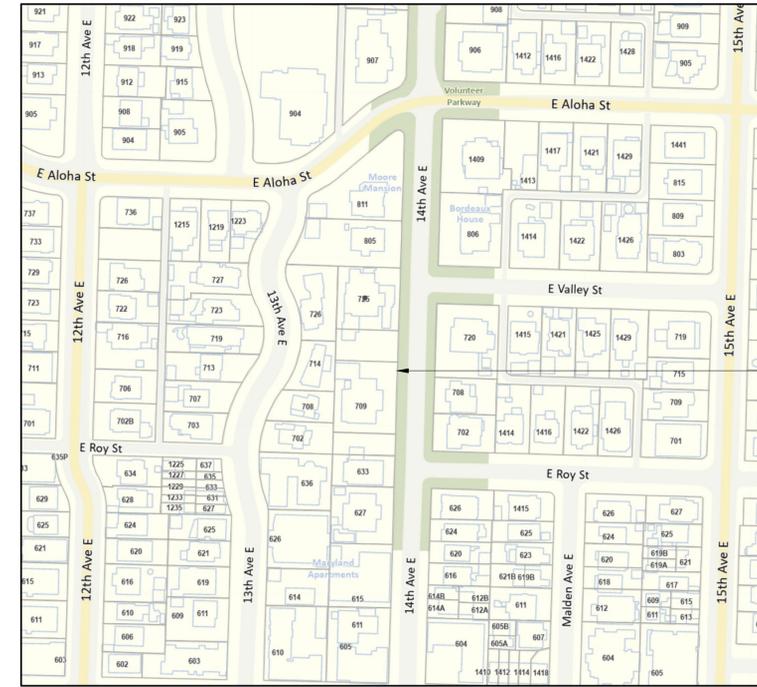


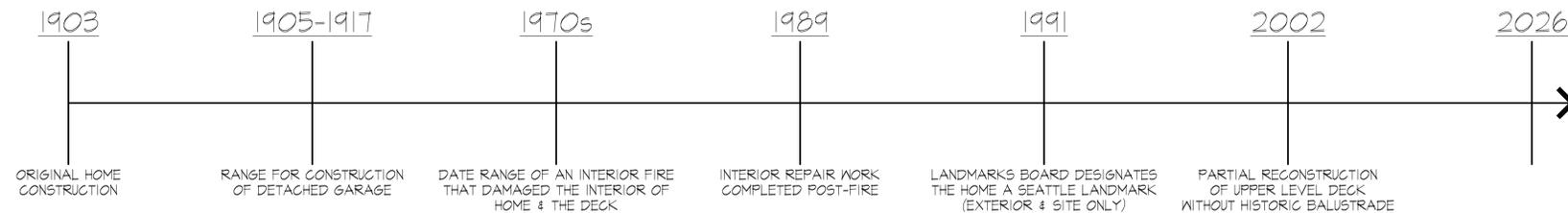
1910 HISTORIC PHOTO 3



LOCATION MAP 2
SCALE: NTS

PROJECT LOCATION
811 14TH AVE E

REVISIONS



BUILDING TIMELINE 1

BUILDING INFO & CURRENT LANDMARK DESIGNATION:

THE MOORE MANSION (811 14TH AVE E) IS A HISTORIC PROPERTY IN THE SEATTLE BUILT BY JAMES A. MOORE & ARCHITECT W.D. KIMBALL IN 1903. THE HOME SITS ON THE CORNER OF 14TH AVE E & E ALOHA STREET, SOUTH OF SEATTLE'S VOLUNTEER PARK IN CAPITOL HILL.

THE HOME WAS DESIGNATED AS A LANDMARK BY THE CITY OF SEATTLE'S LANDMARKS PRESERVATION BOARD ON JULY 17, 1991. #LPB 134/91

NOMINATION SUMMARY:

THE PORTIONS OF THE HOME NOMINATED FOR LANDMARK STATUS ARE:

- * THE ENTIRE EXTERIOR OF THE BUILDING
- * THE ENTIRE SITE

PROJECT #1 DESCRIPTION:

- * REMOVE (E) METAL FENCE, PLANTINGS & BRICK RETAINING WALL FROM EAST PORTION OF THE SITE.
- * INSTALL NEW METAL FENCES, GATES, & RETAINING WALL & EXTEND TO NORTH END OF THE SITE, FENCE TO MATCH (E)
- * PLANT NEW SCREENING SHRUBS

PROJECT #2 DESCRIPTION:

- * REMOVE (E) UPPER LEVEL DECKING, WOOD FRAMING, & PORCH CEILING STEEL STRUCTURAL MEMBERS & MASONRY COLUMNS TO REMAIN.
- * INSTALL NEW UPPER LEVEL DECK IN EXISTING LOCATION. NEW STEEL FRAMING, NEW WOOD FRAMING, NEW SHEATHING, NEW PORCH CEILING, NEW ROOFING & NEW WOOD DECK PAVERS.
- * INSTALL NEW CAST STONE BALUSTRADE ON NEW DECK, NEW BALUSTRADE TO MATCH HISTORIC BALUSTRADE

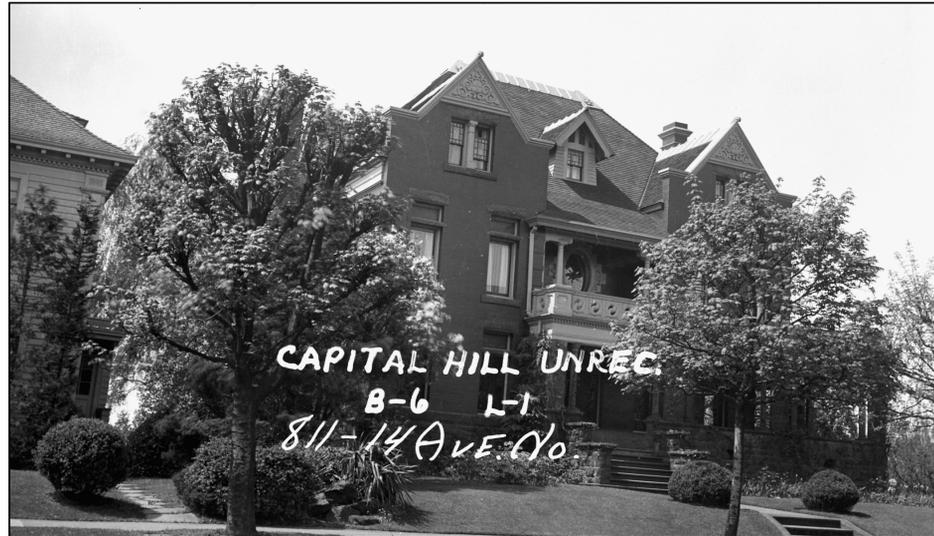
**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA



#2523
20 MARCH 2026
MOORE MANSION
HISTORIC INFO &
LOCATION

A0.0



1937 HISTORIC PHOTO 4



APPROXIMATELY 1908 HISTORIC PHOTO 2



APPROXIMATELY 1910 HISTORIC PHOTO 3



1906 HISTORIC PHOTO 1



REVISIONS

MOORE MANSION
LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

HISTORIC
PHOTOS

A0.1

REVISIONS

MOORE MANSION
 LANDMARKS APPLICATION

811 14TH AVE E
 SEATTLE, WA



1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

#2523
 20 MARCH 2026

BALUSTRADE
 CURRENT
 PHOTOS

A0.3



CURRENT PARTIAL HOUSE PHOTO - SOUTH 4



CURRENT PARTIAL HOUSE PHOTO - WEST 3



CURRENT HOUSE ELEVATION PHOTO - NORTH 2



CURRENT HOUSE ELEVATION PHOTO - EAST 1



REVISIONS

MOORE MANSION
LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

FENCE
CURRENT
PHOTOS

A0.2



CURRENT MAIN ENTRY PHOTO ③



CURRENT DRIVEWAY PHOTO ②



CURRENT STREET ELEVATION PHOTO ①

REVISIONS

MOORE MANSION
 LANDMARKS APPLICATION

811 14TH AVE E
 SEATTLE, WA

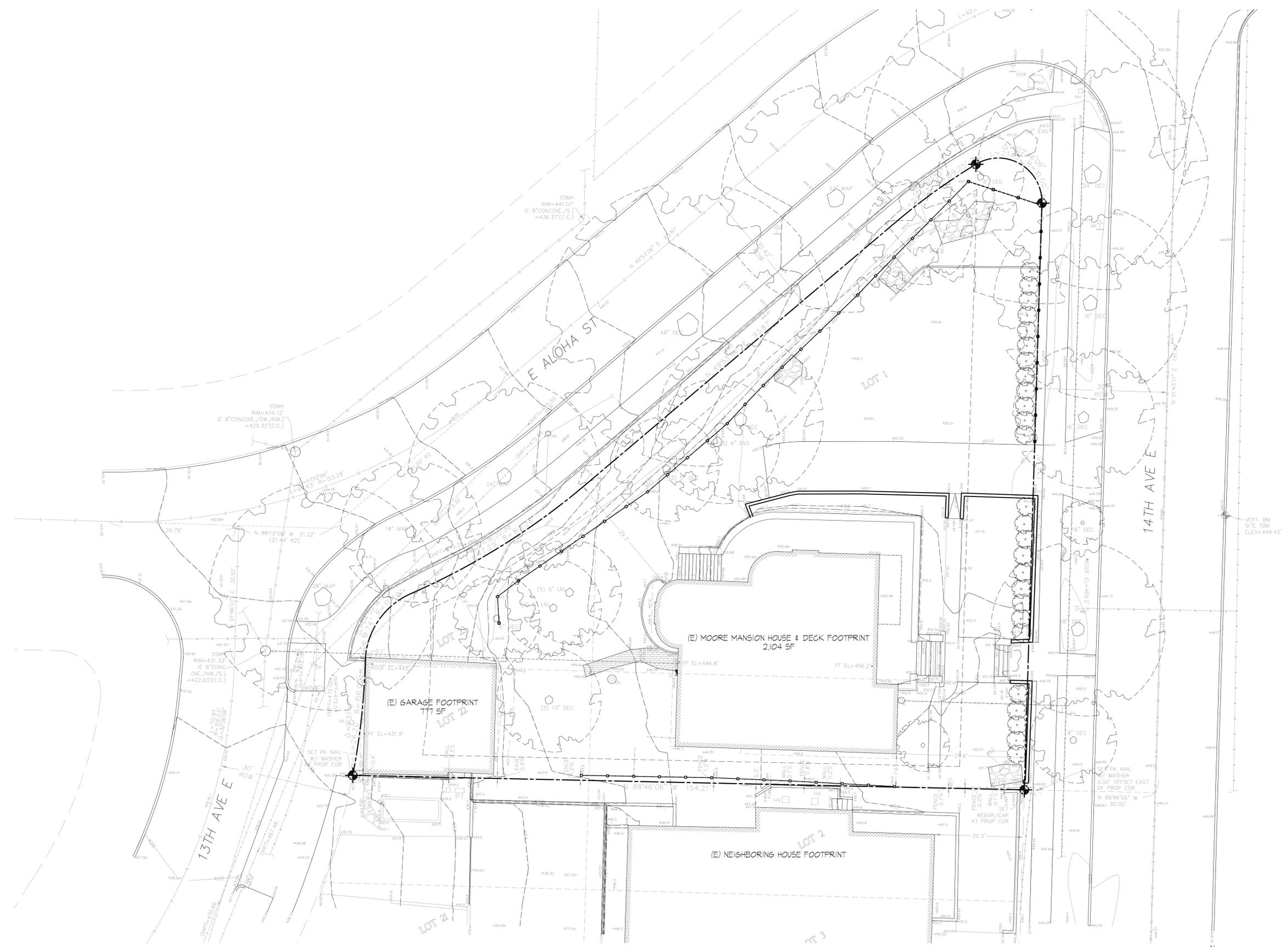


1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

#2523
 20 MARCH 2026

EXISTING
 SITE
 PLAN

A0.4



EXISTING OVERALL SITE PLAN
 SCALE: 3/32" = 1'-0"



REVISIONS

MOORE MANSION LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA

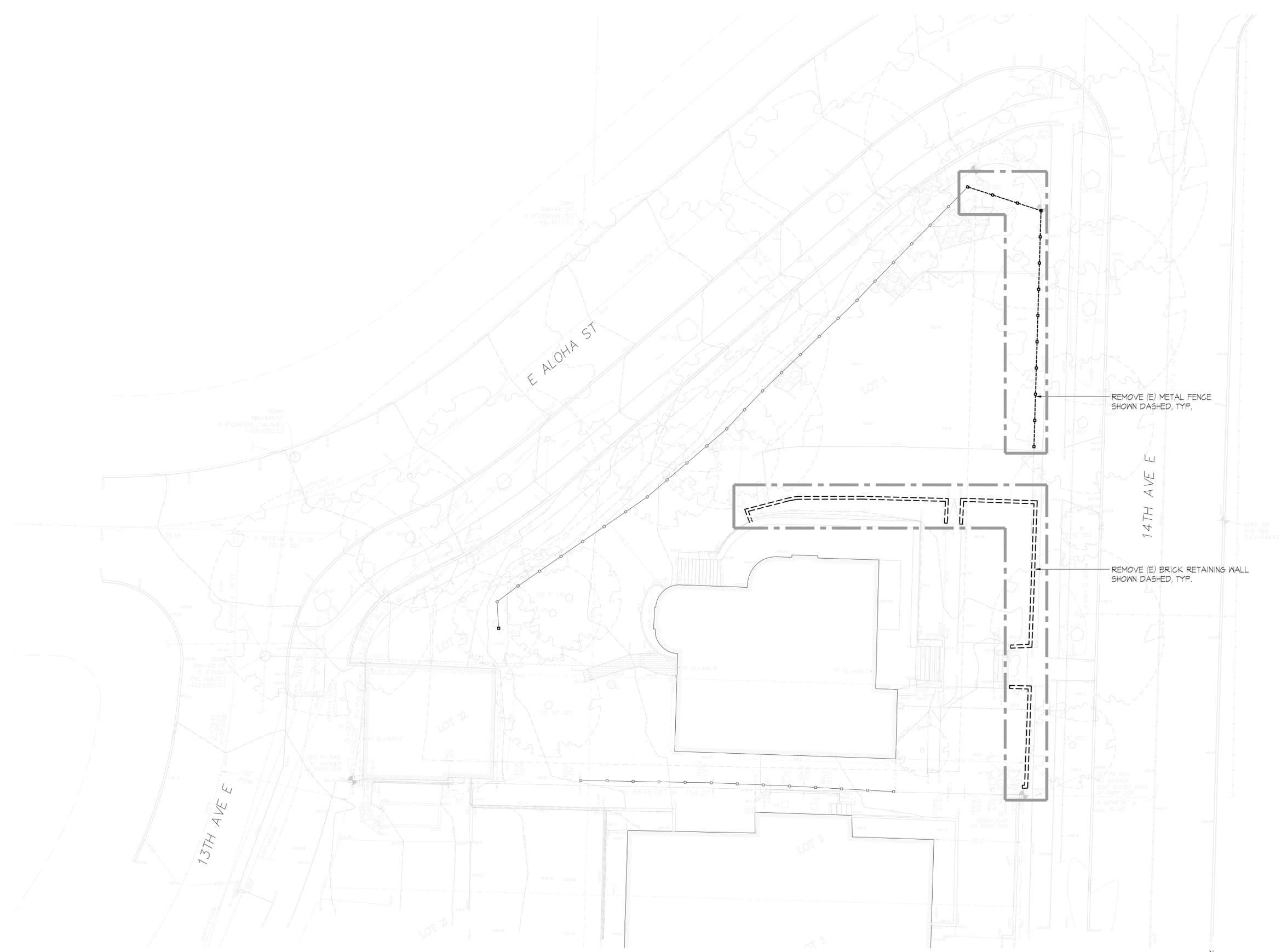


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

SELECTIVE DEMO
SITE PLAN
FENCE

D1.1



SELECTIVE DEMO SITE PLAN
SCALE: 3/32" = 1'-0"





REVISIONS

MOORE MANSION LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA

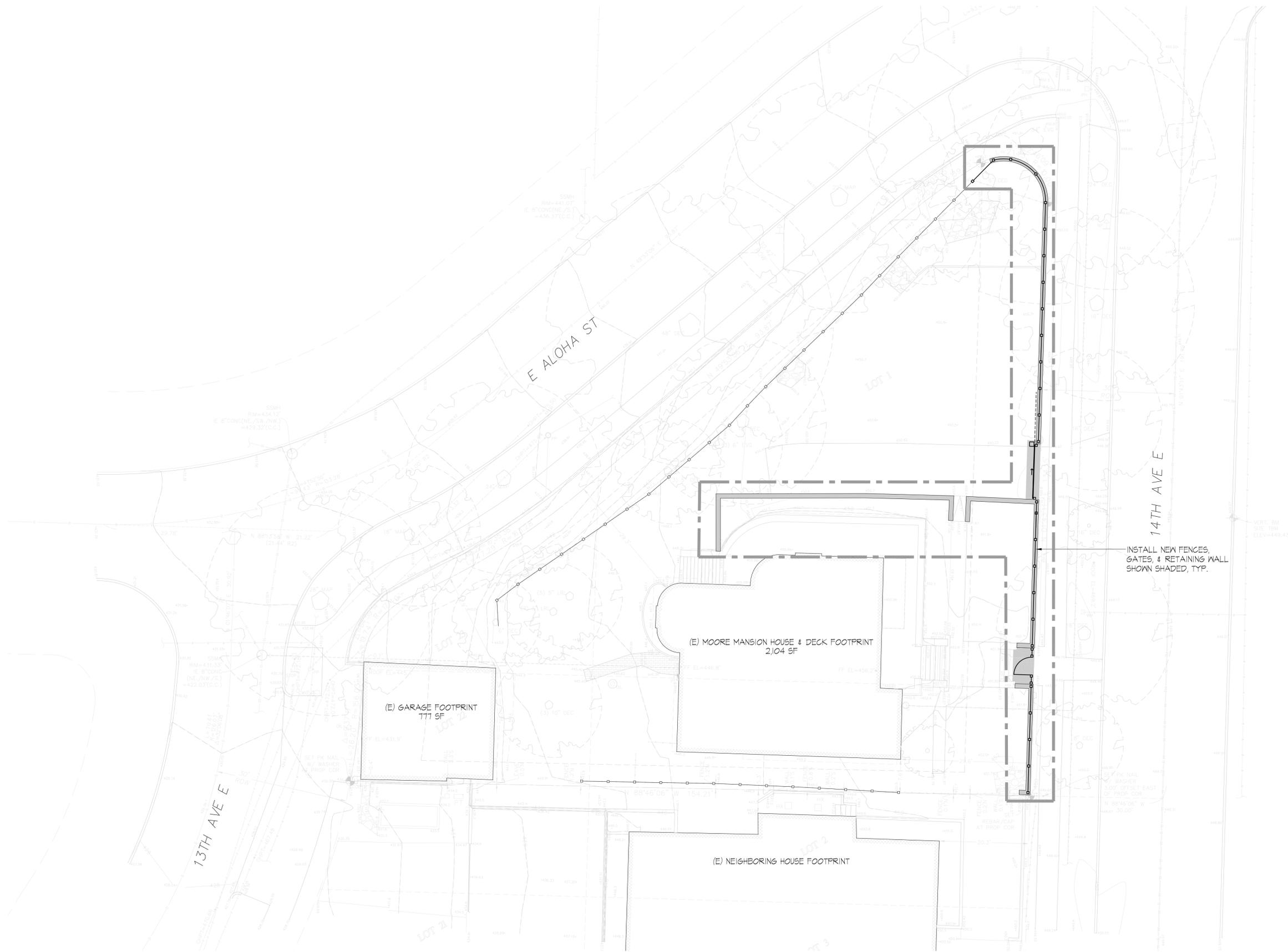


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

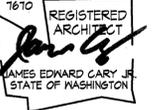
#2523
20 MARCH 2026

PROPOSED
SITE PLAN
FENCE

A1.1



PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"



REVISIONS

MOORE MANSION LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

SELECTIVE DEMO
LANDSCAPE
PLAN
FENCE

D1.2



SELECTIVE DEMO LANDSCAPE PLAN
SCALE: 3/32" = 1'-0" 



REVISIONS

NO.	DATE	DESCRIPTION

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA

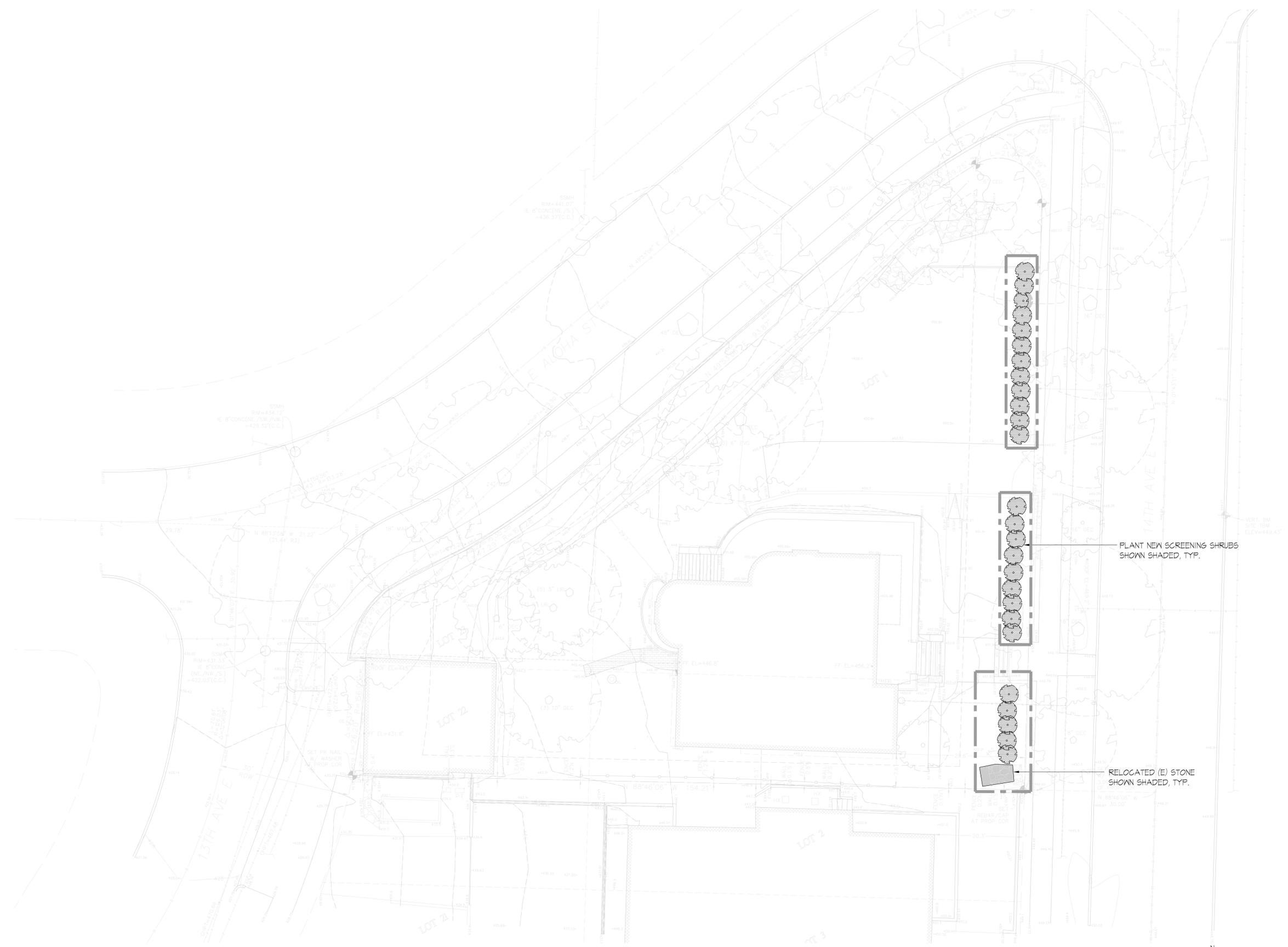


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

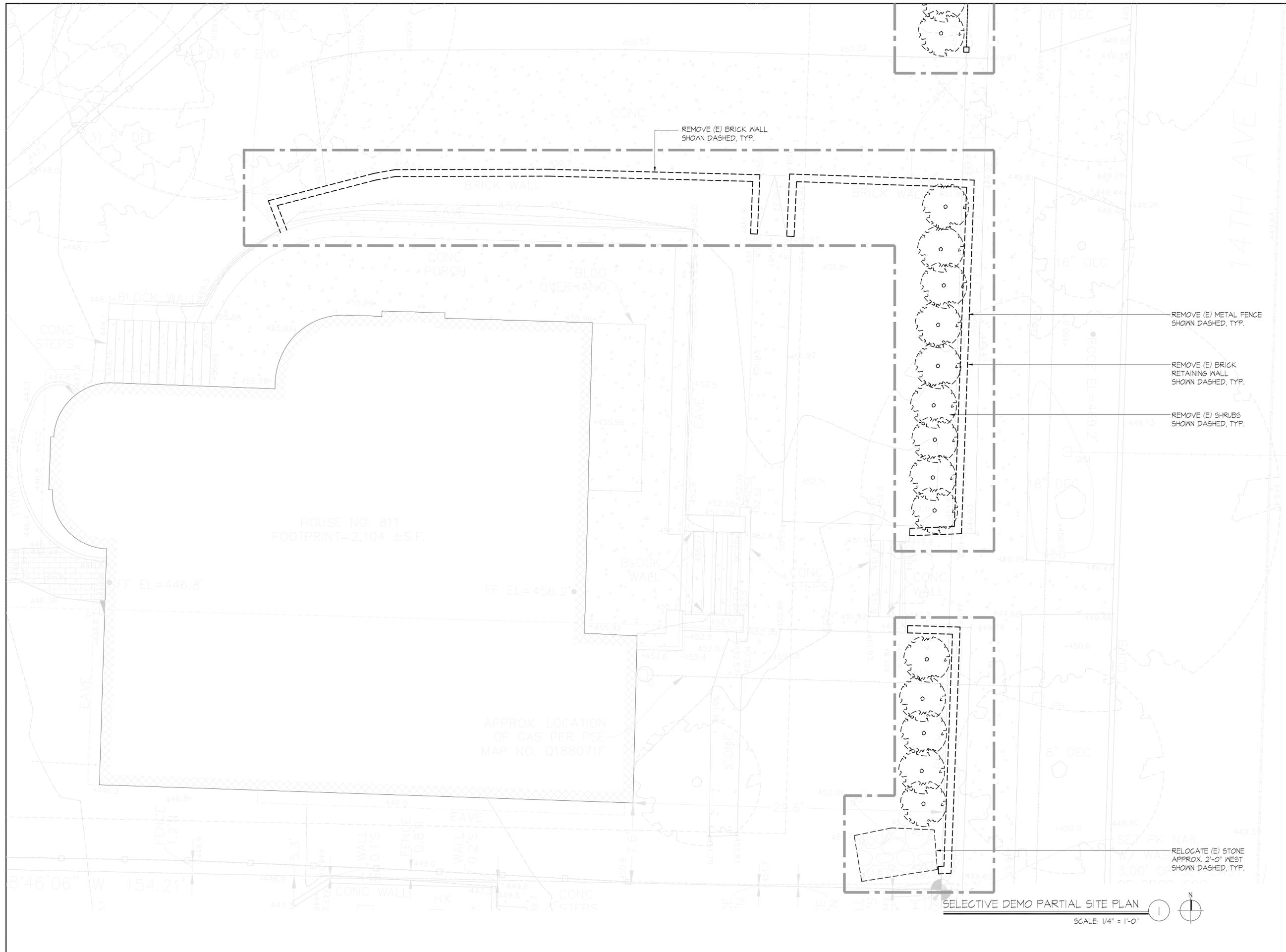
PROPOSED
LANDSCAPE
PLAN
FENCE

A1.2



PROPOSED LANDSCAPE PLAN
SCALE: 3/16" = 1'-0"





REVISIONS

NO.	DESCRIPTION

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

SELECTIVE DEMO
PARTIAL SITE PLAN
FENCE

D2.1

SELECTIVE DEMO PARTIAL SITE PLAN
SCALE: 1/4" = 1'-0"



RELOCATE (E) STONE
APPROX. 2'-0" WEST
SHOWN DASHED, TYP.

APPROX. LOCATION
OF GAS PER PSE
MAP NO. Q188071F

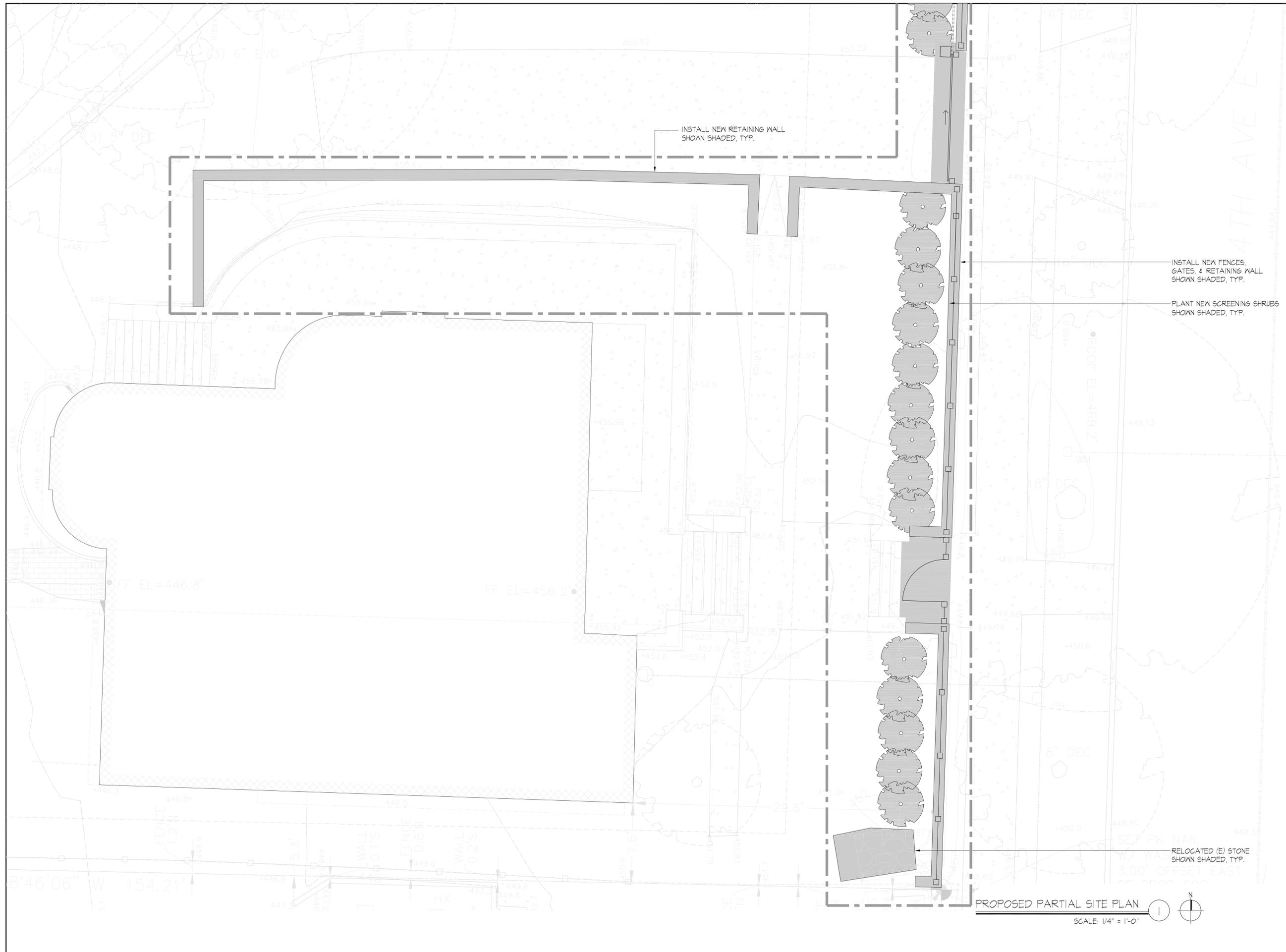
HOUSE NO. 811
FOOTPRINT=2,104 ±S.F.

REMOVE (E) BRICK WALL
SHOWN DASHED, TYP.

REMOVE (E) METAL FENCE
SHOWN DASHED, TYP.

REMOVE (E) BRICK
RETAINING WALL
SHOWN DASHED, TYP.

REMOVE (E) SHRUBS
SHOWN DASHED, TYP.



REVISIONS

NO.	DESCRIPTION

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

PROPOSED
PARTIAL SITE PLAN
FENCE

A2.1

PROPOSED PARTIAL SITE PLAN
SCALE: 1/4" = 1'-0"



RELOCATED (E) STONE
SHOWN SHADED, TYP.

SET PK NAIL

3.00' OFFSET EAST

OF ROAD

INSTALL NEW RETAINING WALL
SHOWN SHADED, TYP.

INSTALL NEW FENCES,
GATES, & RETAINING WALL
SHOWN SHADED, TYP.

PLANT NEW SCREENING SHRUBS
SHOWN SHADED, TYP.

FF EL=446.8'

FF EL=456.2'

ROOF EL=469.2'

14TH AVE

8'46'06" W 154.21'

FENCE 1.2' N

WALL 0.1'S

FENCE 0.8' N

WALL 0.2'S

8' N

19.7'

449.5

449.6

447.2

448.2

447.2

448.9

446.8

446.3

447.3

448.0

448.1

448.3

448.3

448.3

448.3

448.3

448.3

446.5

446.4

446.8

447.2

447.1

447.6

447.8

448.1

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

446.5

446.4

446.8

447.2

447.1

447.6

447.8

448.1

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

446.5

446.4

446.8

447.2

447.1

447.6

447.8

448.1

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

446.5

446.4

446.8

447.2

447.1

447.6

447.8

448.1

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

446.5

446.4

446.8

447.2

447.1

447.6

447.8

448.1

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

446.5

446.4

446.8

447.2

447.1

447.6

447.8

448.1

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

448.3

446.5

446.4

446.8

447.2

447.1

447.6

447.8

448.1

448.3

448.3

448.3



REVISIONS

NO.	DESCRIPTION

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

SELECTIVE DEMO
SECTION DETAIL &
EXISTING PHOTOS
FENCE

D3.0



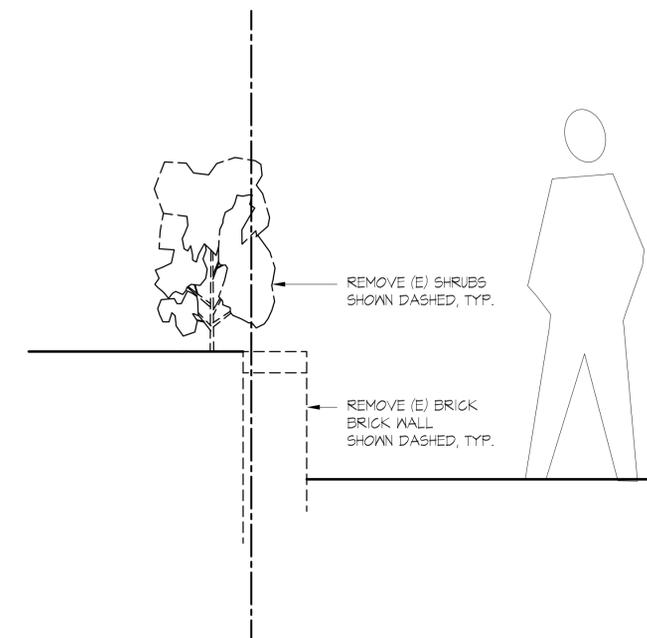
CURRENT DETAIL PHOTO 4



CURRENT RETAINING WALL PHOTO 3



CURRENT RETAINING WALL PHOTO 2



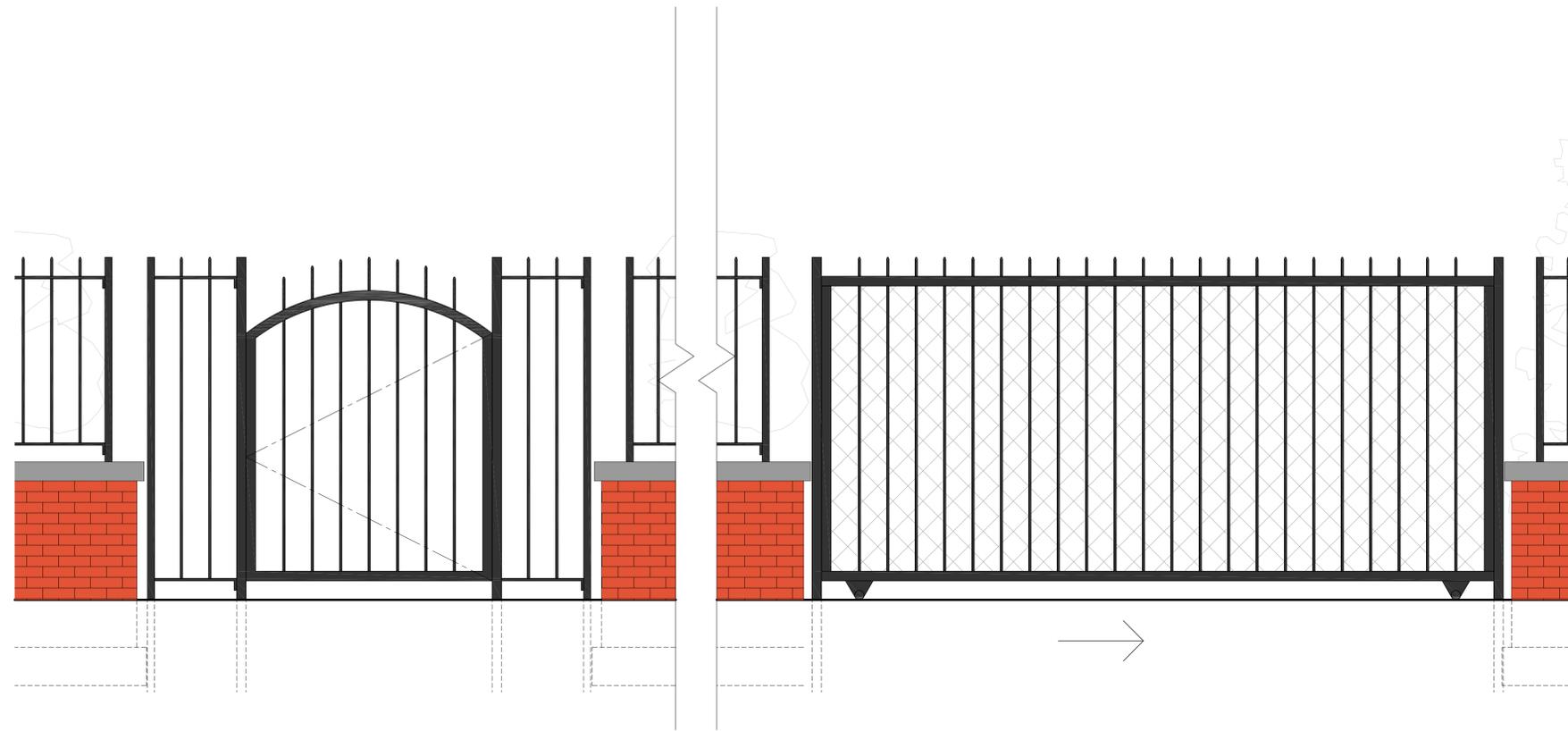
PARTIAL SELECTIVE DEMO SECTION 1
SCALE: 3/4" = 1'-0"



NOTE:
 NEW FENCE TO BE CUSTOM FABRICATED
 TO MATCH EXISTING FENCE.
 NEW FENCE COLOR TO BE BLACK.

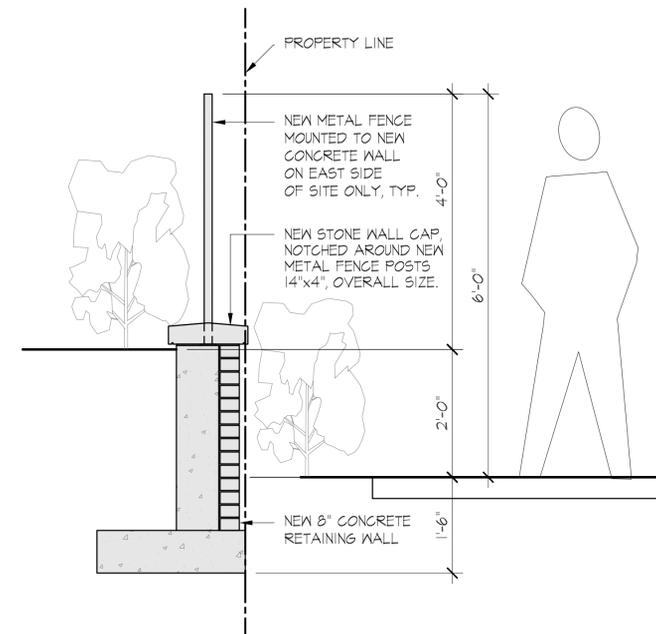


EXISTING FENCE PHOTO 4



PARTIAL PROPOSED EAST ELEVATION 3
 SCALE: 3/4" = 1'-0"

PARTIAL PROPOSED EAST ELEVATION 2
 SCALE: 3/4" = 1'-0"



PARTIAL PROPOSED SECTION 1
 SCALE: 3/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION

MOORE MANSION
 LANDMARKS APPLICATION

811 14TH AVE E
 SEATTLE, WA

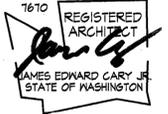


1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

#2523
 20 MARCH 2026

PROPOSED
 SECTION DETAIL
 & ELEVATIONS
 FENCE

A3.0



CURRENT STREET ELEVATION PHOTO ②



SELECTIVE DEMO EAST ELEVATION ①
SCALE: 1/4" = 1'-0"

REVISIONS

MOORE MANSION
LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA

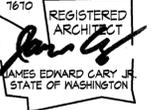


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

SELECTIVE DEMO
ELEVATION
FENCE

D4.0



REVISIONS

MOORE MANSION
LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

PROPOSED ELEVATION
FENCE

A4.0





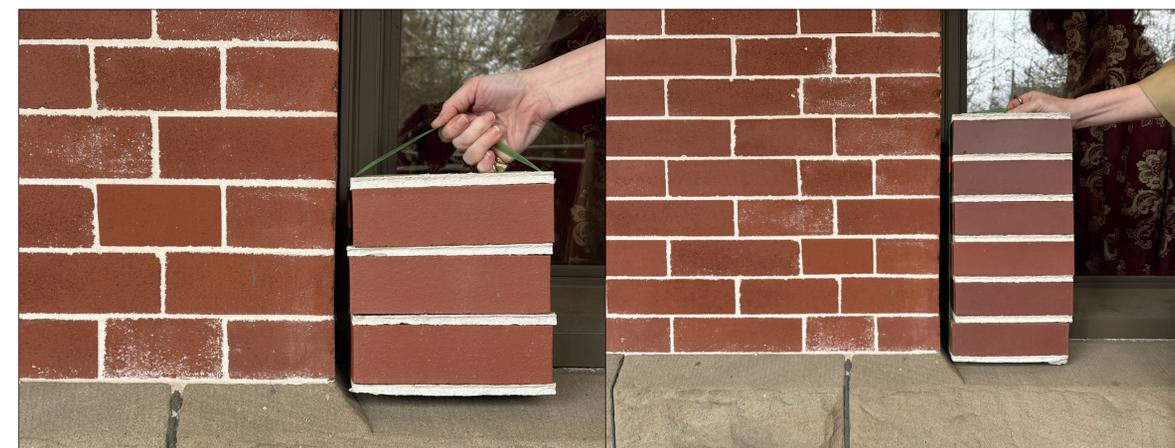
EXISTING METAL FENCE - NEW TO MATCH 4



PROPOSED BRICK COMPARISON IMAGE - MUTUAL MATERIALS 3



PROPOSED BRICK COMPARISON IMAGE - PACIFIC CLAY PRODUCTS 2



503-505 RANGE

COLONY RED RANGE

PROPOSED BRICK COMPARISON IMAGES - BELDEN BRICK COMPANY 1



REVISIONS

MOORE MANSION
LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA

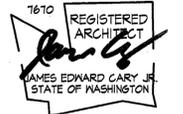
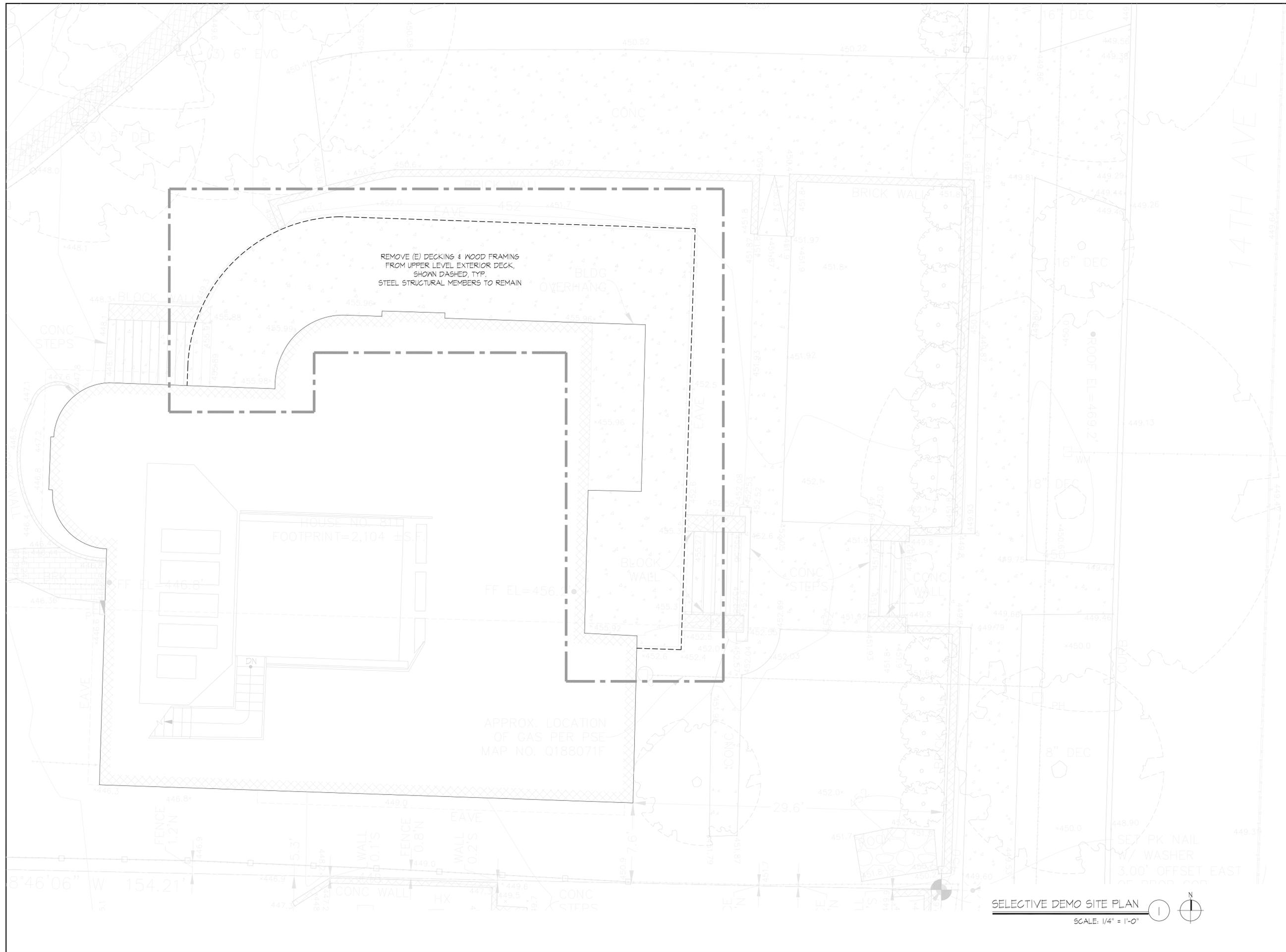


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

FENCE &
RETAINING WALL
PROPOSED MATERIALS

A5.0



REVISIONS

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

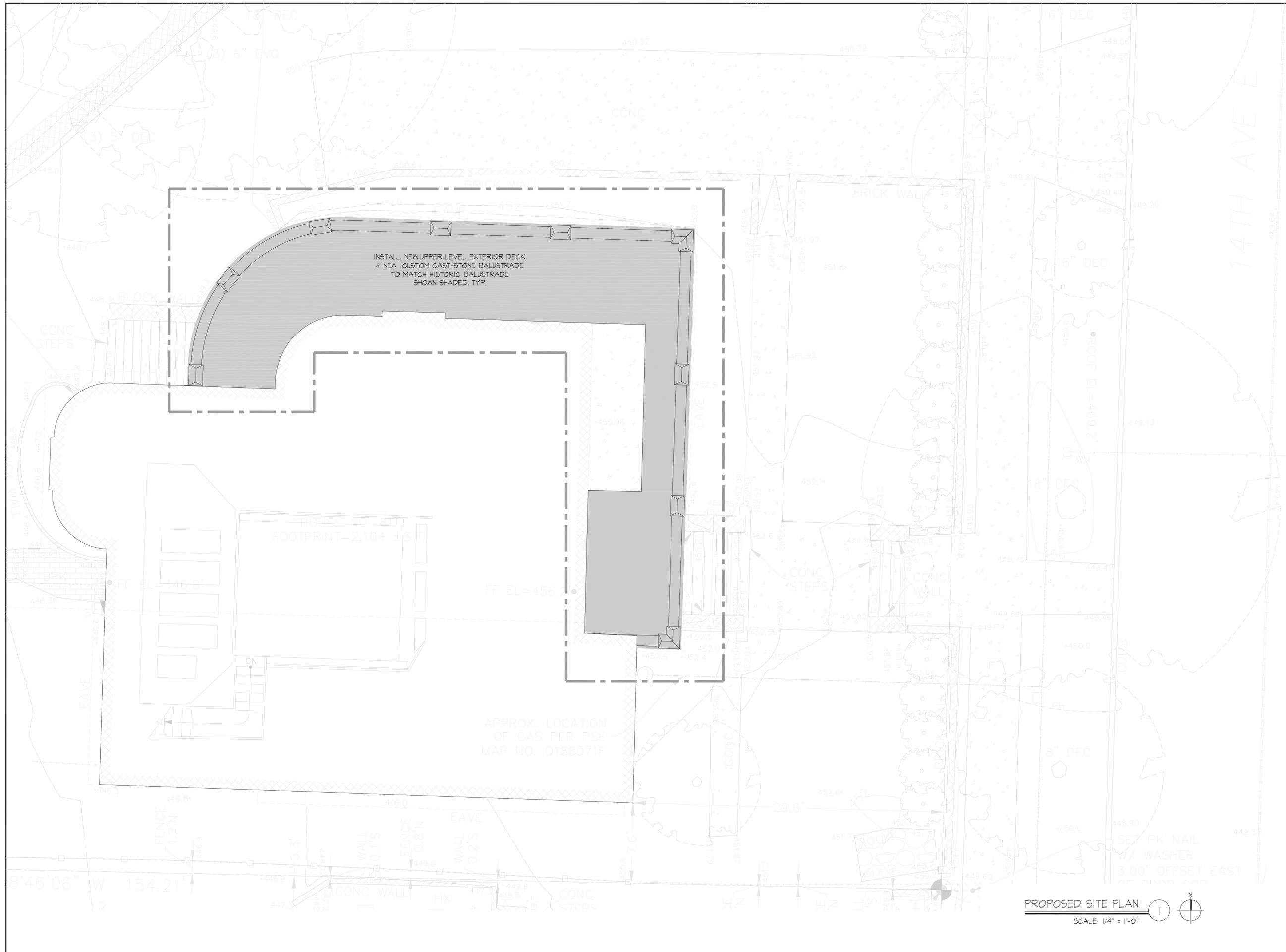
#2523
20 MARCH 2026

SELECTIVE DEMO
SITE PLAN
BALUSTRADE

D1.0

SELECTIVE DEMO SITE PLAN
SCALE: 1/4" = 1'-0"





REVISIONS

NO.	DATE	DESCRIPTION

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

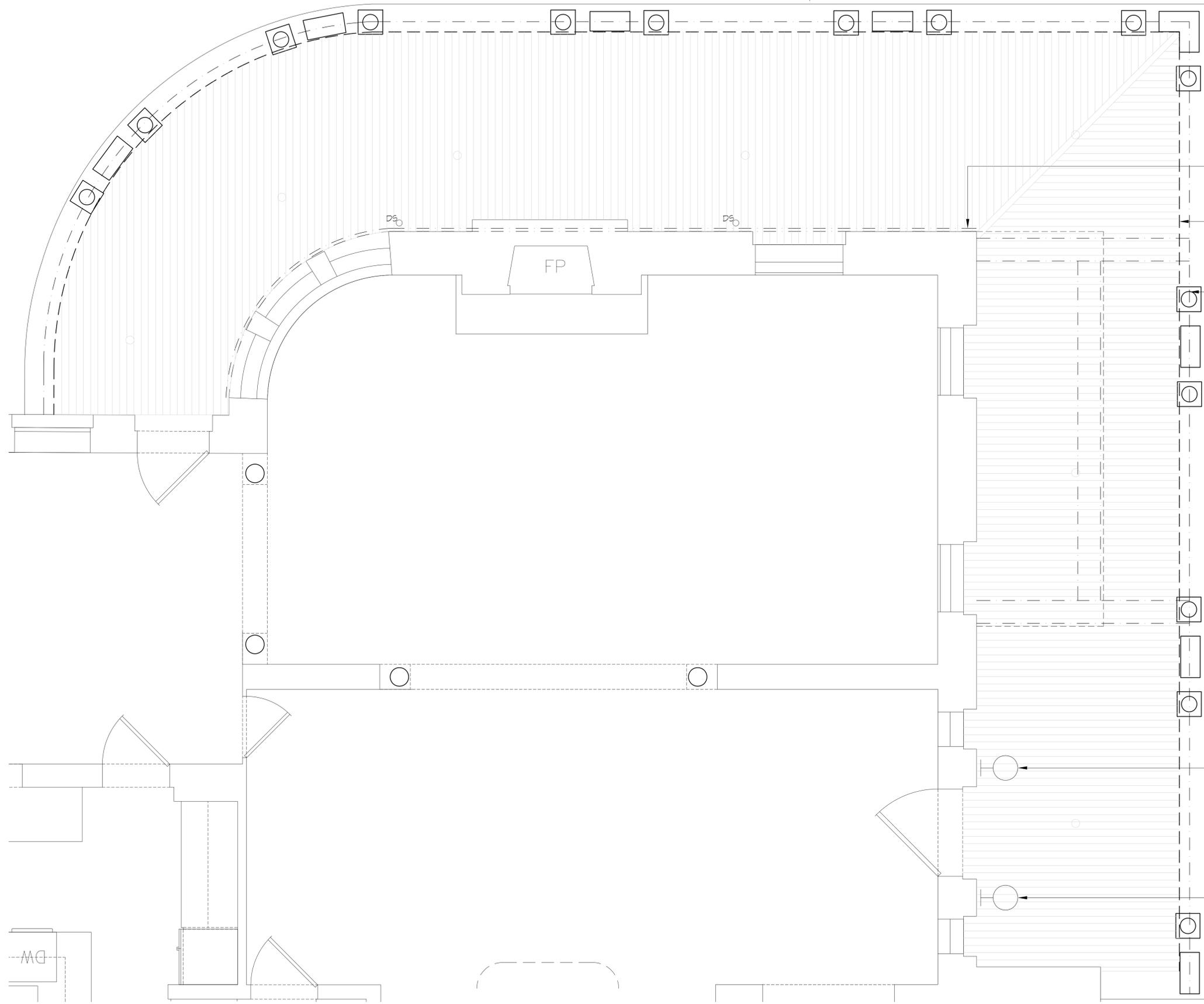
PROPOSED
SITE PLAN
BALUSTRADE

A1.0

PROPOSED SITE PLAN
SCALE: 1/4" = 1'-0"



3
D2.1



- (E) 4x10 PT LEDGER ABOVE TO REMAIN
- REMOVE (E) BEAD BOARD PORCH CEILING, LIGHT FIXTURES, 2x10 WOOD FRAMING, & DECKING ABOVE SHOWN DASHED, TYP. CEILING & LIGHT FIXTURES ARE NOT ORIGINAL CONSTRUCTION.
- ALL (E) STEEL FRAMING ABOVE TO REMAIN, TYP.

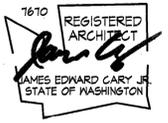
2
D2.1

EXISTING SCONCES TO REMAIN, TYP.

D2.1

EXISTING SCONCES TO REMAIN, TYP.

SELECTIVE DEMO LEVEL 1 RCP
 SCALE: 1/2" = 1'-0"



REVISIONS	

**MOORE MANSION
 LANDMARKS APPLICATION**

811 14TH AVE E
 SEATTLE, WA

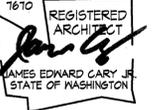


1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

#2523
 20 MARCH 2026

SELECTIVE DEMO
 LEVEL 1
 RCP
 BALUSTRADE

D2.1.1



REVISIONS

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA

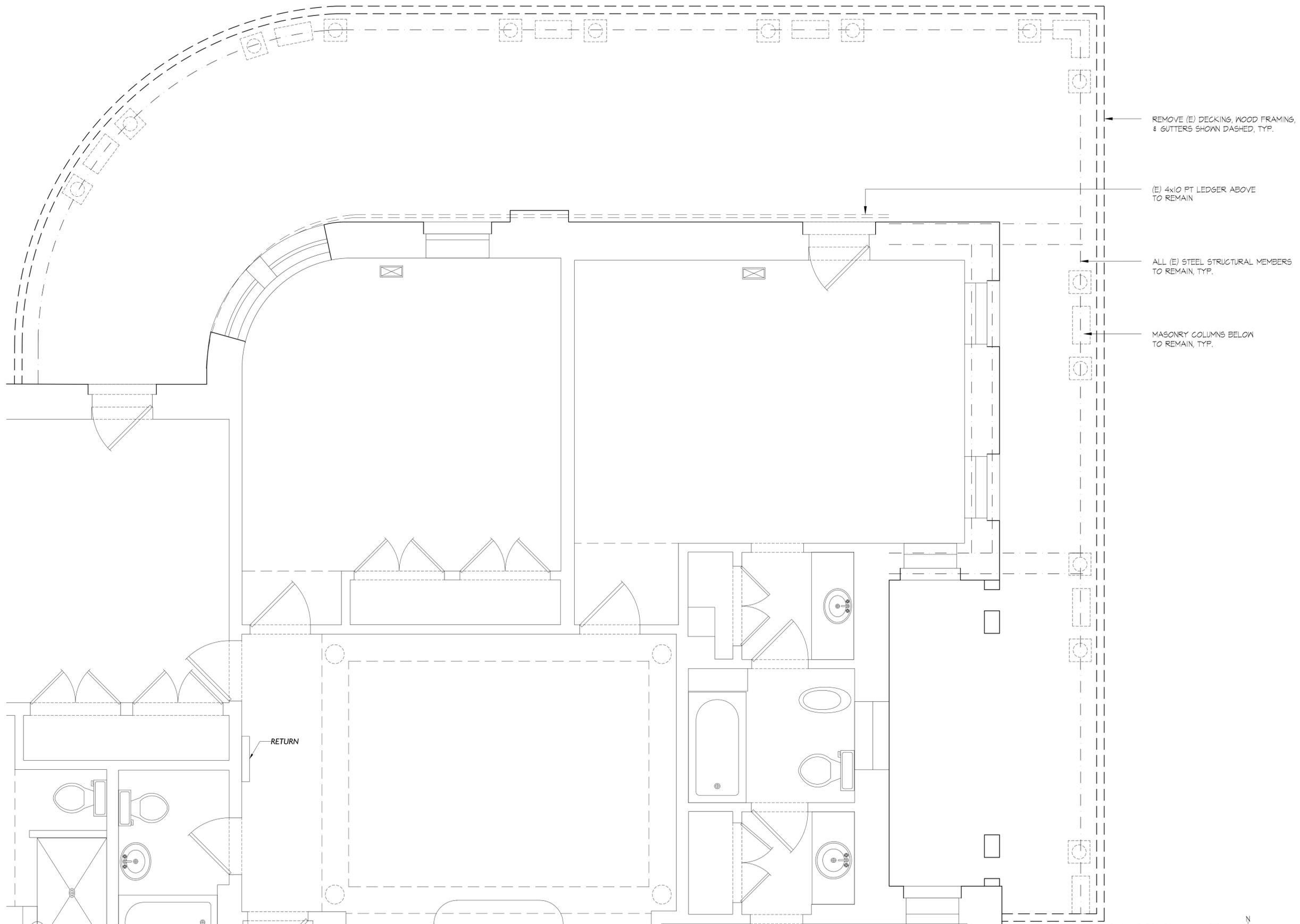


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

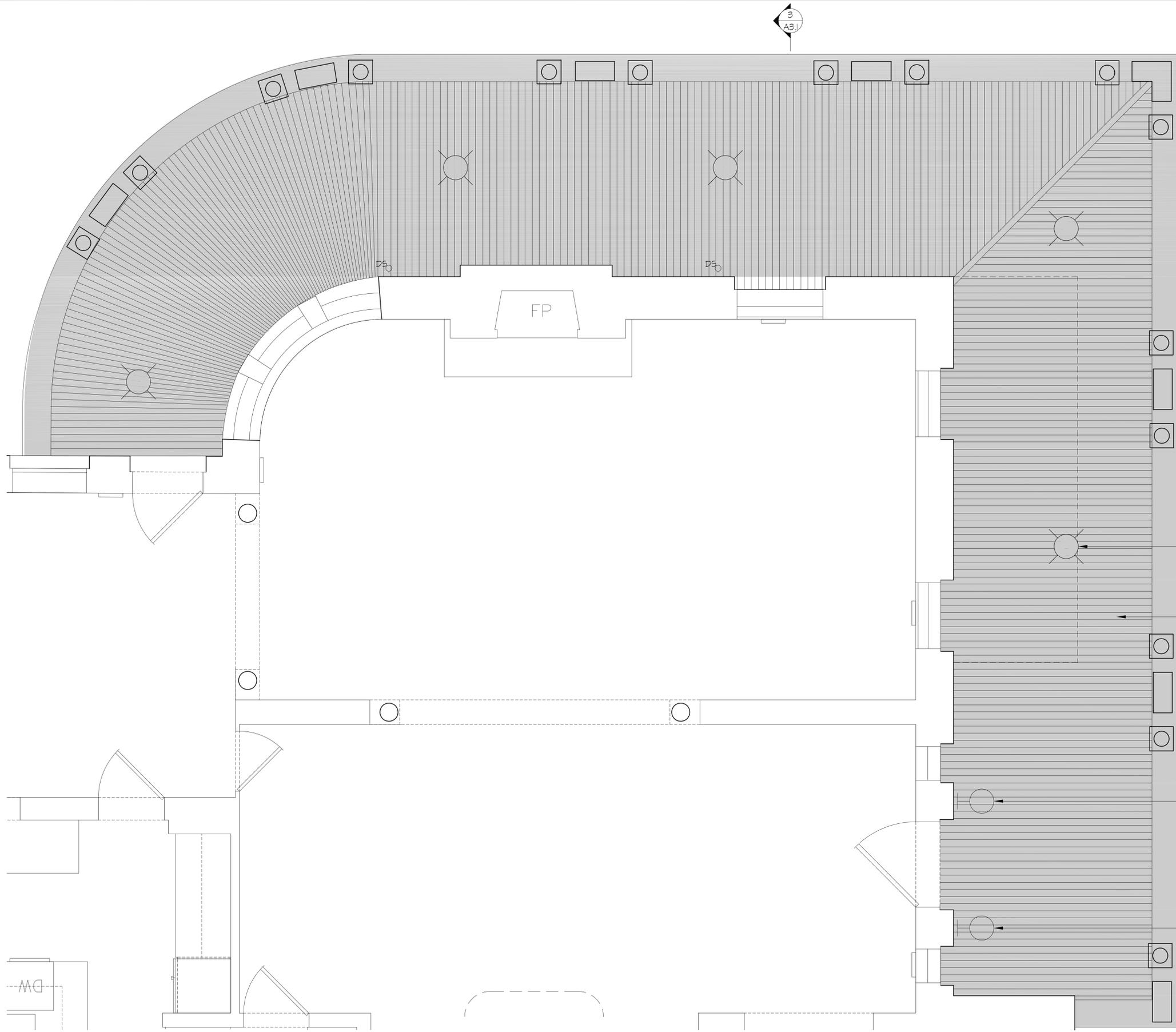
#2523
20 MARCH 2026

SELECTIVE DEMO
LEVEL 2
FLOOR PLAN
BALUSTRADE

D2.2



SELECTIVE DEMO LEVEL 2 FLOOR PLAN
SCALE: 1/4" = 1'-0" 



EXISTING ENTRY W/
SCONCES TO REMAIN

3



PROPOSED
CEILING LIGHT FIXTURE

2

2
AB1

INSTALL NEW SURFACE MOUNTED
LIGHT FIXTURES SHOWN SHADED, TYP.
REJUVENATION THURMAN 4" FITTER FLUSH MOUNT
BURNISHED ANTIQUE FINISH,
12" CARUS WHITE GLASS BOWL

INSTALL NEW 1x4 CEDAR CEILING
UNDER NEW DECK ABOVE
SHOWN SHADED, TYP.
PAINT TO MATCH EXISTING.

EXISTING SCONCES
TO REMAIN, TYP.

3
AB1

EXISTING SCONCES
TO REMAIN, TYP.

LEVEL 1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



REVISIONS

NO.	DESCRIPTION

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA

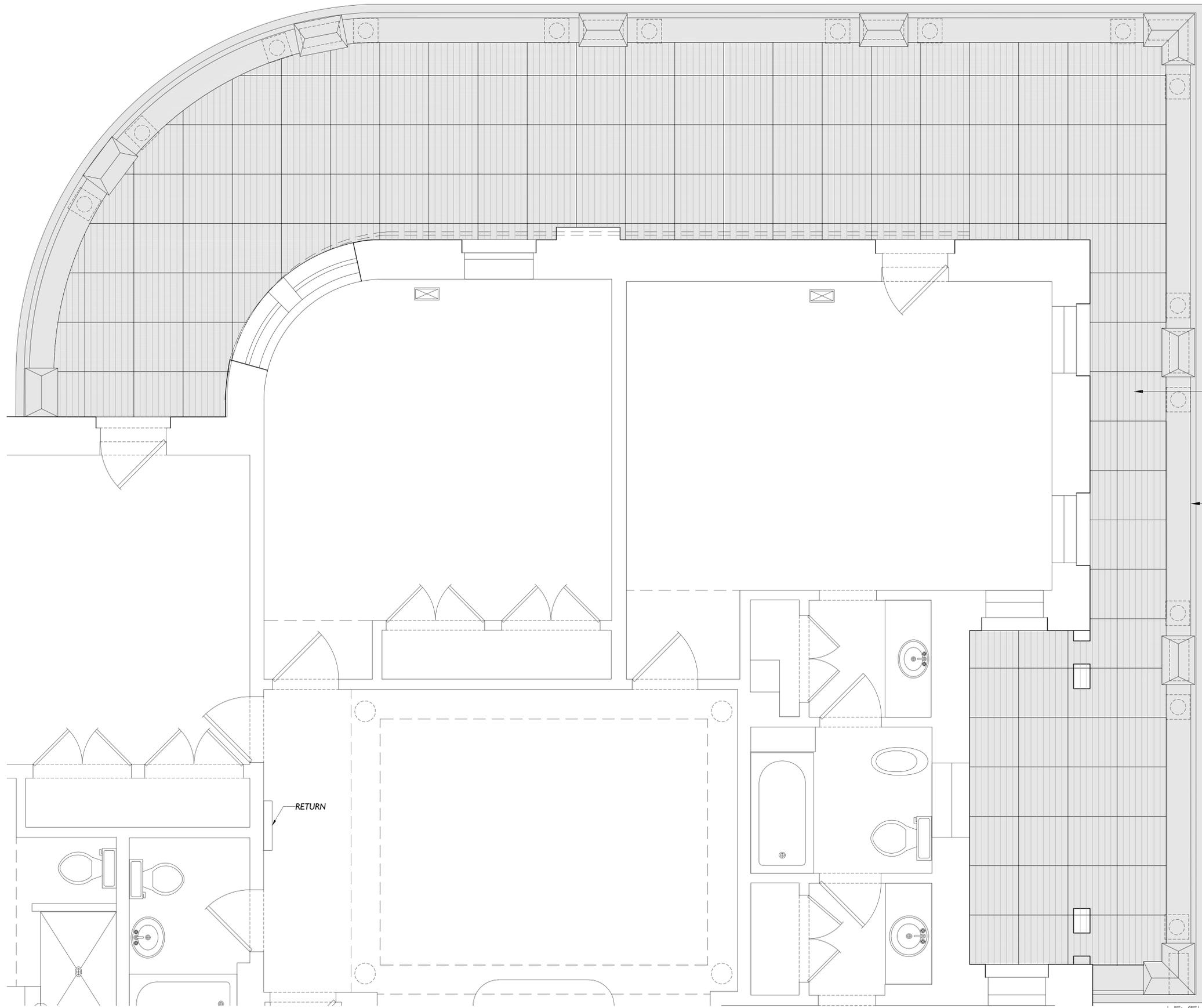


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

PROPOSED
LEVEL 1
RCP
BALUSTRADE

A2.1.1



INSTALL NEW DECKING ON NEW DECK
SHOWN SHADED, TYP.

INSTALL NEW GUTTER
SHOWN SHADED, TYP.

INSTALL NEW CAST STONE BALUSTRADE,
SHOWN SHADED, TYP.

RETURN

LEVEL 2 FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISIONS	

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA

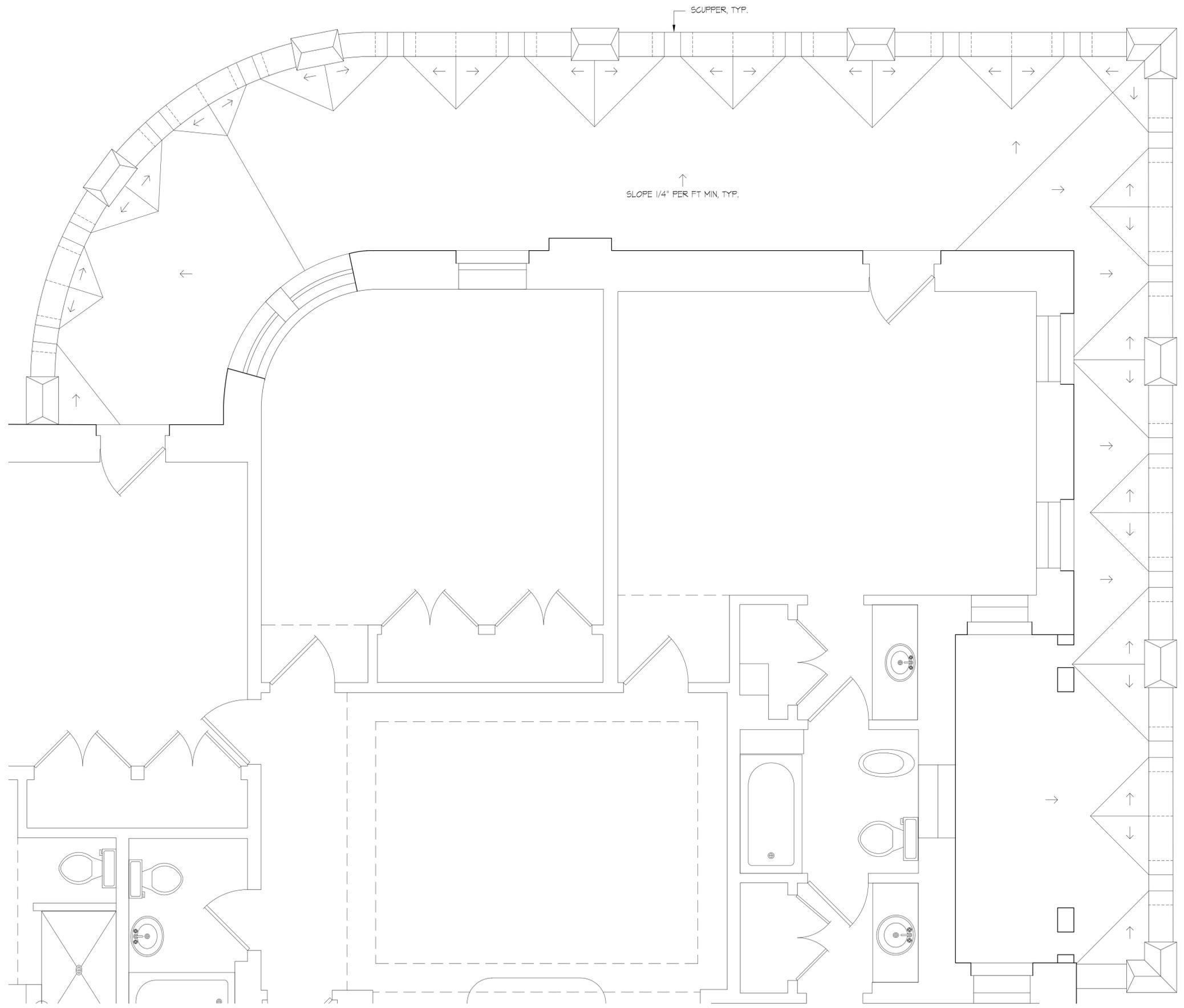


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

PROPOSED
LEVEL 2
FLOOR PLAN
BALUSTRADE

A2.2



SCUPPER, TYP.

SLOPE 1/4" PER FT MIN, TYP.

LEVEL 2 DECK DRAINAGE PLAN
SCALE: 1/4" = 1'-0"



REVISIONS

NO.	DESCRIPTION

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA

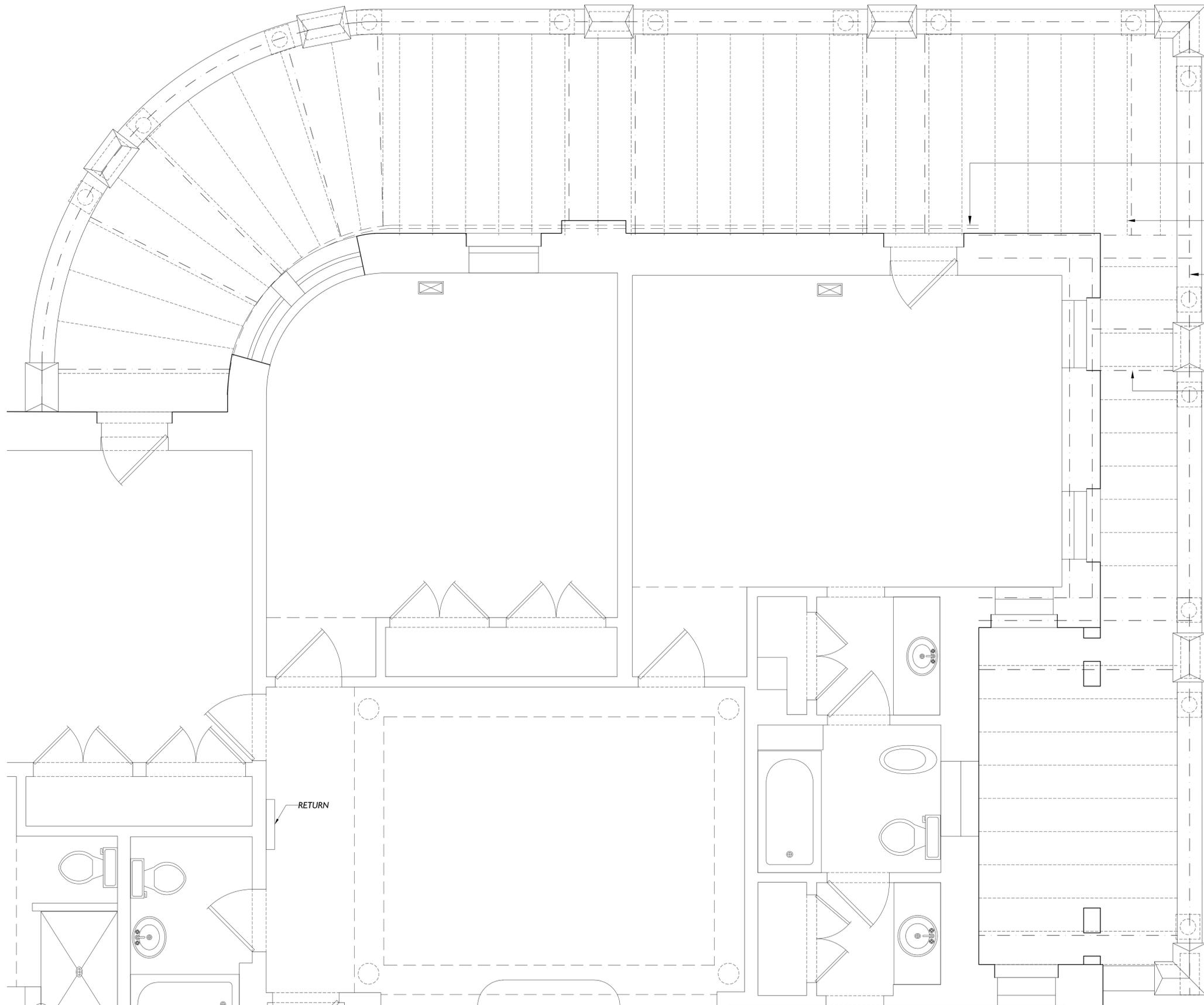


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

LEVEL 2 DECK
DRAINAGE PLAN

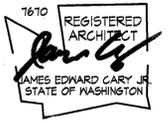
A2.2.1



- (E) 4x10 PT LEDGER ABOVE TO REMAIN
- INSTALL NEW SLOPED 2x10 WOOD DECK FRAMING @ 16" O.C., TYP.
- ALL (E) STEEL FRAMING ABOVE TO REMAIN, TYP.
- INSTALL NEW 8" STEEL CHANNEL ON EACH SIDE OF NEW PIERS OF NEW BALUSTRADE PER STRUCTURAL NOTES, TYP.

RETURN

LEVEL 2 FRAMING PLAN
SCALE: 1/4" = 1'-0"



REVISIONS

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA

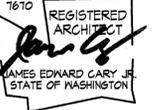


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

PROPOSED
LEVEL 2
FRAMING PLAN
BALUSTRADE

A2.2.2



NOTE:
GUTTER & FASCIA ARE NOT ORIGINAL CONSTRUCTION.
GUTTER & FASCIA TO BE REMOVED AND REPLACED IN KIND W/ NEW CONSTRUCTION TO MATCH

REVISIONS	

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA

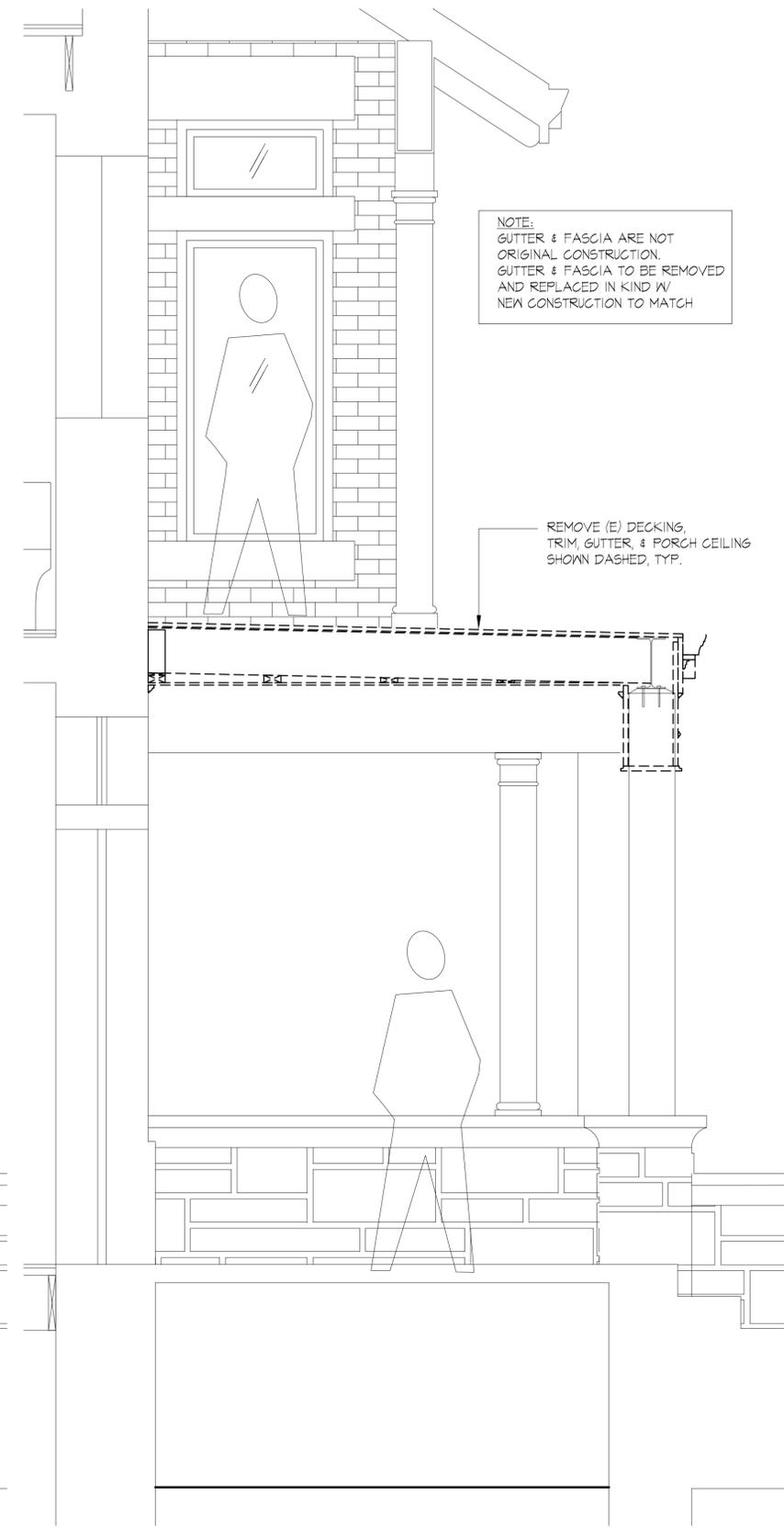


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

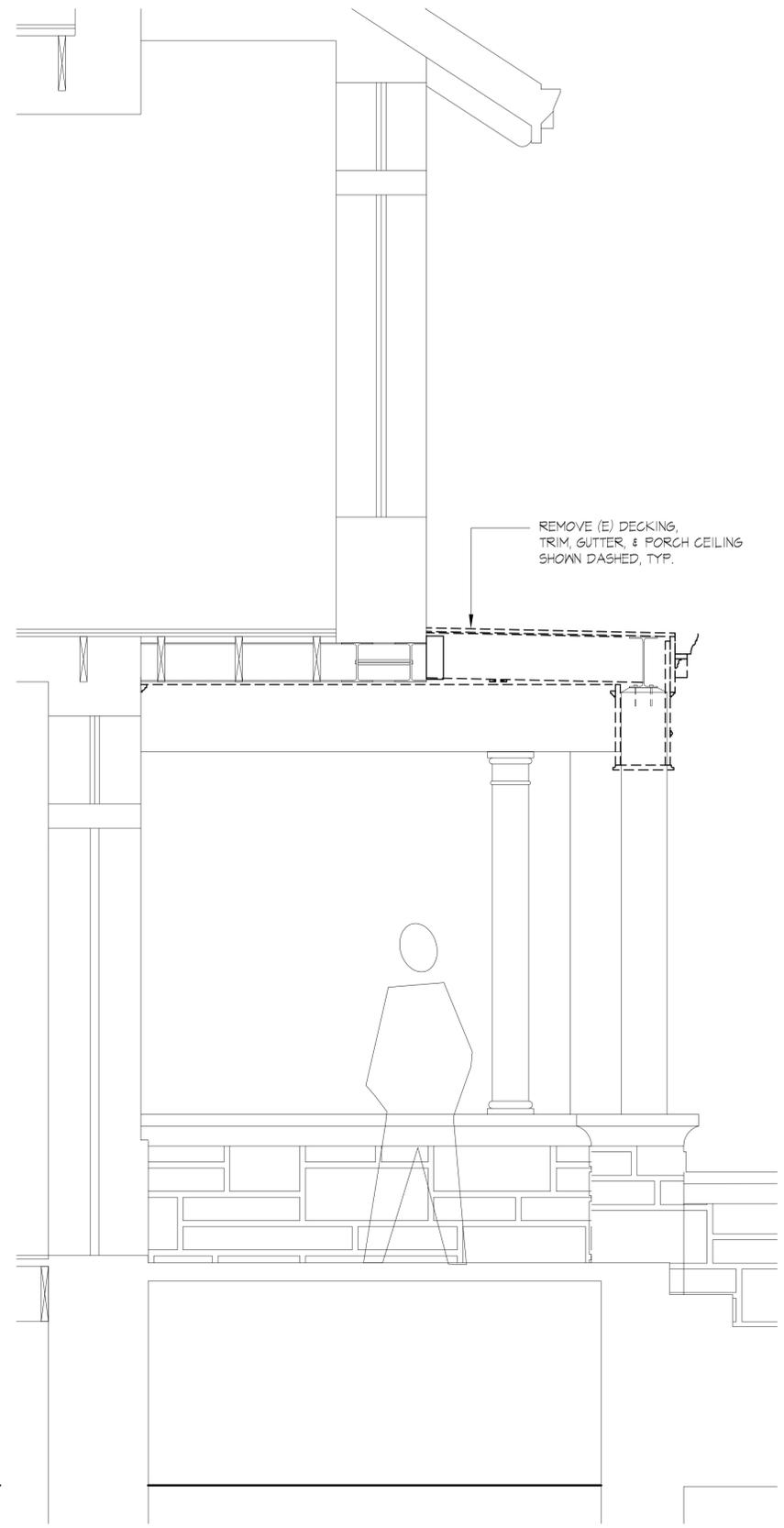
#2523
20 MARCH 2026

SELECTIVE DEMO
DECK SECTIONS
BALUSTRADE

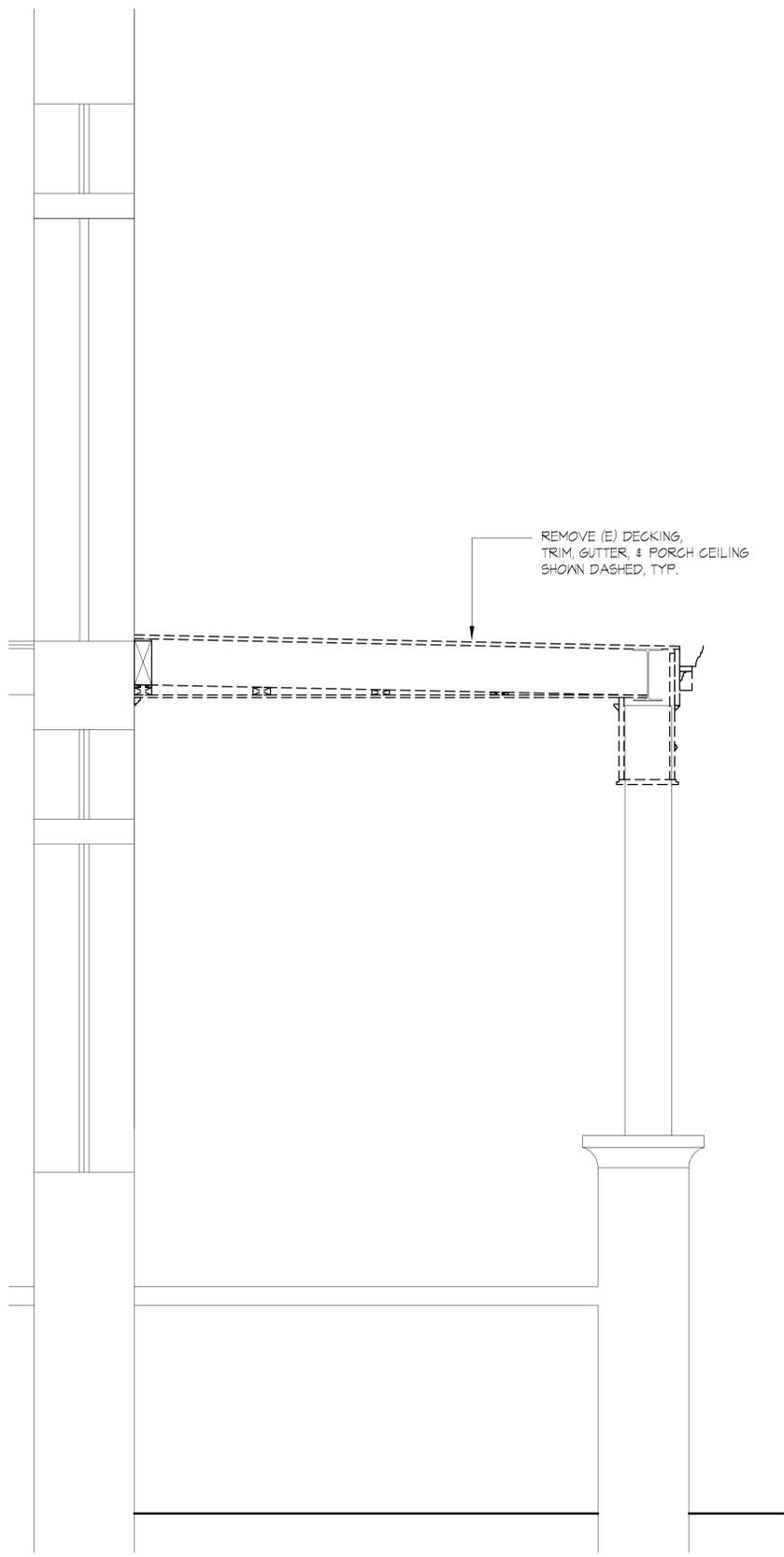
D3.1



SELECTIVE DEMO SECTION THROUGH DECK 1
SCALE: 3/4" = 1'-0"



SELECTIVE DEMO SECTION THROUGH DECK 2
SCALE: 3/4" = 1'-0"



SELECTIVE DEMO SECTION THROUGH DECK 3
SCALE: 3/4" = 1'-0"



REVISIONS

MOORE MANSION LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

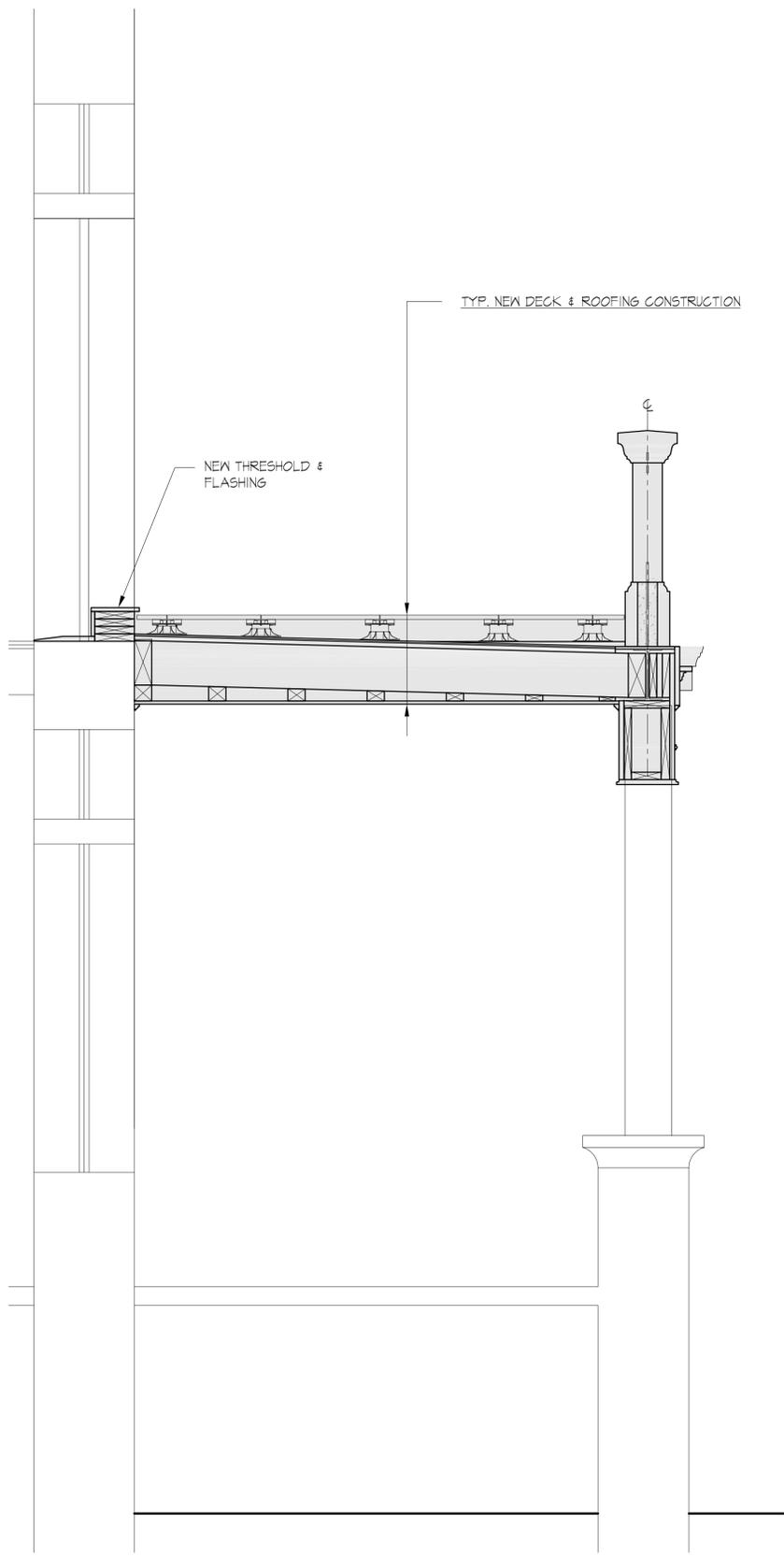
PROPOSED
DECK SECTIONS
BALUSTRADE

A3.1

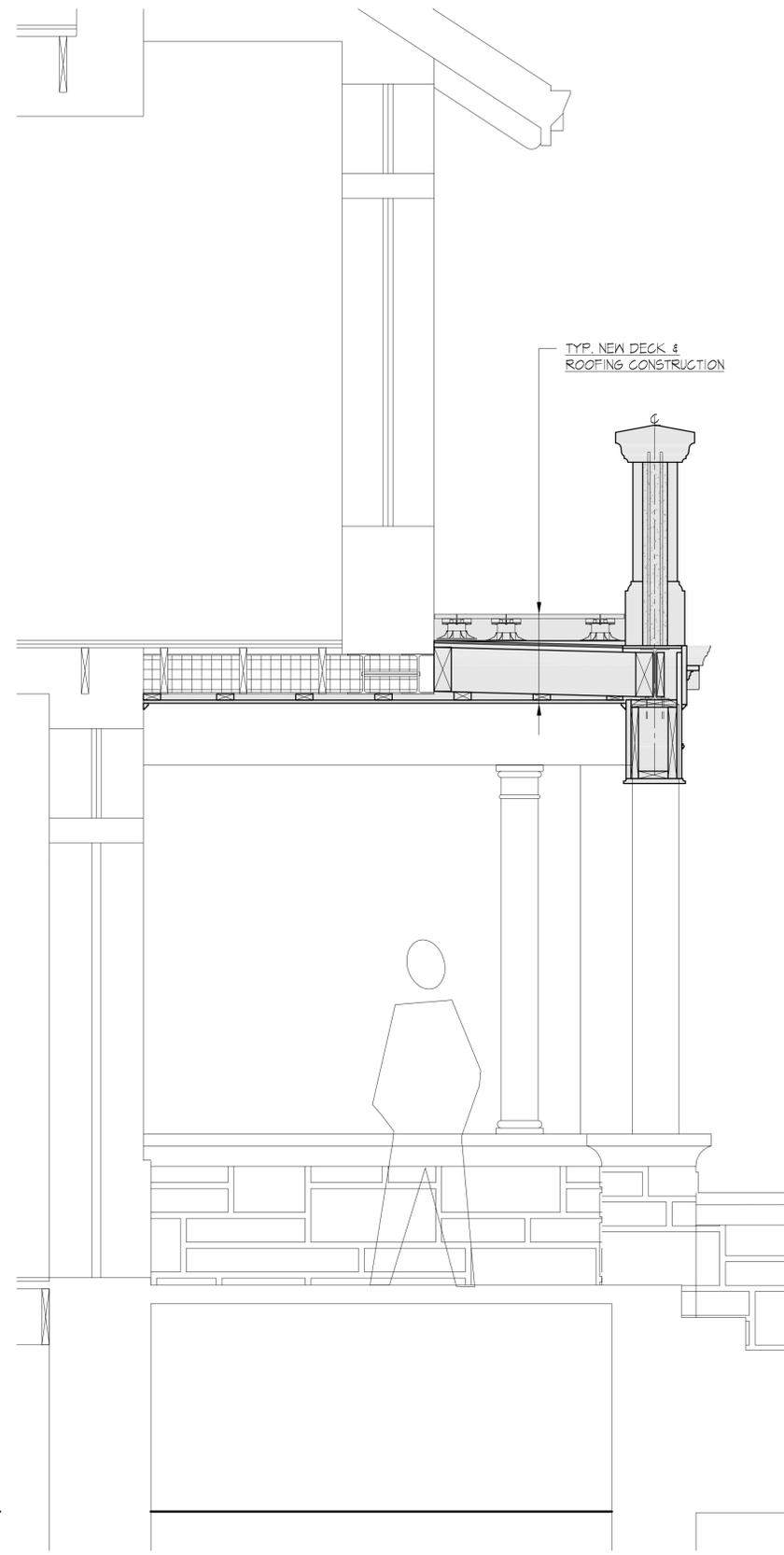
- TYP. NEW DECK & ROOFING CONSTRUCTION
- * NEW 1-1/2" WOOD DECK PAVERS INSTALLED ON ADJUSTABLE PEDESTALS
 - * NEW BUILT UP ROOFING
 - * NEW COVER BOARD
 - * NEW 3/4" PLYWOOD SHEATHING
 - * NEW 2x10 DECK FRAMING
 - * NEW 1x4 WOOD PORCH CEILING, PAINTED, ON WOOD FURRING STRIPS

NEW BALUSTRADE TO MATCH HISTORIC BALUSTRADE

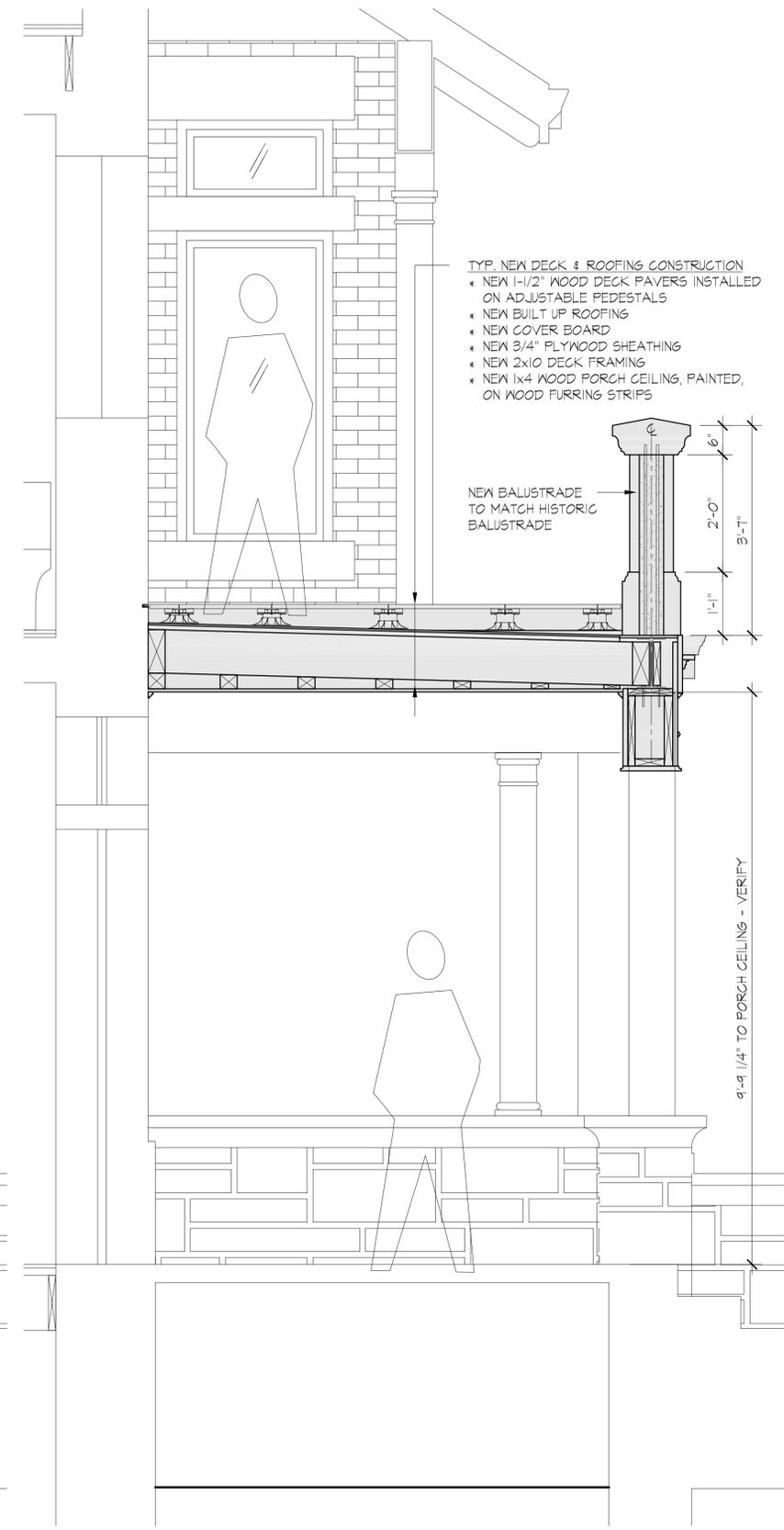
6"
2'-0"
3'-1"
1'-1"
9'-4 1/4" TO PORCH CEILING - VERIFY



SECTION THROUGH DECK 3
SCALE: 3/4" = 1'-0"



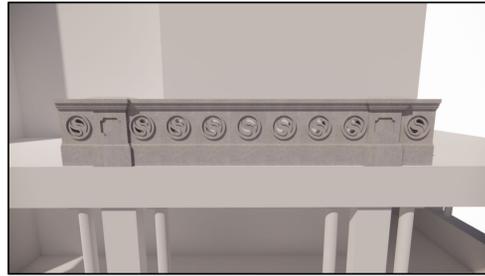
SECTION THROUGH DECK 2
SCALE: 3/4" = 1'-0"



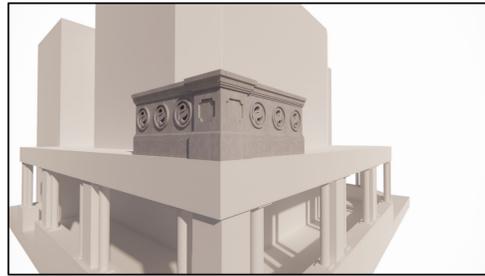
SECTION THROUGH DECK 1
SCALE: 3/4" = 1'-0"



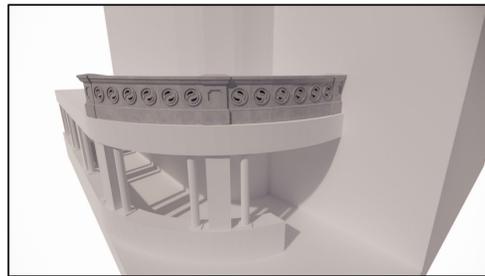
CORNER CONDITION @ SE CORNER 8



TYPICAL STRAIGHT RUN CONDITION 7

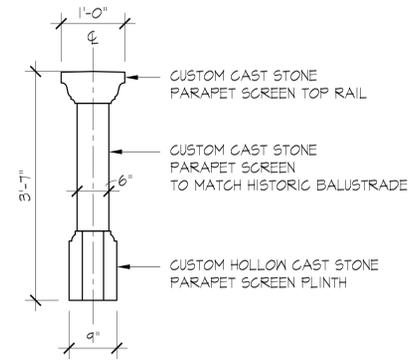


CORNER CONDITION @ NE CORNER 6

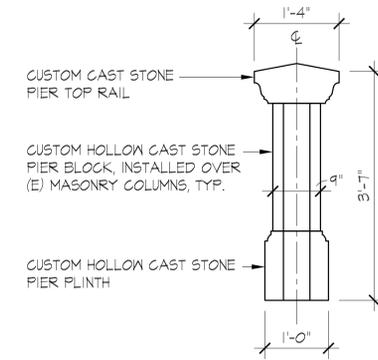


CURVED CONDITION @ NW CORNER 5

CAST STONE CONTACT:
 HADDONSTONE USA LTD.
 CONTACT: CHRIS DOYLE
 WEB: HADDONSTONE.COM
 PHONE: (719) 448-4554



TYPICAL SECTION THROUGH PARAPET SCREEN 3
 SCALE: 3/4" = 1'-0"



TYPICAL SECTION THROUGH PIER 2
 SCALE: 3/4" = 1'-0"

BALUSTRADE SCREEN COMPONENTS

PARAPET SCREEN TOP-RAIL		SCREEN TOP-RAIL PROFILE
DESCRIPTION:	TYPICAL SCREEN TOP-RAIL	
CURVATURE:	NO	
LOCATION:	STRAIGHT SECTIONS OF BALUSTRADE	
LENGTHS:	(1) @ 2'-2", (3) @ ~10'-7", (3) @ ~9'-6"	
QUANTITY:	(7) TOTAL INCLUDING (1) W/ PARTIAL CURVE	SCALE: 3/4" = 1'-0"
DESCRIPTION:	CURVED SCREEN TOP-RAIL	
CURVATURE:	13'-11" RADIUS @ CENTERLINE, VERIFY	
LOCATION:	CURVED SECTIONS OF BALUSTRADE	
LENGTHS:	(1) @ ~8'-3", (1) ~7'-9"	
QUANTITY:	(2) TOTAL	SCALE: 3/4" = 1'-0"

BALUSTRADE PIER COMPONENTS

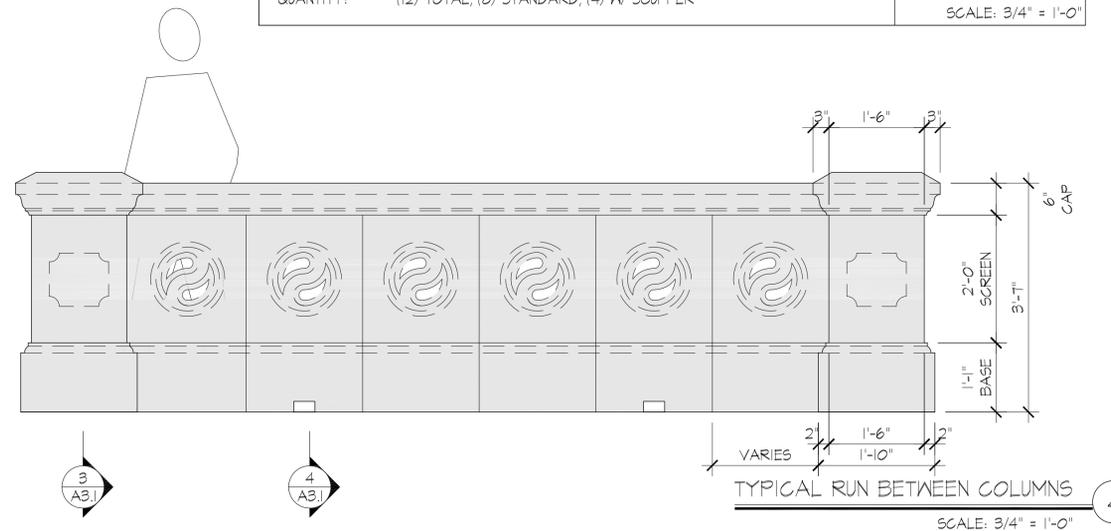
PIER CAP		PIER TOP-RAIL PROFILE
DESCRIPTION:	TYPICAL PIER TOP-RAIL	
CURVATURE:	NO	
LOCATION:	STRAIGHT SECTIONS OF BALUSTRADE	
LENGTHS:	2'-0"	
QUANTITY:	(4) TOTAL	SCALE: 3/4" = 1'-0"
DESCRIPTION:	CURVED PIER TOP-RAIL	
CURVATURE:	13'-11" RADIUS @ CENTERLINE, VERIFY	
LOCATION:	CURVED SECTIONS OF BALUSTRADE	
LENGTHS:	~ 2'-0" - ARC LENGTH @ CENTERLINE	
QUANTITY:	(3) TOTAL	SCALE: 3/4" = 1'-0"
DESCRIPTION:	CORNER PIER TOP-RAIL	
CURVATURE:	NO	
LOCATION:	CORNERS OF BALUSTRADE	
LENGTHS:	2'-0", BOTH DIRECTIONS	
QUANTITY:	(2) TOTAL	SCALE: 3/4" = 1'-0"

PARAPET SCREEN		SCREEN SECT. PROFILE
DESCRIPTION:	TYPICAL SCREEN	
CURVATURE:	NO	
LOCATION:	STRAIGHT SECTIONS OF BALUSTRADE	
LENGTHS:	(1) @ 2'-2", (18) @ 1'-10", (17) @ 1'-8", (1) @ 1'-8" W/ PARTIAL CURVE	
QUANTITY:	(37) TOTAL INCLUDING (1) W/ PARTIAL CURVE	SCALE: 3/4" = 1'-0"
DESCRIPTION:	CURVED SCREEN	
CURVATURE:	13'-11" RADIUS @ CENTERLINE, VERIFY	
LOCATION:	CURVED SECTIONS OF BALUSTRADE	
LENGTHS:	(12) @ ~ 1'-6"	
QUANTITY:	(12) TOTAL	SCALE: 3/4" = 1'-0"

PIER BLOCKS		PIER BLOCK SECT. PROFILE
DESCRIPTION:	TYPICAL PIER BLOCK	
CURVATURE:	NO	
LOCATION:	STRAIGHT SECTIONS OF BALUSTRADE	
LENGTHS:	1'-6"	
QUANTITY:	(4) TOTAL	SCALE: 3/4" = 1'-0"
DESCRIPTION:	CURVED PIER BLOCK	
CURVATURE:	13'-11" RADIUS @ CENTERLINE, VERIFY	
LOCATION:	CURVED SECTIONS OF BALUSTRADE	
LENGTHS:	~ 1'-6" - ARC LENGTH @ CENTERLINE	
QUANTITY:	(3) TOTAL	SCALE: 3/4" = 1'-0"
DESCRIPTION:	CORNER PIER BLOCK	
CURVATURE:	NO	
LOCATION:	CORNERS OF BALUSTRADE	
LENGTHS:	1'-6", BOTH DIRECTIONS	
QUANTITY:	(2) TOTAL	SCALE: 3/4" = 1'-0"

PARAPET SCREEN PLINTHS		SCREEN PLINTH PROFILE
DESCRIPTION:	TYPICAL SCREEN PLINTH	
CURVATURE:	NO	
LOCATION:	STRAIGHT SECTIONS OF BALUSTRADE	
LENGTHS:	(1) @ 2'-2", (18) @ 1'-10", (17) @ 1'-8", (1) @ 1'-8" W/ PARTIAL CURVE	
QUANTITY:	(37) TOTAL, (20) STANDARD, (16) W/ SCUPPERS, (1) W/ PARTIAL CURVE	SCALE: 3/4" = 1'-0"
DESCRIPTION:	CURVED SCREEN PLINTH	
CURVATURE:	13'-11" RADIUS @ CENTERLINE, VERIFY	
LOCATION:	CURVED SECTIONS OF BALUSTRADE	
LENGTHS:	(12) @ ~ 1'-6"	
QUANTITY:	(12) TOTAL, (8) STANDARD, (4) W/ SCUPPER	SCALE: 3/4" = 1'-0"

PIER PLINTHS		PIER PLINTH PROFILE
DESCRIPTION:	TYPICAL PIER PLINTH	
CURVATURE:	NO	
LOCATION:	STRAIGHT SECTIONS OF BALUSTRADE	
LENGTHS:	1'-10"	
QUANTITY:	(4) TOTAL	SCALE: 3/4" = 1'-0"
DESCRIPTION:	CURVED PIER PLINTH	
CURVATURE:	13'-11" RADIUS @ CENTERLINE, VERIFY	
LOCATION:	CURVED SECTIONS OF BALUSTRADE	
LENGTHS:	~ 1'-10" - ARC LENGTH @ CENTERLINE	
QUANTITY:	(3) TOTAL	SCALE: 3/4" = 1'-0"
DESCRIPTION:	CORNER PIER PLINTH	
CURVATURE:	NO	
LOCATION:	CORNERS OF BALUSTRADE	
LENGTHS:	1'-10", BOTH DIRECTIONS	
QUANTITY:	(2) TOTAL	SCALE: 3/4" = 1'-0"



TYPICAL RUN BETWEEN COLUMNS 4
 SCALE: 3/4" = 1'-0"

BALUSTRADE COMPONENTS 1



REVISIONS

NO.	DESCRIPTION

MOORE MANSION
 LANDMARKS APPLICATION

811 14TH AVE E
 SEATTLE, WA



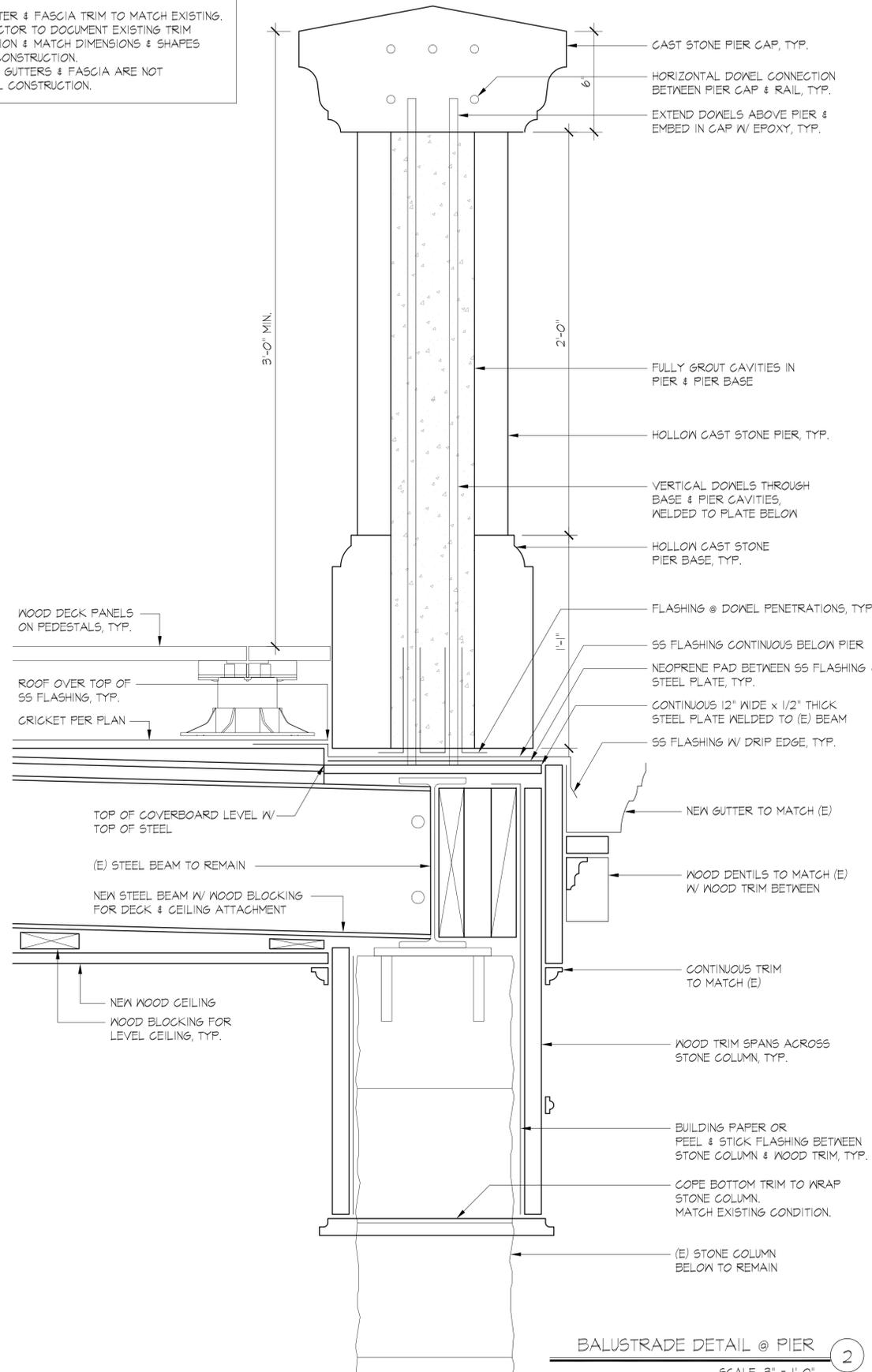
1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

#2523
 20 MARCH 2026

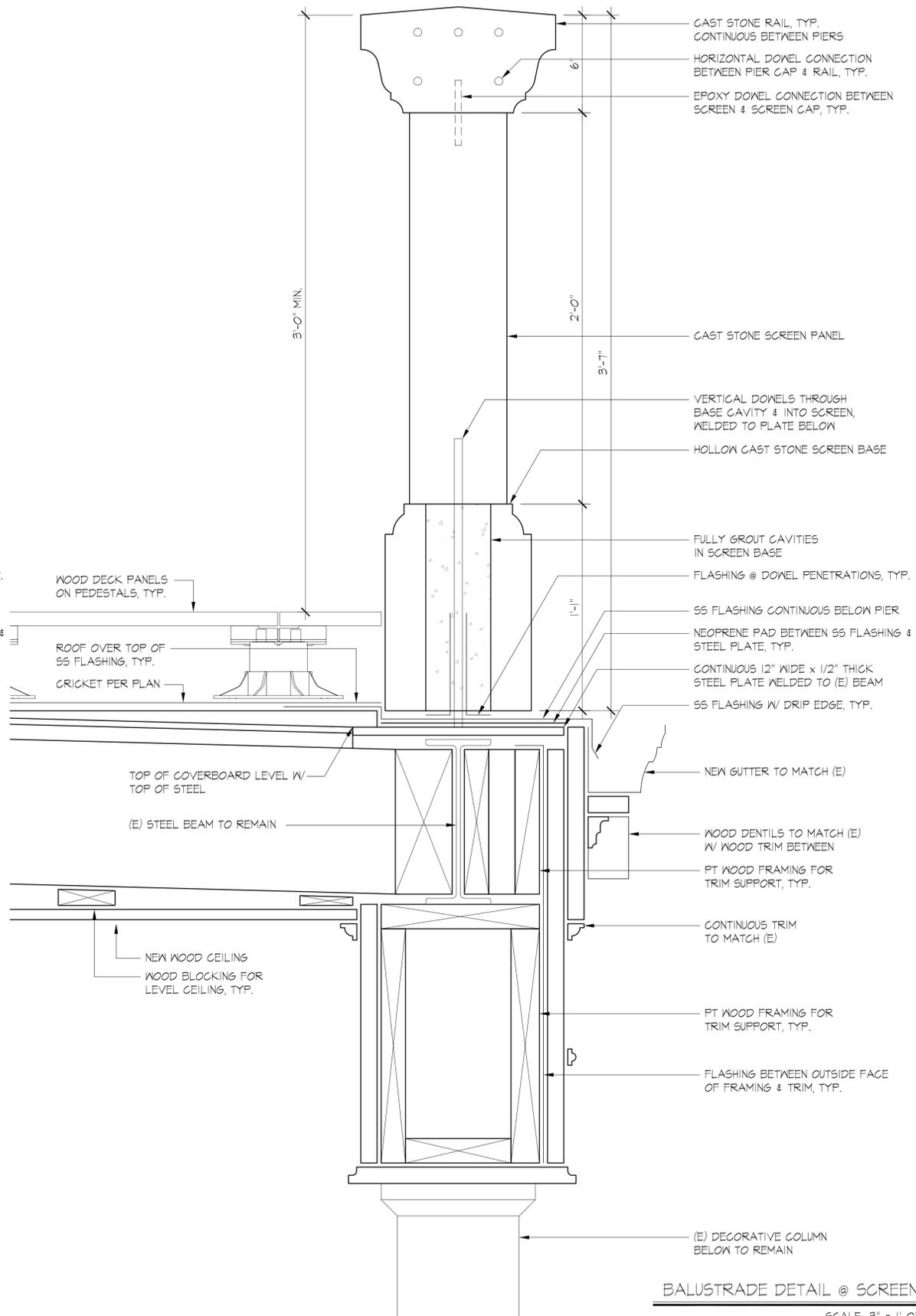
PROPOSED
 COMPONENTS
 & DETAILS
 BALUSTRADE

A3.2

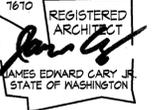
NOTE:
 NEW GUTTER & FASCIA TRIM TO MATCH EXISTING.
 CONTRACTOR TO DOCUMENT EXISTING TRIM
 DEMOLITION & MATCH DIMENSIONS & SHAPES
 W/ NEW CONSTRUCTION.
 EXISTING GUTTERS & FASCIA ARE NOT
 ORIGINAL CONSTRUCTION.



BALUSTRADE DETAIL @ PIER 2
 SCALE: 3" = 1'-0"



BALUSTRADE DETAIL @ SCREEN 1
 SCALE: 3" = 1'-0"



REVISIONS	

MOORE MANSION
 LANDMARKS APPLICATION

811 14TH AVE E
 SEATTLE, WA



1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

#2523
 20 MARCH 2026

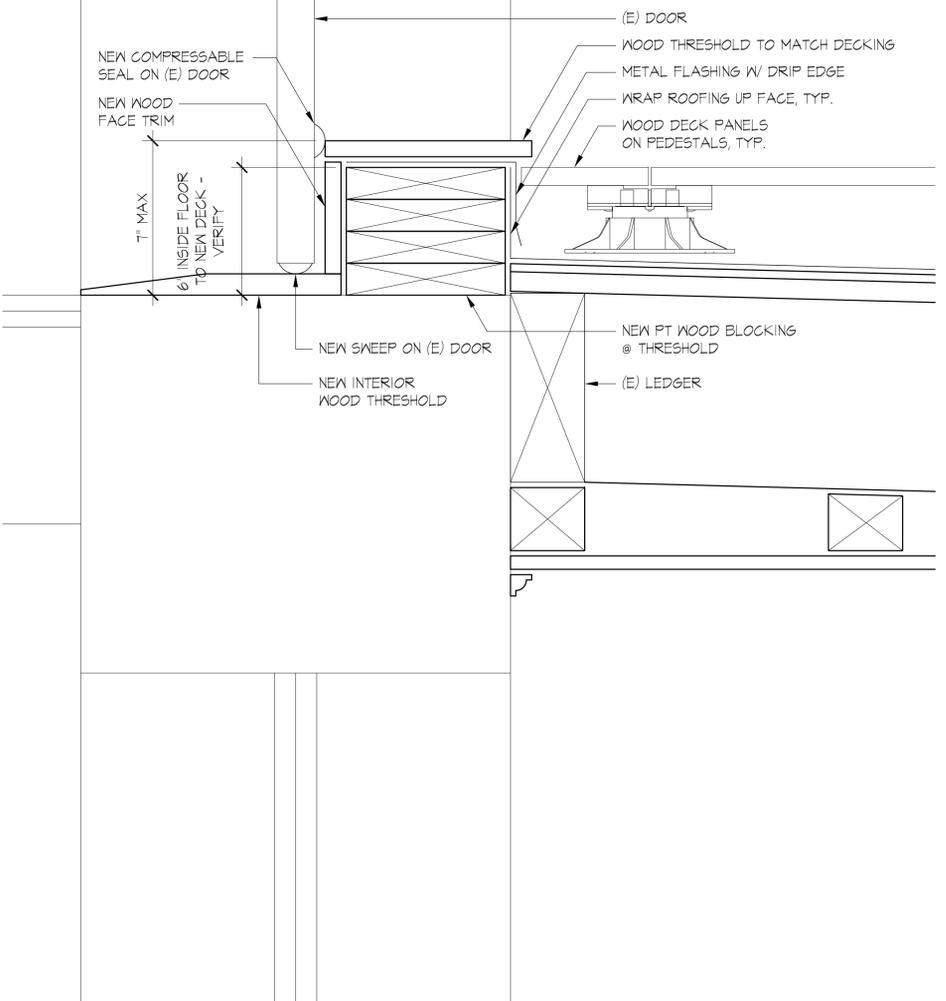
BALUSTRADE
 DETAILS

A3.3

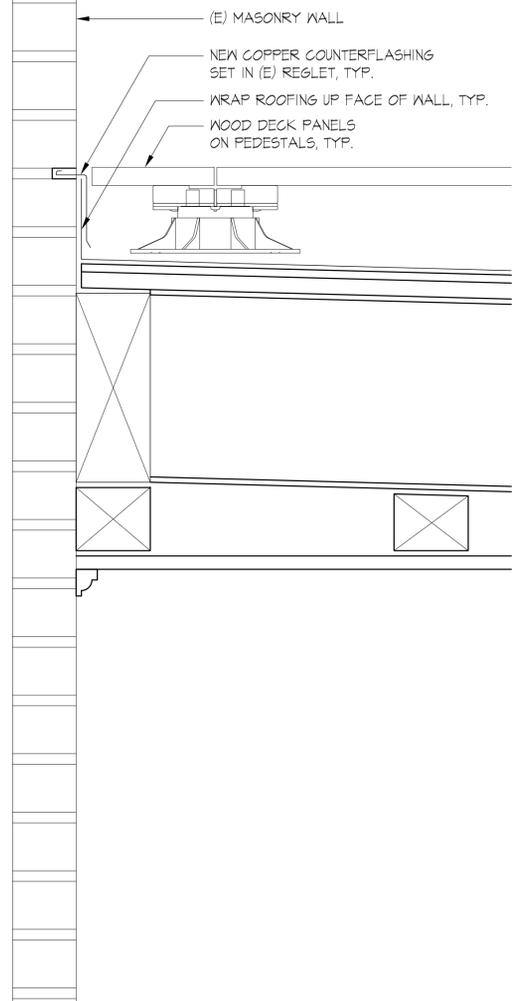


NOTE:
 NEW GUTTER & FASCIA TRIM TO MATCH EXISTING.
 CONTRACTOR TO DOCUMENT EXISTING TRIM
 DEMOLITION & MATCH DIMENSIONS & SHAPES
 W/ NEW CONSTRUCTION.
 EXISTING GUTTERS & FASCIA ARE NOT
 ORIGINAL CONSTRUCTION.

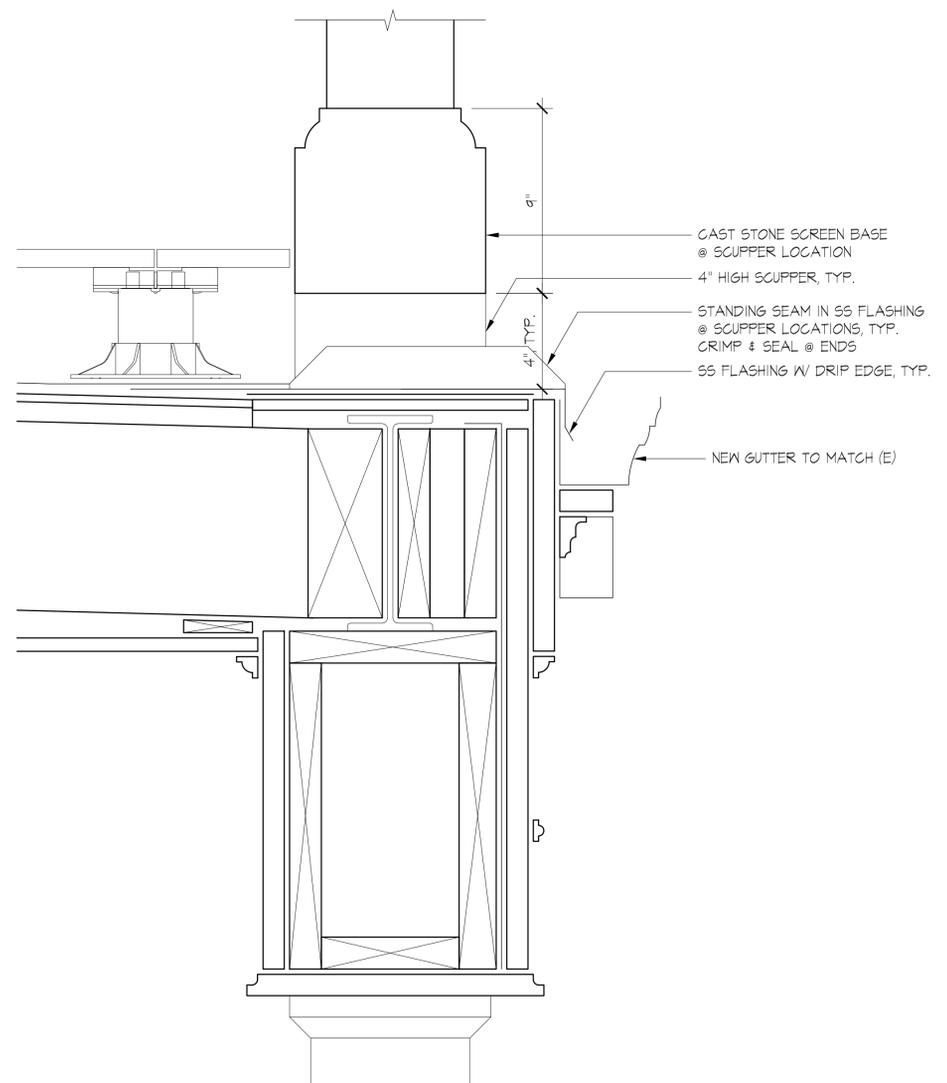
REVISIONS	



DECK DETAIL @ (E) DOOR 3
 SCALE: 3" = 1'-0"



DECK DETAIL @ (E) MASONRY WALL 2
 SCALE: 3" = 1'-0"



BALUSTRADE DETAIL @ SCUPPER 1
 SCALE: 3" = 1'-0"

MOORE MANSION
 LANDMARKS APPLICATION

811 14TH AVE E
 SEATTLE, WA



1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

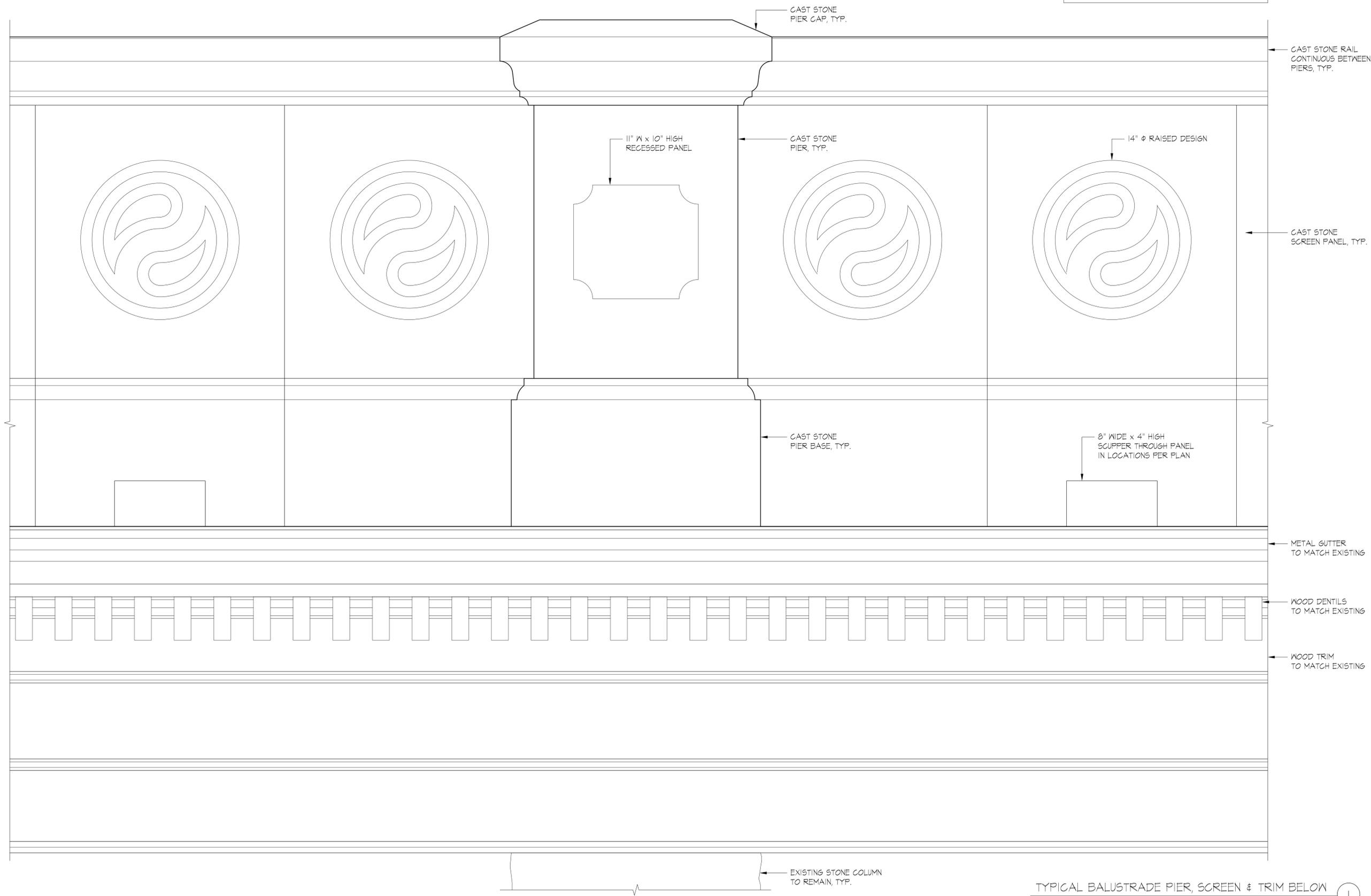
#2523
 20 MARCH 2026

BALUSTRADE & DECK
 DETAILS

A3.4



NOTE:
 NEW GUTTER & FASCIA TRIM TO MATCH EXISTING.
 CONTRACTOR TO DOCUMENT EXISTING TRIM
 DEMOLITION & MATCH DIMENSIONS & SHAPES
 W/ NEW CONSTRUCTION.
 EXISTING GUTTERS & FASCIA ARE NOT
 ORIGINAL CONSTRUCTION.



REVISIONS

NO.	DESCRIPTION

**MOORE MANSION
 LANDMARKS APPLICATION**

811 14TH AVE E
 SEATTLE, WA

CARDINAL
 ARCHITECTURE PC

1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

#2523
 20 MARCH 2026

BALUSTRADE &
 TRIM DETAIL
 ELEVATION

TYPICAL BALUSTRADE PIER, SCREEN & TRIM BELOW 1
 SCALE: 3" = 1'-0"

A3.5



REVISIONS

NO.	DESCRIPTION

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

SELECTIVE DEMO
BUILDING ELEVATIONS
BALUSTRADE

D4.1



CURRENT EAST ELEVATION PHOTO 2



SELECTIVE DEMO EAST ELEVATION 1
SCALE: 1/4" = 1'-0"



REVISIONS

NO.	DESCRIPTION

**MOORE MANSION
LANDMARKS APPLICATION**

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

SELECTIVE DEMO
BUILDING ELEVATIONS
BALUSTRADE

D4.2



CURRENT NORTH ELEVATION PHOTO 2



SELECTIVE DEMO NORTH ELEVATION 1
SCALE: 1/4" = 1'-0"



REVISIONS

MOORE MANSION
LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523

20 MARCH 2026

SELECTIVE DEMO
BUILDING ELEVATIONS
BALUSTRADE

D4.3



PARTIAL HOUSE PHOTO - WEST

2



REMOVE (E) DECKING, WOOD FRAMING,
& GUTTERS SHOWN DASHED, TYP.
EXISTING TRIM IS NOT ORIGINAL
CONSTRUCTION AND WILL BE
REPLACED IN KIND.

SELECTIVE DEMO WEST ELEVATION

SCALE: 1/4" = 1'-0"

1



REVISIONS

MOORE MANSION
LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

SELECTIVE DEMO
BUILDING ELEVATIONS
BALUSTRADE

D4.4



REMOVE (E) DECKING, WOOD FRAMING,
& GUTTERS SHOWN DASHED, TYP.
EXISTING TRIM IS NOT ORIGINAL
CONSTRUCTION AND WILL BE
REPLACED IN KIND.

SELECTIVE DEMO SOUTH ELEVATION 1
SCALE: 1/4" = 1'-0"



PROPOSED DECKING MATERIAL 3

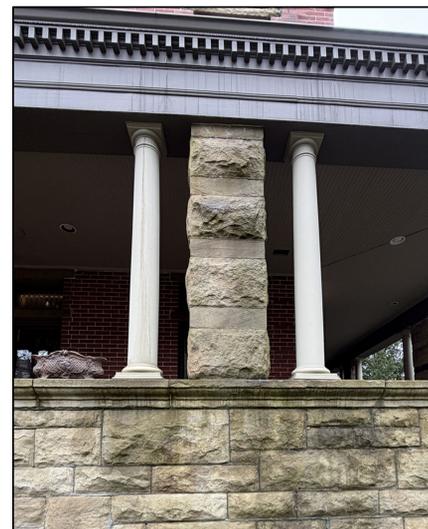


PROPOSED BALUSTRADE MATERIAL COMPARISON 2

CAST STONE COLOR SELECTION:
 THE ONLY REMAINING EVIDENCE OF THE ORIGINAL BALUSTRADE IS IN HISTORIC PHOTOGRAPHS. THE STONE WAS CARVED, & APPEARS TO MATCH THE EXISTING STONE PORCH COLUMNS, AS WELL AS STONE WINDOW LINTELS, SILLS & COLUMNS. THE STONE IS LIKELY THE REGIONAL SANDSTONE FOUND IN QUARRIES SUCH AS THE WILKESON QUARRY IN PIERCE COUNTY. THE BALUSTRADE WAS DAMAGED IN THE 1910S FIRE, & THERE ARE NO REMAINING PIECES FOR REFERENCE.
 CARDINAL USED PHOTOGRAPHS TO RECREATE THE PROPOSED BALUSTRADE CONSTRUCTION, & COORDINATED THE ASSEMBLY WITH STRUCTURAL ENGINEERS SWENSON SAY FAGET. THE PROPOSED CONSTRUCTION DETAILS START WITH STEEL BEAMS THAT WERE INSTALLED DURING THE 1910S & 80S THAT REBUILT THE PORCH DECK, BUT DID NOT REBUILD THE BALUSTRADE. THE CONSTRUCTION WILL RECREATE THE DESIRED HISTORIC ASSEMBLY, & WILL ALSO MEET CURRENT GUARDRAIL REQUIREMENTS.
 CARDINAL RESEARCHED OPTIONS FOR THE NEW BALUSTRADE MATERIAL. CAST STONE PRODUCTION & CONSTRUCTION SCHEDULES ARE MANAGEABLE, & THE PRODUCT IS RELATIVELY COST-EFFECTIVE. CARDINAL CONSULTED WITH SEVERAL CAST STONE COMPANIES, & PICKED HADDONSTONE BECAUSE THEY HAVE THE EXPERTISE, PRODUCT, & ENTHUSIASM TO TAKE ON A UNIQUE PROJECT LIKE THIS ONE. THE COMPANY IS CO-LOCATED IN PUEBLO, COLORADO & EAST HADDON, NORTHAMPTON UK.
 HADDONSTONE PRODUCES A CAST PRODUCT CALLED HADDONSTONE, MADE MOSTLY OF STONE IN ADDITION TO BINDERS, IN ITS UK FACILITY. THE PRODUCT COLOR CAN BE CUSTOMIZED TO MATCH EXISTING STONE, & THE PRODUCT IS ALSO SLIGHTLY POROUS SO THAT IT WILL AGE & STAIN SIMILAR TO EXISTING STONE. (THEY ALSO PRODUCE A PRODUCT CALLED TECSTONE IN THE US THAT DOES NOT HAVE THESE STONE-LIKE POROUS QUALITIES.)
 THE CHALLENGE WITH MATCHING EXISTING STONE IS THAT THE CURRENT STONE WAS INSTALLED OVER 120 YEARS AGO, & IT HAS WEATHERED IN THE PACIFIC NORTHWEST. THE CHALLENGE IS TO MATCH THE NEW CAST STONE COLOR SO THAT, AFTER 5 YEARS OF WEATHERING, THE STONE MATCHES THE ADJACENT NATURAL STONE THAT HAS WEATHERED FOR 125 YEARS.
 FIRST, THE PROJECT WILL CLEAN EXISTING STONE REMNANTS (THERE ARE SMALL PIECES OF OLD COLUMNS STILL ON SITE) TO IDENTIFY A CAST STONE BASE COLOR. CLEANING WILL INCLUDE LOW-PRESSURE (MAXIMUM 300-400 PSI) HOT WATER SOAK, FOLLOWED BY A LOW-PRESSURE HOT WATER RINSE. THIS CLEANING PROCESS REMOVES A LOT OF DIRT & ORGANIC DISCOLORATION WITHOUT DAMAGING THE EXISTING STONE & MORTAR.
 SECOND, THE PROJECT WILL SHIP SAMPLES OF CLEANED, STONE REMNANTS TO HADDONSTONE TO PREPARE CUSTOM MATCHING SAMPLES. THE PROJECT TEAM WILL REVIEW HADDONSTONE'S SAMPLES ON SITE & SELECT A PROJECT BASE COLOR. THE PROJECT CAN NOTIFY THE LANDMARKS STAFF TO PARTICIPATE WHEN THIS ON-SITE REVIEW IS READY. THEN, HADDONSTONE & THE GENERAL CONTRACTOR WILL PREPARE SHOP DRAWINGS FOR REVIEW & CAST STONE PRODUCTION.
 THE ATTACHED SAMPLE PHOTO IS THE CORRECT HADDONSTONE PRODUCT IN IVORY LIMESTONE, BUT IS NOT A GOOD COLOR MATCH. THE SAMPLE, FROM HADDONSTONE'S STANDARD OPTIONS, IS LIKELY THE RIGHT BASE IN TERMS OF TONES & CONSISTENCY, BUT THE CUSTOM COLOR WILL LIKELY INCLUDE MORE GREY & BROWN TO MATCH THE ORIGINAL STONE MATERIAL.



EXISTING GUTTER & FASCIA TRIM 5



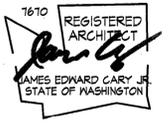
EXISTING COLUMNS 4



- PROPOSED MATERIALS:**
- PORCH CEILING: 1x4 CEDAR, PAINT TO MATCH EXISTING
 - FASCIA TRIM: CEDAR, PAINT TO MATCH EXISTING
 - DOWNSPOUTS: REUSE EXISTING
 - GUTTERS: METAL CONTINUOUS GUTTER, PAINT TO MATCH EXISTING
 - FLASHING: REUSE EXISTING COPPER FLASHING IN EXISTING REGLET AT BUILDING FACE, NEW HIDDEN STAINLESS STEEL FLASHING AT NEW BALUSTRADE BASE
 - ROOFING: NEW ASPHALT BUILT-UP ROOFING & FLASHING AT REBUILT DECK, HIDDEN BELOW DECK TILES
 - DECKING: NEW BISON DECK TILES ON BISON ADJUSTABLE PEDESTAL SYSTEM

- INSTALL NEW CAST STONE BALUSTRADE SHOWN SHADED, TYP.
- INSTALL NEW DECK, GUTTER & FASCIA IN (E) LOCATION SHOWN SHADED, TYP. NEW GUTTER & FASCIA TO MATCH (E).

EAST ELEVATION 1
 SCALE: 1/4" = 1'-0"



MOORE MANSION
 LANDMARKS APPLICATION

811 14TH AVE E
 SEATTLE, WA

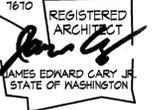


1326 5TH AVENUE #440
 SEATTLE WA 98101
 206-624-2365 T

#2523
 20 MARCH 2026
 PROPOSED BUILDING ELEVATIONS
 BALUSTRADE

A4.1

REVISIONS



REVISIONS

NO.	DESCRIPTION



MOORE MANSION
LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA

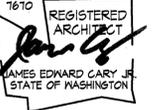


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

PROPOSED
BUILDING ELEVATIONS
BALUSTRADE

A4.2



REVISIONS

NO.	DESCRIPTION



INSTALL NEW CAST STONE BALUSTRADE SHOWN SHADED, TYP.

INSTALL NEW DECK, GUTTER & FASCIA IN (E) LOCATION SHOWN SHADED, TYP. NEW GUTTER & FASCIA TO MATCH (E).

WEST ELEVATION 3
SCALE: 1/4" = 1'-0"

MOORE MANSION
LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA

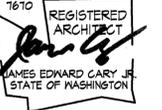


1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

PROPOSED
BUILDING ELEVATIONS
BALUSTRADE

A4.3



REVISIONS

NO.	DESCRIPTION



MOORE MANSION
LANDMARKS APPLICATION

811 14TH AVE E
SEATTLE, WA



1326 5TH AVENUE #440
SEATTLE WA 98101
206-624-2365 T

#2523
20 MARCH 2026

PROPOSED
BUILDING ELEVATIONS
BALUSTRADE

A4.4