



946 BROADWAY E LANDMARK PRESERVATION BOARD | BRIEFING PACKET 1 | DECEMBER 26, 2025 - CERTIFICATE OF APPROVAL

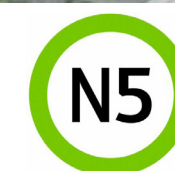


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MATERIALS	

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N5 Architecture
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BUILDING HISTORY AND PROJECT SCOPE

946 BROADWAY E
SEATTLE, WA 98102

The house at 946 Broadway E is situated in the North Capitol Hill Neighborhood and within the Harvard-Belmont Landmark District just two blocks southwest of Volunteer Park. It was designed and built between 1916 and 1918 as a three-story, single-family dwelling with basement. Similar to many of the neighboring buildings, it features the Tudor revival architectural style.

As a Category 2 building, the historic property is compatible and contributes to the character and appearance of the District.

While the interior of the house has been modified over the years, its main facade still retains its original features. Many of the original windows and exterior storm windows remain. In 1958, the owner converted the house into a fourplex, dividing the primary and second floors into two one-bedroom apartments on each level. The main stairs remain, but a separate exterior wood stair was added to the back of the house as a second means of egress from the second floor. In 1984, a two-bedroom apartment was added to the attic, and the exterior wood-frame stair was extended to connect with the third floor.

In 1982, the house was included in the National Register of Historic Places as part of the Harvard-Belmont District boundary, recognized as a secondary building (Image 1).

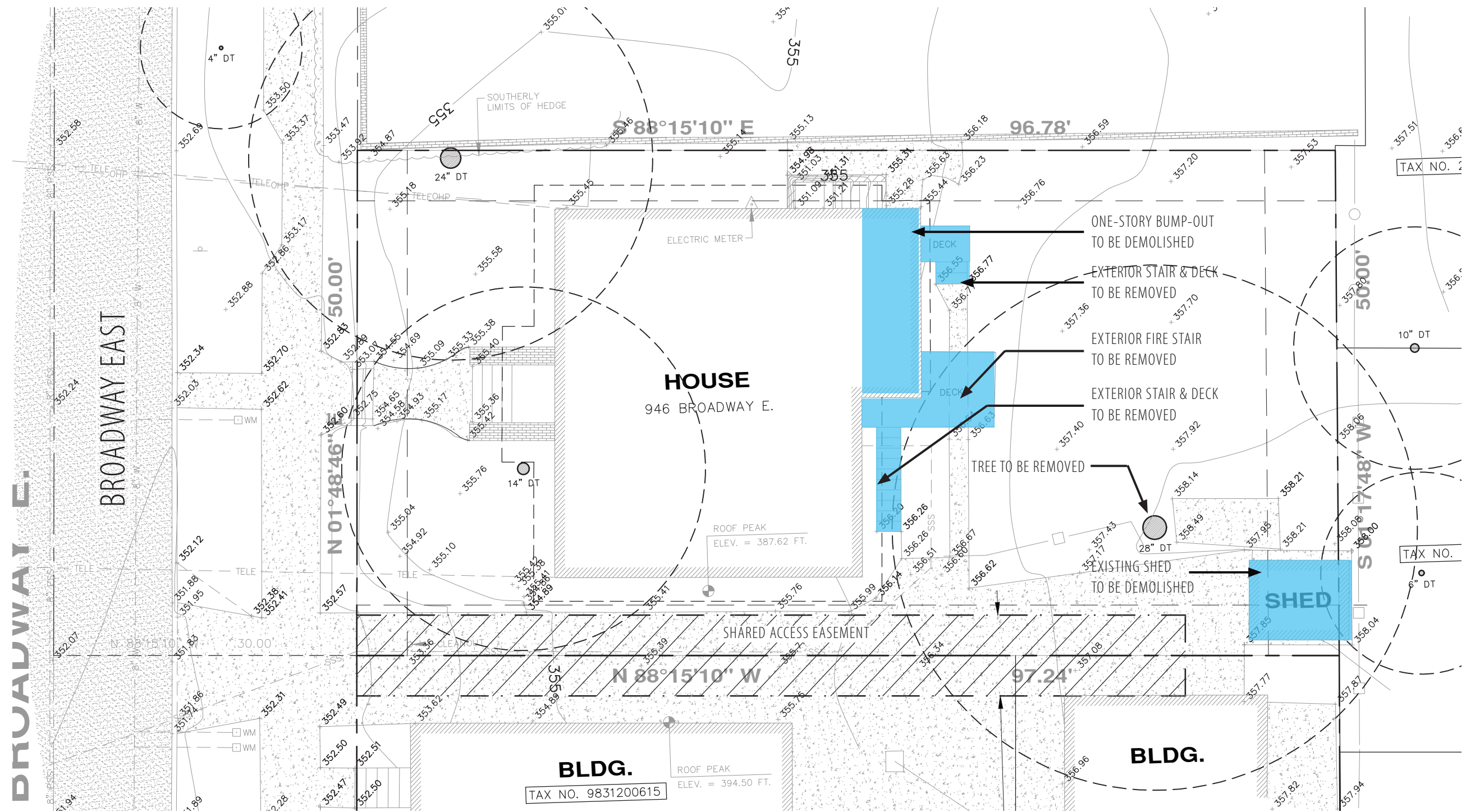
PROJECT SCOPE

The project proposal is an interior alteration and a new attached addition to the existing five-plex, including:

- Removing the original interior stair to enlarge the existing units.
- Demolition of the East exterior stair. Removal is required to accommodate the proposed addition.
- Demolition of single story bump-out at North end of East facade of the existing structure. Removal is required to accommodate the proposed addition.
- Construction of a three-story addition to the East facade of the existing structure with six-dwelling units.
- Construction of a new attached exterior open stair as a second exit to the existing units on the first floor, entrance to the existing units on the second floor and attic, and an entrance to the units in the new three-story addition.



PROJECT LOCATION | SITE PLAN



LEGEND:

FOOTPRINT TO BE DEMOLISHED

EXISTING SITE PLAN
SCALE: 3/32" = 1'-0"



HISTORIC IMAGES



IMAGE 1. NATIONAL REGISTER OF HISTORIC PLACES HARVARD-BELMONT DISTRICT MAP (1982)



IMAGE 2. SANDBORN FIRE INSURANCE MAP (1945)

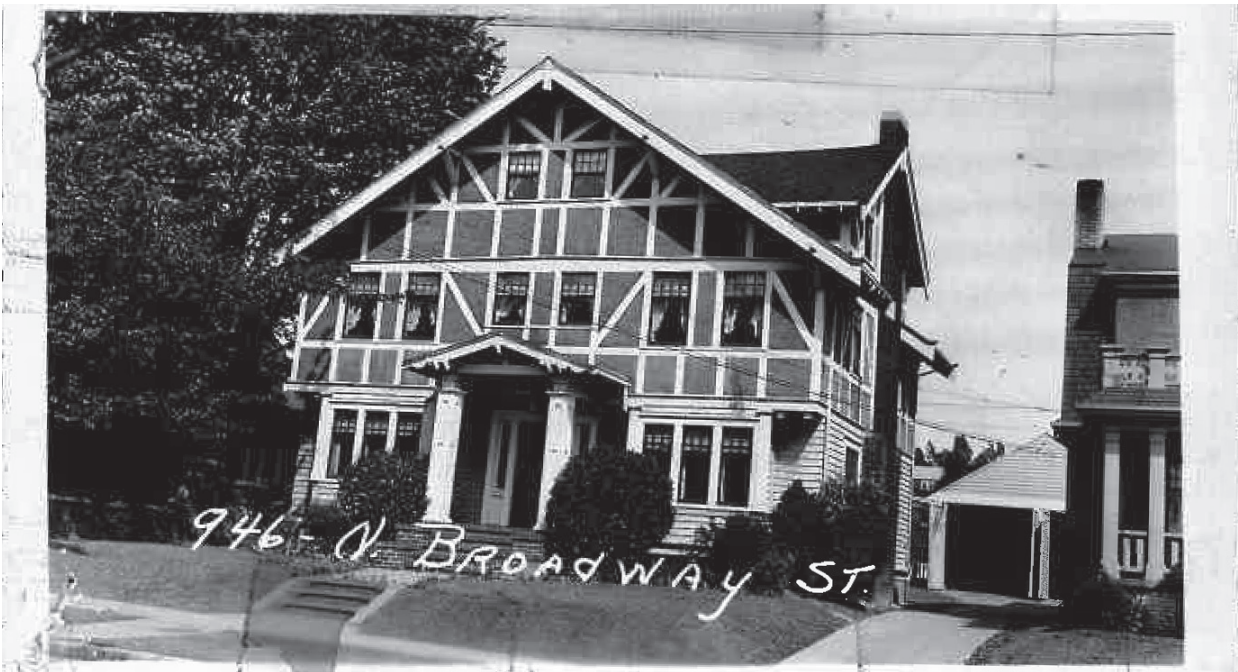


IMAGE 3. KING COUNTY ASSESSOR'S RROPERTY RECORD (1966)

EXISTING CONDITIONS STUDY



IIMAGE 4. WEST FACADE FROM BROADWAY E



IIMAGE 5. ENTRY PORCH DETAIL



IIMAGE 6. UPPER WINDOWS AT NORTH FACADE



IIMAGE 7. WEST FACADE DETAIL



IIMAGE 8. UNDERSIDE OF ENTRY PORCH



IIMAGE 9. EAST FACADE FROM BACKYARD

EXISTING CONDITIONS STUDY



IIMAGE 10. SOUTHWEST FACADE FROM BROADWAY E

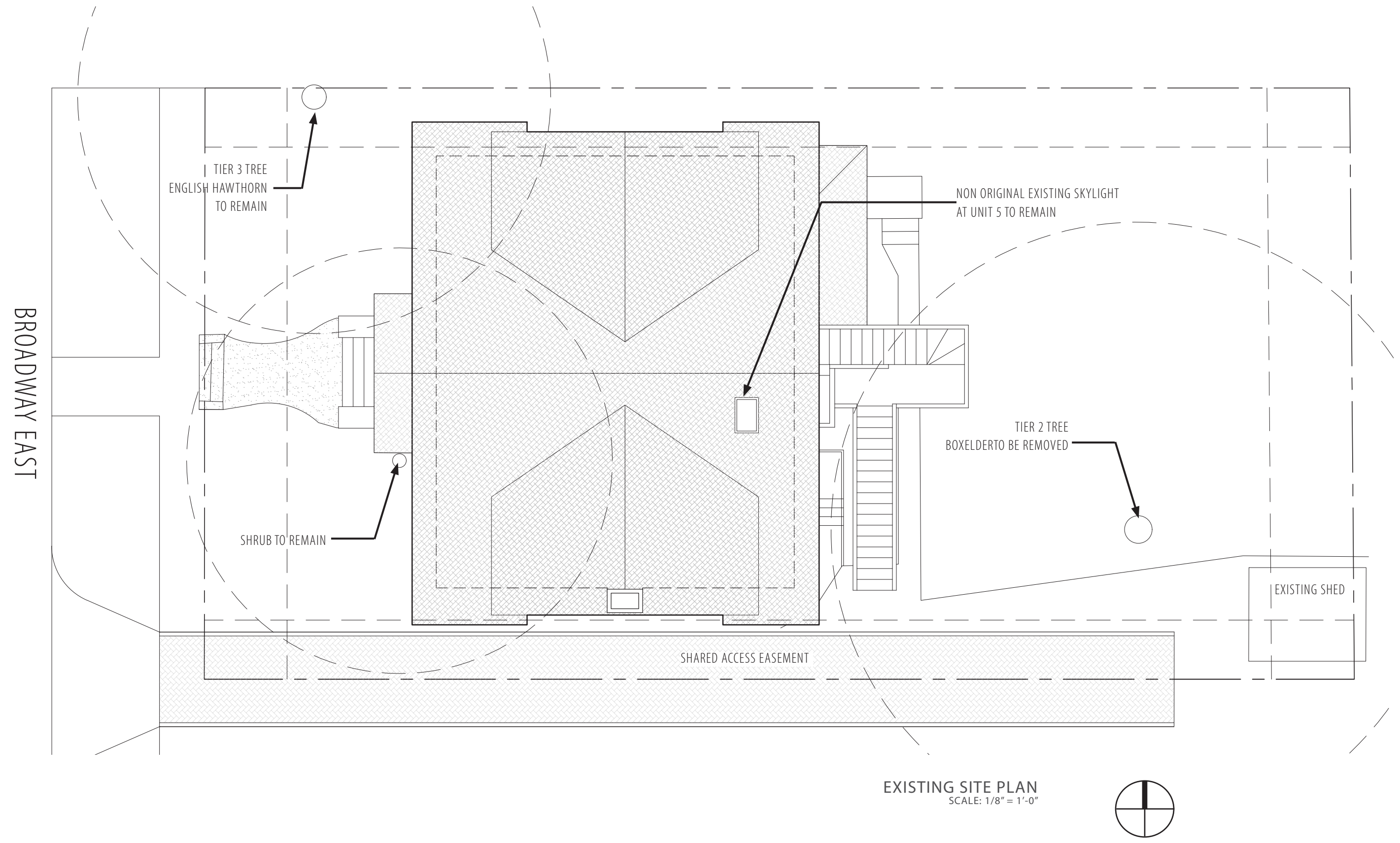


IIMAGE 11. SOUTHEAST



IIMAGE 12. NORTH FACADE

EXISTING CONDITIONS STUDY

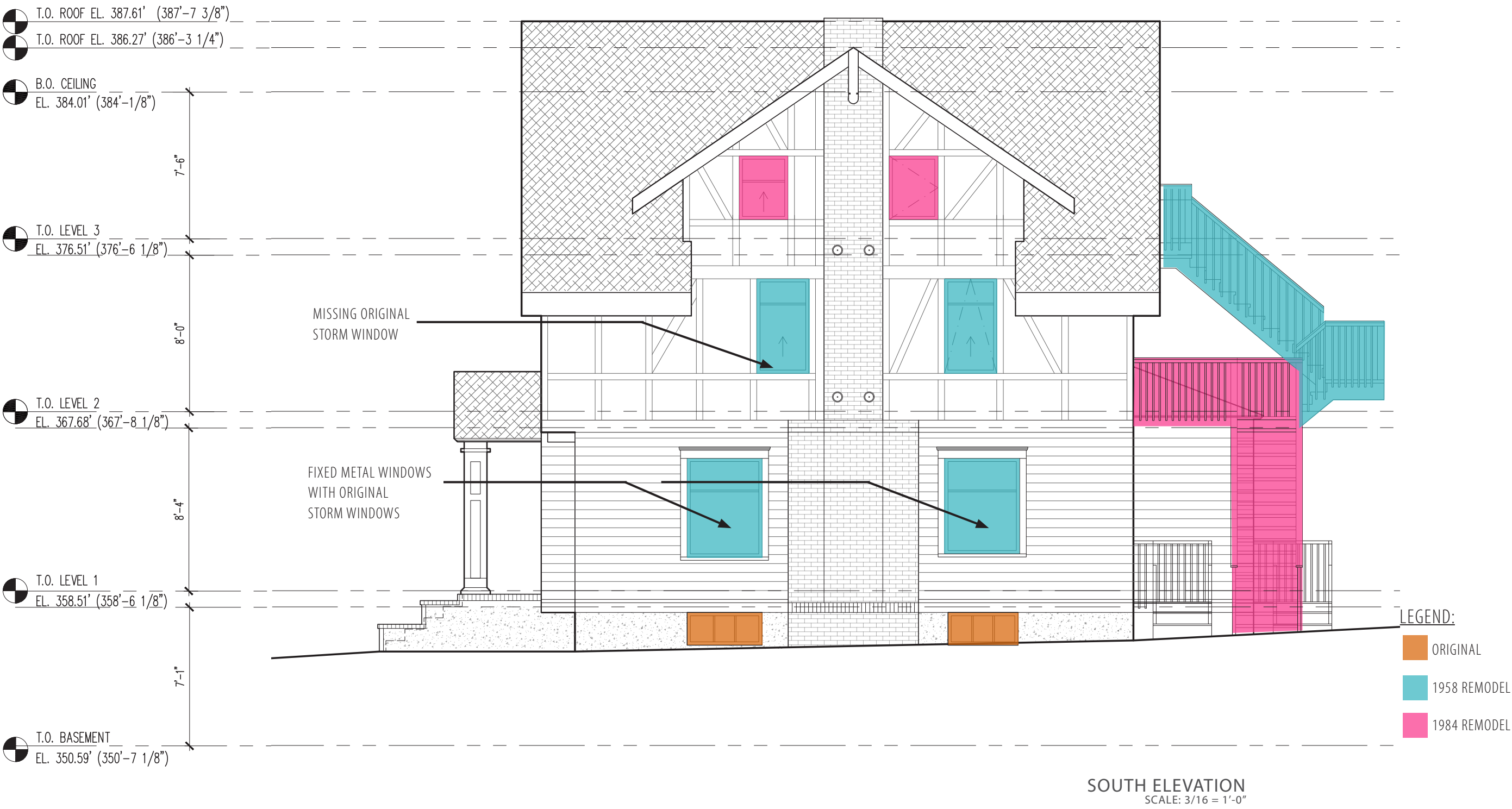


EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

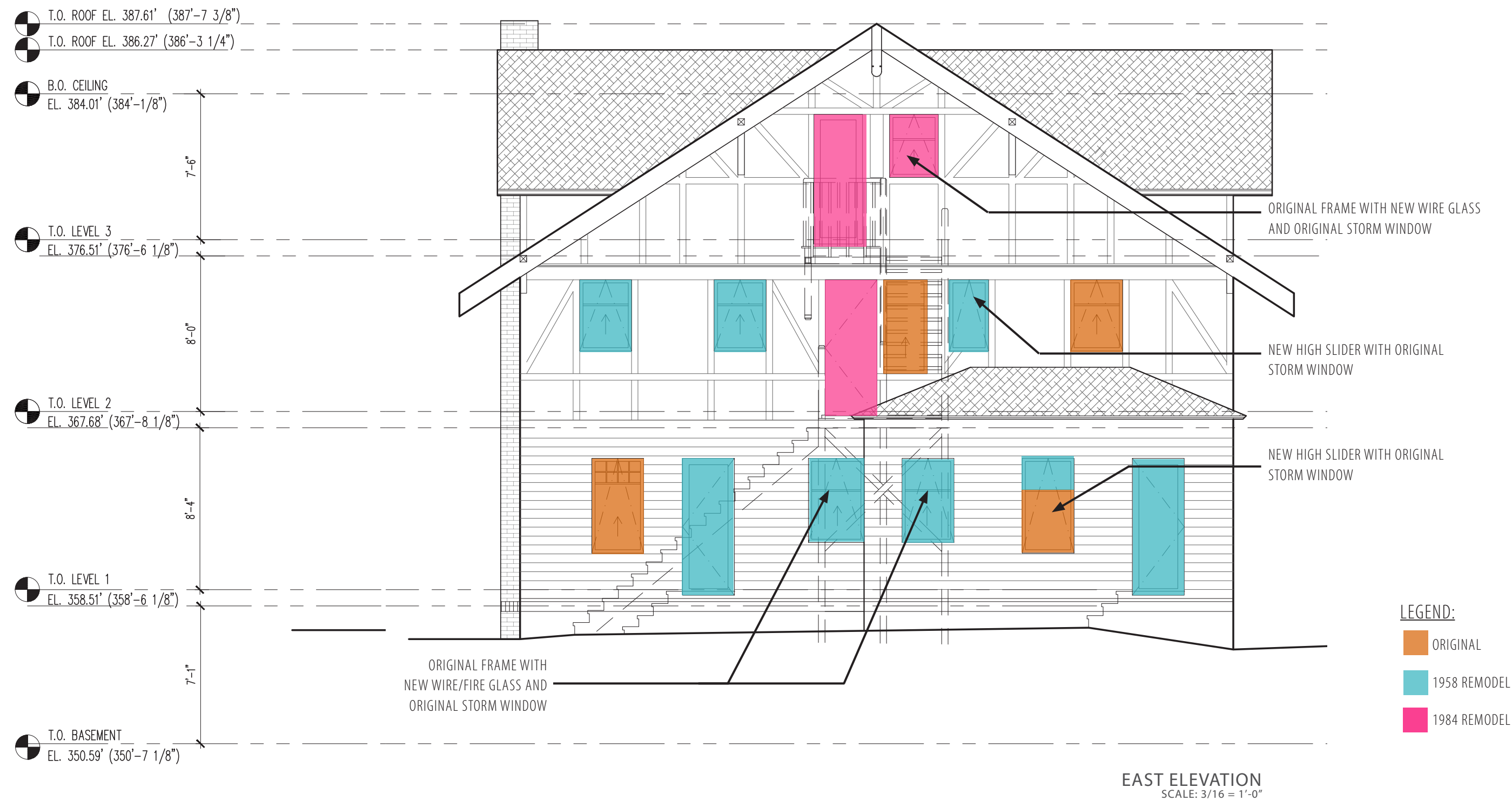
EXISTING CONDITIONS STUDY



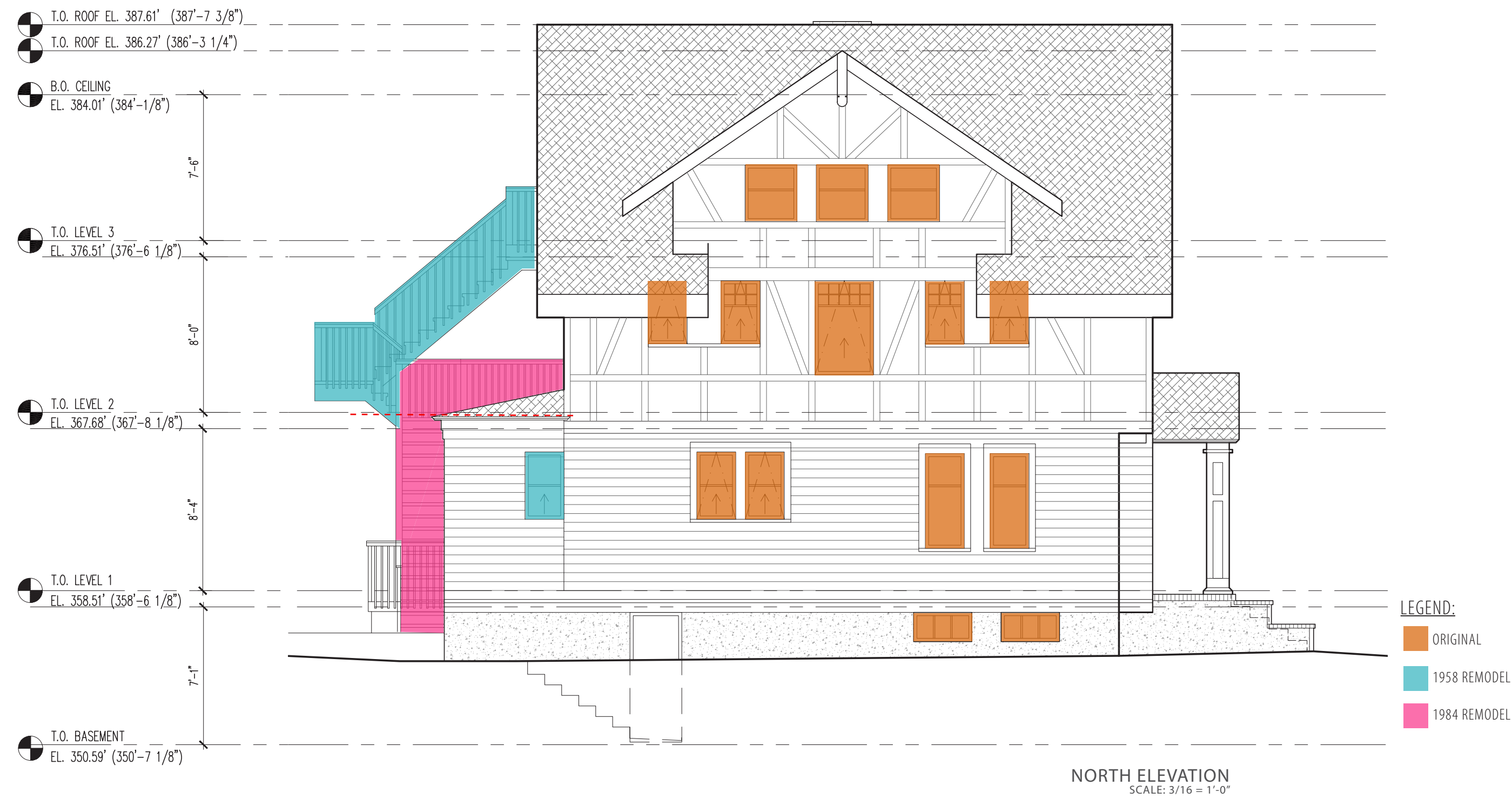
EXISTING CONDITIONS STUDY



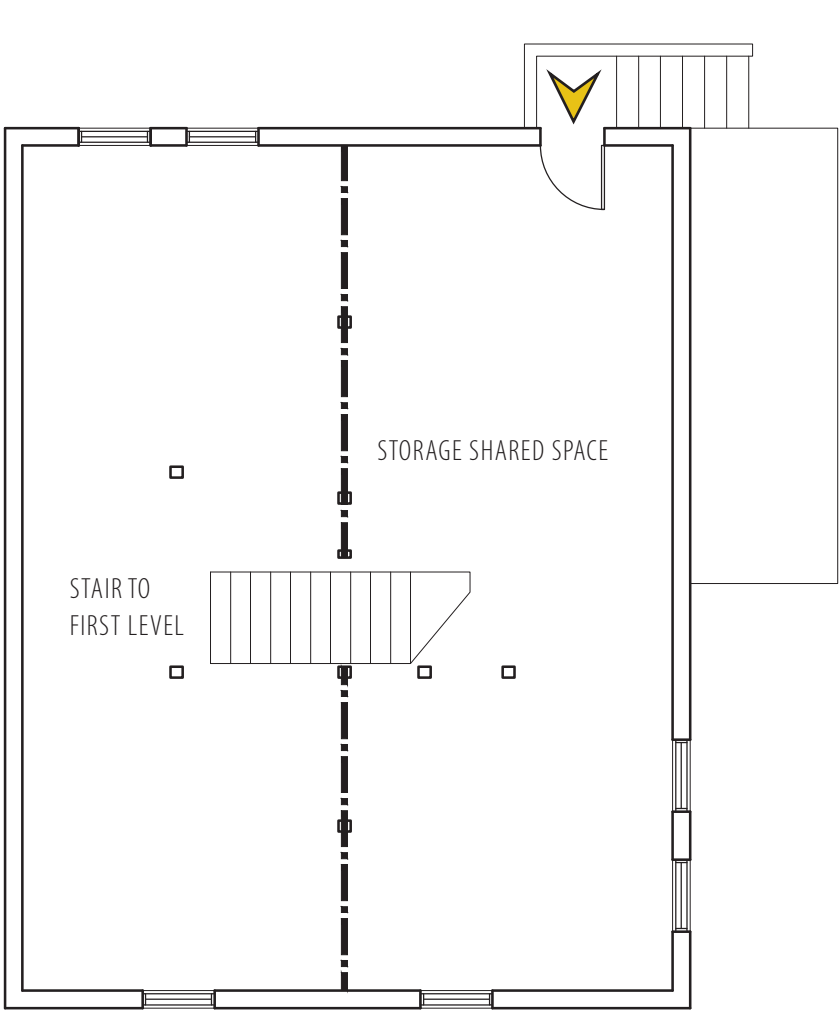
EXISTING CONDITIONS STUDY



EXISTING CONDITIONS STUDY



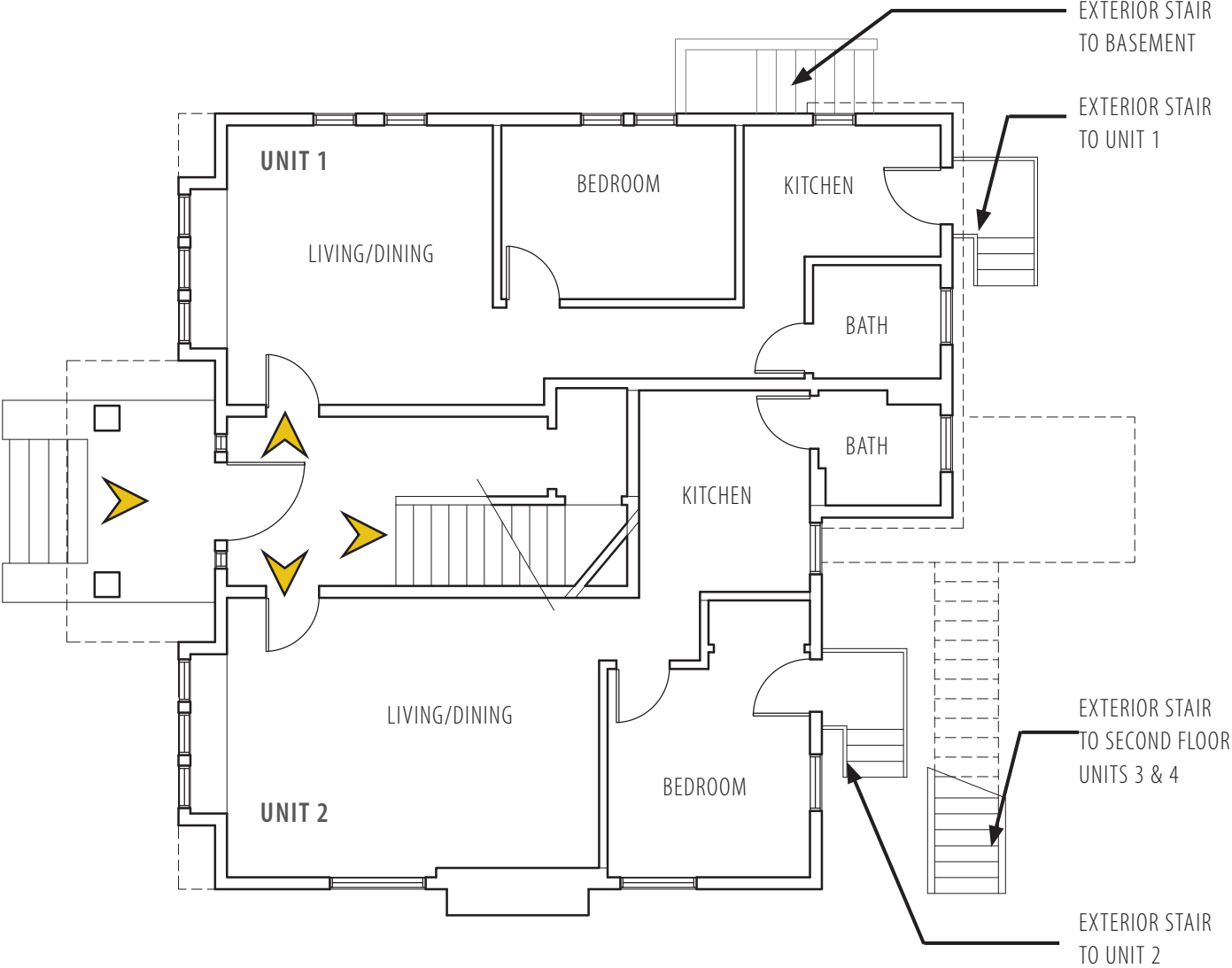
EXISTING CONDITIONS STUDY



LEGEND:



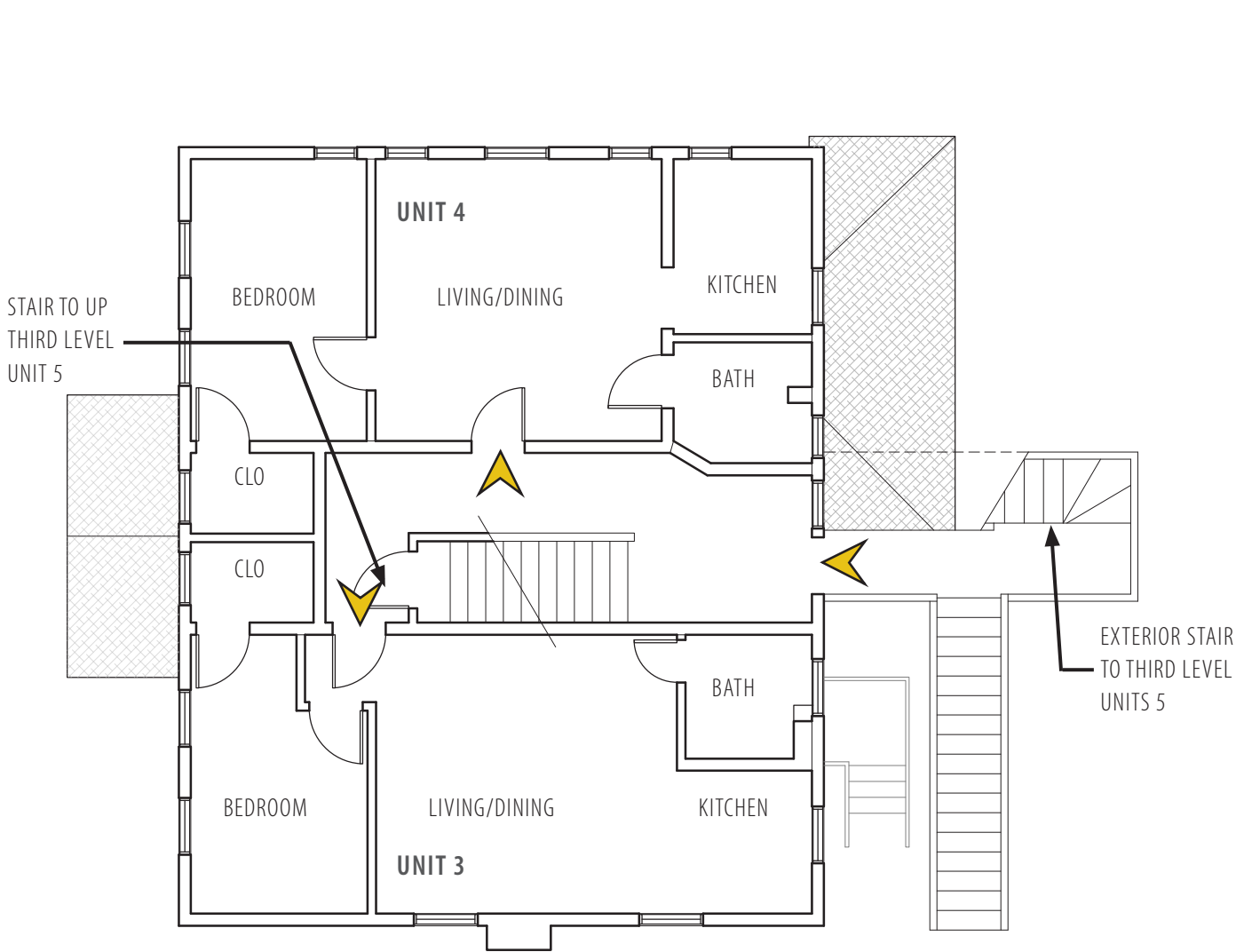
EXISTING BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



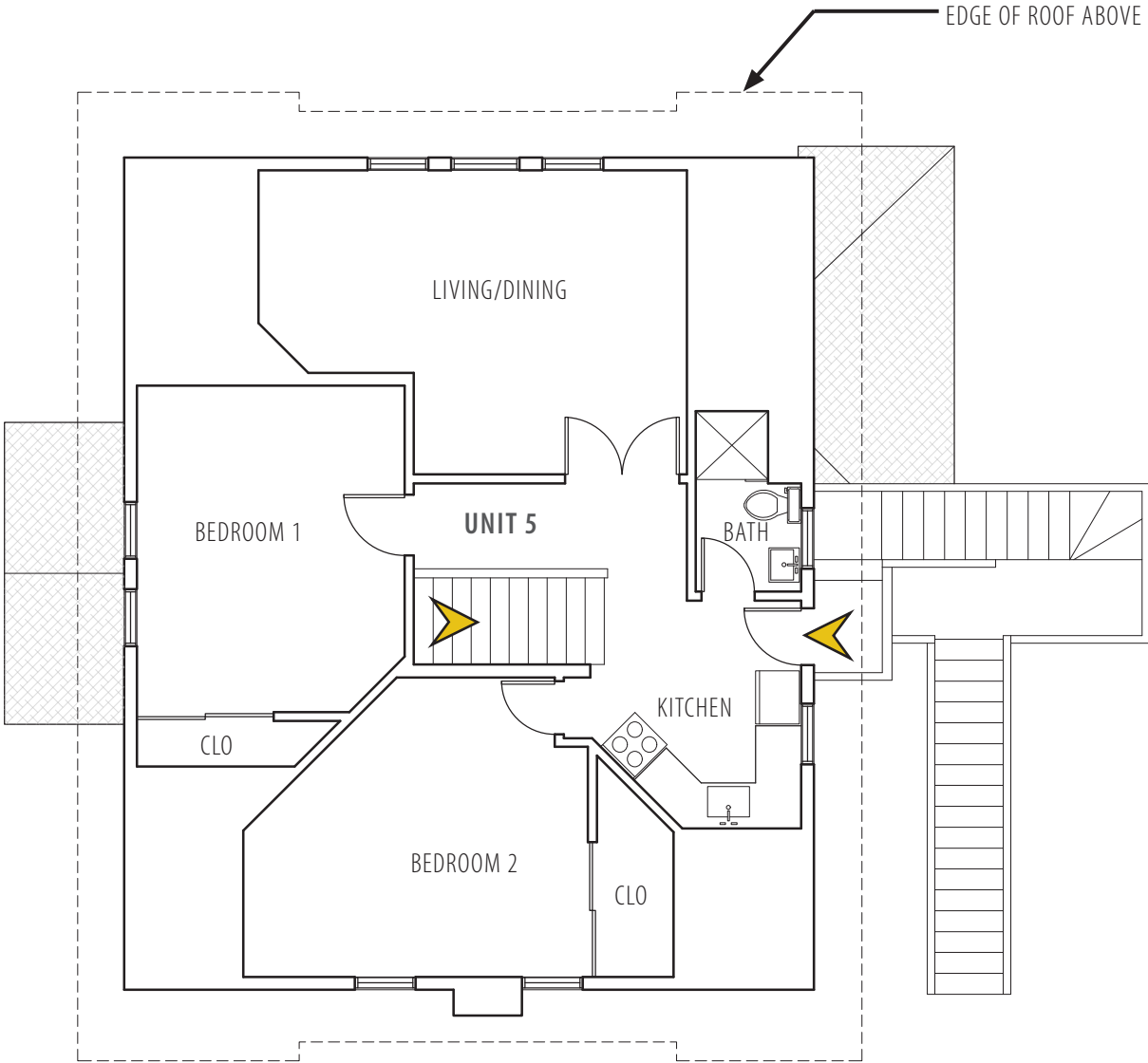
EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



EXISTING CONDITIONS STUDY



EXISTING SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



EXISTING THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

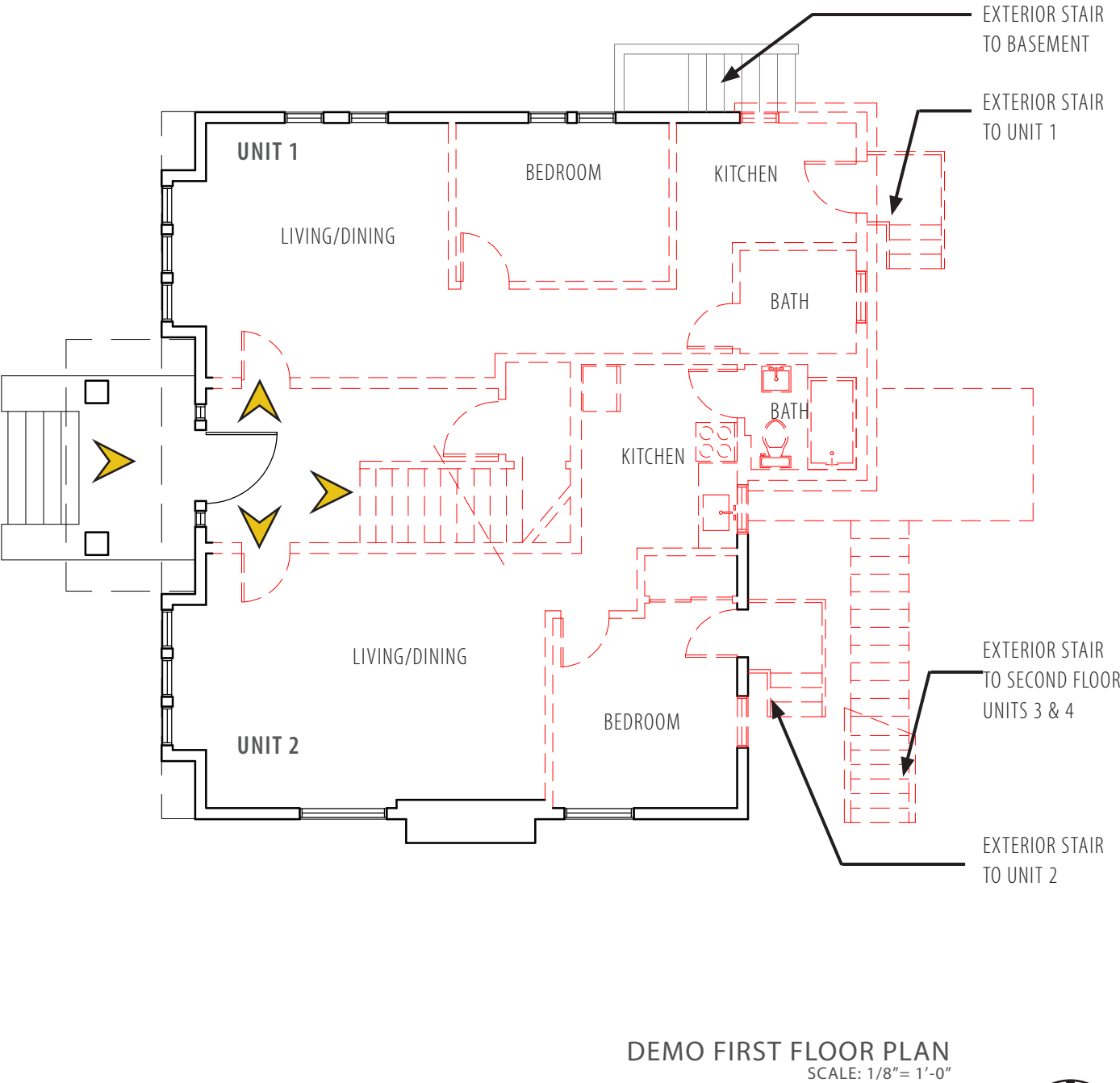
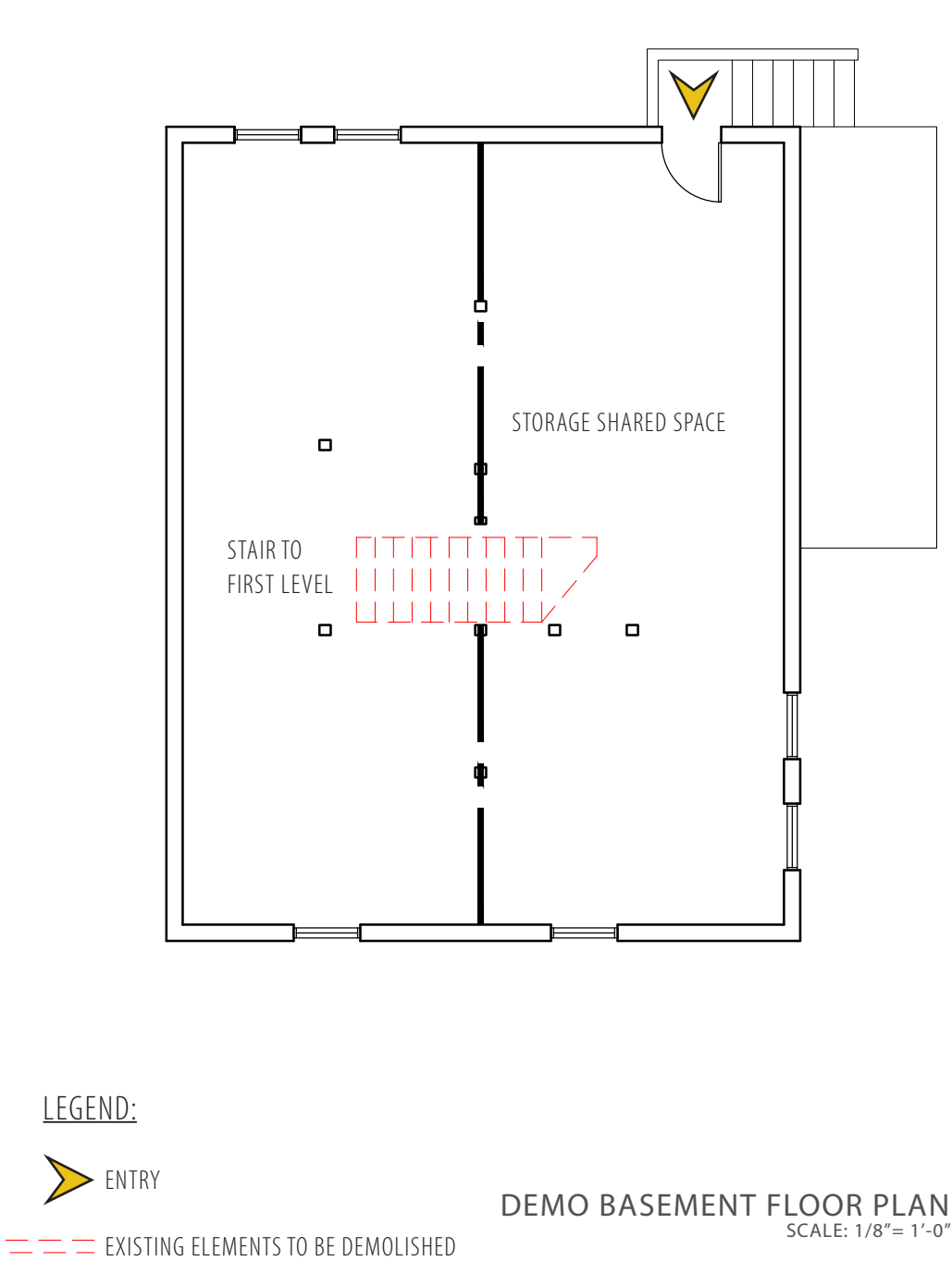
LEGEND:



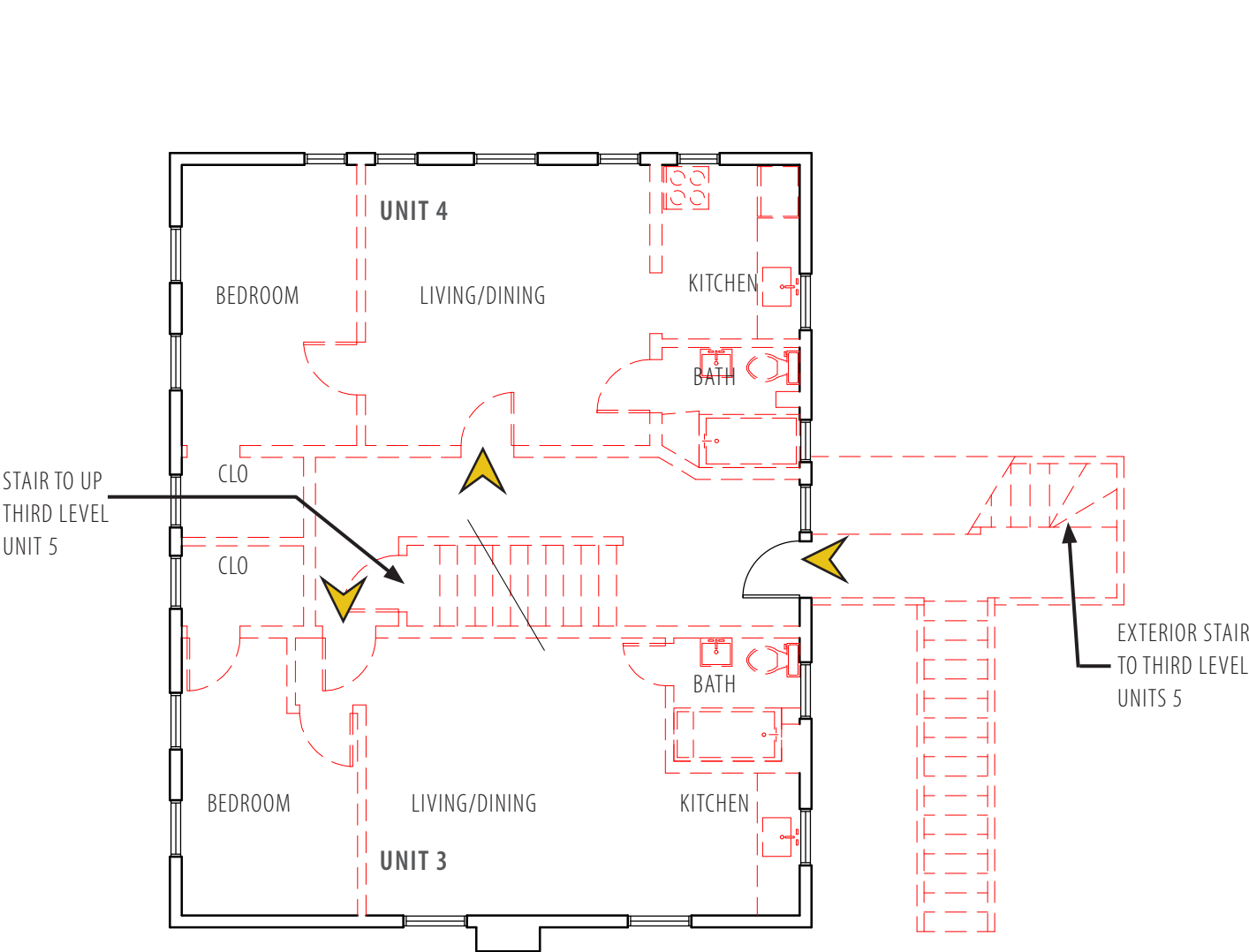
ENTRY



DEMOLITION PLAN



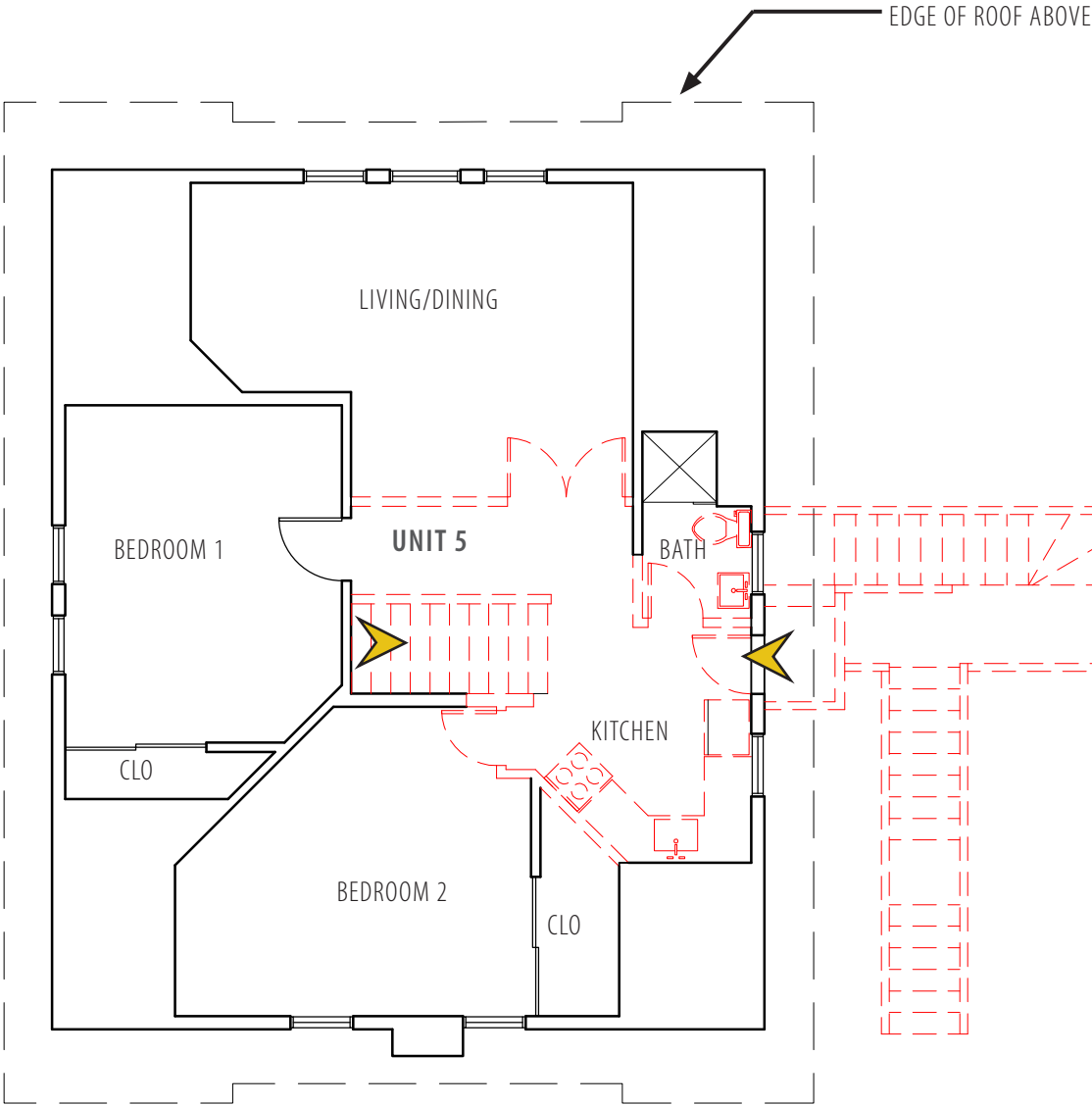
DEMOLITION PLAN



LEGEND:

- ENTRY
- EXISTING ELEMENTS TO BE DEMOLISHED

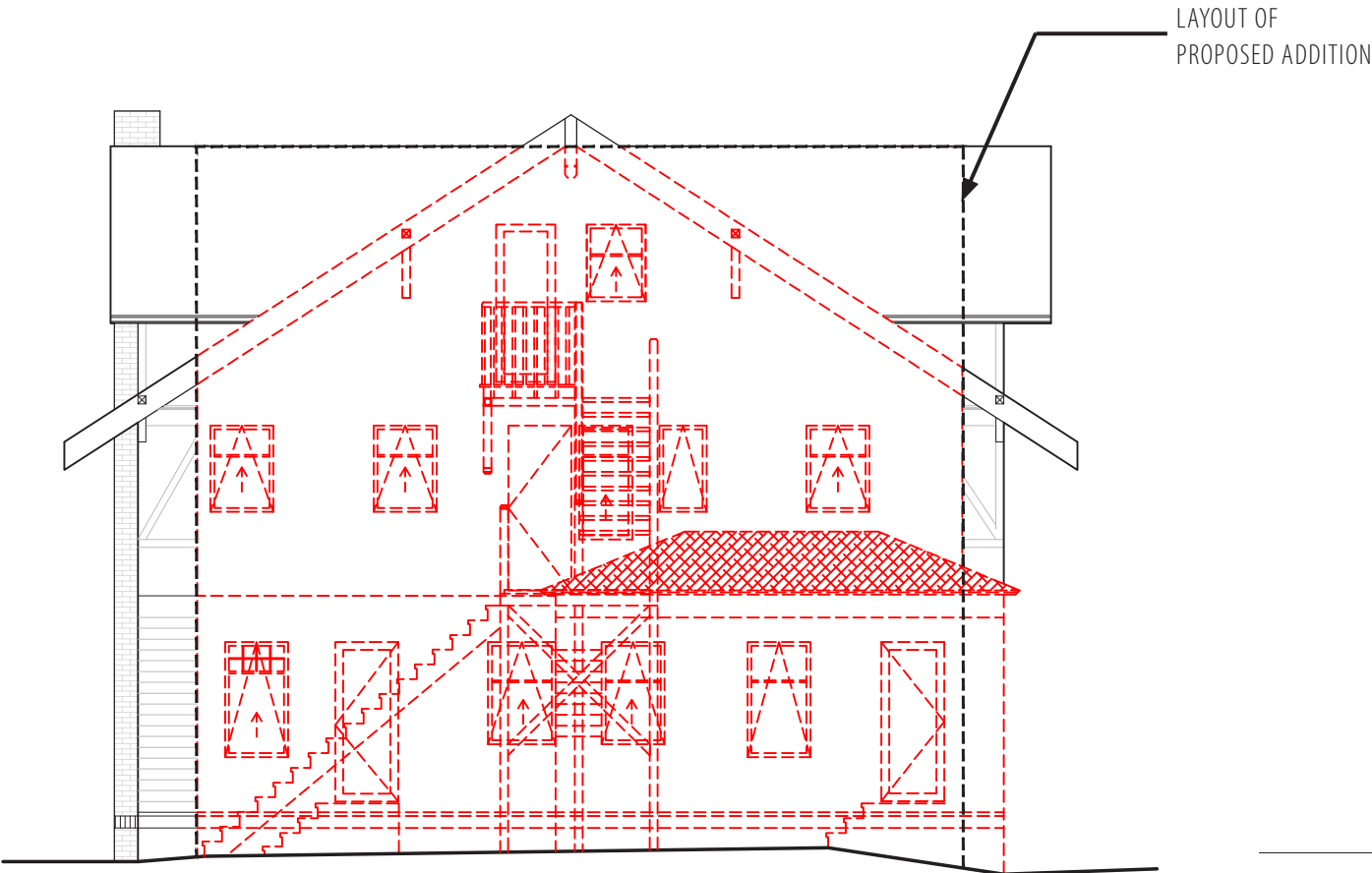
DEMO SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



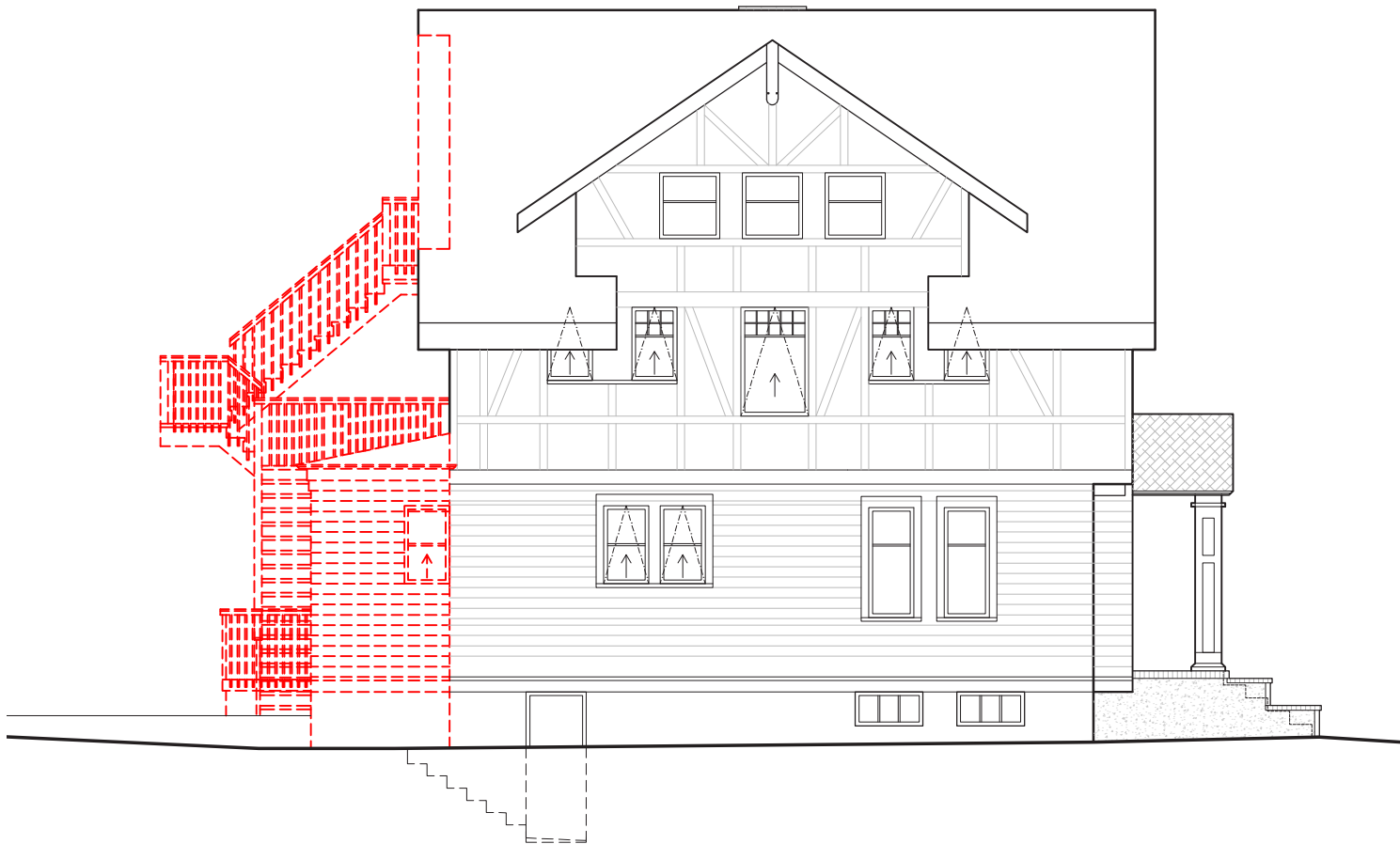
DEMO THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEMOLITION PLAN



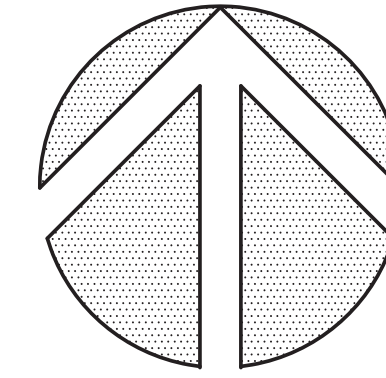
DEMO EAST ELEVATION
SCALE: 1/8" = 1'-0"



DEMO NORTH ELEVATON (SIM. SOUTH)
SCALE: 1/8" = 1'-0"

LEGEND:

--- EXISTING ELEMENTS TO BE DEMOLISHED



SCALE: 1"=10'

0 5 10 20

NOTES

- THIS SURVEY WAS PERFORMED BY FIELD TRAVERSE USING A 5 SECOND TOTAL STATION. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS FOR LAND BOUNDARY SURVEYS AS SET FORTH IN WAC CHAPTER 332-130-090.
- CONTOUR INTERVAL = 1 FT.
- ELEVATION DATUM = NAVD'88, AS PER DIRECT OBSERVATIONS USING GPS EQUIPMENT ON MAY 19, 2025.
HORIZONTAL DATUM = NAD 83/11 (EPOCH 2010), AS PER DIRECT OBSERVATIONS USING GPS EQUIPMENT ON MAY 19, 2025.
- PARCEL AREA = 4,850 SQ. FT.
- THIS SURVEY IS RELIANT UPON THE INFORMATION CONTAINED WITHIN FIDELITY NATIONAL TITLE INSURANCE COMPANY OWNER'S POLICY NO. 24001799-SC, DATED DECEMBER 2, 2024.
- UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS APPROXIMATE ONLY AND IS BASED UPON CITY OF SEATTLE GIS AND ALSO AS PER TIES TO ABOVE GROUND STRUCTURES.
- TAX PARCEL NO. 9831200620
- TREES AS SHOWN HEREON HAVE BEEN MAPPED TO THE BEST OF OUR ABILITY DURING THE COURSE OF THIS SURVEY. HOWEVER, ALL ON-SITE TREES THAT COULD AFFECT PROJECT DEVELOPMENT MAY NOT BE SHOWN. THEREFORE, PRIOR TO DESIGN, A CERTIFIED ARBORIST SHOULD BE CONSULTED TO VERIFY THE SPECIFIC GENUS, TRUNK DIAMETER, DRIPLINE, LOCATION AND NUMBER OF QUALIFYING TREES UPON THIS SITE.
- WE HAVE DETERMINED TO THE BEST OF OUR ABILITY THE OVERHEAD HIGH VOLTAGE POWERLINE WHICH IS CLOSEST TO THE PROJECT SITE AND HAVE DISPLAYED ITS HORIZONTAL AND VERTICAL LOCATION HEREON. HOWEVER, ADDITIONAL OVERHEAD SERVICE LINES MAY EXIST WHICH ARE NOT OBVIOUS TO US BY FIELD OBSERVATION AND POTENTIALLY IMPACT PROJECT DESIGN. THEREFORE, PRIOR TO DESIGN AND CONSTRUCTION WE RECOMMEND THAT SEATTLE CITY LIGHT BE CONSULTED REGARDING THE POSSIBLE EXISTANCE OF ADDITIONAL SERVICE LINES NOT DISPLAYED HEREON WHICH SHOULD BE CONSIDERED FOR PROJECT DESIGN.

DEED DESCRIPTION

LOT 10, BLOCK 5, SARA B. YESLER'S 1ST ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 2 OF PLATS, PAGE 31, RECORDS OF KING COUNTY, WA.

LEGEND:

	ROCKERY		OVERHEAD UNSHIELDED WIRE
	CONCRETE PAVING		OVERHEAD POWER LINE
	ASPHALT PAVING		OVERHEAD COMMUNICATIONS LINE
	CHAIN LINK FENCE		UNDERGROUND WATER LINE
	WOODEN FENCE		X" DIAMETER WATER MAIN
	ELECTRIC METER		UNDERGROUND SANITARY SIDE SEWER
	WATER METER		X" DIAMETER SEWER MAIN
	MANHOLE COVER		X" DIA. DECIDUOUS TREE
	CATCH BASIN		X" DIA. EVERGREEN TREE
	POWER POLE		



TOPOGRAPHIC SURVEY
946 BROADWAY E.
SEATTLE WASHINGTON

CHADWICK WINTERS
LAND SURVEYING AND MAPPING
1422 N.W. 85TH ST., SEATTLE, WA 98117
PHONE: 206.297.0996
FAX: 206.297.0997

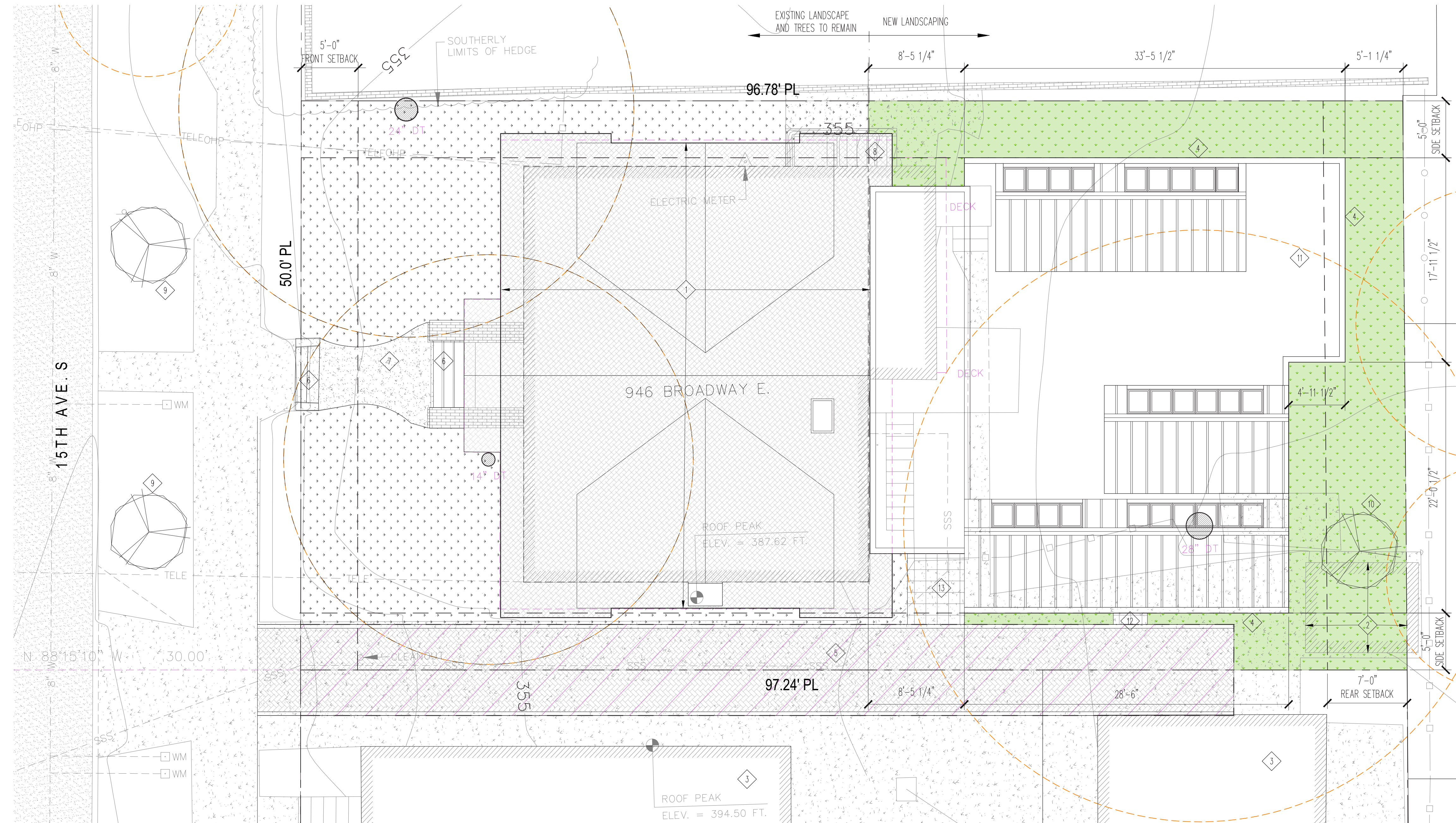
PROJECT #: 25-8556

DRAWING: 25-8556TOPO.DWG

CLIENT: KP BROADWAY LLC

DATE: 05-21-2025





GENERAL NOTES:

1. SEE SURVEY PLAN FOR REFERENCE AND ADDITIONAL INFORMATION.
2. DIMENSIONS ARE SHOWN FOR GENERAL SITE LAYOUT. OUTLINE OF THE NEW BUILDINGS IS TO EXTERIOR FINISH MATERIAL. SEE FLOOR PLANS FOR ADDITIONAL DIMENSIONAL INFORMATION.

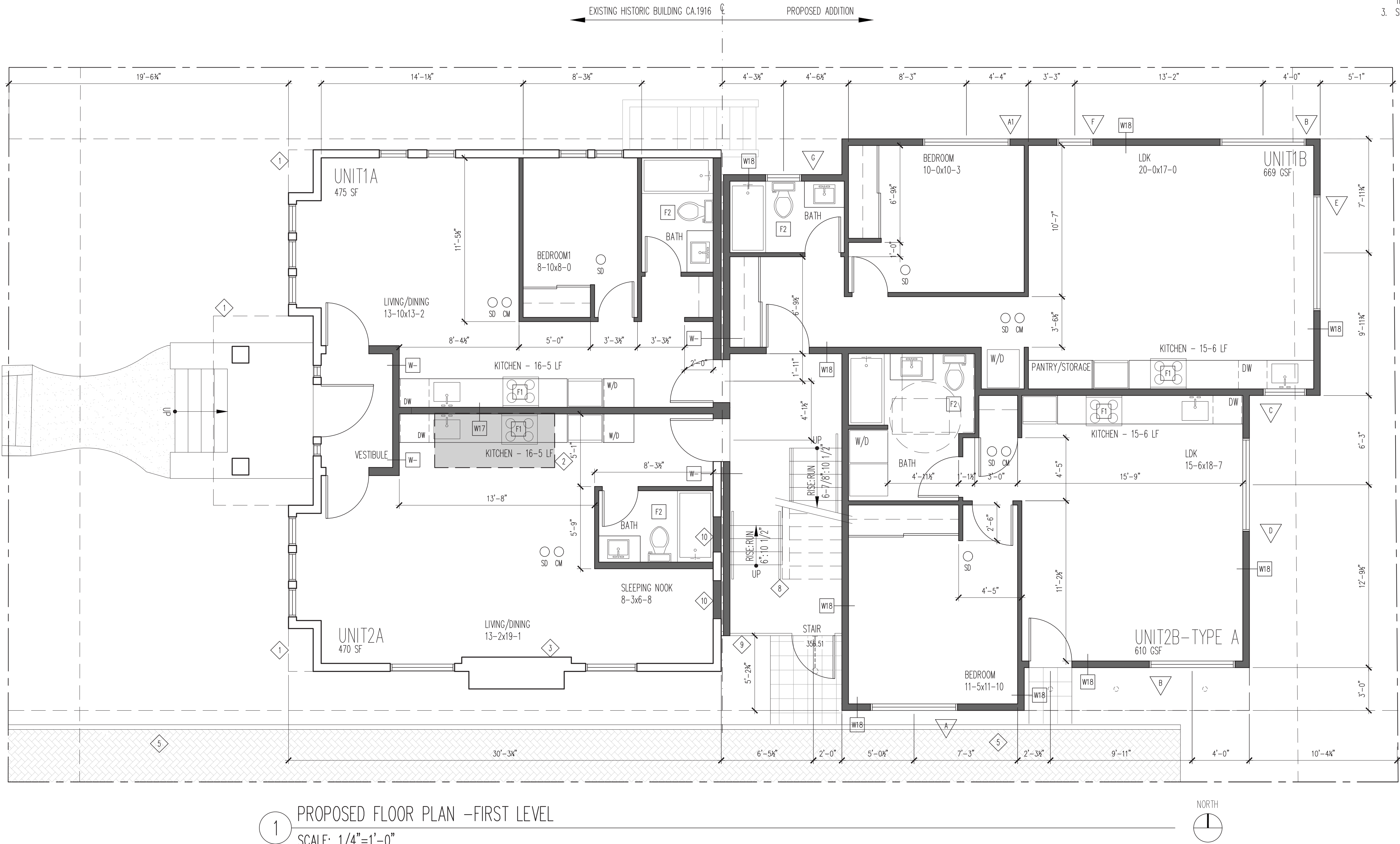
SITE PLAN KEY NOTES

1. OUTLINE OF EXISTING BUILDING TO REMAIN
2. OUTLINE OF EXISTING SHED TO BE REMOVED
3. ADJACENT EXISTING BUILDING
4. OUTLINE OF NEW BUILDING, MEASURED TO FRAMING
5. EXISTING SHARED DRIVEWAY (PROVIDES ACCESS TO ADJ COUTH PARCEL)
6. EXISTING ENTRANCE STEPS TO REMAIN
7. EXISTING PATHWAY TO REMAIN
8. EXISTING CONCRETE STEPS TO BASEMENT TO REMAIN
9. NEW STREET TREE AS REQUIRED BY SDOT
10. PROPOSED TREE
11. EXISTING TREE TO BE REMOVED
12. NEW PAVED ENTRANCE TO ADA UNIT 6
13. NEW PAVED ENTRANCE TO COMMON STAIR

1 PROPOSED SITE PLAN
SCALE: 3/16"=1'-0"



- GENERAL NOTES:
1. SEE SURVEY AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
 2. ALL EXISTING WINDOWS WILL REMAIN UNLESS OTHERWISE SPECIFIED IN THE FLOOR PLANS.
 3. SEE ELEVATIONS FOR EGRESS, SAFETY GLAZING AND WINDOW FUNCTION.



1 PROPOSED FLOOR PLAN -FIRST LEVEL
SCALE: 1/4"=1'-0"

FLOOR PLAN KEY NOTES:

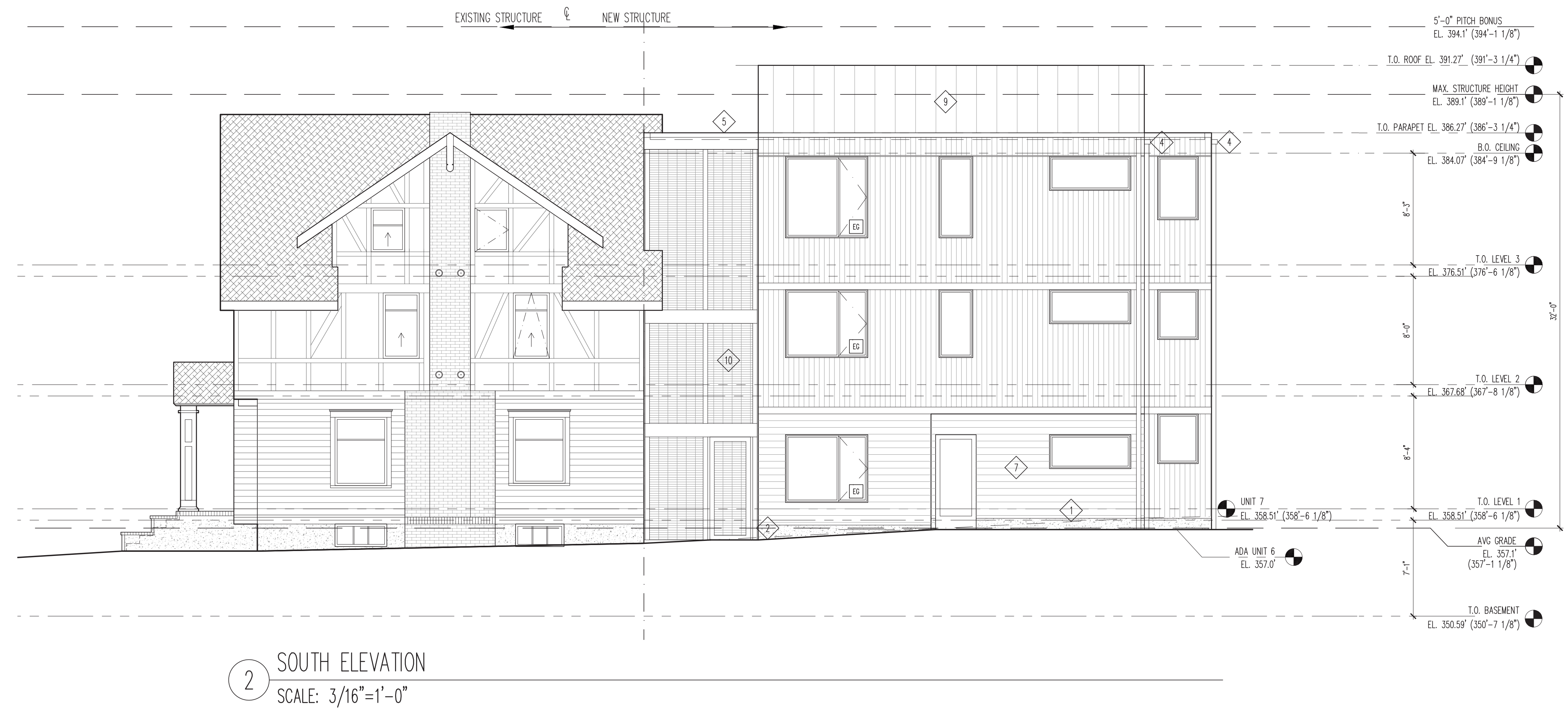
- | | |
|---|---|
| 1 OUTLINE OF FLOOR ABOVE | 1 OUTLINE OF FLOOR ABOVE |
| 2 AREA OF REPLACED FLOOR JOIST AND FINISHED FLOOR FOR ASSEMBLY SEE A8.00 | 2 AREA OF REPLACED FLOOR JOIST AND FINISHED FLOOR |
| 3 EXISTING CHIMNEY | 3 EXISTING CHIMNEY |
| 4 EXISTING POST | 4 EXISTING POST |
| 5 NEW CONCRETE PATHWAY | 5 NEW CONCRETE PATHWAY |
| 6 EXISTING CONCRETE AND MASONRY STAIR | 6 EXISTING CONCRETE AND MASONRY STAIR |
| 7 EXISTING CONCRETE STAIR TO THE BASEMENT | 7 EXISTING CONCRETE STAIR TO THE BASEMENT |
| 8 EXTERIOR OPEN STAIR; METAL FRAME WITH CONCRETE STEPS AND CONTINUOUS 36" METAL GUARDRAIL | 8 EXTERIOR OPEN STAIR; METAL FRAME WITH CONCRETE STEPS AND CONTINUOUS 36" METAL GUARDRAIL |
| 9 METAL FENCE AND ENTRANCE GATE | 9 PERFORATED METAL FENCE AND ENTRANCE GATE |
| 10 EXTERIOR OPENING INFILL WITH WALL TYPE W18 | 10 PERFORATED METAL FENCE WITH 36" GUARDRAIL |

LEGEND:

- NEW WALLS AND COLUMNS
- EXISTING WALLS

ELEVATION KEY NOTES

- 1 EXISTING GRADE
- 2 PROPOSED GRADE
- 3 EXISTING GUARDRAIL
- 4 GUTTER AND DOWNSPOUT
- 5 4" METAL COPING
- 6 ±6" VERTICAL LAP SIDING
- 7 ±8" CEMENTITIOUS HORIZONTAL LAP SIDING
- 8 ROOF MONITOR
- 9 STANDING SEAM SLOPED ROOF
- 10 EXTERIOR OPEN STAIR; METAL FRAME WITH CONCRETE STEPS AND CONTINUOUS 36" METAL GUARDRAIL



ELEVATION KEY NOTES

- 1 EXISTING GRADE
- 2 PROPOSED GRADE
- 3 EXISTING GUARDRAIL
- 4 GUTTER AND DOWNSPOUT
- 5 4" METAL COPING
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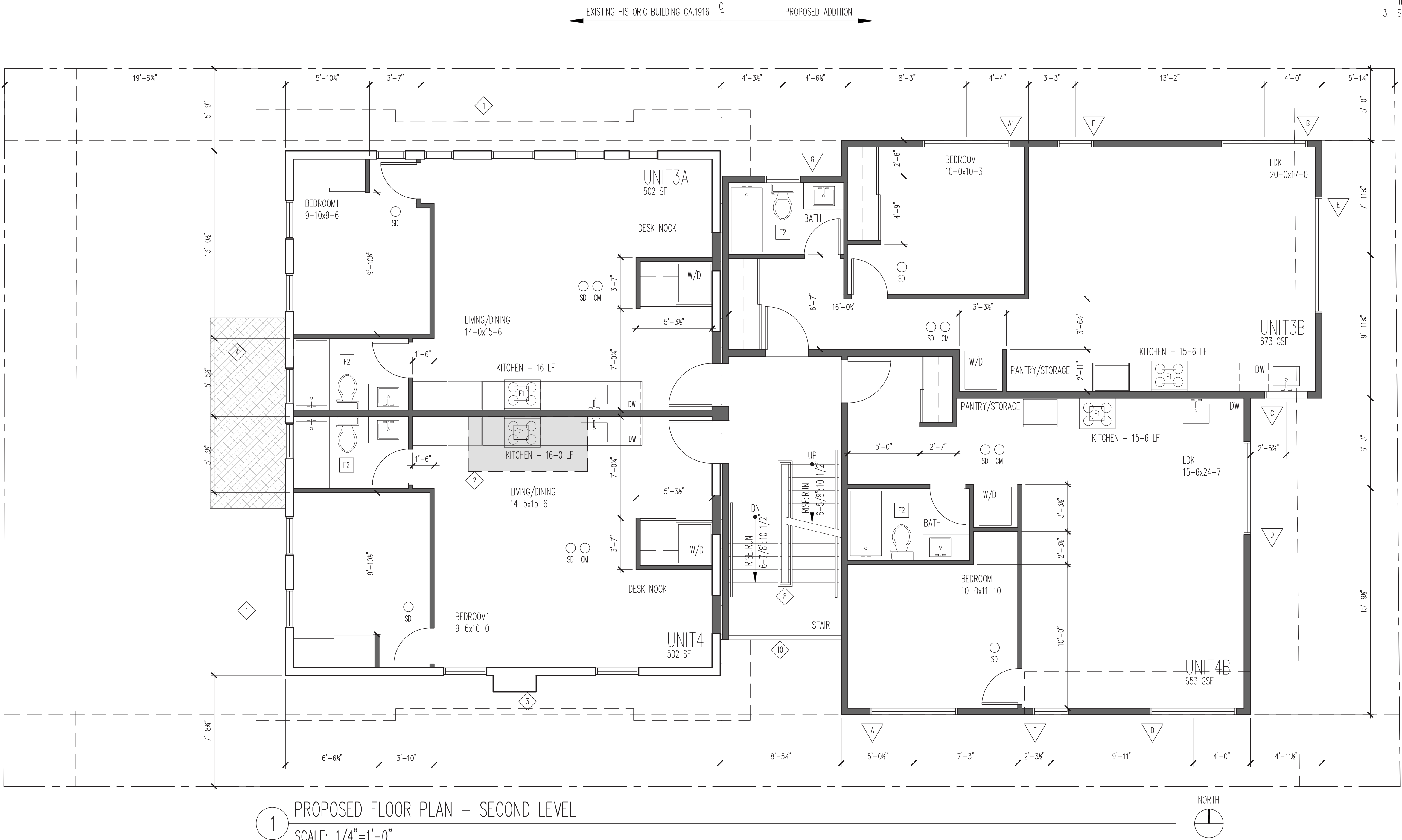


1 EAST ELEVATION
SCALE: 3/16"=1'-0"



2 NORTH ELEVATION
SCALE: 3/16"=1'-0"

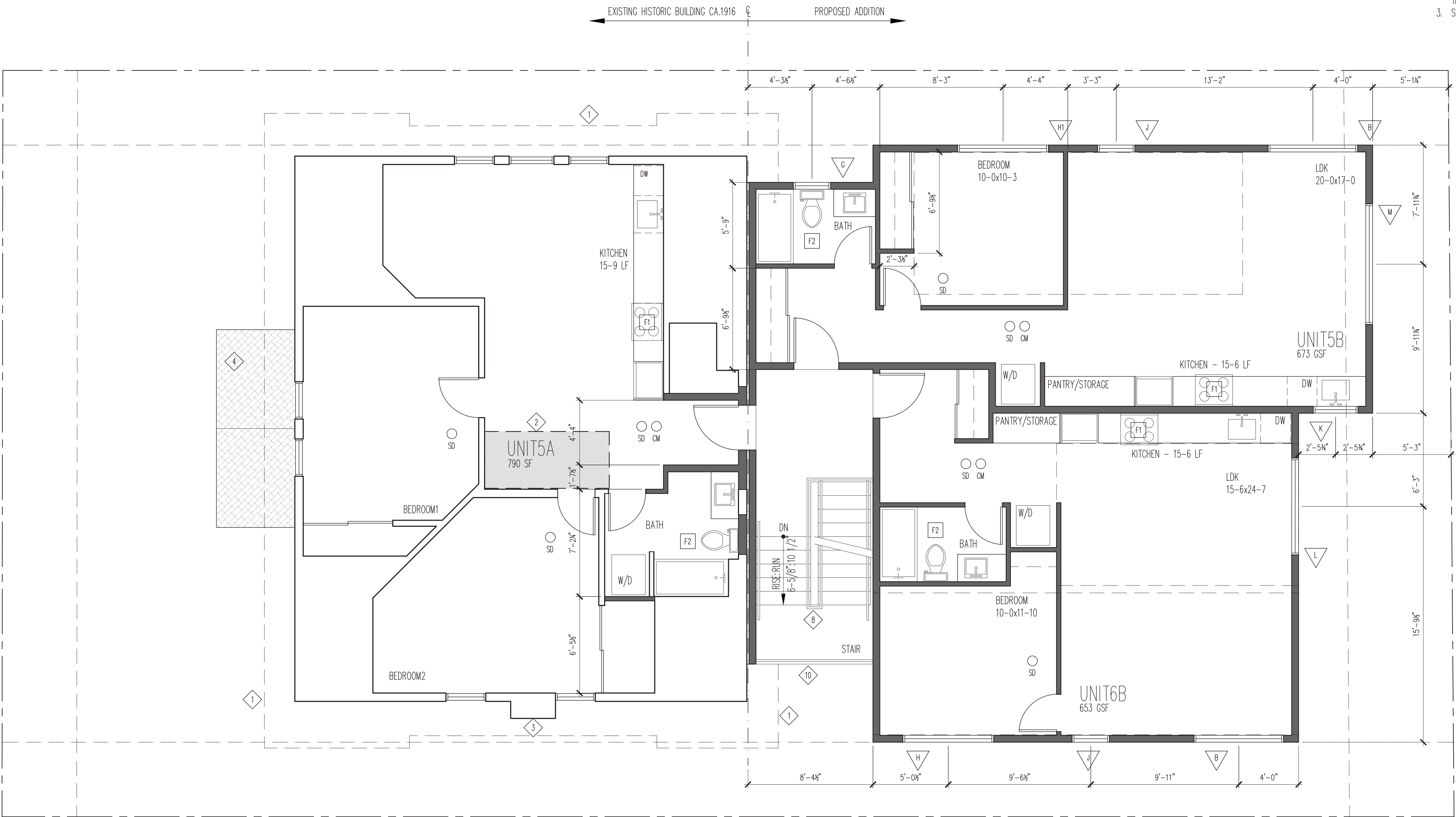
- GENERAL NOTES:
- 1. SEE SURVEY AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
 - 2. ALL EXISTING WINDOWS WILL REMAIN UNLESS OTHERWISE SPECIFIED IN THE FLOOR PLANS.
 - 3. SEE ELEVATIONS FOR EGRESS, SAFETY GLAZING AND WINDOW FUNCTION.



- FLOOR PLAN KEY NOTES:
- 1 OUTLINE OF FLOOR ABOVE
 - 2 AREA OF REPLACED FLOOR JOIST AND FINISHED FLOOR
 - 3 EXISTING CHIMNEY
 - 4 FLOOR BELOW
 - 5 NEW CONCRETE PATHWAY
 - 6 EXISTING CONCRETE AND MASONRY STAIR
 - 7 EXISTING CONCRETE STAIR TO THE BASEMENT
 - 8 EXTERIOR OPEN STAIR; METAL FRAME WITH CONCRETE STEPS AND CONTINUOUS 36" METAL GUARDRAIL
 - 9 PERFORATED METAL FENCE AND ENTRANCE GATE
 - 10 PERFORATED METAL FENCE WITH 36" GUARDRAIL

- LEGEND:
- NEW WALLS AND COLUMNS
 - EXISTING WALLS

- GENERAL NOTES:
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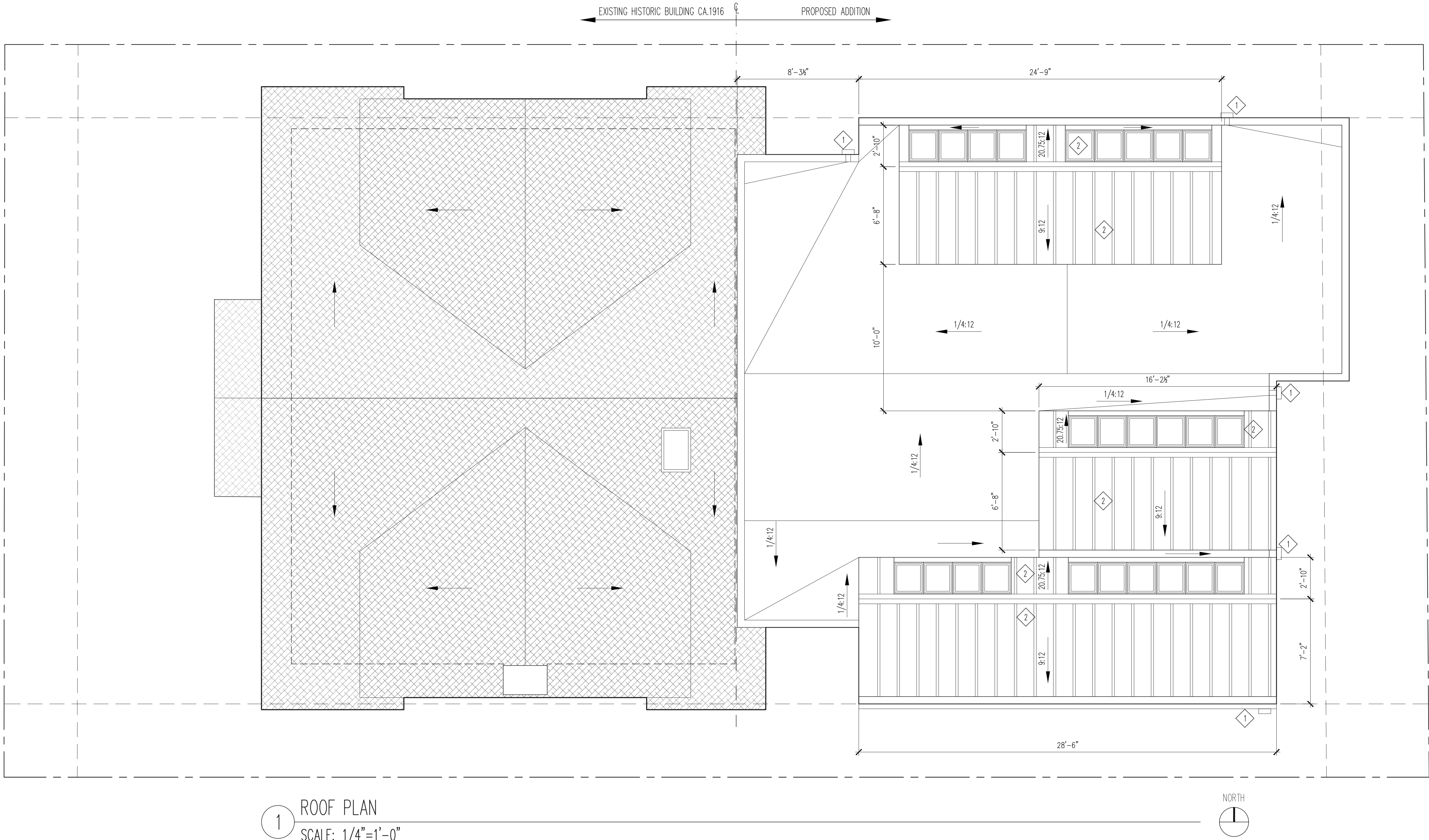


1 PROPOSED FLOOR PLAN -THIRD LEVEL
SCALE: 1/4"=1'-0"

FLOOR PLAN KEY NOTES:

- 1 OUTLINE OF FLOOR ABOVE
- 2 AREA OF REPLACED FLOOR JOIST AND FINISHED FLOOR
- 3 EXISTING CHIMNEY
- 4 FLOOR BELOW
- 5 NEW CONCRETE PATHWAY
- 6 EXISTING CONCRETE AND MASONRY STAIR
- 7 EXISTING CONCRETE STAIR TO THE BASEMENT
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- ROOF PLAN KEY NOTES:
- 1 DOWNSPOUT & GUTTER
 - 2 STANDING SEAM METAL ROOF SLOPED ROOF & SKYLIGHT

DIAGRAMS



AERIAL VIEW WITH PROPOSED ROOF PLAN
SCALE: NTS

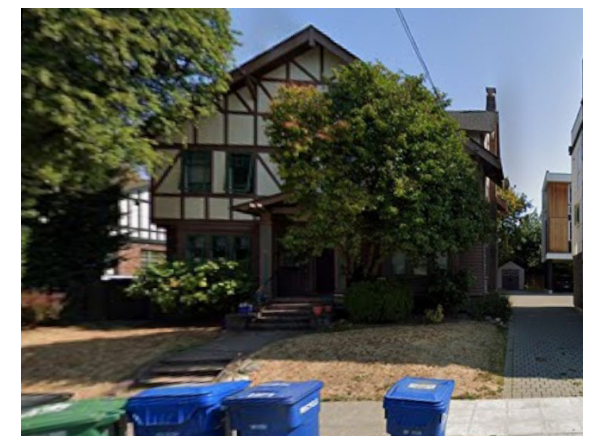
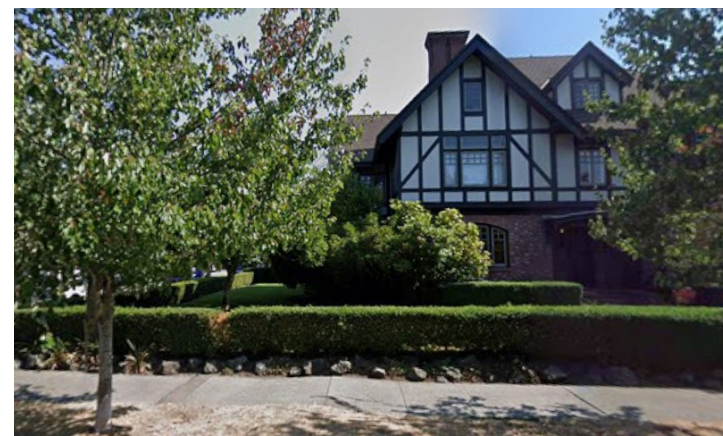
DIAGRAMS

BROADWAY EAST

A SIGHT LINE STUDY - VIEW FROM E. PROSPECT ST.
SCALE: NTS



B VIEW FROM DRIVEWAY ENTRANCE

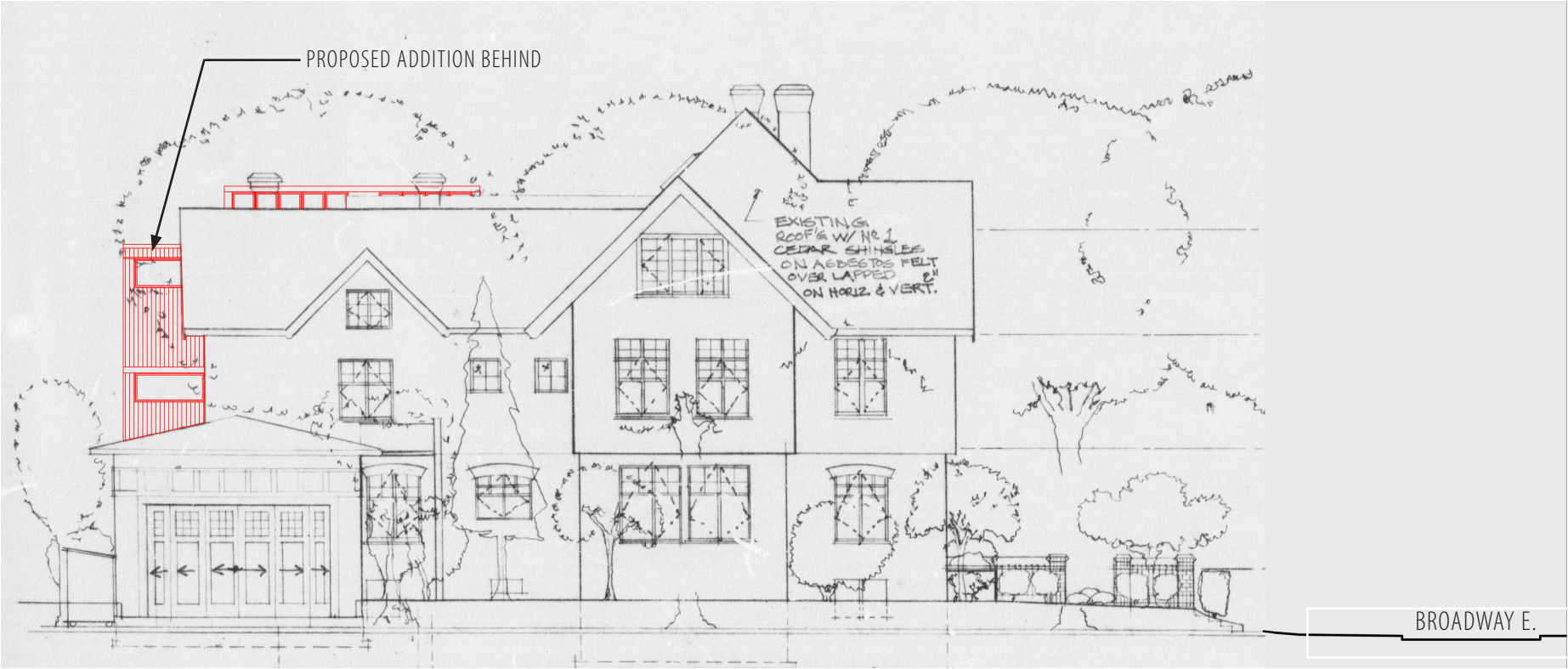


WEST FACADE 946 BROADWAY E.

DIAGRAMS



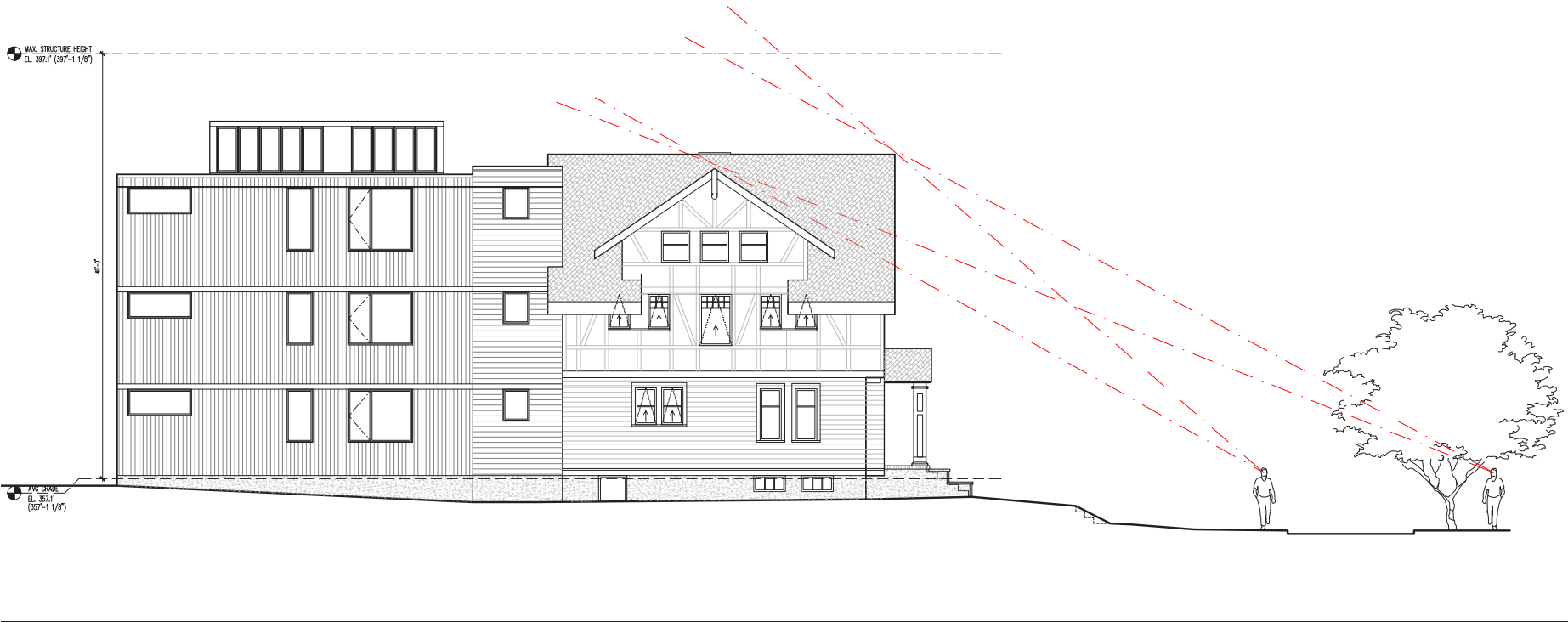
NORTH FACADE 954 BROADWAY E.



C ELEVATION STUDY - EAST PROSPECT ST.
SCALE: NTS

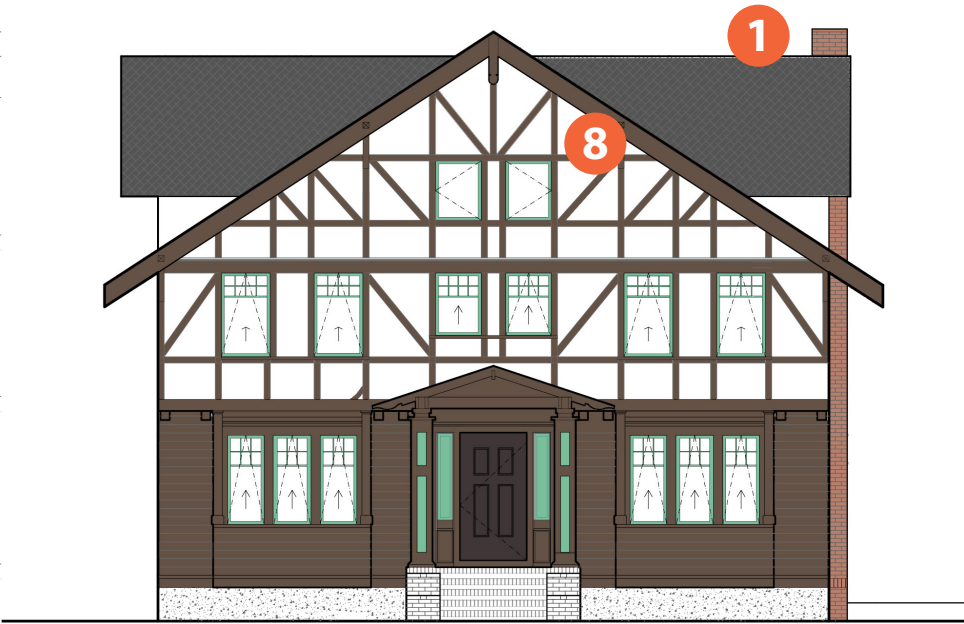


D VIEW FROM 10TH AVE E (EAST ELEVATION)

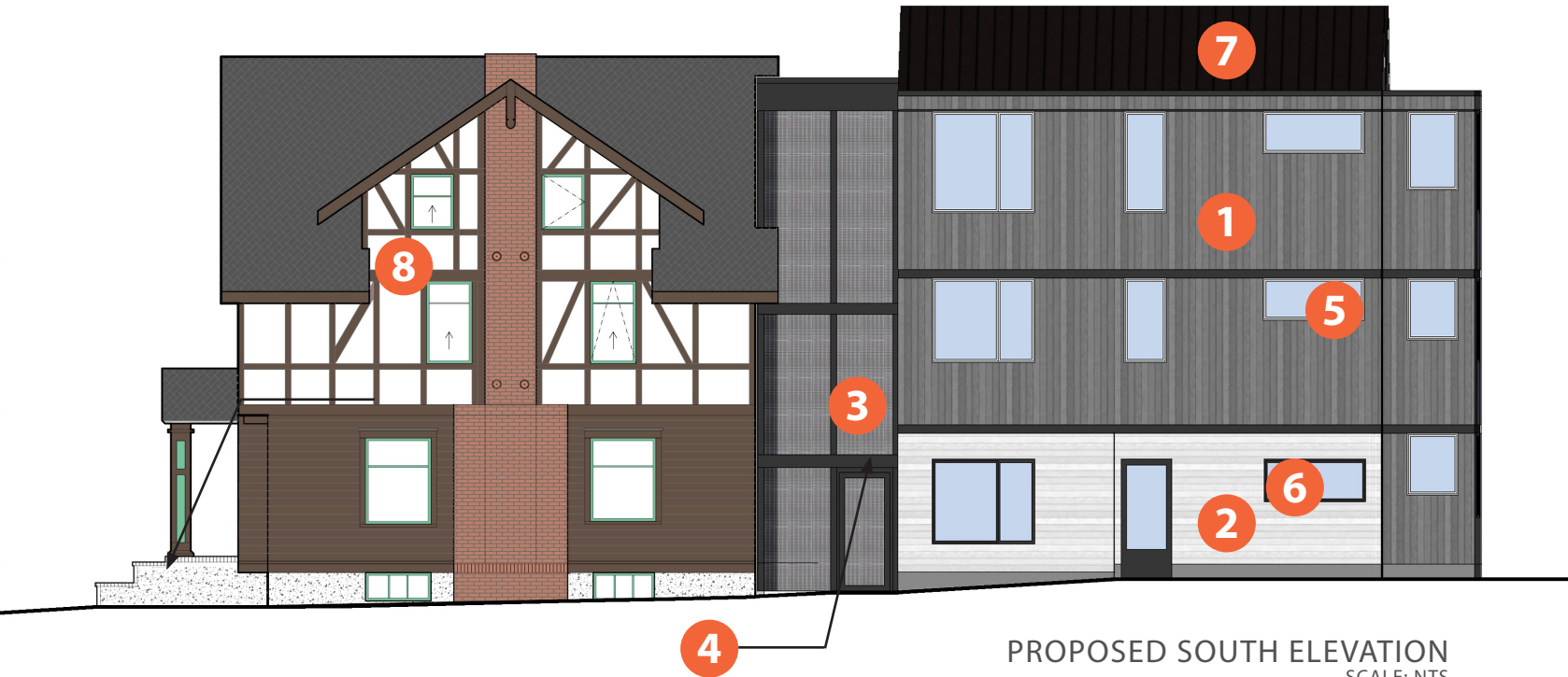


EAST PROSPECT ST.
SIGHT LINE STUDY - VIEW FROM BROADWAY E.
SCALE: NTS

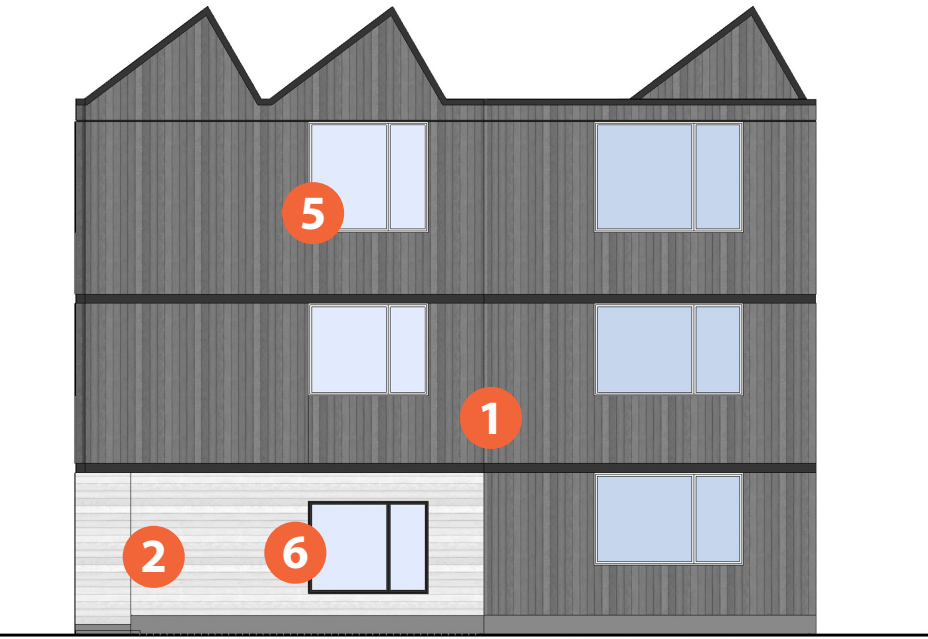
PROPOSED MATERIALS - RENDERS



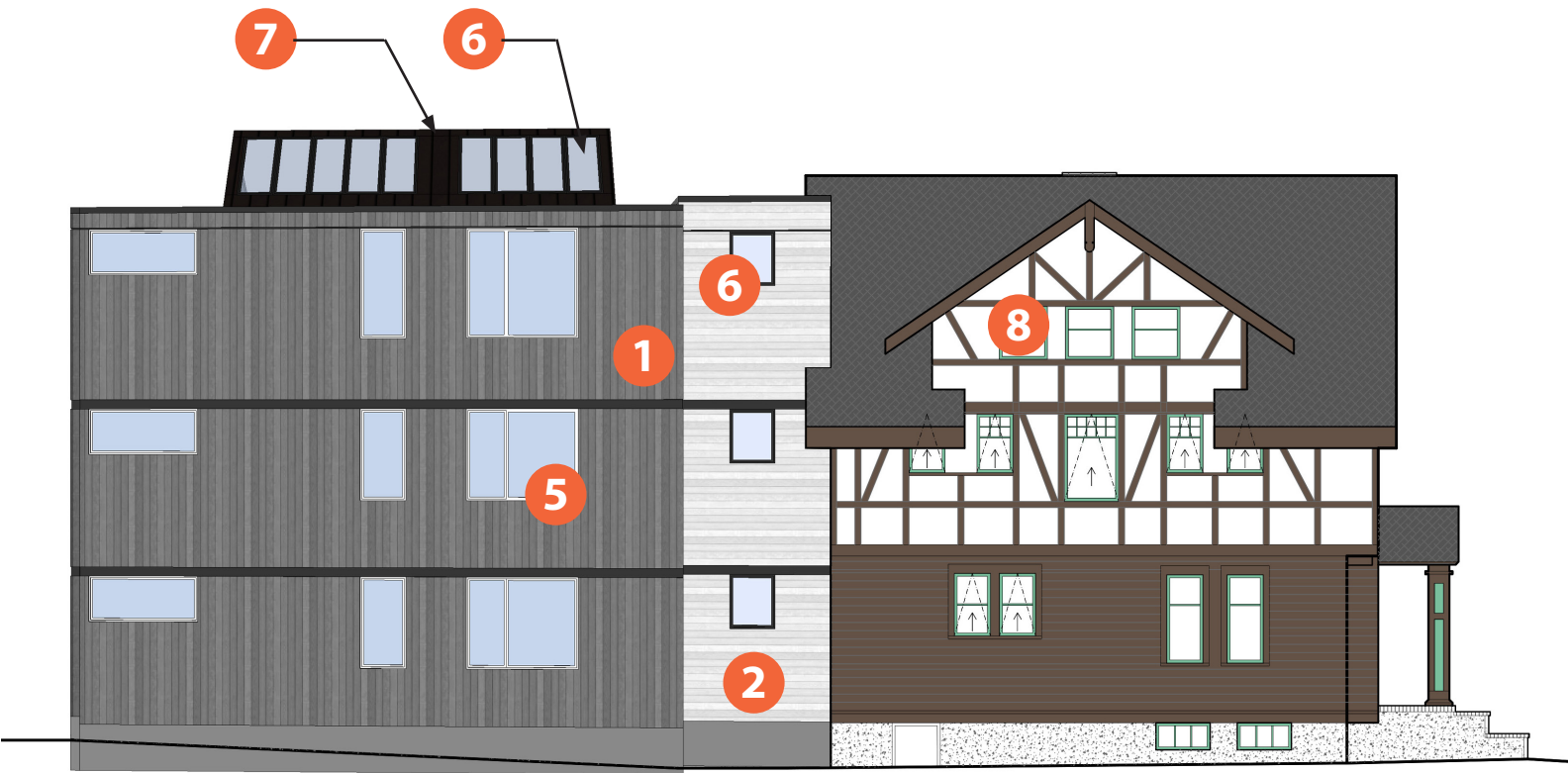
PROPOSED WEST ELEVATION
SCALE: NTS



PROPOSED SOUTH ELEVATION
SCALE: NTS



PROPOSED EAST ELEVATION
SCALE: NTS



PROPOSED NORTH ELEVATION
SCALE: NTS

PROPOSED MATERIALS

1 Vertical Wood Siding
Hewn Kebony Patagonia Gray

2 Exterior Horizontal Siding and Soffit
Cementitious Panel - White

3 Common Stair at South Wall
McNichols Bar Grate - Galvanized

4 Entrance Exterior Light Fixture
Aacon Lighting - Wall Mounted Black

5 New Windows & Doors
VPI Windows- White & Black

6 New Roof Monitor + Windows
VPI Windows- Black

7 Standing Seam Metal Roof
Neutral Matte Basalt

8 Existing Building Colors
Benjamin Moore
Stucco: Smoke Embers 1466
Wood: Falcon Brown 1238
Window Frames: Northern Lights 586

