

THE RAINIER COLD STORAGE AND ICE/SEATTLE
BREWING AND MALTING COMPANY BUILDING

General Offices Building



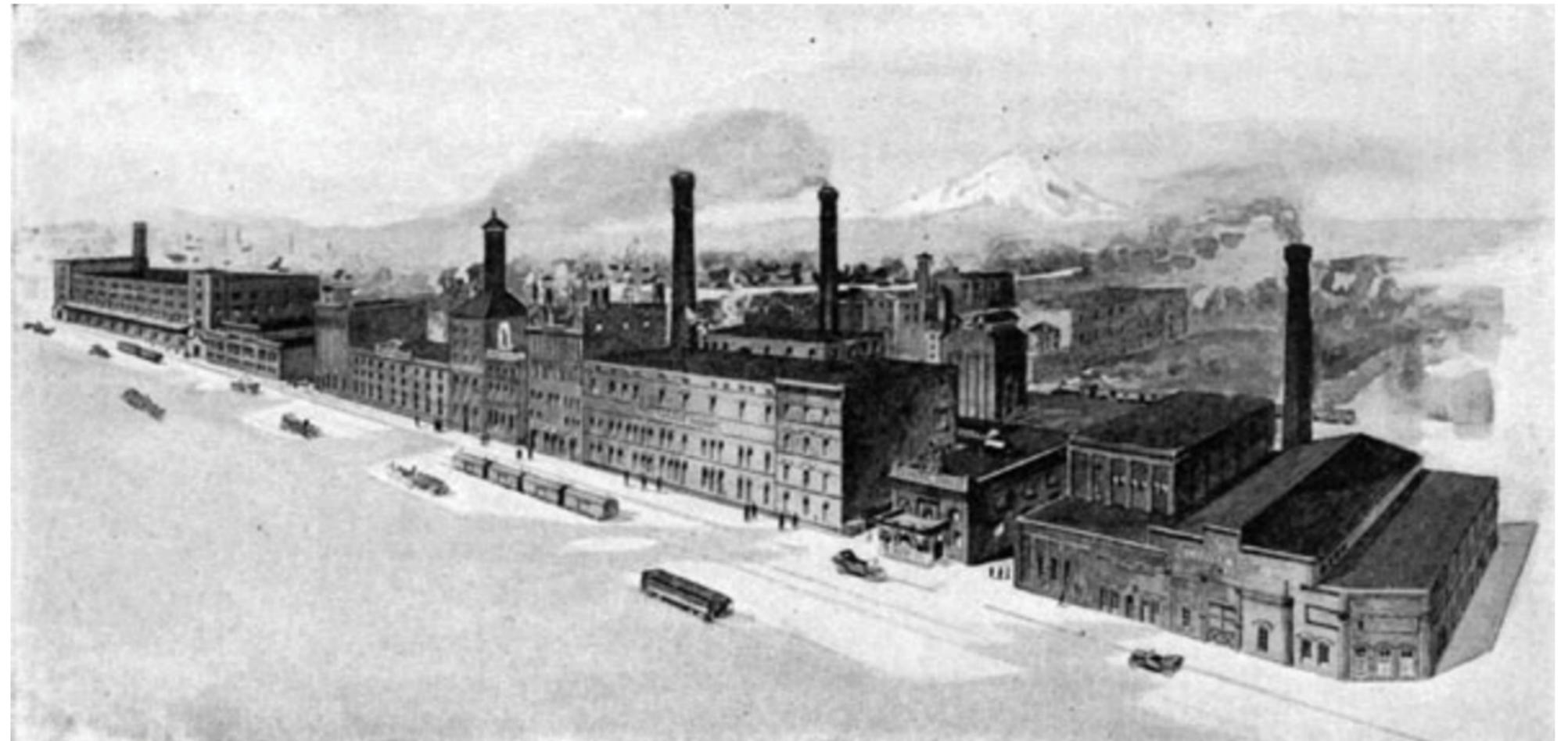
1. PROJECT OBJECTIVES

2. BUILDING HISTORY

3. EXISTING CONDITIONS

4. DESIGN PROPOSALS

- A. MAIN FLOOR OFFICES
- B. MEZZANINE DOOR RELOCATION & WINDOW INFILL
- C. LED PENDANT LIGHTING
- D. RADIATOR REMOVAL
- E. DOOR REMOVAL/INFILL
- F. ROOM SIGNAGE INSTALLATION
- G. WOOD FLOORING REFINISHING



GENERAL OFFICE-PROJECT OBJECTIVES

PROJECT SCOPE

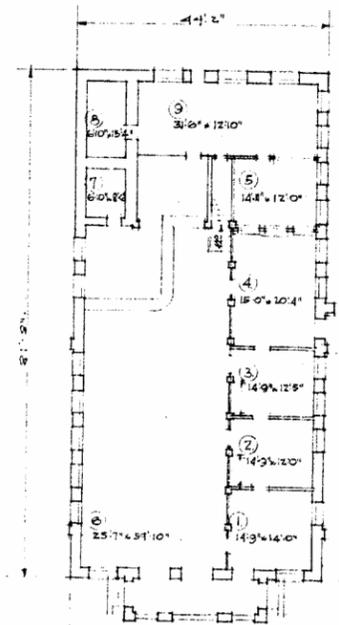
This project involves limited interior improvements to accommodate office use within the landmark-designated Seattle Brewing & Malting Company General Offices building. All proposed work is designed to be reversible and consistent with the Secretary of the Interior's Standards for Rehabilitation.

Scope of Work Includes:

- A. Install (2) new offices with partitions within the main hall.
- B. Relocation of Mezzanine Door and Infill of Existing Window Opening
- C. Replace existing light fixtures with new LED pendants utilizing existing surface mounted conduit.
- D. Remove existing non-functional cast iron radiators.
- E. Remove one existing interior door and infill opening to match adjacent finishes.
- F. Install wall mounted room identification signage.
- G. Retain and refinish existing wood flooring in the main hall, matching the existing stain.

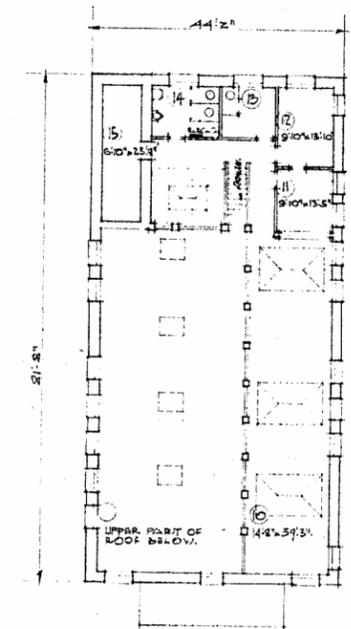
All work designed to be reversible with no attachment through historic wood elements

FLOORPLAN FROM 1939 ILLUSTRATING RENOVATION WORK



FIRST FLOOR PLAN
SCALE 1/8"=1'-0"

ROOM #	HEIGHT	FINISH
1	11'-0"	PLASTER
2	11'-0"	BEAMED
3	11'-0"	BEAMED
4	11'-0"	BEAMED
5	11'-0"	PLASTER
6	20'-4"	BEAMED
7		
8	10'-0"	PLASTER
9	11'-0"	BEAMED
10	8'-6"	PLASTER
11	8'-4"	PLASTER
12	8'-4"	PLASTER
13&14	8'-4"	PLASTER
15	VAULT	



SECOND FLOOR PLAN
SCALE 1/8"=1'-0"

GENERAL OFFICE-BUILDING HISTORY

PROPERTY DATA

Property Name: The Rainier Cold Storage an Ice/Seattle Brewing and Malting Company Building (General Offices)

Site Address: 6010 Airport Way S

Tax Accessor's File No: 792510-0010

Construction Date: 1910

Original Architect: Unknown

Original Builder: Henry Lohse Sr. & Henry Lohse Jr.

Landmark Designation: 1993 (Ordinance 116973)



GENERAL OFFICE-BUILDING HISTORY

SUMMARY

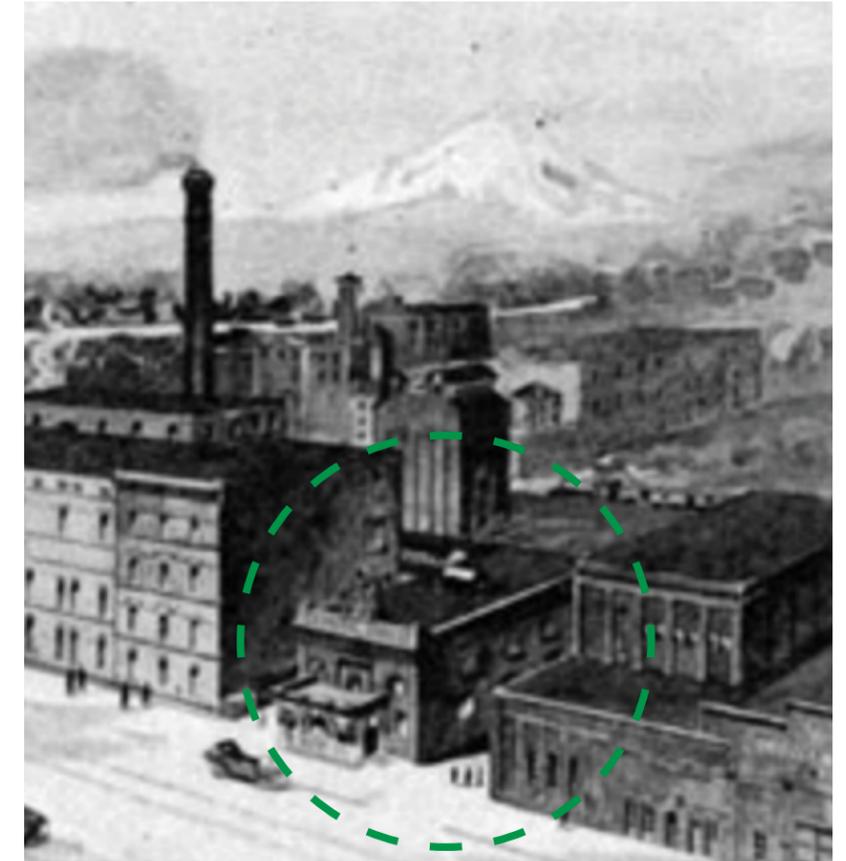
DESCRIPTION

The General Offices building is part of the former Seattle Brewing & Malting Company complex, located along Airport Way South. Its red brick façade and arched window openings exemplify the early 20th-century civic-industrial character of the period. In contrast to the adjacent production facilities, the General Office Building is architecturally more refined than adjacent production facilities.

Inside, the main hall features a mezzanine level that overlooks an open central space, supported by substantial ceiling beams crafted from stained and carved wood. The interior is adorned with original wood wainscoting, paneled doors, and decorative trim, all of which showcase a high level of craftsmanship. These elements create a richly finished interior that stands in stark contrast to the utilitarian nature of the surrounding brewery structures, emphasizing the building's historical role as the executive and operational center of the complex.

Originally part of the Seattle Brewing & Malting Company's Georgetown facility, the General Offices building was constructed during a major expansion of the brewery between 1901 and 1912. At its peak, the complex became the largest brewery on the West Coast and a dominant industrial force in the region. The building featured brick construction with segmental-arched windows, heavy pilasters, and various brewery-specific structures, including a brew house, malt house with a smokestack, bottling plant, and extensive stockhouse.

After the brewery operations ceased due to statewide Prohibition in 1916, the site was repurposed for cold storage and remained in use for much of the 20th century. Designated a Seattle Historic Landmark in 1993, the General Offices building is a well-preserved example of early 20th-century industrial architecture, representing both the city's brewing heritage and the development of Georgetown as a working-class industrial district. All proposed improvements are designed to respect and maintain the building's character-defining features.



GENERAL OFFICE-EXISTING CONDITIONS

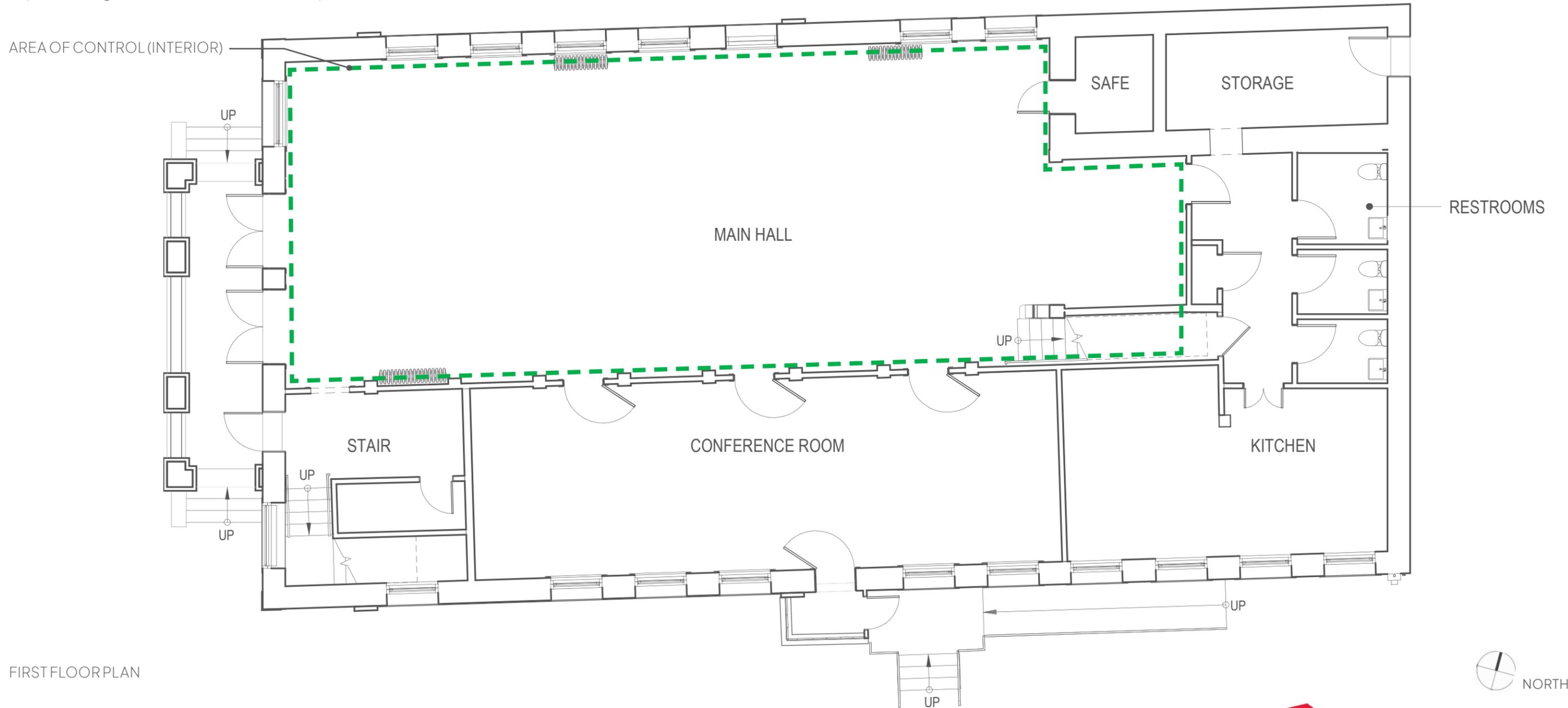
EXISTING DRAWINGS & AREA OF CONTROL

AREA OF CONTROL

The Area of Control for the General Offices building applies to both the exterior and specific interior features designated under the Seattle Landmarks ordinance. This includes:

Exterior Control: All elevations of the General Offices building, including masonry walls, arched window openings, primary entry doors, and architectural trim.

Interior Control: The main hall interior, including original wood wainscot, paneled doors, carved ceiling beams, decorative trim, and spatial configuration of the mezzanine and open hall.

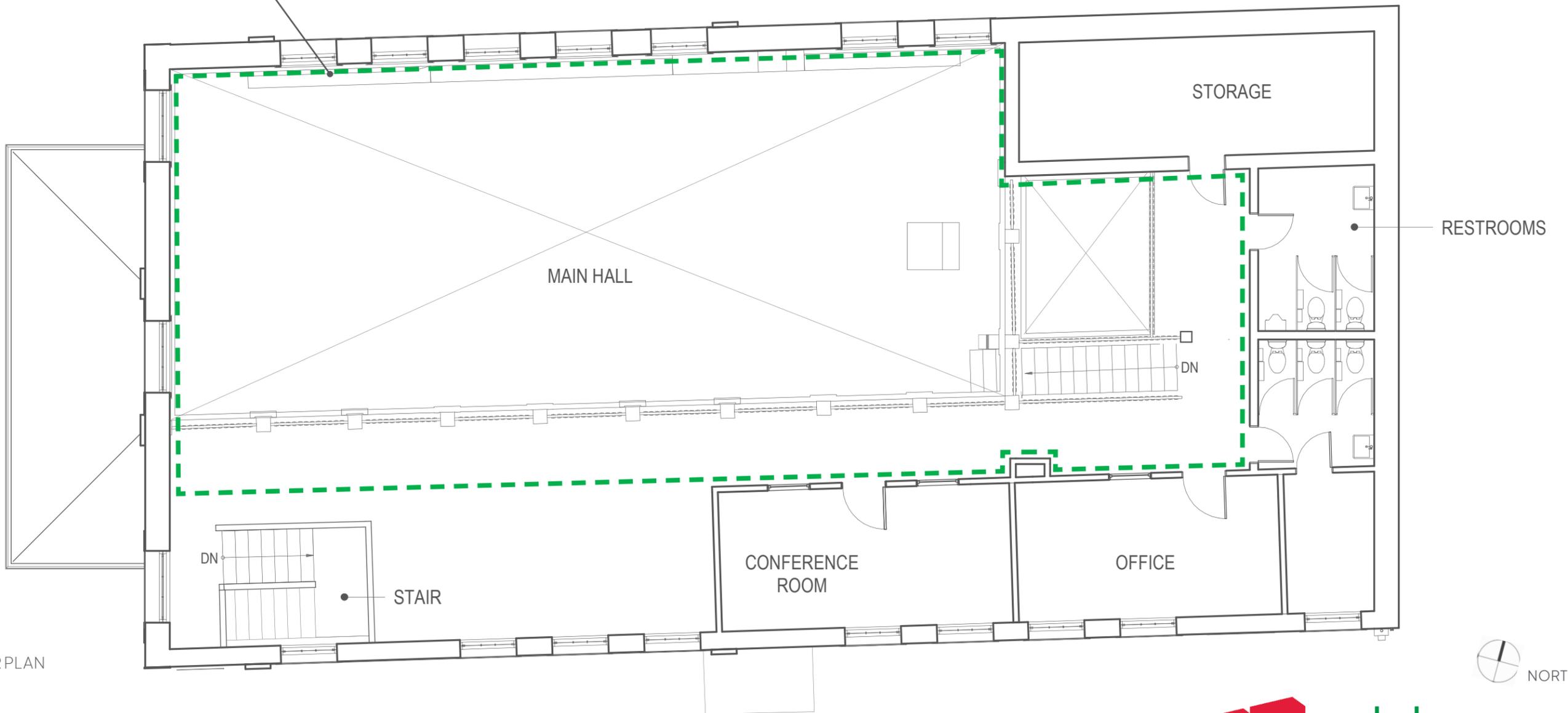


FIRST FLOOR PLAN

GENERAL OFFICE-EXISTING CONDITIONS

EXISTING DRAWINGS & AREA OF CONTROL

AREA OF CONTROL (INTERIOR)



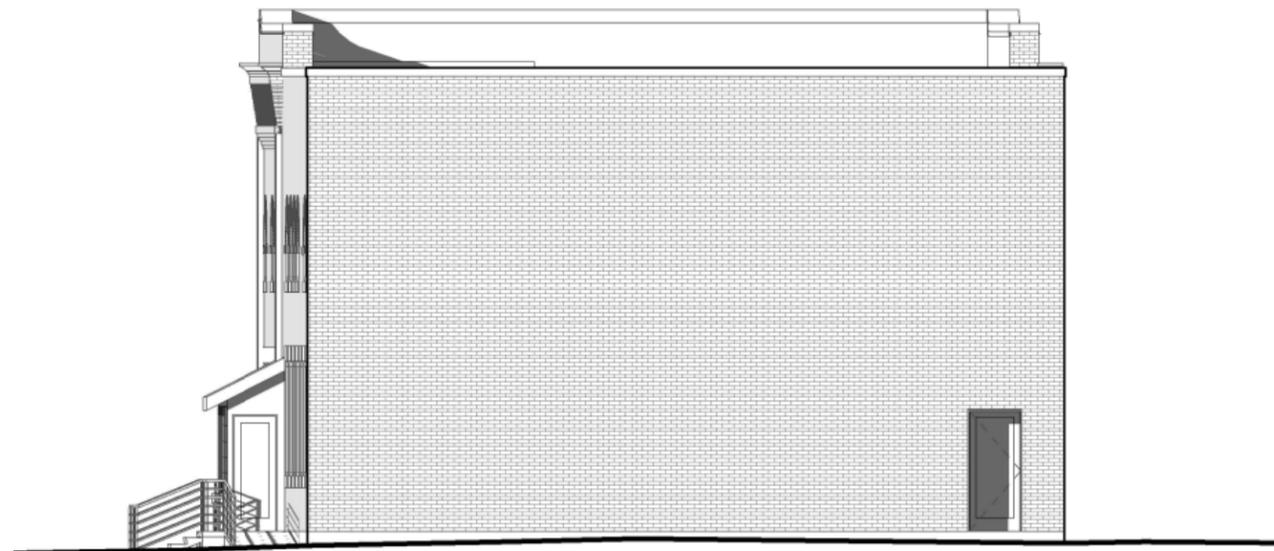
SECOND FLOOR PLAN

GENERAL OFFICE-EXISTING CONDITIONS

EXISTING DRAWINGS



NORTHELEVATION



EAST ELEVATION

GENERAL OFFICE-EXISTING CONDITIONS

EXISTING DRAWINGS



SOUTH ELEVATION



WEST ELEVATION

GENERAL OFFICE-EXISTING CONDITIONS

EXISTING PHOTOS-EXTERIOR



WEST ELEVATION FROM AIRPORT WAY



SOUTH ELEVATION FROM ADJACENT PARKING LOT



NORTH ELEVATION FROM NORTHWEST CORNER OF SITE



MAIN ENTRY DOORS FROM NORTH

GENERAL OFFICE-EXISTING CONDITIONS

EXISTING PHOTOS-INTERIOR



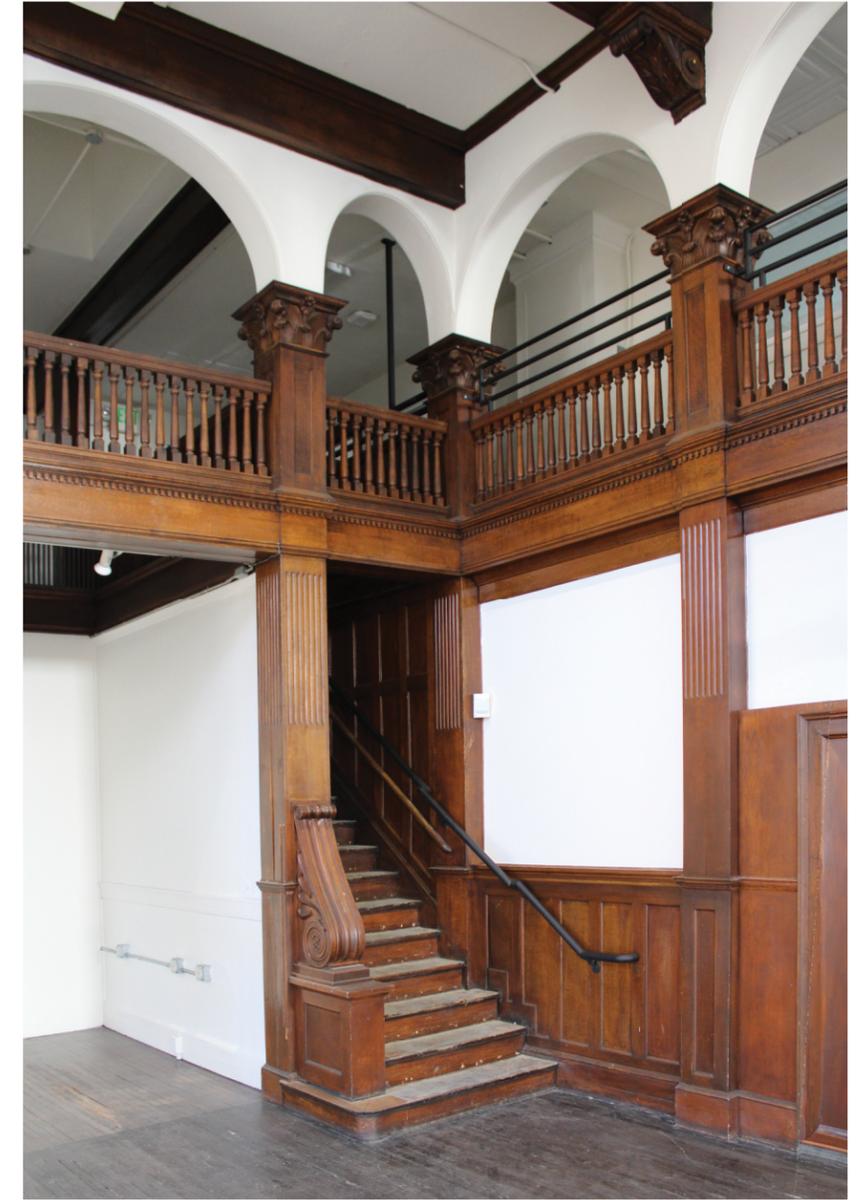
MAIN HALL LOOKING EAST



MAIN HALL AND ENTRY DOORS LOOKING WEST



MAIN HALL WINDOWS ALONG NORTH WALL



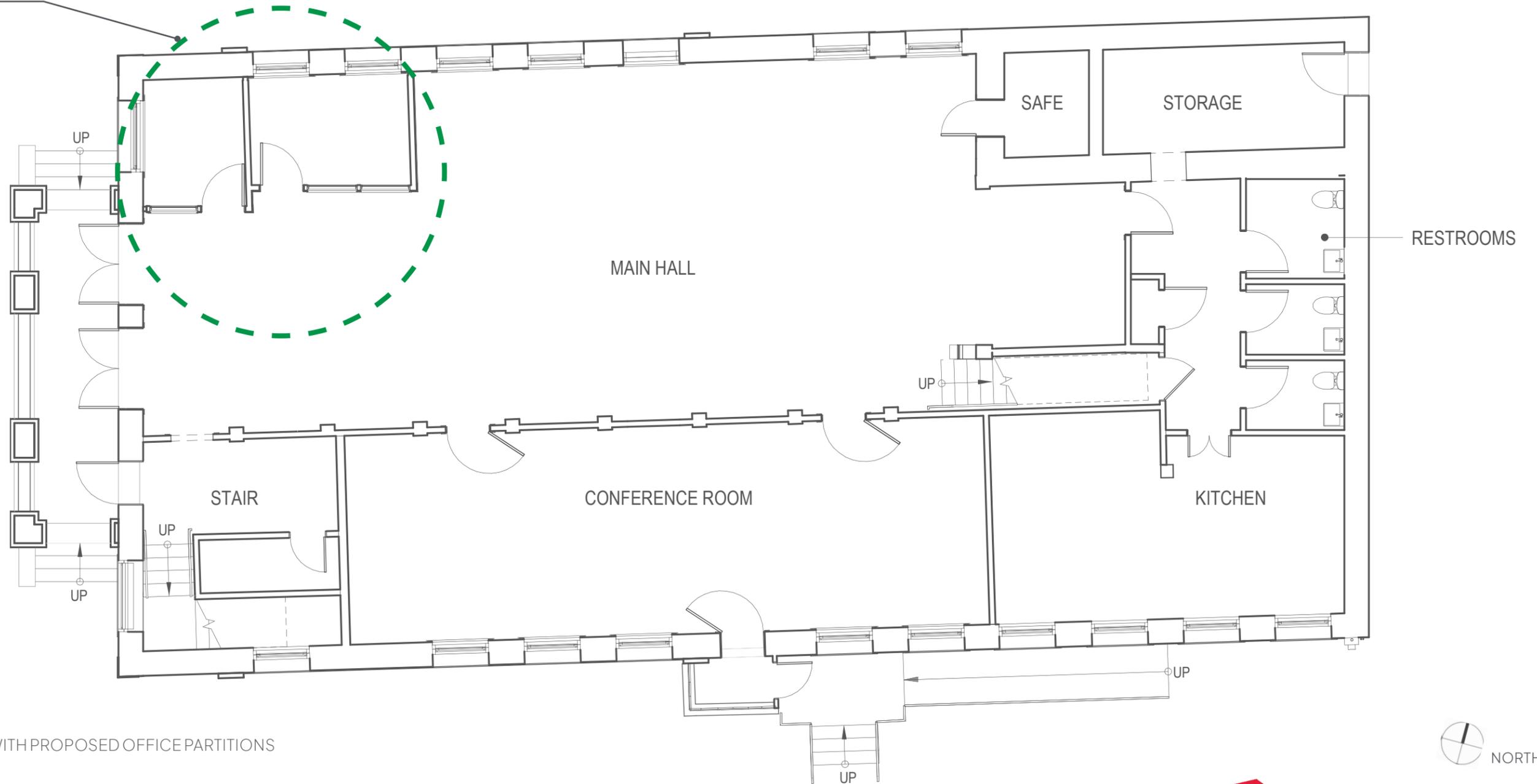
MAIN STAIR IN SOUTHEAST CORNER OF MAIN HALL

GENERAL OFFICE-DESIGN PROPOSALS

A. OFFICE PARTITIONS

OFFICE PARTITIONS

The proposed office partitions within the main hall will be constructed with light gauge metal framing and gypsum wall board. The design includes a painted wood door with lite and adjacent windows. Trim elements are introduced to create a visual connection to the historic context; however, all new trim and assemblies will be painted to maintain a clear distinction between new and existing construction. Partition heights will stop above the top of the existing windows and below the horizontal wood trim to maintain separation from historic features. A detail showing the partition interface with the existing wall has been included. No attachments will occur through the existing woodwork, and all work will remain fully reversible to avoid permanent impacts to historic materials.



FIRST FLOOR PLAN WITH PROPOSED OFFICE PARTITIONS

GENERAL OFFICE-DESIGN PROPOSALS

A. OFFICE PARTITIONS

LOCATION:

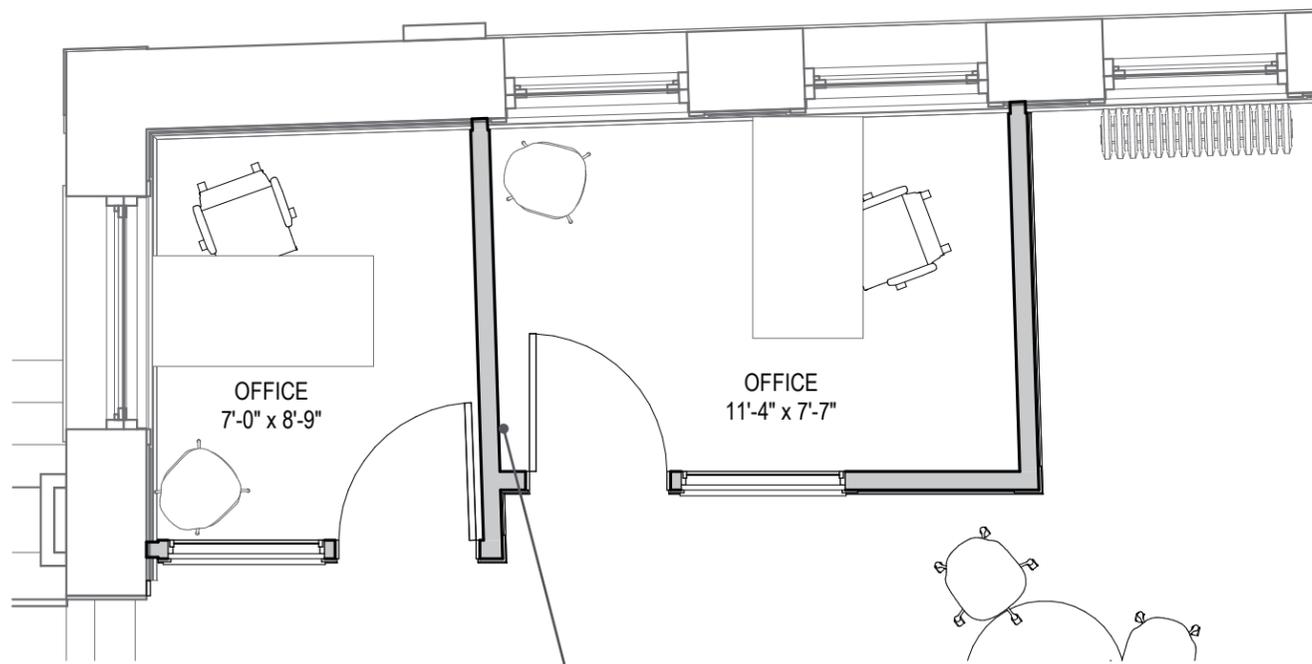
Partitions are positioned to minimize obstruction of views, preserve the perceived volume of the main hall, and are located opposite the mezzanine to maintain spatial balance.

SCALE:

Office sizes are constrained by the rhythm of existing window openings and the horizontal wood trim, maintaining alignment with the building's established proportions.

MATERIALITY:

New materials are intentionally distinct yet complementary, providing a clear contrast with the existing historic fabric while maintaining visual compatibility.



Plywood wall finishes were studied but found to compete with the adjacent historic wainscot and woodwork. A painted gypsum wall board finish was selected to provide a restrained backdrop that reinforces the historic materials.

ENLARGED FLOORPLAN WITH PROPOSED OFFICES



Office window heights were studied for increased transparency; however, maintaining higher sill conditions was determined to better support privacy and occupant comfort.

INTERIOR ELEVATION OF PROPOSED OFFICES

GENERAL OFFICE-DESIGN PROPOSALS

A. OFFICE PARTITIONS



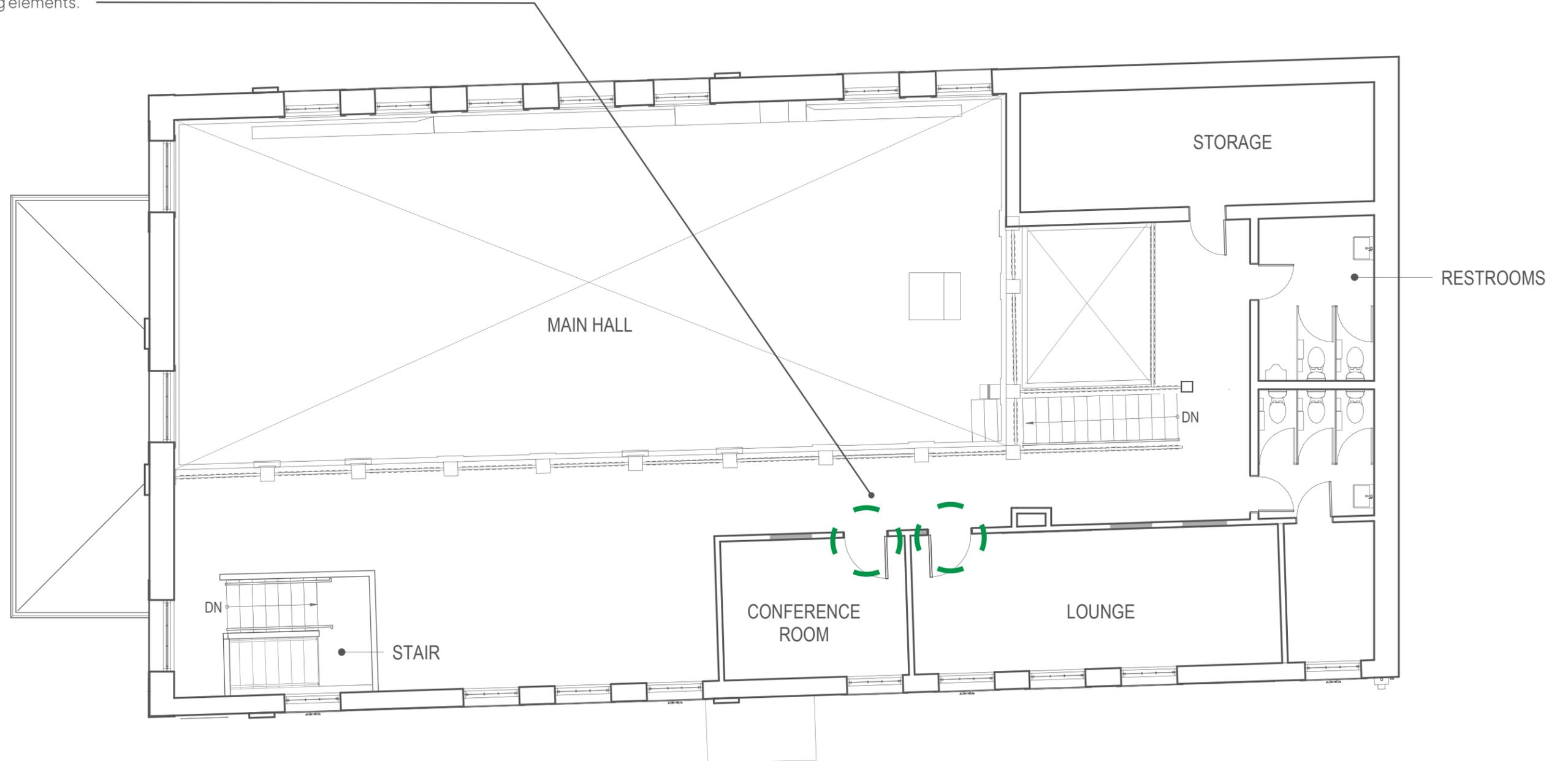
MAIN HALL PERSPECTIVE LOOKING FROM THE MAIN ENTRY

GENERAL OFFICE-DESIGN PROPOSALS

B. MEZZANINE DOOR RELOCATION & WINDOW INFILL

DOOR RELOCATION & WINDOW INFILL

The scope includes relocation of existing mezzanine doors. Existing door openings will be infilled to match adjacent wall construction and finishes, including extension of surrounding trim elements to create a continuous condition. Adjacent window openings will be infilled to align with the revised door configuration and maintain consistency with the surrounding wall assembly. All new work will be compatible with the existing construction while remaining visually distinct, with no impacts to primary structural or character-defining elements.

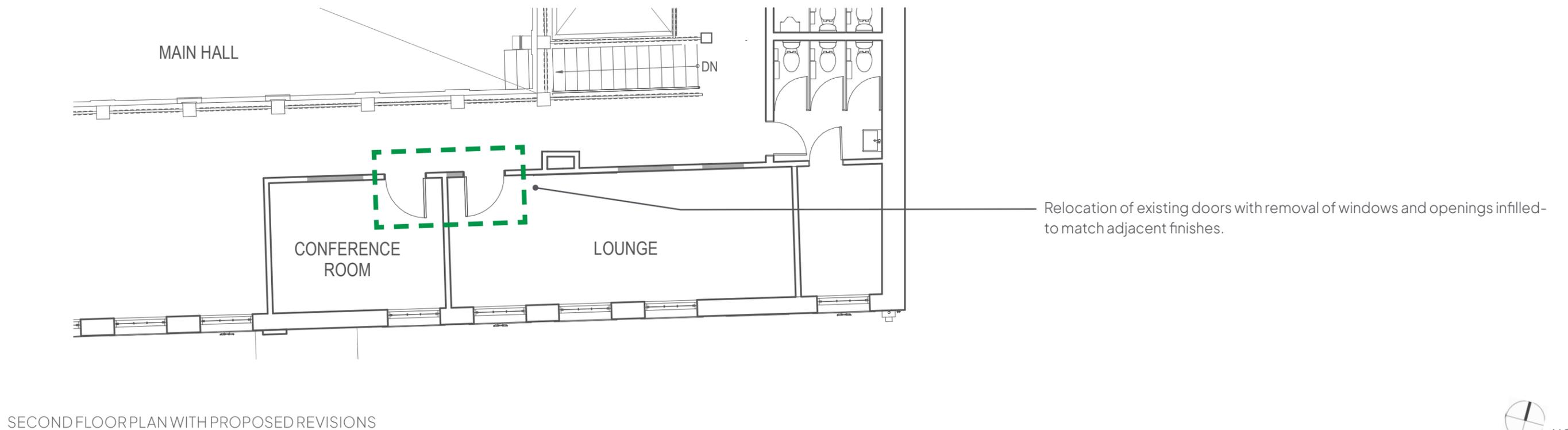
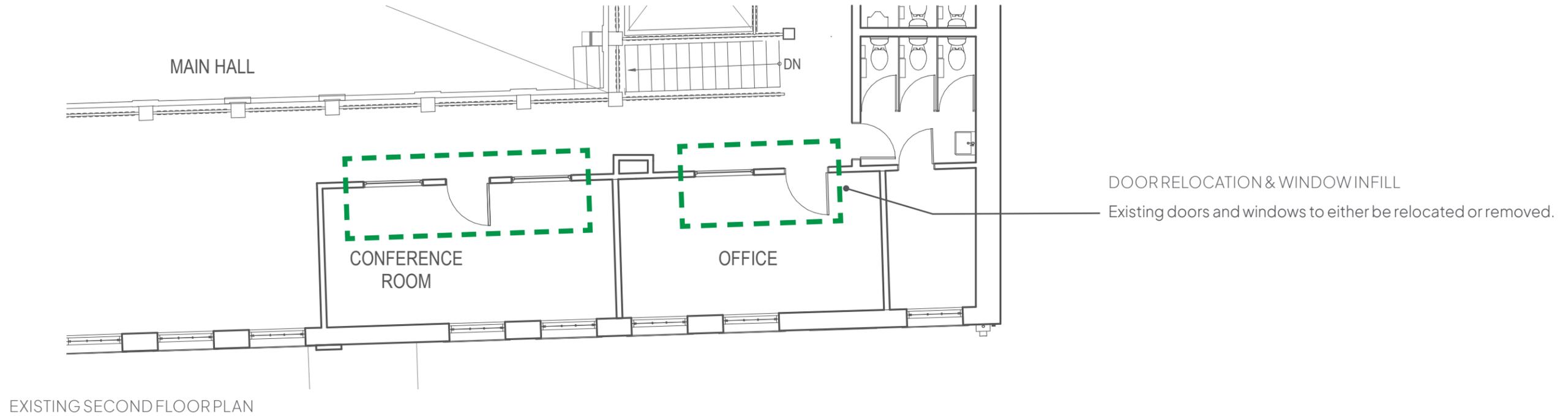


SECOND FLOOR PLAN WITH PROPOSED REVISIONS



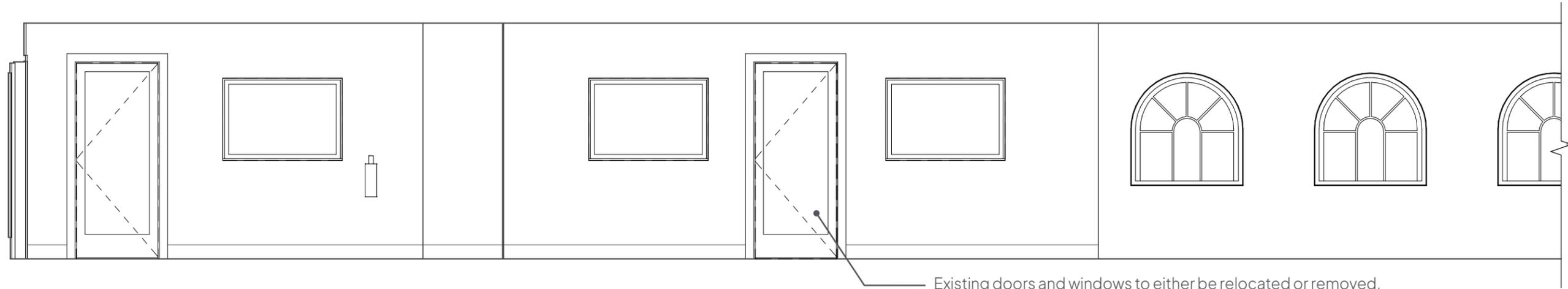
GENERAL OFFICE-DESIGN PROPOSALS

B. MEZZANINE DOOR RELOCATION & WINDOW INFILL

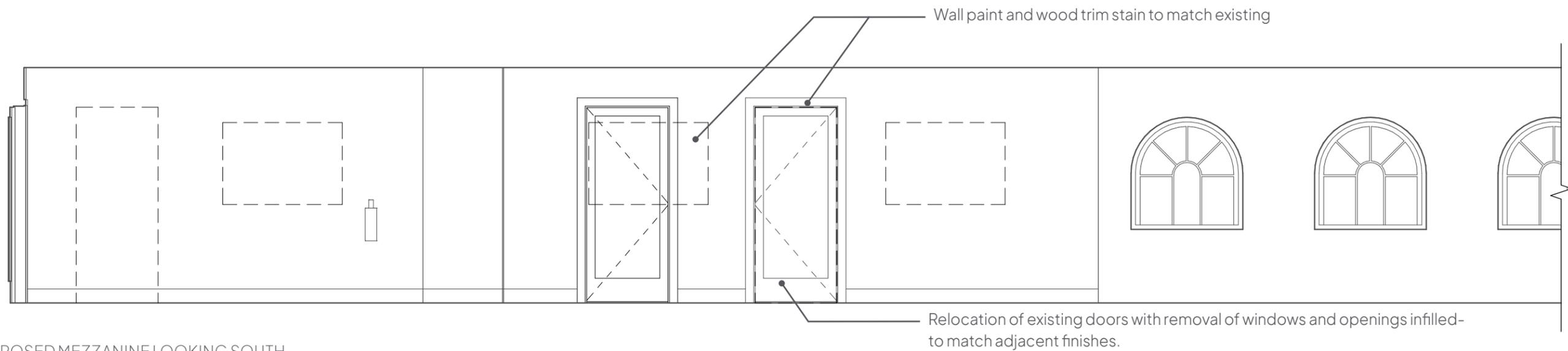


GENERAL OFFICE-DESIGN PROPOSALS

B. MEZZANINE DOOR RELOCATION & WINDOW INFILL



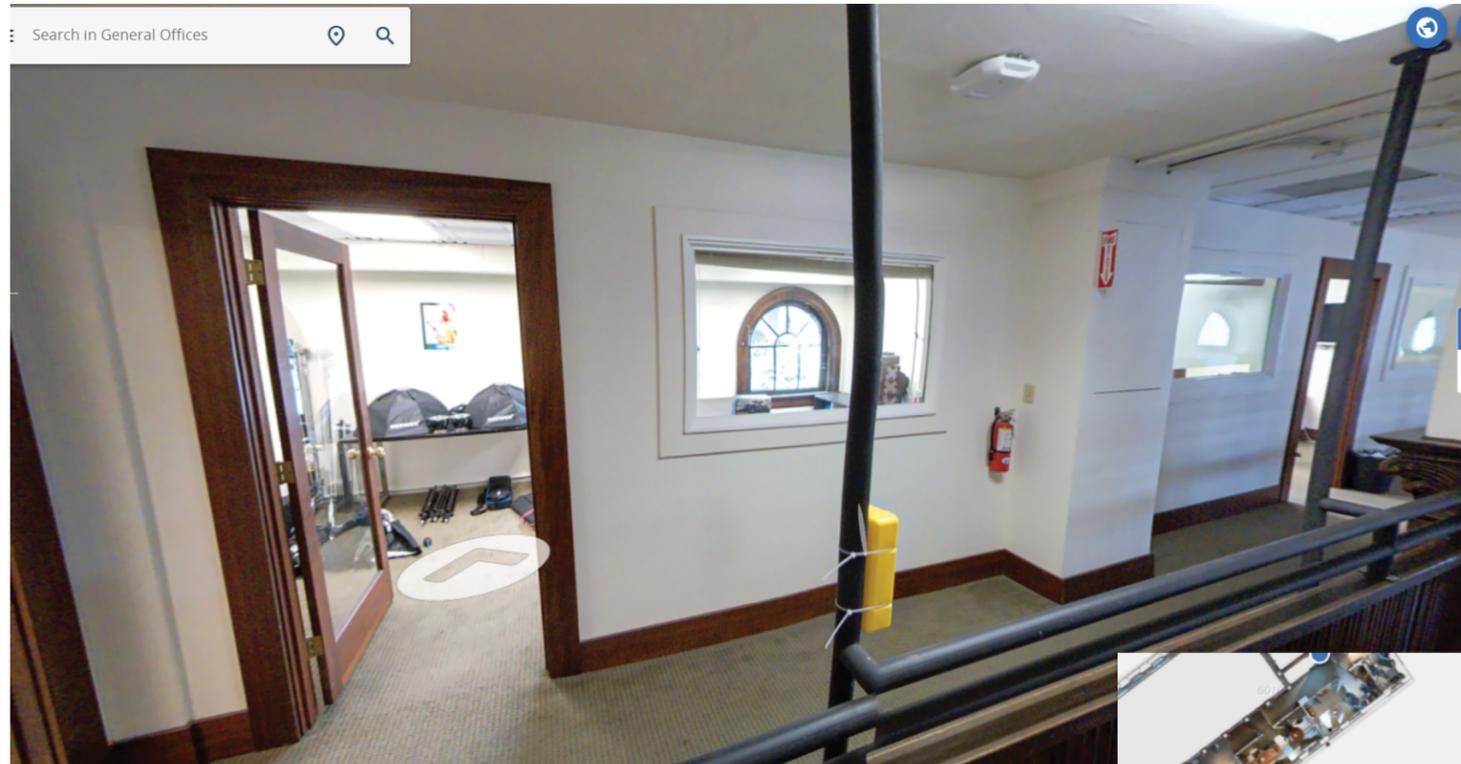
EXISTING MEZZANINE LOOKING SOUTH



PROPOSED MEZZANINE LOOKING SOUTH

GENERAL OFFICE-DESIGN PROPOSALS

B. MEZZANINE DOOR RELOCATION & WINDOW INFILL



The existing doors are not original and are characterized by modern hardware and mismatched casings/trim finishes relative to adjacent historic elements.



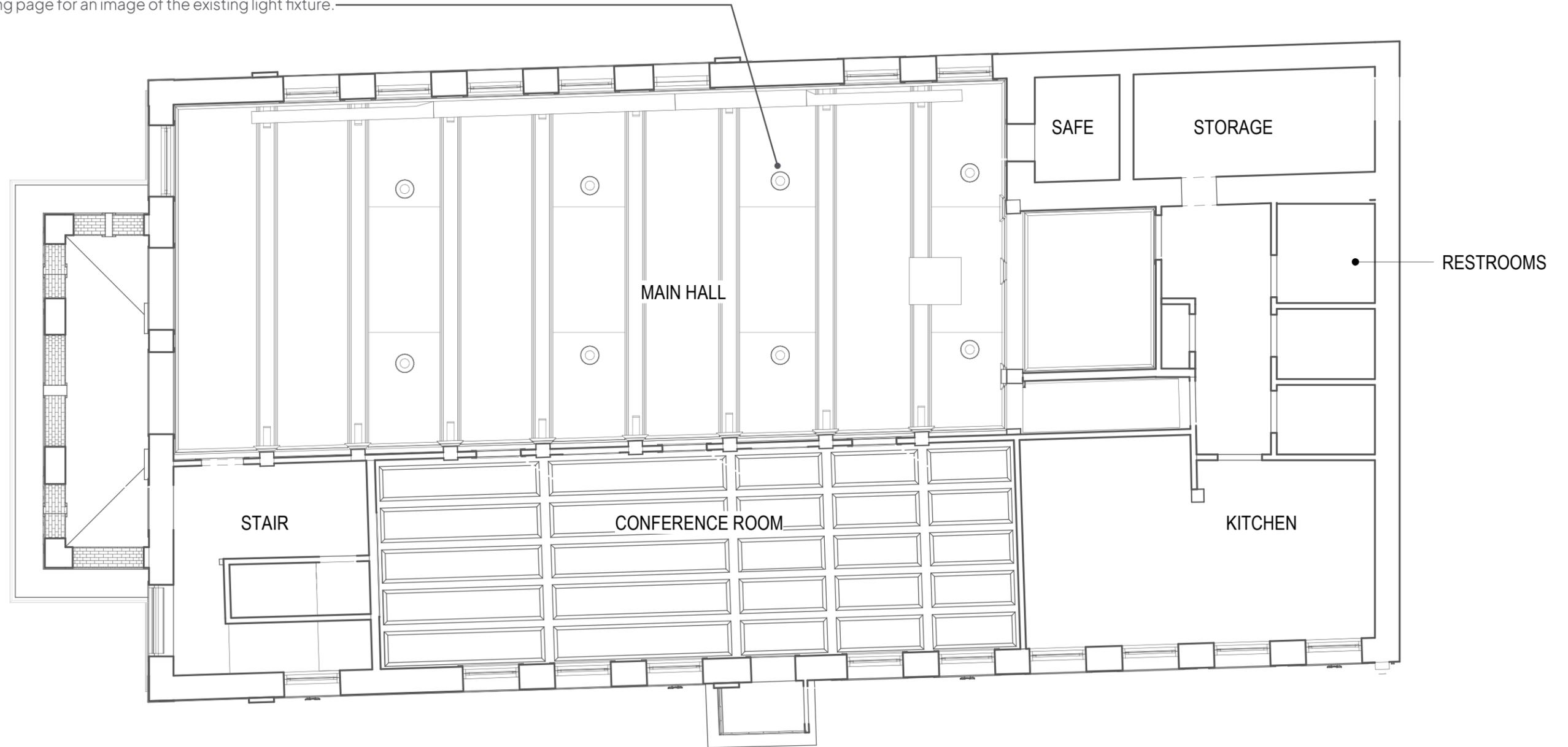
PHOTOS OF EXISTING SECOND FLOOR/MEZZANINA DOORS & WINDOW WINDOWS PROPOSED REVISIONS

GENERAL OFFICE-DESIGN PROPOSALS

C. LED PENDANT LIGHTING

EXISTING LIGHT FIXTURES

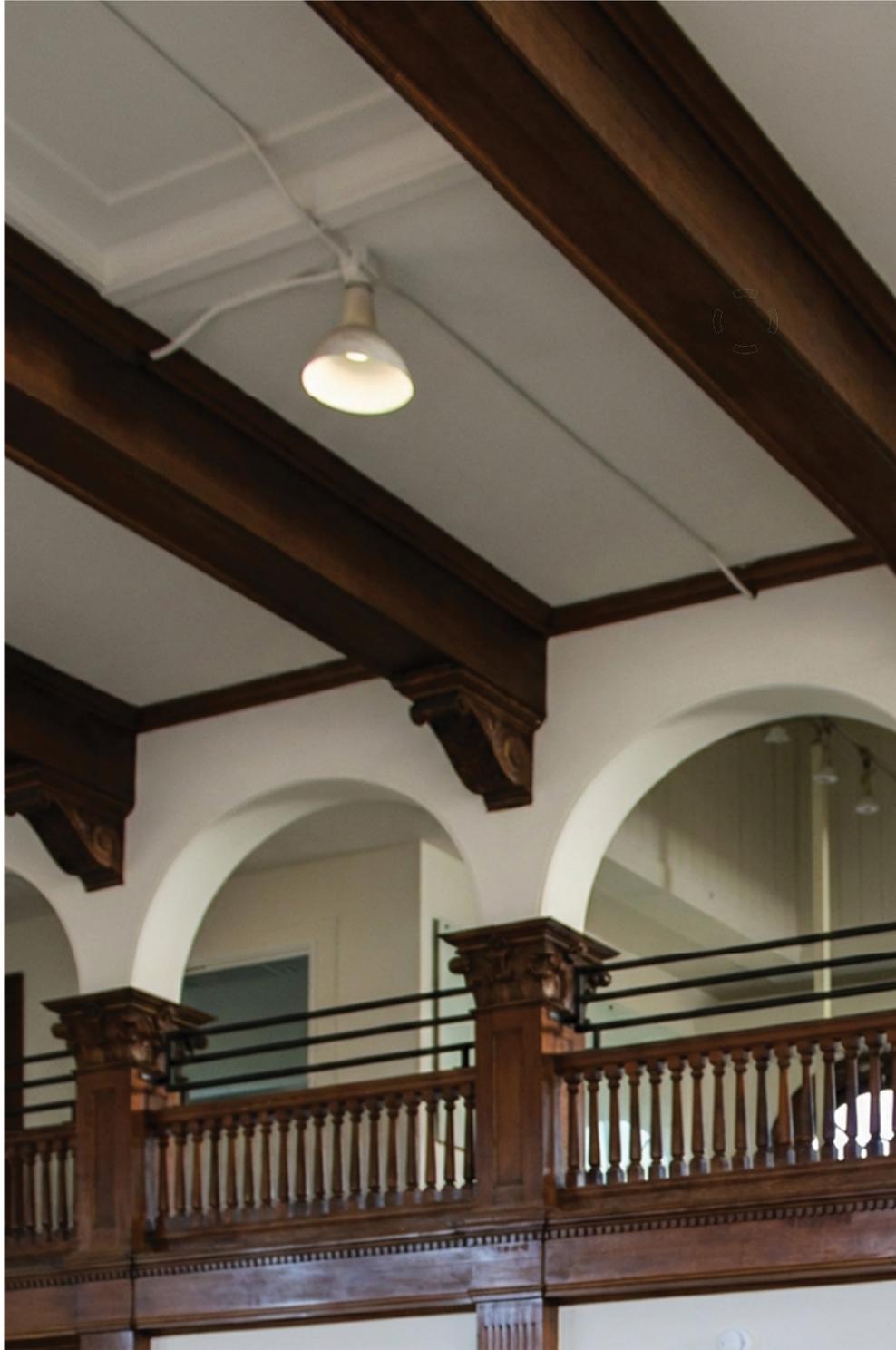
Existing light fixtures are surface mounted units approximately 14 inches in diameter, extending approximately 18 inches below the ceiling. Fixtures are powered by exposed surface mounted conduit. Each fixture includes a white metal porcelain shade. Refer to the following page for an image of the existing light fixture.



FIRST FLOOR REFLECTED CEILING PLAN WITH EXISTING LIGHT FIXTURES

GENERAL OFFICE-DESIGN PROPOSALS

C. LED PENDANT LIGHTING



EXISTING SURFACE MOUNTED LIGHT FIXTURE.



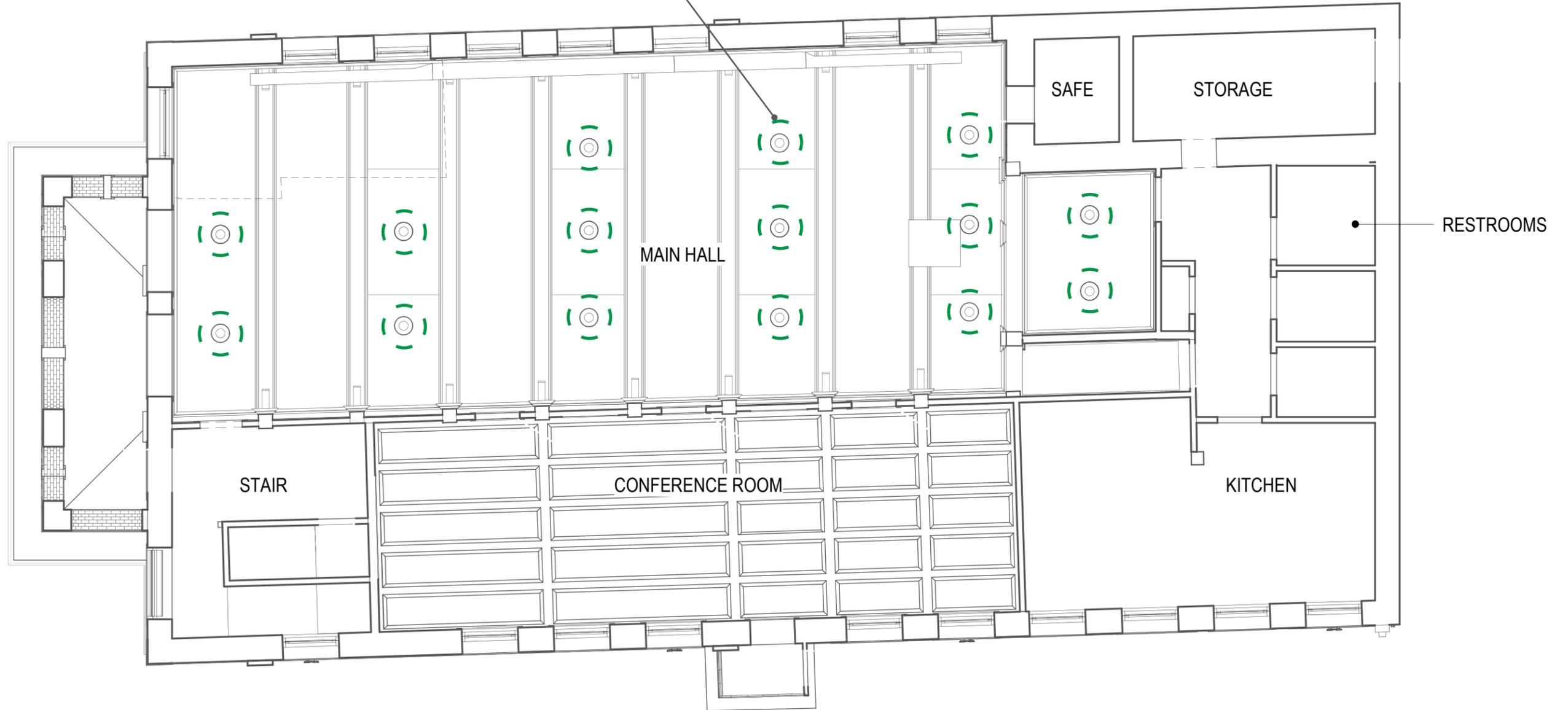
EXISTING LIGHT FIXTURE ILLUSTRATING SIZE, SHADE, AND MOUNTING CONDITION.

GENERAL OFFICE-DESIGN PROPOSALS

C. LED PENDANT LIGHTING

PROPOSED LIGHT FIXTURES

Proposed light fixtures will replace the existing surface mounted units with round pendant fixtures approximately 15 inches in diameter, suspended approximately 3 feet 6 inches below the ceiling. Fixtures will include a white/cream shade. New fixtures will be located at the existing fixture locations, with an additional row introduced between the existing rows to improve illumination at the desk surface. Existing surface mounted conduit pathways will be utilized for power. Refer to the following page for a rendering and detail image of the proposed light fixture.



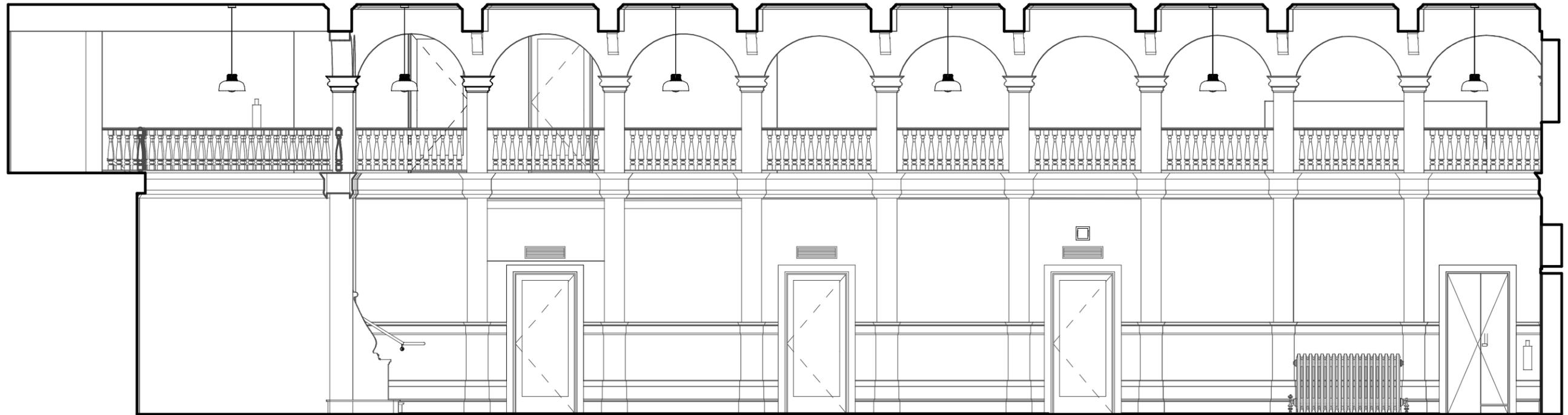
FIRST FLOOR REFLECTED CEILING PLAN WITH PROPOSED LIGHT FIXTURES

GENERAL OFFICE-DESIGN PROPOSALS

C. LED PENDANT LIGHTING

PROPOSED LIGHT FIXTURES

Proposed round pendant light fixtures, approximately 15 inches in diameter and suspended 3 feet 6 inches below the ceiling, centered between existing beams and aligned with mezzanine arches.



INTERIOR ELEVATION OF MAIN HALL LOOKING SOUTH

GENERAL OFFICE-DESIGN PROPOSALS

C. LED PENDANT LIGHTING



MAIN HALL PERSPECTIVE LOOKING TOWARDS THE MAIN ENTRY



ROUND PENDANT LIGHT FIXTURES

Round pendant light fixtures approximately 15 inches in diameter, suspended approximately 4 feet below the ceiling. Fixtures to include a white shade.

FIXTURE DETAIL SHOWING SCALE AND HOUSING.

GENERAL OFFICE-DESIGN PROPOSALS

C. LED PENDANT LIGHTING

BLOOM 4269

PROJECT PROJET

SPEC TYPE

NOTES



FINISH FINI



BLKE WHE LGE PGE NBE

FAMILY FAMILLE

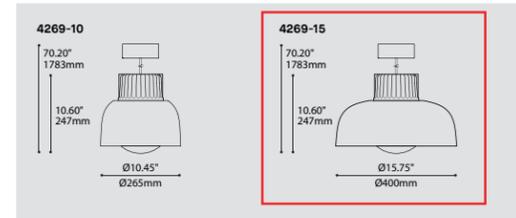
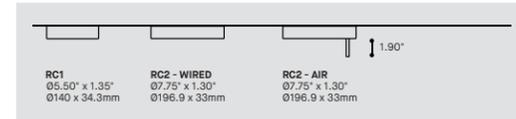


1209-10 4769-15 4768-10



4268-15 1200 4267

MOUNTING OPTIONS OPTIONS DE MONTAGE



[QUICKSHIP](#) [CLICK HERE / CLIQUEZ ICI](#)

ORDERING SPECIFICATION SPÉCIFICATION DE COMMANDE CODE

MODEL MODÈLE

4269-10 BLOOM 10"
4269-15 BLOOM 15"

LIGHT SOURCE SOURCE LUMINEUSE LED

LED REGULAR OUTPUT

COLOR TEMPERATURE TEMPÉRATURE DE COULEUR

27* 2700K
30 3000K
35 3500K
40 4000K

*LONGER LEAD TIME MAY APPLY, PLEASE CONTACT YOUR EUREKA REPRESENTATIVE

COLOR RENDERING INDEX (CRI) INDICE DE RENDU DE COULEUR (IRC)

80 80+ CRI
90* 90+ CRI

*LONGER LEAD TIME MAY APPLY, PLEASE CONTACT YOUR EUREKA REPRESENTATIVE

VOLTAGE VOLTAGE

120V 120 VOLT
277V 277 VOLT

CONTROL OPTION OPTION DE CONTRÔLE

DV 0-10V DIMMING (120V-277V)

DP PHASE DIMMING (120V ONLY)

NLTAIR2* NLIGHT AIR CONTROL GEN 2

NLIGHT* NLIGHT WIRED CONTROL

* REQUIRES RC2 CANOPY

* EMERGENCY BATTERY NOT AVAILABLE WITH NLIGHT OPTIONS

REFER TO NLIGHT GUIDE AND INSTALLATION SHEET FOR ALL REQUIREMENTS.

EMERGENCY BATTERY BATTERIE D'URGENCE

FOR 120-227V, EM DRIVER BOX INCLUDED, INSTALLED REMOTELY, SEE EM GUIDE FOR DETAILS.

EMB* EMERGENCY BATTERY FOR REMOTE BOX

* 3981EA ACCESSORY IS REQUIRED

CABLE CABLE C

C BLACK CABLE, FIELD ADJUSTABLE

CABLE LENGTH LONGUEUR DE CABLE

60 60" CABLE (STD LENGTH)

** CUSTOM CABLE LENGTH (PLEASE SPECIFY)

FOR OVERALL LENGTH, PLEASE CONTACT YOUR EUREKA REPRESENTATIVE.

MOUNTING MONTAGE

ROUND CANOPY / PAVILLON ROND

RC1 SCREWLESS CANOPY Ø5.50" X 1.35" (2473F)

RC2 NLIGHT SCREWLESS CANOPY Ø7.75" X 1.30" (2474H)

CANOPY FINISH FINI PAVILLON

BLKE BLACK FINE TEXTURE

WHE WHITE FINE TEXTURE

SHADE FINISH FINI ABAT-JOUR (A) (B)

BLKE BLACK FINE TEXTURE

WHE WHITE FINE TEXTURE

LGE LIGHT GREY FINE TEXTURE

PGE PALE GREEN FINE TEXTURE

NBE NAVY BLUE FINE TEXTURE

RAL* PLEASE SPECIFY RAL CODE

(A) SHADE INTERIOR IS ALWAYS WHITE

(B) HEATSINK IS ALWAYS BLACK

*LONGER LEAD TIME MAY APPLY, PLEASE CONTACT YOUR EUREKA REPRESENTATIVE

DIFFUSER FINISH FINI DIFFUSEUR WH

WH WHITE

ACCESSORY ACCESSOIRE

3981EA ELECTRICAL BOX FOR EMB EMERGENCY BATTERY

LINEAR PENDANT LIGHT FIXTURE STUDIED BUT NOT SELECTED.



FIXTURE DETAIL SHOWING SCALE AND HOUSING.

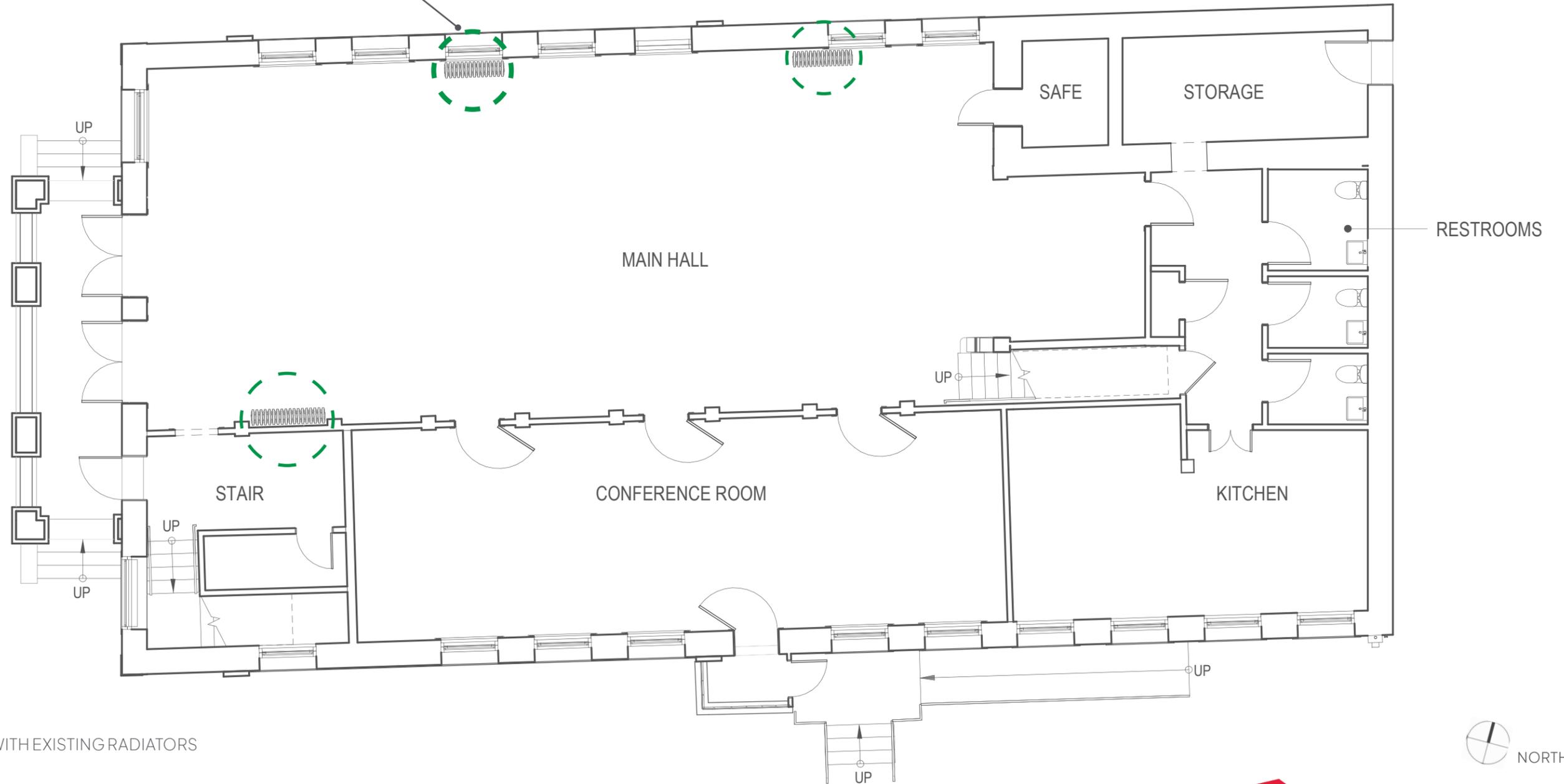
MANUFACTURERS CUT SHEET OF PROPOSED LIGHT FIXTURE

GENERAL OFFICE-DESIGN PROPOSALS

D. RADIATOR REMOVAL

PROPOSED REMOVAL OF ABANDONED RADIATORS

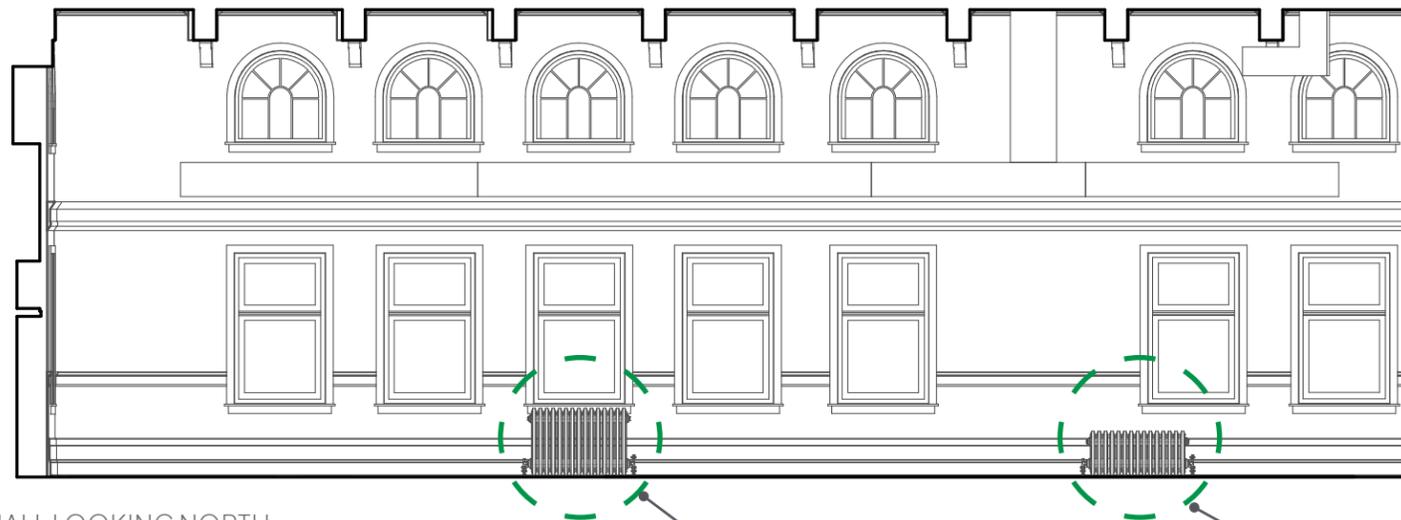
The proposal includes removal of three existing cast iron radiators that are currently abandoned and non-functional. Removal will increase usable floor area for desk placement and allow the existing wood wainscot currently concealed behind the radiators to be fully visible. Refer to the following pages for interior elevations of the north and south walls illustrating the elevation relationships, as well as photographs of the existing radiators and images showing conditions with the radiators removed.



FIRST FLOOR PLAN WITH EXISTING RADIATORS

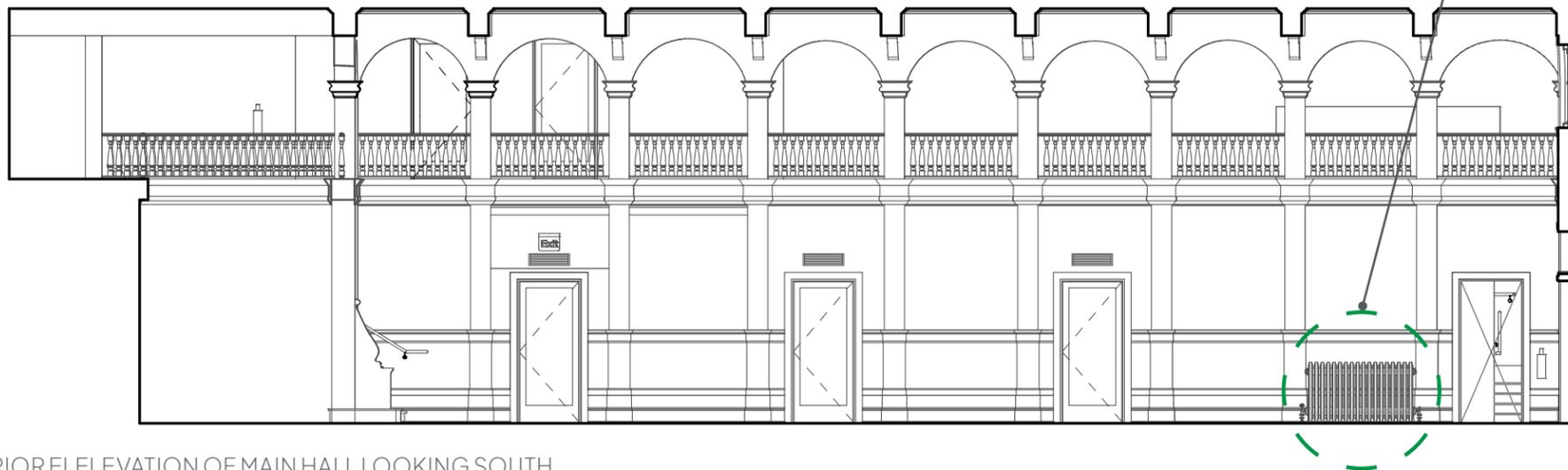
GENERAL OFFICE-DESIGN PROPOSALS

D. RADIATOR REMOVAL



INTERIOR ELEVATION OF MAIN HALL LOOKING NORTH

EXISTING RADIATORS
Existing abandoned radiator at north and south walls. To be removed to expose wood wainscot and increase usable floor area.



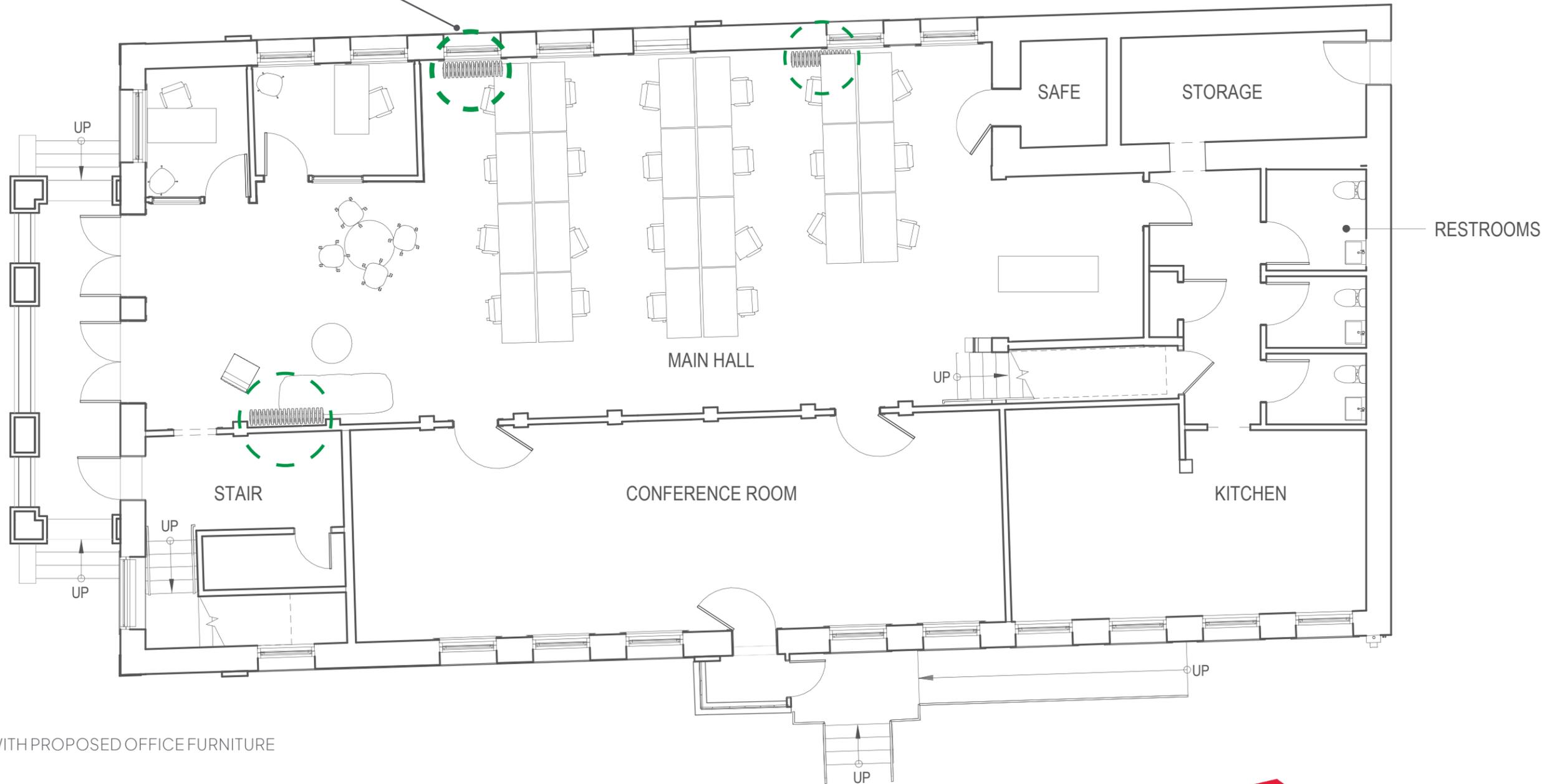
INTERIOR ELEVATION OF MAIN HALL LOOKING SOUTH

GENERAL OFFICE-DESIGN PROPOSALS

D. RADIATOR REMOVAL

PROPOSED REMOVAL OF ABANDONED RADIATORS

The radiators conflict with the proposed furniture layout and limit usable floor area within the main hall. Their removal will allow for more efficient desk placement and improve circulation within the space.



FIRST FLOOR PLAN WITH PROPOSED OFFICE FURNITURE

GENERAL OFFICE-DESIGN PROPOSALS

D. RADIATOR REMOVAL



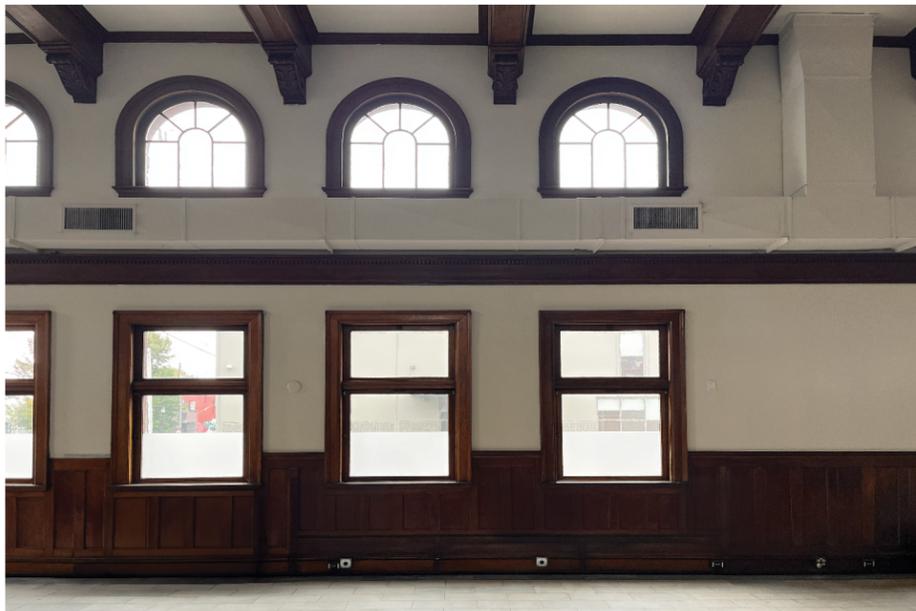
PHOTOS OF EXISTING RADIATORS
ILLUSTRATING THEIR CONDITION

GENERAL OFFICE-DESIGN PROPOSALS

D. RADIATOR REMOVAL



EXISTING NON-FUNCTIONAL CAST IRON RADIATOR AT MAIN HALL WALL.



EXISTING RADIATOR CONDITION AND VIEW WITH RADIATOR REMOVED FOR COMPARISON.

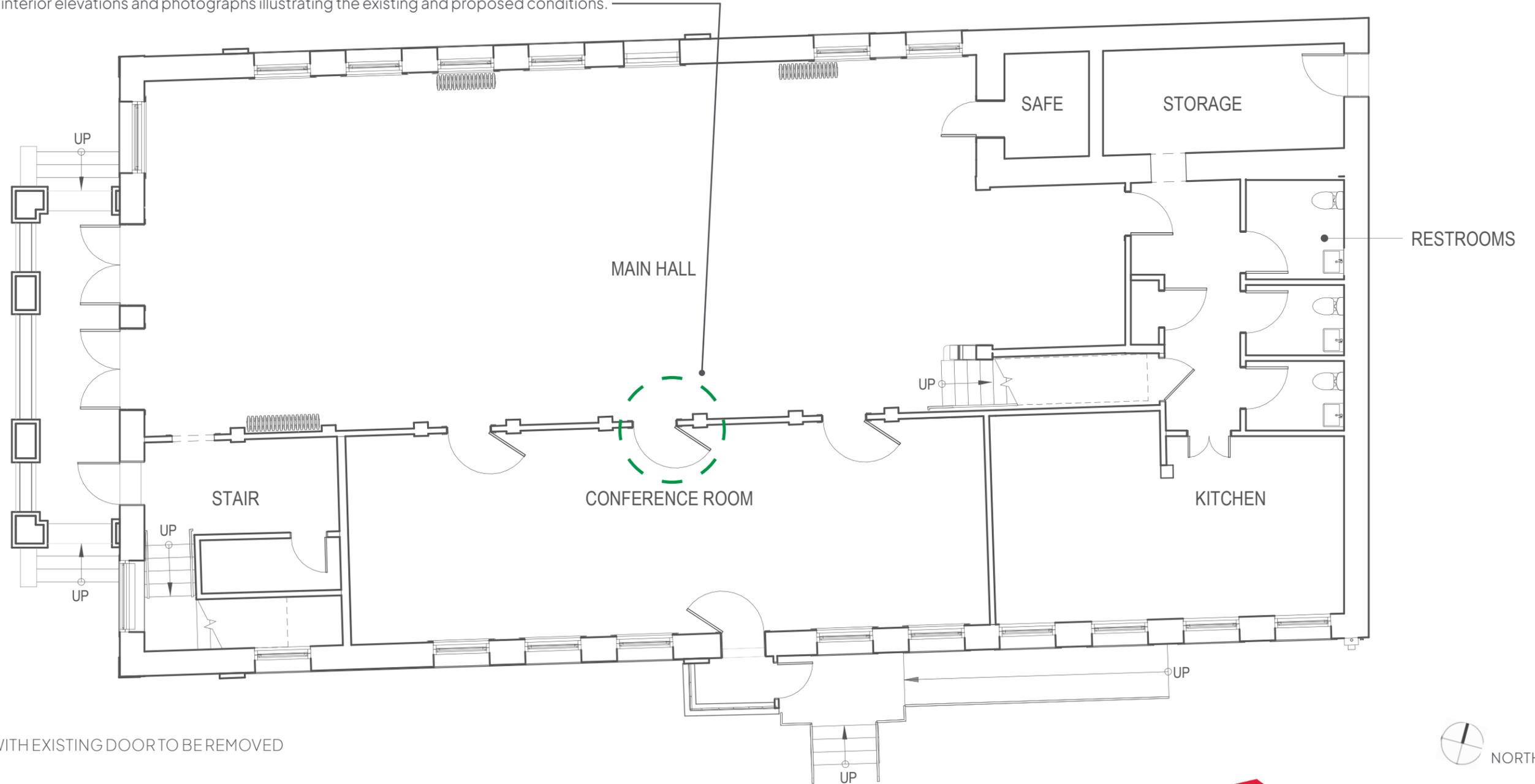


GENERAL OFFICE-DESIGN PROPOSALS

E. DOOR REMOVAL/INFILL

PROPOSED REMOVAL OF EXISTING DOOR

The proposal includes removal of one existing door to the adjacent conference room to reduce the number of entries from three to two. The existing mechanical register located above the door will also be removed. The door is proposed to be salvaged and relocated to the far west door location, which is identified as a non-original opening. The removed door opening will be infilled to match adjacent wall finishes, and the existing wood wainscot will be extended across the infill to create a continuous condition so the alteration reads as if no opening previously existed. Refer to the following page for interior elevations and photographs illustrating the existing and proposed conditions.



FIRST FLOOR PLAN WITH EXISTING DOOR TO BE REMOVED

GENERAL OFFICE-DESIGN PROPOSALS

E. DOOR REMOVAL/INFILL

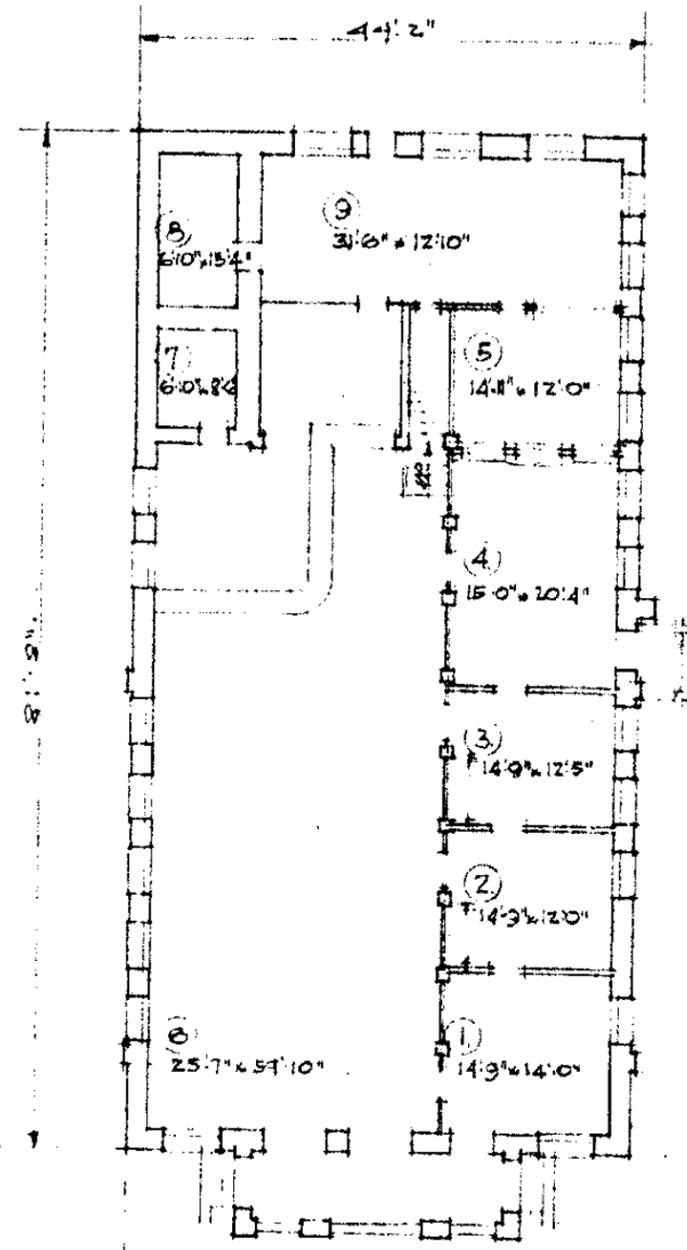


PHOTO OF EXISTING DOORS

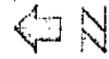
Existing condition showing two doors. Left door proposed for removal and infill; right door to be replaced with salvaged door.

GENERAL OFFICE-DESIGN PROPOSALS

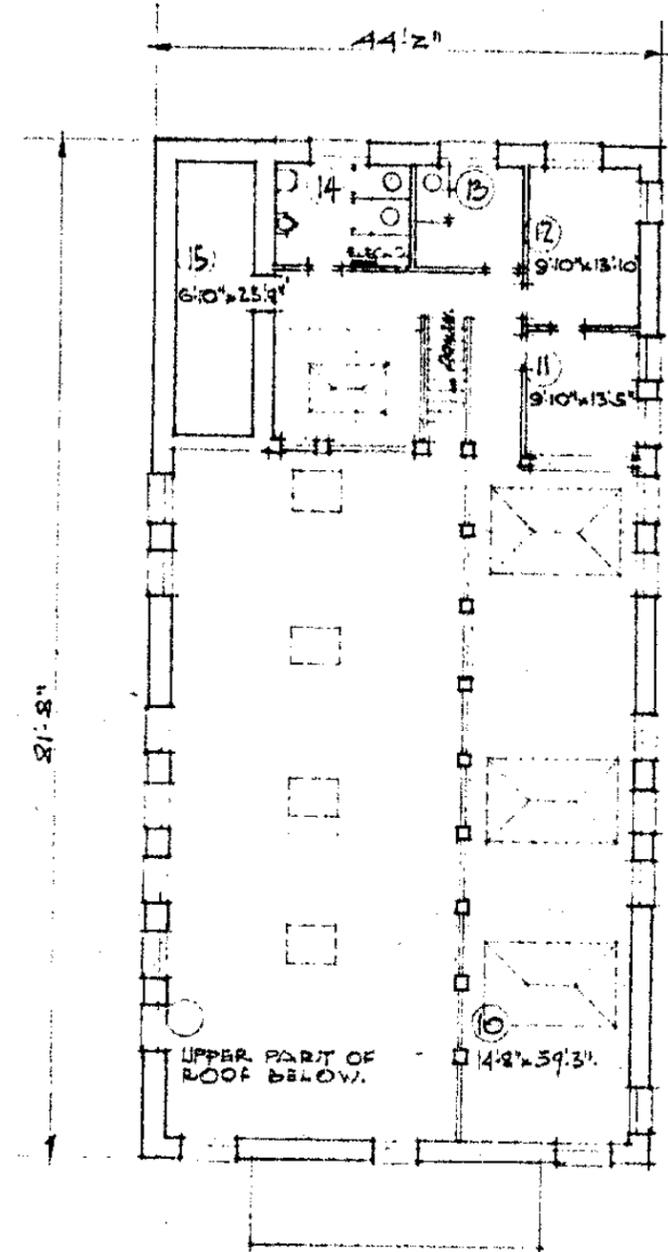
E. DOOR REMOVAL/INFILL



CEILING HEIGHTS		
ROOM #	1	11'-0" PLASTER.
	2	11'-0" BEAMED.
	3	11'-0" BEAMED.
	4	11'-0" BEAMED.
	5	11'-0" PLASTER.
	6	20'-4" BEAMED.
	7	
	8	10'-10" PLASTER.
	9	11'-0" BEAMED.
	10	8'-6" PLASTER.
	11	8'-4" PLASTER.
	12	8'-4" PLASTER.
	13 & 14	8'-4" PLASTER.
	15	VAULT.



FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"



SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"

FLOOR PLAN FROM 1939 ILLUSTRATING RENOVATION WORK

GENERAL OFFICE-DESIGN PROPOSALS

E. DOOR REMOVAL/INFILL



INTERIORELEVATION SHOWING EXISTING CONFERENCE ROOM DOOR AND MECHANICAL REGISTER ABOVE.



INTERIORELEVATION SHOWING REMOVAL OF DOOR AND MECHANICAL REGISTER, WITH INFILL AND CONTINUOUS WAINSCOT.

GENERAL OFFICE-DESIGN PROPOSALS

E. DOOR REMOVAL/INFILL



EXISTING CONFERENCE ROOM DOOR WITH MECHANICAL REGISTER ABOVE.



PHOTO SHOWING DOOR AND REGISTER REMOVED WITH PROPOSED INFILL CONDITION.

GENERAL OFFICE-DESIGN PROPOSALS

F. ROOM SIGNAGE INSTALLATION



WALL MOUNTED SIGN
Cantilevered room identification sign approximately 4 inches by 6 inches by 24 inches to be surface mounted on the wall above the door. The sign will identify the conference room as "KINGDOME," serving as a nod to Seattle history and aligning with the thematic naming approach used in the main JTM offices across the courtyard. Power will be fed from the opposite side of the wall.



INTERIOR ELEVATION OF MAIN HALL LOOKING SOUTH

GENERAL OFFICE-DESIGN PROPOSALS

G. WOOD FLOOR REFINISHING



MAIN HALL LOOKING WEST



DETAIL OF EXISTING WOOD FLOORING

Existing wood flooring in the main hall shows significant wear. The proposed work retains and refinishes the flooring to match the existing stain.

GENERAL OFFICE-DESIGN PROPOSALS

G. WOOD FLOOR REFINISHING

PRESERVATION APPROACH

The project will conform to the Secretary of the Interior's Standards for the Treatment of Historic Properties, with an emphasis on retention and preservation of existing historic materials. Existing wood flooring will be preserved in place and maintained as a character-defining feature of the interior.

Work will be limited to light surface preparation and refinishing. Sanding will be performed only to the extent necessary to remove the existing finish and surface wear, avoiding excessive removal of historic material. The refinishing system will be compatible with the existing wood species and will maintain the historic appearance of the flooring.

No removal or replacement of existing wood flooring is proposed except in isolated areas where material is deteriorated beyond repair. Any such repairs will match the existing flooring in species, dimension, and finish to maintain visual continuity.



DETAIL OF EXISTING WOOD FLOORING

THANK YOU