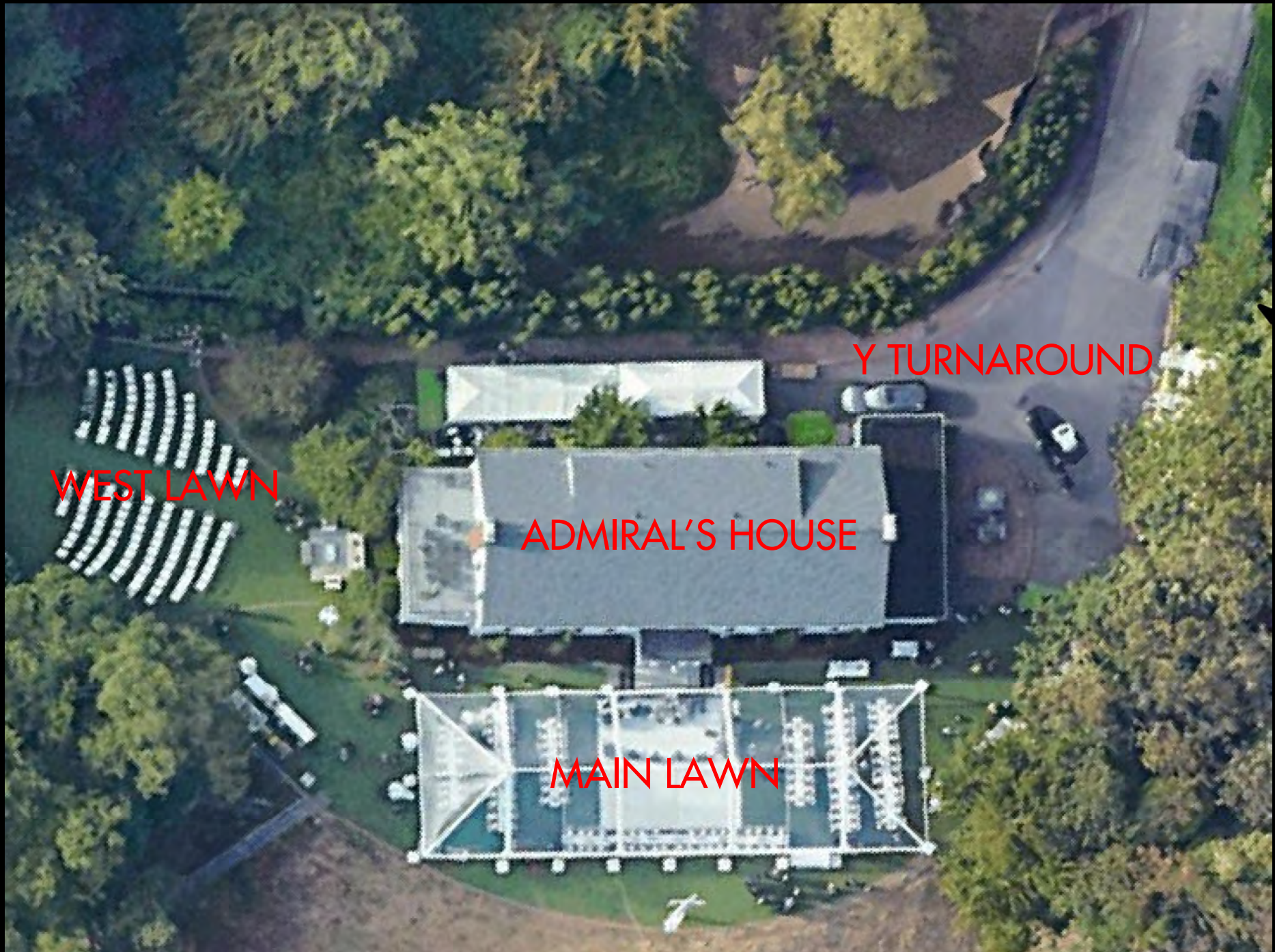


The Admiral's House

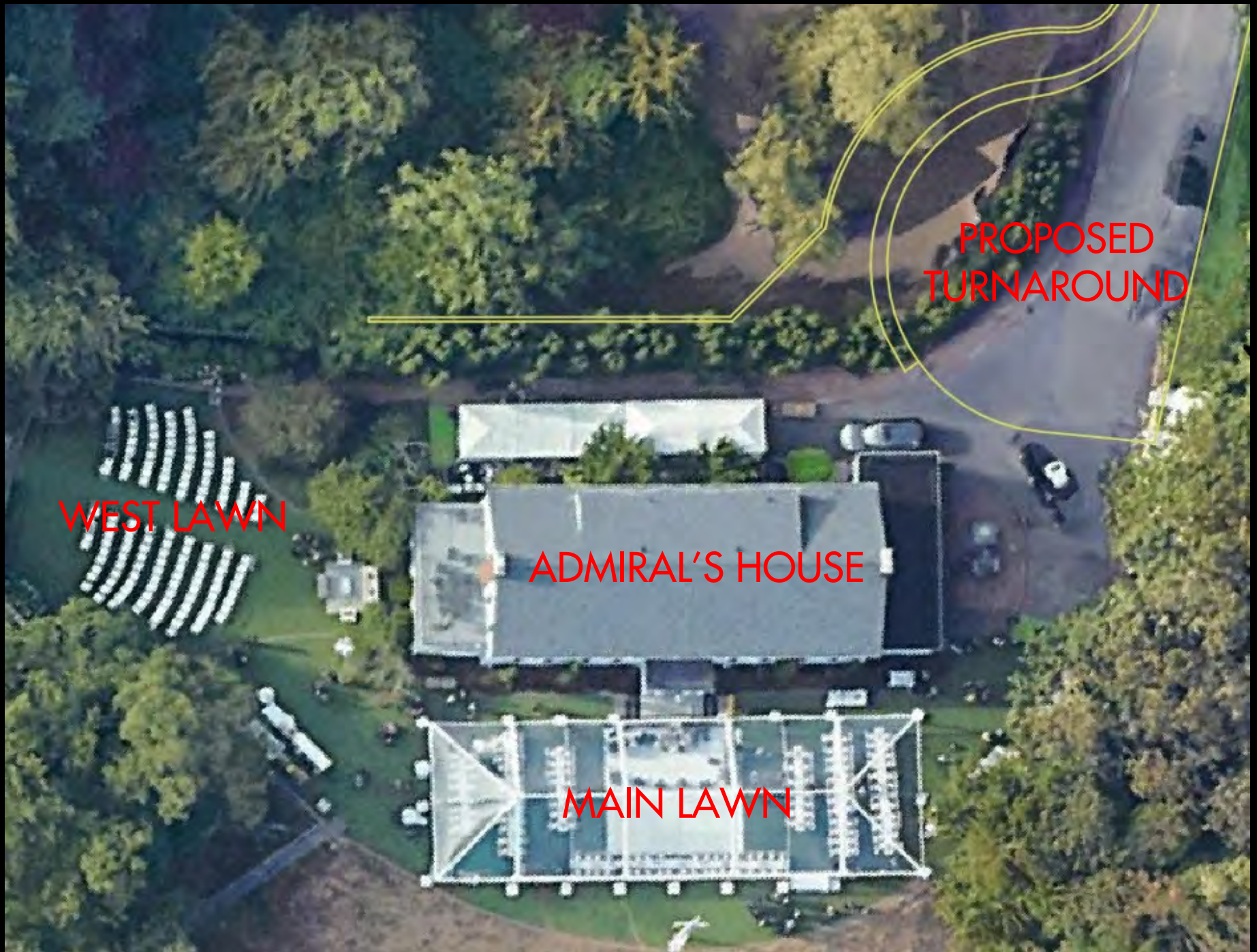
ENTRY DRIVE

Y TURNAROUND

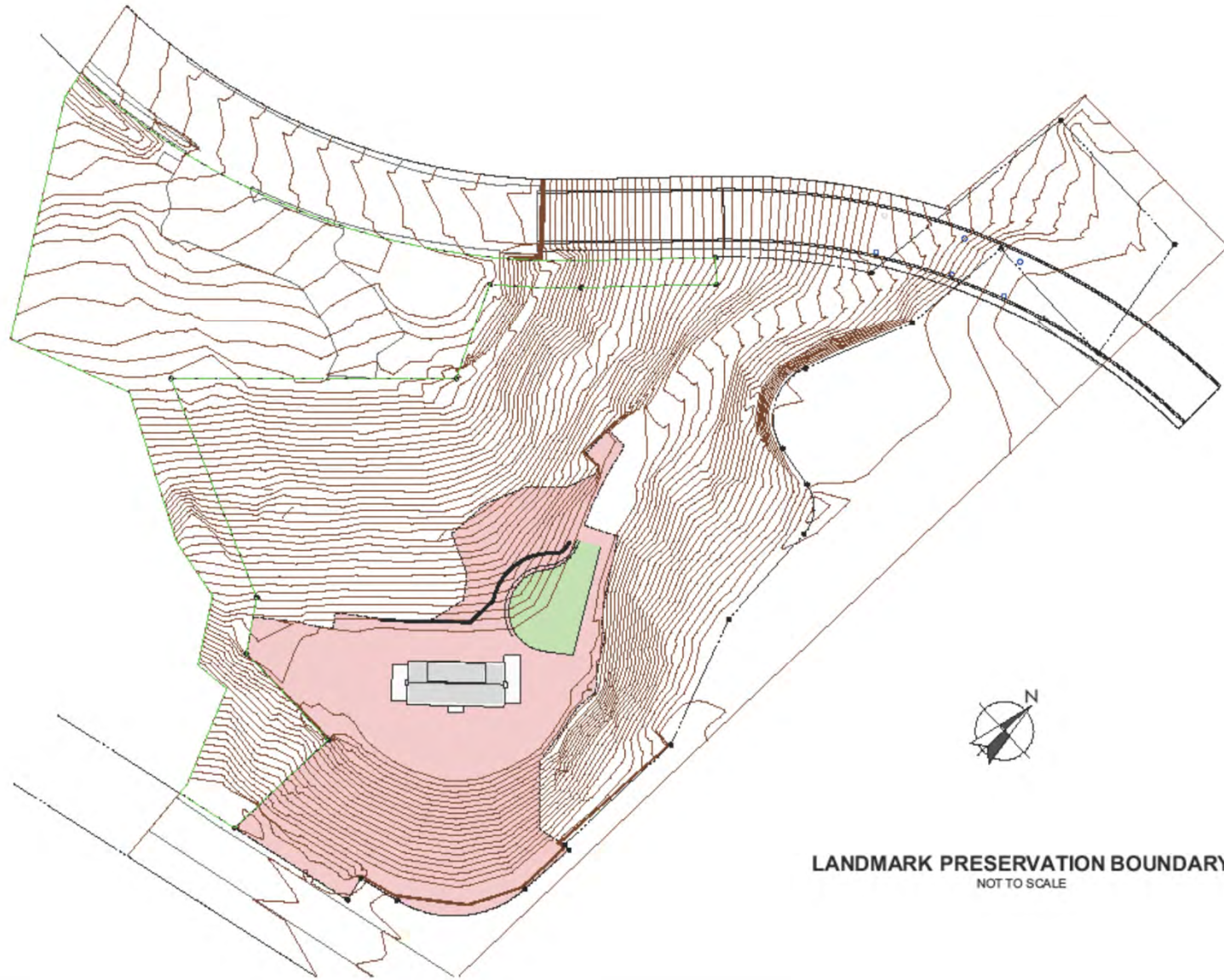
Smith Park
Cove park
small park
with views &
a jogging path



ENLARGED AERIAL - EXISTING

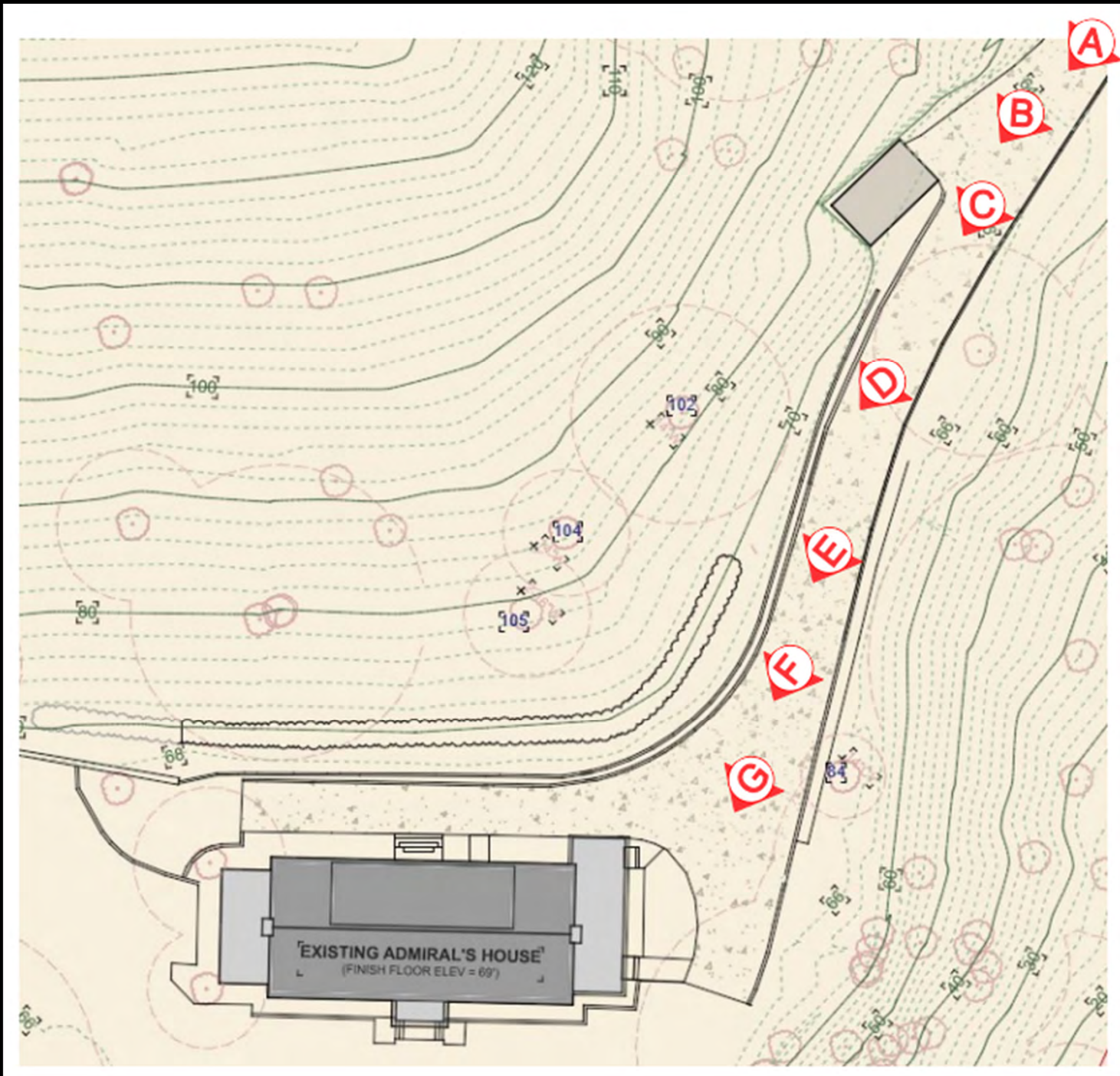


ENLARGED AERIAL – PROPOSED TURNAROUND

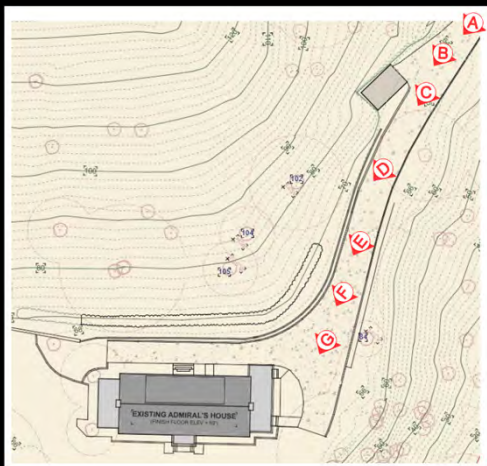


LANDMARK PRESERVATION BOUNDARY
NOT TO SCALE

LANDMARK PRESERVATION BOUNDARY



PLAN KEY – APPROACH PHOTOS



APPROACH PHOTOS

TO MAIN LAWN

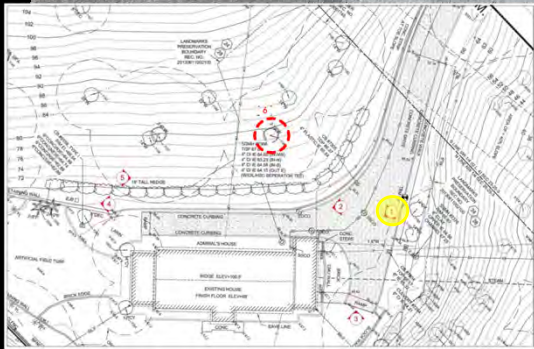
BALLROOM ENTRY

KITCHEN ENTRY



Y
TURNAROUND

TO WEST LAWN



1. TURNAROUND & SE END OF ADMIRAL'S HOUSE

TO WEST LAWN

ARBORVITAE HEDGE



Y
TURNAROUND

2. VIEW TO NORTHWEST OF HOUSE

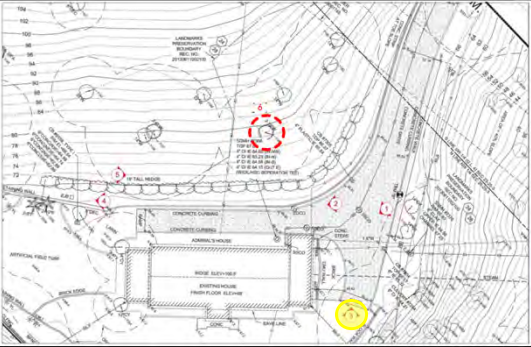


BALLROOM
ENTRY

ARBORVITAE HEDGE

Y TURNAROUND

TO MAIN LAWN



3. VIEW TOWARD TURNAROUND FROM SE END OF HOUSE



RETAINING WALL

4. WEST RETAINING WALL

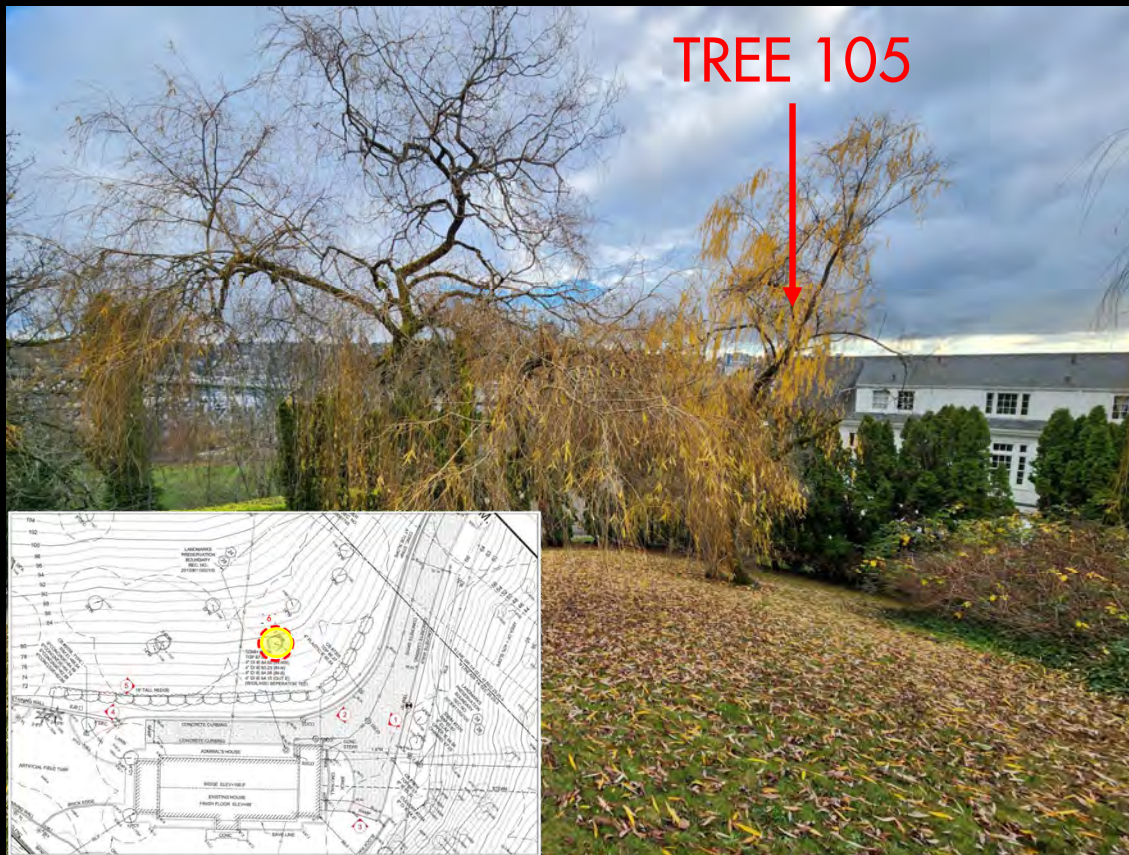


PIPE RAIL

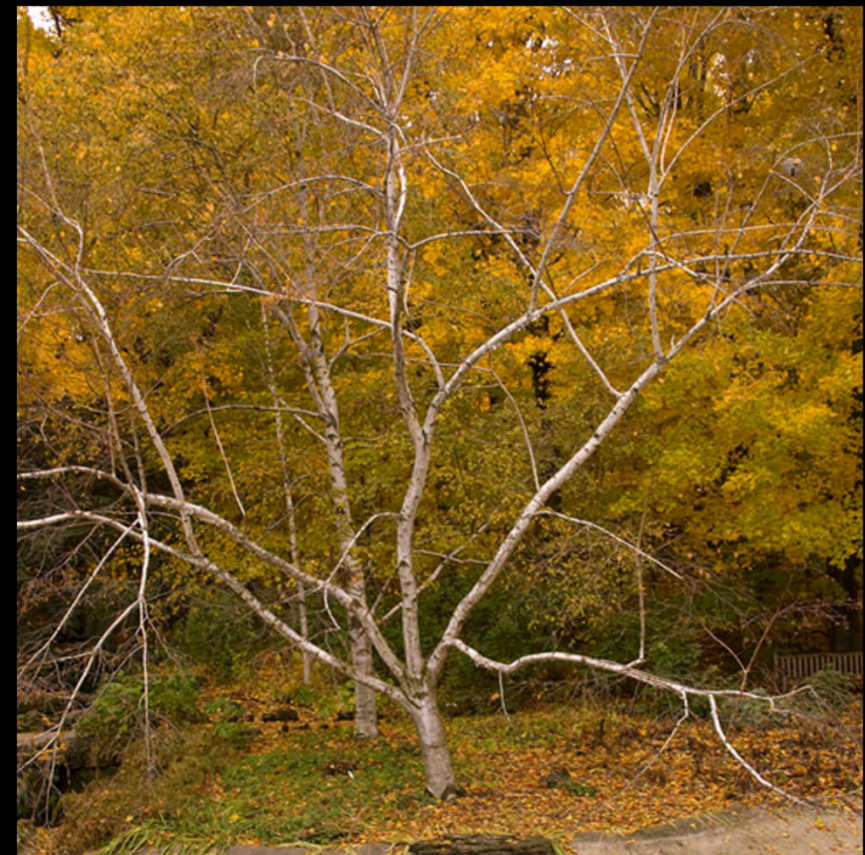
5. ARBORVITAE HEDGE – NW SIDE

2	3	4	5	6	15	16	17	18	19	20	21
TREE LOCATION	TREE #	SPECIES	DBH	DRIP LINE	COMMENTS	STATUS	CURRENT HEALTH RATING	VIABILITY	RECOMMENDATION	REASON FOR PROPOSED REMOVAL	# of Trees
Slope below park, North of house	105	WW/Sb	18.0"	20'	Tree failed in recent storm. 60% of canopy is on the ground. The remaining canopy is unstable.	Not Exceptional, Hazard	Dying	Non-viable	Remove for Safety	Fell in storm	1

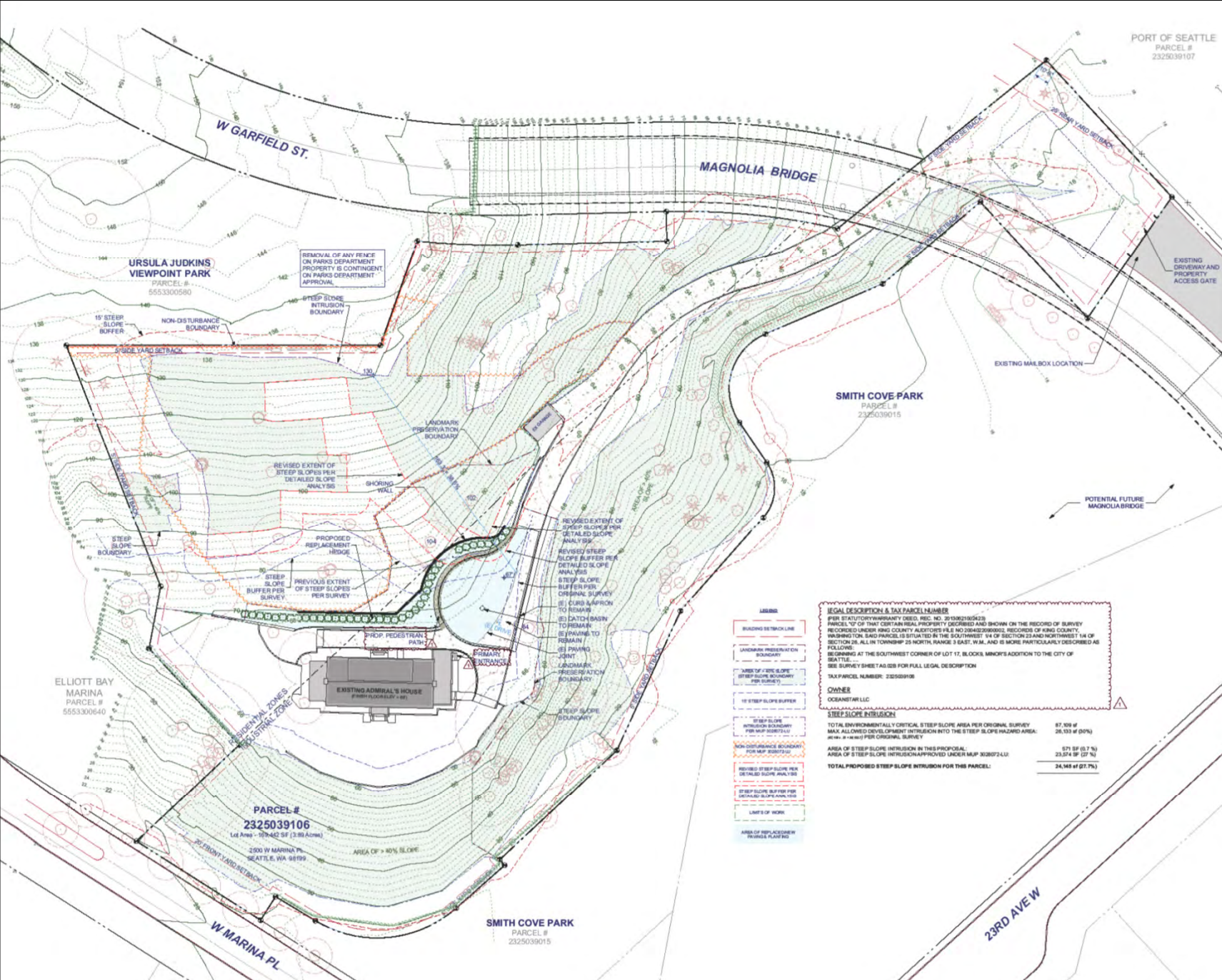
Per SMC 25.09.070.F hazard trees in environmentally critical areas must be replaced with a native species of a similar structure. Paper birch was selected because upon maturity, it will be a similar size and have a weeping look much like the non-native weeping willows within the slope.



6. EXISTING WILLOW



6. PROPOSED PAPER BIRCH



LEGEND

- BOUNDARY SETBACK LINE
- LANDMARK PRESERVATION BOUNDARY
- AREA OF > 10% SLOPE STEEP SLOPE BOUNDARY (PER SURVEY)
- 15' STEEP SLOPE BUFFER
- STEEP SLOPE INTRUSION BOUNDARY (PER MUP 303807.2.U)
- NON-DISTURBANCE BOUNDARY (FOR MUP 303807.2.U)
- REVISED STEEP SLOPE BUFFER PER DETAILED SLOPE ANALYSIS
- STEEP SLOPE BUFFER PER DETAILED SLOPE ANALYSIS
- LIMITS OF WORK
- AREA OF REPLACEMENT (WHEELS PLANTING)

LEGAL DESCRIPTION & TAX PARCEL NUMBER
 PER STATUTORY WARRANTY DEED, REC. NO. 2015062100623
 PARCEL "D" OF THAT CERTAIN REAL PROPERTY DESCRIBED AND SHOWN ON THE RECORD OF SURVEY RECORDED UNDER KING COUNTY AUDITOR'S FILE NO. 200422000001, RECORDS OF KING COUNTY, WASHINGTON, SAID PARCEL IS SITUATED IN THE SOUTHWEST ¼ 4 OF SECTION 23 AND NORTHWEST ¼ 4 OF SECTION 24, ALL IN TOWNSHIP 23 NORTH, RANGE 3 EAST, W.M., AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF LOT 17, BLOCK 6, MINOR'S ADDITION TO THE CITY OF SEATTLE;
 SEE SURVEY SHEET 10218 FOR FULL LEGAL DESCRIPTION
 TAX PARCEL NUMBER: 2325039106

OWNER
 OCEANSTAR LLC

STEEP SLOPE INTRUSION

TOTAL ENVIRONMENTALLY CRITICAL STEEP SLOPE AREA PER ORIGINAL SURVEY	87,339 SF
MAX. ALLOWED DEVELOPMENT INTRUSION INTO THE STEEP SLOPE HAZARD AREA: 40% (40% OF 87,339 SF)	28,133 SF (32%)
AREA OF STEEP SLOPE INTRUSION IN THIS PROPOSAL	871 SF (1%)
AREA OF STEEP SLOPE INTRUSION APPROVED UNDER MUP 303807.2.U	23,574 SF (27%)
TOTAL PROPOSED STEEP SLOPE INTRUSION FOR THIS PARCEL:	24,445 SF (27.7%)

PROPOSED SITE PLAN



The study area consists of a portion of the existing driveway and area adjacent to the northeast corner of the building, which is bordered to the northwest by a hedge of arborvitae (*Thuja occidentalis*). Many of these shrubs are in fair to poor condition, with several in very poor or dead condition. Approximately 10 of these shrubs and artificial turf grass will need to be removed to accommodate the proposed turnaround.

Facet Arborist Report, 2/6/25, p. 2

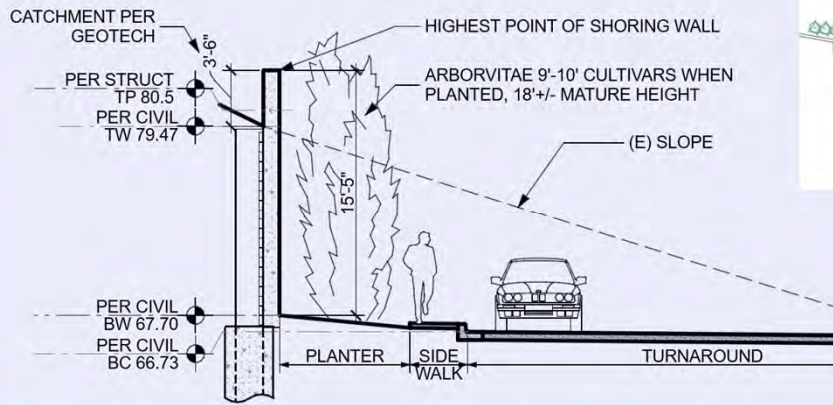
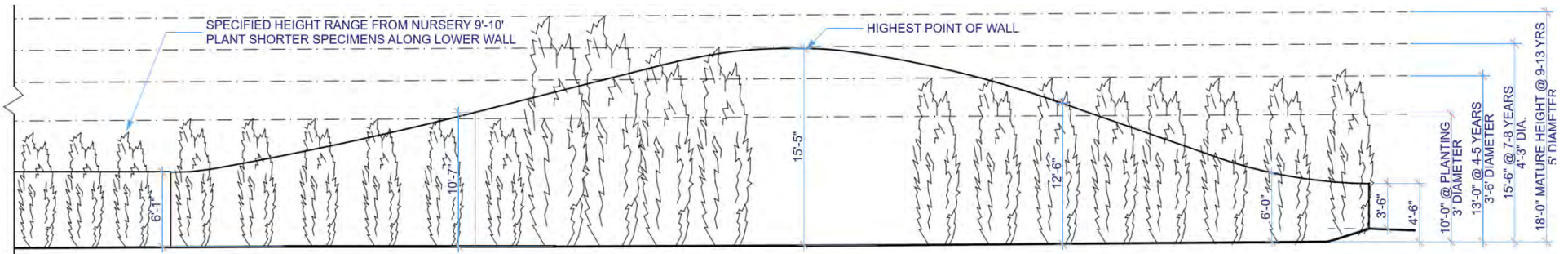
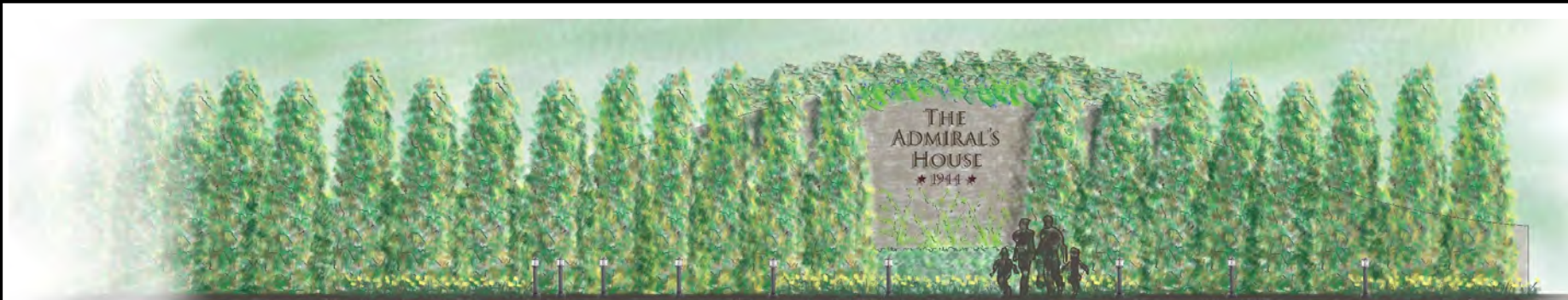


1953 AERIAL PHOTO

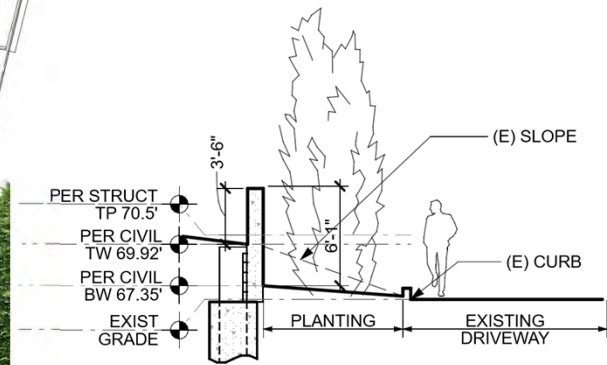
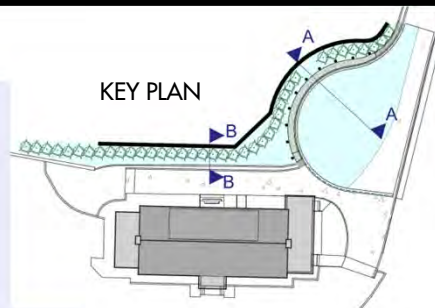


1965 AERIAL PHOTO

EXISTING ARBORVITAE HEDGE

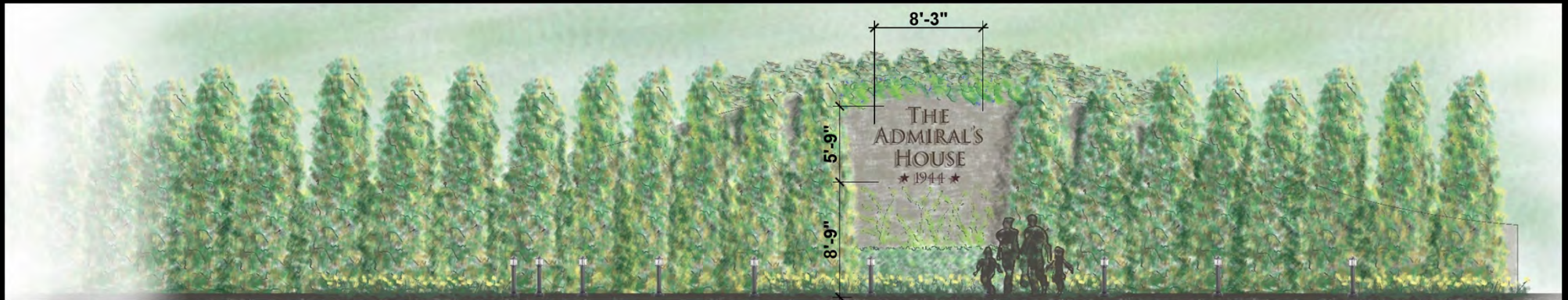


A SITE SECTION @ MAX WALL HT
SCALE: 1/8" = 1'-0"



B SITE SECTION @ LOW WALL HT
SCALE: 1/8" = 1'-0"

PROPOSED ARBORVITAE HEDGE



FONT FACE

TRAJAN

LETTER SIZES

LARGE/SMALL CAPS: 14"/12" H
DATE: 8" H

MATERIAL

OPTION 1

OPTION 2



GEMINI

GEMINI

CAST ALUMINUM

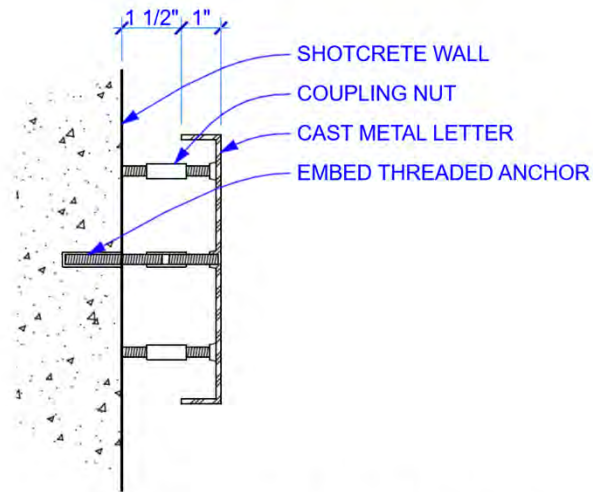
CAST BRONZE

PAINT - 0134

BRUSHED

OLD COPPER

CLEAR SEALER

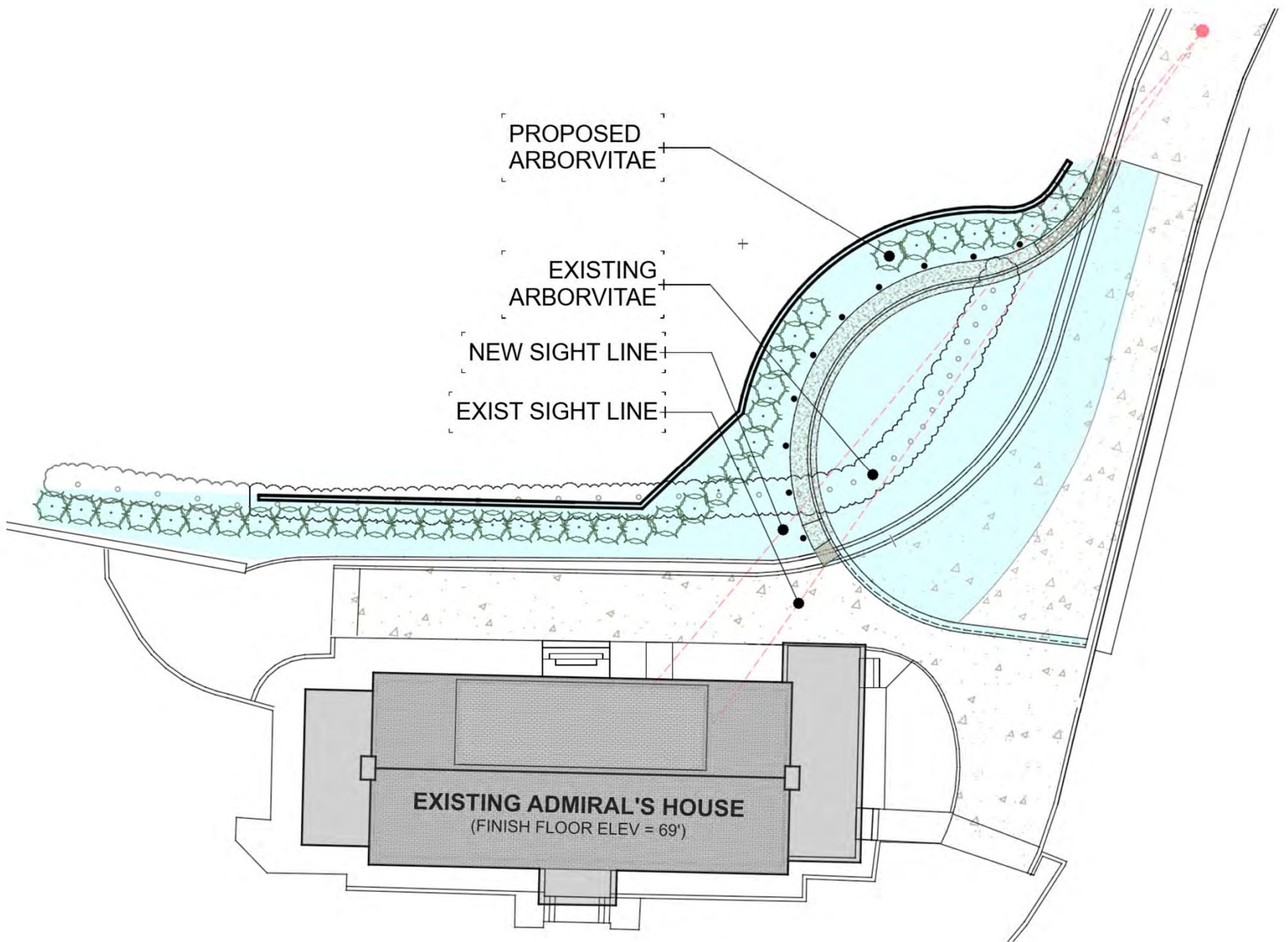


LETTERING STANDOFF DETAIL

SCALE: 3" = 1'-0"



PROPOSED SIGNAGE



EXISTING VS. NEW HEDGE



GENERAL NOTES

GENERAL:
THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MAY BE REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF THE ARCHITECT. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF THE ARCHITECT. © 2021 GELOTTE HOMMAS DRIVDAHL ARCHITECTURE, P.S. THESE DRAWINGS ARE FULLY PROTECTED BY FEDERAL AND STATE COPYRIGHT LAWS. ANY INFRINGEMENT WILL BE VIGOROUSLY PROSECUTED.

ALL CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY THE STATE OF WASHINGTON AND BE IN ACCORDANCE WITH WASHINGTON STATE LAWS, REGULATIONS AND VARIOUS CODES IMPOSED BY LOCAL AUTHORITIES.

DO NOT SCALE DRAWINGS OR DETAILS - USE GIVEN DIMENSIONS. CHECK DETAILS FOR LOCATION OF ALL ITEMS NOT DIMENSIONED ON THE PLANS. DIMENSIONS ON THE PLANS ARE TO FACE OF FRAMING OR CENTERLINE OF COLUMNS UNLESS NOTED OTHERWISE.

DOOR AND CASING OPENINGS WITHOUT DIMENSIONS ARE TO BE 4" FROM FACE OF ADJACENT WALL OR CENTERED BETWEEN WALLS, UNLESS NOTED OTHERWISE.

VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.

THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.

CONTRACTORS RESPONSIBILITY:

CONTRACTOR TO VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES PRIOR TO CONSTRUCTION. CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS OR FROM THE CODES.

CONTRACTOR INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE OWNER / ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.

ALL STRUCTURAL SYSTEMS SUCH AS WOOD TRUSSES WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

CONTRACTOR TO COORDINATE FRAMING LAYOUT WITH ELECTRICAL AND MECHANICAL PLAN.

SOILS:

UNLESS A SOILS REPORT BY A SOILS ENGINEER IS PROVIDED AND ATTACHED THIS OFFICE ASSUMES NO RESPONSIBILITY AS TO THE PHYSICAL CHARACTERISTICS OF THE SOIL. FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 2,000 PSF. ALL FOOTINGS SHALL BE CAST ON UNDISTURBED FIRM NATURAL SOIL OR COMPACTED SOIL OF 2,000 PSF BEARING CAPACITY AT LEAST 1'-6" BELOW LOWEST ADJACENT GRADE, FREE OF ORGANIC MATERIALS. FOOTING EXCAVATION SHALL BE FREE OF LOOSE SOILS, DEBRIS, AND FREE OF WATER AT ALL TIMES. THIS OFFICE TAKES NO RESPONSIBILITY IN VERIFYING THE ACCURACY OF ENGINEERING DATA SUPPLIED BY OTHERS.

CLEARING AND GRADING (T.E.S.C. MEASURES):

ALL CLEARING AND GRADING MUST BE IN ACCORDANCE WITH LOCAL JURISDICTION CLEARING AND GRADING EROSION CONTROL STANDARDS, DEVELOPMENT STANDARDS, LAND USE CODE, INTERNATIONAL RESIDENTIAL CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES AND STANDARDS. THE DESIGN ELEMENTS WITH THESE PLANS HAVE BEEN REVIEWED TO THESE REQUIREMENTS. ANY VARIANCE FROM THE ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE LOCAL JURISDICTION PRIOR TO CONSTRUCTION.

A COPY OF THE APPROVED PLANS MUST BE ON-SITE WHENEVER CONSTRUCTION IS IN PROGRESS. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.

ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE EFFECTED BY THE WORK.

FINAL SITE DRAINAGE MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM OF 6" WITHIN THE FIRST 10' FROM RC R401.3

ADMIRAL'S HOUSE TURNAROUND

2500 W MARINA PL SEATTLE, WA 98199



PROJECT ADDRESS

2500 W MARINA PL
SEATTLE, WA 98199

LEGAL DESCRIPTION & TAX PARCEL NUMBER

(PER STATUTORY WARRANTY DEED, REC. NO. 20130621002423)
PARCEL "G" OF THAT CERTAIN REAL PROPERTY DESCRIBED AND SHOWN ON THE RECORD OF SURVEY RECORDED UNDER KING COUNTY AUDITOR'S FILE NO 2004022090002, RECORDS OF KING COUNTY, WASHINGTON, SAID PARCEL IS SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23 AND NORTHWEST 1/4 OF SECTION 26, ALL IN TOWNSHIP 25 NORTH, RANGE 3 EAST, W.M., AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 17, BLOCK 9, MINOR'S ADDITION TO THE CITY OF SEATTLE, ... SEE SURVEY SHEET A0.02B FOR FULL LEGAL DESCRIPTION

TAX PARCEL NUMBER: 2325039106

OWNER

OCEANSTAR LLC

ZONING CLASSIFICATION

BASE ZONE:
IG1 U/45, SF 7200, SF 5000

IG1 U/45: Industrial General1 Unlimited/45
SF 7200: Single Family 7200
SF 5000: Single Family 5000

SHORELINE ZONE
UI, UR

UI: Urban Industrial
UR: Urban Residential

BUILDING CLASSIFICATION

BUILDING CODES:
2021 IRC - International Building Code & WA State Amendments Chapter 51-50 WAC
2021 IRC - International Residential Code & WA State Amendments Chapter 51-51 WAC
2021 WSEC - WA State Energy Code (WAC 51-11C - Commercial) - (WAC 51-11R - Residential)
2021 IMC - International Mechanical Code & WA State Amendments Chapter 51-52 WAC
2021 IFCC - International Fuel Gas Code, 2014 NFPA 58 & 2014 NFPA 54
2021 IFC - International Fire Code
2021 UPC - Uniform Plumbing Code

ACCESSIBILITY CODES:
SBC CHAPTER 11, ICC A117.1, SEBC

JURISDICTION City of Seattle / SDCI
OCCUPANCY (IBC Chapter 3 & 4) OFFICE, RESIDENTIAL AND ENTERTAINMENT ASSEMBLY

DRAWING INDEX

ARCHITECTURAL

- A0.01 COVER SHEET
- A0.02A SURVEY (1 of 3)
- A0.02B SURVEY (2 of 3)
- A0.02C SURVEY (3 of 3)
- A0.03 CODE COMPLIANCE DIAGRAMS
- A0.04 CODE COMPLIANCE DIAGRAMS
- A1.02 ARCHITECTURAL SITE PLAN - EXISTING
- A1.03 ARCHITECTURAL SITE PLAN
- A1.05 COMPARISON PLANS
- A1.07 SITE FINISHES
- A1.11 SITE PHOTOS EXISTING & HISTORIC
- A1.12 AERIAL PHOTOS & PRESERVATION BOUNDARY
- A1.13 APPROACH PHOTOS
- A1.14 SITE PHOTOS

CIVIL

- C0.00 COVER SHEET
- C1.00 HORIZONTAL CONTROL PLAN
- C1.10 ECA MAP
- C2.00 DEMOLITION PLAN
- C3.00 TESC PLAN
- C3.10 TESC DETAILS
- C3.11 TESC NOTES & DETAILS
- C4.00 GRADING AND PAVING PLAN
- C4.01 GRADING ENLARGEMENT
- C4.02 TYPICAL SECTIONS & PAVING DETAILS
- C4.10 GRADING AND DRAINAGE DETAILS
- C4.11 PAVING DETAILS
- C5.00 ONSITE STORM WATER MANAGEMENT PLAN

STRUCTURAL

- S0.01 STRUCTURAL NOTES, SPECIAL INSPECTIONS AND DRAWING LIST
- S0.02 STRUCTURAL ABBREVIATIONS, DRAWING SYMBOLS, AND DESIGN PRESSURES
- S1.01 STRUCTURAL PLAN
- S2.01 WALL ELEVATIONS
- S3.01 WALL SECTIONS
- S4.01 STRUCTURAL DETAILS

ENVIRONMENTAL

- L001 EXISTING CRITICAL AREA CONDITIONS
- L002 SITE PLAN AND IMPACT ANALYSIS
- L003 TREE RETENTION PLAN
- L004 SITE IMPACT AND TREE RETENTION PLAN
- L005 PLANT INSTALLATION NOTES AND DETAILS

PROJECT DIRECTORY

GENERAL CONTRACTOR

COLVOS CONSTRUCTION
Attn: Mike Davis

711 Court C
Tacoma WA 98402
253.225.2130
mdavis@colvosconstruction.com

STRUCTURAL ENGINEER

KPFF
Attn: Eli Branch

1601 Fifth Avenue,
Suite 1600
Seattle, WA 98101
206.622.5822
eli.branch@kpff.com

ENVIRONMENTAL ENGINEER

FACET
Attn: Kenny Booth

750 6th St S
Kirkland WA 98033
425.850.1320
kbooth@facetnw.com

SURVEY

Triad Associates
Attn: Gregory T. Juneau

20300 Woodinville Snohomish Road NE
Suite A
Woodinville WA 98072
425.415.2000
#Interior Contact E-mail

ARCHITECT

GELOTTE HOMMAS DRIVDAHL
ARCHITECTURE
Attn: Tom Brown

2340 130th Ave. NE, Suite 100
Bellevue, WA 98005
425.828.3081
tomb@ghdarch.com

CIVIL ENGINEER

KPFF
Attn: Elise Callahan

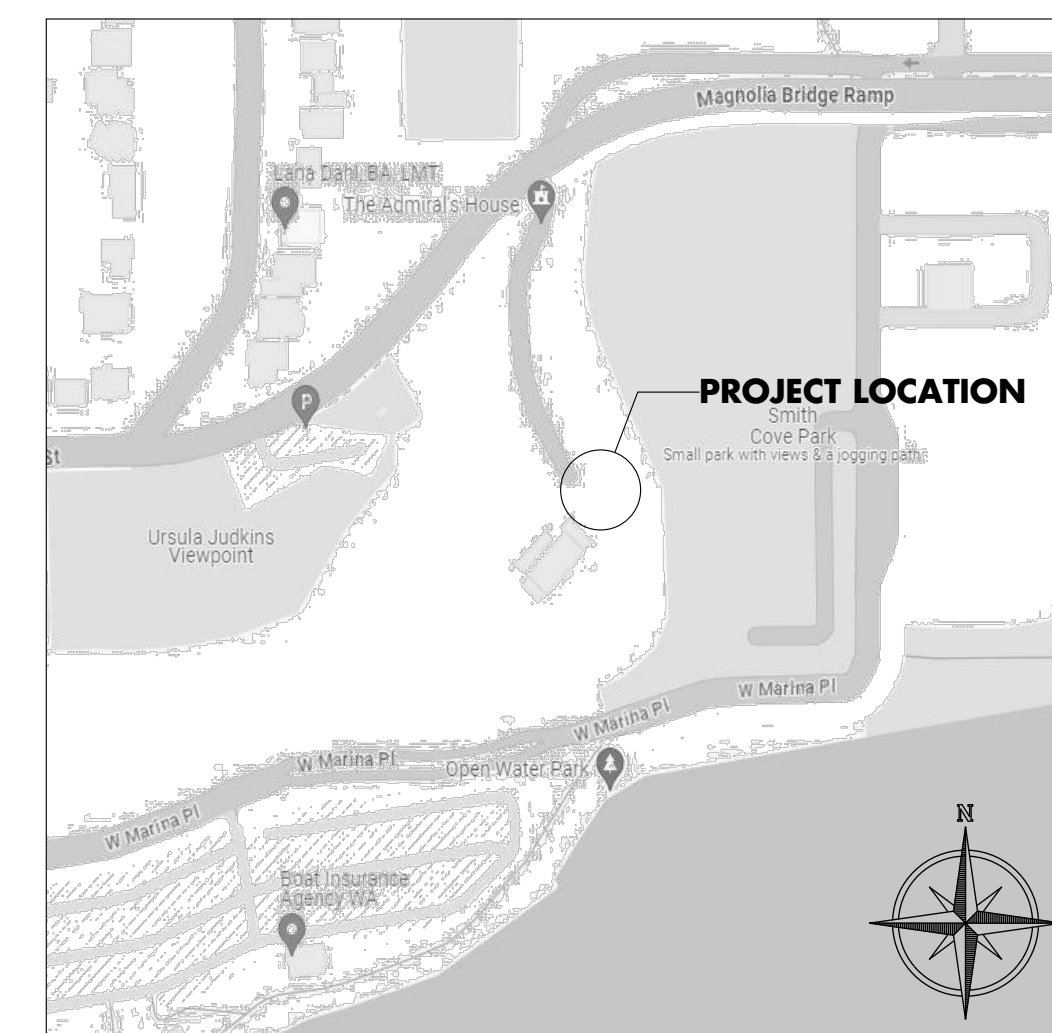
1601 5th Ave
Suite 1600
Seattle, WA 98101
206.622.5822
Elise.Callahan@kpff.com

GEOTECHNICAL ENGINEER

HWA GeoSciences
Attn: Michael Place

21312 30th Dr SE
Bothell, WA 98021
425.774.0106
MPlace@hwagep.com

VICINITY MAP



GELOTTE HOMMAS DRIVDAHL
ARCHITECTURE
THEARTOFARCHITECTURE.COM
2340 130th Ave. NE, Suite 100, Bellevue, WA 98005
425-828-3081

**ADMIRAL'S HOUSE
TURNAROUND**
2500 W MARINA PL
SEATTLE, WA 98199

LANDMARKS REVIEW

Job No. 2313

Project Manager: TB

Issue Date: 3/27/2026

NO.	DATE	REVISION
	05/01/2025	PERMIT REVISION - 1
	10/07/2025	PERMIT REVISION - 2
	01/12/2026	PERMIT REVISION - 3
	03/10/2026	LANDMARKS
	03/27/2026	LANDMARKS UPDATE

COVER SHEET

A0.01

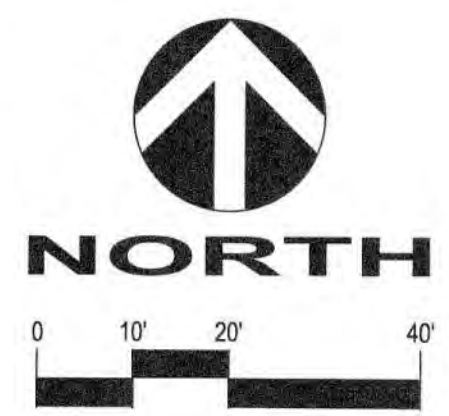
FAA AN POR. SW 1/4 SEC. 23 & NW 1/4 SEC. 26, TWP. 25 N., RGE. 3 E., W.M.



GENERAL NOTES

- BOUNDARY LINES AND LEGAL DESCRIPTION SHOWN ARE BASED ON RECORD OF SURVEY, VOL. 167 OF SURVEYS, PAGE 271, RECORDING NO. 2004022900002.
- EASEMENTS ARE BASED ON THE TITLE REPORT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, POLICY NO. 6110552610, DATED JUNE 21, 2013, AT 4:28 P.M.
- INSTRUMENTATION FOR THIS SURVEY DONE IN OCTOBER AND NOVEMBER, 2016 WAS A LEICA TOTAL STATION FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. INSTRUMENTATION FOR THIS SURVEY DONE IN JULY, 2023 WAS A TRIMBLE VX TOTAL STATION FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN OCTOBER AND NOVEMBER, 2016 AND JULY, 2023 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITION EXISTING AT THAT TIME.
- SANITARY SEWER AND STORM DRAINAGE FACILITIES HAVE BEEN ASBUILT THROUGH FIELD MEASUREMENTS OF THE LOCATION OF THE ACCESS STRUCTURES, THE TOP ELEVATION OF THE STRUCTURES, AND THE INVERT ELEVATIONS OF ANY PIPES ENTERING OR LEAVING THE STRUCTURES. IT IS BASED ON UTILITY MAPS FROM CITY AND UTILITY DRAWINGS INDICATING REPORTED UTILITY INSTALLATIONS. OTHER UTILITIES MAY EXIST. NO SUB-SURFACE EXPLORATION WAS MADE TO VERIFY UTILITY ROUTINGS AND THE ROUTING OF ALL BURIED UTILITIES SHOULD BE CONFIRMED WITH THE UTILITY PURVEYOR AND EXPOSED IN AREAS CRITICAL TO DESIGN OR CONSTRUCTION FOR VERIFICATION.
- UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON ASBUILT FIELD LOCATION OF EXISTING STRUCTURES. FIELD LOCATION OF UTILITIES BASED ON LOCATOR PAINT MARKINGS AND LOCATIONS BASED ON UTILITY MAPS FROM CITY AND UTILITY DRAWINGS INDICATING REPORTED UTILITY INSTALLATIONS. OTHER UTILITIES MAY EXIST. NO SUB-SURFACE EXPLORATION WAS MADE TO VERIFY UTILITY ROUTINGS AND THE ROUTING OF ALL BURIED UTILITIES SHOULD BE CONFIRMED WITH THE UTILITY PURVEYOR AND EXPOSED IN AREAS CRITICAL TO DESIGN OR CONSTRUCTION FOR VERIFICATION.
- TOTAL PARCEL AREA 169,442 S.F. ± (ASSESSOR'S PARCEL NO. 232503-9106 ONLY)
TOTAL LOT COVERAGE 25,051 S.F. ± (14.8%)
- THE REPORT ON DESIGNATION ISSUED SEPTEMBER 1, 2010 BY THE SEATTLE LANDMARKS PRESERVATION BOARD NOTED THE ADDRESS OF THE ADMIRAL'S HOUSE AS 2001 WEST GARFIELD STREET, SEATTLE. HOWEVER, THE KING COUNTY ASSESSOR AND THE ADMIRAL'S HOUSE WEBSITE (WWW.THEADMIRALSHOUSE.COM) NOTE THE ADDRESS AS 2500 WEST MARINA PLACE, SEATTLE. THE LEGAL DESCRIPTION IN THE REPORT ENCIRCLES THE ADMIRAL'S HOUSE AS NOTED HEREON.
- THE PURPOSE OF THE TOPOGRAPHIC ELEMENTS SHOWN HEREON ARE FOR PLANNING AND CIVIL ENGINEERING DESIGN.

NOTE: SEE SHEET 2 OF 3 FOR LEGEND, LEGAL DESCRIPTION AND EASEMENTS OF RECORD



SCALE: 1" = 20'

CONTOUR INTERVAL = 2'
BASIS OF BEARINGS
REFER TO SEATTLE TIDELANDS MERIDIAN
VERTICAL DATUM
NAVD 88

BENCH MARK
ORIGINAL BENCHMARK - SPU BP#5032 @ BACK SEAM CONC WALK, S SIDE W GALER ST OPPOSITE CENTERLINE OF 28TH AVE W EXTENDED ELEVATION = 176.76
TBM "A" - TACK IN LEAD IN CONC WALK OPPOSITE GATE ELEVATION = 154.18
TBM "B" - MAG NAIL AT BACK OF CURB/EDGE OF SIDEWALK, EAST SIDE OF DRIVEWAY, NORTHEAST OF ADMIRAL HOUSE ELEVATION = 66.87



ADMIRAL HOUSE
TOPOGRAPHIC SURVEY
OCEANSTAR LLC
2500 WEST MARINA PLACE
SEATTLE, WASHINGTON



DAVID EVANS AND ASSOCIATES, INC.
20300 Woodinville Snohomish Rd. NE, Ste A
Woodinville, Washington 98072
Phone: 425-415-2000

REVISIONS: APPD.
ADD TOPO ON SHEET 3 7/27/23

DATE: 11/28/16
DESIGN: ARJ
DRAWN: MSH/MHM
CHECKED: MSH/MHM
REVISION NUMBER:

SCALE: 1"=20'
PROJECT NUMBER:
GSEA0000001

DRAWING FILE:
SV-TP-GSEA0001-2023.dwg
SHEET NO.

Plot Date: 7/27/2023 11:57 AM
Save Date: 7/27/2023 9:05 AM
By: Aaron Jennings
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POR. SW 1/4 SEC. 23 & NW 1/4 SEC. 26, TWP. 25 N., RGE. 3 E., W.M.

SYMBOL LEGEND		HATCH LEGEND	
	CB CATCH BASIN (TYP I)		CONCRETE
	SDMH STORM DRAIN MANHOLE (TYP II)		ASPHALT PAVEMENT
	SDCO STORM DRAIN CLEANOUT		EXISTING BUILDING
	YD YARD DRAIN	LINE LEGEND	
	SSCO SANITARY SEWER CLEANOUT		SEATTLE'S LANDMARK PRESERVATION BOARD LEGAL DESCRIPTION
	SSMH SANITARY SEWER MANHOLE		AREA OF > 40% SLOPE
	SSS SANITARY SEWER STUB		FENCE LINE
	FH FIRE HYDRANT		BOARD FENCE
	HB HOSE BIB		CHAIN LINK FENCE
	ICV IRRIGATION CONTROL VALVE		POWER OVERHEAD
	STM STEAM		SANITARY SEWER LINE
	SV SHUTOFF VALVE		STORM DRAIN
	WB WATER BLOWOFF ASSEMBLY		WATER LINE
	WM WATER METER		POWER BURIED
	WMH WATER MANHOLE		GAS LINE
	WV WATER VALVE		TELEPHONE BURIED
	WVW WATER VAULT		STEAM BURIED
	GM GAS METER	TREE LEGEND	
	GV GAS VALVE		CONIFER TREE
	EJB ELECTRICAL JUNCTION BOX		CEDAR
	YL YARD LIGHT		FIR
	PP POWER POLE		HEMLOCK
	PL POWER POLE w/LIGHT		JUNIPER
	GUY UTILITY POLE ANCHOR		LARCH
	PS POWER STUB		PINE
	PM POWER METER		SPRUCE
	PV POWER VAULT		DECIDUOUS TREE
	XFR PAD MOUNTED TRANSFORMER		ALDER
	SL STREET LIGHT		BIRCH
	SLB STREET LIGHT BOX		CHESTNUT
	MB MAILBOX		CHERRY
	BOL BOLLARD		COTTONWOOD
	POST POST		DECIDUOUS
	SGN SIGN		DOGWOOD
	ROCKERY		ELM
	MIC FOUND MONUMENT IN CASE		MAPLE
	MON FOUND MONUMENT SURFACE		MAGNOLIA
	BENCH MARK		OAK
	FOUND LEAD AND TACK		POPLAR
	FOUND PROPERTY CORNER		WILLOW
	ASPH. ASPHALT		EVERGREEN TREE
	CONC. CONCRETE		HOLLY
	DWY. DRIVEWAY CUT		LAUREL
	DTCH. DITCH		MADRONA
	EXTR. EXTRUDED CURB		
	GRVL. GRAVEL		
	PA. PLANTER AREA		
	VERT. VERTICAL CURB		

LEGAL DESCRIPTION (PER STATUTORY WARRANTY DEED, REC. NO. 20130821002423, RECORDS OF KING COUNTY, WASHINGTON)

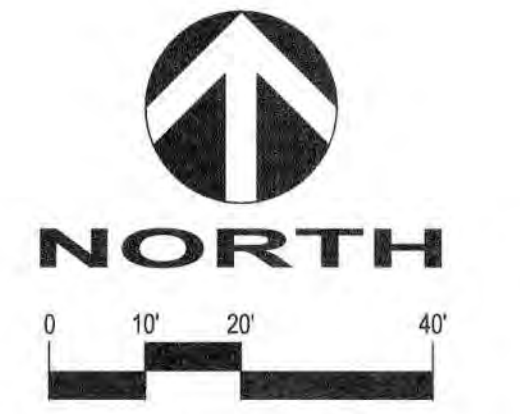
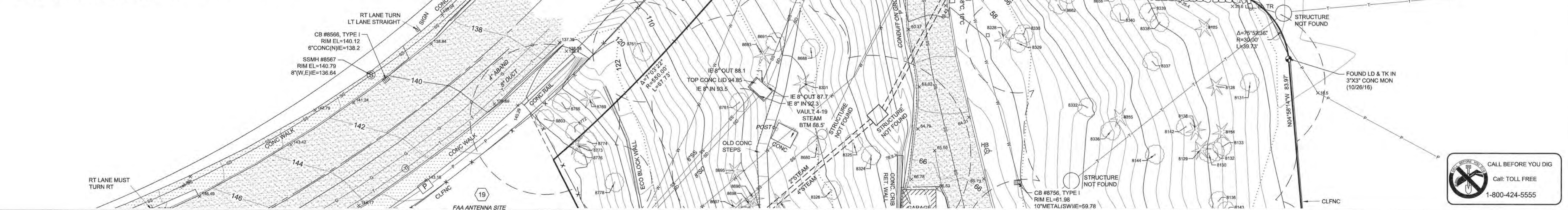
PARCEL "Q" OF THAT CERTAIN REAL PROPERTY DESCRIBED AND SHOWN ON THE RECORD OF SURVEY RECORDED UNDER KING COUNTY AUDITOR'S FILE NO. 2004022090002, RECORDS OF KING COUNTY, WASHINGTON. SAID PARCEL IS SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23 AND THE NORTHWEST 1/4 OF SECTION 26, ALL IN TOWNSHIP 25 NORTH, RANGE 3 EAST, W.M., AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 17, BLOCK 9, MINOR'S ADDITION TO THE CITY OF SEATTLE, ALSO KNOWN AS THE TRUE POINT OF BEGINNING OF QUIT CLAIM DEED RECORDED UNDER KING COUNTY AUDITOR'S FILE NO. 7606300880, AND THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION, SAID POINT BEING A 1" BRASS DISK IN CONCRETE;
 THENCE SOUTH 89°08'13" WEST ALONG THE NORTH MARGIN OF WEST OAKES STREET AS PLATTED IN SAID MINOR'S ADDITION A DISTANCE OF 88.36 FEET TO A 1" BRASS DISK IN CONCRETE;
 THENCE NORTH 37°01'35" WEST A DISTANCE OF 42.26 FEET TO A FENCE CORNER;
 THENCE NORTH 68°59'49" WEST A DISTANCE OF 173.81 FEET TO A FENCE CORNER;
 THENCE NORTH 42°22'17" EAST A DISTANCE OF 210.78 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE NORTH 28°13'08" WEST A DISTANCE OF 74.51 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE EAST AND NORTH ALONG A CURVE TO THE LEFT, THE RADIUS POINT BEARING NORTH 41°58'19" WEST, WITH A RADIUS OF 550.00 FEET, A CENTRAL ANGLE OF 07°03'22" AN ARC DISTANCE OF 87.73 FEET TO A 1" BRASS DISK IN CONCRETE;
 THENCE NORTH 40°58'18" EAST A DISTANCE OF 100.00 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE NORTH 49°01'42" WEST A DISTANCE OF 20.00 FEET TO THE SOUTH MARGIN OF WEST GARFIELD STREET AS ESTABLISHED BY THE CITY OF SEATTLE CONDEMNATION ORDINANCE 35518, AND A POINT OF CURVATURE, SAID POINT BEING A REBAR AND ALUMINUM CAP;
 THENCE EAST AND NORTH ALONG A CURVE TO THE RIGHT, THE RADIUS POINT BEARING SOUTH 48°01'42" EAST, WITH A RADIUS OF 470.00 FEET, A CENTRAL ANGLE OF 14°07'59", AN ARC DISTANCE OF 115.93 FEET TO A REBAR AND ALUMINUM CAP;
 THENCE NORTH 03°31'36" EAST A DISTANCE OF 178.84 FEET TO THE NORTHWEST CORNER OF THE PROPERTY EXCEPTION TO SAID QUIT CLAIM DEED (AFN # 7606300880), SAID POINT BEING A REBAR AND ALUMINUM CAP;
 THENCE NORTH 89°46'23" EAST A DISTANCE OF 124.51 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE SOUTH 12°54'49" EAST A DISTANCE OF 99.23 FEET TO A REBAR AND ALUMINUM CAP;
 THENCE SOUTH 89°49'23" WEST A DISTANCE OF 106.30 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE SOUTH 02°15'17" WEST A DISTANCE OF 85.82 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE SOUTH 19°15'04" WEST A DISTANCE OF 85.61 FEET TO A POINT OF CURVATURE, AND A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE SOUTH AND EAST ALONG A CURVE TO THE LEFT, THE RADIUS POINT BEARING SOUTH 70°44'56" WEST, WITH A RADIUS OF 40.00 FEET, A CENTRAL ANGLE OF 10°14'19", AN ARC DISTANCE OF 39.73 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE SOUTH 81°59'14" EAST A DISTANCE OF 32.46 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE EAST AND SOUTH ALONG A CURVE TO THE RIGHT, THE RADIUS POINT BEARING SOUTH 08°00'46" WEST, WITH A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 07°52'59", AN ARC DISTANCE OF 39.73 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE SOUTH 06°06'38" EAST A DISTANCE OF 83.97 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE SOUTH 23°01'25" EAST A DISTANCE OF 102.53 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE SOUTH 00°46'37" EAST A DISTANCE OF 107.79 FEET TO A REBAR AND ALUMINUM CAP;
 THENCE SOUTH 88°18'21" EAST A DISTANCE OF 4.58 FEET TO A REBAR AND ALUMINUM CAP;
 THENCE SOUTH 00°51'42" WEST A DISTANCE OF 43.38 FEET TO A POINT OF CURVATURE, SAID POINT BEING A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE SOUTH AND WEST ALONG A CURVE TO THE RIGHT, THE RADIUS POINT BEARING NORTH 89°08'18" WEST, WITH A RADIUS OF 80.00 FEET, A CENTRAL ANGLE OF 72°42'19", AN ARC DISTANCE OF 101.52 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE SOUTH 73°34'01" WEST A DISTANCE OF 31.32 FEET TO A REBAR AND ALUMINUM CAP;
 THENCE SOUTH 15°10'12" EAST A DISTANCE OF 18.72 FEET TO THE NORTH MARGIN OF MARINA PLACE AS SET FORTH IN AUDITOR'S FILE # 116480, SAID POINT BEING A CONCRETE MONUMENT WITH TACK & LEAD;
 THENCE SOUTH 74°49'48" WEST A DISTANCE OF 98.84 FEET TO A REBAR AND ALUMINUM CAP;
 THENCE NORTH 00°51'47" WEST A DISTANCE OF 94.75 FEET TO THE TRUE POINT OF BEGINNING.

SAID PARCEL CONTAINING 3.89 ACRES, MORE OR LESS.
 SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON.

EASEMENTS OF RECORD

- 15. THIS PROPERTY IS SUBJECT TO EASEMENT FOR SANITARY SEWER LINE AND THE TERMS AND CONDITIONS THEREOF, 10 FEET IN WIDTH, IN FAVOR OF THE CITY OF SEATTLE, RECORDED JUNE 27, 1977 UNDER RECORDING NO. 7709271012. PLOTTED HEREON.
- 16. COVENANT FOR GEOLOGIC HAZARD AREA AND THE TERMS AND CONDITIONS THEREOF, RECORDED NOVEMBER 28, 1994 UNDER RECORDING NO. 9411291204. SAID DOCUMENT PERTAINS TO PORT OF SEATTLE TERMINAL 91 PROPERTY AND DOES NOT INCLUDE THE AREA COVERED BY THIS SURVEY. THE SPECIFIC HAZARD AREA IS NOT DEFINED IN SAID DOCUMENT.
- 19. THE QUIT CLAIM DEED RECORDED AUGUST 29, 2003 UNDER RECORDING NO. 20030829003914 WHICH CONVEYED PARCELS OF LAND TO THE CITY OF SEATTLE, RESERVES A 20' WIDE UTILITY EASEMENT FOR CABLE TV SERVICE LINES (CENTERED ON ASBUILT FACILITIES) AND A PARCEL OF LAND FOR FAA EASEMENT. THE FAA EASEMENT IS PLOTTED HEREON, HOWEVER THE EXACT LOCATION OF THE CABLE TV LINES ARE UNKNOWN.
- 21. THIS PROPERTY IS SUBJECT TO COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS CONTAINED IN QUIT CLAIM DEED RECORDED OCTOBER 5, 2012 UNDER RECORDING NO. 20121009001714. GRANTOR (USA) RETAINS ACCESS RIGHTS ON, OVER AND THROUGH THE PROPERTY FOR ENVIRONMENTAL RESPONSE PURPOSES.
- 22. THIS PROPERTY IS SUBJECT TO A 30 FOOT WIDE UTILITY EASEMENT AND THE TERMS AND CONDITIONS THEREOF RECORDED JANUARY 3, 2013 UNDER RECORDING NO. 20130103001748 IN FAVOR OF KING COUNTYMETRO. THE EASTERLY 40 FEET OF SAID EASEMENT IS FOR A SURFACE SEWER LINE AND THE REMAINING WESTERLY PORTION IS FOR A SUBTERRANEAN SEWER LINE. PLOTTED HEREON.
- 23. THIS PROPERTY IS SUBJECT TO A VIEW CORRIDOR AND LANDSCAPE MAINTENANCE COVENANT ORIGINALLY RECORDED JANUARY 10, 2013 UNDER RECORDING NO. 20130110001784 AND RE-RECORDED JUNE 13, 2013 UNDER RECORDING NO. 20130613001828. SAID DOCUMENT DISCLOSES 5 ZONES ON THE PROPERTY WITH VARYING HEIGHT LIMITS FOR VEGETATION. THE EXHIBITS ESTABLISHING THESE ZONES WERE NOT RECORDED WITH THE COVENANT AND ARE AVAILABLE AT THE OFFICES OF PACIFIC NORTHWEST COMMUNITIES, LLC.
- 24. THIS PROPERTY IS SUBJECT TO CITY OF SEATTLE ORDINANCE 124135, RECORDED APRIL 2, 2013 UNDER RECORDING NO. 20130402000659, WHICH DESIGNATES THE ADMIRAL HOUSE AND A PORTION OF THE PROPERTY AS A HISTORIC LANDMARK.
- 28. THIS PROPERTY IS SUBJECT TO HISTORIC PRESERVATION EASEMENT AND COVENANTS, RECORDED JUNE 11, 2013 UNDER RECORDING NO. 20130611002100. THE PORTION OF THE PROPERTY SUBJECT TO HISTORIC PRESERVATION IS DELINEATED ON THIS SURVEY.



SCALE: 1" = 20'
 CONTOUR INTERVAL = 2'
 BASIS OF BEARINGS
 REFER TO SEATTLE TIDELANDS MERIDIAN
 VERTICAL DATUM
 NAVD 88
 BENCH MARK
 ORIGINAL BENCHMARK - SPW BP#5032 @ BACK SEAM CONC WALK, S SIDE W GALER ST OPPOSITE CENTERLINE OF 28TH AVE W EXTENDED ELEVATION = 178.76
 TBM "A" - TACK IN LEAD IN CONC WALK OPPOSITE GATE ELEVATION = 154.18
 TBM "B" - MAG NAIL AT BACK OF CURB/EDGE OF SIDEWALK EAST SIDE OF DRIVEWAY, NORTHEAST OF ADMIRAL HOUSE ELEVATION = 66.87

ADMIRAL HOUSE
 TOPOGRAPHIC SURVEY
 OCEANSTAR LLC
 2500 WEST MARINA PLACE
 SEATTLE, WASHINGTON



DAVID EVANS
 AND ASSOCIATES, INC.
 20300 Woodinville Station Rd, NE, Ste A
 Woodinville, WA 98072
 Phone: 425.415.2000

REVISIONS: APPD.
 ADD TOPO ON SHEET 3 7/27/23

DATE: 11/28/16
 DESIGN:
 DRAWN: ARJ
 CHECKED: MSH/MHM
 REVISION NUMBER:

SCALE: 1"=20'

PROJECT NUMBER:
 GSEA00000001

DRAWING FILE:
 SV-TP-GSEA0001-2023.dwg

SHEET NO.

2
 OF 3



Plot Date: 1/27/2023 11:57 AM
 Save Date: 1/27/2023 9:05 AM
 By: Aaron Jennings
 File: P:\GISGSEA00000001\0400CAD\ADVIS\BASE\SV-TP-GSEA0001-2023.dwg

POR. SW 1/4 SEC. 23 & NW 1/4 SEC. 26, TWP. 25 N., RGE. 3 E., W.M.

SYMBOL LEGEND

	CB	CATCH BASIN (TYP I)		PM	POWER METER
	SDMH	STORM DRAIN MANHOLE (TYP II)		PV	POWER VAULT
	SDCO	STORM DRAIN CLEANOUT		XFR	PAD MOUNTED TRANSFORMER
	YD	YARD DRAIN		SL	STREET LIGHT
	SSCO	SANITARY SEWER CLEANOUT		SLB	STREET LIGHT BOX
	SSMH	SANITARY SEWER MANHOLE		MB	MAILBOX
	SSS	SANITARY SEWER STUB		BOL	BOLLARD
	FH	FIRE HYDRANT		POST	POST
	HB	HOSE BIB		SGN	SIGN
	ICV	IRRIGATION CONTROL VALVE		ROCKERY	ROCKERY
	STM	STEAM		MIC	FOUND MONUMENT IN CASE
	SV	SHUTOFF VALVE		MON	FOUND MONUMENT SURFACE
	WB	WATER BLOWOFF ASSEMBLY		BENCH MARK	BENCH MARK
	WM	WATER METER		FOUND LEAD AND TACK	FOUND LEAD AND TACK
	WMH	WATER MANHOLE		FOUND PROPERTY CORNER	FOUND PROPERTY CORNER
	WV	WATER VALVE		SPOT ELEVATION	SPOT ELEVATION
	WW	WATER VAULT		ASPH	ASPHALT
	GM	GAS METER		CONC	CONCRETE
	GV	GAS VALVE		DWY	DRIVEWAY CUT
	EJB	ELECTRICAL JUNCTION BOX		DTCH	DITCH
	YL	YARD LIGHT		EXTR	EXTRUDED CURB
	PP	POWER POLE		GRVL	GRAVEL
	PL	POWER POLE w/LIGHT		PA	PLANTER AREA
	GUY	UTILITY POLE ANCHOR		VERT	VERTICAL CURB
	PS	POWER STUB		COL	COLUMN

HATCH LEGEND

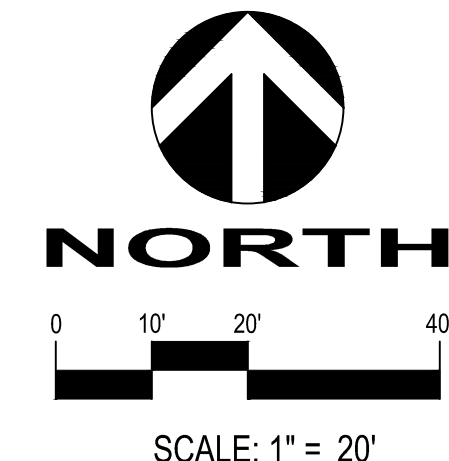
	CONCRETE
	ASPHALT PAVEMENT
	EXISTING BUILDING

LINE LEGEND

	SEATTLE'S LANDMARK PRESERVATION BOARD LEGAL DESCRIPTION
	AREA OF > 40% SLOPE
	FENCE LINE
	BOARD FENCE
	CHAIN LINK FENCE
	POWER OVERHEAD
	SANITARY SEWER LINE
	STORM DRAIN
	WATER LINE
	POWER BURIED
	GAS LINE
	TELEPHONE BURIED
	STEAM BURIED

TREE LEGEND

	CONIFER TREE
	CEDAR
	CONIFER
	FIR
	HEMLOCK
	JUNIPER
	LARCH
	PINE
	SPRUCE
	DECIDUOUS TREE
	ALDER
	BIRCH
	CHESTNUT
	CHERRY
	COTTONWOOD
	DECIDUOUS
	DOGWOOD
	ELM
	MAPLE
	MAGNOLIA
	OAK
	POPLAR
	WILLOW
	EVERGREEN TREE
	HOLLY
	LAUREL
	MADRONA



CONTOUR INTERVAL = 2'
BASIS OF BEARINGS
REFER TO SEATTLE TIDELANDS MERIDIAN

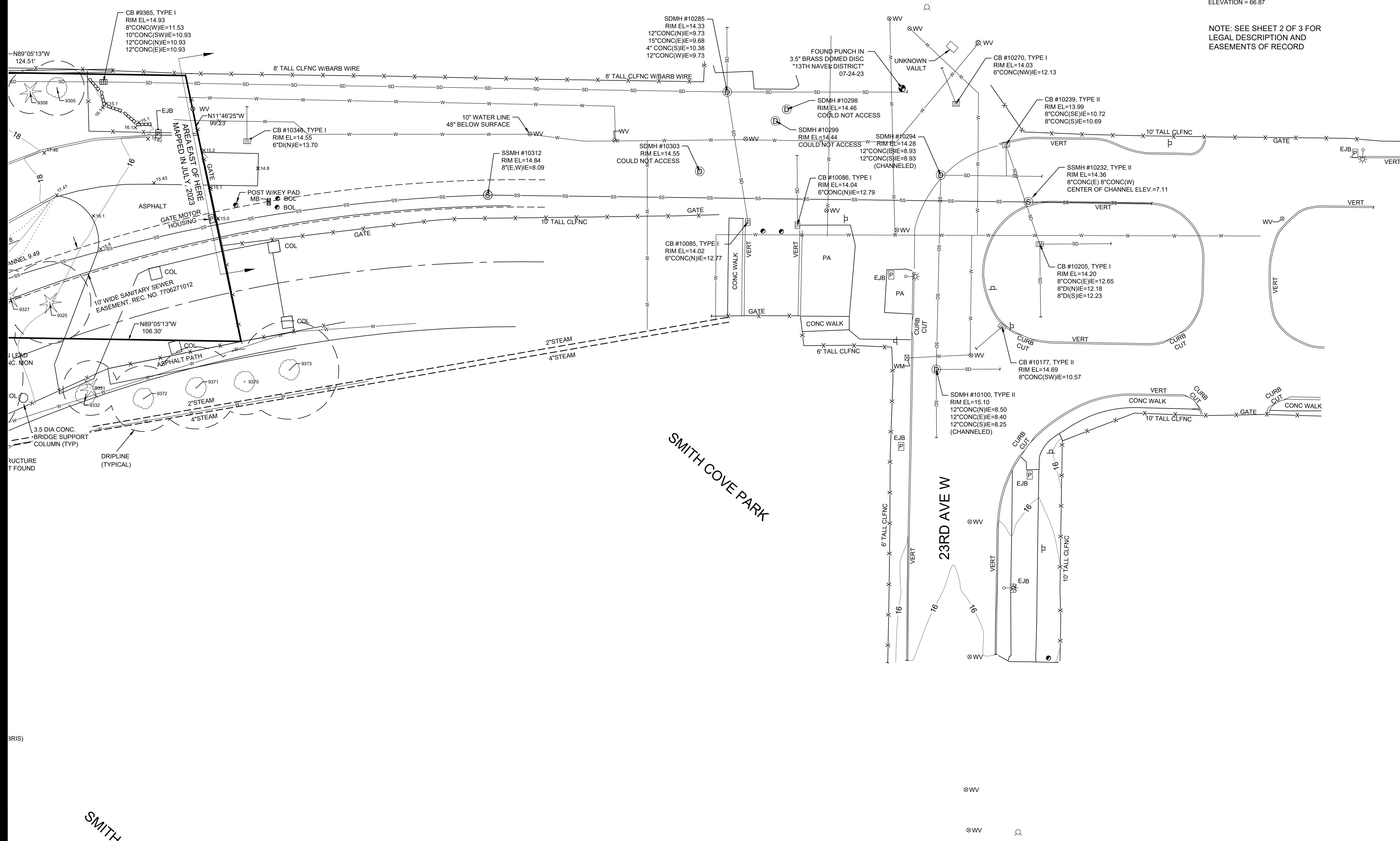
VERTICAL DATUM
NAVD 88

BENCH MARK
ORIGINAL BENCHMARK - SPU BP#5332 @ BACK SEAM CONC WALK, S SIDE W GALER ST OPPOSITE CENTERLINE OF 28TH AVE W EXTENDED ELEVATION = 176.76

TBM "A" - TACK IN LEAD IN CONC WALK OPPOSITE GATE ELEVATION = 154.18

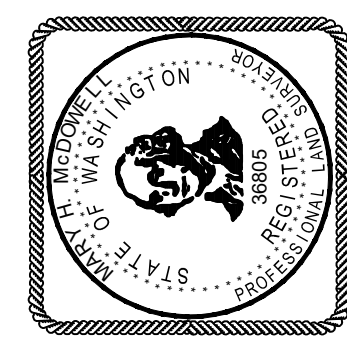
TBM "B" - MAG NAIL AT BACK OF CURB/EDGE OF SIDEWALK, EAST SIDE OF DRIVEWAY, NORTHEAST OF ADMIRAL HOUSE ELEVATION = 66.87

NOTE: SEE SHEET 2 OF 3 FOR LEGAL DESCRIPTION AND EASEMENTS OF RECORD



TREE TABLE		TREE TABLE		TREE TABLE	
TAG#	DESCRIPTION	TAG#	DESCRIPTION	TAG#	DESCRIPTION
7074	30'F	8208	20'M	8778	14'M
7075	8'C	8211	2X10'X21'2M	8781	18'20'M
7143	6'74X16'A	8213	3X12'14'M	8801	22'S
7144	22'W	8217	12'M	8803	10'M
7145	12'2X24'26'A	8218	8'710'12'M	8818	8'MA
7147	20'W	8222	6'2X8'2X12'M	8820	12'MA
7151	8'DEC	8223	12'M	8828	2X16'MA
7156	14'W	8224	2X12'M	8910	6'M
7157	2X6'W	8225	6'M	8920	8'DEC
7163	14'W	8226	10'M	8926	16'DEC
7166	14'W	8227	30'M	8927	12'DEC
7168	14'W	8230	8'M	8994	16'DEC
7169	16'W	8233	2X10'M	8995	12'DEC
7185	8'CY	8234	6'11'2'M	8996	14'DEC
7192	14'CY	8235	12'14'M	8997	10'DEC
7193	14'CY	8236	6'M	9044	18'A
7238	2X8'P	8237	8'11'2'M	9047	22'A
7239	2X10'P	8238	12'M	9052	18'A
7240	6'DEC	8243	6'A	9053	22'A
7253	14'CY	8324	2X12'4X16'M	9055	8'A
7254	12'CY	8325	22'A	9056	10'A
7482	10'18'C	8326	6'M	9058	6'A
8106	5x4'3x6'8'M	8327	26'C	9059	12'14'A
8108	3x8'M	8328	28'F	9062	12'A
8109	6X6'4X8'M	8329	16'M	9071	6'A
8110	2X6'2X8'M	8330	20'M	9073	20'A
8111	4X6'4X8'M	8331	24'C	9117	10'M
8112	2X8'M	8332	12'16'M	9118	6'DEC
8115	2X6'M	8333	24'M	9119	2X10'M
8123	24'M	8335	14'C	9161	8'10'16'A
8125	24'C	8336	28'M	9163	8'7'2X20'A
8128	24'C	8337	28'M	9183	18'24'A
8129	12'C	8338	16'M	9199	14'M
8130	20'M	8339	28'M	9236	2X18'16'A
8131	2X16'M28'M	8340	28'M	9243	12'A
8132	14'M	8347	18'CY	9245	18'A
8133	16'M	8348	48'M	9262	8'CY
8134	14'C	8374	2X6'8'2X10'3X12'4X14'2X16'D	9263	2X6'CY
8136	6'A	8656	14'A	9264	8'CY
8138	12'C	8659	20'M	9267	14'DEC
8142	26'M	8662	8'120'M	9270	14'DEC
8143	6'A	8665	4X6'4X8'10'M	9271	6'CY
8144	14'M	8671	10'A	9272	6'CY
8146	8'A	8672	8'A	9275	12'DEC
8147	8'A	8673	16'30'M	9278	12'DEC
8149	8'A	8674	8'A	9279	14'A
8150	6'M	8675	24'M	9280	14'CY
8155	6'A	8676	8'A	9281	16'A
8156	14'M	8678	6'A	9282	14'CY
8159	6'A	8680	8'14'28'M	9286	2X12'CY
8160	8'A	8681	2X8'A	9288	14'A
8161	48'M	8684	10'A	9305	10'12'C
8162	6'A	8688	16'M	9308	10'P
8172	16'M	8691	CLUSTER 10 DEC	9314	16'C
8174	54'M	8693	16'C	9320	6'HO
8175	12'M	8695	24'F	9325	22'P
8176	10'M	8696	12'F	9327	14'P
8177	2X8'HO	8697	8'C	9331	8'C
8179	2X16'M18'M	8698	6'C	9332	CLUSTER 10 DEC
8181	14'M	8699	14'18'C	9371	16'DEC
8182	6'M	8700	16'C	9372	14'DEC
8185	12'M	8702	3X12'A	9373	18'DEC
8186	28'M	8712	8'A		
8188	14'15'M	8761	6'A		
8190	6'M	8766	14'M		
8198	8'16'M	8769	14'C		
8203	22'M	8772	CLUSTER 10 DEC		
8204	6'8'M	8773	12'C		
8206	6'M	8774	CLUSTER 10 DEC		
8207	10'M	8776	10'12'M		

ADMIRAL HOUSE
TOPOGRAPHIC SURVEY
OCEANSTAR LLC
2500 WEST MARINA PLACE
SEATTLE, WASHINGTON



DAVID EVANS AND ASSOCIATES, INC.
20300 Woodinville Snohomish Rd. NE, Ste A
Woodinville Washington 98072
Phone: 425.415.2000

REVISIONS: APPD.
ADD TOPO ON SHEET 3 7/27/23

DATE: 11/28/16
DESIGN:
DRAWN: ARJ
CHECKED: MSH/MHM
REVISION NUMBER:

SCALE: 1"=20'

PROJECT NUMBER:
GSEA00000001

DRAWING FILE:
SV-TP-GSEA0001-2023.dwg

SHEET NO.

3
OF 3



Plot Date: 9/7/2023 4:46 PM
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By: John Christensen
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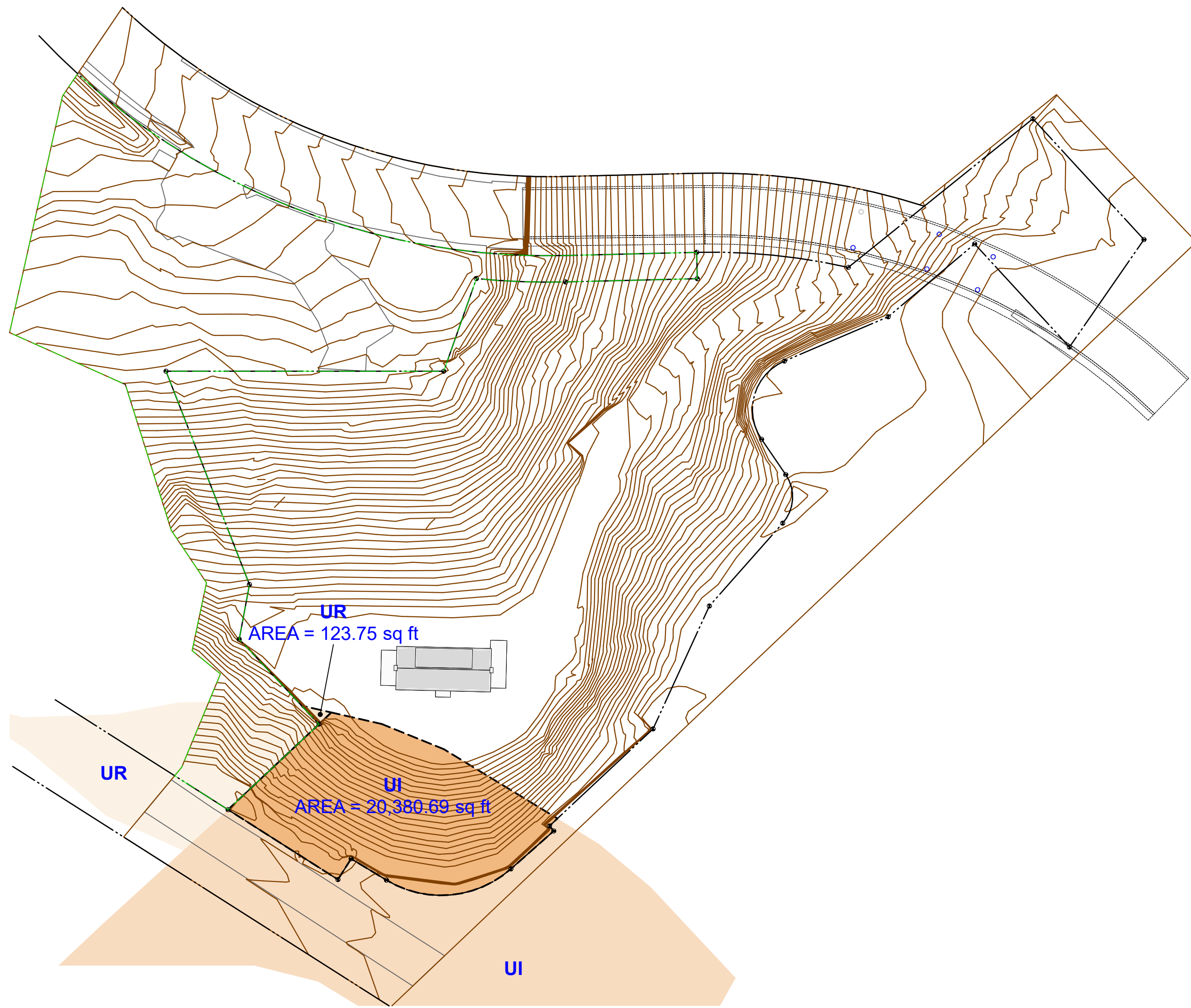
**ADMIRAL'S HOUSE
TURNAROUND**
2500 W MARINA PL
SEATTLE, WA 98199

Job No. 2313
Project Manager: TB
Issue Date: 3/27/2026

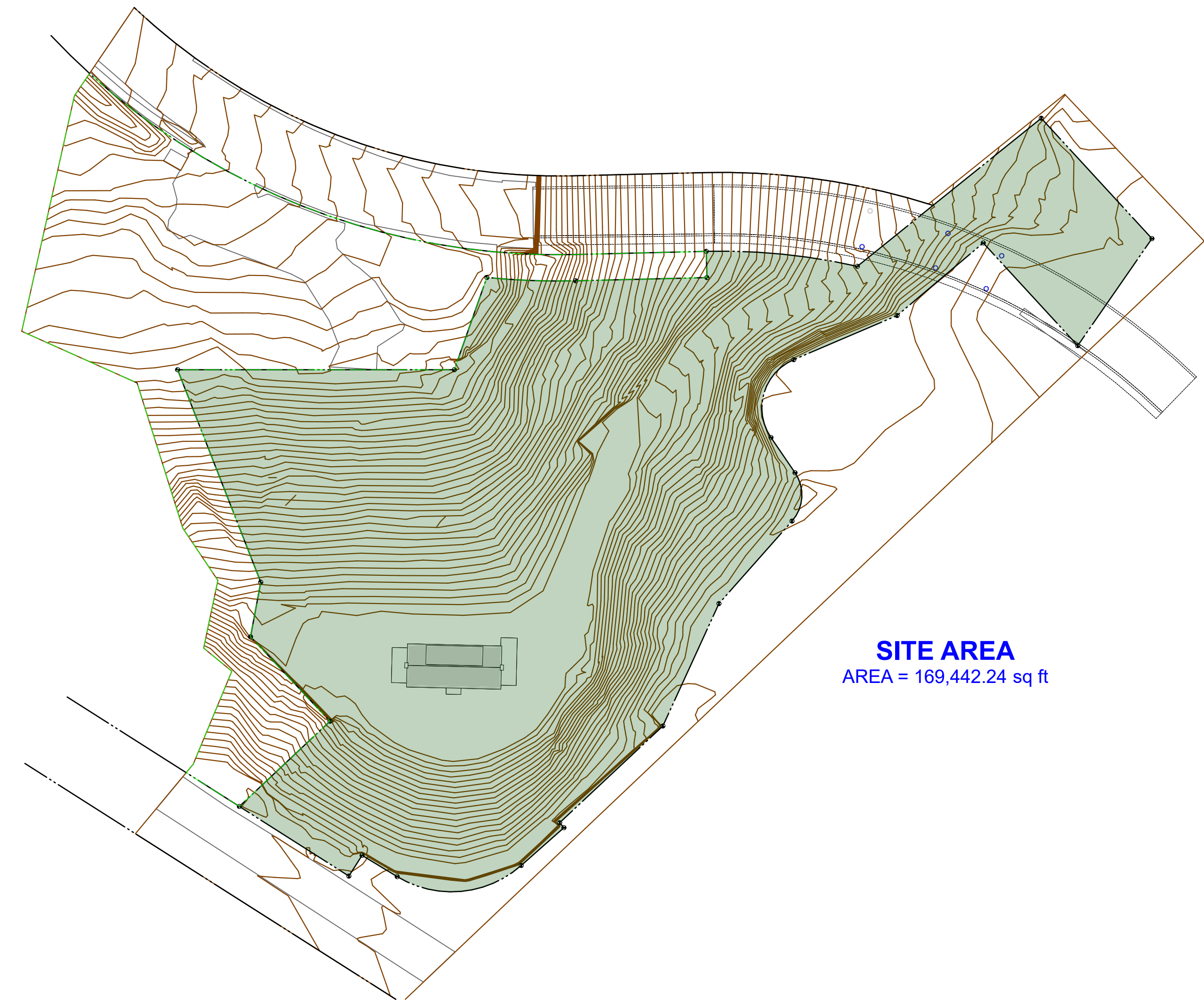
NO.	DATE	REVISION
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10/07/2025	PERMIT REVISION - 2	
01/12/2026	PERMIT REVISION - 3	
03/10/2026	LANDMARKS	
03/27/2026	LANDMARKS UPDATE	

CODE COMPLIANCE
DIAGRAMS

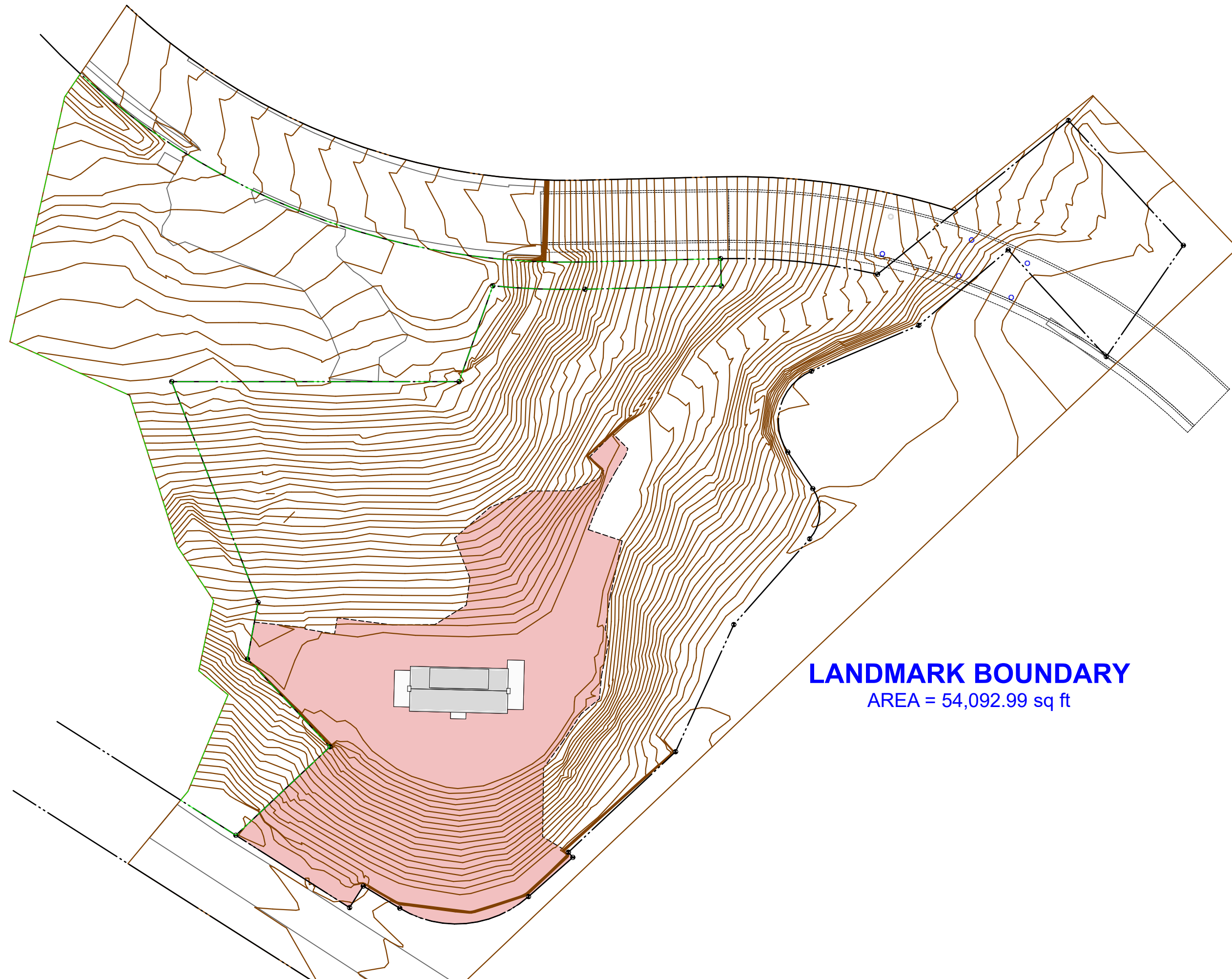
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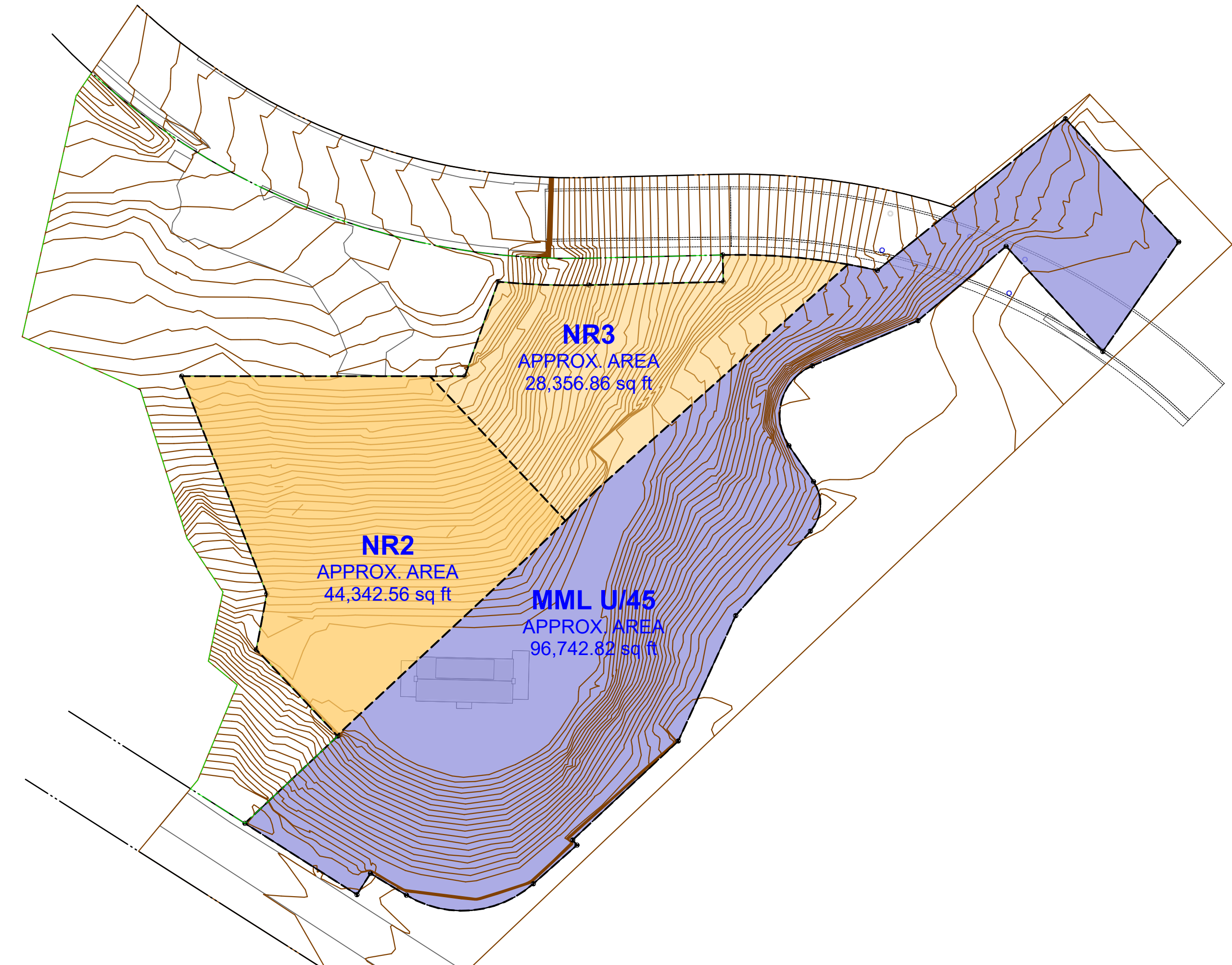
1 SITE SHORELINE ZONES
SCALE 1:825



1 SITE AREA DIAGRAM
SCALE 1:825



1 LANDMARK PRESERVATION BOUNDARY
SCALE 1:825



1 SITE ZONING DIAGRAM
SCALE 1:825

LANDMARKS REVIEW



GELOTTE HOMMAS DRIVDAHL
ARCHITECTURE
THEARTOFARCHITECTURE.COM
2340 130th Ave. NE, Suite 100, Bellevue, WA 98005
425-828-3081

**ADMIRAL'S HOUSE
TURNAROUND**
2500 W MARINA PL
SEATTLE, WA 98199

Job No. 2313
Project Manager: TB
Issue Date: 3/27/2026

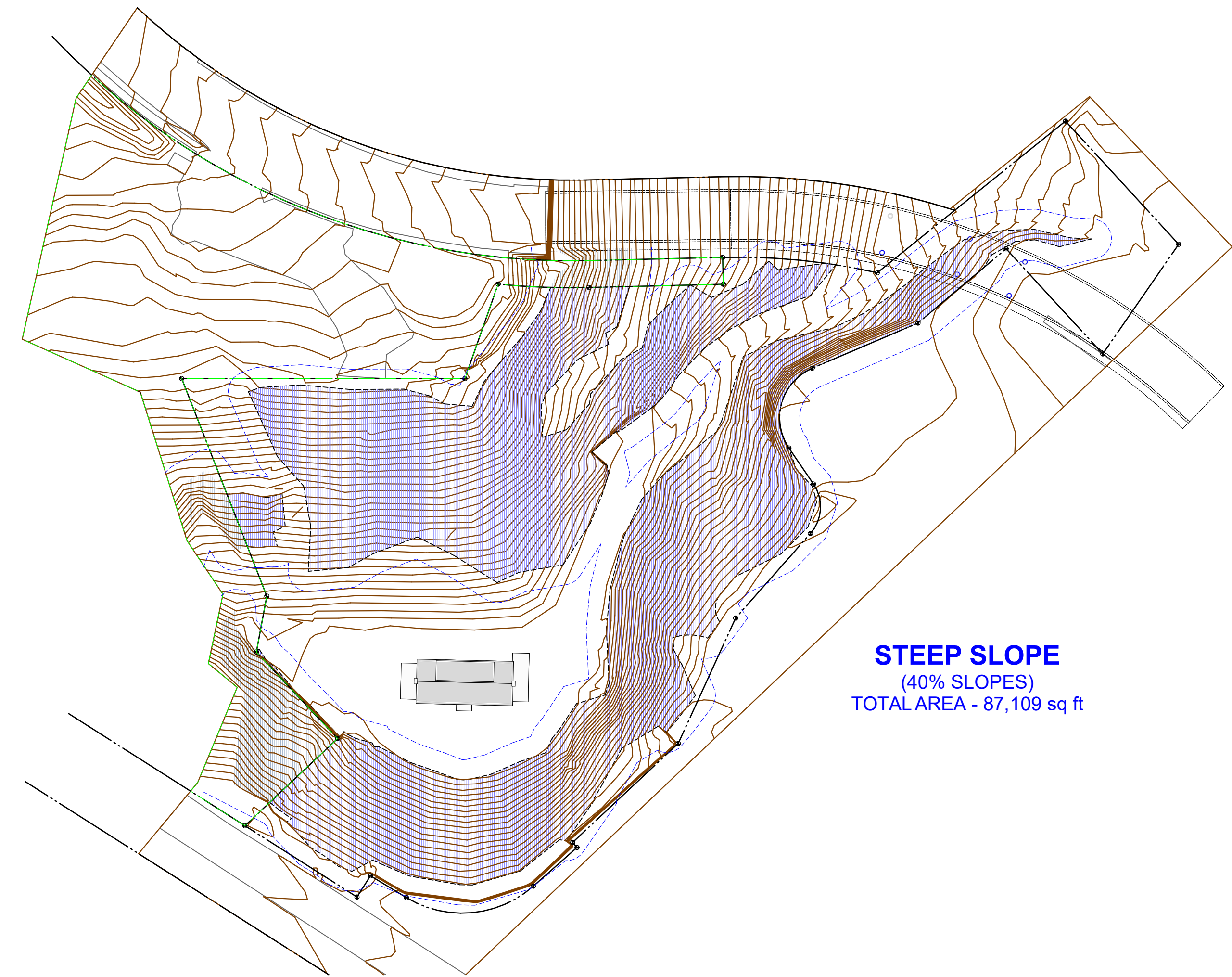
NO.	DATE	REVISION
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10/07/2025	PERMIT REVISION - 2	
01/12/2026	PERMIT REVISION - 3	
03/10/2026	LANDMARKS	
03/27/2026	LANDMARKS UPDATE	

CODE COMPLIANCE
DIAGRAMS

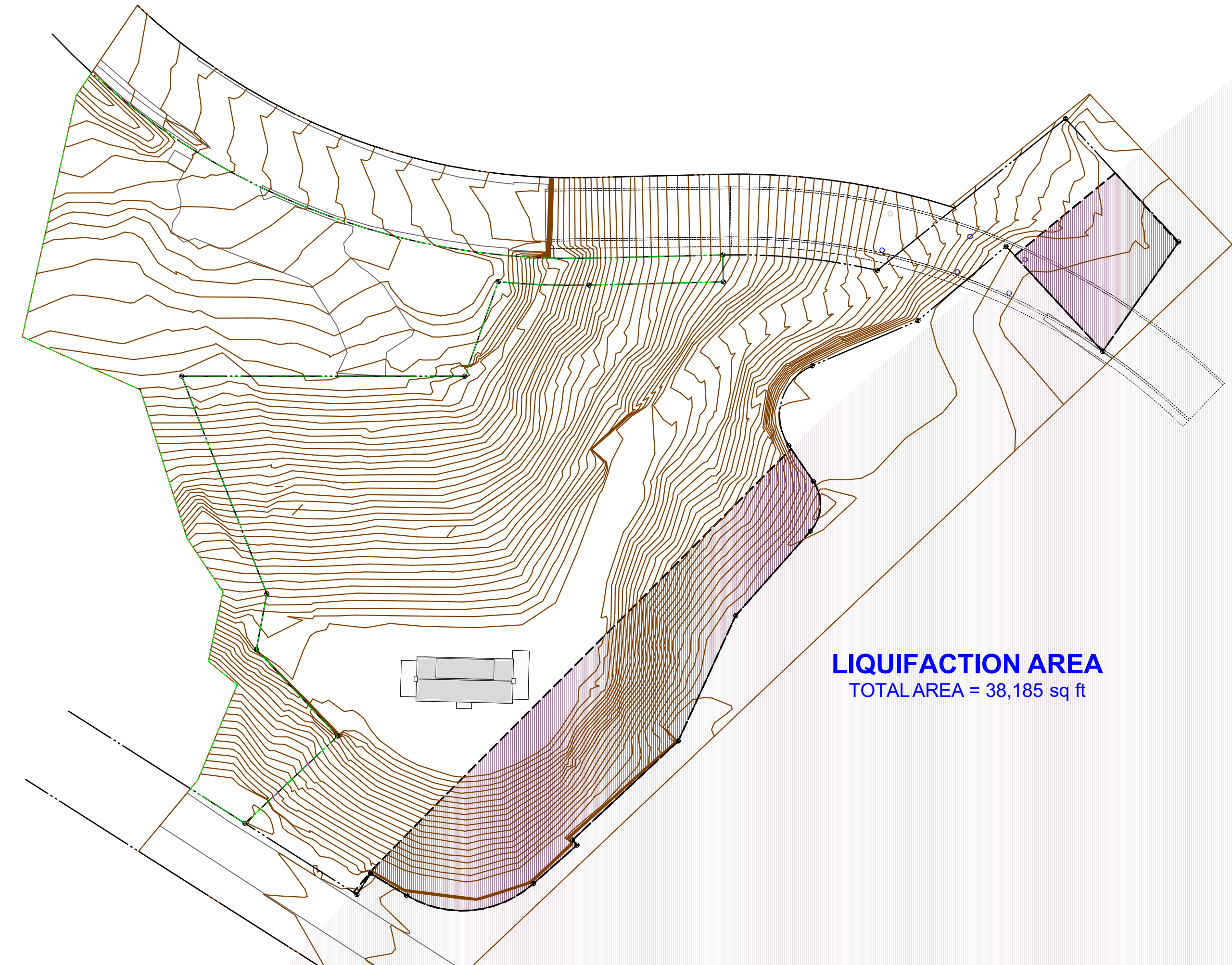
A0.04

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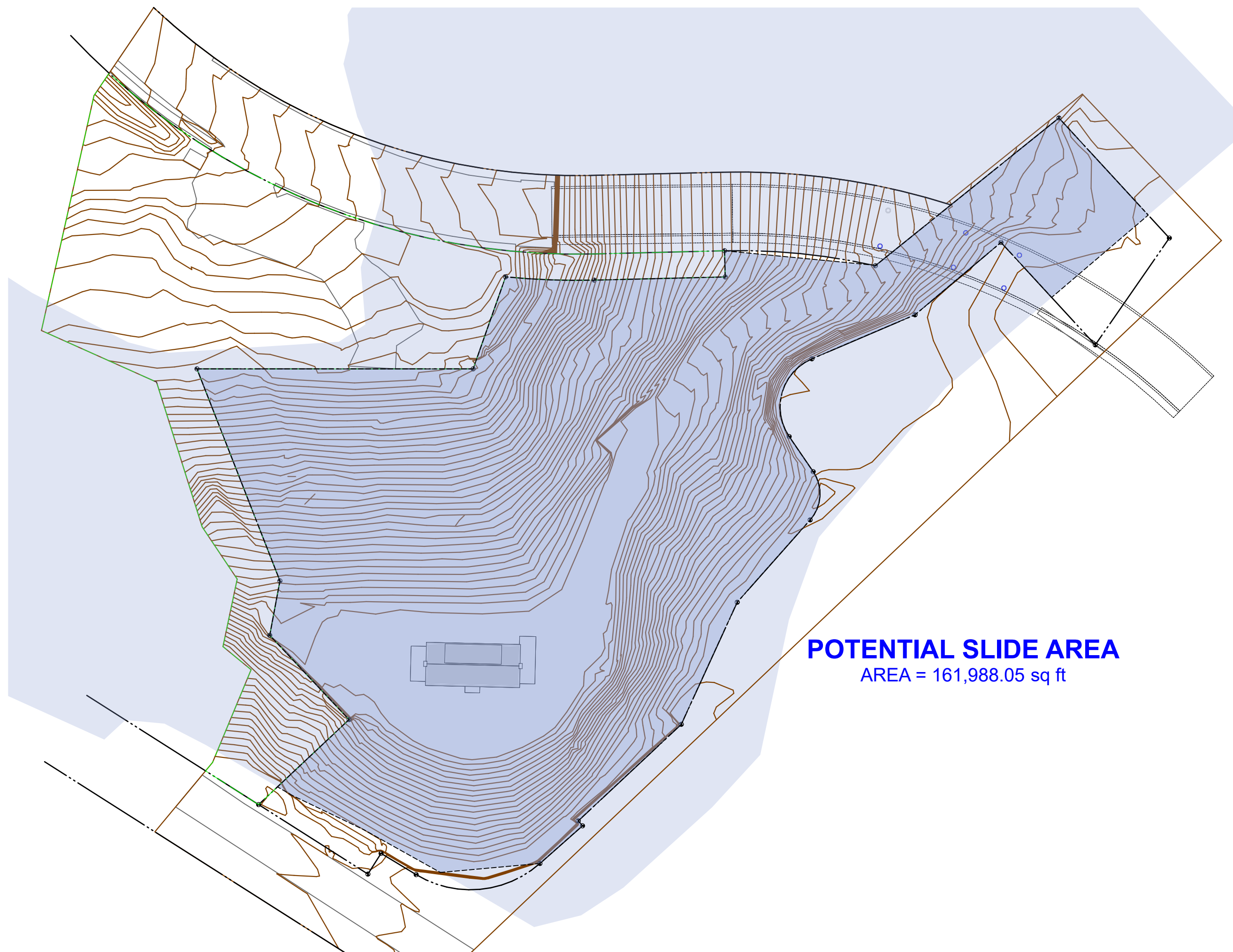
LANDMARKS REVIEW



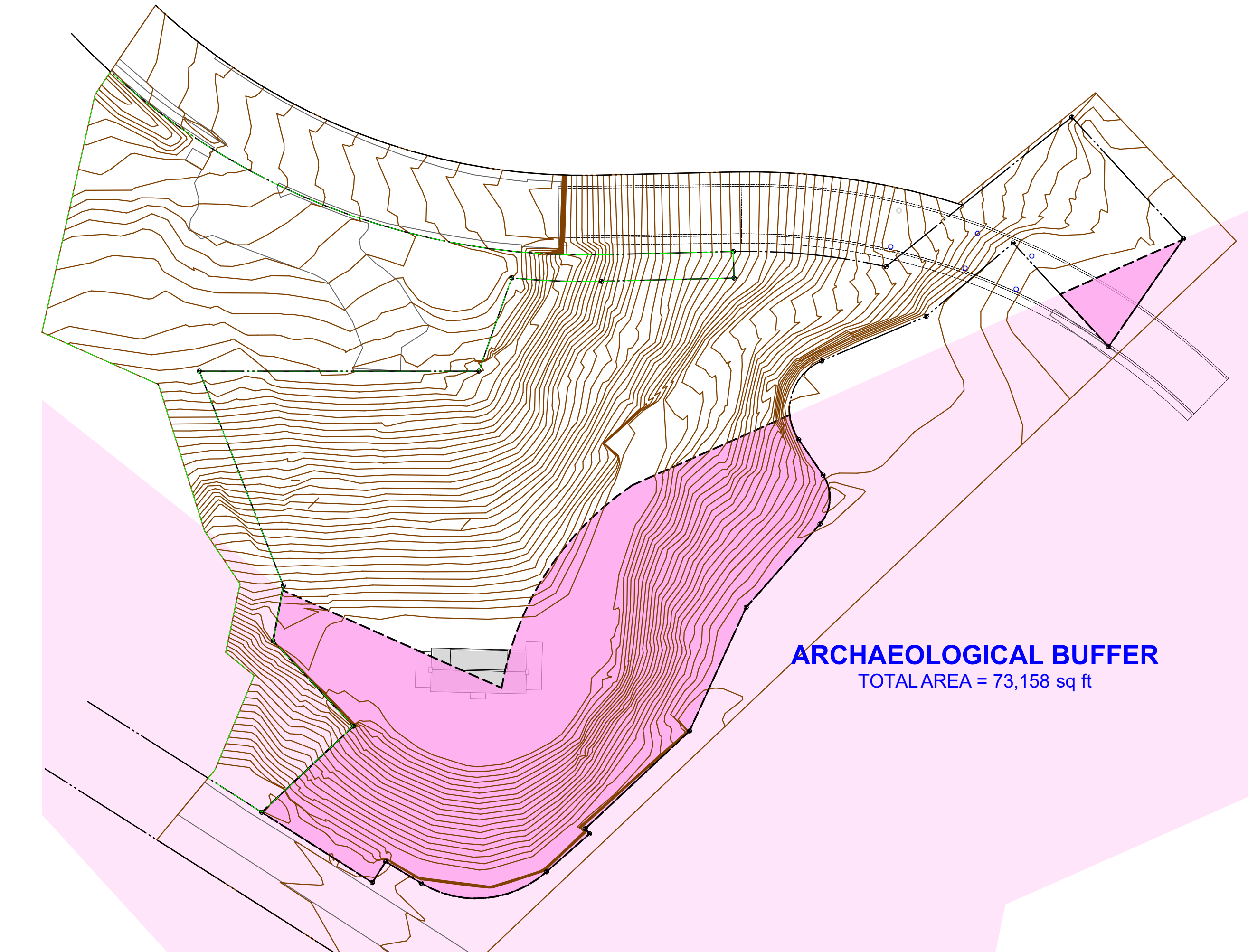
1 ECA STEEP SLOPES (40% AND GREATER) ORIGINAL SURVEY
SCALE 1:825



1 ECA LIQUIFACTION AREA
SCALE 1:825



1 ECA POTENTIAL SLIDE AREA
SCALE 1:825



1 ECA ARCHAEOLOGICAL BUFFER
SCALE 1:825



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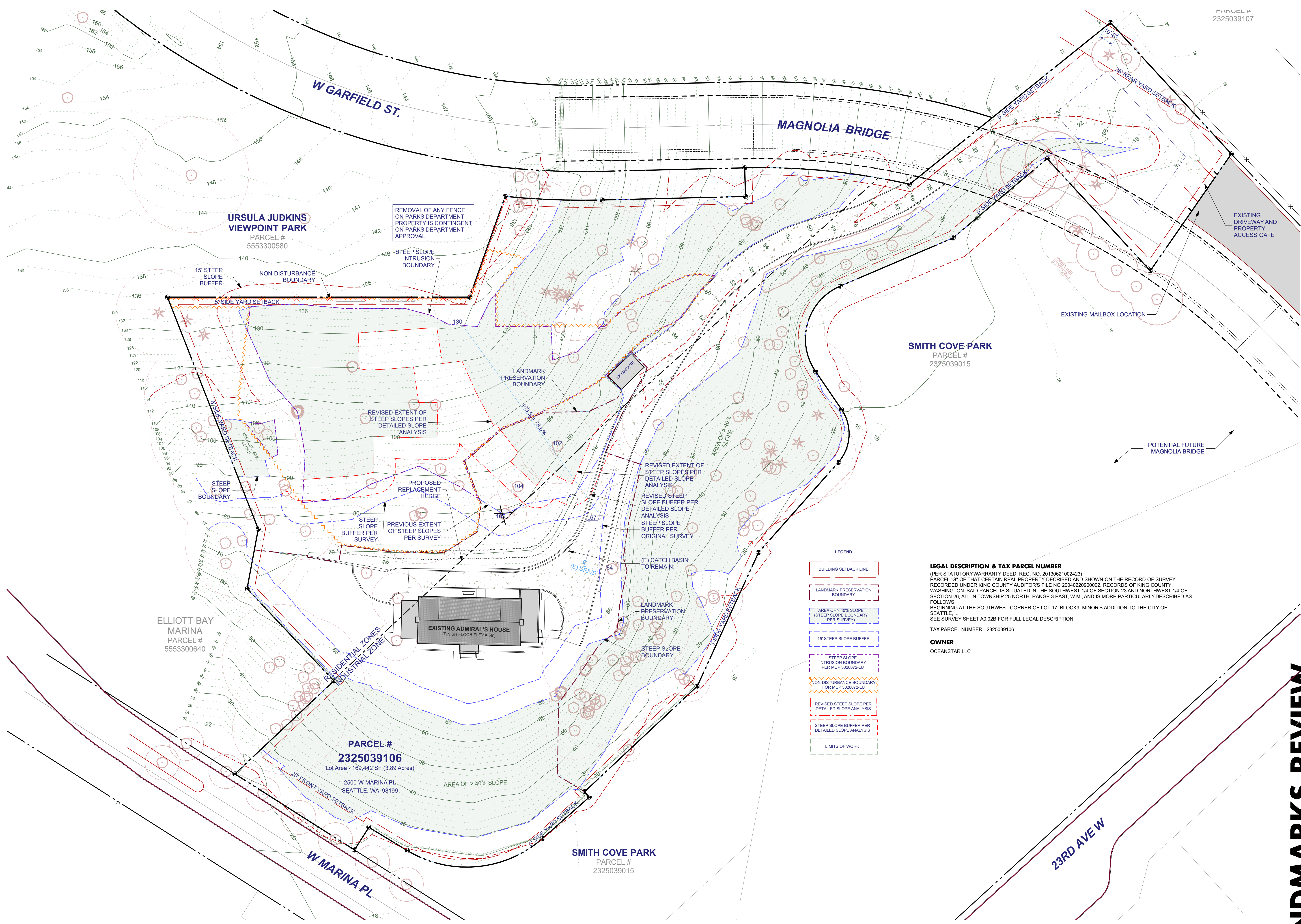
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ARCHITECTURAL SITE
PLAN - EXISTING

A1.02

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LEGEND

- BUILDING SETBACK LINE
- LANDMARK PRESERVATION BOUNDARY
- "AREA OF > 40% SLOPE" (STEEP SLOPE BOUNDARY PER SURVEY)
- 15' STEEP SLOPE BUFFER
- STEEP SLOPE INTRUSION BOUNDARY PER MJP 3028072-LU
- NON-DISTURBANCE BOUNDARY FOR MJP 3028072-LU
- REVISD STEEP SLOPE PER DETAILED SLOPE ANALYSIS
- STEEP SLOPE BUFFER PER DETAILED SLOPE ANALYSIS
- LIMITS OF WORK

LEGAL DESCRIPTION & TAX PARCEL NUMBER
(PER STATUTORY WARRANTY DEED, REC. NO. 20130621002423)
PARCEL "G" OF THAT CERTAIN REAL PROPERTY DESCRIBED AND SHOWN ON THE RECORD OF SURVEY RECORDED UNDER KING COUNTY AUDITOR'S FILE NO. 20040220900002, RECORDS OF KING COUNTY, WASHINGTON. SAID PARCEL IS SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23 AND NORTHWEST 1/4 OF SECTION 26, ALL IN TOWNSHIP 25 NORTH, RANGE 3 EAST, W.M., AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 17, BLOCK 9, MINORS ADDITION TO THE CITY OF SEATTLE... SEE SURVEY SHEET A0.02B FOR FULL LEGAL DESCRIPTION
TAX PARCEL NUMBER: 2325039106

OWNER
OCEANSTAR LLC

EXISTING ARCHITECTURAL SITE PLAN
SCALE 1" = 30'

LANDMARKS REVIEW



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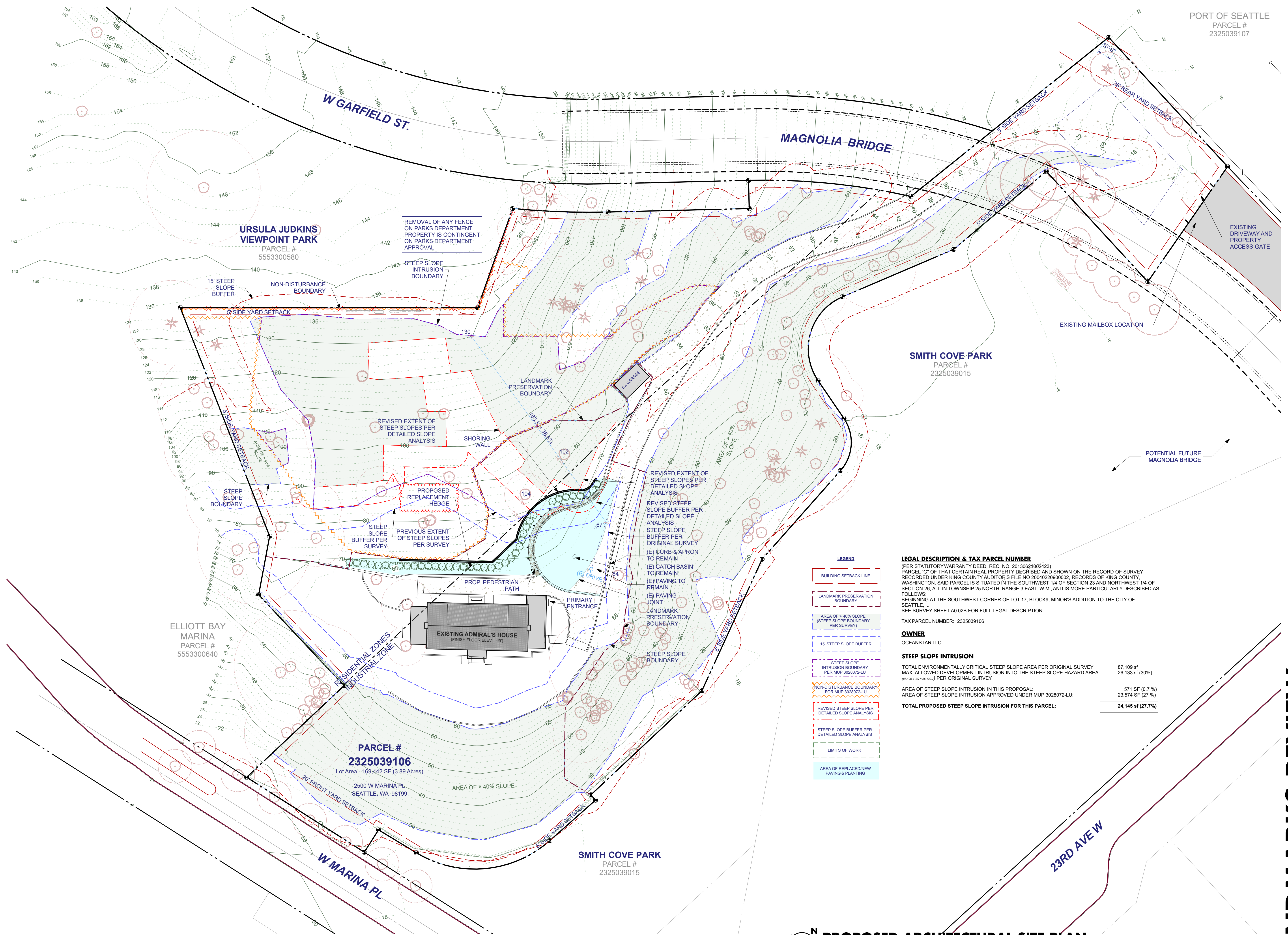
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ARCHITECTURAL SITE PLAN

A1.03

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PORT OF SEATTLE
PARCEL #
2325039107



LEGEND

- BUILDING SETBACK LINE
- LANDMARK PRESERVATION BOUNDARY
- "AREA OF > 40% SLOPE" (STEEP SLOPE BOUNDARY PER SURVEY)
- 15' STEEP SLOPE BUFFER
- STEEP SLOPE INTRUSION BOUNDARY PER MUP 3028072-LU
- NON-DISTURBANCE BOUNDARY FOR MUP 3028072-LU
- REVISED STEEP SLOPE PER DETAILED SLOPE ANALYSIS
- STEEP SLOPE BUFFER PER DETAILED SLOPE ANALYSIS
- LIMITS OF WORK
- AREA OF REPLACED NEW PAVING & PLANTING

LEGAL DESCRIPTION & TAX PARCEL NUMBER
(PER STATUTORY WARRANTY DEED, REC. NO. 20130621002423) PARCEL "G" OF THAT CERTAIN REAL PROPERTY DESCRIBED AND SHOWN ON THE RECORD OF SURVEY RECORDED UNDER KING COUNTY AUDITOR'S FILE NO 20040220900002, RECORDS OF KING COUNTY, WASHINGTON. SAID PARCEL IS SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23 AND NORTHWEST 1/4 OF SECTION 26, ALL IN TOWNSHIP 25 NORTH, RANGE 3 EAST, W.M., AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 17, BLOCK 8, MINOR'S ADDITION TO THE CITY OF SEATTLE, ...

TAX PARCEL NUMBER: 2325039106

OWNER
OCEANSTAR LLC

STEEP SLOPE INTRUSION

TOTAL ENVIRONMENTALLY CRITICAL STEEP SLOPE AREA PER ORIGINAL SURVEY	87,109 sf
MAX. ALLOWED DEVELOPMENT INTRUSION INTO THE STEEP SLOPE HAZARD AREA: (87,109 x .30 = 26,132.7) PER ORIGINAL SURVEY	26,133 sf (30%)
AREA OF STEEP SLOPE INTRUSION IN THIS PROPOSAL:	571 SF (0.7%)
AREA OF STEEP SLOPE INTRUSION APPROVED UNDER MUP 3028072-LU:	23,574 SF (27%)
TOTAL PROPOSED STEEP SLOPE INTRUSION FOR THIS PARCEL:	24,145 sf (27.7%)

PROPOSED ARCHITECTURAL SITE PLAN
SCALE 1" = 30'

LANDMARKS REVIEW



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PREVIOUS LEGAL
GRADING ON SITE

A1.04

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 APPROXIMATE AREAS OF PREVIOUS LEGAL GRADING FOR ADMIRALS HOUSE & DRIVE - 1944
 APPROXIMATE AREAS OF PREVIOUS LEGAL GRADING FOR FACILITIES AT BASE OF HILL - AROUND 1944
 APPROXIMATE PARCEL BOUNDARY



PHOTO: 1936

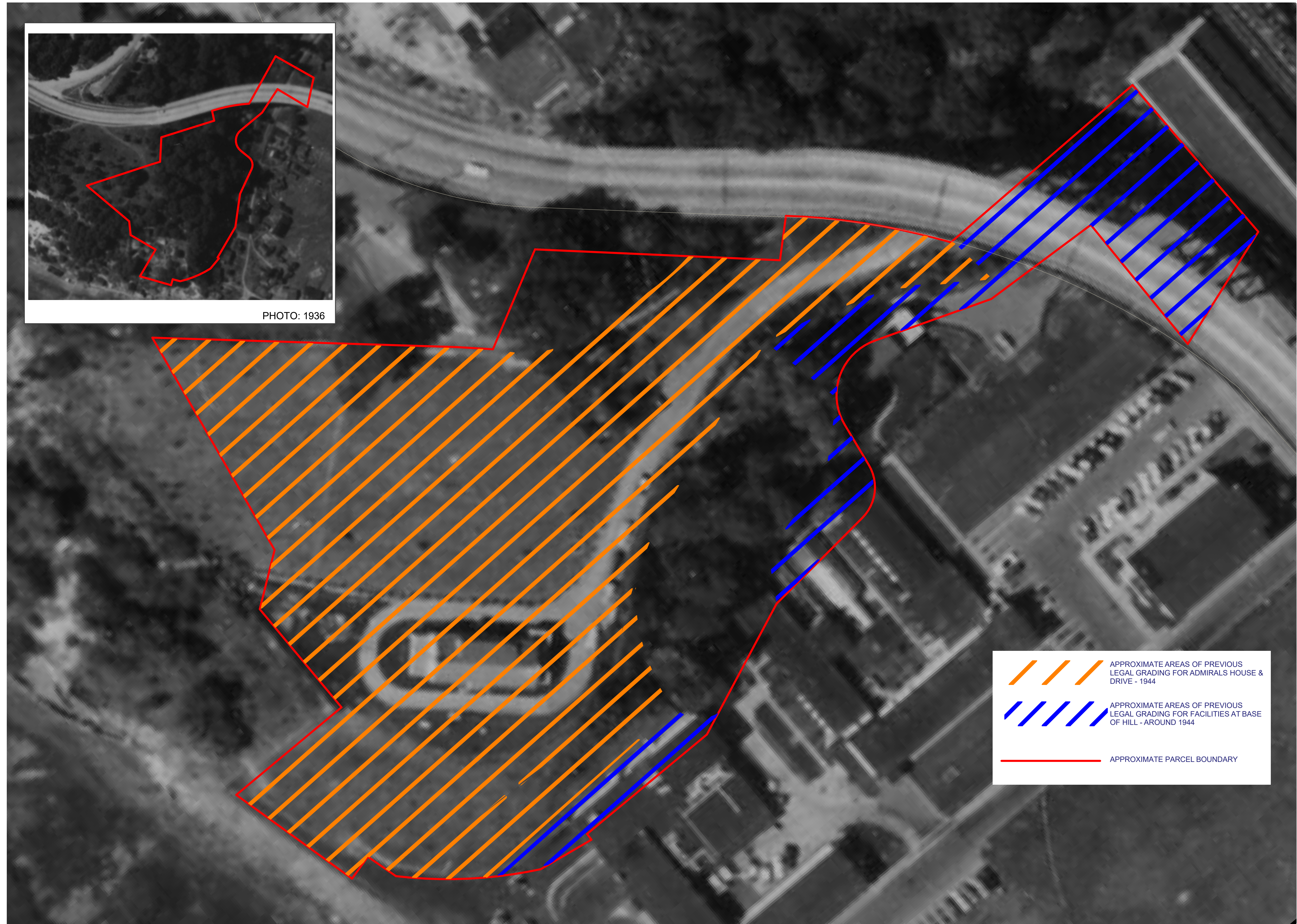


PHOTO - 1953

LANDMARKS REVIEW



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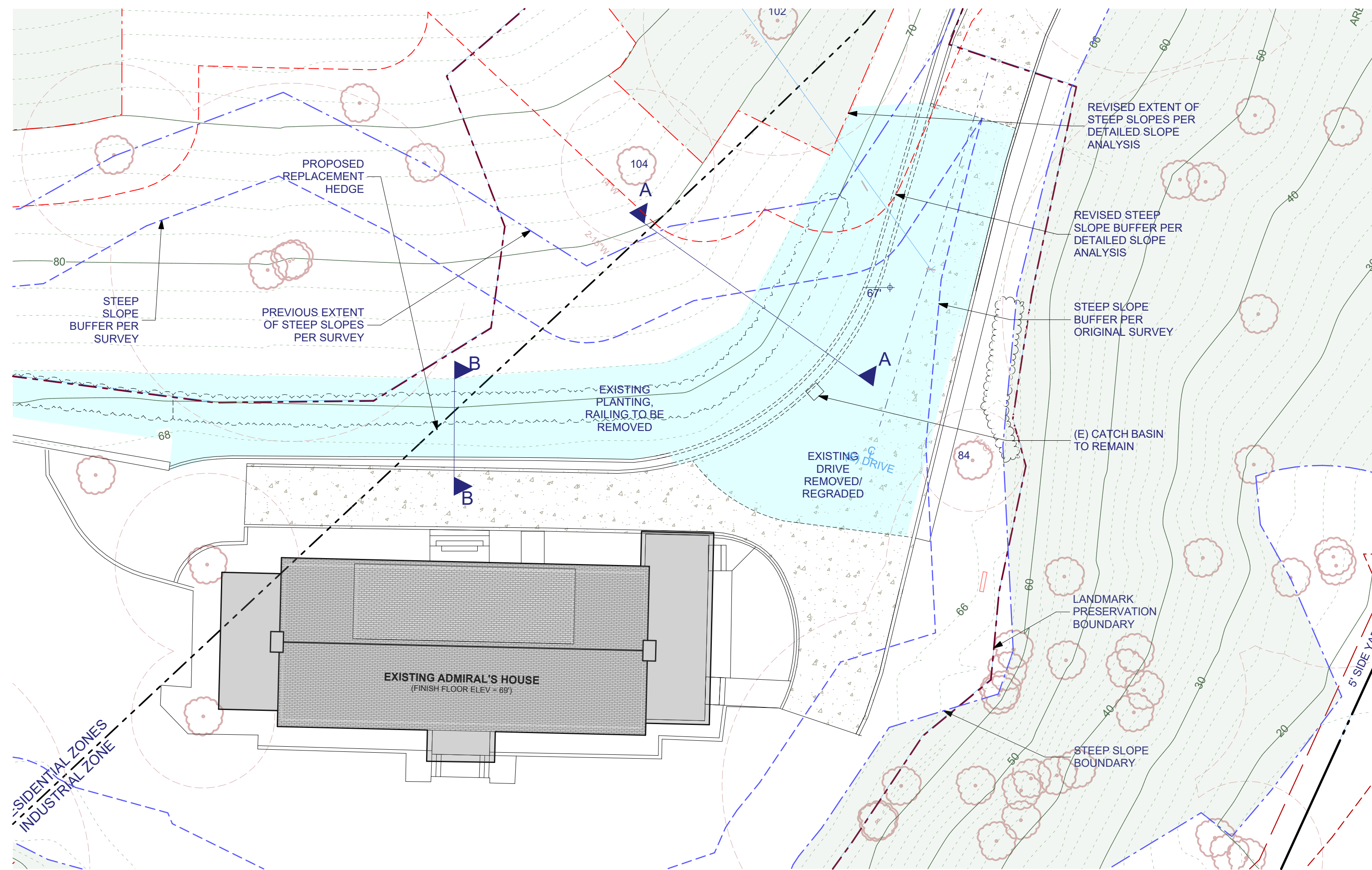
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LANDMARKS REVIEW

COMPARISON PLANS

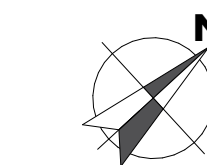
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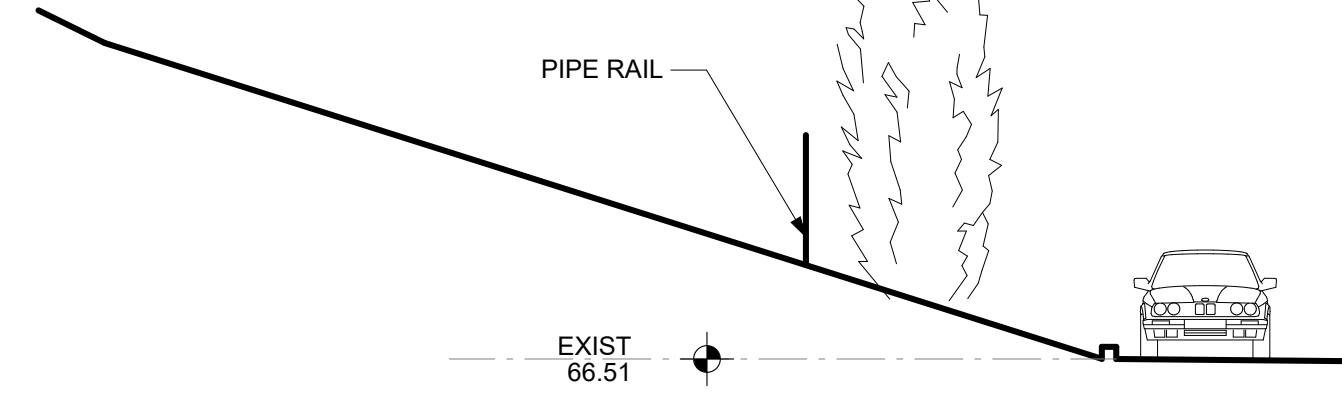
1 DEMO SITE PLAN-comparison

SCALE 1/16" = 1'-0"



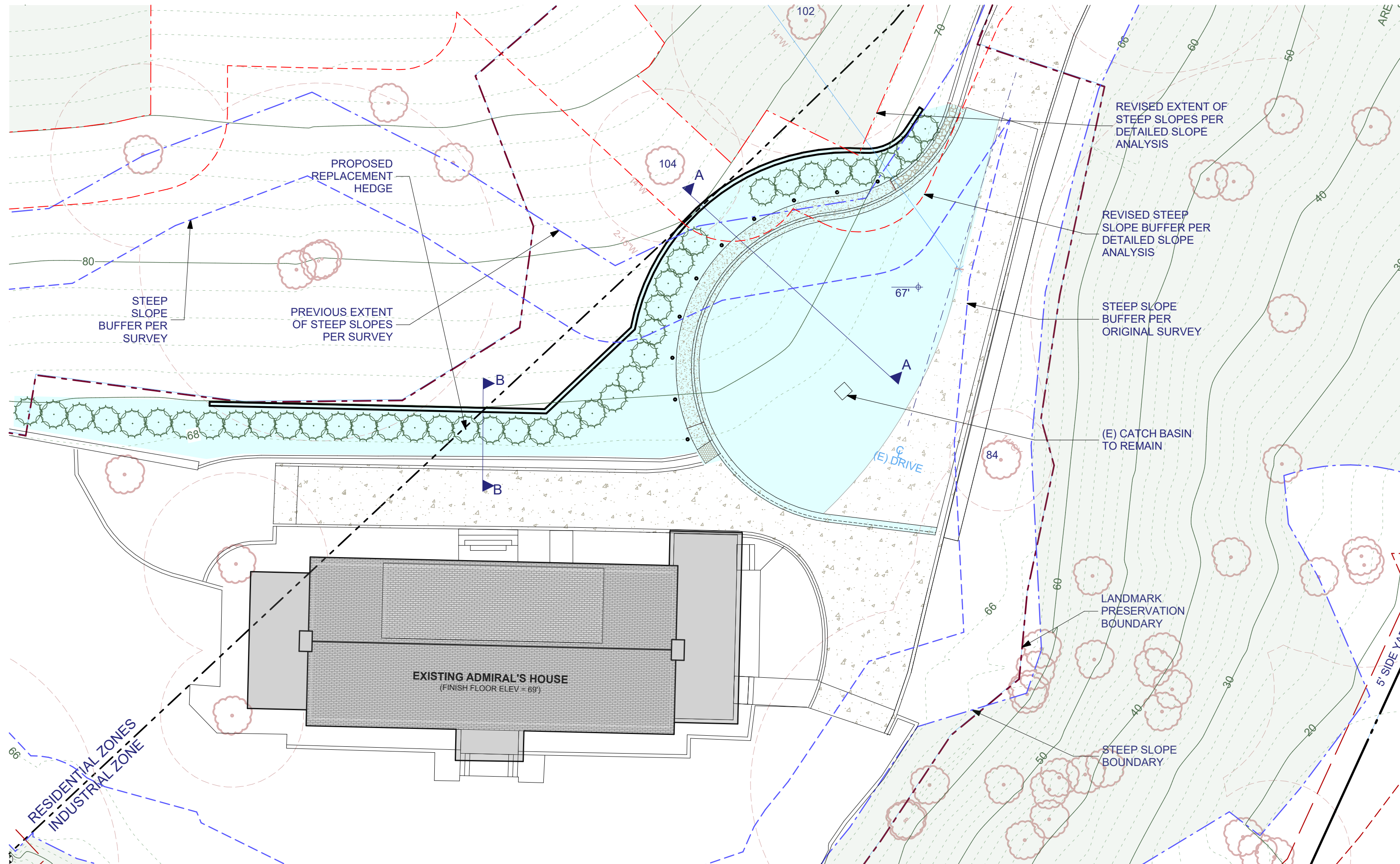
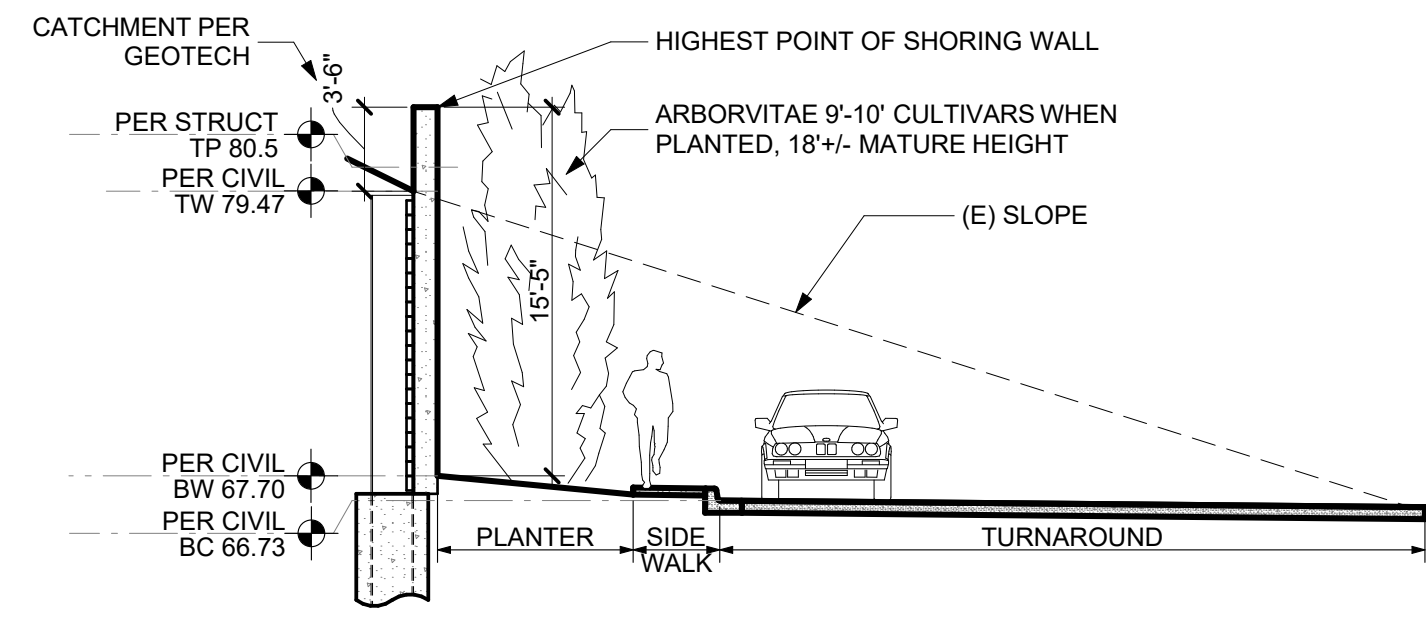
(E) SITE SECTION

SCALE 1/8" = 1'-0"



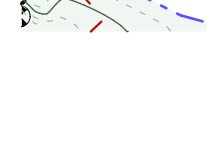
A PROPOSED SITE SECTION

SCALE 1/8" = 1'-0"



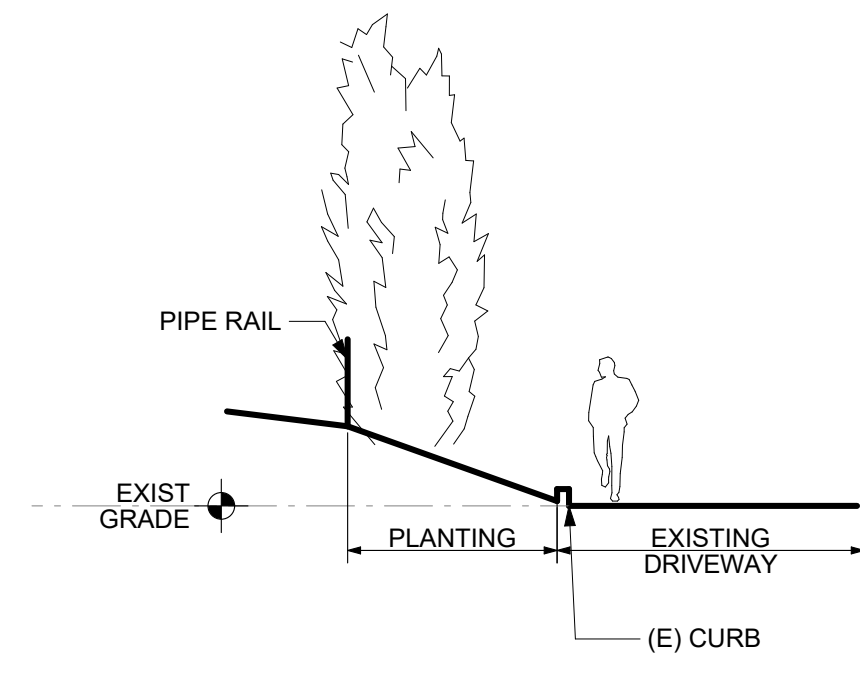
2 PROPOSED SITE PLAN

SCALE 1/16" = 1'-0"



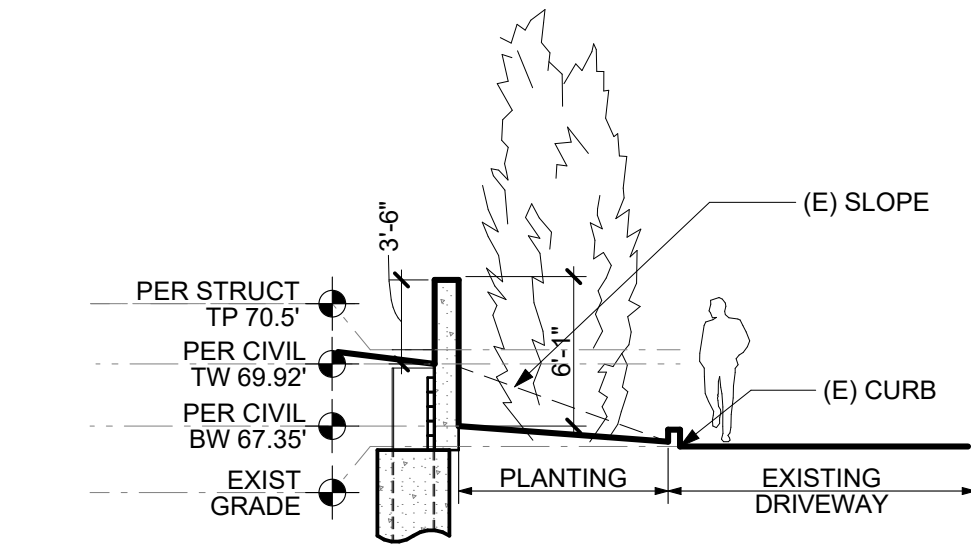
(E) SITE SECTION

SCALE 1/8" = 1'-0"



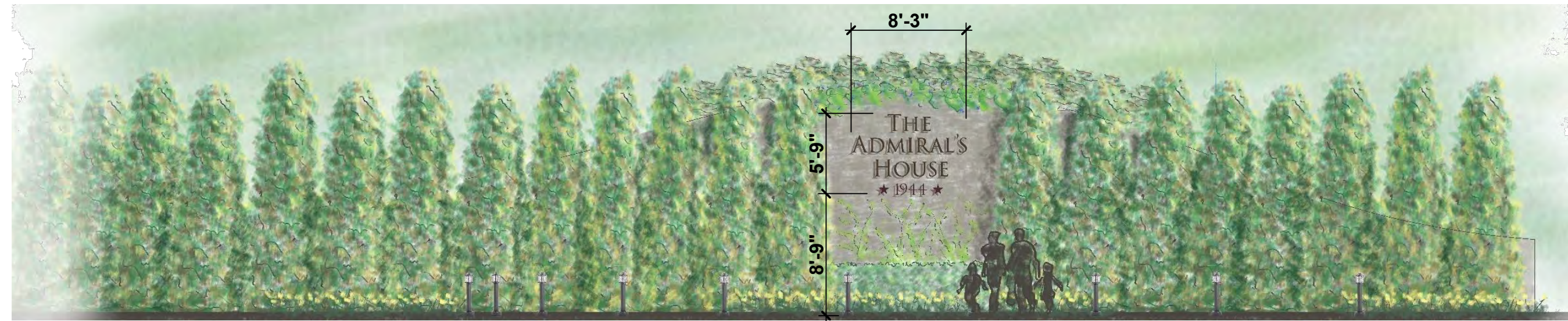
B PROPOSED SITE SECTION

SCALE 1/8" = 1'-0"

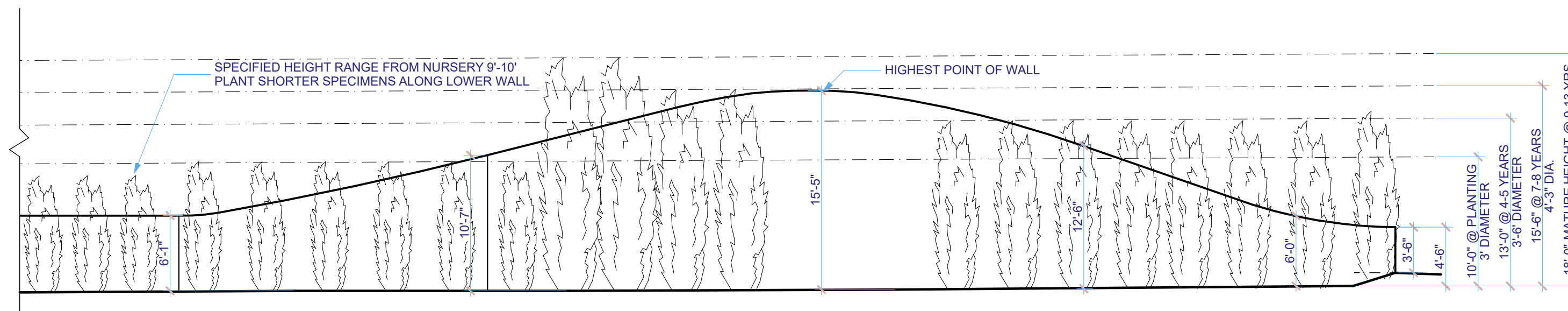


<p>01 INDICATES EXISTG. MATERIAL/FINISH</p> <p>01 INDICATES NEW MATERIAL/FINISH SAME NUMBER AS EXISTG INDICATES IT WILL MATCH</p>	<p>01 (E) HEDGE</p> 	<p>02 ARBORVITAE</p> <p>Skybound American Arborvitae</p> 
	<p>03 (N) PLANT BED</p> <p>Mulch + Seasonal flowering plants</p> 	<p>04a ARTIFICIAL LAWN</p> 
<p>05 (N) SHOTCRETE WALL</p> <p>TROWEL FINISH</p> 	<p>06 (N) SIGN</p> <p>GEMINI PAINTED CAST ALUMINUM, 0134 OLD COPPER</p> <p>GEMINI CAST BRONZE, BRUSHED</p> <p>FONT: TRAJAN BOLD</p> 	<p>07 (E) & (N) BORDER</p> 
<p>08 (E) & (N) SIDEWALK & CURB</p> 	<p>09a (E) PAVER</p> 	<p>09b (E) PAVER</p> 
<p>10 (E) DRIVEWAY & (N) TURNAROUND</p> 	<p>11 (E) HOUSE WALL COLOR</p> 	<p>12 (E) REAR STEPS</p> 
<p>13 (E) LAWN EDGE</p> 	<p>14 (E) METAL GATE</p> 	<p>15 (N) BOLLARD</p> <p>US ARCH LIGHTING</p> <p>BDAR5-AR-FR2-36LED-VV-RAL-8109-T-DIM</p> <p>42" TALL</p> <p>8" DIA AT TOP</p> <p>DARK BRONZE</p> <p>42W DIMMABLE</p> <p>3000K</p> 
<p>16 (E) STEPS FACING WATER</p> 	<p>17 (E) VINTAGE PROPELLER</p> 	<p>(E) GUARDRAILS</p> 
<p>(E) LIGHT FIXTURES</p> <p>ABOVE LAWN ENTRY UPPER FLOOR CEILING AT EXTERIOR</p> 		

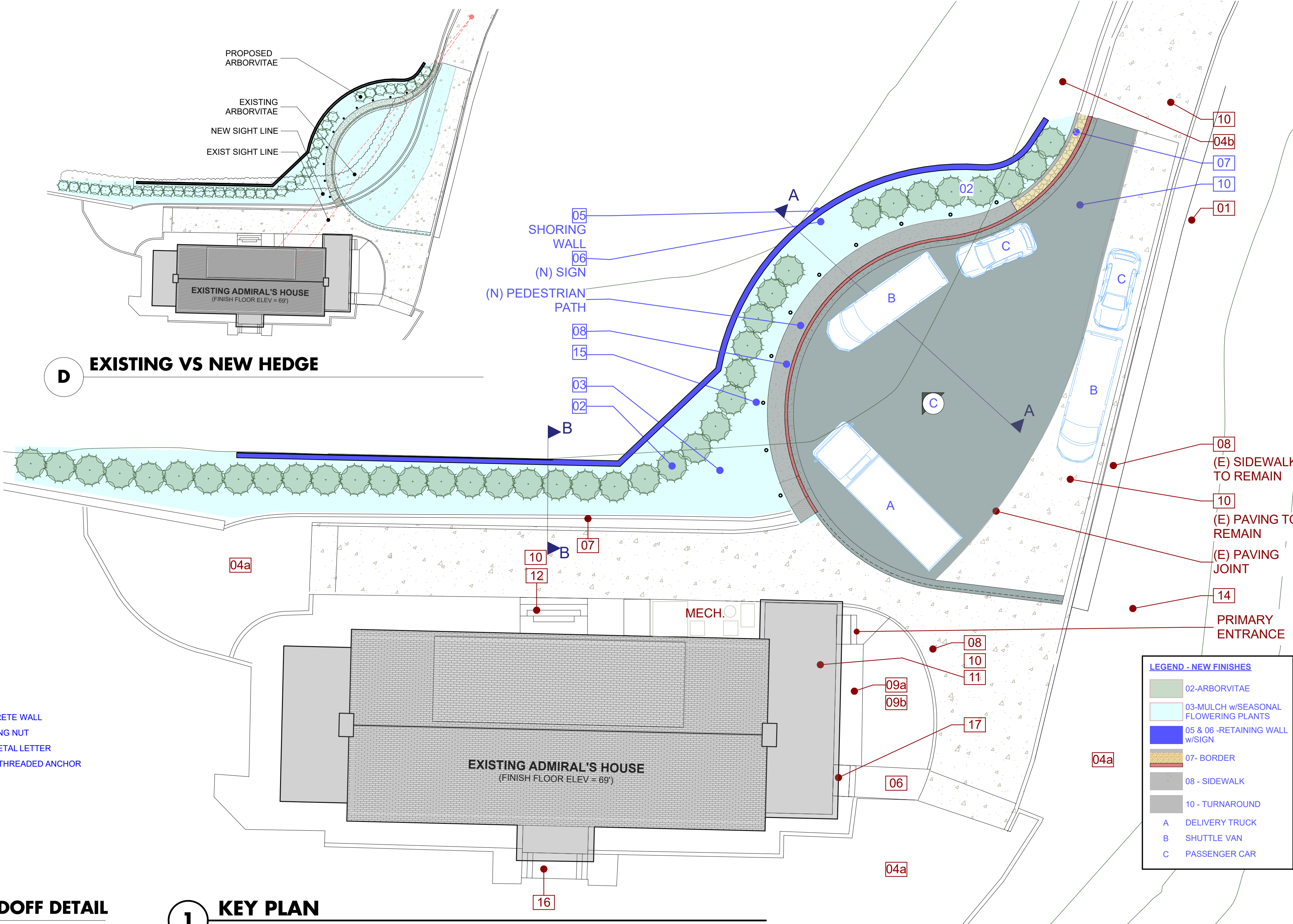
E LETTERING STANDOFF DETAIL
SCALE: 3" = 1'-0"



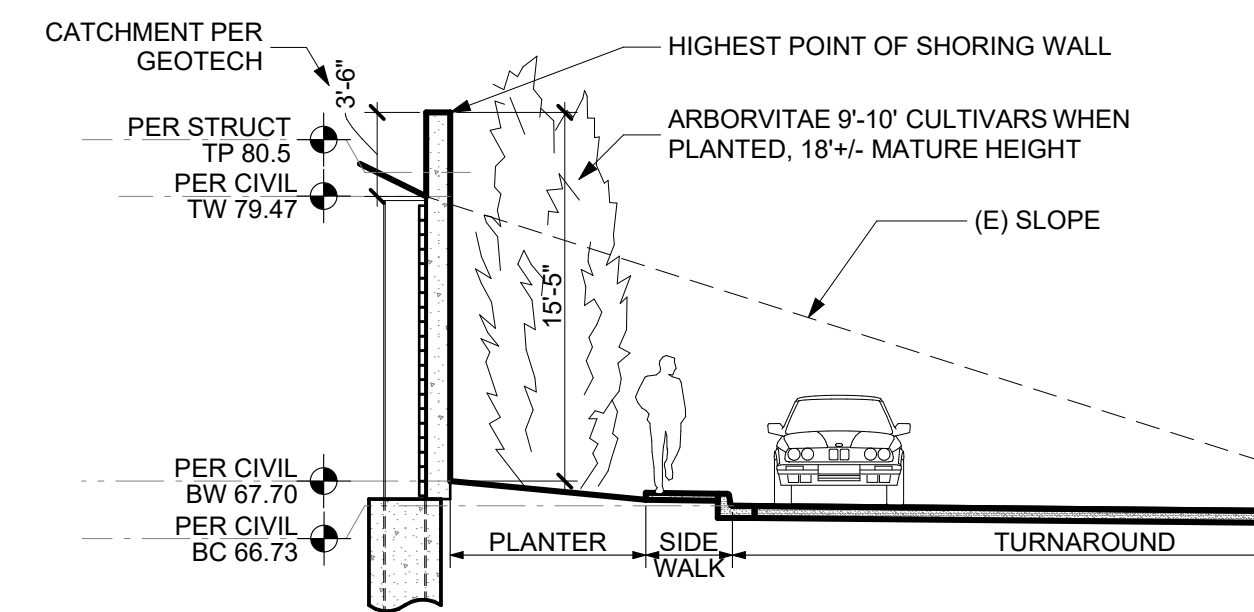
C1 PROPOSED WALL ELEVATION SKETCH
SCALE: 1/8" = 1'-0"



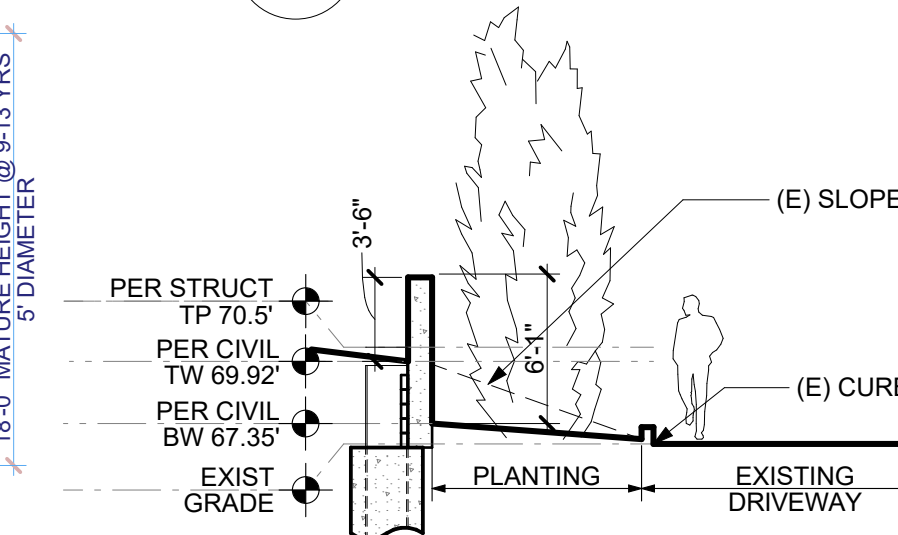
C2 PROPOSED WALL ELEVATION & ARBORVITAE GROWTH
SCALE: 1/8" = 1'-0"



1 KEY PLAN
SCALE: 3/32" = 1'-0"



A SITE SECTION @ MAX WALL HT
SCALE: 1/8" = 1'-0"



B SITE SECTION @ LOW WALL HT
SCALE: 1/8" = 1'-0"

LANDMARKS REVIEW

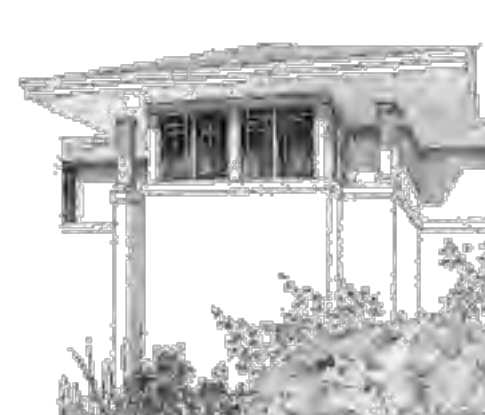
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SITE FINISHES

A1.07



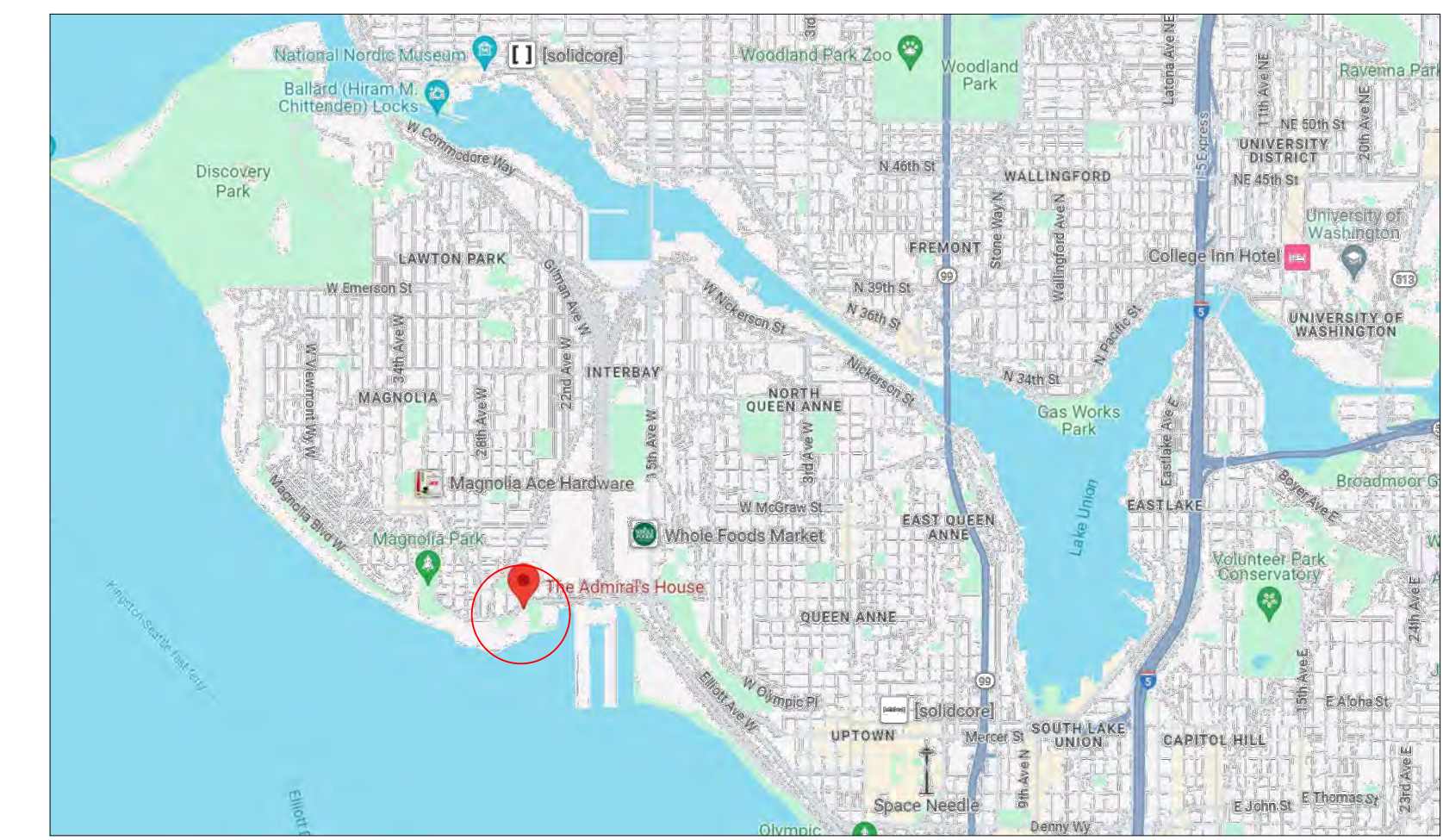
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VIEW FROM SOUTH



HISTORIC PHOTO - CIRCA 1945



VICINITY MAP



VIEW FROM SOUTH



CURRENT AERIAL VIEW



HISTORIC AERIAL VIEW - 1953



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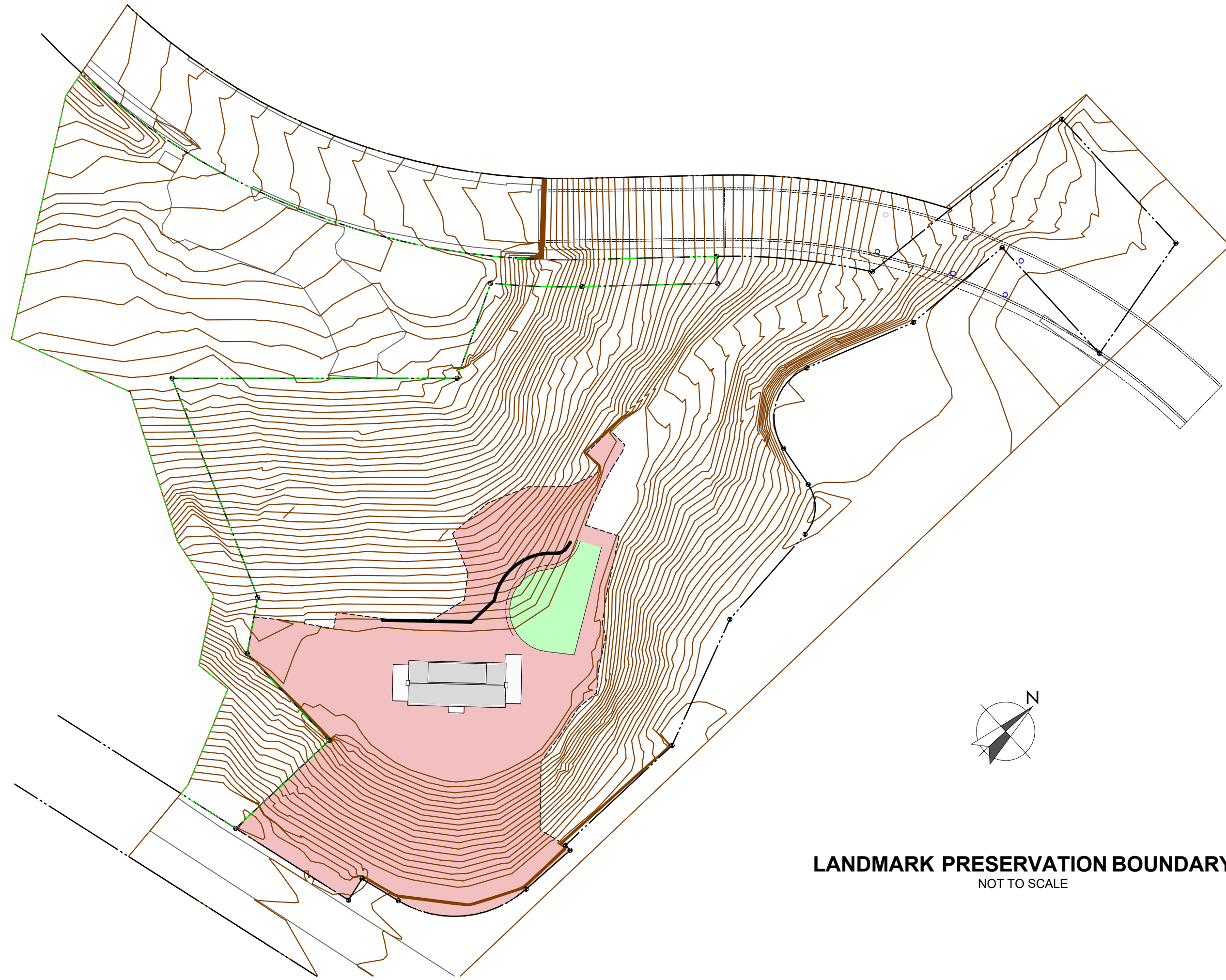
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LANDMARKS REVIEW

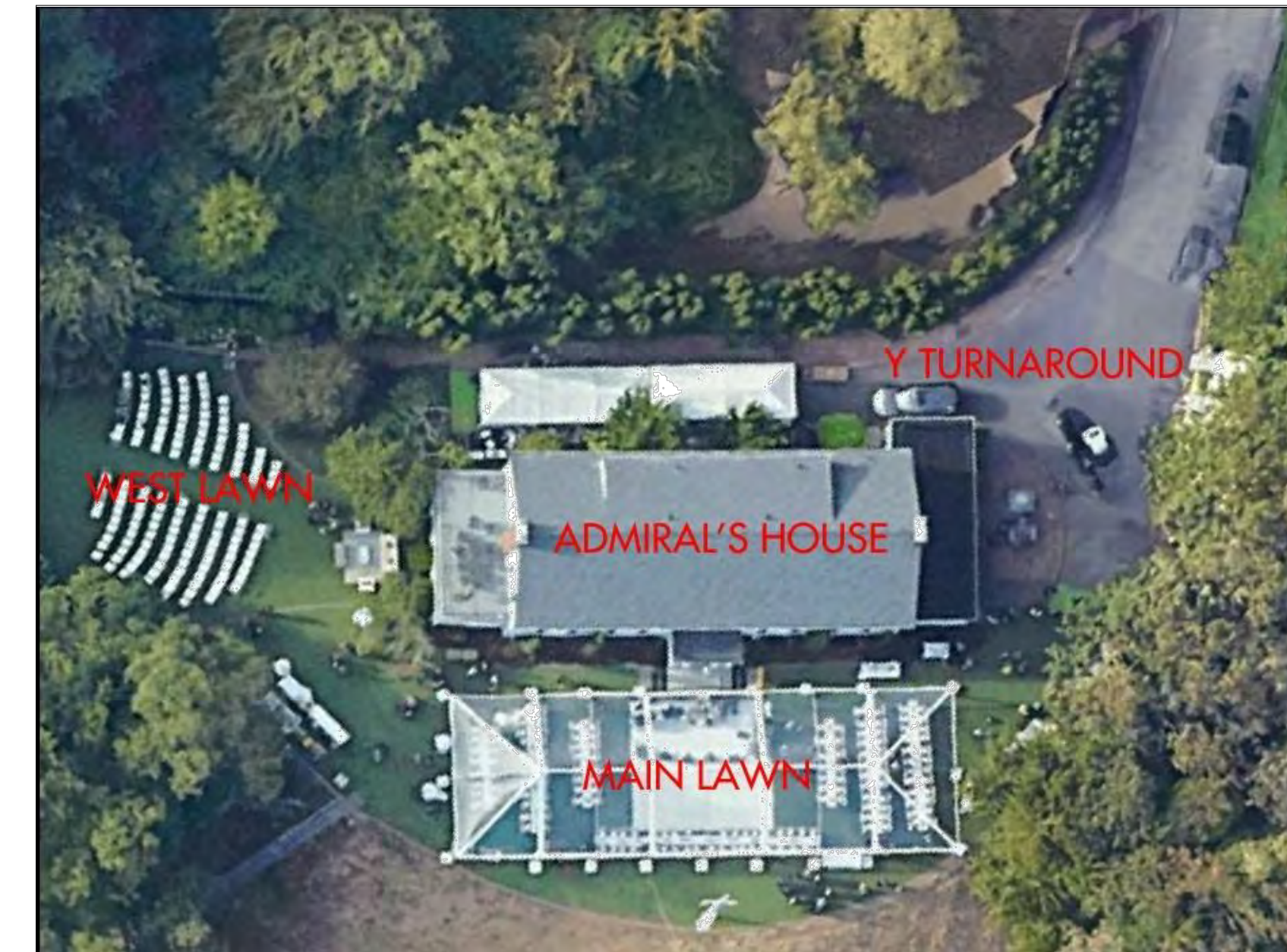
SITE PHOTOS
EXISTING &
HISTORIC

A1.11

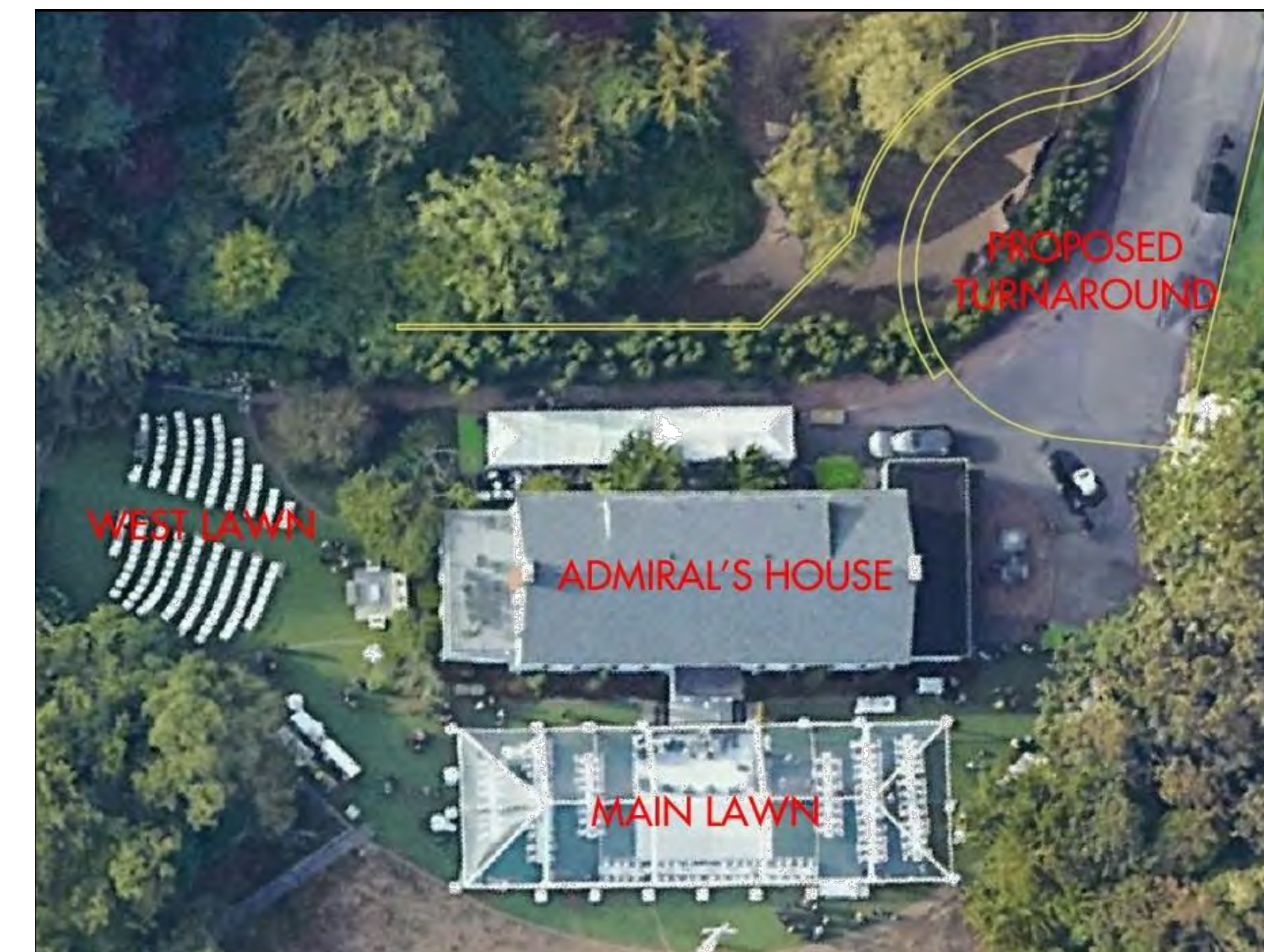
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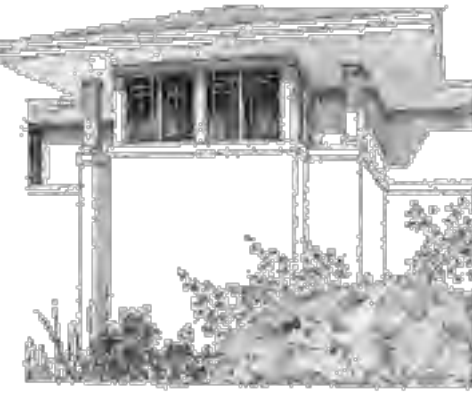
CURRENT AERIAL VIEW



ENLARGED AERIAL - EXISTING



ENLARGED AERIAL PROPOSED TURNAROUND



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LANDMARKS REVIEW

**AERIAL PHOTOS &
PRESERVATION
BOUNDARY**

A1.12



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LANDMARKS REVIEW

APPROACH PHOTOS

A1.13

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A

B

C



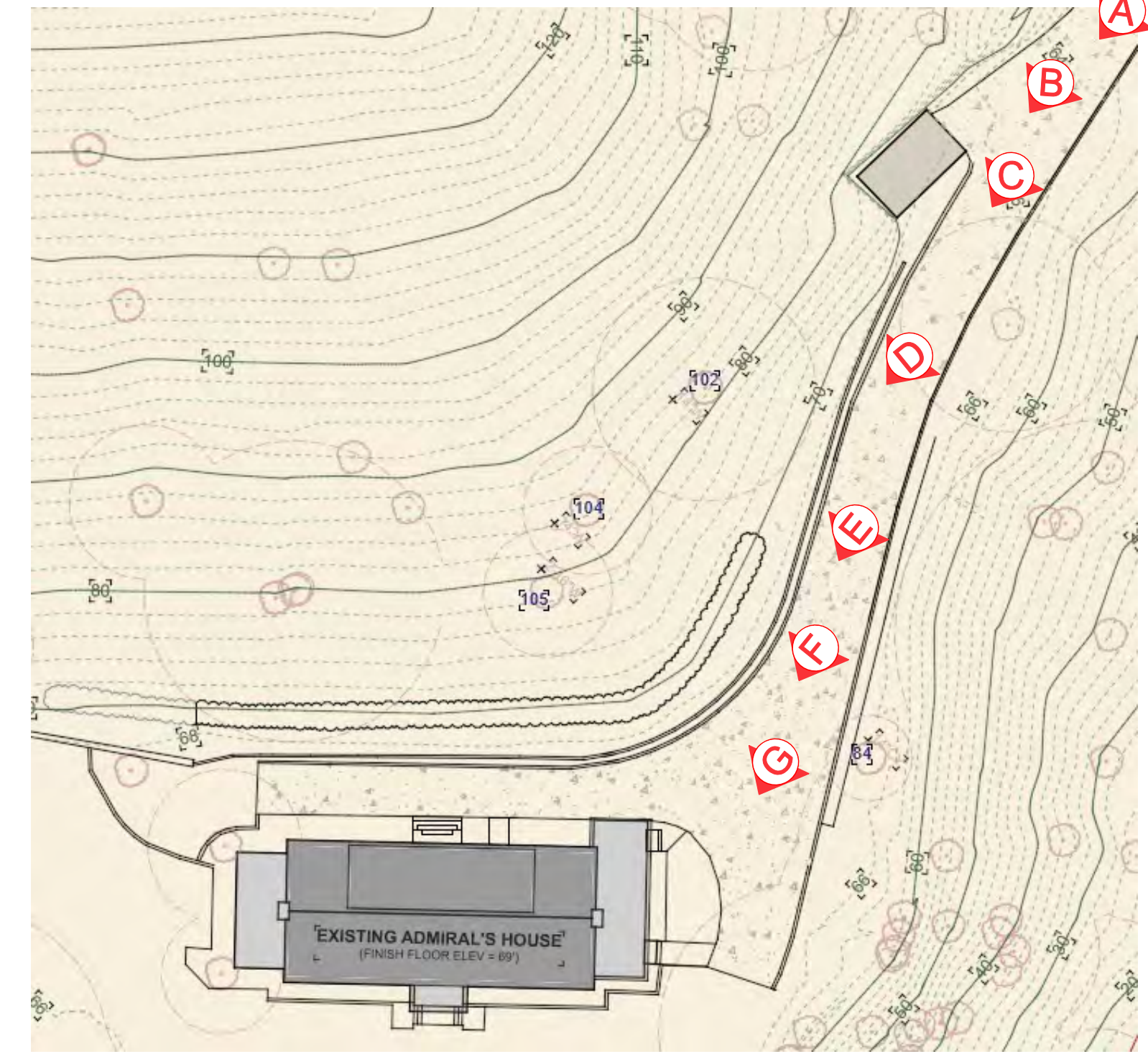
D

E

F



G

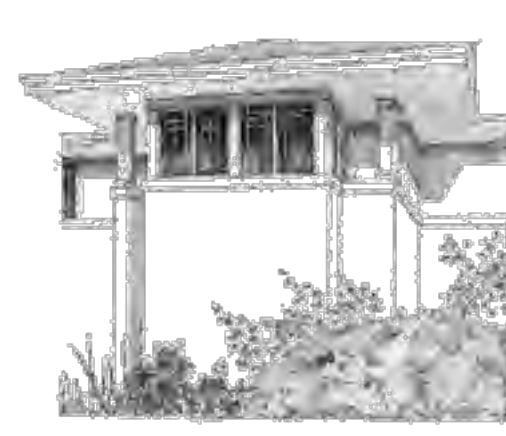
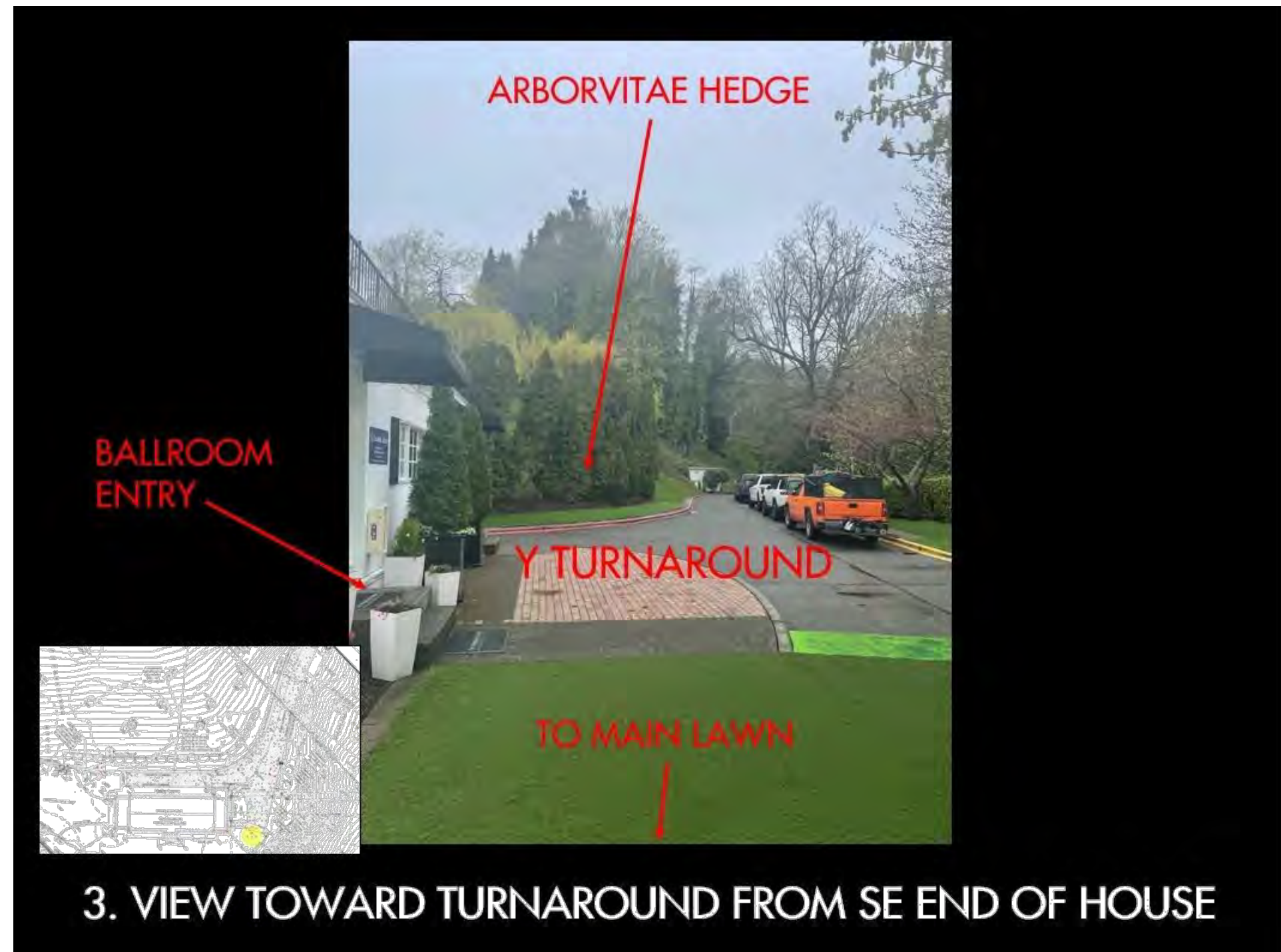


APPROACH KEY PLAN
SCALE 1" = 1'-0"

ARBORIST REPORT

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LANDMARKS REVIEW

SITE PHOTOS

A1.14

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ADMIRAL'S HOUSE TURNAROUND

2500 WEST MARINA PLACE
SEATTLE, WA 98199-4334

kpff

1601 5th Avenue, Suite 1600
Seattle, WA 98101
206.622.5822
www.kpff.com

GELLOTTE HOMMAS DRIVHAHL



2340 130TH AVE NE
SUITE 1000
BELLEVUE, WA 98005



LEGAL DESCRIPTION

PARCEL "G" OF THAT CERTAIN REAL PROPERTY DESCRIBED AND SHOWN ON THE RECORD OF SURVEY RECORDED UNDER KING COUNTY AUDITOR'S FILE NO. 2004022090002, RECORDS OF KING COUNTY, WASHINGTON. SAID PARCEL IS SITUATED IN THE SOUTHWEST 1/4 OF SECTION 23 AND THE NORTHWEST 1/4 OF SECTION 26, ALL IN TOWNSHIP 25 NORTH, RANGE 3 EAST, W.M., AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

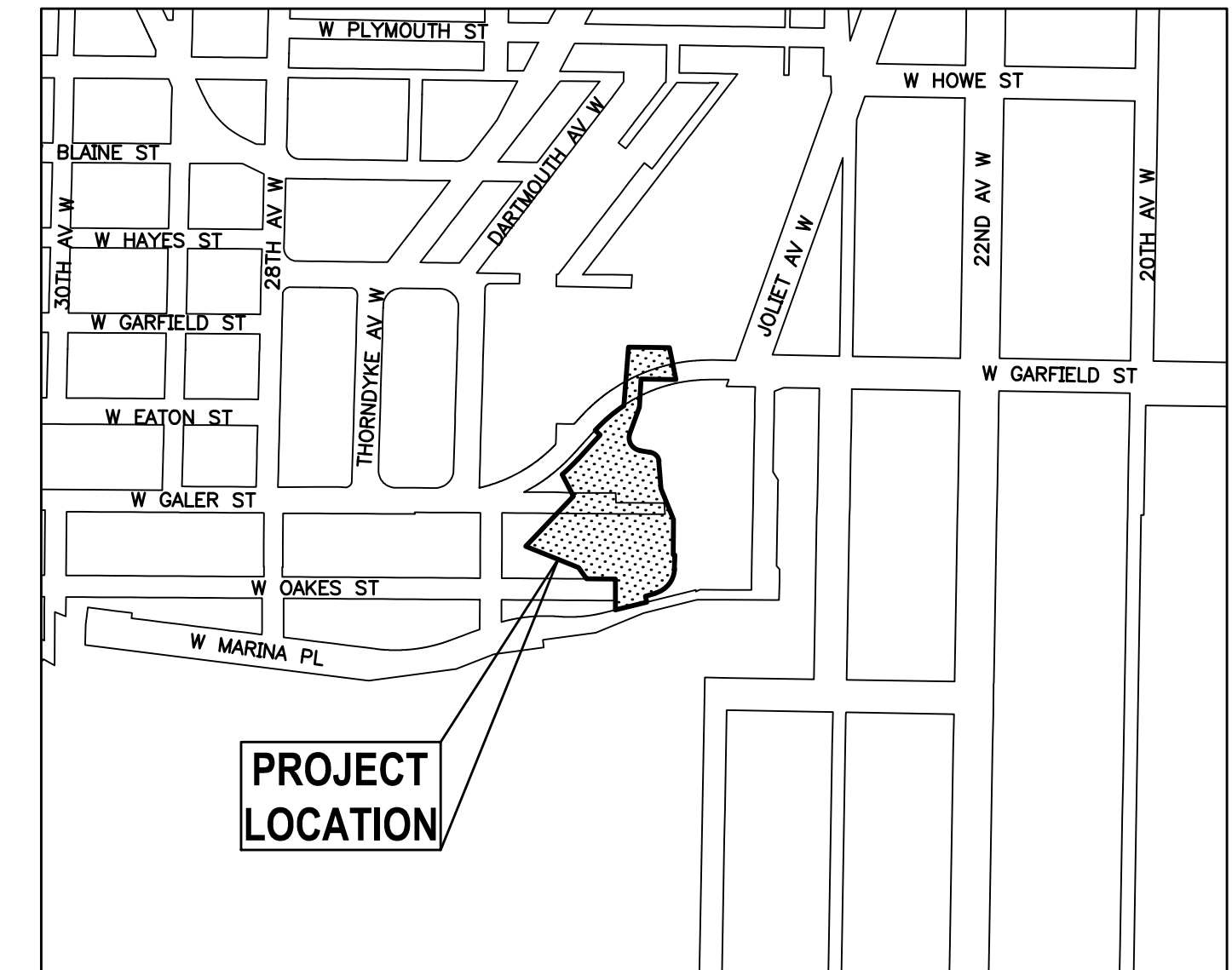
BEGINNING AT THE SOUTHWEST CORNER OF LOT 17, BLOCK 9, MINOR'S ADDITION TO THE CITY OF SEATTLE, ALSO KNOWN AS THE TRUE POINT OF BEGINNING OF QUIT CLAIM DEED RECORDED UNDER KING COUNTY AUDITOR'S FILE NO. 7606300880, AND THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION, SAID POINT BEING A 1" BRASS DISK IN CONCRETE; THENCE SOUTH 89°08'13" WEST ALONG THE NORTH MARGIN OF WEST OAKES STREET AS PLATTED IN SAID MINOR'S ADDITION A DISTANCE OF 88.36 FEET TO A 1" BRASS DISK IN CONCRETE;
THENCE NORTH 37°01'35" WEST A DISTANCE OF 42.26 FEET TO A FENCE CORNER;
THENCE NORTH 68°59'49" WEST A DISTANCE OF 173.81 FEET TO A FENCE CORNER;
THENCE NORTH 42°22'17" EAST A DISTANCE OF 210.78 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE NORTH 28°13'08" WEST A DISTANCE OF 74.51 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE EAST AND NORTH ALONG A CURVE TO THE LEFT, THE RADIUS POINT BEARING NORTH 41°58'19" WEST, WITH A RADIUS OF 550.00 FEET, A CENTRAL ANGLE OF 07°03'22", AN ARC DISTANCE OF 67.73 FEET TO A 1" BRASS DISK IN CONCRETE;
THENCE NORTH 40°58'18" EAST A DISTANCE OF 100.00 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE NORTH 49°01'42" WEST A DISTANCE OF 20.00 FEET TO THE SOUTH MARGIN OF WEST GARFIELD STREET AS ESTABLISHED BY THE CITY OF SEATTLE CONDEMNATION ORDINANCE 53518, AND A POINT OF CURVATURE, SAID POINT BEING A REBAR AND ALUMINUM CAP;
THENCE EAST AND NORTH ALONG A CURVE TO THE RIGHT, THE RADIUS POINT BEARING SOUTH 49°01'42" EAST, WITH A RADIUS OF 470.00 FEET, A CENTRAL ANGLE OF 14°07'59", AN ARC DISTANCE OF 115.93 FEET TO A REBAR AND ALUMINUM CAP;
THENCE NORTH 03°31'36" EAST A DISTANCE OF 179.84 FEET TO THE NORTHWEST CORNER OF THE PROPERTY EXCEPTION TO SAID QUIT CLAIM DEED (AFN # 7606300880), SAID POINT BEING A REBAR AND ALUMINUM CAP;
THENCE NORTH 89°46'23" EAST A DISTANCE OF 124.51 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE SOUTH 12°54'49" EAST A DISTANCE OF 99.23 FEET TO A REBAR AND ALUMINUM CAP;
THENCE SOUTH 89°46'23" WEST A DISTANCE OF 106.30 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE SOUTH 02°15'17" WEST A DISTANCE OF 85.82 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE SOUTH 19°15'04" WEST A DISTANCE OF 85.61 FEET TO A POINT OF CURVATURE, AND A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE SOUTH AND EAST ALONG A CURVE TO THE LEFT, THE RADIUS POINT BEARING SOUTH 70°44'58" EAST, WITH A RADIUS OF 40.00 FEET, A CENTRAL ANGLE OF 101°14'18", AN ARC DISTANCE OF 70.68 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE SOUTH 81°59'14" EAST A DISTANCE OF 32.46 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE EAST AND SOUTH ALONG A CURVE TO THE RIGHT, THE RADIUS POINT BEARING SOUTH 08°00'46" WEST, WITH A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 75°52'39", AN ARC DISTANCE OF 39.73 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE SOUTH 06°06'38" EAST A DISTANCE OF 83.97 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE SOUTH 23°01'25" EAST A DISTANCE OF 102.53 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE SOUTH 00°46'37" EAST A DISTANCE OF 107.79 FEET TO A REBAR AND ALUMINUM CAP;
THENCE SOUTH 88°18'21" EAST A DISTANCE OF 4.98 FEET TO A REBAR AND ALUMINUM CAP;
THENCE SOUTH 00°51'42" WEST A DISTANCE OF 43.38 FEET TO A POINT OF CURVATURE, SAID POINT BEING A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE SOUTH AND WEST ALONG A CURVE TO THE RIGHT, THE RADIUS POINT BEARING NORTH 89°08'18" WEST, WITH A RADIUS OF 80.00 FEET, A CENTRAL ANGLE OF 72°42'19", AN ARC DISTANCE OF 101.52 FEET TO A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE SOUTH 73°34'01" WEST A DISTANCE OF 31.32 FEET TO A REBAR AND ALUMINUM CAP;
THENCE SOUTH 15°10'12" EAST A DISTANCE OF 18.72 FEET TO THE NORTH MARGIN OF MARINA PLACE AS SET FORTH IN AUDITOR'S FILE # 116480, SAID POINT BEING A CONCRETE MONUMENT WITH TACK & LEAD;
THENCE SOUTH 74°49'48" WEST A DISTANCE OF 98.84 FEET TO A REBAR AND ALUMINUM CAP;
THENCE NORTH 00°51'47" WEST A DISTANCE OF 94.75 FEET TO THE TRUE POINT OF BEGINNING.

SAID PARCEL CONTAINING 3.89 ACRES, MORE OR LESS.

SITUATE IN THE CITY OF SEATTLE, COUNTY OF KING, STATE OF WASHINGTON.

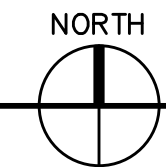
CIVIL ABBREVIATIONS

APPROX.	APPROXIMATELY	O.C.	ON CENTER
€	CENTER LINE	PCC	POINT OF CONNECTION
CO	CONDUIT	PCC	PORTLAND CEMENT CONCRETE
COMM	COMMUNICATIONS	PL	PROPERTY LINE
COS	CITY OF SEATTLE	PSD	PUBLIC STORM DRAIN
DI	DUCTILE IRON	PSE	PUGET SOUND ENERGY
E	EAST/EASTING	PSS	PUBLIC SANITARY SEWER
EL	ELEVATION	ROW	RIGHT OF WAY
ESC	EROSION AND SEDIMENT CONTROL	RT	RIGHT
EQ.	EQUAL	S	SLOPE
EX	EXISTING	SCL	SEATTLE CITY LIGHT
FFE	FINISH FLOOR ELEVATION	SD	STORM DRAIN
FL	FLOW LINE	SDCO	STORM DRAIN CLEANOUT
FT	FOOT/FEET	SDOT	SEATTLE DEPARTMENT OF TRANSPORTATION
HORZ	HORIZONTAL	SF	SQUARE FEET
HMA	HOT-MIX ASPHALT	SIP	STREET IMPROVEMENT PERMIT
IE	INVERT ELEVATION	SF	SQUARE FEET
LT	LEFT	SPU	SEATTLE PUBLIC UTILITIES
MEP	MECHANICAL ELECTRICAL PLUMBING	SS	SANITARY SEWER
MIN.	MINIMUM	SSS	SANITARY SIDE SEWER
MAX.	MAXIMUM	STA	STATION
N	NORTH/NORTHING	STD	STANDARD
NO.	NUMBER	TC	TOP OF CURB
		TYP	TYPICAL
		VERT	VERTICAL



LOCATION MAP

SCALE: 1" = 500'±



SHEET INDEX

SHEET NO	SHEET TITLE
C0.00	COVER SHEET
C1.00	HORIZONTAL CONTROL PLAN
C1.10	ECA PLAN
C2.00	DEMOLITION PLAN
C3.00	TESC PLAN
C3.10	TESC DETAILS
C3.11	TESC NOTES AND DETAILS
C4.00	GRADING AND PAVING PLAN
C4.01	GRADING ENLARGEMENT
C4.02	TYPICAL SECTIONS AND PAVING DETAILS
C4.10	GRADING AND DRAINAGE DETAILS
C5.00	ONSITE STORMWATER MANAGEMENT PLAN
S0.01	STRUCTURAL NOTES AND DRAWING LIST
S0.02	STRUCTURAL ABBREVIATIONS AND SYMBOLS
S1.01	SHORING PLAN
S2.01	WALL ELEVATIONS
S3.01	WALL SECTIONS
S4.01	STRUCTURAL DETAILS

ADMIRAL'S HOUSE TURNAROUND

2500 WEST MARINA PLACE
Seattle, Wa 98199-4334

Job No. 2400599
Project Manager: EKC
Issue Date: 02/2025

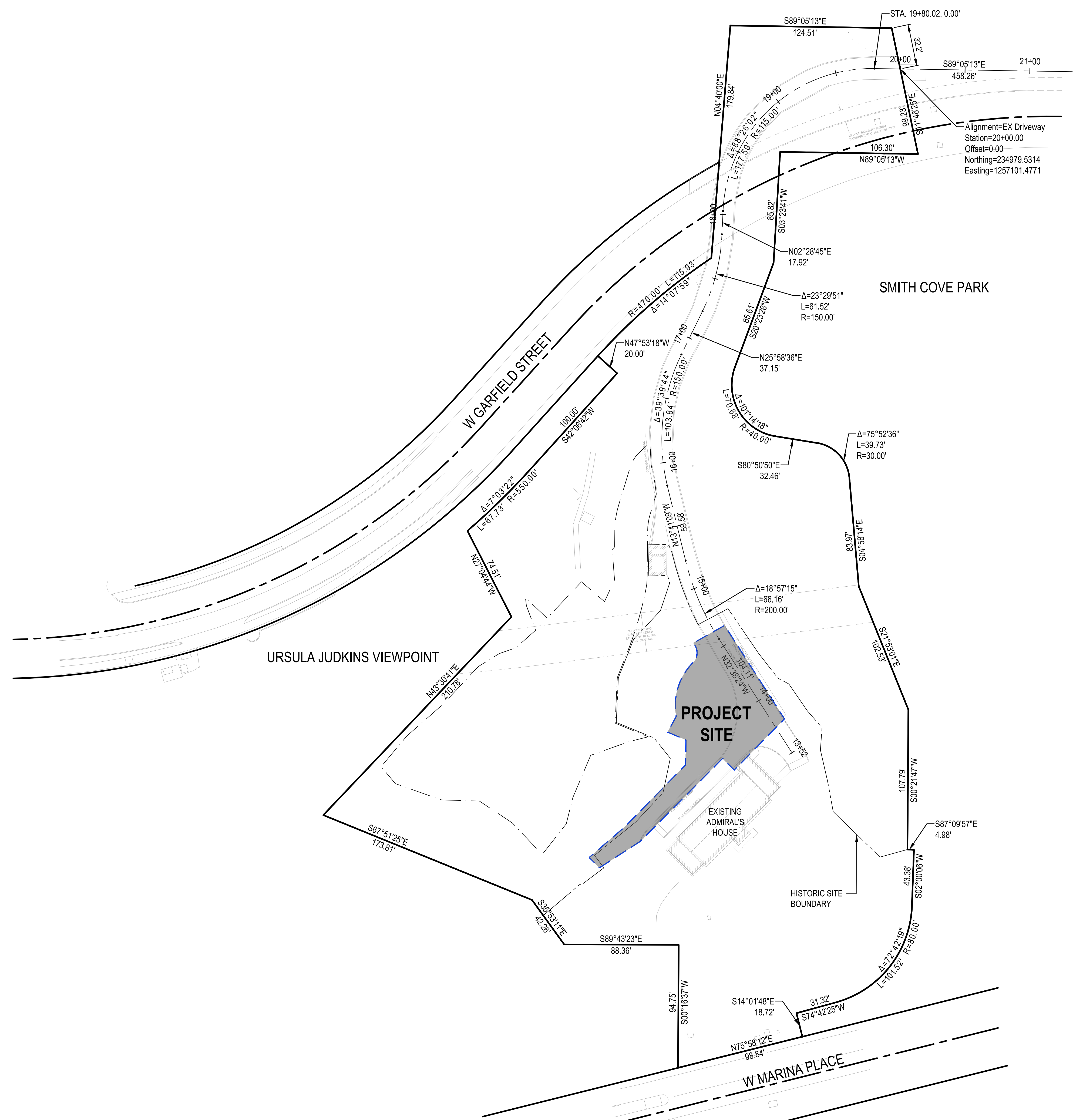
NO.	DATE	REVISION
△	07-2025	COS CYCLE 1 REVISIONS
△	01-2026	COS CYCLE 3 REVISIONS
	03-2026	LANDMARK SUBMITTAL



COVER SHEET

C0.00

Mar 24, 2026 - 12:22pm RUC/vel Z:\2400001-240599\240599 Admiral's House Turnaround Civil\CADD\Design\DD\AHT C1.00 HC.dwg

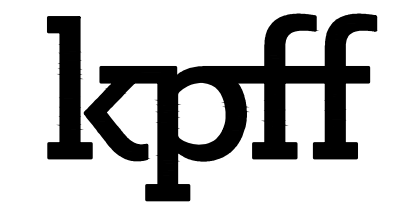
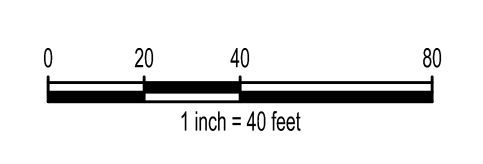
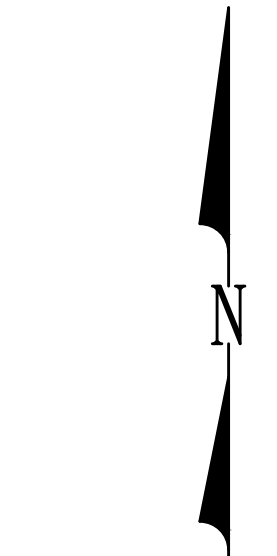


NOTES:

1. THE DESIGN INTENT IS THAT THE PROPOSED IMPROVEMENTS ARE CONTROLLED BASED ON A BEST FIT DRIVEWAY CENTERLINE ALIGNMENT. THE DRIVEWAY CENTERLINE ALIGNMENT LOCATION IS BASED ON PROPERTY LINE INFORMATION PER THE PROJECT SURVEY PREPARED BY DAVID EVANS AND ASSOCIATES, REVISED 7/27/23.
2. SEE SHEET C1.10 FOR DETAILED CRITICAL AREAS INFORMATION.

LEGEND

- PROPERTY LINE
- ROAD CENTERLINE
- LIMITS OF WORK
- HISTORIC SITE BOUNDARY
- NEW STEEP SLOPE BOUNDARY

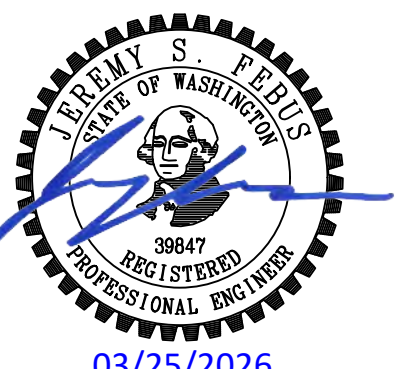


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GELOTTE HOMMAS DRIVEAHL



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03/25/2026

**ADMIRAL'S HOUSE
TURNAROUND**
 2500 WEST MARINA PLACE
 Seattle, Wa 98199-4334

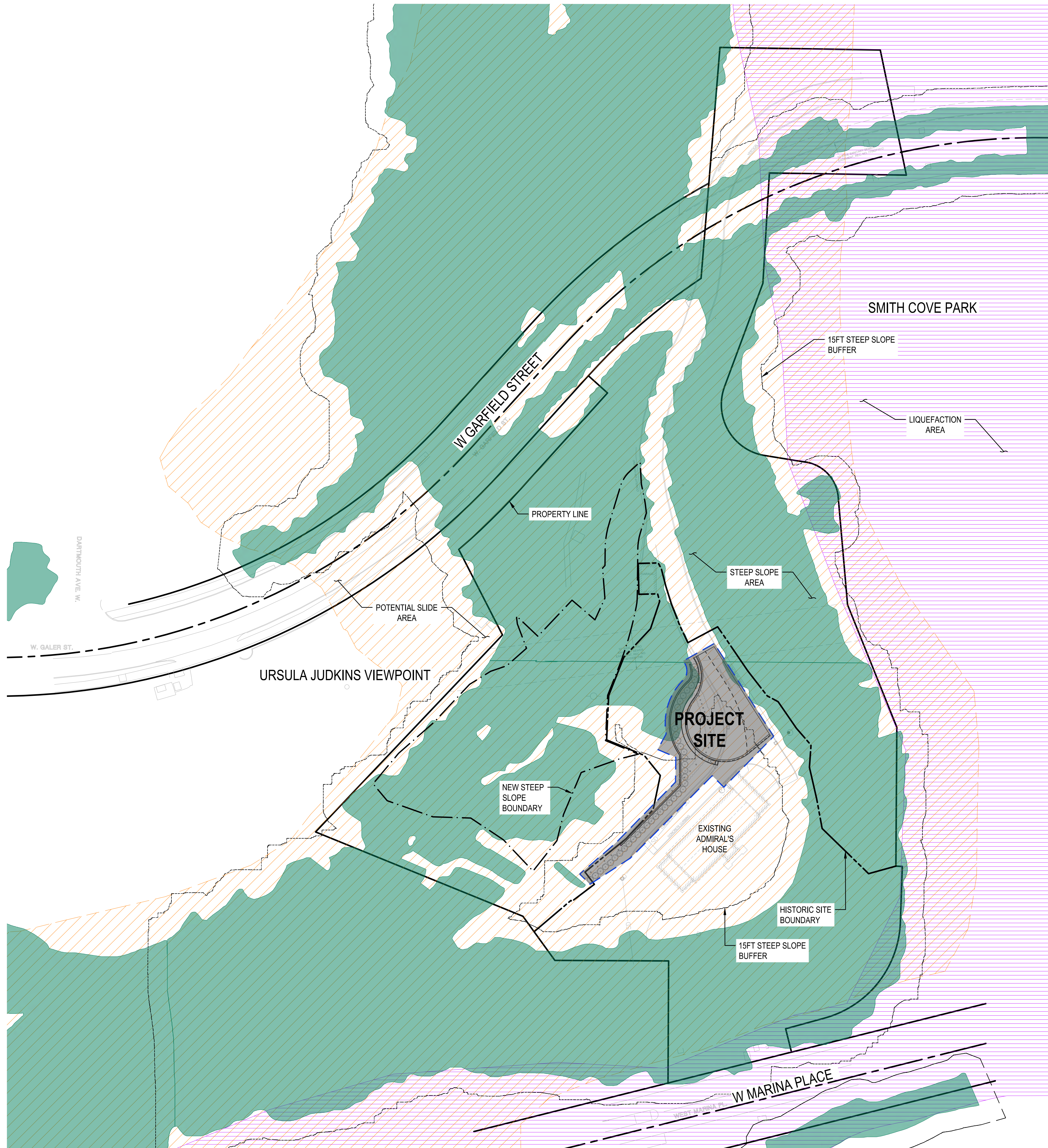
Job No. 2400599
 Project Manager: EKC
 Issue Date: 02/2025

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△	01-2026	COS CYCLE 3 REVISIONS
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HORIZONTAL CONTROL PLAN

C1.00

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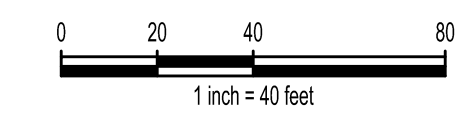


NOTES:

1. ENVIRONMENTALLY CRITICAL AREA (ECA) BOUNDARIES WERE IDENTIFIED USING THE SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS (SDCI) GIS MAPPING TOOL AND DOWNLOADED ON 12/09/2024. THESE BOUNDARIES ARE SUBJECT TO VERIFICATION DURING PROJECT REVIEW AND PERMITTING PROCESSES.
2. ALL PROJECT ACTIVITIES MUST COMPLY WITH SEATTLE MUNICIPAL CODE (SMC) CHAPTER 25.09 – ENVIRONMENTALLY CRITICAL AREAS REGULATIONS. NO WORK MAY OCCUR WITHIN DESIGNATED ECAS OR THEIR BUFFERS WITHOUT PRIOR APPROVAL.
3. THE PROPOSED PROJECT AREA IS OUTSIDE THE PROHIBITED STEEP SLOPE AREA DUE TO THE SLOPE BEING CREATED BY PREVIOUS LEGAL GRADING. SEE GEOTECH MEMO DATED 4/18/25.

LEGEND

- PROPERTY LINE
- ROAD CENTERLINE
- LIMITS OF WORK
- HISTORIC SITE BOUNDARY
- STEEP SLOPE AREA
- 15-FT STEEP SLOPE BUFFER
- LIQUEFACTION AREA
- POTENTIAL SLIDE AREA
- NEW STEEP SLOPE BOUNDARY

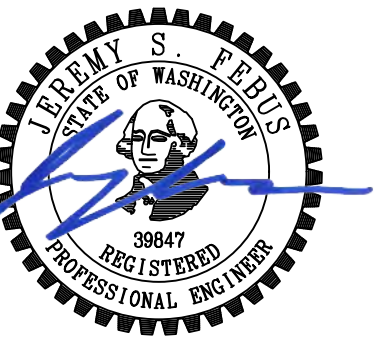


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03/25/2026

**ADMIRAL'S HOUSE
TURNAROUND**
 2500 WEST MARINA PLACE
 Seattle, Wa 98199-4334

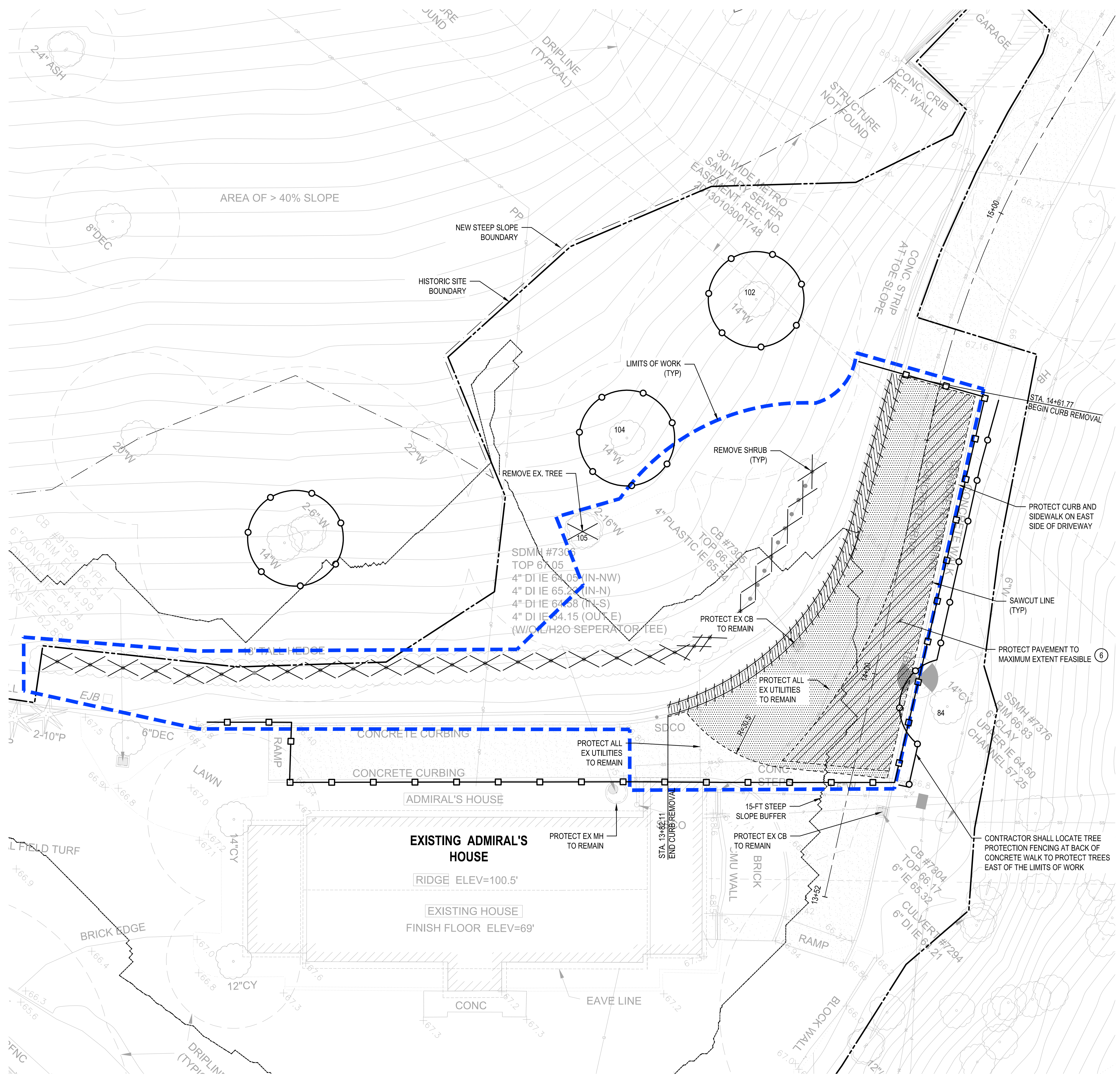
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**ENVIRONMENTALLY
CRITICAL AREAS
MAP**

C1.10

Mar 24, 2026 - 12:37pm RMcNeil Z:\2400001-2409999\2400599 Admiral's House Turnaround Civil\CADD\Design\DD\AFT_C2.00 DEMO.dwg



NOTES:

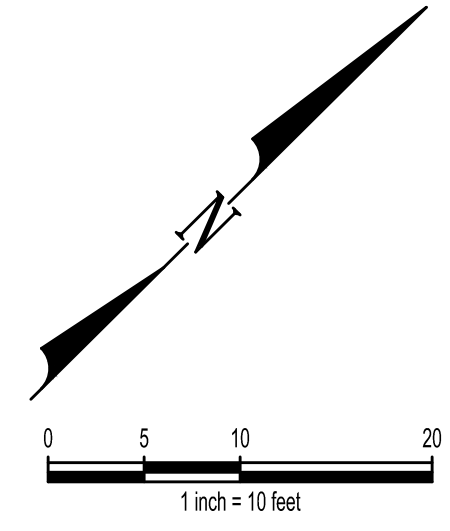
1. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND FIELD LOCATING CONSTRUCTION FENCING, SIGNAGE, AND BARRIERS AS REQUIRED TO PREVENT UNAUTHORIZED ACCESS INTO THE WORK AREA.
2. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
3. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES WITHIN THE WORK AREA.
4. CONTRACTOR SHALL PROTECT ALL ABOVE AND BELOW GRADE IMPROVEMENTS OUTSIDE OF THE LIMITS OF WORK THROUGHOUT CONSTRUCTION.
5. SURFACE AND BELOW GRADE IMPROVEMENTS INTENDED TO REMAIN SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE IF DAMAGED DURING DEMOLITION OR CONSTRUCTION ACTIVITIES.
6. THE PROJECT PROPOSES TO PROTECT THE EAST PORTION OF THE EXISTING DRIVEWAY WITHIN THE LIMITS OF WORK DURING CONSTRUCTION. IF DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL REPLACE THE PAVING IN THIS AREA PER THE PROPOSED PAVING SECTION. TO ALLOW FLEXIBILITY DURING CONSTRUCTION, THIS AREA IS ACCOUNTED FOR IN ALL PERMIT DOCUMENTS AND DRAINAGE ANALYSIS THRESHOLDS.

GRADING RESTRICTIONS:

CONTRACTOR SHALL STABILIZE ALL GRADING AREAS BY OCTOBER 31ST. NO EXCAVATION OR FILL PLACEMENT SHALL BE PERFORMED BETWEEN OCTOBER 31ST AND APRIL 1ST.

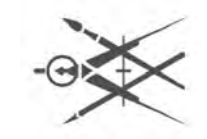
LEGEND

- LIMITS OF WORK
- HISTORIC SITE BOUNDARY
- 15-FT STEEP SLOPE BUFFER
- REMOVE CURB
- SAWCUT LINE
- REMOVE TREE/SHRUB
- PROTECT TREE NEAR PROJECT AREA
- DEMOLISH ASPHALT PAVEMENT
- DEMOLISH GRAVEL WALK
- PROTECT PAVEMENT TO MAXIMUM EXTENT FEASIBLE
- CONSTRUCTION FENCE
- NEW STEEP SLOPE BOUNDARY



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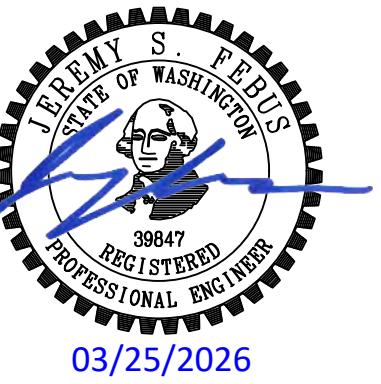
**ADMIRAL'S HOUSE
TURNAROUND**
2500 WEST MARINA PLACE
Seattle, Wa 98199-4334

Job No. 2400599
Project Manager: EKC
Issue Date: 02/2025

NO.	DATE	REVISION
△	07-2025	COS CYCLE 1 REVISIONS
△	01-2026	COS CYCLE 3 REVISIONS
△	03-2026	LANDMARK SUBMITTAL

DEMOLITION PLAN

C2.00



03/25/2026

ADMIRAL'S HOUSE TURNAROUND

2500 WEST MARINA PLACE
Seattle, Wa 98199-4334

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1	07-2025	COS CYCLE 1 REVISIONS
2	01-2026	COS CYCLE 3 REVISIONS
3	03-2026	LANDMARK SUBMITTAL

TESC PLAN

C3.00

NOTES:

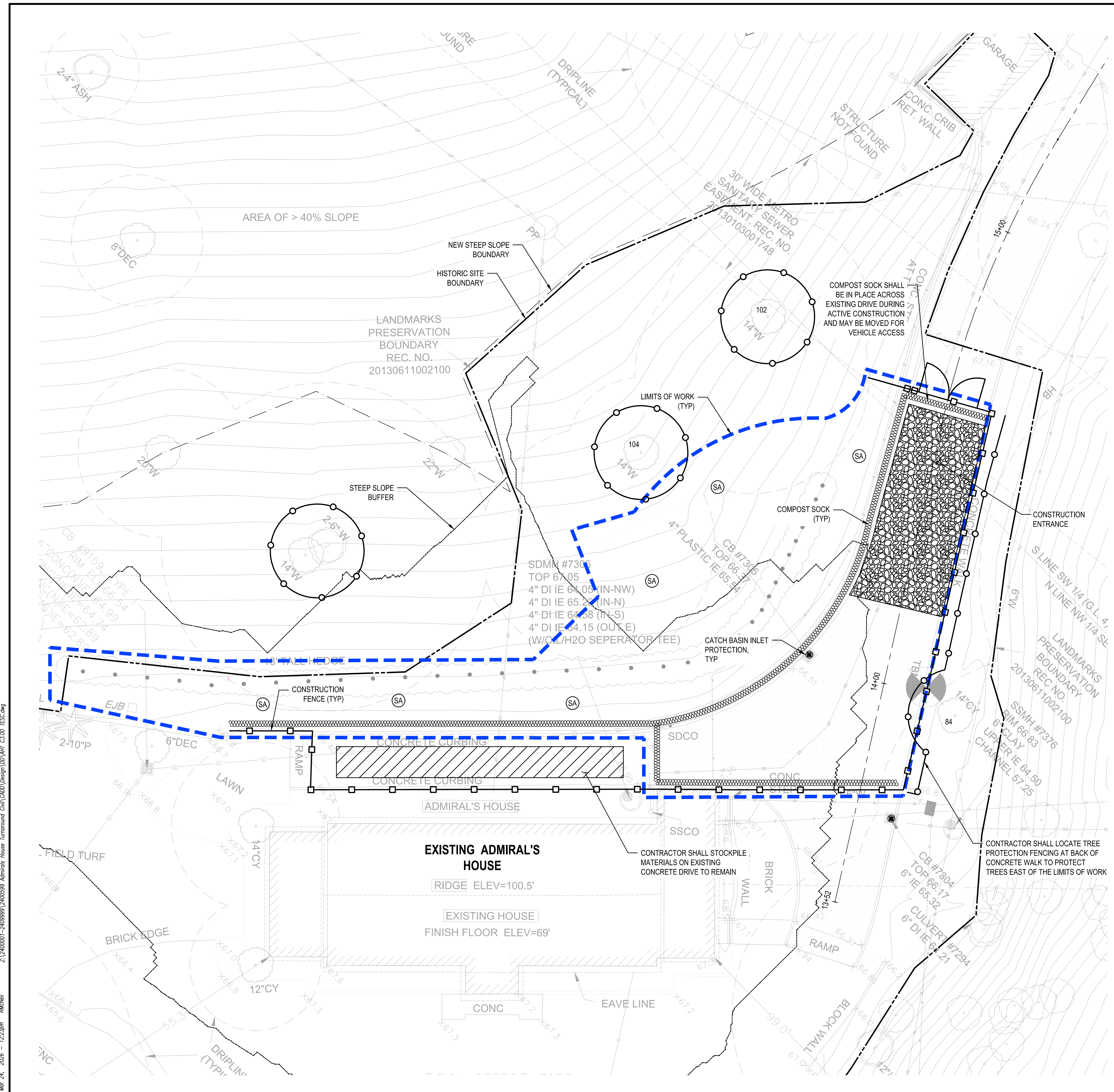
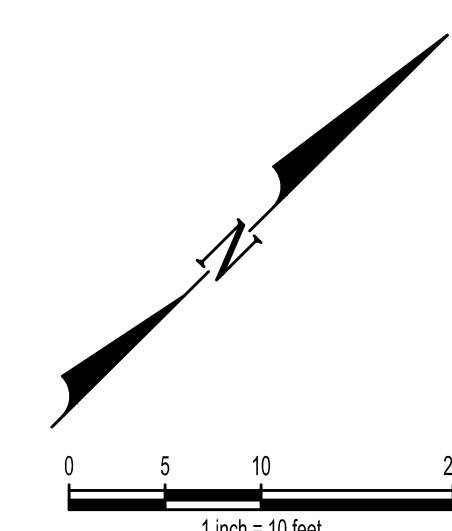
1. THE CONTRACTOR SHALL COMPLY WITH THE 2021 SEATTLE STORMWATER MANUAL (SSM) VOLUME 2: CONSTRUCTION STORMWATER CONTROL. THIS PLAN IS INTENDED TO REFLECT THE MINIMUM EROSION AND SEDIMENTATION CONTROL MEASURES REQUIRED FOR ANTICIPATED SITE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE FOR UPGRADING THESE MEASURES TO ACCOMMODATE SITE CONDITIONS AND STORM EVENTS.
2. THE SITE OPERATOR SHALL CONTROL STORMWATER RUNOFF TO LIMIT SEDIMENT AND POLLUTANTS FROM ENTERING PUBLIC STORM DRAINS AND SEWERS. PRIOR TO COMMENCING DEMOLITION AND EXCAVATION, CONTRACTOR SHALL IMPLEMENT CONSTRUCTION STORMWATER CONTROL MEASURES TO PROVIDE BEST MANAGEMENT PRACTICES (BMPs) INCLUDING: CATCH BASIN INLET PROTECTION AND COMPOST SOCK TO MEET THE CITY OF SEATTLE CONSTRUCTION STORMWATER DISCHARGE REQUIREMENTS. REFER TO 2021 SSM, VOLUME 2: CONSTRUCTION STORMWATER CONTROL.
3. A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESCL) SHALL BE PRESENT ON SITE OR ON CALL AT ALL TIMES.
4. STORM DRAIN INLET INSERTS (BMP E3.25 OF SSM) SHALL BE PLACED IN THE CATCH BASINS AND INLETS LOCATED WITHIN 1/4 MILE OF THE PROJECT SITE. CONTRACTOR SHALL CLEAN INSERTS PERIODICALLY TO ENSURE SEDIMENT ACCUMULATION WITHIN THE FILTER SHALL BE LESS THAN 6 INCHES AT ALL TIMES.
5. CONTRACTOR SHALL INSPECT, MAINTAIN, AND REPAIR ALL BMPs AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
6. CONTRACTOR SHALL REMOVE ALL BMPs WITHIN 5 BUSINESS DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED.
7. CONTRACTOR SHALL INSTALL COMPOST SOCK (BMP E3.35) AS NECESSARY TO PREVENT SEDIMENT LADEN RUNOFF FROM EXISTING IN THE WORK AREA.
8. CONTRACTOR SHALL UTILIZE GOOD HOUSEKEEPING PRACTICES FOR CONSTRUCTION SOURCE CONTROL AT ALL TIMES, PER SSM VOLUME 2 SECTION 5.1.
9. CONTRACTOR SHALL ADJUST THE CONSTRUCTION ENTRANCE IN THE FIELD IF ADDITIONAL PAVING IS PROTECTED DURING CONSTRUCTION.
10. CONTRACTOR SHALL COVER ALL SLOPES EXPOSED DURING SHORING WALL CONSTRUCTION AND RE-GRADING PER DETAIL 6 ON SHEET C3.11.

GRADING RESTRICTIONS:

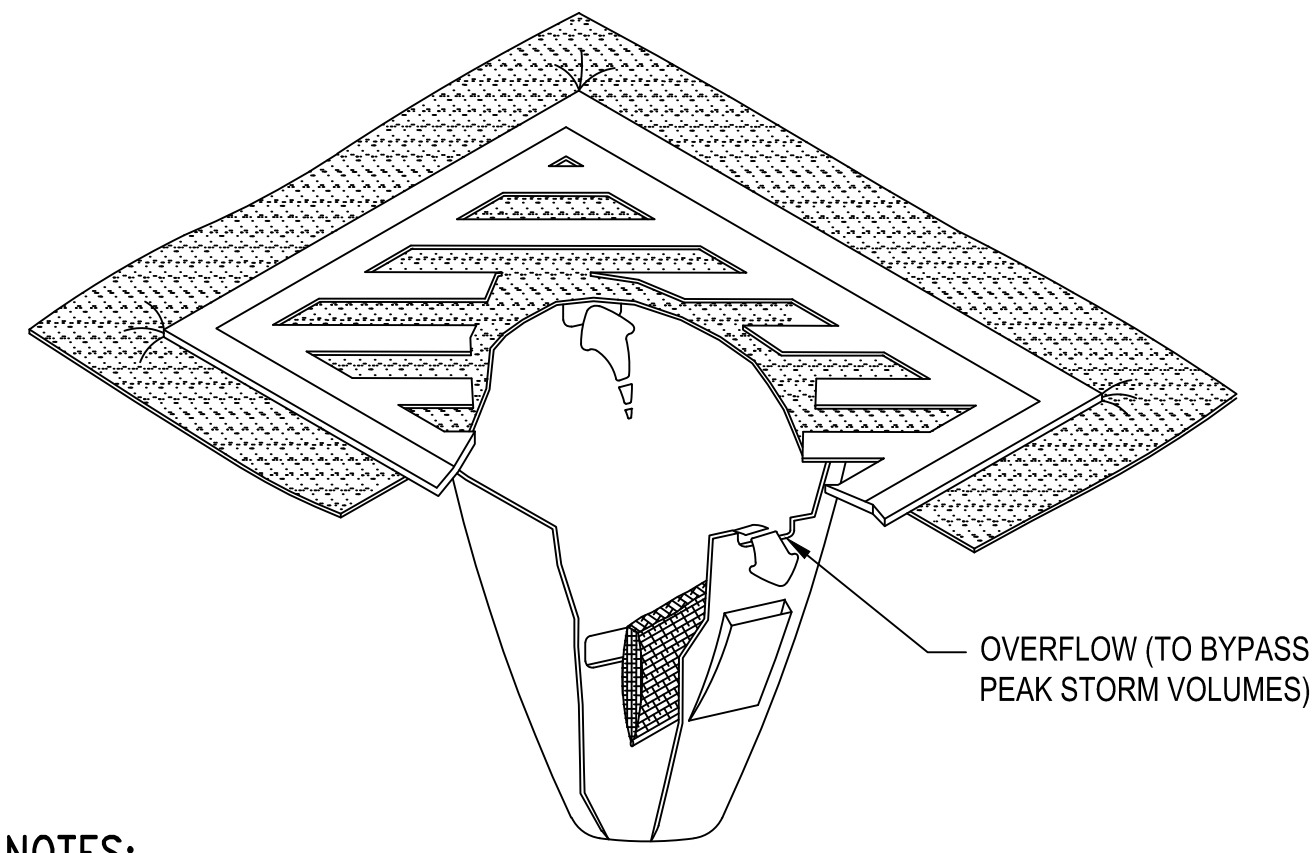
CONTRACTOR SHALL STABILIZE ALL GRADING AREAS BY OCTOBER 31ST. NO EXCAVATION OR FILL PLACEMENT SHALL BE PERFORMED BETWEEN OCTOBER 31ST AND APRIL 1ST.

LEGEND

- LIMITS OF WORK
- HISTORIC SITE BOUNDARY
- 15-FT STEEP SLOPE BUFFER
- ROAD CENTER LINE
- CATCH BASIN INLET PROTECTION 1 C3.10
- CONSTRUCTION FENCE 3 C3.10
- COMPOST SOCK 2 C3.10
- TREE PROTECTION FENCE 4 C3.10
- CONSTRUCTION ENTRANCE 5 C3.10
- NEW STEEP SLOPE BOUNDARY
- STOCKPILE AND EXPOSED SLOPE COVERING 6 C3.11
- SOIL AMENDMENT AREA 7 C3.11



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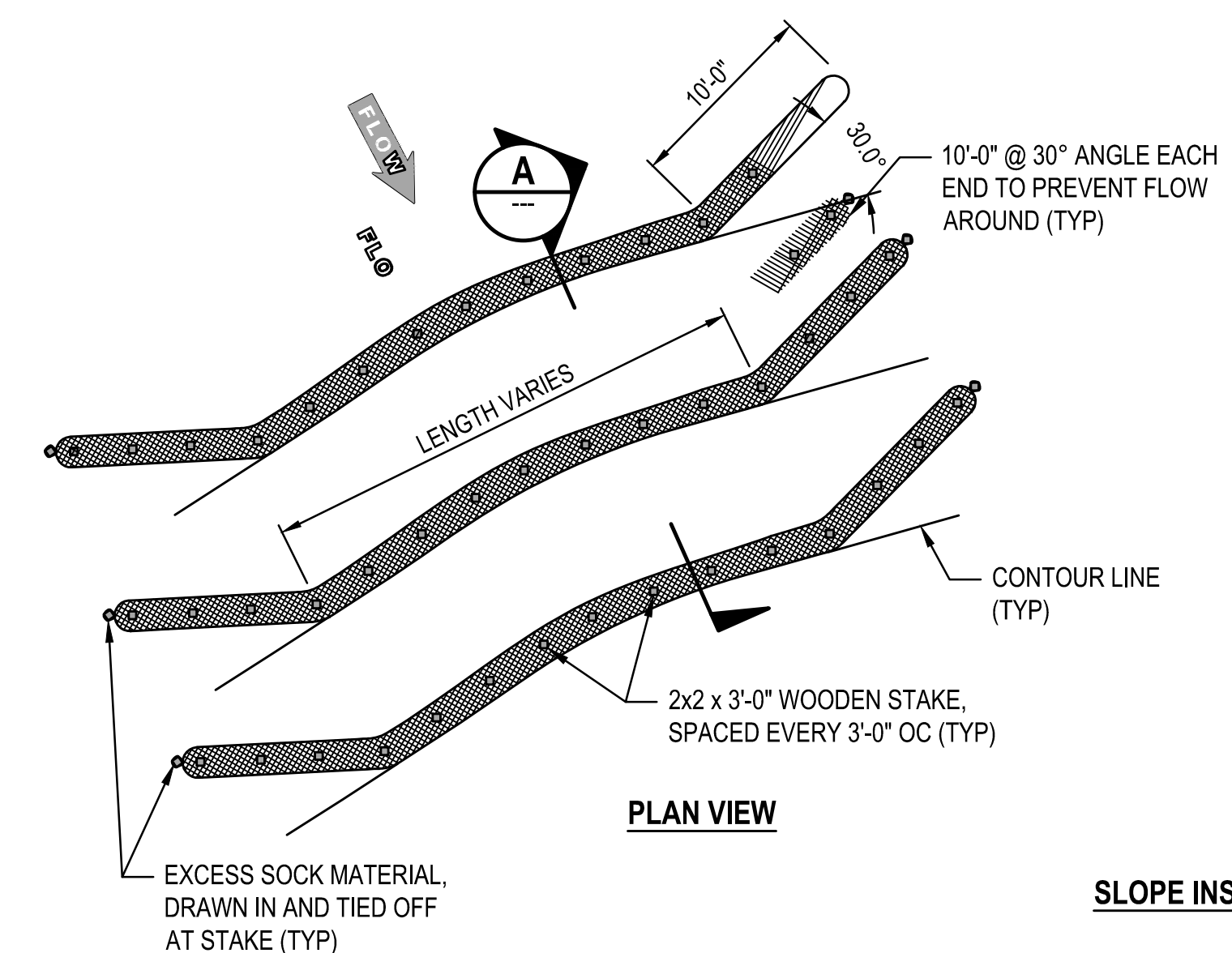


- NOTES:**
1. STORM DRAIN INLETS NEED TO BE REMOVED AT THE END OF THE JOB.
 2. STORM DRAIN INLETS ARE ONLY TO BE INSTALLED IN DRAINAGE DEVICES PER THE MANUFACTURER'S RECOMMENDATIONS. CATCH BASIN INSERTS ARE NOT TO BE INSTALLED IN CURB INLETS.
 3. INSERTS SHALL BE INSPECTED AND MAINTAINED WHEN A 1/2 INCH RAIN ACCUMULATES WITHIN A 24 HOUR PERIOD. CLEAN AND/OR REPLACE INSERT WHEN HALF OF THE TRAP IS FILLED WITH SEDIMENTS.

INLET PROTECTION

CITY OF SEATTLE BMP E3.25
NTS

1
C3.00

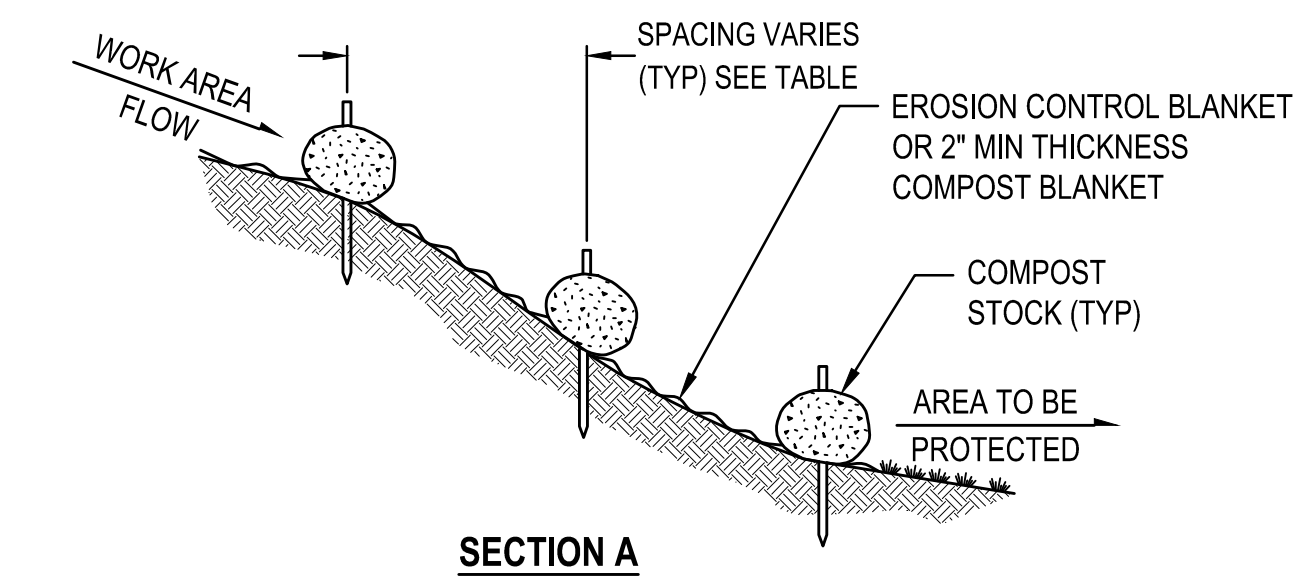


- NOTES:**
1. COMPOST SOCK SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATION 9-14.5(6). COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER OR SIZED TO SUIT CONDITIONS.
 2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IN ACCORDANCE WITH STANDARD SPECIFICATION 9-14.5(2), OR COMPOST BLANKET. SEE STANDARD PLAN I-60.10.
 4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
 5. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
 6. LIVE STAKES CAN BE USED IN ADDITION TO WOODEN STAKES AND SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATION 9-14.6(1). SEE PLANS FOR SPECIES SELECTION AND SPACING.

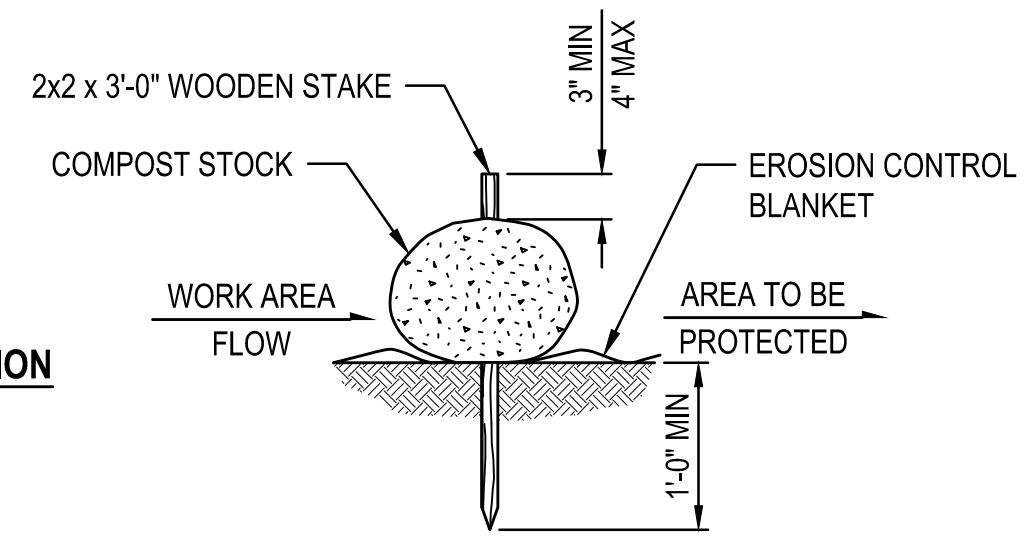
COMPOST SOCK DETAIL

NTS

2
C3.00

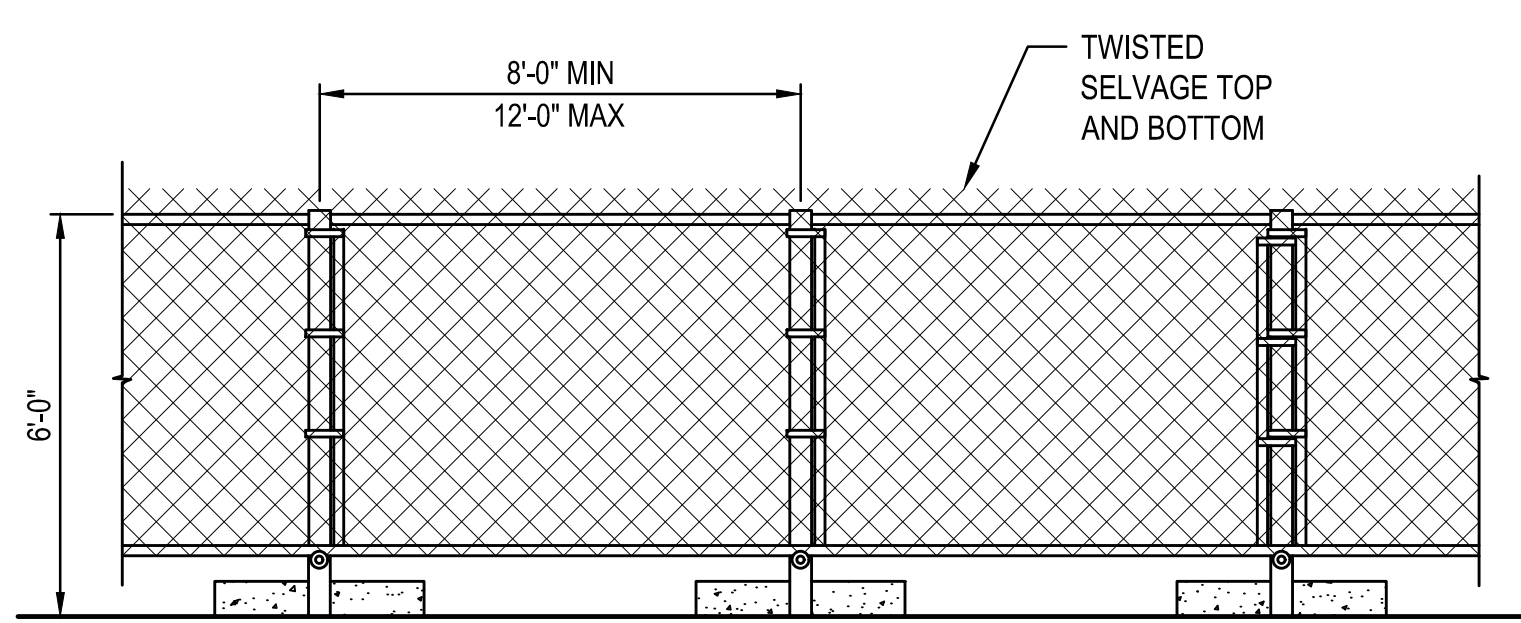


SECTION A



TYPICAL SECTION

COMPOST SOCK SPACING TABLE	
SLOPE	MAXIMUM SPACING
2.0:1	15'
2.5:1	20'
3.0:1	25'



- NOTES:**
1. CHAINLINK FABRIC TO BE MIN 11 GAUGE, GALVANIZED. NO RUSTED OR EXCESSIVELY MALFORMED FABRIC.
 2. FENCE BASES SHALL BE OF SUFFICIENT WEIGHT AND/OR SPREAD TO ADEQUATELY SUPPORT EACH PANEL.
 3. PANEL-TO-PANEL CONNECTIONS SHALL BE MADE AT A MIN TWO LOCATIONS PER CONNECTION UNLESS OTHERWISE APPROVED.
 4. INSTALL 11"-8" X 5'-6" MESH CONSTRUCTION SCRIM PER FENCE PANEL AND/OR CONSTRUCTION WARNING SIGN 50' OC BASED ON CONSTRUCTION GRAPHIC PLAN.

TEMPORARY CONSTRUCTION CHAINLINK FENCE DETAIL

NTS

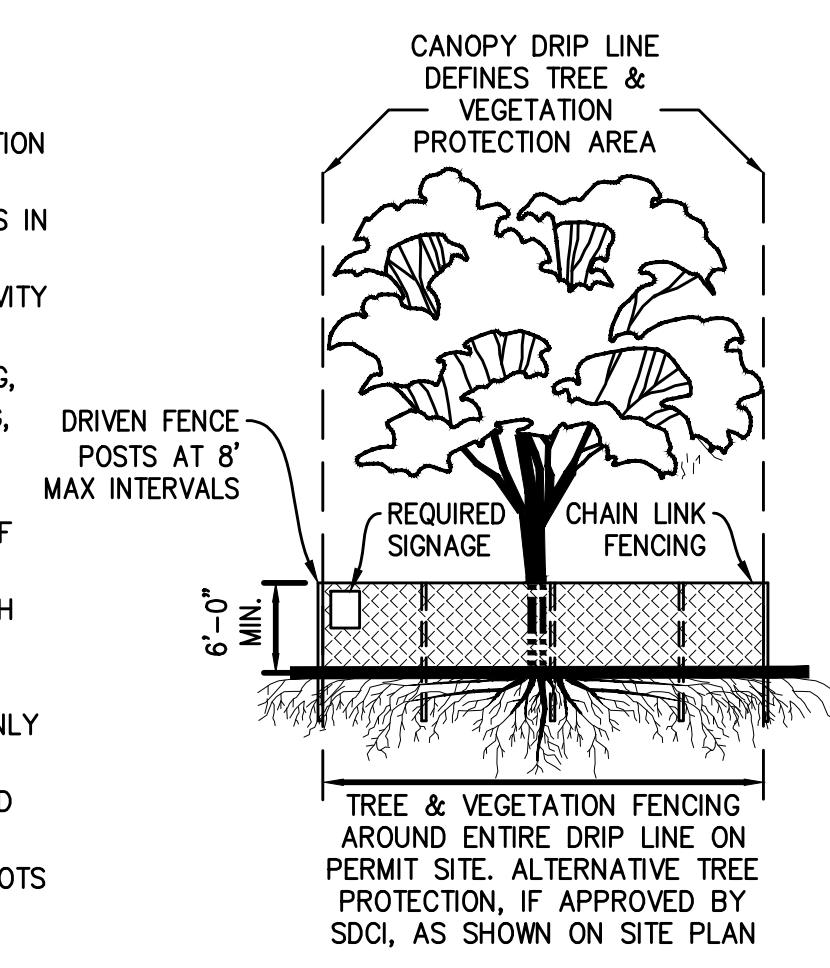
3
C3.00

TREE PROTECTION FENCING AND SIGN

1. CHAIN LINK FENCE REQUIRED (NO ORANGE CONSTRUCTION FENCE OR PLYWOOD)
2. MINIMUM 6' HIGH
3. FENCE SHALL BE SUPPORTED BY RIGID POSTS DRIVEN INTO THE GROUND AT 8' MAXIMUM INTERVALS
4. MUST BE INSTALLED PRIOR TO DEMOLITION OR GROUND DISTURBANCE
5. KEPT IN PLACE FOR THE DURATION OF CONSTRUCTION
6. NO DUMPING OF ANY MATERIALS IN THE PROTECTION AREA
7. NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN FENCED AREA: MATERIAL STORAGE/STOCKPILING, PARKING, EXCAVATION, DUMPING, OR WASHING
8. MODIFICATIONS OF THESE REQUIREMENTS BY APPROVAL OF SDCI PLANNER ONLY
9. IF ROOTS GREATER THAN 2 INCH FOUND OUTSIDE OF FENCING, PROTECT BY HAND EXCAVATION AND, IF NECESSARY, CUT CLEANLY AND KEEP MOIST
10. USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

VEGETATION PROTECTION (DOES NOT APPLY TO TREES)

1. ORANGE MESH OR SIMILAR OPEN MATERIAL
2. PROTECT VEGETATION OUTSIDE CONSTRUCTION ZONE WITH FENCING AS SHOWN

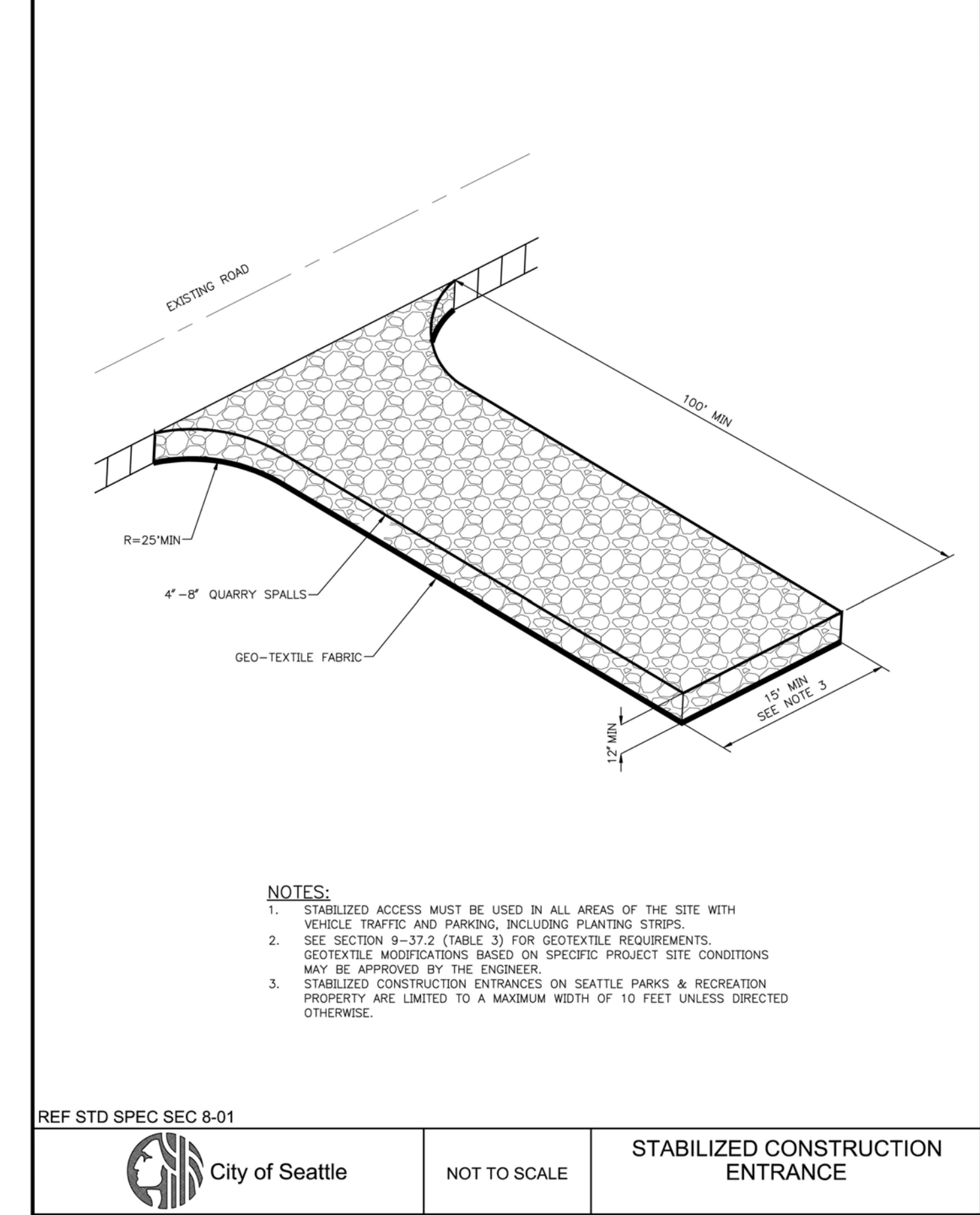


TREE PROTECTION FENCE

NTS

4
C3.00

000 GENERAL-LEGAL-MISC STANDARD PLAN NO 040
REV DATE: AUG 2017



- NOTES:**
1. STABILIZED ACCESS MUST BE USED IN ALL AREAS OF THE SITE WITH VEHICLE TRAFFIC AND PARKING, INCLUDING PLANTING STRIPS.
 2. SEE SECTION 9-37.2 (TABLE 3) FOR GEOTEXTILE REQUIREMENTS. GEOTEXTILE MODIFICATIONS BASED ON SPECIFIC PROJECT SITE CONDITIONS MAY BE APPROVED BY THE ENGINEER.
 3. STABILIZED CONSTRUCTION ENTRANCES ON SEATTLE PARKS & RECREATION PROPERTY ARE LIMITED TO A MAXIMUM WIDTH OF 10 FEET UNLESS DIRECTED OTHERWISE.

REF STD SPEC SEC 8-01
City of Seattle NOT TO SCALE STABILIZED CONSTRUCTION ENTRANCE

STABILIZED CONSTRUCTION ENTRANCE

NTS

5
C3.00



03/25/2026

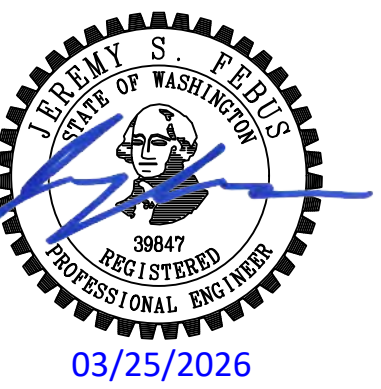
ADMIRAL'S HOUSE TURNAROUND
2500 WEST MARINA PLACE
Seattle, Wa 98199-4334

Job No. 2400599
Project Manager: EKC
Issue Date: 02/2025

NO.	DATE	REVISION
△	07-2025	COS CYCLE 1 REVISIONS
△	01-2026	COS CYCLE 3 REVISIONS
	03-2026	LANDMARK SUBMITTAL

TESC DETAILS

C3.10



03/25/2026

**ADMIRAL'S HOUSE
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2500 WEST MARINA PLACE
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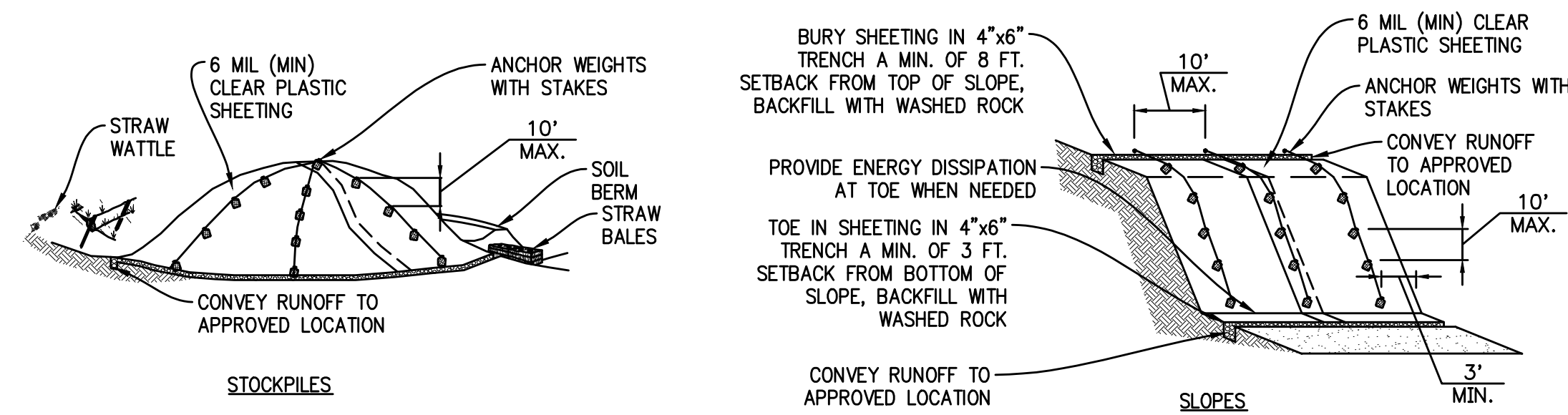


**TESC NOTES
AND DETAILS**

C3.11

CONSTRUCTION STORMWATER CONTROL (CSC) GENERAL NOTES:

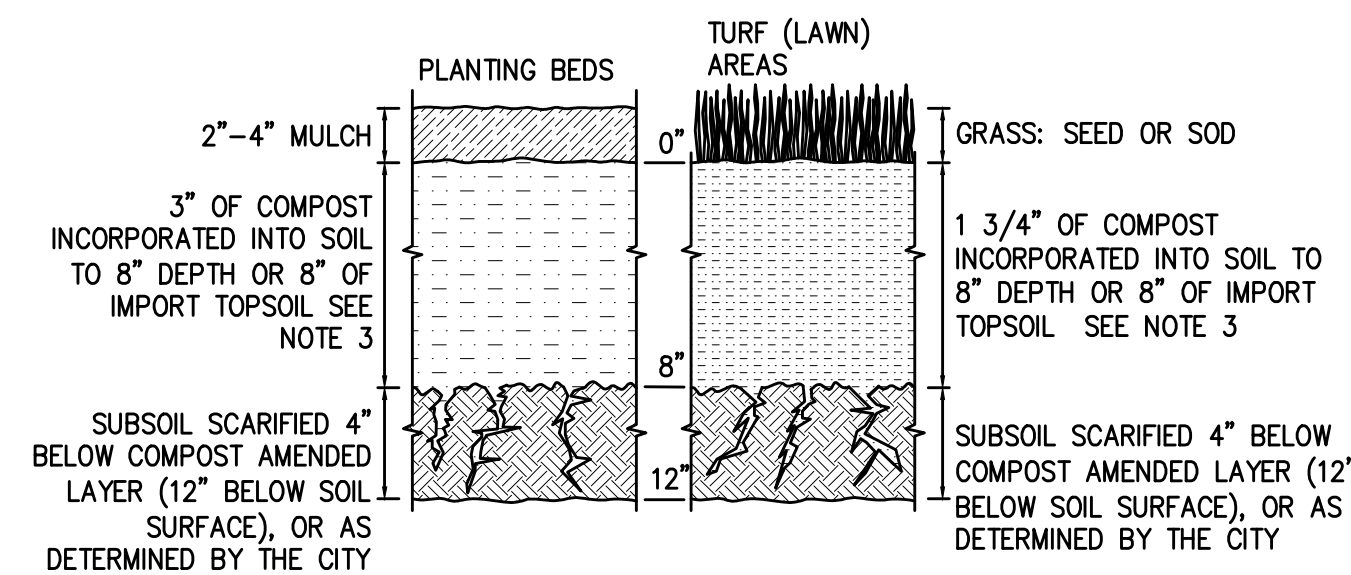
- A FIRST GROUND DISTURBANCE INSPECTION IS REQUIRED PRIOR TO START OF WORK ON ALL SITES WITH LAND DISTURBING ACTIVITY. SCHEDULE A FIRST GROUND DISTURBANCE INSPECTION FOR AN ISSUED BUILDING PERMIT AT 206-684-8900 OR ONLINE AS DESCRIBED AT <http://www.seattle.gov/sdci/inspections/site-development-inspections>
- THE APPLICANT SHALL DESIGNATE AN EROSION AND SEDIMENT CONTROL (ESC) SUPERVISOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). FOR LARGE CONSTRUCTION PROJECTS, THE ESC SUPERVISOR SHOULD BE A CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESCL). PROVIDE THE NAME AND PHONE NUMBER OF THE ESC SUPERVISOR TO THE SITE INSPECTOR AT THE FIRST GROUND DISTURBANCE INSPECTION.
- BMPs SHALL BE INSTALLED PRIOR TO STARTING CONSTRUCTION TO ENSURE SEDIMENT-LADEN WATER DOES NOT LEAVE THE PROJECT SITE OR ENTER ROADSIDE DITCHES, STORM DRAINS, SURFACE WATERS, OR WETLANDS.
- THE BMPs INCLUDED IN THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. THE APPLICANT IS RESPONSIBLE FOR ENSURING THAT BMPs ARE MODIFIED AS NEEDED FOR UNEXPECTED STORM EVENTS OR OTHER UNFORESEEN CIRCUMSTANCES, AND TO ACCOUNT FOR CHANGING SITE CONDITIONS.
- ANY AREAS OF DISTURBED SOIL THAT WILL NOT BE WORKED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON (OCT 1 TO APRIL 30) OR SEVEN DAYS DURING THE DRY SEASON (MAY 1 TO SEPT 30) SHALL BE IMMEDIATELY STABILIZED WITH APPROVED BMPs METHODS (E.G. STRAW, MULCH, PLASTIC COVERING, COLD MIX, ETC.)
- GRADING AND/OR SOIL DISTURBING ACTIVITIES MAY BE LIMITED OR PROHIBITED FOR CERTAIN SITES SUBJECT TO ECA STANDARDS (I.E. ECA STEEP SLOPES, LANDSLIDE PRONE AREAS, ETC.) BETWEEN OCTOBER 31ST AND APRIL 1ST. IF NOTED IN THE GEOTECHNICAL SPECIAL INSPECTIONS REQUIREMENTS, A GRADING SEASON EXTENSION LETTER (GSEL) ISSUED BY SDCI IS REQUIRED FOR ALL GRADING AND/OR SOIL DISTURBING ACTIVITIES DURING THIS PERIOD. THE GEOTECHNICAL SPECIAL INSPECTOR MUST SUBMIT ELECTRONIC APPLICATIONS FOR A GSEL USING THE SDCI PROJECT PORTAL. ALLOW FOUR TO SIX WEEKS FOR PROCESSING. FAILURE TO OBTAIN THE GSEL PRIOR TO OCTOBER 31 MAY RESULT IN A WORK STOPPAGE.
- CITY STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AT ALL TIMES. NO MATERIAL SHALL BE STORED ON CITY STREETS OR SIDEWALKS WITHOUT A STREET USE PERMIT FROM THE SEATTLE DEPARTMENT OF TRANSPORTATION (SDOT).
- POLLUTION CONTROL MEASURES SHALL BE FOLLOWED TO ENSURE THAT NO LIQUID PRODUCTS OR CONTAMINATED WATER ENTERS ANY STORM DRAINAGE FACILITIES OR OTHERWISE LEAVES THE PROJECT SITE. ANY HAZARDOUS MATERIALS OR LIQUID PRODUCTS THAT HAVE THE POTENTIAL TO POLLUTE RUNOFF SHALL BE STORED AND DISPOSED OF PROPERLY.
- ENSURE THAT WASHOUT FROM CONCRETE TRUCKS IS PERFORMED OFF-SITE OR IN DESIGNATED CONCRETE WASHOUT AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND, OR TO STORM DRAINS OR OPEN DITCHES. DO NOT DUMP EXCESS CONCRETE ONSITE, EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS.
- ALL AREAS OF DISTURBED SOIL SHALL BE FULLY STABILIZED WITH THE APPROPRIATE SOIL AMENDMENT AND COVER MEASURES AT COMPLETION OF THE PROJECT. TYPICAL COVER MEASURES INCLUDE LANDSCAPING OR HYDROSEED WITH MULCH.



STOCKPILE AND EXPOSED SLOPE DETAIL

COS STD CSC DETAILS

6
C3.00



NOTES:

- POST CONSTRUCTION SOIL AMENDMENT IS REQUIRED ON ALL AREAS NOT COVERED BY HARD SURFACE WHERE SOIL IS DISTURBED DURING CONSTRUCTION.
- SOIL AMENDMENT MUST PASS A 12 INCH MINIMUM PROBE TEST.
- IMPORT TOPSOIL, IF USED, MUST MEET THE REQUIREMENTS OF THE SEATTLE STORMWATER MANUAL, VOL. 1, SECTIONS 5.1.5.1 AND 5.1.5.3.

SOIL AMENDMENT DETAIL

COS STD CSC DETAILS

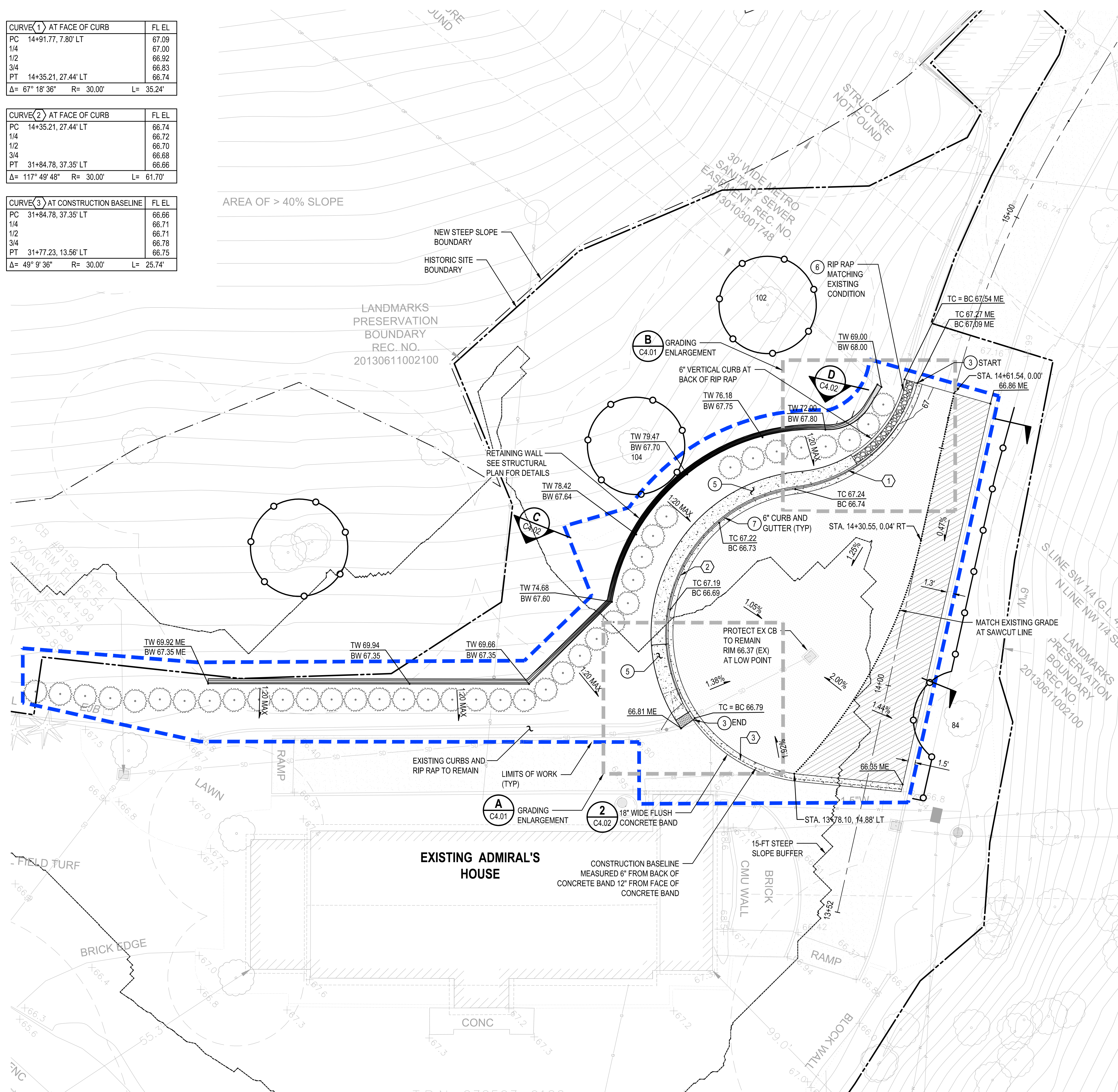
7
C3.00



CURVE (1) AT FACE OF CURB		FL EL
PC	14+91.77, 7.80' LT	67.09
1/4		67.00
1/2		66.92
3/4		66.83
PT	14+35.21, 27.44' LT	66.74
$\Delta = 67^\circ 18' 36''$ R= 30.00'		L= 35.24'

CURVE (2) AT FACE OF CURB		FL EL
PC	14+35.21, 27.44' LT	66.74
1/4		66.72
1/2		66.70
3/4		66.68
PT	31+84.78, 37.35' LT	66.66
$\Delta = 117^\circ 49' 48''$ R= 30.00'		L= 61.70'

CURVE (3) AT CONSTRUCTION BASELINE		FL EL
PC	31+84.78, 37.35' LT	66.66
1/4		66.71
1/2		66.71
3/4		66.78
PT	31+77.23, 13.56' LT	66.75
$\Delta = 49^\circ 9' 36''$ R= 30.00'		L= 25.74'



NOTES:

- SEE DETAIL 1 ON SHEET C4.10 FOR WALL SPOT ELEVATION CLARIFICATIONS.
- SEE DETAILS 2-4 ON SHEET C4.10 FOR WALL DRAINAGE DETAILS.
- CURB TO BE PAINTED RED WITH THE WORDS "NO PARKING - FIRE LANE" IN WHITE LETTERS TO DENOTE FIRE LANE PER SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTION FIRE CODE SECTION 503. FREQUENCY OF FIRE LANE TEXT MARKING TO MATCH EXISTING OR NO MORE THAN 50-FT APART.
- ALL SPOT ELEVATIONS ARE TO EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- PROPOSED SIDEWALK SHALL SLOPE AT 1.5% TOWARDS DRIVEWAY.
- RIP RAP BETWEEN CURBS SHALL MATCH EXISTING RIP RAP ALONG EDGE OF DRIVEWAY.
- VERTICAL CURB AND CURB & GUTTER SHALL MATCH EXISTING CURBS ALONG EXISTING DRIVEWAY.
- PLANTING AND MATERIAL FINISHED SHALL BE PER ARCHITECT.
- THE PROJECT PROPOSES TO PROTECT THE EAST PORTION OF THE EXISTING DRIVEWAY WITHIN THE LIMITS OF WORK DURING CONSTRUCTION. IF DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL REPLACE PAVING IN THIS AREA PER THE PROPOSED PAVING SECTION. TO ALLOW FLEXIBILITY DURING CONSTRUCTION, THIS AREA IS ACCOUNTED FOR IN ALL PERMIT DOCUMENTS AND DRAINAGE ANALYSIS THRESHOLDS.

GRADING RESTRICTIONS:

CONTRACTOR SHALL STABILIZE ALL GRADING AREAS BY OCTOBER 31ST. NO EXCAVATION OR FILL PLACEMENT SHALL BE PERFORMED BETWEEN OCTOBER 31ST AND APRIL 1ST.

LEGEND

- LIMITS OF WORK
- PROPERTY LINE
- HISTORIC SITE BOUNDARY
- 15-FT STEEP SLOPE BUFFER
- ROAD CENTER LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PEDESTRIAN CONCRETE (C4.02)
- DRIVEWAY CONCRETE (C4.02)
- FLOW DIRECTION
- SPOT ELEVATION
- SLOPE
- CURB (C4.02)
- RETAINING WALL (C4.02)
- RIP RAP ROCK (C4.02)
- GRADE BREAK (C3.10)
- DETECTABLE WARNING SURFACE PER CITY OF SEATTLE STANDARD PLAN 422 (C4.02)
- CONCRETE BAND (C4.02)
- PAVEMENT TO BE PROTECTED TO THE MAXIMUM EXTENT FEASIBLE (C4.02)
- NEW STEEP SLOPE BOUNDARY (C4.02)
- TREE PROTECTION FENCE (C4.02)

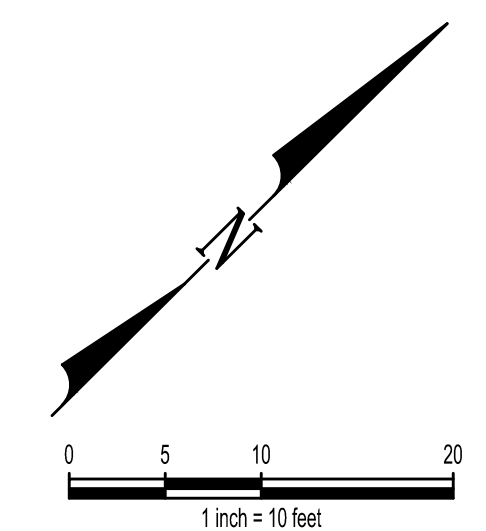
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GRADING AND
PAVING PLAN

C4.00





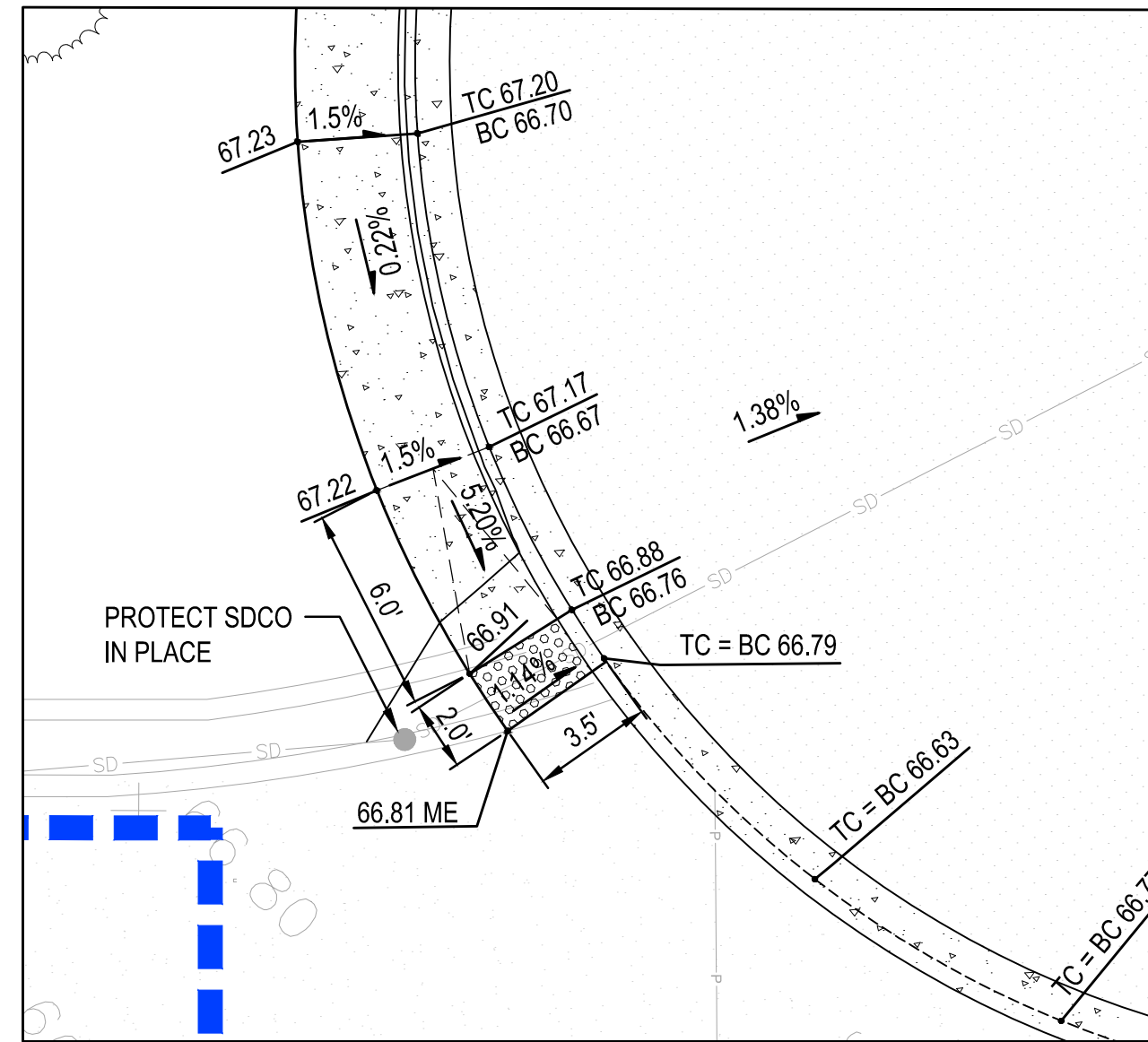
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NOTES:

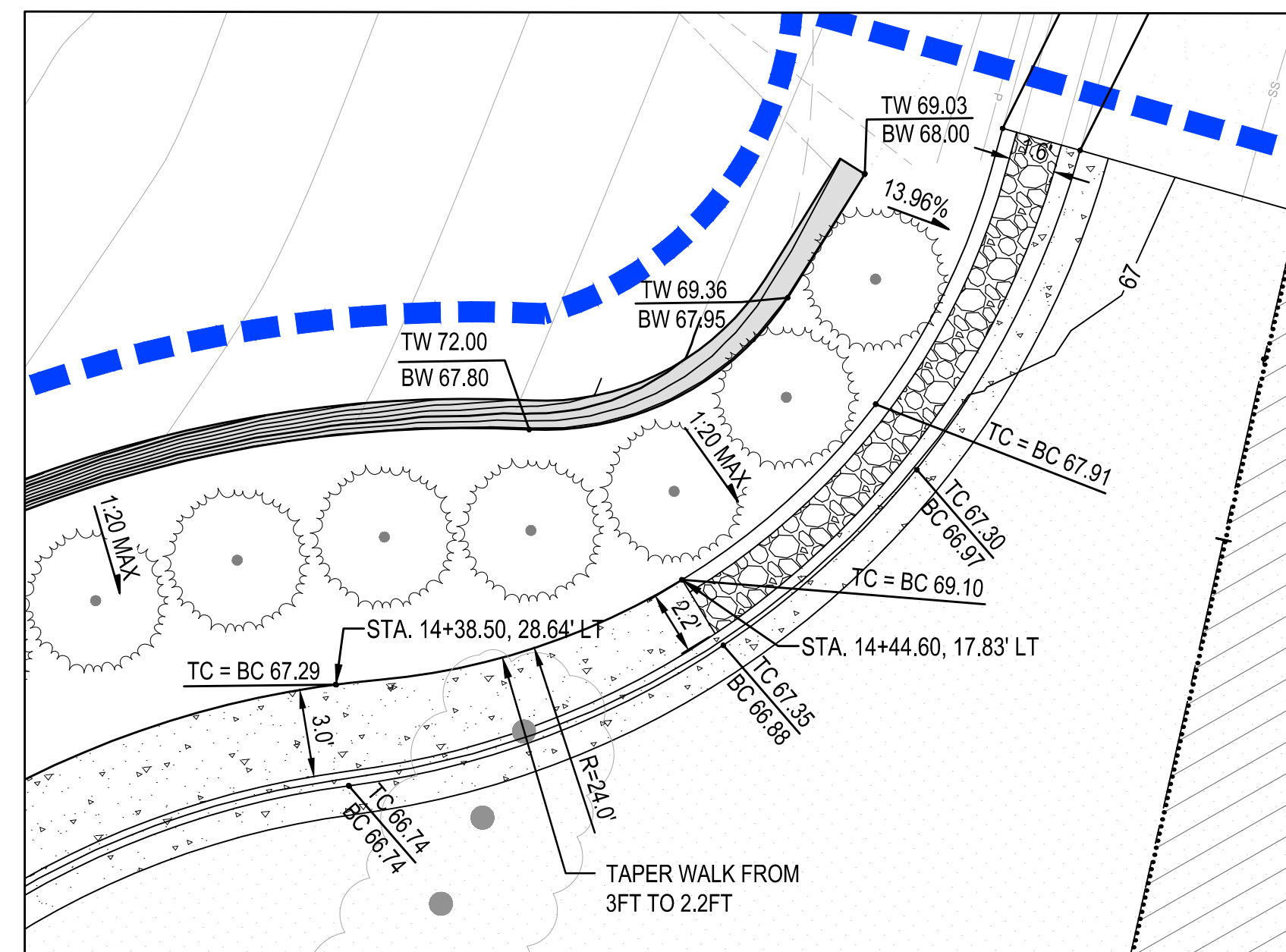
- SEE DETAIL 1 ON SHEET C4.10 FOR WALL SPOT ELEVATION CLARIFICATIONS.
- SEE DETAILS 2-4 ON SHEET C4.10 FOR WALL DRAINAGE DETAILS.
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- VERTICAL CURB AND CURB & GUTTER SHALL MATCH EXISTING CURBS ALONG EXISTING DRIVEWAY.
- PLANTING AND MATERIAL FINISHED SHALL BE PER ARCHITECT.



GRADING ENLARGEMENT

1"=5'

A
C4.00



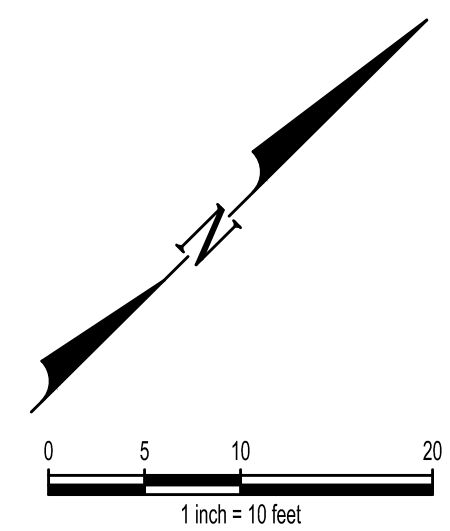
GRADING ENLARGEMENT

1"=5'

B
C4.00

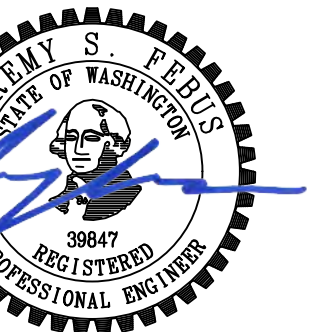
LEGEND

- LIMITS OF WORK
- PROPERTY LINE
- HISTORIC SITE BOUNDARY
- 15-FT STEEP SLOPE BUFFER
- ROAD CENTER LINE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PEDESTRIAN CONCRETE
- DRIVEWAY CONCRETE
- FLOW DIRECTION
- SPOT ELEVATION
- SLOPE
- CURB
- RETAINING WALL
- RIP RAP ROCK
- GRADE BREAK
- DETECTABLE WARNING SURFACE PER CITY OF SEATTLE STANDARD PLAN 422
- CONCRETE BAND



**GRADING
ENLARGEMENT**

C4.01



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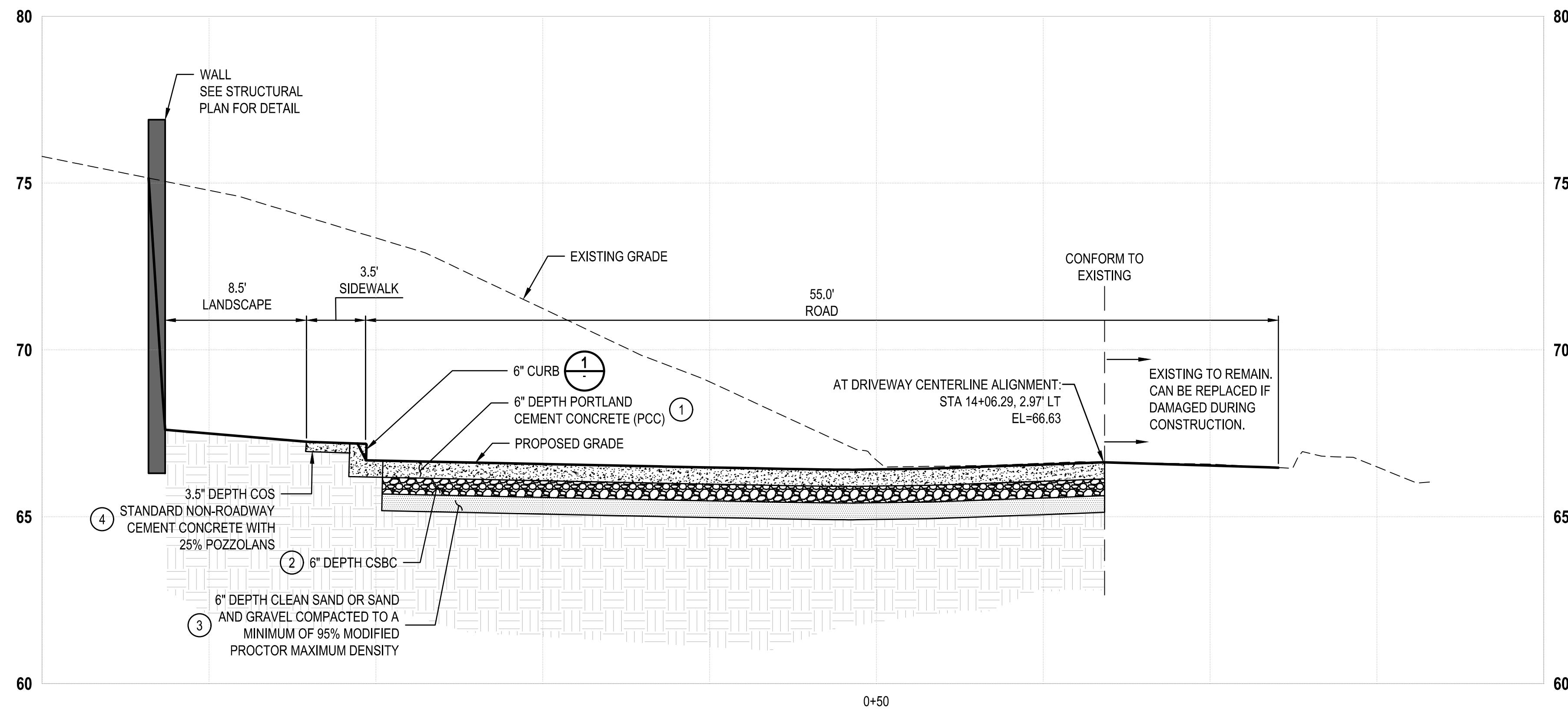
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TYPICAL SECTIONS
AND PAVING DETAILS

C4.02

PAVEMENT NOTES:

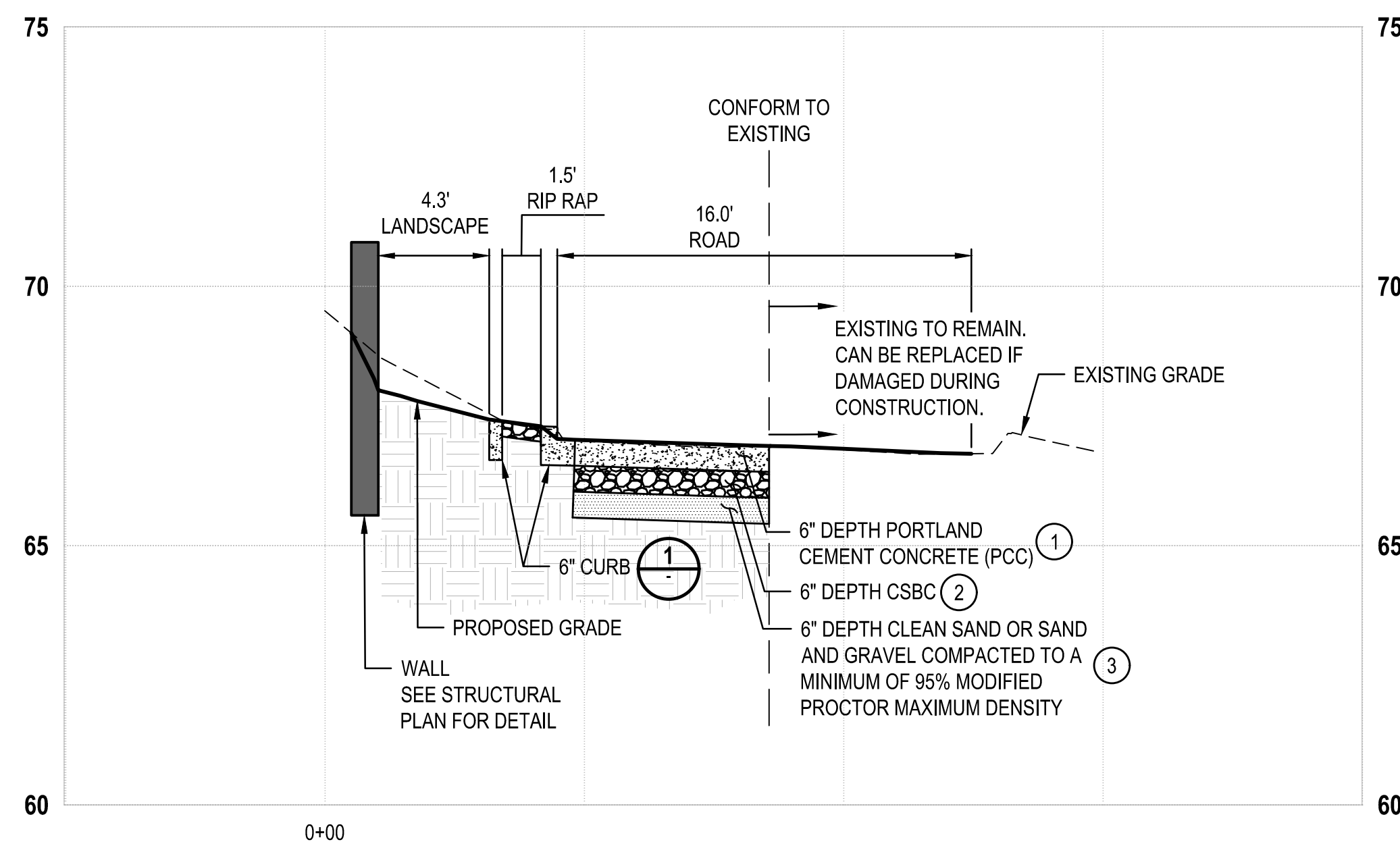
- PCC SHALL BE REINFORCED BY STEEL #4 BARS ON 18-INCH CENTERS, BOTH WAYS, OR EQUIVALENT WELDED WIRE MESH, PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- CSBC SHALL BE A QUARRY PRODUCT HAVING 100% FRACTURED FACES (NO ROUNDED FACES). CSBC SHALL NOT BE CRUSHED GRAVEL.
- PAVEMENT SUBGRADE SHALL BE PROOF-ROLLED USING A LOADED DUMP TRUCK OR EQUIVALENT WHEELED LOADING. PROOF ROLLING SHOULD VERIFY THAT THE SUBGRADE IS IN A DENSE AND UNYIELDING CONDITION.
- PEDESTRIAN PAVING SHALL BE PER COD STANDARD PLAN 420.



SECTION C - AT ROAD TURNAROUND

SCALE: 1"=10'

C
C4.00



SECTION D - AT NORTHWEST EDGE OF PROPOSED ROAD

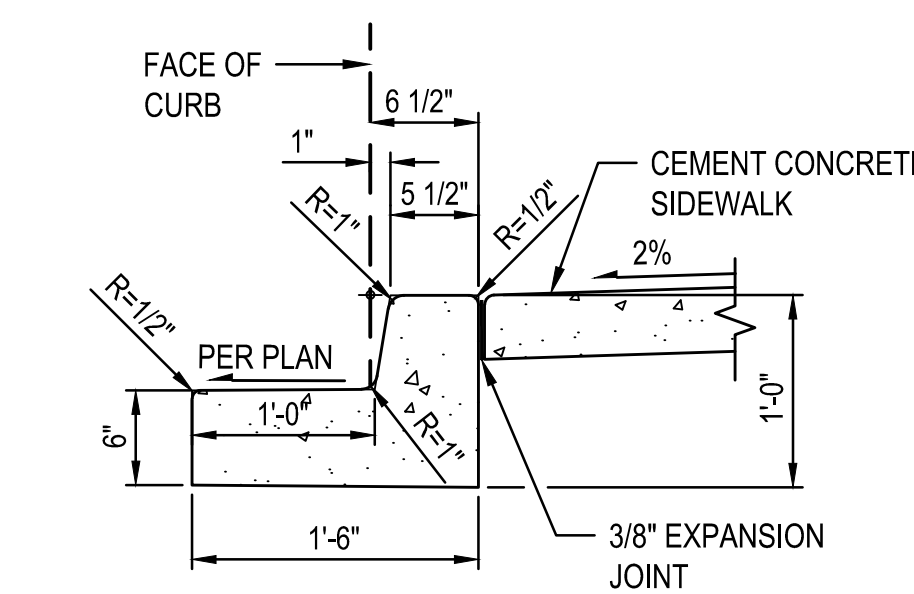
SCALE: 1"=5'

D
C4.00

**CONCRETE VERTICAL CURB
AND GUTTER DETAIL**

NTS

1
C4.00



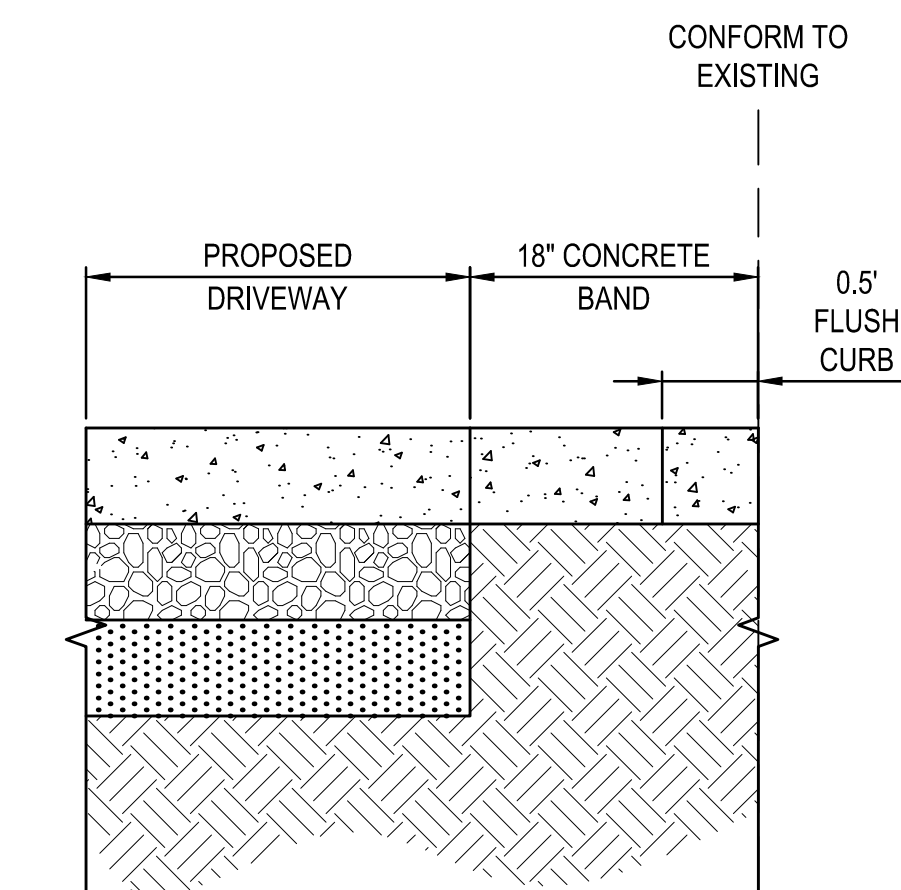
NOTES:

- CONCRETE CURB SHALL BE CLASS 3000 CEMENT CONCRETE.
- CURBS SHALL BE TACK COATED WITH AN ASPHALT EMULSION PRIOR TO PLACEMENT OF ASPHALT CONCRETE.
- CURBS SHALL HAVE THRU-JOINTS AT 10 FT OC.

18" CONCRETE BAND SECTION

1"=1'

2
C4.00





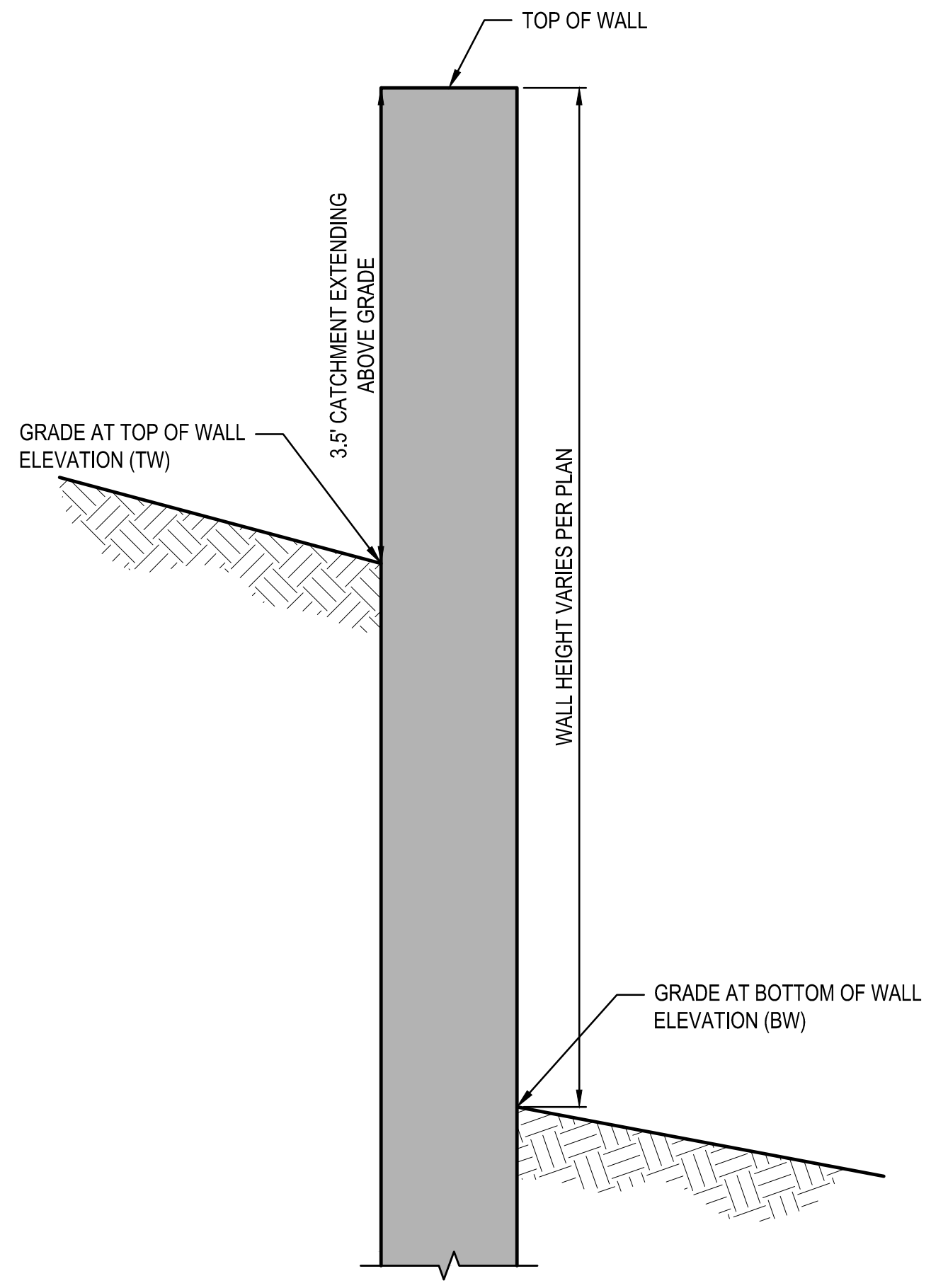
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GRADING AND
DRAINAGE DETAILS

C4.10

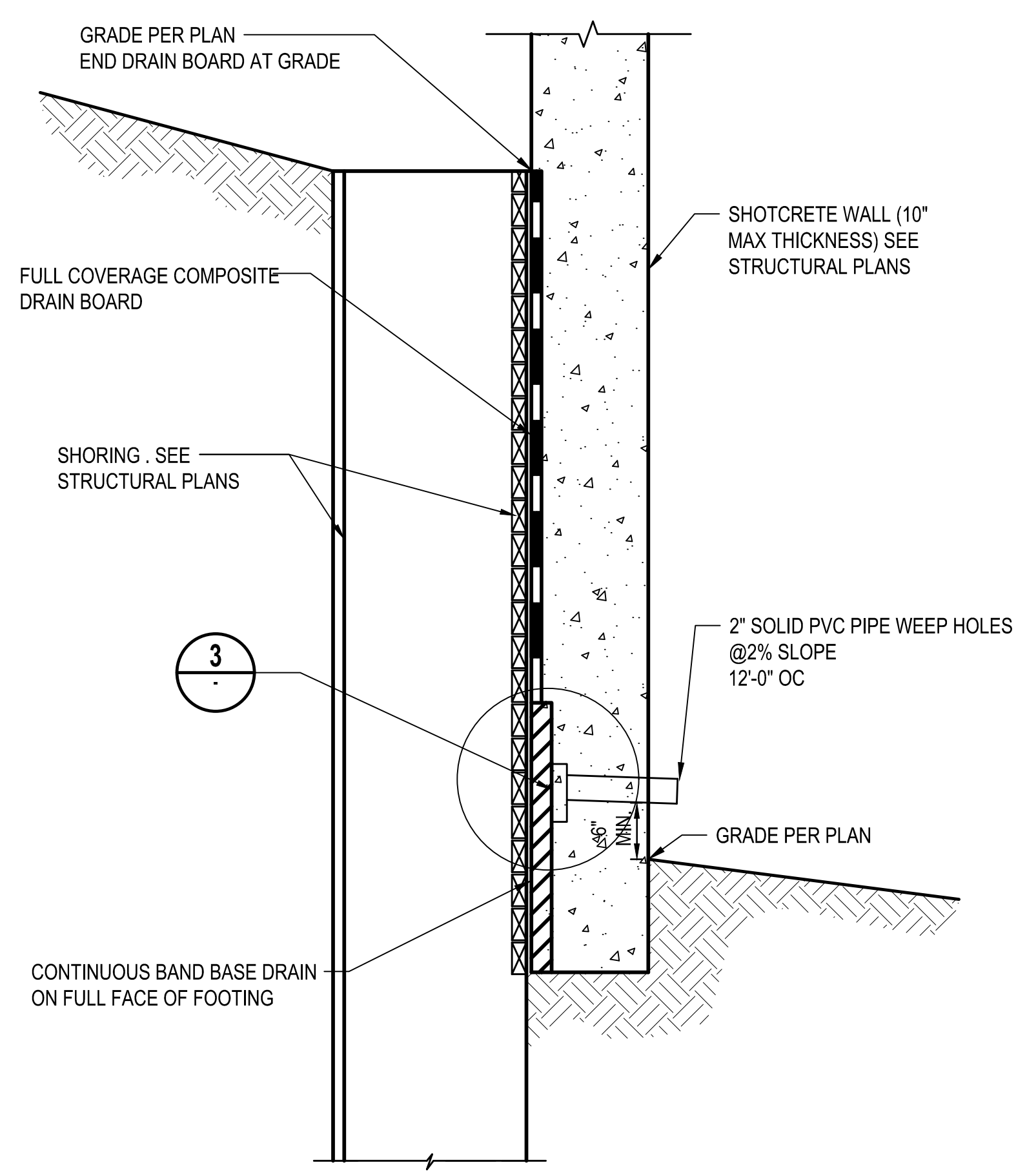


NOTE: WALL SHOWN IS SCHEMATIC IN NATURE AND INTENDED TO DEFINE PROVIDED WALL ELEVATION WORK POINTS. SEE STRUCTURAL FOR WALL DESIGN.

WALL ELEVATION WORK POINTS

1"=1'

1
C4.00

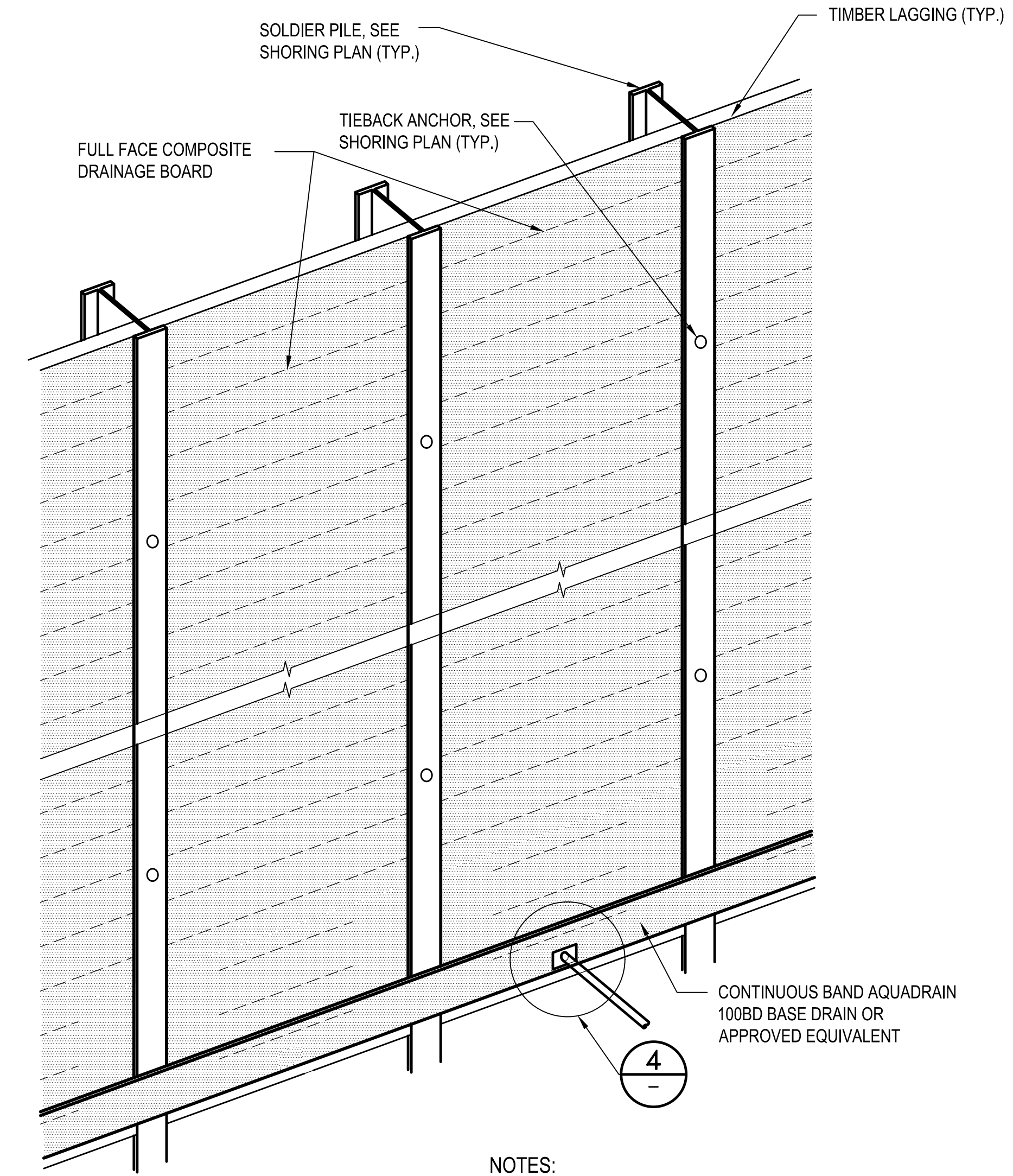


SEE STRUCTURAL SHEETS FOR WALL DETAILS. TYP FOR ALL STRUCTURAL DETAILS

WALL DRAIN SECTION

NTS

2
C4.00

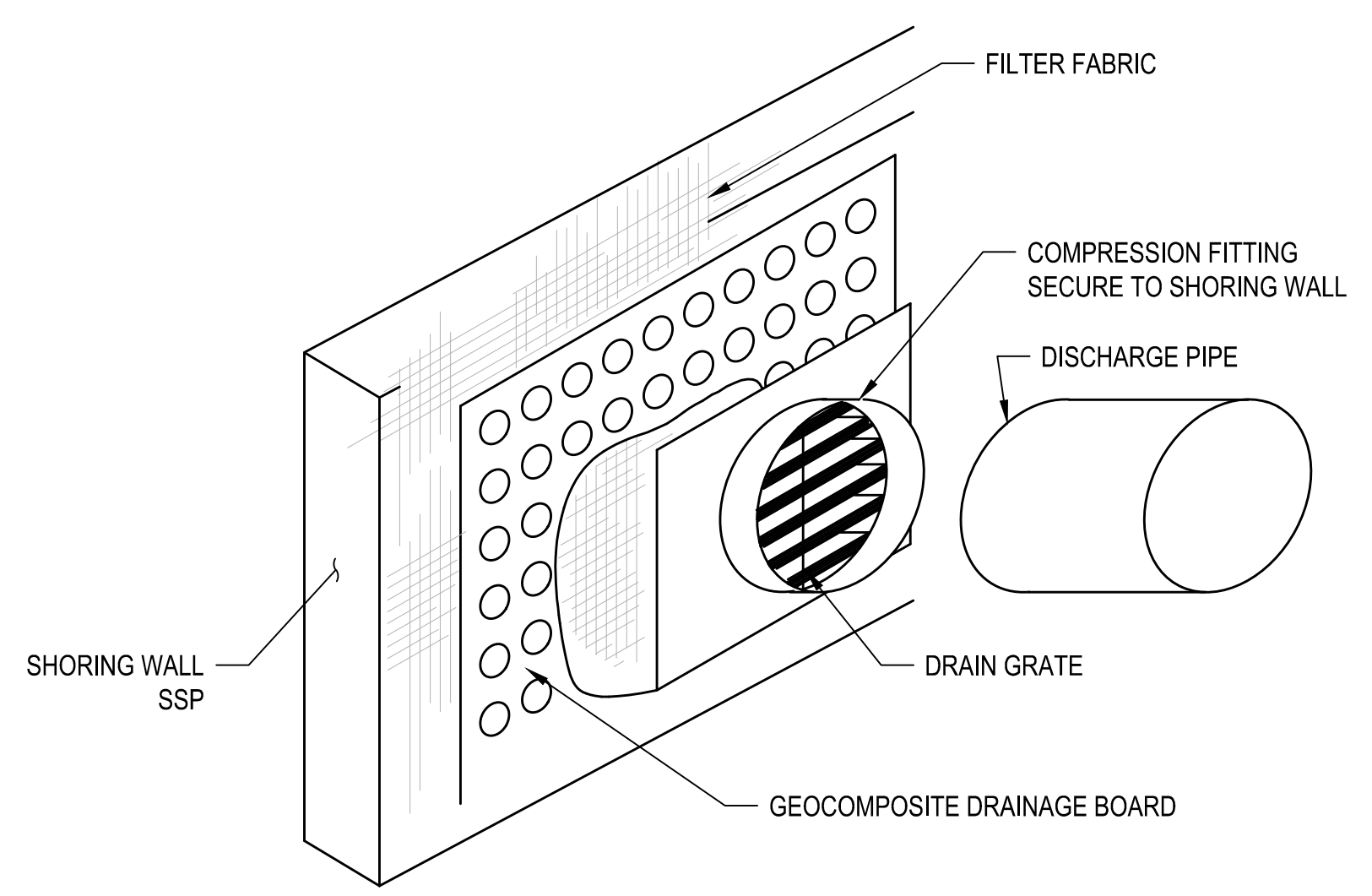


NOTES:
1. FOR CLARITY FOUNDATION AND STRUCTURAL ELEMENTS NOT SHOWN.

DRAIN BOARD DETAIL

NTS

3
-

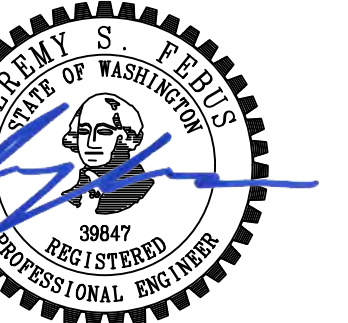


WALL DRAIN DETAIL

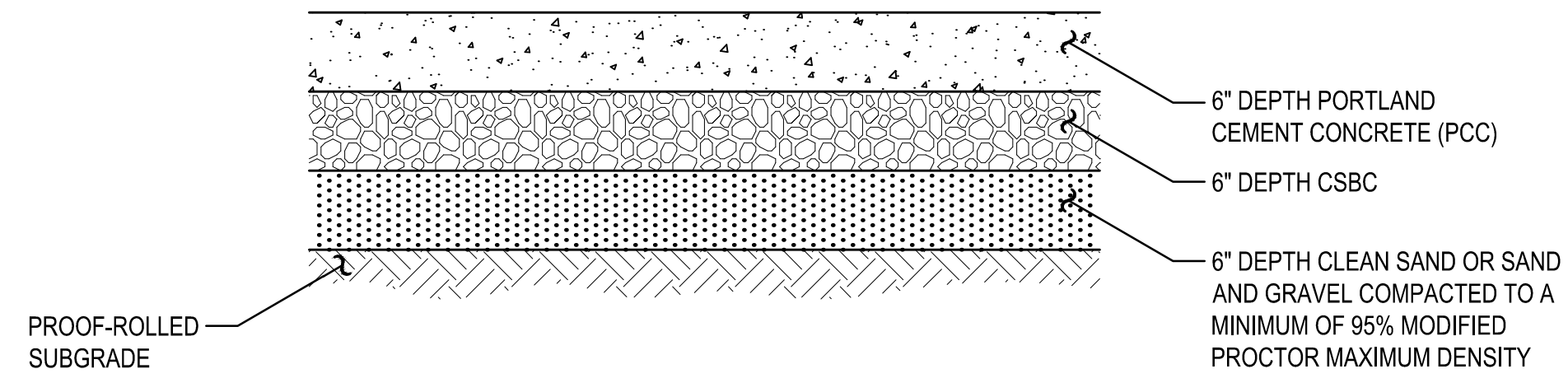
NTS

4
-





03/25/2026



NOTES:

1. PCC SHALL BE REINFORCED BY STEEL #4 BARS ON 18-INCH CENTERS, BOTH WAYS, OR EQUIVALENT WELDED WIRE MESH, PER GEOTECHNICAL REPORT RECOMMENDATIONS.
2. CSBC SHALL BE A QUARRY PRODUCT HAVING 100% FRACTURED FACES (NO ROUNDED FACES). CSBC SHALL NOT BE CRUSHED GRAVEL.
3. ALL FILL PLACED BELOW DRIVEWAY SHALL CONSIST OF STRUCTURAL FILL.
4. PAVEMENT SUBGRADE SHALL BE PROOF-ROLLED USING A LOADED DUMP TRUCK OR EQUIVALENT WHEELED LOADING. PROOF ROLLING SHOULD VERIFY THAT THE SUBGRADE IS IN A DENSE AND UNYIELDING CONDITION.

DRIVEWAY PAVING SECTION

1"=1'

5

C4.00



NOTES:

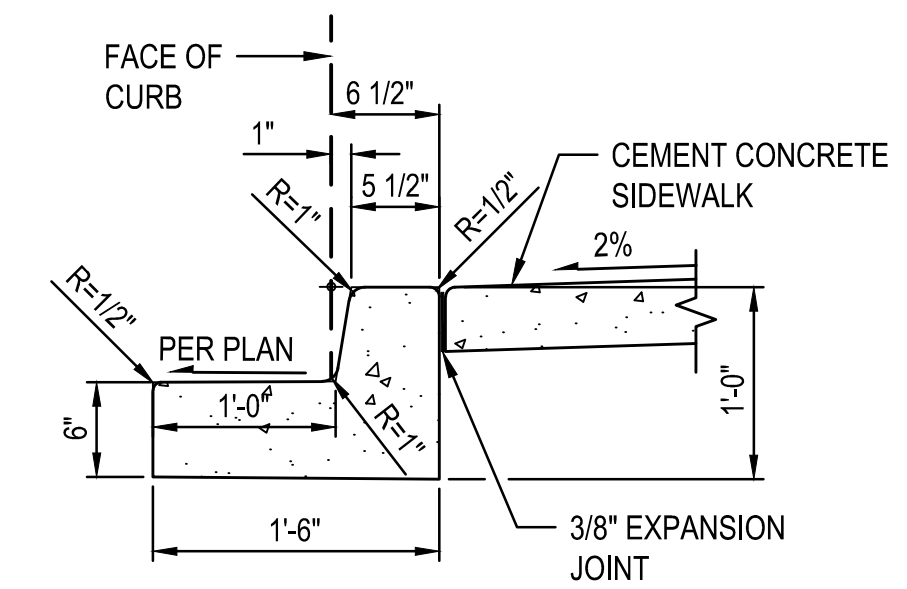
1. PEDESTRIAN PAVING SHALL BE PER COS STANDARD PLAN 420.

PEDESTRIAN PAVING SECTION

1"=1'

6

C4.00



NOTES:

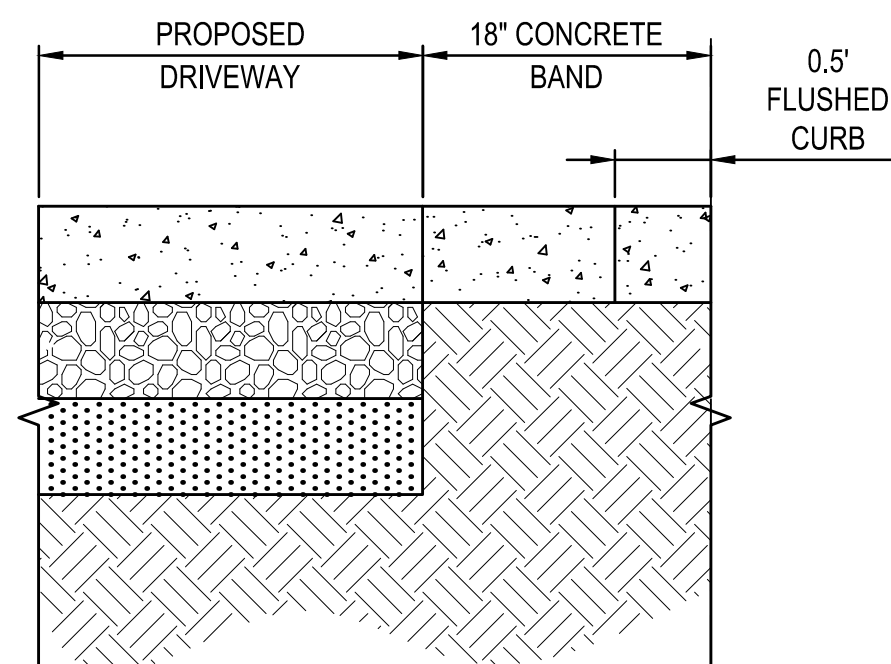
1. CONCRETE CURB SHALL BE CLASS 3000 CEMENT CONCRETE.
2. CURBS SHALL BE TACK COATED WITH AN ASPHALT EMULSION PRIOR TO PLACEMENT OF ASPHALT CONCRETE.
3. CURBS SHALL HAVE THRU-JOINTS AT 10 FT OC.

CONCRETE VERTICAL CURB AND GUTTER DETAIL

NTS

7

C4.00



18" CONCRETE BAND SECTION

1"=1'

D

C4.00

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PAVING DETAILS

C4.11



On-site Stormwater Management Calculator
Site and Drainage Control Summary

Version 01-04-2023
To use the On-Site List Calculator you must select "Enable Content" when the Security Warning appears.

Project Information
 Site Address: 2500 W Marina Pl, Seattle, WA 98199 SDCI Project Number: _____
 Primary Contact: Elise Callahan SDCI Project Number: _____
 Project Type: Parcel-Based Primary Contact E-mail or Phone: _____
 Is this project "Closely Related" to other SDCI construction permits/projects? Yes No
 "Closely Related" SDCI Construction Permit Numbers: _____
 Is this project associated with a Short Plat or Subdivision? Yes No SDCI MUP Number: _____
 Was the project lot created or altered in size after Jan 1, 2016? Yes No

Site Information
 Note: Reference the Preliminary Assessment Report (PAR) to complete this section.
 Approved Point of Stormwater Discharge: Drainage Culvert
 Drainage Basin: Designated Receiving Water
 Is the downstream drainage system considered Capacity Constrained by SPU? No
 Approved Point of Wastewater Discharge: Public Combined Sewer Main
 Approved Point of Sub-Surface Discharge: Drainage Ditch
 Required Flow Control Standard: Pre-Developed Pasture Pre-Developed Forest Peak Control
 Wetland Protection Existing Conditions None
 Project will permanently discharge groundwater? No
 Required Water Quality Treatment Standard: Oil Control Enhanced Basic None
 Total Pollution Generating Hard Surface Area: 3,390 sf w/ Closely Related/Short Plat/Subdiv
 Total Pollution Generating Pervious Surface Area: 0 sf w/ Closely Related/Short Plat/Subdiv
 Environmentally Critical Areas: Steep Slope Potential Slide Riparian Corridor Wetland Liquefaction Flood Prone
 Landfill Known Landslide Fish / Wildlife Peat / Groundwater Management Shoreline Habitat
 Is there soil and/or groundwater contamination on this site? No Source Control is required No
Infiltration Information
 Is infiltration investigation required? No Why? Site is mapped as "Infiltr. investigation not required"
 Is infiltration on the site feasible? _____
 Site Measured Infiltration Rate: _____ x Infiltration Rate Correction Factor: U.S. = 0 Site Design Inf Rate: _____
On-site Stormwater Management (select List Approach or Performance Standard)
 On-site List Approach (Pre-sized) Calculator -- Complete the Surface tabs and BMP Sizing tabs (Most commonly used)
 On-site Performance Standard -- Stormwater modeling by Civil Engineer (Also for No Off-site Point of Discharge)
 Number of roof areas: 0
 Number of other surface areas: 2

Surface	Surfaces Description	On-site BMP	Contrib. Area (sf)	Facility Size (sf)	Facility Configuration
1	Surface: Vehicular Paving	None Feasible	3,390	-	-
2	Surface: Non-Vehicular P	None Feasible	486	-	-

Total New/Replaced Roof Area	Total Roof Area Managed	Total New/Replaced Other Surface Area	Total Other Surface Managed	Total Area Managed	Total Volume Managed On Site
0	0	3,876	0	3,876	0 gal
0	0	0	0	0	0 gal
12.8774	12.8774	0	0	12.8774	Volume of compost will be verified by the Inspector.

CITY OF SEATTLE STANDARD NOTES:
FLOW CONTROL - PEAK FLOW CONTROL REQUIREMENT WILL BE MET BY PROVIDING A DETENTION VAULT (25'X167').
BMP - ONSITE STORMWATER MANAGEMENT CRITERIA WILL BE MET USING NON-INFILTRATING BIORETENTION (65 SF) PLANTERS AND GREEN ROOF (5,213 SF).
WATER QUALITY - WATER QUALITY IS NOT REQUIRED FOR THIS PROJECT.
PLANTING GENERAL NOTES
 1. PLANTS SHALL BE SITED ACCORDING TO SUN, SOIL, WIND AND MOISTURE REQUIREMENTS.
 2. AT A MINIMUM, PROVISIONS MUST BE MADE FOR SUPPLEMENTAL IRRIGATION DURING THE FIRST TWO GROWING SEASONS.

kpff
 1601 5th Avenue, Suite 1600
 Seattle, WA 98101
 206.622.5822
 www.kpff.com

GELOTTE HOMMAS DRIVAH
 2340 130TH AVE NE
 SUITE 1000
 BELLEVUE, WA 98005



NOTES:
 1. THIS PLAN IS NOT A CONSTRUCTION DOCUMENT. THIS PLAN IS INTENDED TO DOCUMENT STORMWATER CODE COMPLIANCE FOR ON-SITE STORMWATER MANAGEMENT (OSM) TO SUPPLEMENT SDCI REVIEW.

AREA SUMMARY:
 PROJECT AREA = 6,400 SF
 PERVIOUS AREA = 2,077 SF
 SURFACE 1: (NON-VEHICULAR PAVING) = 486 SF
 SURFACE 2: (VEHICULAR PAVING) = 3,390 SF
 SURFACE 3: (HARDSCAPE TO REMAIN) = 832 SF

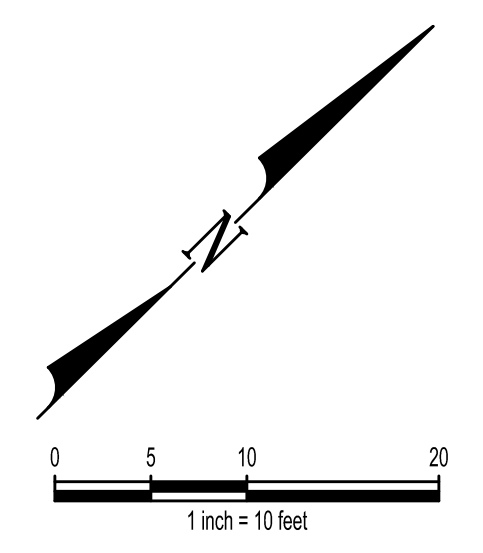
LEGEND

	LIMITS OF WORK
	PROPERTY LINE
	HISTORIC SITE BOUNDARY
	ROAD CENTER LINE
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	PEDESTRIAN CONCRETE
	DRIVEWAY CONCRETE
	GRAVEL TRAIL
	15-FT STEEP SLOPE BUFFER
	NEW STEEP SLOPE BOUNDARY

**ADMIRAL'S HOUSE
 TURNAROUND**
 2500 WEST MARINA PLACE
 Seattle, Wa 98199-4334

Job No. 2400599
 Project Manager: EKC
 Issue Date: 02/2025

NO.	DATE	REVISION
1	07-2025	COS CYCLE 1 REVISIONS
2	01-2026	COS CYCLE 3 REVISIONS
3	03-2026	LANDMARK SUBMITTAL



**ONSITE STORMWATER
 MANAGEMENT PLAN**
C5.00

Mar 24, 2026 - 12:24pm RMC:hel
 Z:\1400001-2409999\2400599 Admiral's House Turnaround Civil\CADD\Design\DWG\MAT C5.00 OSU.dwg

STRUCTURAL NOTES

GENERAL NOTES

ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC), 2021 EDITION, AS AMENDED BY THE CITY OF SEATTLE.

DESIGN LOADS

THE SOIL PRESSURES RECOMMENDED IN THE GEOTECHNICAL REPORT BY HWA GEOSCIENCES, DATED OCTOBER 18, 2024, AND ADDENDUM LETTER, DATED JULY 22, 2025, AND AS SHOWN ON S0.02, WERE USED FOR DESIGN.

SUBMITTALS

SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO ANY FABRICATION OR CONSTRUCTION FOR ALL STRUCTURAL ITEMS.

INSPECTION

SPECIAL INSPECTION PER IBC CHAPTER 17 BY A QUALIFIED GEOTECHNICAL ENGINEER OR INDEPENDENT TESTING LAB WILL BE PROVIDED BY THE OWNER AS INDICATED IN THE STATEMENT OF SPECIAL INSPECTIONS AND TESTING.

SPECIAL CONDITIONS

CONTRACTOR SHALL VERIFY ALL LEVELS, DIMENSIONS, AND EXISTING CONDITIONS IN THE FIELD BEFORE PROCEEDING. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR FIELD CHANGES PRIOR TO INSTALLATION OR FABRICATION. IN CASE OF DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN DIRECTION FROM THE ARCHITECT BEFORE PROCEEDING. DIMENSIONS NOTED AS PLUS OR MINUS (+) INDICATE UNVERIFIED DIMENSIONS AND ARE APPROXIMATE. NOTIFY ARCHITECT IMMEDIATELY OF CONFLICTS OR EXCESSIVE VARIATIONS FROM INDICATED DIMENSIONS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS - DO NOT SCALE DRAWINGS. DIMENSIONS OF EXISTING CONDITIONS ARE BASED ON TOPOGRAPHIC SURVEY BY DAVID EVANS AND ASSOCIATES, DATED NOVEMBER 28, 2016 AND ARE TO BE FIELD-VERIFIED BY THE CONTRACTOR.

UTILITY LOCATION

UTILIZE THE SERVICES OF THE "UTILITY LOCATOR SERVICE" (1-800-424-5555) TO VERIFY THE EXTENT AND LOCATIONS AND ALIGNMENTS OF SITE UTILITIES. IF THE ACTUAL FIELD VERIFIED LOCATIONS OF UTILITIES COULD RESULT IN A CONFLICT WITH THE SHORING, NOTIFY THE ARCHITECT IMMEDIATELY. DO NOT DAMAGE EXISTING UTILITIES.

PRIOR TO CONSTRUCTION, VERIFY THAT OVERHEAD OBSTRUCTIONS, INCLUDING ELECTRICAL LINES, DO NOT INTERFERE WITH THE CONTRACTOR'S DRILLING EQUIPMENT.

EXISTING ABANDONED SHORING SYSTEM

PORTIONS OF EXISTING ABANDONED SHORING SYSTEMS MAY BE ENCOUNTERED DURING SOLDIER PILE DRILLING AND EXCAVATION. WHERE ENCOUNTERED, REMOVE ABANDONED SHORING SYSTEMS IN A MANNER THAT DOES NOT DAMAGE EXISTING STRUCTURES.

CONCRETE

CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF IBC CHAPTER 19.

CONCRETE MIXTURES

CONCRETE MIXTURES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

CONCRETE MIXTURES									
f'c (PSI)	TEST AGE (DAYS)	EXPOSURE CLASS				USE			
		F	S	W	C				
3,000*	28	F0	S0	W1	C0	PILE TOE STRUCTURAL CONCRETE			
5,000	28	F1	S0	W1	C1	CONCRETE WALLS			

* PILE TOE STRUCTURAL CONCRETE SHALL HAVE A MINIMUM OF 4 SACKS OF CEMENT PER CUBIC YARD. PILE LEAN MIX ABOVE BASE OF EXCAVATION SHALL HAVE A MINIMUM OF 1 1/2 SACKS OF CEMENT PER CUBIC YARD.

CONCRETE MIXTURES SHALL CONFORM TO THE MOST STRINGENT REQUIREMENTS FOR EXPOSURE CLASSES SPECIFIED IN THE TABLE ABOVE AND ACI 318 TABLE 19.3.2.1. SUBMIT CONCRETE MIX DESIGNS TO THE ENGINEER FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE.

WATER/CEMENTITIOUS MATERIALS RATIO SHALL BE MEASURED BY WEIGHT AND SHALL BE BASED ON THE TOTAL CEMENTITIOUS MATERIAL. WATER/CEMENTITIOUS MATERIALS RATIO AND WATER CONTENT SHALL BE DETERMINED BY THE SUPPLIER BASED ON STRENGTH REQUIREMENTS AND SHALL NOT EXCEED THE MAXIMUM WATER/CEMENTITIOUS MATERIAL RATIO AND/OR WATER CONTENT IF SHOWN ABOVE OR IN ACI 318 TABLE 19.3.2.1 FOR THE EXPOSURE CLASSES LISTED.

WATER-REDUCING ADMIXTURES MAY BE INCORPORATED IN CONCRETE MIX DESIGNS, BUT SHALL CONFORM TO ASTM C 494, AND BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. CaCl₂ OR OTHER WATER-SOLUBLE CHLORIDE ADMIXTURES SHALL NOT BE USED.

ALL CONCRETE SUBJECT TO EXPOSURE CLASSES F1, F2 OR F3 SHALL BE AIR ENTRAINED. AIR-ENTRAINING AGENTS SHALL CONFORM TO ASTM C 260. THE PERCENTAGE OF TOTAL AIR SHALL BE ACCORDING TO ACI 318 TABLE 19.3.3.1 WITH A FIELD TOLERANCE OF ±1.5 PERCENT BY VOLUME. THE PERCENTAGE OF TOTAL AIR SHALL BE MEASURED IN THE FIELD AT THE DISCHARGE FROM THE TRUCK.

SHOTCRETE

SHOTCRETE SHALL CONFORM TO ACI 318, ACI 506R, ACI 506.2, AND SDCI DIRECTOR'S RULE 12-2014. SHOTCRETE MIX DESIGN, APPLICATION, NOZZLEMAN'S QUALIFICATIONS AND TEST PROCEDURE SHALL BE IN STRICT CONFORMANCE WITH THESE PUBLICATIONS.

REINFORCING STEEL

DEFORMED BARS ASTM A 615, GRADE 60, UNO

REINFORCING SHALL BE SUPPORTED AS SPECIFIED BY THE PROJECT SPECIFICATIONS AND THE CRSI MANUAL OF STANDARD PRACTICE. REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH ACI STANDARD OF PRACTICE AS OUTLINED IN ACI 315, "GUIDE TO PRESENTING REINFORCING STEEL DESIGN DETAILS".

LAP ALL REINFORCING BARS AS NOTED ON THE DRAWINGS. WHERE SPLICE LENGTH IS NOT SHOWN, USE TYPE Lb (Lb FOR TOP BARS) SPLICE PER DEVELOPMENT AND SPLICE LENGTH SCHEDULE.

AT THE CONTRACTOR'S OPTION AND WITH THE ARCHITECT'S APPROVAL, HEADED DEFORMED BARS MAY BE USED IN LIEU OF REINFORCING BARS SHOWN WITH STANDARD 90 OR 180 DEGREE HOOKS AND MECHANICAL SPLICES MAY BE USED IN LIEU OF LAP SPLICES. USE OF HEADED DEFORMED BARS IS SUBJECT TO CONFORMANCE WITH ACI 318 SECTION 25.4.4. USE OF MECHANICAL SPLICES IS SUBJECT TO CONFORMANCE WITH ACI 318 SECTION 18.2.7 AND REQUIRES SUBMITTAL OF AN ICC-ES OR IAPMO UES REPORT VALID FOR THE 2021 IBC.

REINFORCING STEEL SHALL HAVE PROTECTION AS FOLLOWS, UNLESS NOTED OTHERWISE:

USE	COVER
WALL BARS: EXPOSED TO EARTH OR WEATHER	1 1/2" (#5 AND SMALLER) 2" (#6 AND LARGER)

WELDING OF REINFORCING, WHERE APPROVED BY THE ARCHITECT, SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES AND PREHEATED IN ACCORDANCE WITH AWS D1.4, REINFORCING STEEL WELDING CODE. WELDERS AND WELDING PROCEDURES SHALL BE QUALIFIED IN ACCORDANCE WITH AWS D1.4. MATERIALS SHALL CONFORM TO THE FOLLOWING:

REINFORCING BARS TO BE WELDED	ASTM A 706, GRADE 60, LOW ALLOY
WELDING ELECTRODES	E80XX

CONTROLLED DENSITY FILL

CDF SHALL BE PER SECTION 2-10.2, "CONTROLLED DENSITY FILL FOR TRENCH BACKFILL", OF THE 2014 EDITION CITY OF SEATTLE STANDARD SPECIFICATION FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION. CDF SHALL HAVE A MINIMUM OF 1 1/2 SACKS OF CEMENT PER CUBIC YARD.

STRUCTURAL STEEL

STEEL REFERENCE SPECIFICATIONS

DESIGN, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

STRUCTURAL STEEL	AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS, LATEST EDITION
WELDING	AWS D1.1
WELDER CERTIFICATION	WASHINGTON ASSOCIATION OF BUILDING OFFICIALS (WABO)

STEEL MATERIALS

WIDE FLANGE SHAPES (W AND WT) PLATES (PL), BARS	ASTM A 992 ASTM A 36 TYPICAL, ASTM A 572 GRADE 50 WHERE NOTED
ANGLES (L), CHANNELS (C AND MC)	ASTM A 36
STRUCTURAL BOLTS	ASTM F 3125, GRADE A 325
THREADED RODS	ASTM A 36, UNLESS NOTED OTHERWISE
WELDING ELECTRODES	70 KSI, LOW HYDROGEN, TYPICAL

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ERECTION AIDS AND JOINT PREPARATIONS THAT INCLUDE, BUT ARE NOT LIMITED TO, ERECTION ANGLES, LIFT HOLES AND OTHER AIDS, WELDING PROCEDURES, REQUIRED ROOT OPENINGS, ROOT FACE DIMENSIONS, GROOVE ANGLES, BACKING BARS, COPES, SURFACE ROUGHNESS VALUES, AND UNEQUAL PARTS.

WELDED HEADED STUDS

ALL STUDS SHALL BE AUTOMATICALLY END WELDED IN SHOP OR FIELD WITH EQUIPMENT RECOMMENDED BY MANUFACTURER WITH LENGTH AFTER WELD AS SHOWN ON THE STRUCTURAL DRAWINGS. WELDED HEADED STUDS ARE 3/4"Ø UNLESS NOTED OTHERWISE AND SHALL CONFORM TO AWS D1.1 TYPE B.

WELDING

ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND AWS STANDARDS, AND SHALL BE PERFORMED BY WABO-CERTIFIED WELDERS. ONLY WELDS THAT ARE PREQUALIFIED, AS DEFINED BY AWS, OR QUALIFIED BY TESTING SHALL BE USED. SHOP DRAWINGS SHALL SHOW ALL WELDING WITH AWS A2.4 SYMBOLS. WELDS SHOWN ON THE DRAWINGS ARE MINIMUM SIZES. INCREASE WELD SIZE TO AWS MINIMUM SIZES BASED ON THICKNESS. MINIMUM WELD SIZE SHALL BE 3/16-INCH, UNLESS NOTED OTHERWISE. THE WELDS SHOWN ARE FOR THE FINAL CONNECTIONS. FIELD WELD SYMBOLS ARE SHOWN WHERE FIELD WELDS ARE REQUIRED BY THE STRUCTURAL DESIGN. WHERE FIELD WELD IS NOT INDICATED, THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF A WELD SHOULD BE SHOP OR FIELD-WELDED IN ORDER TO FACILITATE THE STRUCTURAL STEEL ERECTION.

WOOD

SAWN LUMBER SHALL CONFORM TO "GRADING AND DRESSING RULES," WEST COAST LUMBER INSPECTION BUREAU (WCLIB), LATEST EDITION. LUMBER SHALL BE ROUGH CUT AND BE ONE OF THE TWO GRADES LISTED BELOW:

TIMBER LAGGING	GRADE	Fb (PSI) (BASE VALUES)
4x	DOUGLAS FIR-LARCH NO. 1 HEM-FIR NO. 1	1000 975
6x	DOUGLAS FIR-LARCH NO. 2 HEM-FIR NO. 1	875 1050

TIMBER LAGGING SHALL BE PRESERVATIVE TREATED WITH WATERBORNE PRESERVATIVES IN ACCORDANCE WITH AWPA UC4B.

EPS GEOFOAM

EXPANDED POLYSTYRENE GEOFOAM SHALL CONFORM TO ASTM D6817 STANDARD SPECIFICATION FOR RIGID CELLULAR POLYSTYRENE GEOFOAM. THE GEOFOAM SHALL HAVE A MINIMUM COMPRESSIVE RESISTANCE OF 5.8 PSI AT 1% DEFORMATION (EPS 19).

SHORING PROCEDURE

SHAFT DRILLING

DRILL PILE AND ANCHOR SHAFTS WITHOUT LOSS OF GROUND AND WITHOUT ENDANGERING PREVIOUSLY INSTALLED PILES AND ANCHORS. SEE THE GEOTECHNICAL REPORT FOR POSSIBLE OBSTRUCTIONS.

SOLDIER PILE PLACEMENT TOLERANCES

SOLDIER PILES SHALL BE PLACED ACCORDING TO THE MOST STRINGENT OF THE FOLLOWING REQUIREMENTS:

- THE CENTER OF THE PILE IS WITHIN 3 INCHES HORIZONTAL OF THE PLAN LOCATION ALONG THE ENTIRE LENGTH OF THE PILE.
- NO PART EXTENDS MORE THAN 1 1/2 INCHES INTO THE EXCAVATION.
- WITHIN 1% OF PLUMB.
- WITHIN 3 INCHES VERTICAL OF SCHEDULED ELEVATION.

LAGGING

BACKFILL VOIDS BETWEEN LAGGING AND SOIL IMMEDIATELY AFTER LAGGING INSTALLATION USING A FREE DRAINING BACKFILL MATERIAL SELECTED BY THE SHORING CONTRACTOR. DRAINAGE BEHIND THE WALL MUST BE MAINTAINED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LIMIT THE AMOUNT OF EXPOSED SOIL WITHOUT LAGGING TO AVOID LOSS OF SOIL. LIMIT THE EXCAVATION TO 4 FEET BELOW PREVIOUSLY INSTALLED LAGGING.

SHORING MONITORING

PRECONSTRUCTION SURVEY

PRIOR TO CONSTRUCTION, COMPLETE A WRITTEN AND PHOTOGRAPHIC LOG OF EXISTING CONDITIONS OF THE ADJOINING CONSTRUCTION AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY THE ABSENCE OF. THE INSTALLATION OF, OR THE PERFORMANCE OF EXCAVATION SUPPORT AND PROTECTION SYSTEMS. A LICENSED SURVEYOR SHALL DOCUMENT ALL EXISTING SUBSTANTIAL CRACKS IN ADJACENT STREETS, SIDEWALKS, AND EXISTING STRUCTURES. CRACK GAUGES MAY BE REQUIRED BY THE ENGINEER.

OPTICAL SURVEY

SURVEY THE VERTICAL AND HORIZONTAL DISPLACEMENT AT THE TOP OF EVERY OTHER SOLDIER PILE.

ESTABLISH SURVEY LINES NEAR THE TOP OF THE WALL AND AT DISTANCES UP TO THE WALL HEIGHT, H, BEHIND THE WALL FACE. SPACE THESE POINTS A MAXIMUM OF 50 FEET APART. FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER OF RECORD FOR ESTABLISHING THE SPACING AND LOCATION OF THE MONITORING POINTS.

ESTABLISH A BASELINE READING OF THE MONITORING POINTS ON THE GROUND SURFACE BEHIND THE SHORING WALLS BEFORE INSTALLING THE SHORING. ESTABLISH A BASELINE READING OF THE SURVEY POINTS ON THE SOLDIER PILES PRIOR TO BEGINNING EXCAVATION.

THE GEOTECHNICAL ENGINEER SHALL REVIEW SURVEY DATA AND PROVIDE AN EVALUATION OF WALL PERFORMANCE ALONG WITH SURVEY DATA TO SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS (SDCI) ON AT LEAST A WEEKLY BASIS. IMMEDIATELY AND DIRECTLY NOTIFY SDCI IF ANY UNUSUAL OR SIGNIFICANTLY INCREASED MOVEMENT OCCURS.

MONITORING OF THE SURVEY POINTS SHALL INCLUDE VERTICAL AND HORIZONTAL MEASUREMENTS ACCURATE TO AT LEAST 0.01 FEET. THE FREQUENCY OF THE READINGS IS DEPENDENT ON THE CONSTRUCTION STAGE, AS NOTED BELOW:

OPTICAL SURVEY SCHEDULE	
CONSTRUCTION STAGE	MONITORING FREQUENCY
DURING EXCAVATION AND UNTIL WALL MOVEMENTS HAVE STABILIZED.	TWICE WEEKLY
DURING EXCAVATION IF LATERAL WALL MOVEMENTS EXCEED 1/2 INCH, OR AT THE DISCRETION OF THE ENGINEER.	GEOTECHNICAL AND SHORING ENGINEER TO EVALUATE
AFTER EXCAVATION IS COMPLETE AND WALL MOVEMENTS HAVE STABILIZED, IF THE DATA INDICATES LITTLE OR NO MOVEMENT.	TWICE MONTHLY

SUBMIT SURVEY DATA TO THE GEOTECHNICAL ENGINEER, SHORING ENGINEER, AND SDCI EACH WEEK. NOTIFY SDCI IMMEDIATELY IF ANY UNUSUAL OR SIGNIFICANTLY INCREASED MOVEMENTS OCCUR.

SURVEYING MUST CONTINUE UNTIL THE PERMANENT SHOTCRETE WALL IS COMPLETE. TERMINATION OF SURVEY MONITORING WILL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.

SHORING WALL DEFLECTION LIMITS AND MITIGATION MEASURES

IF LATERAL MOVEMENTS OF THE SHORING WALL ARE OBSERVED TO EXCEED 0.5 INCH WHERE ABUTTING PRIVATE PROPERTIES, STOP CONSTRUCTION OF THE SHORING WALL IN THE VICINITY OF THE AFFECTED PORTION OF THE SHORING WALL. IMMEDIATELY AND DIRECTLY NOTIFY THE GEOTECHNICAL AND STRUCTURAL ENGINEERS, WALL DESIGNER, SDCI, AND SDOT IF 0.5 INCH OF MOVEMENT OCCURS BETWEEN TWO CONSECUTIVE READINGS AND WHEN TOTAL MOVEMENTS REACH 0.5 INCH. AT THAT AMOUNT OF MOVEMENT, THE CONTRACTOR, ENGINEER, AND GEOTECHNICAL ENGINEER SHALL DETERMINE THE CAUSE OF DISPLACEMENT AND DEVELOP REMEDIAL MEASURES SUFFICIENT TO LIMIT TOTAL WALL MOVEMENTS TO 1 INCH. THESE MEASURES MAY CONSIST OF INTERNAL BRACING (I.E. WALES AND RAKERS), AND/OR SOIL BERMING. IMPLEMENTATION OF THE MITIGATION MEASURES WILL BE CONSIDERED AT THAT TIME.

THE FREQUENCY OF THE SHORING SURVEY MONITORING PROGRAM WILL BE ALTERED DEPENDING ON HOW MUCH MOVEMENT IS OBSERVED. AT MINIMUM, THE MONITORING WILL BE INCREASED TO ONCE PER DAY UNTIL DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER.

PRECONSTRUCTION MEETING

A PRE-CONSTRUCTION MEETING WITH SDCI WILL BE REQUIRED PRIOR TO THE START OF EXCAVATIONS. ATTENDEES SHALL INCLUDE REPRESENTATIVES OF THE OWNER, ARCHITECT, GENERAL CONTRACTOR, EXCAVATION AND SHORING CONTRACTORS, THE PROJECT GEOTECHNICAL ENGINEER, PROJECT SURVEYORS, AND SDCI SHORING REVIEW AND INSPECTION PERSONNEL.

PAINTING

STEEL PAINTING

PAINT PERMANENT SOLDIER PILES ABOVE BASE OF EXCAVATION WITH THE FOLLOWING PAINTING SYSTEM WHERE EXPOSED TO WEATHER.

SURFACE PREPARATION:	STEEL STRUCTURES PAINTING COUNCIL (SSPC) SSPC-SP6
PRIMER:	ZINC ORGANIC PRIMER

STRUCTURAL SPECIAL INSPECTIONS AND TESTING SCHEDULE

ESTABLISHED PER IBC 2021 SECTION 110 AND CHAPTER 17		
ITEM	IBC CODE	COMMENTS
SOILS		
GRADING, EXCAVATION AND FILL	1705.6	BY GEOTECHNICAL ENGINEER
FINAL FOUNDATION PREPARATION		BY GEOTECHNICAL ENGINEER
SOLDIER PILES	1705.8	BY GEOTECHNICAL ENGINEER
INSPECTION IN FABRICATION SHOP	1704.2.5	
PILE STRUCTURAL CONCRETE		
SHOTCRETE	1705.3	
STRUCTURAL STEEL		
FABRICATION AND ERECTION	1705.2	
WELDING		

SHORING SPECIAL INSPECTIONS AND TESTING NOTES:

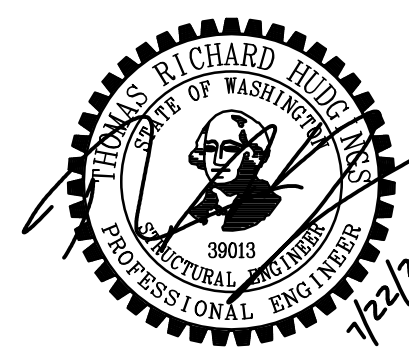
- REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- INSPECTION REQUIREMENTS FOR SYSTEMS DESIGNED BY OTHERS SHALL BE DEFINED BY THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR THEIR DESIGN. SPECIAL INSPECTION TESTING REQUIREMENTS APPLY TO ALL BIDDER-DESIGNED COMPONENTS.

DRAWING LIST

S0.01	STRUCTURAL NOTES, SPECIAL INSPECTIONS, AND DRAWING LIST
S0.02	STRUCTURAL ABBREVIATIONS, DRAWING SYMBOLS, AND DESIGN PRESSURES
S1.01	STRUCTURAL PLAN
S2.01	WALL ELEVATIONS
S3.01	WALL SECTIONS
S4.01	STRUCTURAL DETAILS

GELOTTE HOMMAS DRIVVAHL

2340 130TH AVE NE
SUITE 1000
BELLEVUE, WA 98005



**ADMIRAL'S HOUSE
TURNAROUND**
200 WEST MARINA PLACE
Seattle, Wa 98199-4334

Job No. 2400595
Project Manager:
Issue Date: 02/14/2025

NO.	DATE	REVISION
1	07-2025	COS CYCLE 1 REVISIONS

**STRUCTURAL
NOTES, SPECIAL
INSPECTIONS,
AND DRAWING
LIST**



S0.01



**ADMIRAL'S HOUSE
TURNAROUND**
200 WEST MARINA PLACE
Seattle, Wa 98199-4334

Job No. 2400595

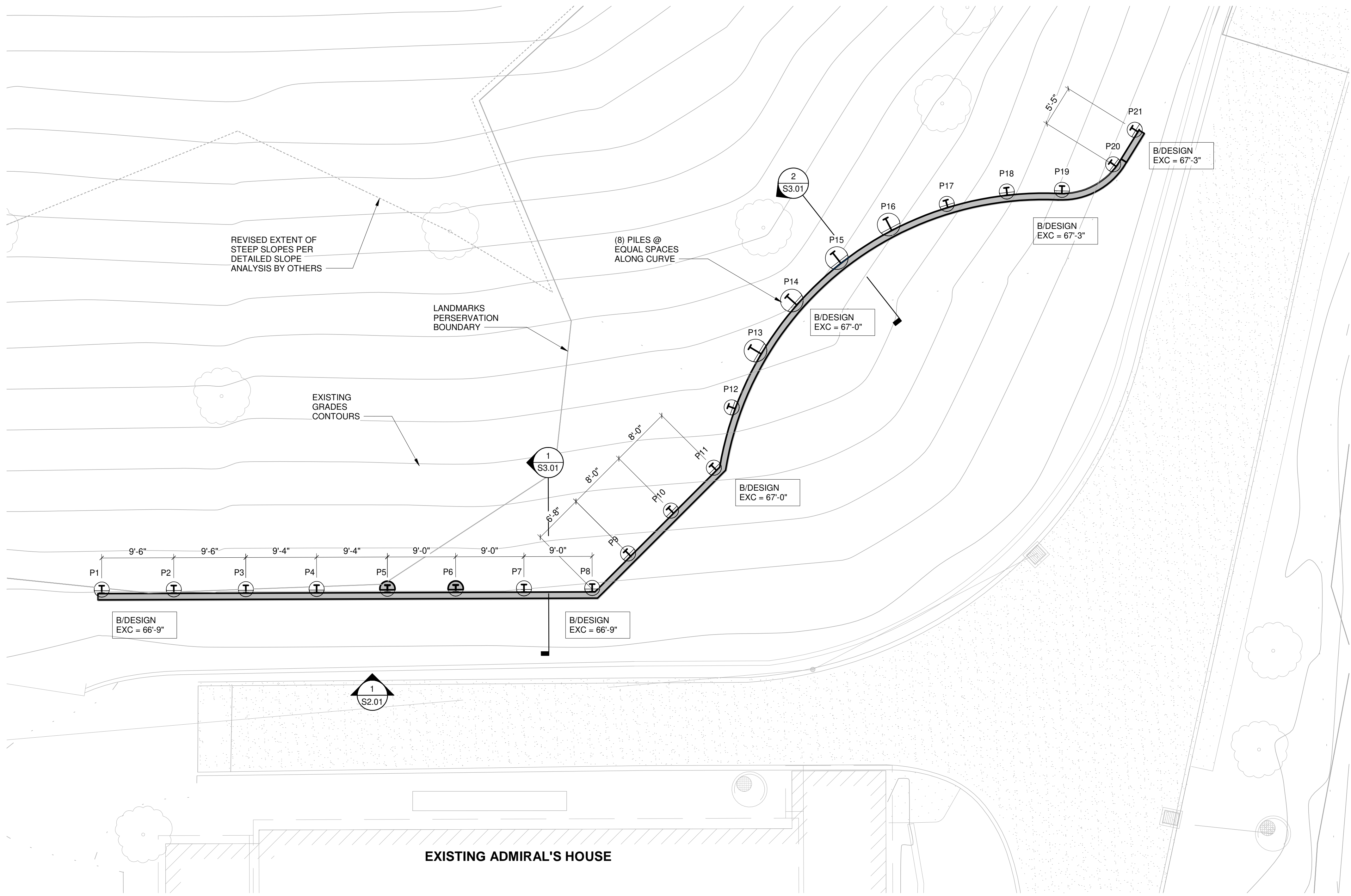
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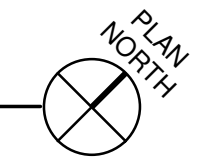
**STRUCTURAL
PLAN**

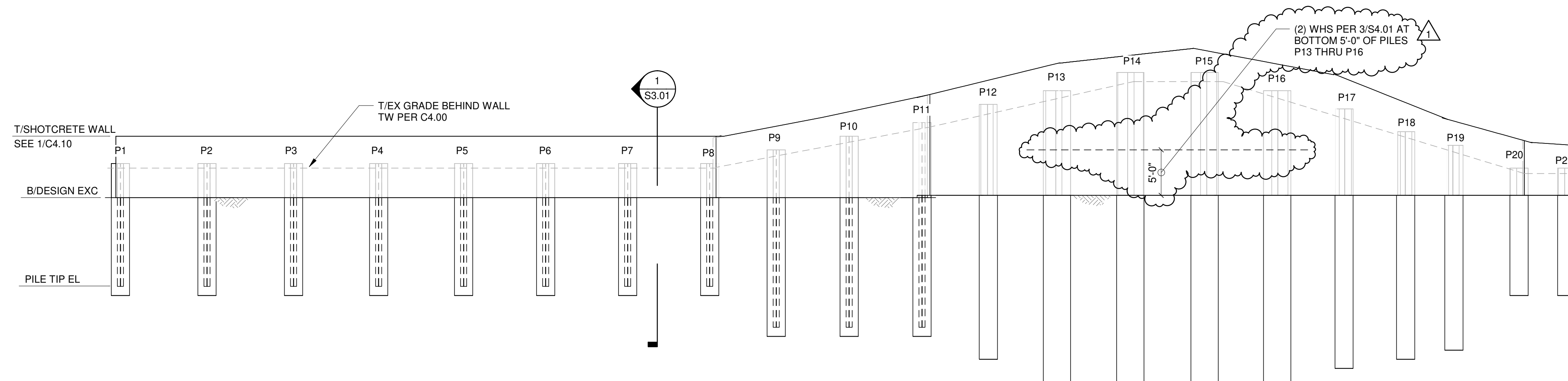
S1.01



- STRUCTURAL PLAN NOTES:**
1. B/DESIGN EXC INDICATES BOTTOM OF EXCAVATION USED FOR DESIGN OF THE SHORING SYSTEM. ACTUAL BOTTOM OF EXCAVATION SHALL BE DETERMINED BY THE CONTRACTOR BASED ON SITE GRADING AND DIMENSIONS.
 2. DO NOT EXTEND THE EXCAVATION BEYOND THE DEPTHS AND HORIZONTAL EXTENTS SHOWN ON THE SHORING DRAWINGS WITHOUT THE ENGINEER'S APPROVAL.
 3. VERTICAL DATUM IS NAVD88.
 4. DIMENSIONS OF BUILDING STRUCTURE ARE FOR REFERENCE ONLY. COORDINATE ALL WORK WITH STRUCTURAL AND ARCHITECTURAL DRAWINGS.
 5. REFER TO CIVIL DRAWINGS FOR ALIGNMENT OF WALL WITH RESPECT TO ROADWAY TURNAROUND ALIGNMENT.
 6. THE UTILITIES SHOWN ARE BASED ON FIELD SURVEYS, AERIAL PHOTOGRAPHY AND RECORD DOCUMENTS. OTHER UTILITIES MAY EXIST THAT WERE NOT DISCOVERED THROUGH THE RECORD CHECK. UTILITY ALIGNMENTS MAY BE DIFFERENT THAN THOSE SHOWN. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS, BOTH HORIZONTAL AND VERTICAL, OF ALL UTILITIES THROUGH THE APPROPRIATE UTILITY COMPANIES AND BY CALLING THE "UTILITY LOCATOR SERVICE."
 7. THE EXISTING STRUCTURES SHOWN ARE BASED ON FIELD SURVEYS, AERIAL PHOTOGRAPHY AND RECORD DOCUMENTS. OTHER STRUCTURES MAY EXIST THAT WERE NOT DISCOVERED THROUGH THE RECORD CHECK. EXISTING STRUCTURAL CONFIGURATIONS MAY BE DIFFERENT THAN SHOWN.
 8. PILES ARE ASSUMED TO BE INSTALLED FROM EXISTING GRADE (+).

1 STRUCTURAL PLAN
1/8" = 1'-0"





1 STRUCTURAL WALL ELEVATION

1/8" = 1'-0"

WALL SOLDIER PILE SCHEDULE																						
SOLDIER PILE	PILE NUMBER	P1	P2	P3	P4	P5	P6	P7	P8	P9	P10	P11	P12	P13	P14	P15	P16	P17	P18	P19	P20	P21
	W SECTION	W12x40	W12x40	W12x40	W12x40	W12x40	W12x40	W12x40	W12x40	W12x40	W12x40	W12x40	W16x50	W21x101	W21x101	W21x101	W21x101	W16x50	W16x50	W16x50	W12x40	W12x40
	PILE TOP EL (FT)	70.5	70.5	70.5	70.5	70.5	70.5	70.5	70.5	72.0	73.5	75.0	77.0	78.5	80.5	80.5	78.5	76.5	74.0	72.5	70.0	70.0
	PILE BOT EL (FT)	57.0	57.0	57.0	57.0	57.0	57.0	57.0	57.0	52.5	52.5	52.5	50.0	47.5	47.5	47.5	47.5	49.0	50.0	51.0	57.0	57.0
	PILE LENGTH (FT)	13.5	13.5	13.5	13.5	13.5	13.5	13.5	13.5	19.5	21.0	22.5	27.0	31.0	33.0	33.0	31.0	27.5	24.0	21.5	13.0	13.0
	MIN HOLE DIA (IN)	24	24	24	24	24	24	24	24	24	24	24	24	36	36	36	36	24	24	24	24	24
	LAGGING ABOVE EL 70									4x												
	LAGGING BELOW EL 70													6x				4x				

SHORING ELEVATION NOTES:
 1. DO NOT EXTEND THE EXCAVATION BEYOND THE DEPTHS AND HORIZONTAL EXTENTS SHOWN ON THE SHORING DRAWINGS WITHOUT THE ENGINEER'S APPROVAL.
 2. VERTICAL DATUM IS NAVD88.

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 Seattle, Wa 98199-4334

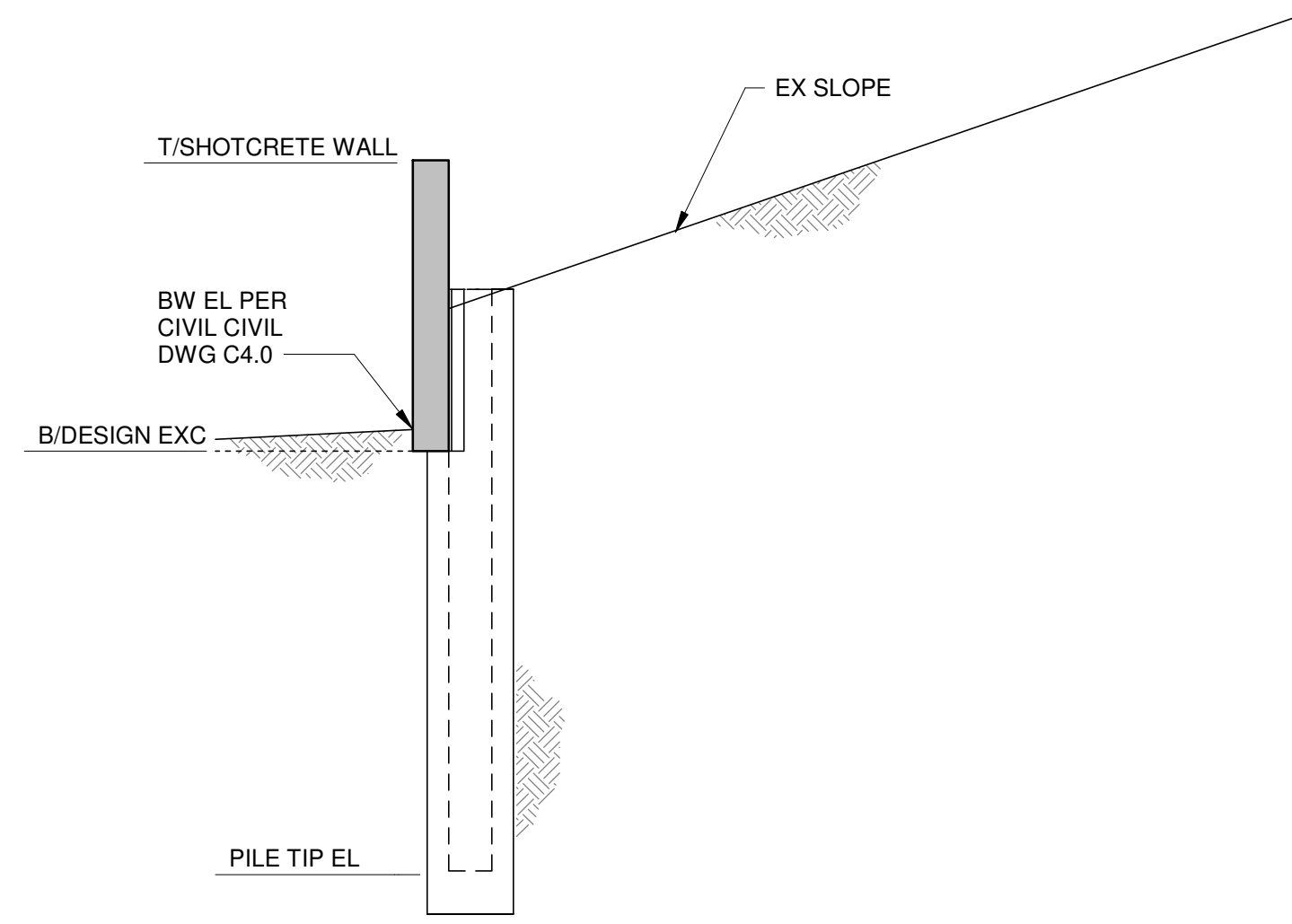
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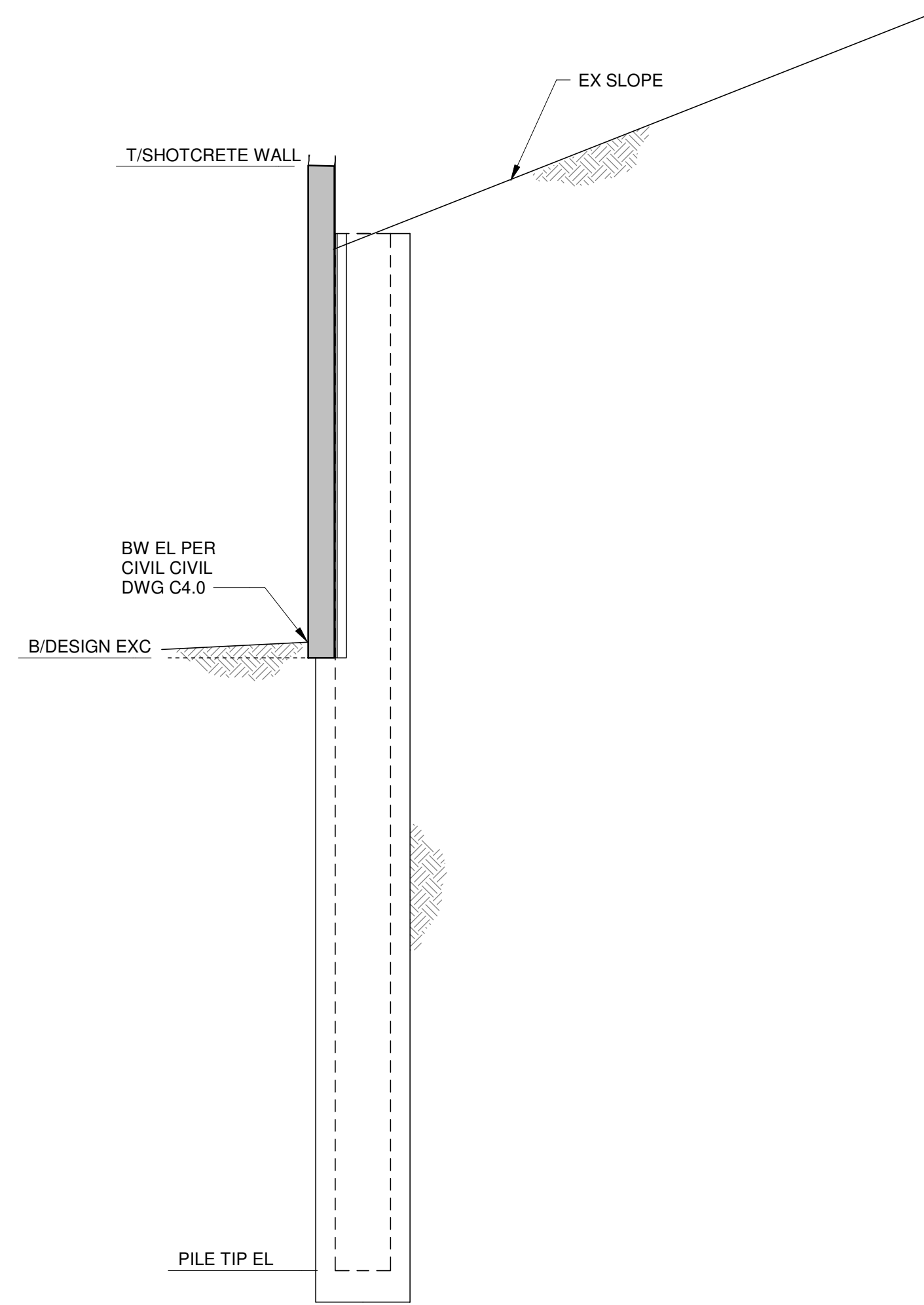
**WALL
ELEVATIONS**



S2.01



1 WALL SECTION
1/4" = 1'-0"



2 WALL SECTION
1/4" = 1'-0"

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Seattle, Wa 98199-4334

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WALL SECTIONS





PRINCIPAL: DM PROJECT MANAGER: AS DESIGNED BY: AS DRAWN BY: HC CHECKED BY: AS, DM



VICINITY MAP

LEGEND

- PROPERTY BOUNDARY
- TOP OF SLOPE
- TOE OF SLOPE
- 15' TOP OF SLOPE BUFFER
- 15' TOE OF SLOPE BUFFER
- STEEP SLOPE AREA - ENVIRONMENTALLY CRITICAL AREA (ECA)
- EXISTING LAWN
- EXISTING TREES
- TREE DRIP LINE
- LANDMARK PRESERVATION BOUNDARY

SHEET INDEX

- L001 EXISTING CRITICAL AREA CONDITIONS
- L002 SITE PLAN AND IMPACT ANALYSIS
- L003 TREE RETENTION AND PROTECTION PLAN
- L004 PLANTING PLAN AND SCHEDULE
- L005 PLANT INSTALLATION NOTES AND DETAILS

NOTES

- 1 CRITICAL AREAS FROM SURVEY AND EXISTING SITE PLAN WERE RECEIVED FROM GELOTTE HOMMAS DRIVDAHL ARCHITECTURE ON 11/22/2024.
- 2 REFERENCE THE ARBORIST REPORT FOR MORE INFORMATION (FACET, 02/06/2025).
- 3 PER THE HISTORIC LANDMARK DESIGNATION MEMO, DATED 9/1/2010, THE EXTERIOR OF THE BUILDING AND THE SITE ARE FEATURES OF THE LANDMARK TO BE PRESERVED. SITE DESCRIPTION INCLUDES HEDGE ROW OF THUJA OCCIDENTALIS, PLANTED CIRCA 1964. EXISTING CONDITION OF HEDGE IS POOR, WITH SEVERAL DEAD OR IN VERY POOR CONDITION.
- 4 ENTIRE SITE IS LOCATED WITHIN A POTENTIAL SLIDE ECA.

PROJECT SUMMARY

THE SUBJECT PROPERTY IS LOCATED AT 2500 WEST MARINA PLACE IN SEATTLE, WASHINGTON, (PARCEL NO. 2325039106) AND IS OCCUPIED BY A HISTORIC LANDMARK BUILDING KNOWN AS THE ADMIRAL'S HOUSE, THAT CURRENTLY SERVES AS AN OFFICE AND EVENT VENUE. THE APPLICANT SEEKS TO REPLACE THE EXISTING Y-SHAPED DRIVEWAY TURNAROUND WITH A NEW CIRCULAR TURNAROUND.

THE PROPOSED TURNAROUND WILL ENCROACH A SMALL PORTION OF THE STEEP SLOPE AND WILL IMPACT THE 15-FOOT TOE-OF-SLOPE BUFFER.

KEY PLAN

PROPERTY BOUNDARY
SEE ENLARGEMENT VIEW ON THE LEFT

SCALE 1" = 20'

NO.	DATE	BY	REVISION
1	1/6/2026	HC	RESPONSE TO COMMENTS
2	3/23/2026	HC	RESPONSE TO COMMENTS

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2001.0075.01

MITIGATION PLAN

EXISTING CRITICAL AREA CONDITIONS

DATE: 3/24/2026
PLAN NUMBER: L001
SHEET 1 OF 05

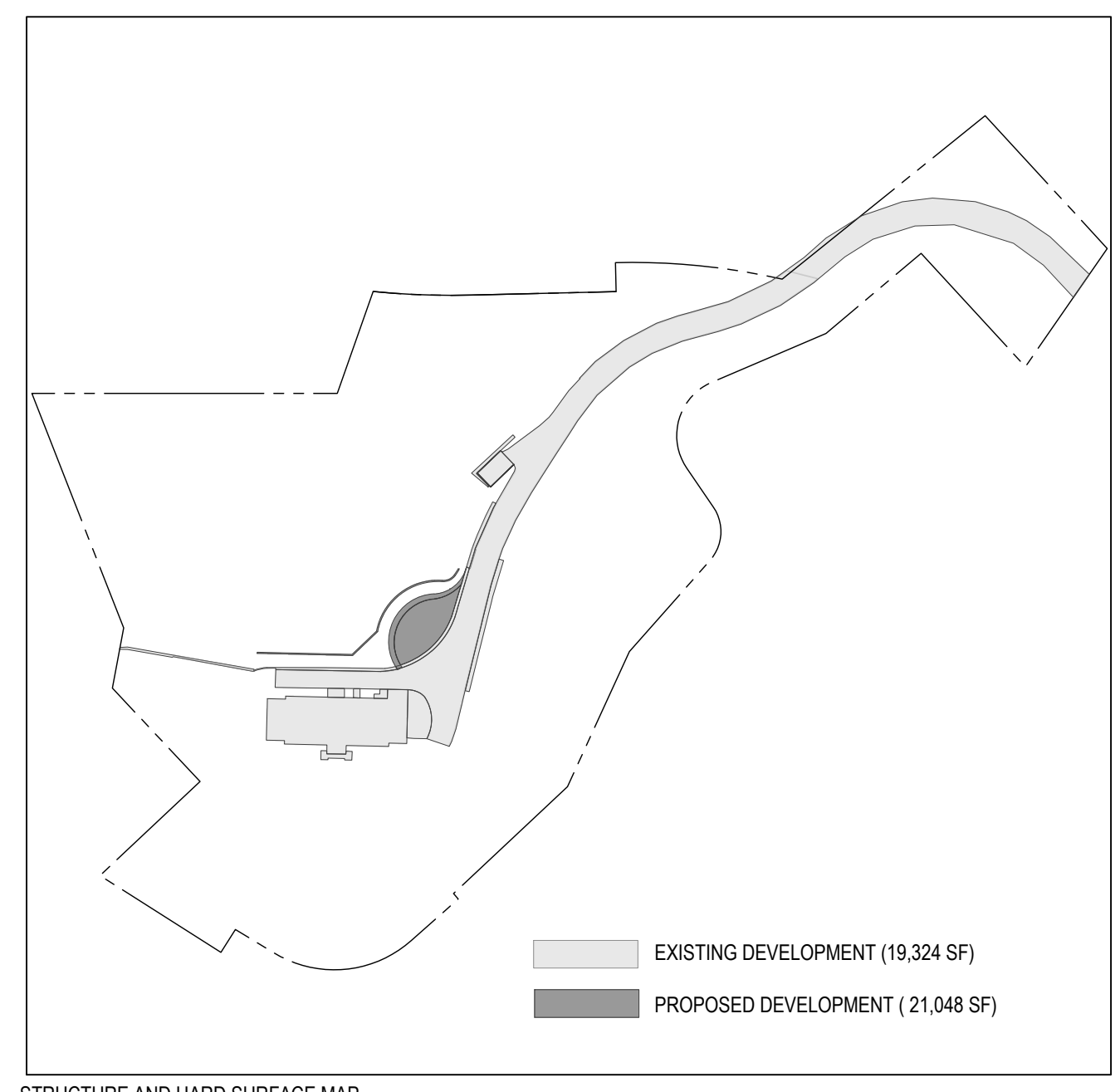


- LEGEND**
- EXISTING**
- PROPERTY BOUNDARY
 - - - TOP OF SLOPE
 - - - TOE OF SLOPE
 - - - 15' TOP OF SLOPE BUFFER
 - - - 15' TOE OF SLOPE BUFFER
 - ▨ STEEP SLOPE AREA
 - ▨ EXISTING LAWN
 - ⊙ EXISTING TREES
 - TREE DRIP LINE
 - △ LANDMARK PRESERVATION BOUNDARY
- PROPOSED**
- ▨ PERMANENT STEEP SLOPE IMPACTS (IMPERVIOUS AREA, 71 SF)
 - ▨ PERMANENT STEEP SLOPE IMPACTS (PERVIOUS AREA, 287 SF)
 - ▨ PERMANENT STEEP SLOPE BUFFER IMPACTS (646 SF)
 - ▨ TEMPORARY STEEP SLOPE BUFFER IMPACTS (268 SF)
 - △ ARBORVITAE HEDGE TO BE REMOVED (34)
 - X HAZARD TREE TO BE REMOVED
 - ▨ PROPOSED DEVELOPMENT (21,048 SF)

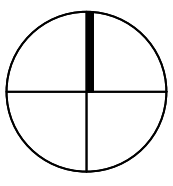
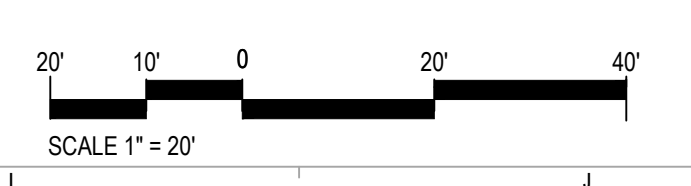
- NOTES**
- PROPOSED SITE PLAN AND SURVEY WAS RECEIVED FROM GELOTTE HOMMAS DRIVDAHL ARCHITECTURE ON 11/22/2024.
 - EXISTING DRIVEWAY TO BE USED FOR TEMPORARY CONSTRUCTION ACCESS

MITIGATION CALCULATION (SF)

TOTAL PROPOSED DEVELOPMENT (SEE EXHIBIT BELOW)	21,048
PLUS: TOTAL TEMPORARY CONSTRUCTION DISTURBANCE AREA AND PERMANENT STEEP SLOPE AND STEEP SLOPE BUFFER IMPACTS (SEE ABOVE)	555
	21,603
MINUS: EXISTING DEVELOPMENT (SEE EXHIBIT BELOW)	19,324
TOTAL AREA OF IMPACT THAT REQUIRES MITIGATION IN THE FORM OF REPLANTING	2,279



PRINCIPAL: DM PROJECT MANAGER: AS DESIGNED BY: AS DRAWN BY: HC CHECKED BY: AS DM



NO.	DATE	BY	REVISION
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MITIGATION PLAN

SITE PLAN AND IMPACT ANALYSIS

DATE: 3/24/2026
 PLAN NUMBER:
L002

SHEET 2 OF 05



NO IMPACT TO TREE INNER CRITICAL ROOTZONE.
POTENTIAL ROOTZONE IMPACT TO OUTER
ROOTZONE IS 76 SF (OR 23% OF 324SF)

- LEGEND**
- EXISTING**
- PROPERTY BOUNDARY
 - - - TOP OF SLOPE
 - - - TOE OF SLOPE
 - - - 15' TOP OF SLOPE BUFFER
 - - - 15' TOE OF SLOPE BUFFER
 - ▨ STEEP SLOPE AREA
 - ▨ EXISTING LAWN
 - EXISTING TREES
 - - - TREE DRIP LINE
 - INNER CRITICAL ROOT ZONE
 - LANDMARK PRESERVATION BOUNDARY
- PROPOSED**
- ▨ ARBORVITAE HEDGE TO BE REMOVED
 - ✕ HAZARD TREE TO BE REMOVED
 - TREE PROTECTION FENCE
 - TREE PROTECTION AREA
 - ▨ ROOTZONE IMPACT AREA

- NOTES**
- TREE INVENTORY COMPLETED IN 2019 BY GILES CONSULTING, INC.
 - LIMITED TREE INVENTORY COMPLETED ON DEC. 9TH, 2024, BY FACET; SEE TREE INVENTORY REPORT FOR ADDITIONAL DETAILS.
 - PER SMC 25.11.130, TREE PROTECTION AREA CALCULATED USING ONE FOOT RADIUS FOR EVERY INCH OF DSH.
 - ONE HAZARD TREE PROPOSED FOR REMOVAL. TO BE REPLACED BY TREE OF SIMILAR CANOPY AND SIZE.
 - TREE RETENTION PLAN REVIEWED BY APRIL MULCAHY, ISA CERTIFIED ARBORIST UT- 4238A.

TREE INVENTORY TABLE

TREE ID #	TREE NAME	# STEMS	COMB DBH (IN)	HEIGHT (FT)	RADIUS (FT)	CONDITION	EXCEPTIONAL	REMOVAL	NOTES
84	<i>Prunus serrulata</i> (Kwansan cherry)	1	15.7	20	10	Good	No	No	
102	<i>Salix babylonica</i> (Weeping willow)	1	20.5	30	26	Fair	No	No	
104	<i>Salix babylonica</i> (Weeping willow)	1	11.7	30	15	Fair	No	No	Previously failed. One dead stem with epicormic sprouts. This tree is identified as #105 on the marked-up survey in the Arborist Report, but it is field tagged with the number 104. Given the existing numbering, we are using the marked-up survey.
105	<i>Salix babylonica</i> (Weeping willow)	1	18.4	30	15	Fair	No	Yes	

TREE & VEGETATION PROTECTION

TREE PROTECTION FENCING AND SIGN

- CHAIN LINK FENCE REQUIRED (NO ORANGE CONSTRUCTION FENCE OR PLYWOOD)
- MINIMUM 6' HIGH
- FENCE SHALL BE SUPPORTED BY RIGID POSTS DRIVEN INTO THE GROUND AT 8' MAXIMUM INTERVALS
- MUST BE INSTALLED PRIOR TO DEMOLITION OR GROUND DISTURBANCE
- KEPT IN PLACE FOR THE DURATION OF CONSTRUCTION
- NO DUMPING OF ANY MATERIALS IN THE PROTECTION AREA
- NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN FENCED AREA: MATERIAL STORAGE/STOCKPILING, PARKING, EXCAVATION, DUMPING, OR WASHING
- MODIFICATIONS OF THESE REQUIREMENTS BY APPROVAL OF SDCI PLANNER ONLY
- IF ROOTS GREATER THAN 2 INCH FOUND OUTSIDE OF FENCING, PROTECT BY HAND EXCAVATION AND, IF NECESSARY, CUT CLEANLY AND KEEP MOIST
- USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS

VEGETATION PROTECTION (DOES NOT APPLY TO TREES)

- ORANGE MESH OR SIMILAR OPEN MATERIAL
- PROTECT VEGETATION OUTSIDE CONSTRUCTION ZONE WITH FENCING AS SHOWN

LINK TO REQUIRED TREE PROTECTION SIGNAGE:

SYMBOL: ○ ○ ○ ○ ○ VEG

TREE PROTECTION DETAIL

Scale: NTS

PRINCIPAL: DM PROJECT MANAGER: AS DESIGNED BY: AS DRAWN BY: HC CHECKED BY: AS, DM

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MITIGATION PLAN

TREE RETENTION PLAN

DATE: 3/24/2026
PLAN NUMBER: L003
SHEET 3 OF 05

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BASE MAP TOPOGRAPHY PROVIDED BY OTHERS; FACET CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTRACTOR SHALL NOTIFY FACET IMMEDIATELY.



LEGEND

EXISTING

- PROPERTY BOUNDARY
- TOP OF SLOPE
- TOE OF SLOPE
- 15' TOP OF SLOPE BUFFER
- 15' TOE OF SLOPE BUFFER
- STEEP SLOPE AREA
- EXISTING LAWN
- EXISTING TREES
- TREE DRIP LINE

PROPOSED

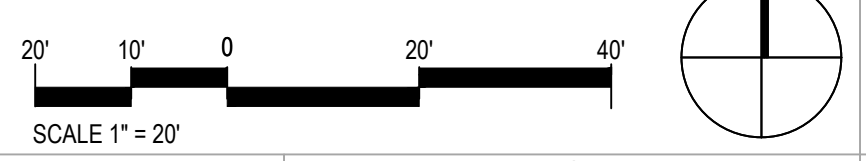
- LANDMARK PRESERVATION BOUNDARY
- ADDITIONAL INVASIVE REMOVAL AREA (2,000 SF) 3-5 L005
- MITIGATION PLANTING AREA (3,246 SF)
- MULCH AREA WITH OWNER-SELECTED PLANTING 1 L005
- COIR LOG

- NOTES**
- INSTALL COIR LOG PRIOR TO ANY MITIGATION WORK OR INVASIVE REMOVAL WITHIN STEEP SLOPE.
 - PRIOR TO PLANTING, ALL INVASIVE SPECIES SHALL BE REMOVED FROM THE ENTIRETY OF THE RESTORATION AREAS AND ADDITIONAL INVASIVE REMOVAL AREA PRIOR TO SOIL PREPARATION. PROTECT AND PRESERVE ALL EXISTING NATIVE VEGETATION.
 - INVASIVE SPECIES SHALL BE DEFINED AS ALL SPECIES LISTED AS CLASS A, B, OR C OR AS A SPECIES OF CONCERN BY THE KING COUNTY NOXIOUS WEED CONTROL BOARD (KCNWCB).
 - INVASIVE SPECIES SHALL BE REMOVED AND DISPOSED OF ACCORDING TO KCNWCB RECOMMENDATION.
 - SEE SHEET L005 FOR PLANT INSTALLATION SPECIFICATIONS AND DETAILS AND SOIL PREPARATION.
 - ONE PAPER BIRCH IS PROPOSED TO REPLACE THE REMOVAL OF TREE #105.
 - PLANT SUBSTITUTIONS IN THE ECA MITIGATION AREA WILL NOT BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE RESTORATION SPECIALIST.
 - PLANTING SELECTIONS IN THE ECA STEEP SLOPE ON THE PARCEL SHALL BE PACIFIC NORTHWEST NATIVE SPECIES SUITED TO SPECIFIC SITE CONDITIONS/ORIENTATION. NO CULTIVARS OR HYBRIDS ARE ALLOWED. NEW TREES MUST BE AT LEAST 4-6 FEET IN HEIGHT AND SHRUBS ONE-GALLON SIZE AT TIME OF INSTALLATION.
 - ECA STEEP SLOPE AND BUFFER AREAS ABOVE THE PROPOSED RETAINING WALL THAT HAVE BEEN CLEARED, GRADED, OR COMPACTED ARE TO BE AMENDED WITH ORGANIC MATTER PRIOR TO PLANTING. USE FINELY SHREDDED MULCH, MINIMUM 4" DEPTH BETWEEN NEW PLANTINGS. FOR PLANTING AREAS BELOW THE RETAINING WALL, FOLLOW THE CITY'S SOIL AMENDMENT AND DEPTH STANDARDS 142 SHOWN ON L005.
 - CONTRACTOR TO INSTALL A DESIGN-BUILD-IN-GROUND AUTOMATIC SPRINKLER SYSTEM WITH A MIX OF DRIP AND SPRAY ZONES TO THE PLANTING BED WITH THE REPLACEMENT HEDGE. THE PLANTING BED SHALL BE PROVIDED WITH SUPPLEMENTAL IRRIGATION FOR A MINIMUM OF 5 YEARS AFTER PLANTING.
 - THE MITIGATION PLANTING AREA SHALL HAVE A TEMPORARY IRRIGATION SYSTEM CAPABLE OF SUPPLYING AT LEAST ONE INCH OF WATER PER WEEK TO THE ENTIRE PLANTED AREA DURING THE DRY SEASON (JUNE 1ST THROUGH SEPTEMBER 30TH) FOR THE FIRST TWO SUMMERS AFTER PLANT INSTALLATION.

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
TREES					
○	BETULA Papyrifera	PAPER BIRCH	MIN 2" CALIPER	PER PLAN	1
REPLACEMENT HEDGE					
○	THUJA OCCIDENTALIS 'SKYBOUND'	SKYBOUND AMERICAN ARBORVITAE	9' - 10' HT	5' O.C.	39
MITIGATION PLANTING AREA					
TREES					
○	ACER MACROPHYLLUM	BIGLEAF MAPLE	MIN. 6' HT	PER PLAN	1
○	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	MIN. 6' HT	PER PLAN	1
SHRUBS					
■	RIBES SANGUINEUM	RED FLOWERING CURRANT	1 GALLON	6' O.C.	26
■	ROSA NUTKANA	NOOTKA ROSE	1 GALLON	6' O.C.	26
■	SYMPHORICARPOS ALBUS	COMMON SNOWBERRY	1 GALLON	4' O.C.	50

- NOTE:**
- THE MITIGATION PLANTING AREA IS ON A 2.5:1 SLOPE AND THEREFORE, PLANT QUANTITIES WERE MULTIPLIED BY A FACTOR OF 1.077.
 - GROUP SHRUBS BY SPECIES AND INSTALL IN GROUPS OF 3 - 7.



MITIGATION

ECA STEEP SLOPE MITIGATION:
A TOTAL OF 2,279 SF OF ECA STEEP SLOPE ON THE SUBJECT PARCEL IS PROPOSED TO BE CLEARED OF INVASIVE VEGETATION AND REPLANTED WITH NATIVE PLANTS.

PROPOSED MITIGATION PLANTING IS SHOWN ON SHEET L004 AND INCLUDES A VARIETY OF NATIVE PLANTS INTENDED TO RESTORE AND IMPROVE ECOLOGICAL FUNCTIONS BETTER THAN THE EXISTING CONDITION. FUNCTION ENHANCEMENTS INCLUDE PROVIDING DIVERSE HABITAT AND FOOD SOURCES FOR AMPHIBIAN, AVIAN, AND TERRESTRIAL WILDLIFE SPECIES; RHYZOMATOUS NATIVE PLANTS TO PROVIDE SOIL STABILIZATION; AND LAYERED SHRUBS TO PROVIDE STORMWATER FILTERING, DETENTION, AND INFILTRATION.

MONITORING AND MAINTENANCE NOTES

ECA STEEP SLOPE
THE FOLLOWING MONITORING AND MAINTENANCE IS REQUIRED FOR A PERIOD OF 5 YEARS FROM DATE OF PLANT INSTALLATION. SELF-MONITORING IS SUFFICIENT. NO DOCUMENTATION IS REQUIRED TO BE SUBMITTED TO SDCI UNLESS REQUESTED.

- 80 PERCENT SURVIVAL OF NEW TREES AND VEGETATION PLANTED AT THE END OF FIVE YEARS;
- ANNUAL INSPECTIONS OF THE PLANTS;
- REPLACEMENT OF FAILED PLANTS;
- REMOVAL OF EXOTIC INVASIVE SPECIES THAT HAVE BECOME ESTABLISHED;
- PHOTOGRAPHIC DOCUMENTATION OF PLANTING SUCCESS RETAINED FOR THE FIVE-YEAR PERIOD; AND
- NO PERMANENT IRRIGATION IS ALLOWED ON STEEP SLOPE AREAS OR THEIR BUFFERS.

PRINCIPAL: DM PROJECT MANAGER: AS DESIGNED BY: AS DRAWN BY: HC CHECKED BY: AS, DM

NO.	DATE	BY	REVISION
1	1/6/2026	HC	RESPONSE TO COMMENTS
2	3/23/2026	HC	RESPONSE TO COMMENTS

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 SEATTLE, WA 98199
 2001.0075.01

MITIGATION PLAN
 PLANTING PLAN AND SCHEDULE

DATE: 3/24/2026
 PLAN NUMBER: L004
 SHEET 4 OF 05

PLANT INSTALLATION SPECIFICATIONS

GENERAL NOTES

QUALITY ASSURANCE

- PLANTS SHALL MEET OR EXCEED THE SPECIFICATIONS OF FEDERAL, STATE, AND LOCAL LAWS REQUIRING INSPECTION FOR PLANT DISEASE AND INSECT CONTROL.
- PLANTS SHALL BE HEALTHY, VIGOROUS, AND WELL-FORMED, WITH WELL DEVELOPED, FIBROUS ROOT SYSTEMS, FREE FROM DEAD BRANCHES OR ROOTS. PLANTS SHALL BE FREE FROM DAMAGE CAUSED BY TEMPERATURE EXTREMES, LACK OF EXCESS OF MOISTURE, INSECTS, DISEASE, AND MECHANICAL INJURY. PLANTS IN LEAF SHALL BE WELL-FOLIATED AND OF GOOD COLOR. PLANTS SHALL BE HABITUATED TO THE OUTDOOR ENVIRONMENTAL CONDITIONS INTO WHICH THEY WILL BE PLANTED (HARDENED-OFF).
- TREES WITH DAMAGED, CROOKED, MULTIPLE OR BROKEN LEADERS WILL BE REJECTED. WOODY PLANTS WITH ABRASIONS OF THE BARK OR SUN SCALD WILL BE REJECTED.
- NOMENCLATURE: PLANT NAMES SHALL CONFORM TO FLORA OF THE PACIFIC NORTHWEST BY HITCHCOCK AND CRONQUIST, UNIVERSITY OF WASHINGTON PRESS, 2018 AND/OR TO A FIELD GUIDE TO THE COMMON WETLAND PLANTS OF WESTERN WASHINGTON & NORTHWESTERN OREGON, ED. SARAH SPEAR COOKE, SEATTLE AUDUBON SOCIETY, 1997.

DEFINITIONS

- PLANTS/PLANT MATERIALS. PLANTS AND PLANT MATERIALS SHALL INCLUDE ANY LIVE PLANT MATERIAL USED ON THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO CONTAINER GROWN, B&B OR BAREROOT PLANTS; LIVE STAKES AND FASCINES (WATTLES); TUBERS, CORMS, BULBS, ETC.; SPRIGS, PLUGS, AND LINERS.
- CONTAINER GROWN. CONTAINER GROWN PLANTS ARE THOSE WHOSE ROOTBALLS ARE ENCLOSED IN A POT OR BAG IN WHICH THAT PLANT GREW.

SUBSTITUTIONS

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SPECIFIED MATERIALS IN ADVANCE IF SPECIAL GROWING, MARKETING OR OTHER ARRANGEMENTS MUST BE MADE IN ORDER TO SUPPLY SPECIFIED MATERIALS.
- SUBSTITUTION OF PLANT MATERIALS NOT ON THE PROJECT LIST WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE RESTORATION CONSULTANT.
- PROOF IS SUBMITTED THAT ANY PLANT MATERIAL SPECIFIED IS NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF THE NEAREST EQUIVALENT SIZE OR ALTERNATIVE SPECIES, WITH CORRESPONDING ADJUSTMENT OF CONTRACT PRICE.
- SUCH PROOF WILL BE SUBSTANTIATED AND SUBMITTED IN WRITING TO THE CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION.

INSPECTION

- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE RESTORATION CONSULTANT FOR CONFORMANCE TO SPECIFICATIONS, EITHER AT TIME OF DELIVERY ON-SITE OR AT THE GROWERS' NURSERY. APPROVAL OF PLANT MATERIALS AT ANY TIME SHALL NOT IMPAIR THE SUBSEQUENT RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK.
- PLANTS INSPECTED ON SITE AND REJECTED FOR NOT MEETING SPECIFICATIONS MUST BE REMOVED IMMEDIATELY FROM SITE OR RED-TAGGED AND REMOVED AS SOON AS POSSIBLE.
- THE RESTORATION CONSULTANT MAY ELECT TO INSPECT PLANT MATERIALS AT THE PLACE OF GROWTH. AFTER INSPECTION AND ACCEPTANCE, THE RESTORATION CONSULTANT MAY REQUIRE THE INSPECTED PLANTS BE LABELED AND RESERVED FOR PROJECT. SUBSTITUTION OF THESE PLANTS WITH OTHER INDIVIDUALS, EVEN OF THE SAME SPECIES AND SIZE, IS UNACCEPTABLE.

MEASUREMENT OF PLANTS

- PLANTS SHALL CONFORM TO SIZES SPECIFIED UNLESS SUBSTITUTIONS ARE MADE AS OUTLINED IN THIS CONTRACT.
- HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO MAIN BODY OF PLANT AND NOT BRANCH OR ROOT TIP TO TIP. PLANT DIMENSIONS SHALL BE MEASURED WHEN THEIR BRANCHES OR ROOTS ARE IN THEIR NORMAL POSITION.
- WHERE A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND AT LEAST 50% OF THE PLANTS SHALL BE AS LARGE AS THE MEDIUM OF THE SIZE RANGE. (EXAMPLE: IF THE SIZE RANGE IS 12" TO 18", AT LEAST 50% OF PLANTS MUST BE 15" TALL.)

SUBMITTALS

PROPOSED PLANT SOURCES

- WITHIN 45 DAYS AFTER AWARD OF THE CONTRACT, SUBMIT A COMPLETE LIST OF PLANT MATERIALS PROPOSED TO BE PROVIDED DEMONSTRATING CONFORMANCE WITH THE REQUIREMENTS SPECIFIED. INCLUDE THE NAMES AND ADDRESSES OF ALL GROWERS AND NURSERIES.

PRODUCT CERTIFICATES

- PLANT MATERIALS LIST - SUBMIT DOCUMENTATION TO CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION THAT PLANT MATERIALS HAVE BEEN ORDERED. ARRANGE PROCEDURE FOR INSPECTION OF PLANT MATERIAL WITH CONSULTANT AT TIME OF SUBMISSION.
- HAVE COPIES OF VENDOR'S OR GROWERS' INVOICES OR PACKING SLIPS FOR ALL PLANTS ON SITE DURING INSTALLATION. INVOICE OR PACKING SLIP SHOULD LIST SPECIES BY SCIENTIFIC NAME, QUANTITY, AND DATE DELIVERED (AND GENETIC ORIGIN IF THAT INFORMATION WAS PREVIOUSLY REQUESTED).

DELIVERY, HANDLING, & STORAGE

NOTIFICATION
CONTRACTOR MUST NOTIFY CONSULTANT 48 HOURS OR MORE IN ADVANCE OF DELIVERIES SO THAT CONSULTANT MAY ARRANGE FOR INSPECTION.

PLANT MATERIALS

- TRANSPORTATION - DURING SHIPPING, PLANTS SHALL BE PACKED TO PROVIDE PROTECTION AGAINST CLIMATE EXTREMES, BREAKAGE AND DRYING. PROPER VENTILATION AND PREVENTION OF DAMAGE TO BARK, BRANCHES, AND ROOT SYSTEMS MUST BE ENSURED.
- SCHEDULING AND STORAGE - PLANTS SHALL BE DELIVERED AS CLOSE TO PLANTING AS POSSIBLE. PLANTS IN STORAGE MUST BE PROTECTED AGAINST ANY CONDITION THAT IS DETRIMENTAL TO THEIR CONTINUED HEALTH AND VIGOR.
- HANDLING - PLANT MATERIALS SHALL NOT BE HANDLED BY THE TRUNK, LIMBS, OR FOLIAGE BUT ONLY BY THE CONTAINER, BALL, BOX, OR OTHER PROTECTIVE STRUCTURE. EXCEPT BAREROOT PLANTS SHALL BE KEPT IN BUNDLES UNTIL PLANTING AND THEN HANDLED CAREFULLY BY THE TRUNK OR STEM. LABELS - PLANTS SHALL HAVE DURABLE, LEGIBLE LABELS STATING CORRECT SCIENTIFIC NAME AND SIZE. TEN PERCENT OF CONTAINER GROWN PLANTS IN INDIVIDUAL POTS SHALL BE LABELED. PLANTS SUPPLIED IN FLATS, RACKS, BOXES, BAGS, OR BUNDLES SHALL HAVE ONE LABEL PER GROUP.

WARRANTY

PLANT WARRANTY

PLANTS MUST BE GUARANTEED TO BE TRUE TO SCIENTIFIC NAME AND SPECIFIED SIZE, AND TO BE HEALTHY AND CAPABLE OF VIGOROUS GROWTH.

REPLACEMENT

- PLANTS NOT FOUND MEETING ALL OF THE REQUIRED CONDITIONS AT THE CONSULTANT'S DISCRETION MUST BE REMOVED FROM SITE AND REPLACED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- PLANTS NOT SURVIVING AFTER ONE YEAR TO BE REPLACED AT THE CONTRACTOR'S EXPENSE.

PLANT MATERIAL

GENERAL

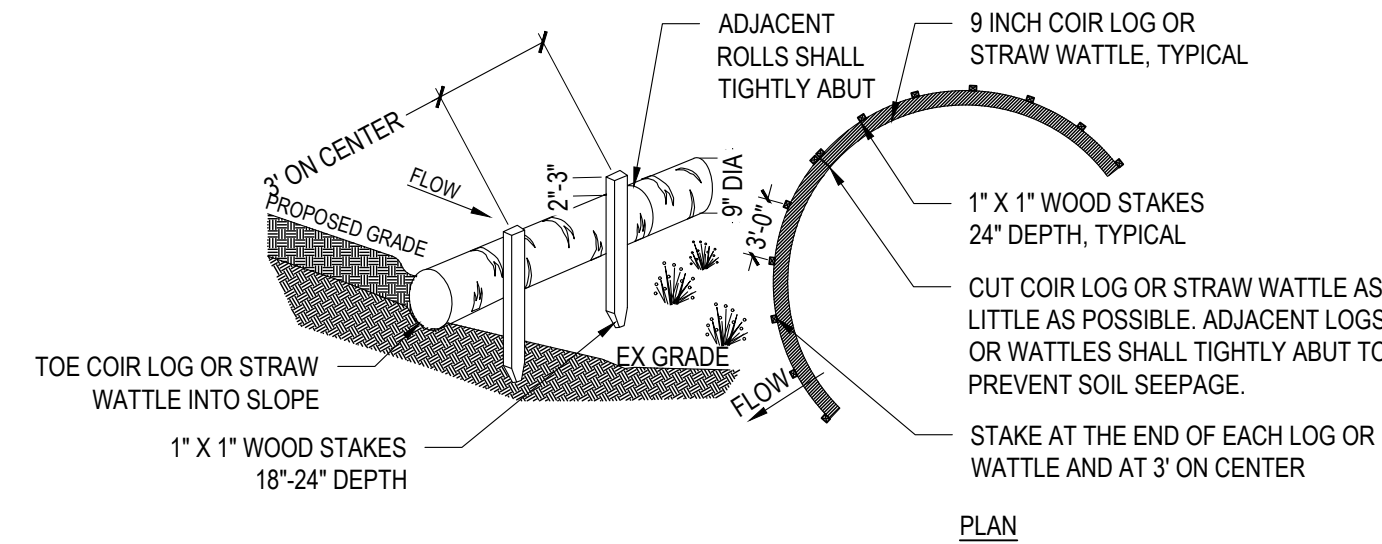
- PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO OR MORE SEVERE THAN THOSE OF THE PROJECT SITE.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY OR SUBSPECIES. NO CULTIVARS OR NAMED VARIETIES SHALL BE USED UNLESS SPECIFIED AS SUCH.

QUANTITIES

SEE PLANT LIST ON ACCOMPANYING PLANS AND PLANT SCHEDULES.

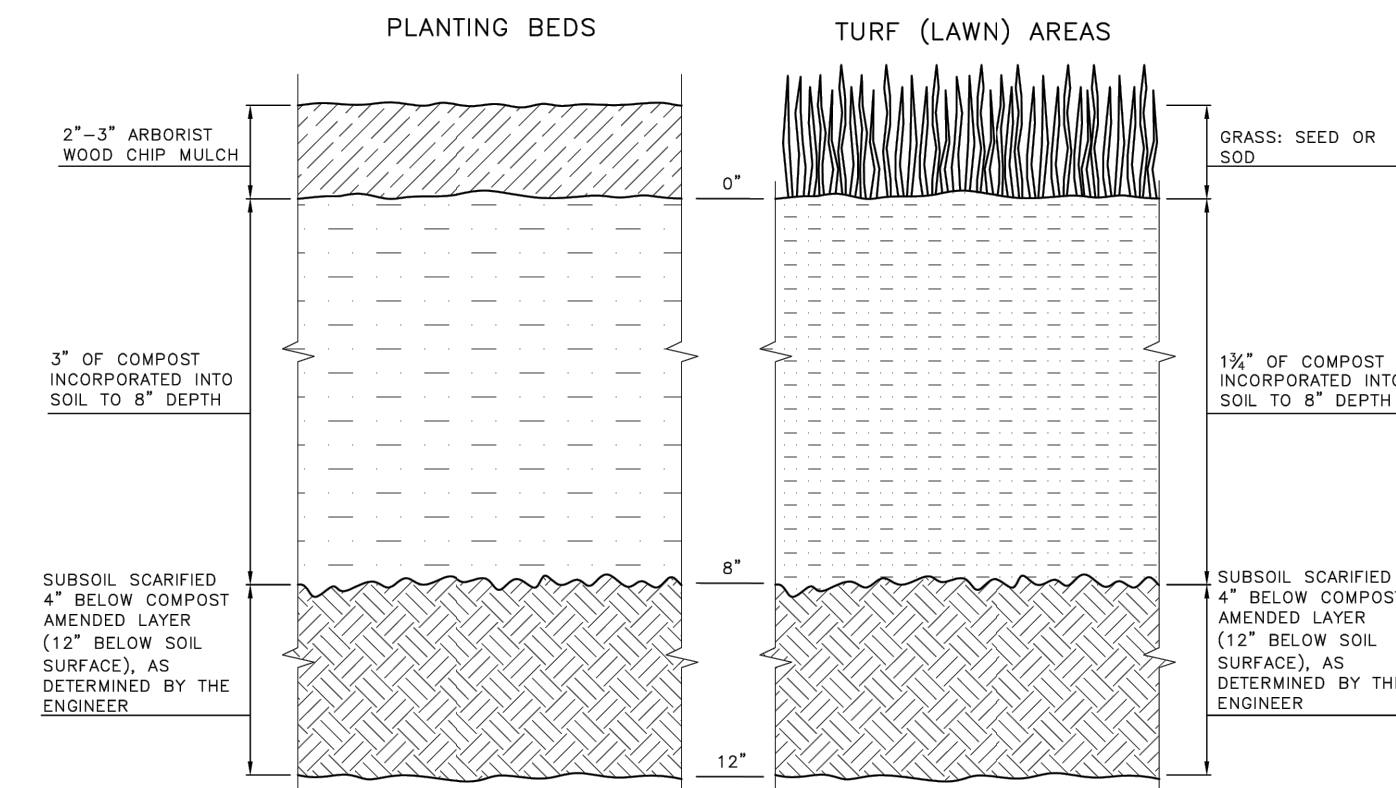
ROOT TREATMENT

- CONTAINER GROWN PLANTS (INCLUDES PLUGS): PLANT ROOT BALLS MUST HOLD TOGETHER WHEN THE PLANT IS REMOVED FROM THE POT, EXCEPT THAT A SMALL AMOUNT OF LOOSE SOIL MAY BE ON THE TOP OF THE ROOTBALL.
- PLANTS MUST NOT BE ROOT-BOUND; THERE MUST BE NO CIRCLING ROOTS PRESENT IN ANY PLANT INSPECTED.
- ROOTBALLS THAT HAVE CRACKED OR BROKEN WHEN REMOVED FROM THE CONTAINER SHALL BE REJECTED.



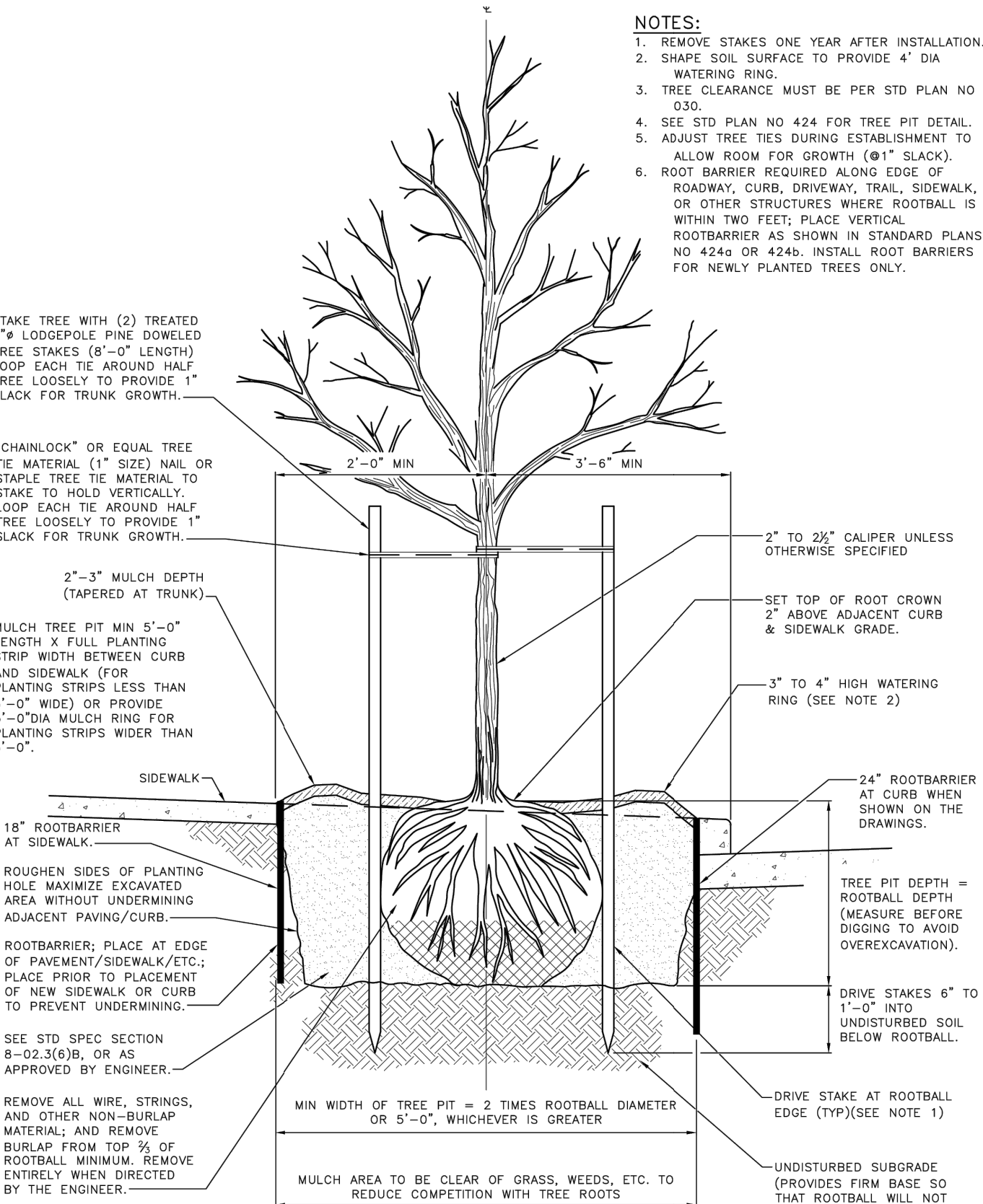
- NOTES:**
- COIR LOG OR STRAW WATTLE SHALL BE INSTALLED PRIOR TO GROUND DISTURBING ACTIVITIES.
 - COIR LOG OR STRAW WATTLE SHALL BE 9 INCH IN DIAMETER.
 - STAKING: USE WOODEN STAKES TO SECURE THE COIR LOG OR STRAW WATTLE. SIZE STAKES TO ENSURE 18"-24" BELOW GROUND AND 2"-3" ABOVE COIR ROLL. STAKES SHALL BE MIN. 29" IN LENGTH; USE LONGER STAKES IF NECESSARY TO SECURE ROLL.
 - WHEN INSTALLING RUNNING LENGTHS OF COIR LOG OR STRAW WATTLE, BUTT THE SECOND LOG TIGHTLY AGAINST THE FIRST; DO NOT OVERLAP THE ENDS.
 - STAKE THE LOGS OR WATTLES AT EACH END AND THREE (3) FEET ON CENTER. STAKES SHOULD BE DRIVEN OUTSIDE THE COIR LOG OR STRAW WATTLE, BUT CLOSE ENOUGH TO HOLD IT IN PLACE. LEAVE 2-3" OF THE STAKE PROTRUDING ABOVE THE COIR LOG OR STRAW WATTLE.
 - WHEN COIR LOG OR STRAW WATTLE ARE USED FOR FLAT GROUND APPLICATIONS, DRIVE THE STAKES STRAIGHT DOWN. WHEN INSTALLING COIR LOG OR STRAW WATTLE ON SLOPES, DRIVE THE STAKES PERPENDICULAR TO THE SLOPE. DRIVE THE FIRST END STAKE OF THE SECOND COIR LOG OR STRAW WATTLE AT AN ANGLE TOWARD THE FIRST COIR LOG OR STRAW WATTLE IN ORDER TO HELP ABUT THEM TIGHTLY TOGETHER.

1 COIR LOG Scale: NTS

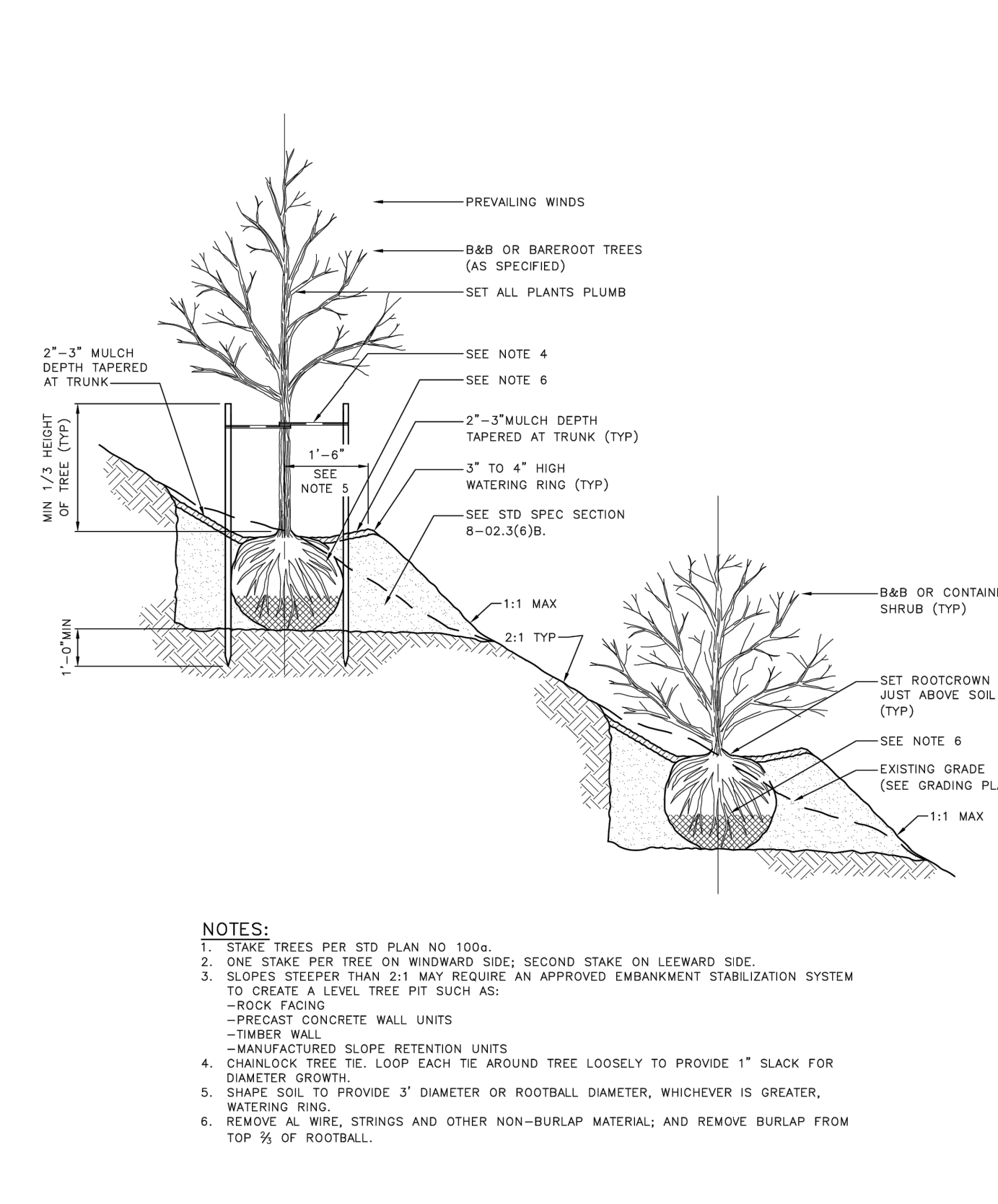


- NOTES:**
- ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION, AND NOT COVERED BY BUILDINGS OR PAVEMENT, MUST BE AMENDED WITH COMPOST AS DESCRIBED BELOW.
 - SUBSOIL SHOULD BE SCARIFIED (LOOSENED) 4 INCHES BELOW AMENDED LAYER, TO PRODUCE 12-INCH DEPTH OF UN-COMPACTED SOIL, EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY THE ENGINEER.
 - COMPOST MUST BE TILLED IN TO 8 INCH DEPTH INTO EXISTING SOIL, OR PLACE 8 INCHES OF COMPOST-AMENDED SOIL, PER SOIL SPECIFICATION.
 - TURF AREAS MUST RECEIVE 1.75 INCHES OF COMPOST TILLED IN TO 8-INCH DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 20-25% COMPOST BY VOLUME. MULCH AFTER PLANTING, WITH 2-3 INCHES OF ARBORIST WOOD CHIP MULCH OR APPROVED EQUIV.
 - PLANTING BEDS MUST RECEIVE 3 INCHES OF COMPOST TILLED IN TO 8-INCH DEPTH, OR MAY SUBSTITUTE 8" OF IMPORTED SOIL CONTAINING 35-40% COMPOST BY VOLUME. MULCH AFTER PLANTING, WITH 2-3 INCHES OF ARBORIST WOOD CHIP MULCH OR APPROVED EQUIV.
 - SETBACKS: TO PREVENT UNEVEN SETTLING, DO NOT COMPOST-AMEND SOILS WITHIN 3 FEET OF UTILITY INFRASTRUCTURES (POLES, VAULTS, METERS ETC.). WITHIN ONE FOOT OF PAVEMENT EDGE, CURBS AND SIDEWALKS SOIL SHOULD BE COMPACTED TO APPROXIMATELY 90% PROCTOR TO ENSURE A FIRM SURFACE.

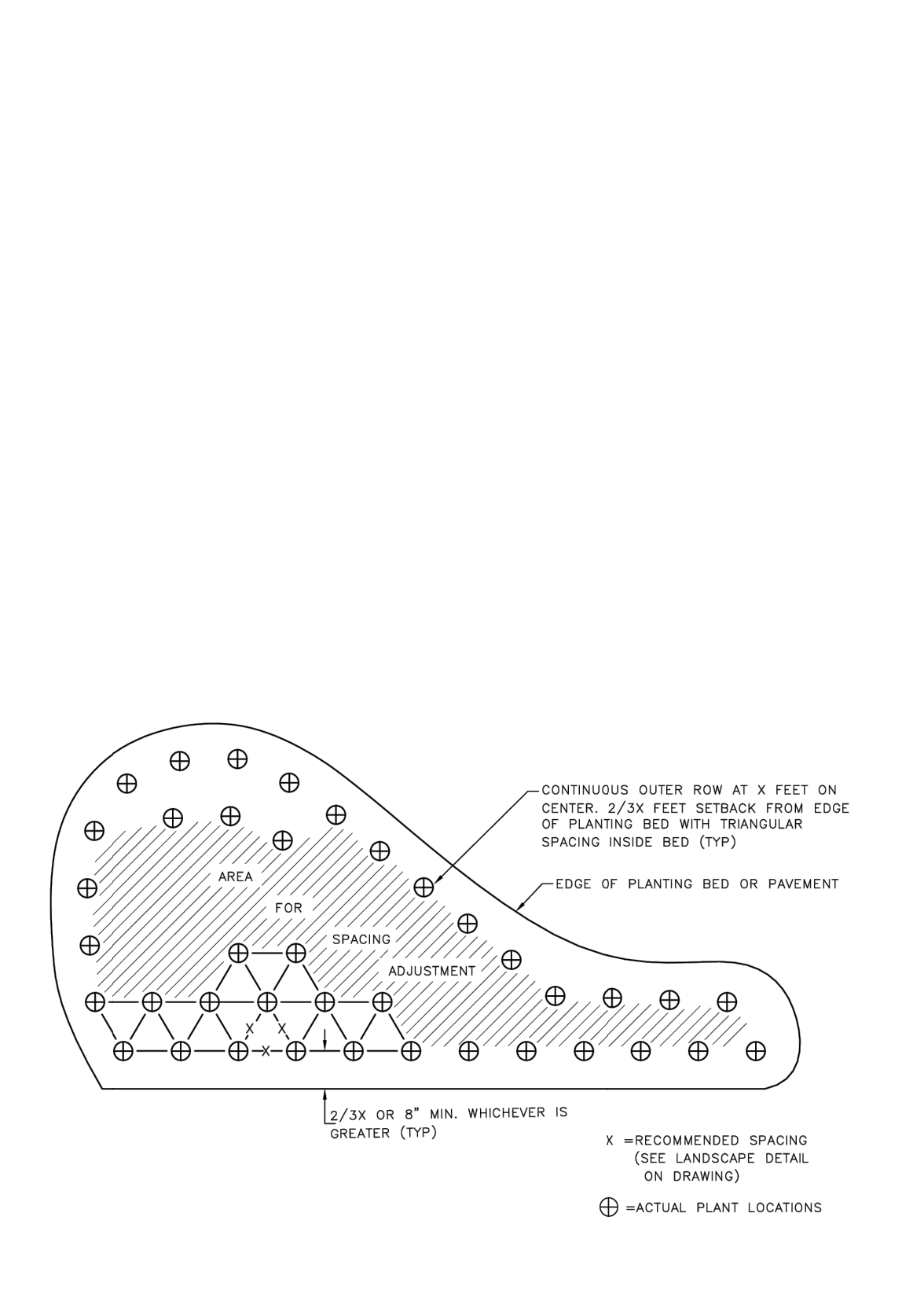
2 SOIL AMENDMENT AND DEPTH - STANDARD PLAN NO 142 Scale: NTS



3 TREE PLANTING DETAIL - STANDARD PLAN NO 100A Scale: NTS



4 SLOPE PLANTING DETAIL - STANDARD PLAN NO 100B Scale: NTS



5 PLANTING PATTERN - STANDARD PLAN NO 112 Scale: NTS

FACET

9706 4th Ave NE
Suite 300
Seattle, WA 98115

BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. FACET CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT FACET PRIOR TO CONSTRUCTION.

P: 206.523.0024
www.facetnw.com

NO. DATE BY REVISION
16/2/2018 HC RESPONSE TO COMMENTS
3/23/2026 HC RESPONSE TO COMMENTS

CALL 811
2 BUSINESS DAYS
BEFORE YOU DIG
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

ADMIRALS HOUSE - OCEANSTAR
2500 WEST MARINA PLACE
SEATTLE, WA 98199
2001.0075.01

MITIGATION PLAN

PLANT INSTALLATION
NOTES AND DETAILS

DATE: 3/24/2026
PLAN NUMBER:
L005
SHEET 5 OF 05

PRINCIPAL: DM PROJECT MANAGER: AS DESIGNED BY: AS DRAWN BY: HC CHECKED BY: AS DIM



Formerly DCG/Watershed

February 6, 2025

Ocean Star LLC
c/o Deepa Sharma
2340 13th Avenue NE, Suite 100
Bellevue, WA 98005
Email: deepas@ghdarch.com

Arborist Report

Facet Number: 2001.0075.01

Dear Deepa:

We are pleased to present you with the findings of our limited tree inventory and impact assessment for the property located at 2500 West Marina Plance in Seattle, Washington (parcel #2325039106), commonly referred to as the Admiral's House. The enclosed report has been prepared to describe our inventory methods, summarize the limited tree inventory and assessment results, outline local requirements for tree retention and/or replacement, and provide an impact assessment based on the site plan prepared by Gelotte Hommas Drivdahl Architecture, dated November 27, 2024.

Please reach out if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads 'Devin Melville'.

Devin Melville
ISA Certified Arborist® PN-9628A
dmelville@facetnw.com

Enclosure

Arborist Report



Arborist Report

Admiral's House Turnaround

Facet Number: 2001.0075.01

January 2025

Introduction

This report outlines the methods, findings, and regulatory implications of a limited tree inventory study completed at 2500 West Marina Place in Seattle, Washington (parcel #2325039106). Devin Melville, an ISA Certified Arborist® with Facet, visited the study area on December 9, 2024, to inventory and assess trees within or adjacent to the project area.

BACKGROUND

Gilles Consulting previously completed a tree inventory and assessment for a different project scope in November 2019. During that inventory, trees were tagged using identification numbers 1 through 206. However, tag number 162 was reportedly lost in the field; therefore, a total of 205 trees were inventoried, including seven trees within the right-of-way and 13 trees off-site. The dominant species was *Acer macrophyllum*, (big leaf maple), followed by *Alnus rubra*, (red alder), and *Calocedrus decurrens*, (incense cedar). For additional information, refer to *Analysis of Trees at The Admirals House*, prepared by Giles Consulting on November 11, 2019. An addendum to that report was prepared in September 2020 to address City comments on proposed tree removals. Since 2019, project plans have been revised, with impacts substantially reduced and only one tree proposed for removal. The current project proposes replacing the existing Y-shaped driveway turnaround with a new circular turnaround and installing a new retaining wall. The only tree proposed for removal, Tree #105, was identified as a hazard tree by Giles Consulting and is being removed for safety purposes.

STUDY AREA

The study area includes trees within the project area that may be affected by the proposed development. According to the King County Assessor, the subject property comprises approximately 3.89 acres in size and is currently developed with a historic landmark building known as The Admiral's House (Figure 1). Additional site improvements include the existing driveway, garage, and walkways. The developed portion of the property constitutes a historic landmark designation. The site is zoned both Industrial and Neighborhood Residential. Adjacent properties to the north are developed with single-family residences while Puget Sound is located to the south. The southern portion of the parcel is located within shoreline jurisdiction of Puget Sound. However, the proposed project is outside of shoreline jurisdiction.



Figure 1. Vicinity map, subject property outlined in yellow; project area outlined in red. Source: King County iMap, 2023.

EXISTING CONDITIONS

The site is situated atop a steep bluff overlooking Puget Sound and contains areas of steep slope that are classified as an environmentally critical area (ECA) under Seattle Municipal Code (SMC) 25.09.012. The areas immediately adjacent to the building are landscaped with artificial turf and ornamental plantings. The sloped area to the northwest consists of grass, several large trees, and invasive species such as scotch broom, English ivy, and Himalayan blackberry, before transitioning to a densely forested steep slope. South of the building is a steep grassy hillside that leads down to West Marina Place and is bordered by Himalayan blackberry. Trees on the subject property include both native and non-native species. The majority of trees on-site are heavily infested with English ivy.

The study area consists of a portion of the existing driveway and area adjacent to the northeast corner of the building, which is bordered to the northwest by a hedge of arborvitae (*Thuja occidentalis*). Many of these shrubs are in fair to poor condition, with several in very poor or dead condition. Approximately 10 of these shrubs and artificial turf grass will need to be removed to accommodate the proposed turnaround.

Methods and Definitions

All regulated trees in the study area were identified and assessed in the field using a Basic Assessment according to International Society of Arboriculture (ISA) standards. According to the definitions provided in Seattle Municipal Code (SMC) 25.11.130, Title 15, and Director's Rule 7-2024, regulated trees are defined as follows:

Tier 1 tree:

Means a heritage tree. A heritage tree is a tree or group of trees as defined in Title 15.

Tier 2 tree:

Means any tree that is 24 inches in diameter at standard height or greater, tree groves, each tree comprising a tree grove, and specific tree species below 24 inches diameter at standard height as provided by Director's Rule.

Tier 3 tree:

Means any tree that is 12 inches in diameter at standard height or greater but less than 24 inches in diameter at standard height and is not defined as a Tier 1 or Tier 2 tree.

Tier 4 tree:

Means any tree that is 6 inches or greater in diameter at standard height but less than 12 inches in diameter at standard height and is not defined as a Tier 1 or Tier 2 tree.

All inventoried trees were previously assigned an identification (ID) number during a prior inventory, as detailed in Analysis of Trees at The Admirals House (*Giles Consulting, 2019*). For this reason, trees were not tagged and the existing numbering system was used.

In addition to the ID number, the following attributes were recorded for all inventoried trees:

- **Species Name** (scientific and common).
- **Number of Stems.**
- **Diameter.** The diameter-at-breast-height (DBH) of all regulated trees in the study area was measured at 4.5 feet above the average surface of the ground. The methodology for measuring and calculating the diameter of trees with multiple trunks, major leans, or on steep slopes followed those outlined in the *Guide for Plant Appraisal, 10th Edition*, written by the Council of Tree and Landscape Appraisers (CTLA) and published by ISA (CTLA 2020). To measure trees with multiple trunks, the total diameter of multi-stemmed trees was calculated by taking the square root of the sum of each diameter squared; this allows for comparison to other single-stemmed trees and for more accurate permitting and tree retention calculations.
- **Estimated Height.** The height of trees was visually estimated.
- **Canopy Radius.** Canopy radius, also known as crown radius or dripline, was measured horizontally from the center of the trunk to the outermost branch tips. For trees with uneven crowns, the average of two perpendicular radii was recorded.

- Condition.** A basic visual assessment was used to evaluate the health and condition of trees within the study area in accordance with ISA and CTLA standards. The condition determination was based on current conditions and considered the health, structural integrity, and form of the tree, in addition to the characteristics of each species. Each tree was given an overall condition rating from Excellent to Very Poor as summarized in Table 1.

Tree locations were identified by a professional land surveyor and incorporated onto the site plan prepared by Gelotte Hommas Drivdahl Architecture, dated November 27, 2024. The survey and proposed site plan were provided to Facet in CAD and PDF formats.

Table 1. Tree Condition Ratings (adapted from CTLA 2020)

Rating Category	Condition Components			Percent Rating
	Health	Structure	Form	
Excellent - 1	High vigor and nearly perfect health with little or no twig dieback, discoloration, or defoliation.	Nearly ideal and free of defects.	Nearly ideal for the species. Generally symmetric. Consistent with the intended use.	81% to 100%
Good - 2	Vigor is normal for species. No significant damage due to diseases or pests. Any twig dieback, defoliation, or discoloration is minor.	Well-developed structure. Defects are minor and can be corrected.	Minor asymmetries/ deviations from species norm. Mostly consistent with the intended use. Function and aesthetics are not compromised.	61% to 80%
Fair - 3	Reduced vigor. Damage due to insects or diseases may be significant and associated with defoliation but is not likely to be fatal. Twig dieback, defoliation, discoloration, and/or dead branches may compromise up to 50% of the crown.	A single defect of a significant nature or multiple moderate defects. Defects are not practical to correct or would require multiple treatments over several years.	Major asymmetries/deviations from species norm and/or intended use. Function and/or aesthetics are compromised.	41% to 60%
Poor - 4	Unhealthy and declining in appearance. Poor vigor. Low foliage density and poor foliage color are present. Potentially fatal pest infestation. Extensive twig and/or branch dieback.	A single serious defect or multiple significant defects. Recent change in tree orientation. Observed structural problems cannot be corrected. Failure may occur at any time.	Largely asymmetric/abnormal. Detracts from intended use and/or aesthetics to a significant degree.	21% to 40%

Rating Category	Condition Components			Percent Rating
	Health	Structure	Form	
Very Poor - 5	Poor vigor. Appears dying and in the last stages of life. Little live foliage.	Single or multiple severe defects. Failure is probable or imminent.	Visually unappealing. Provides little or no function in the landscape.	6% to 20%
Dead - 6				0% to 5%

Findings

Updated attributes were collected for three trees with driplines that overhang the study area. All other regulated trees on the subject property are outside of the project area and will not sustain impacts from the proposed driveway turnaround. Table 2 below includes details of trees within the study area.

Table 2. Tree Inventory Table

TREE ID #	TREE NAME	# STEMS	COMB DBH (IN)	HEIGHT (FT)	RADIUS (FT)	CONDITION	EXCEPTIONAL	REMOVAL	NOTES
84	<i>Prunus serrulata</i> (Kwansan cherry)	1	15.7	20	10	Good	No	No	Tier 3 Tree.
102	<i>Salix babylonica</i> (Weeping willow)	1	17.9	30	26	Fair	No	No	Tier 3 Tree. 2019 attribute data.
104	<i>Salix babylonica</i> (Weeping willow)	1	11.7	30	15	Fair	No	No	Tier 4 Tree. One dead stem with many epicormic sprouts.
105	<i>Salix babylonica</i> (Weeping willow)	1	18.4	30	15	Fair	No	Yes	Tier 3 Tree; Hazard tree.

Regulations

The City of Seattle regulates tree activity under SMC 25.11 – Tree Protection. In addition to the requirements of SMC 25.11, the removal or pruning of any tree located within a critical area or critical area buffer shall comply with the requirements of SMC 25.09 – Regulations for Environmentally Critical Areas.

SMC 25.11.060 – Requirements for trees when development is proposed

A tree protection area is required for all existing Tier 1, Tier 2, and Tier 3 trees that are not removed during development. The tree protection area may be modified from the basic tree protection area based on species tolerance, expected impacts of construction activities, tree size, age, and health, and soil conditions. The City defines a basic tree protection area as the area surrounding a tree in which excavation and other construction-related activities must be avoided. The area is delineated using a radius that is equal to one foot for every inch diameter at the standard height (DSH) of the tree (SMC 25.11.130).

Tree protection measures for the retained regulated trees should be employed to comply with the above standards and ensure long-term viability.

SMC 25.11.090 – Tree replacement, maintenance, and site restoration

Tree #105 was identified as a hazardous tree and recommended for removal by Giles Consulting in 2019. Per SMC 25.11.040.C, removal of a hazardous Tier 3 tree must be replaced pursuant to SMC 25.11.090, which requires that the proposed replacement tree species selected must reach a canopy cover proportional to the tree being removed upon maturity.

Discussion

Effects of Proposed Development

The project proposes to replace the existing Y-shaped driveway turnaround with a new circular turnaround driveway and install a new retaining wall. Only one tree, Tree #105, is proposed for removal. This tree was identified as a hazard tree in 2019 by Giles Consulting, citing a large failure from a windstorm in which 60% of the canopy was lost. The proposed improvements will encroach the critical root zone (CRZ) of one regulated tree, Tree #84.

The CRZ of Tree #84 will sustain some construction impacts, as the existing driveway will be removed and replaced approximately 8.5 feet from the trunk of the tree, comprising about one-third of its CRZ. However, the existing curb and walkway will remain in place. Given the presence of these improvements, it is unlikely that roots from Tree #84 extend west into the project area. Tree protection fencing should be installed at the edge of the existing curb and walkway and should extend east to encompass the remaining CRZ. Additionally, 4 inches of wood chip mulch should be placed over the remaining CRZ.

Tree #104 is a Tier 4 tree per the definition in SMC 25.11.130. As such, the code does not require the same level of tree protection as a Tier 1, 2, or 3 tree. However, general tree protection measures should be employed regardless of code requirements to successfully retain the tree long-term. The following discussion outlines best management practices to protect and preserve trees to be retained during construction.

General Tree Protection Recommendations

All retained trees within the vicinity of the proposed project will require protection measures during construction. Trees can be damaged quickly and irreversibly by construction activities, especially by heavy machinery and exposure to chemicals. The following best management practices follow the industry standards for tree protection (ANSI A300 Part 5, 2019) and should be adhered to whenever work is being performed.

Tree Protection Zones and Fencing

The critical root zone (CRZ) is the area that contains tree roots critical to the health and stability of the tree. It can be approximated as an area with a radius of one foot for every diameter inch of the trunk. However, topography and site conditions may greatly affect where critical roots are growing. The tree protection zone (TPZ) is the area within the critical root zone in which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction

or development. The TPZ boundary denotes the location of tree protection fencing and should encompass as much of the CRZ as possible. However, the TPZ may be adjusted in size or shape to accommodate the existing infrastructure, planned construction, and specific site conditions, as well as the tree canopy conformation and visible root orientation, species response to construction impacts, size, condition, and maturity.

The TPZ has been calculated pursuant to SMC 25.11.130, using a radius equal to one foot for every inch diameter at standard height. The southwestern extent of the TPZ for Tree #84 should be reduced to 6'-8" to accommodate the proposed driveway replacement and account for the existing improvements. All construction activities, including staging and driving machinery, should be located outside of the TPZ. Verification of site conditions and long-term health of the tree by an ISA-certified arborist may be required for intrusions into the TPZ. The TPZ and other tree protection measures for preserved trees should be shown on the site development plans, including grading and drainage plans and temporary erosion and sediment control (TESC) plans.

Tree Protection Fencing Requirements

- Fencing should be placed at the outer edges of the tree protection zone.
- Fencing should be six feet high and constructed of chain link, wire mesh, or high-visibility plastic fencing.
- Fencing should include visible warning signs, such as "Tree Protection Area – Keep Out", spaced no further than 15 feet apart.
- Fencing and signage should be installed prior to the start of construction and remain in place for the duration of the project.

Minimize Grade Changes

The grade should not be altered in the TPZ. Most tree roots grow in the top six to 18 inches of soil and are highly susceptible to damage from grade changes. If the grade is lowered, roots critical to health and stability will be removed. If the grade is raised, roots can suffocate from lack of oxygen.

Root pruning

For excavation or construction proposed within the dripline, CRZ, or TPZ, roots must be protected or properly pruned to ensure tree health and stability. Any roots over one inch that are exposed after excavation should be clean cut by hand. All root pruning should be overseen by the Project Arborist or designee.

Maintenance

The impacts of construction are stressful to trees, which may not show the signs of stress for up to five to ten years after being impacted. Applying additional woodchip mulch and providing supplemental irrigation may be necessary to reduce tree stress during construction.

Disclaimer

The findings of this report are based on the best available science and are limited to the scope, budget, and site conditions at the time of the assessment. Although the information in this report is based on

sound methodology, internal physical flaws (such as cracking or root rot) or other conditions that are not visible cannot be detected with this limited basic visual screening. Trees are inherently unpredictable. Even vigorous and healthy trees can fail due to high winds, heavy snow, ice storms, rain, age, or other causes.

This report is based on the current observable conditions and may not represent future conditions of the trees. Changes in site conditions, including clearing and grading, will alter the condition of remaining trees in a way that is not predictable.

References

American National Standard (ANSI) A300 (Part 5). 2019. Tree, Shrub, and Other Woody Plant Management Standard Practices (Management of Trees and Shrubs During Site Planning, Site Development, and Construction). Londonderry, NH: Tree Care Industry Association.

Council of Tree & Landscape Appraisers (CTLA). 2020. Guide for Plant Appraisal: 10th Edition, Revised. Atlanta, GA: International Society of Arboriculture.

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Matheny, Nelda, and James R Clark. Trees and Development: A Technical Guide to Preservation of

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Trees During Land Development. International Society of Arboriculture, 1998.

Site Photos (12/9/2024)



Photo 1. Proposed project location, facing north.



Photo 2. Tree #84 and existing curb and walkway to remain.



Photo 3. Tree #s 104 and 105, facing south.



Photo 4. Location of proposed driveway turnaround; Arborvitae hedge to be removed.

Enclosures: Proposed Site Plan



