



B.F. Day Elementary School Window Replacement Seattle Public Schools

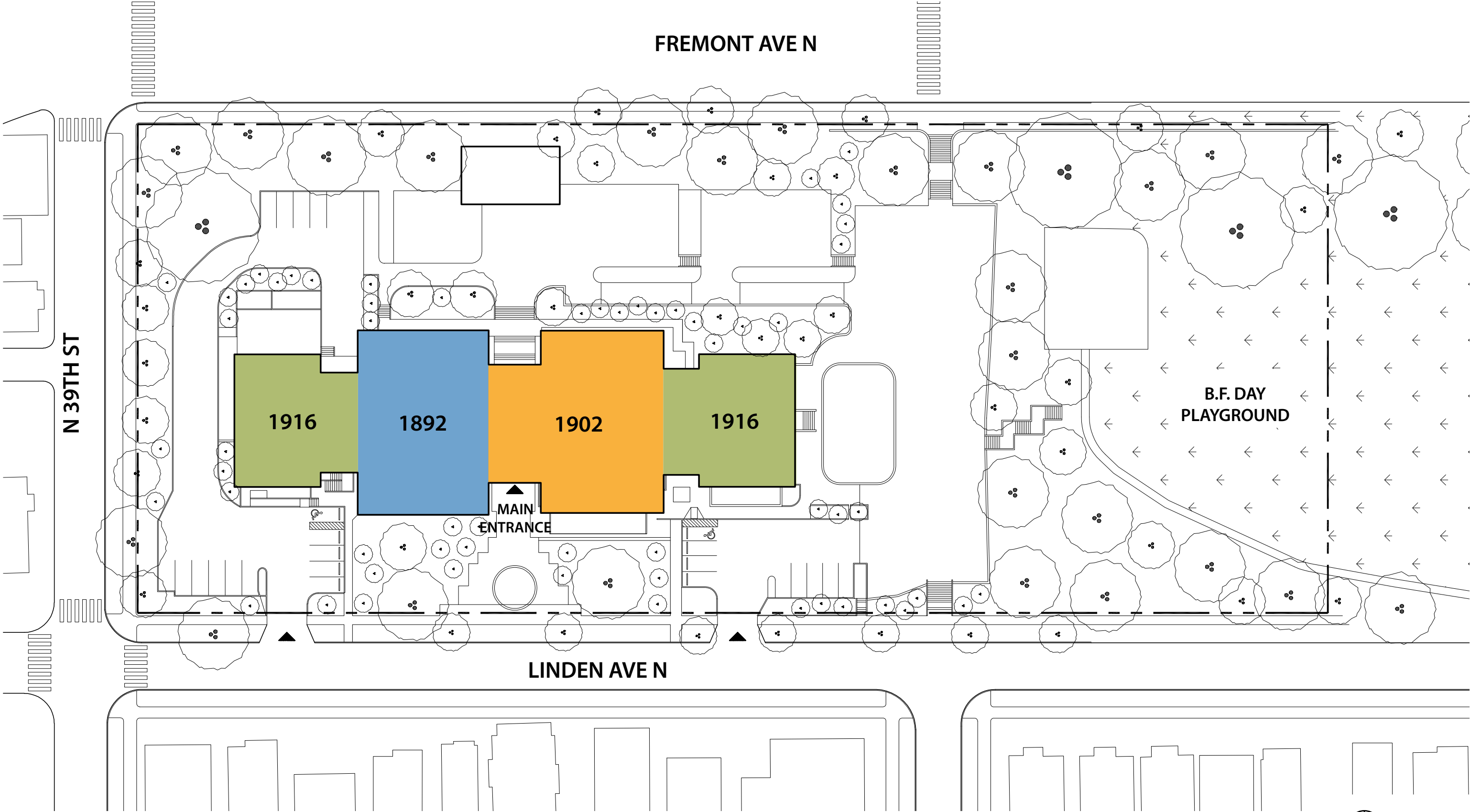
Landmarks Preservation Board
Application for Certificate of Approval
April 21, 2025

Overview of Project Context

Proposed Construction Details

Proposed Specifications

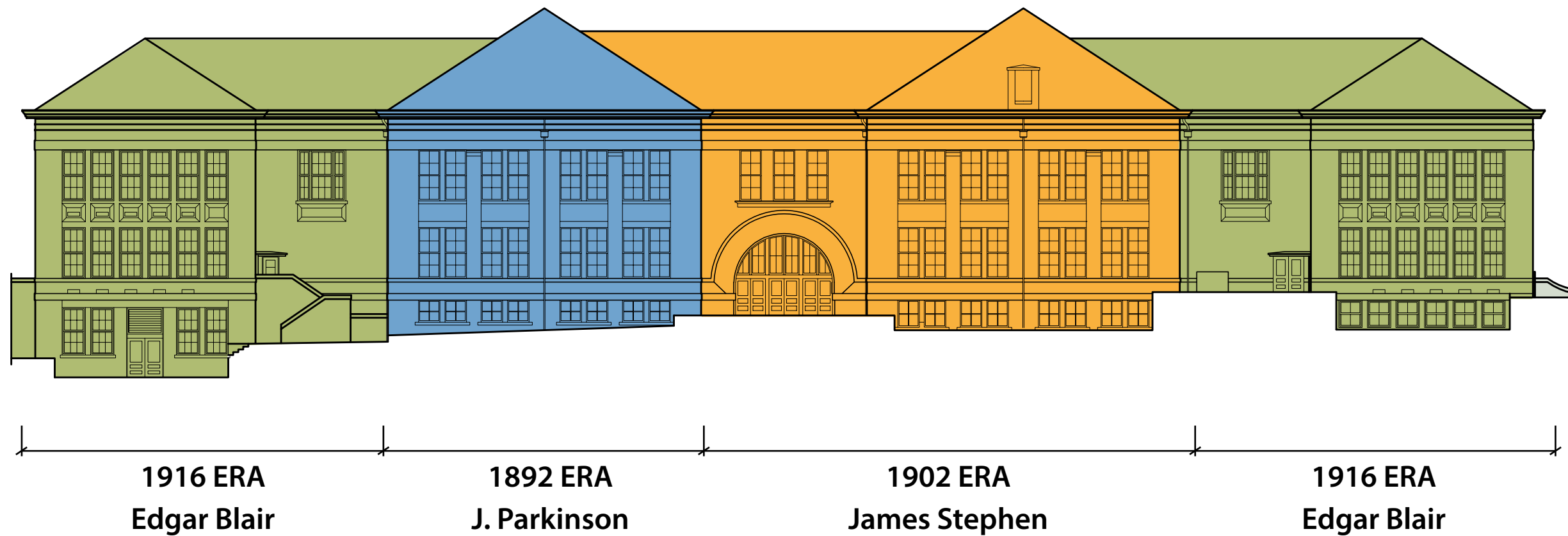




LANDMARK DESIGNATION

The features of the Landmark to be preserved include:

"Entire exterior of school building and site."





**1892 BUILDING
VIEW FROM SOUTHEAST**



**1892 + 1902 BUILDINGS
VIEW FROM SOUTHEAST**



**AERIAL VIEW FROM WEST SHOWING
1916 ADDITIONS**



VIEW FROM SOUTHEAST



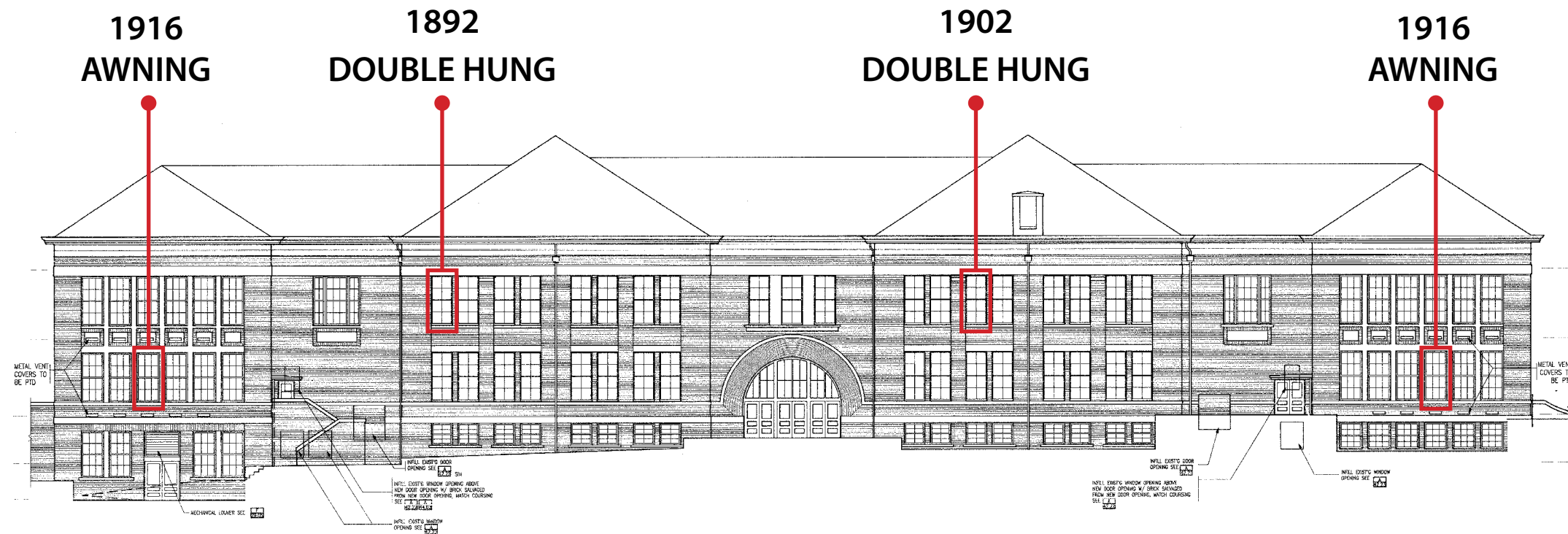
VIEW FROM NORTHEAST

Maintain Compatibility with Landmark Designation

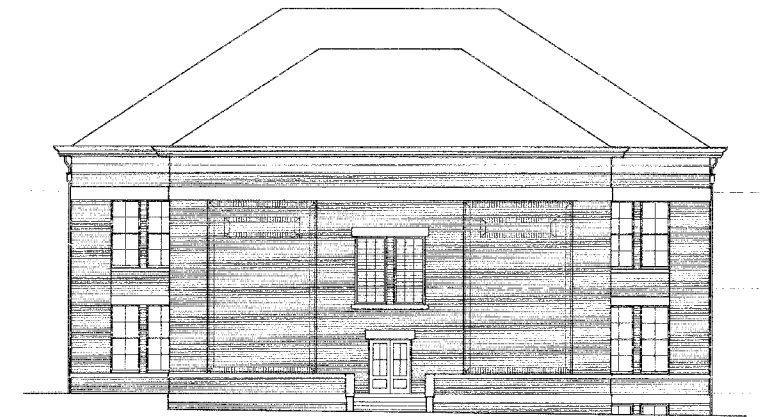
**Long Term Investment:
Energy, Operability, and Safety**

Improve the Learning Environment

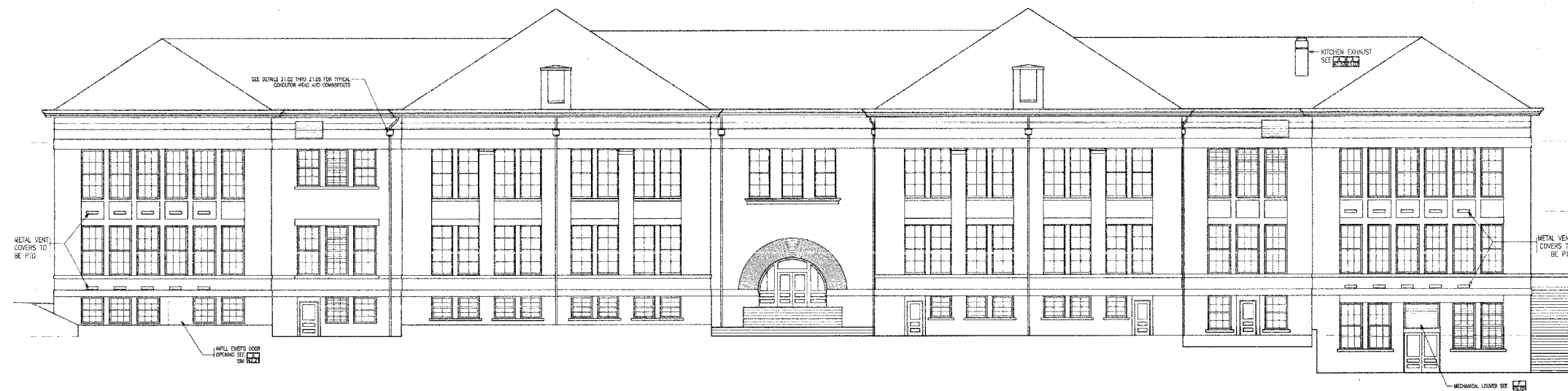
EXTERIOR ELEVATIONS



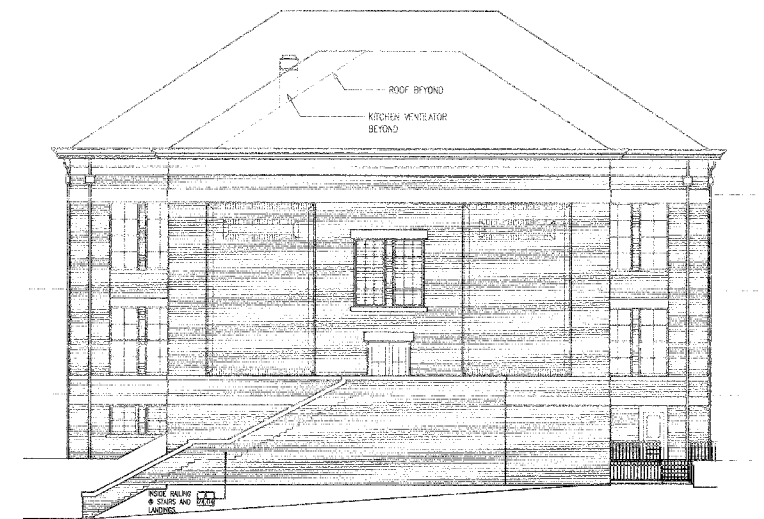
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

Basis of Design

- Aluminum clad wood historic replica windows
- Double glazed insulated glazing units with simulated divided lites
- Single hung operation with heavy duty hardware at the 1892 and 1902 era construction
- Crank-out awning operation with heavy duty hardware at the 1916 era construction

Window Systems:

Kolbe Ultra Series XL Sterling Single Hung Units, or, Pella Reserve Traditional Monumental-Hung (single hung), and, Kolbe Ultra Series XL Crank-Out Awning Window Units, or, Pella Reserve Traditional Awning Window Units, and, Kolbe Ultra Series Fixed Units, or, Pella Reserve Traditional Fixed Units

Design Intent

- Maintain the size, proportions, and overall appearance of the historic windows
- Prioritize safe user experience in window operation
 - Custodial locks at the lower sash at the single hung windows
 - Heavy duty crank-out operation at the projected awning windows

Project Outcomes

- Extend the life of the building
- Improve building energy performance and improve thermal comfort of occupants
- Allow teachers and staff to safely operate and secure all windows
- Reduce maintenance with aluminum clad wood window units

PROMINENT EXISTING WINDOW TYPES



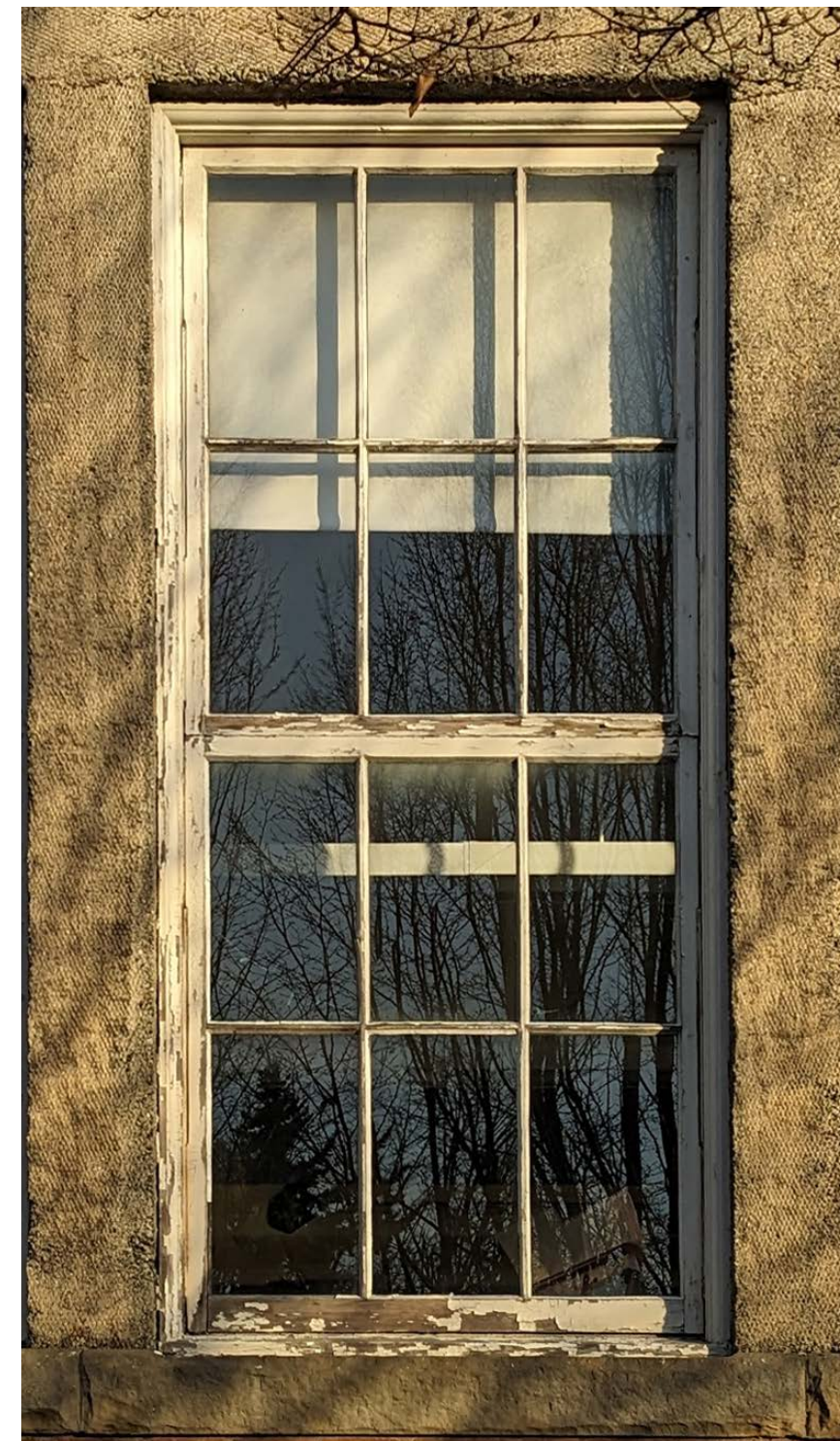
1892 DOUBLE HUNG WINDOW

- Stone head and sill conditions
- Brick jamb conditions



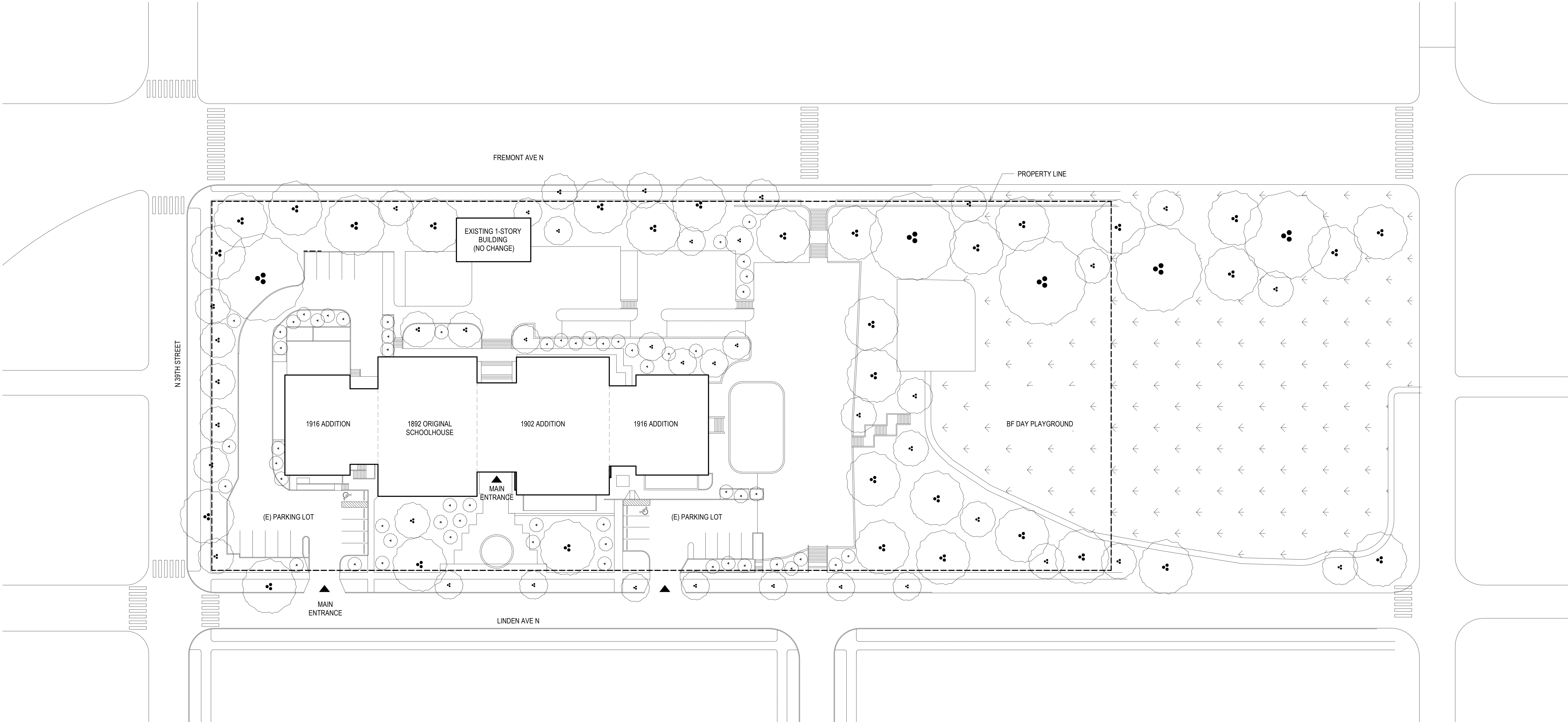
1902 DOUBLE HUNG WINDOW

- Stone head and sill conditions
- Brick jamb conditions



1916 AWNING WINDOW

- Concrete and stone head and sill conditions
- Concrete and brick jamb conditions



1 SITE PLAN
1" = 30'-0"

Seattle Public Schools
BF Day Elementary School
Window Replacement

6760 34th Ave SW, Seattle, WA 98126

NOTE: DRAWING SET SCALED FOR 30x42 SHEET

© MILLER HAYASHI ARCHITECTS PLLC

CONSULTANT

STAMP



ARCHITECT

Miller Hayashi Architects PLLC
118 North 35th St., Suite 200
Seattle, Washington 98103
Tel: 206 634 0177

Project #2328

PHASE

Landmarks
Certificate of
Approval Set

DATE

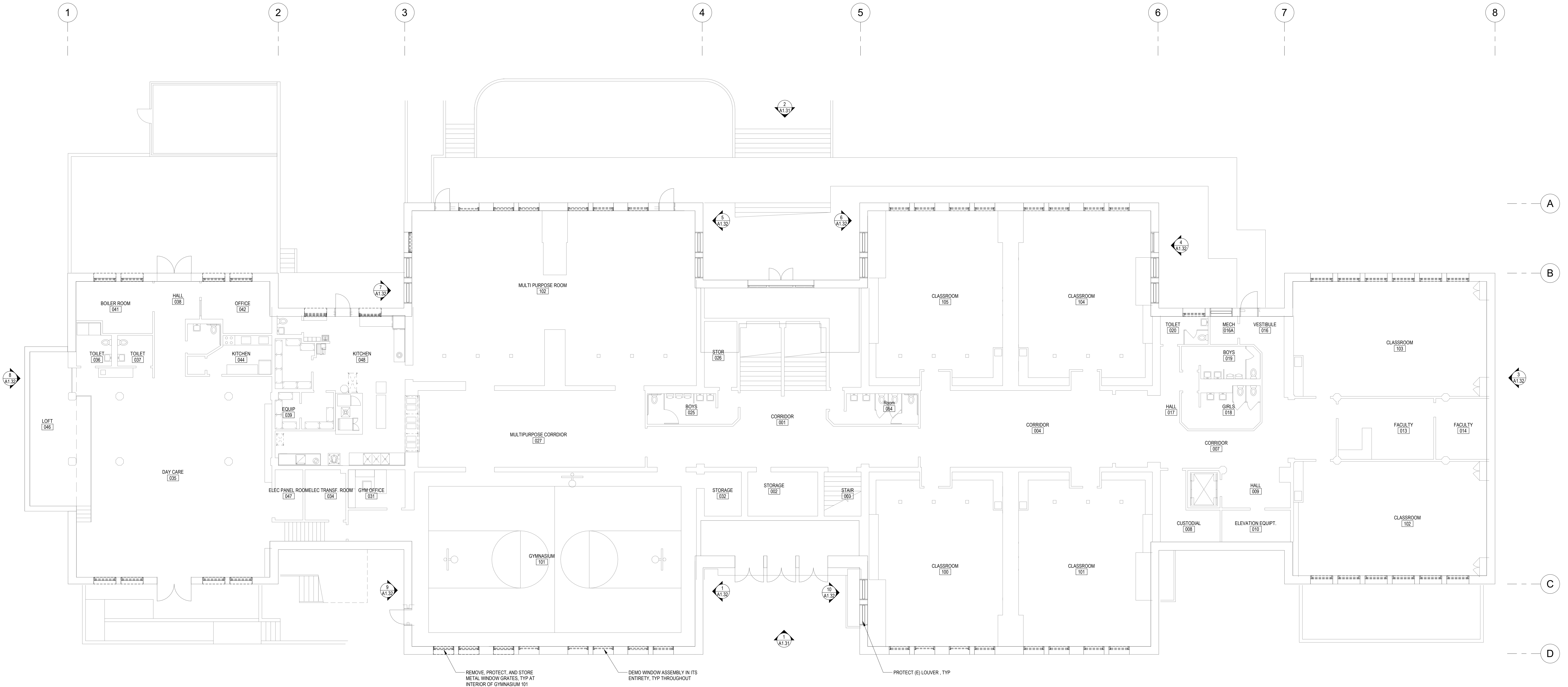
04/21/25

SHEET TITLE

SITE PLAN

SHEET NO.

A1.10



1 Selective Demolition Plan - Ground Level
1/8" = 1'-0"

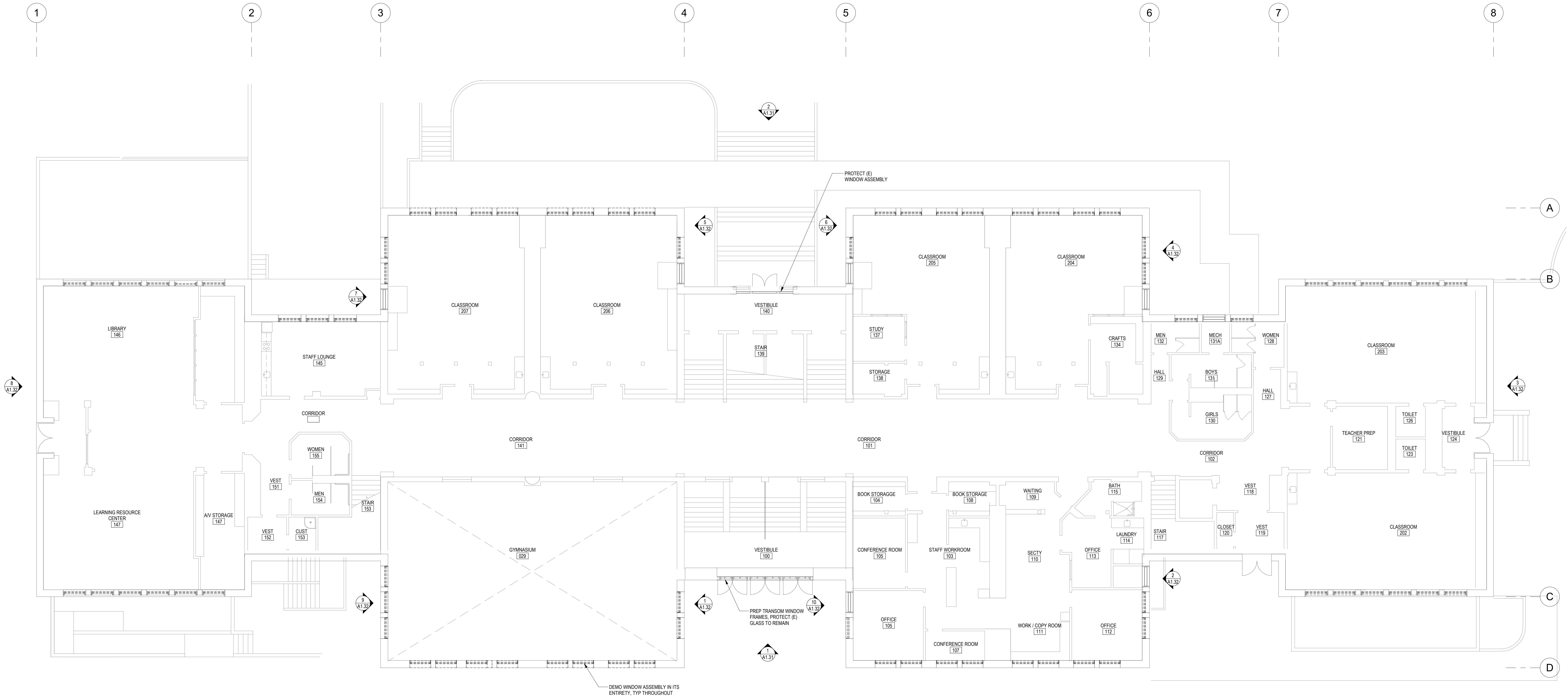
Selective Demo Plan Legend

--- EXISTING WINDOW AND FRAME TO BE DEMOLISHED, TYP

Selective Demolition Plan General Notes

- GENERAL NOTES
- CONTRACTOR TO REVIEW THE ENTIRE PROJECT DOCUMENTS AND PERFORM SELECTIVE DEMOLITION TO ACCOMPLISH THE WORK OF THE CONTRACT WHILE PROTECTING THE BUILDING, GROUNDS, HARDSCAPE, LANDSCAPE, AND ALL WORK TO REMAIN. GENERAL CONTRACTOR SHALL PHOTOGRAPHICALLY DOCUMENT AND REVIEW EXISTING DAMAGE IN MATERIALS AND ASSEMBLIES TO REMAIN WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING DEMOLITION.
 - CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES WITH THE DRAWINGS THAT MAY AFFECT THE STRUCTURAL CAPACITIES AND FINISHED APPEARANCE OF THE CONCRETE BEFORE PROCEEDING WITH ANY DEMOLITION ACTIVITIES.
 - DRAWING REPRESENTATIONS OF FRAMING AND OTHER CONCEALED CONDITIONS IN EXISTING BUILDING ARE APPROXIMATE. ACTUAL CONDITIONS MAY DIFFER. CONTRACTOR TO CONSULT WITH ARCHITECT IF SIGNIFICANT DISCREPANCIES ARE FOUND DURING DEMOLITION.
 - COORDINATE ALL DEMOLITION WORK, INCLUDING WORK OF ALL TRADES AND WORK SHOWN ON OTHER SHEETS THROUGHOUT THE SET.
 - DEMOLISH AND REMOVE ALL WINDOWS DESIGNATED IN DASHED LINES IN THEIR ENTIRETY, UNO.
 - TAKE CARE TO PROTECT CONCRETE ELEMENTS, EXISTING ROOF, ROOFING, FLASHINGS, BRICK MASONRY, WINDOWS, DOORS, AND OTHER EXTERIOR ELEMENTS INTENDED TO REMAIN WHEN REMOVING FASTENERS AND ANCHORS. CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING SUCH AREAS.
 - REMOVE WINDOWS AT EXISTING OPENINGS SCHEDULED TO RECEIVE NEW WINDOWS, UNO, AND PREPARE OPENING TO RECEIVE WINDOW. REFER TO ELEVATIONS, WINDOW SCHEDULE, AND DETAILS.

SHEET REVISIONS	BUILDING DEPARTMENT'S STAMP	Seattle Public Schools BF Day Elementary School Window Replacement 6760 34th Ave SW, Seattle, WA 98126 NOTE: DRAWING SET SCALED FOR 30x42 SHEET	CONSULTANT	STAMP 10410 REGISTERED ARCHITECT Jawar Naman SAVIA R. NAMAN STATE OF WASHINGTON	ARCHITECT Miller Hayashi Architects PLLC 118 North 35th St., Suite 200 Seattle, Washington 98103 Tel: 206 634 0177 Project #2328	PHASE Landmarks Certificate of Approval Set DATE 04/21/25	SHEET TITLE SELECTIVE DEMOLITION PLAN - GROUND LEVEL SHEET NO. A1.20
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1 Selective Demolition Plan - Level 1
1/8" = 1'-0"

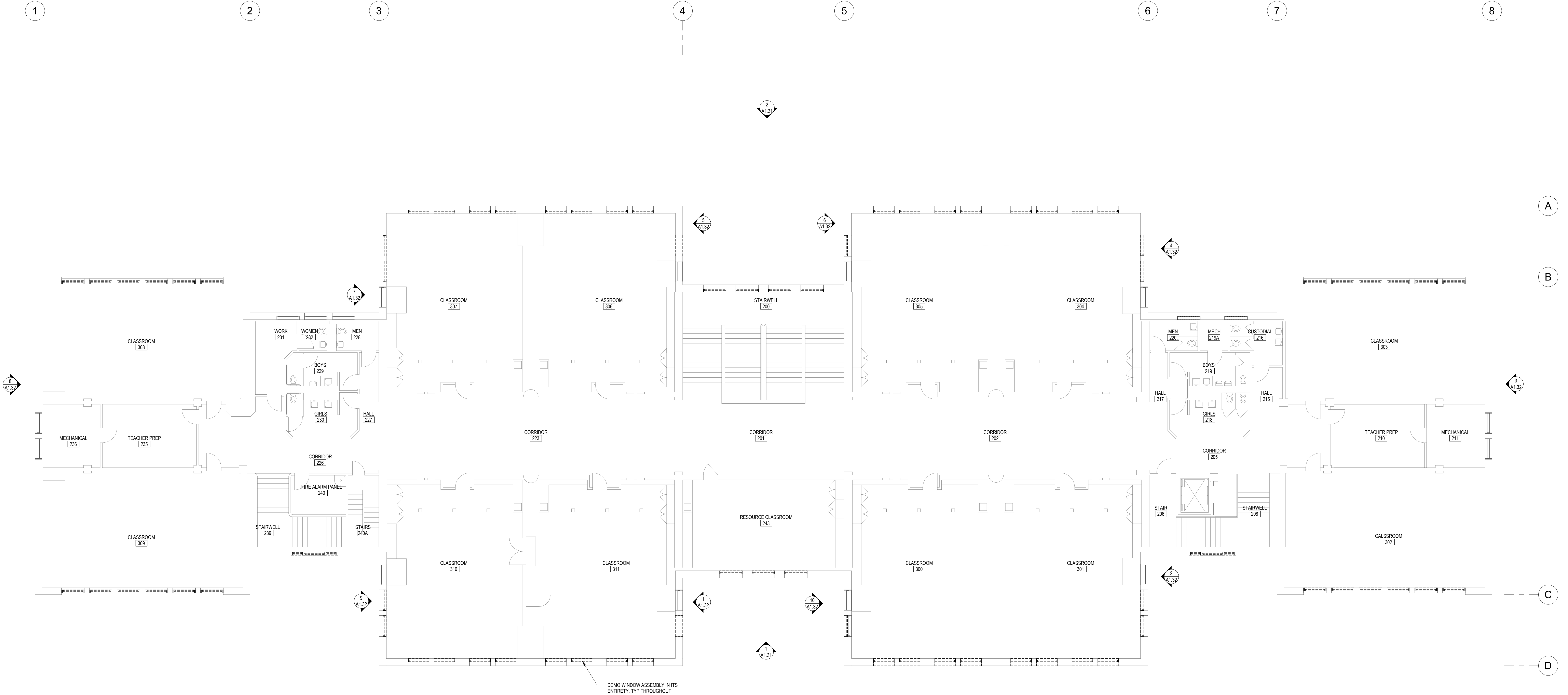
Selective Demo Plan Legend

--- EXISTING WINDOW AND FRAME TO BE DEMOLISHED, TYP

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1 Selective Demolition Plan - Level 2
1/8" = 1'-0"

Selective Demo Plan Legend

--- EXISTING WINDOW AND FRAME TO BE DEMOLISHED, TYP

Selective Demolition Plan General Notes

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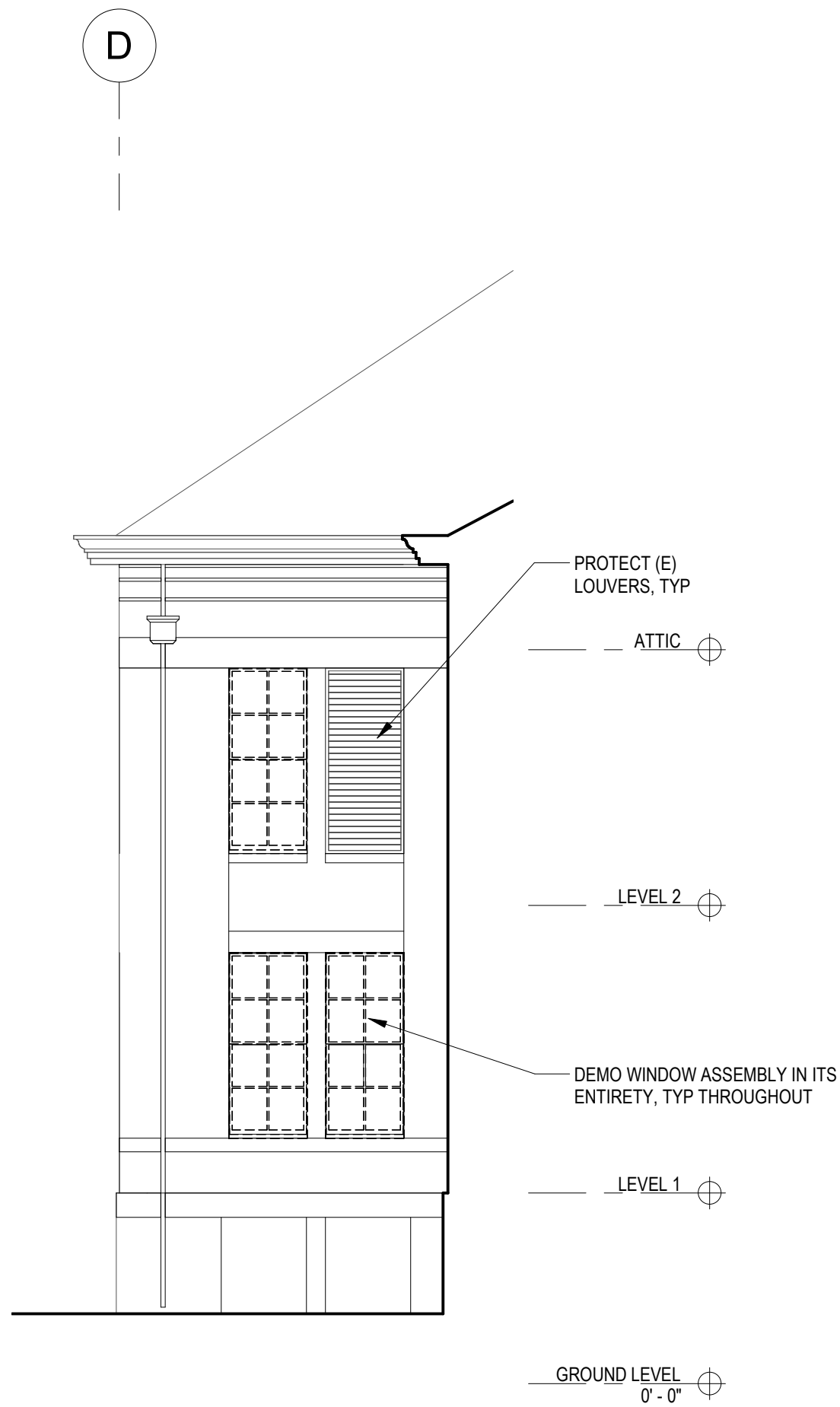


1 East Elevation - Selective Demolition
1/8" = 1'-0"

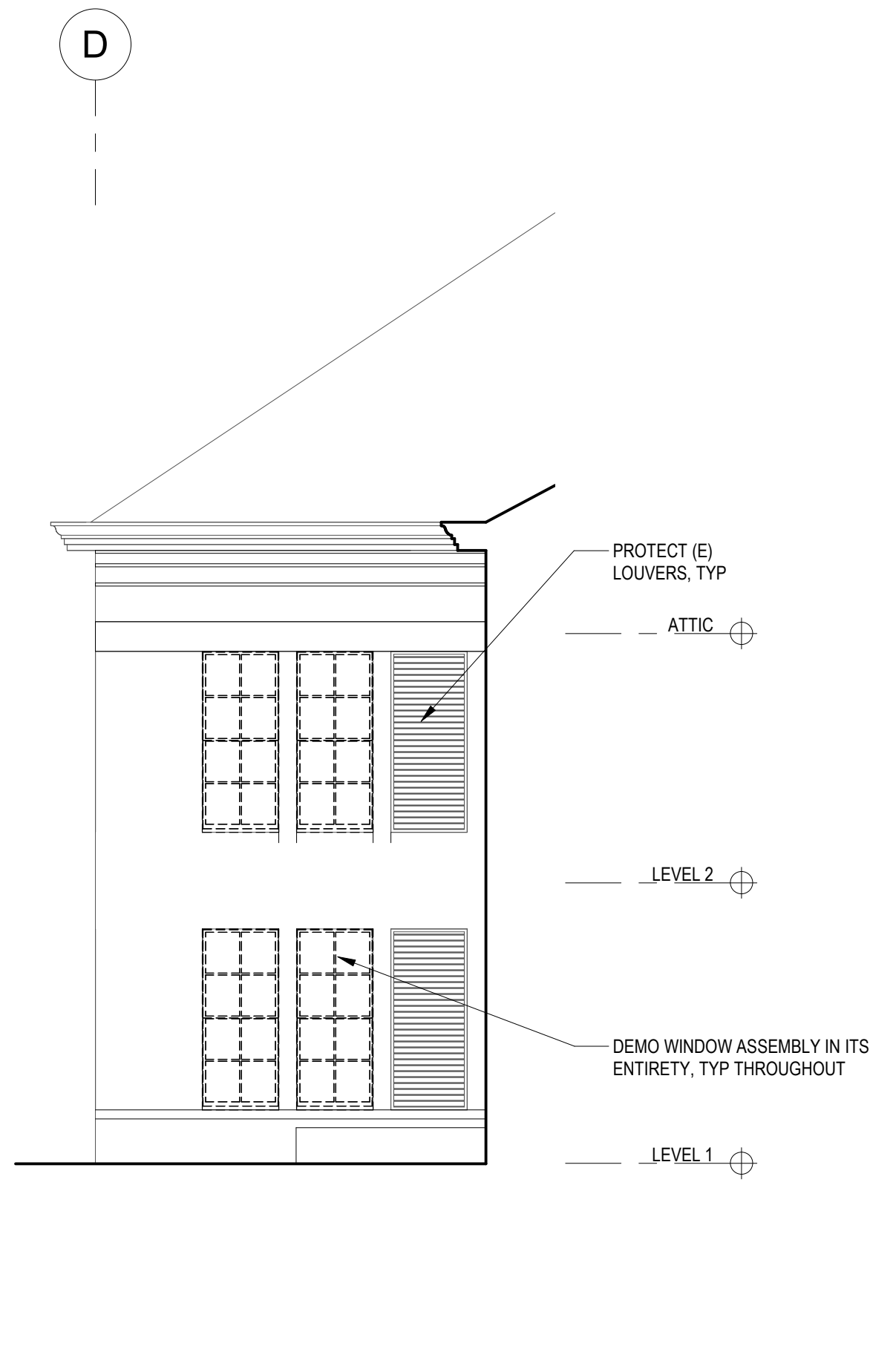


2 West Elevation - Selective Demolition
1/8" = 1'-0"

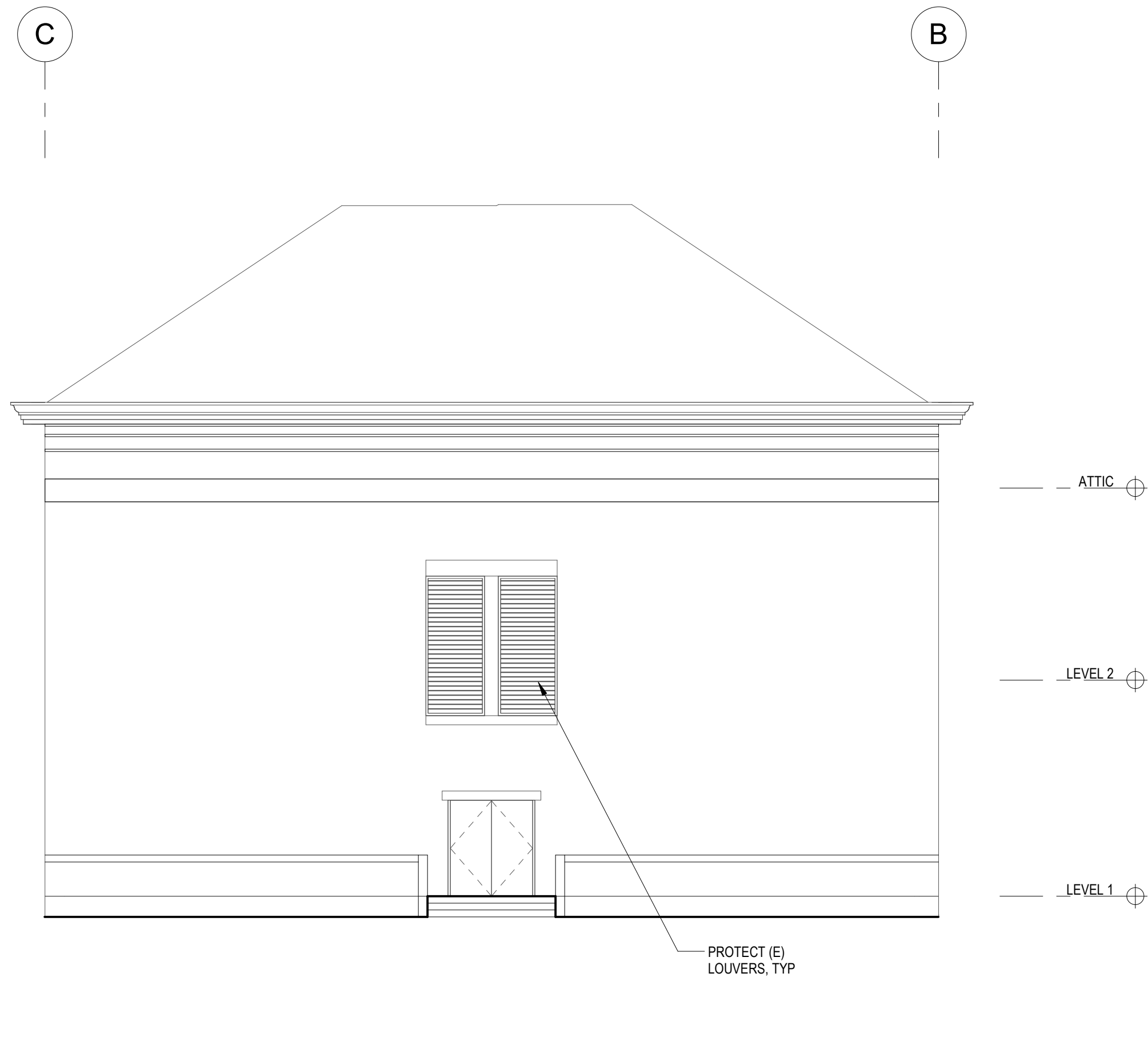
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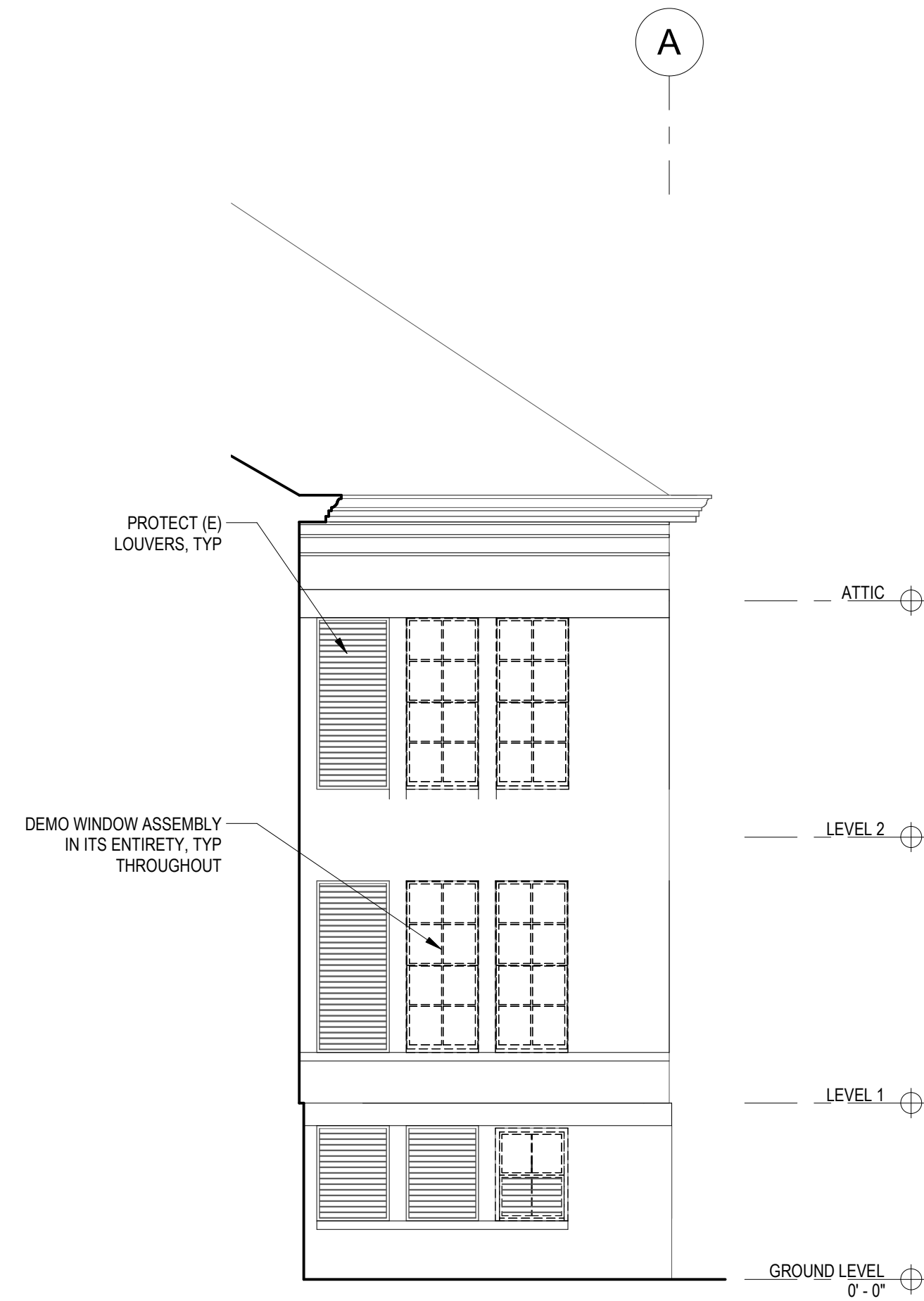
1 North Elevation 1 - Selective Demolition
1/8" = 1'-0"



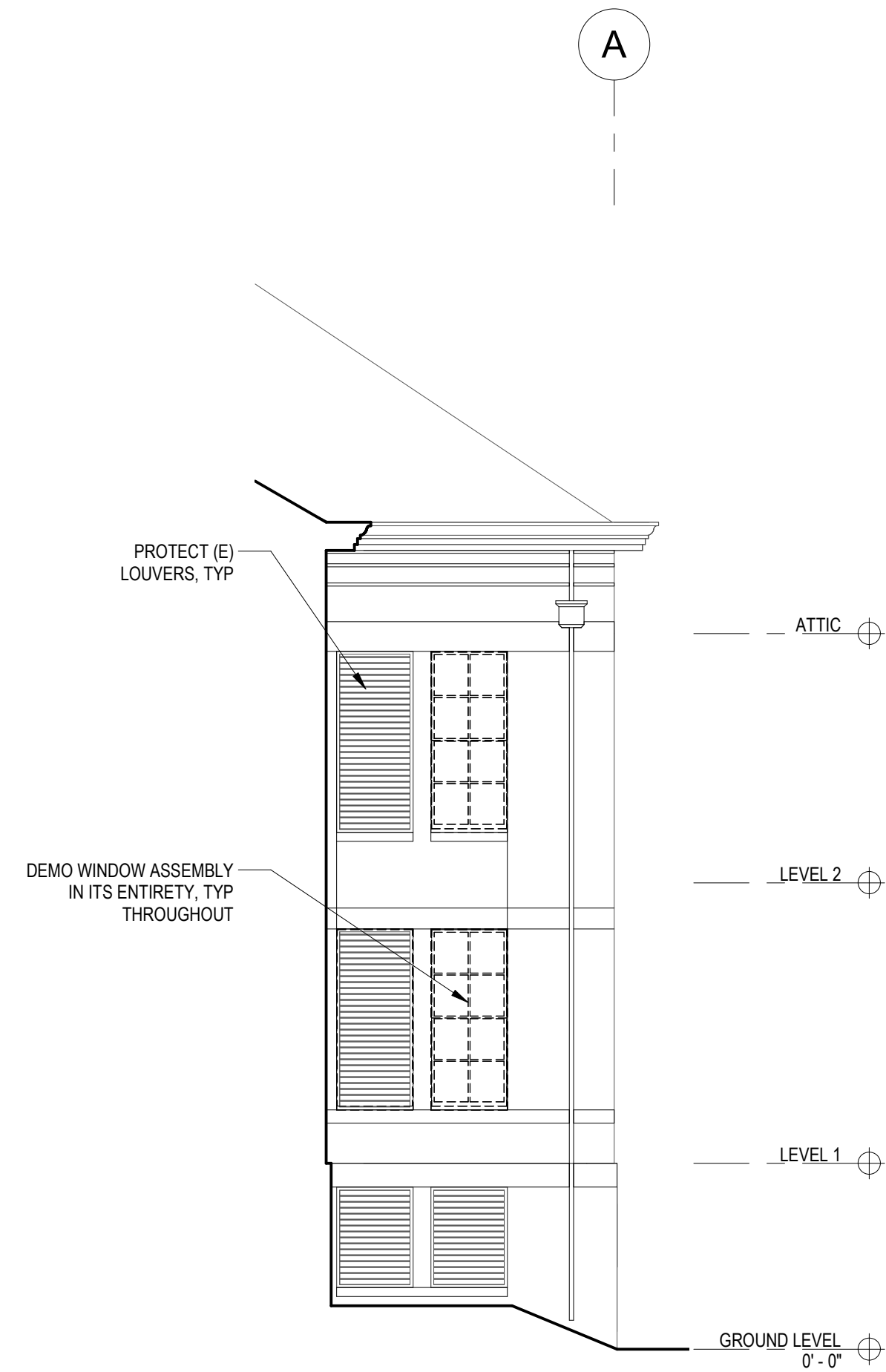
2 North Elevation 2 - Selective Demolition
1/8" = 1'-0"



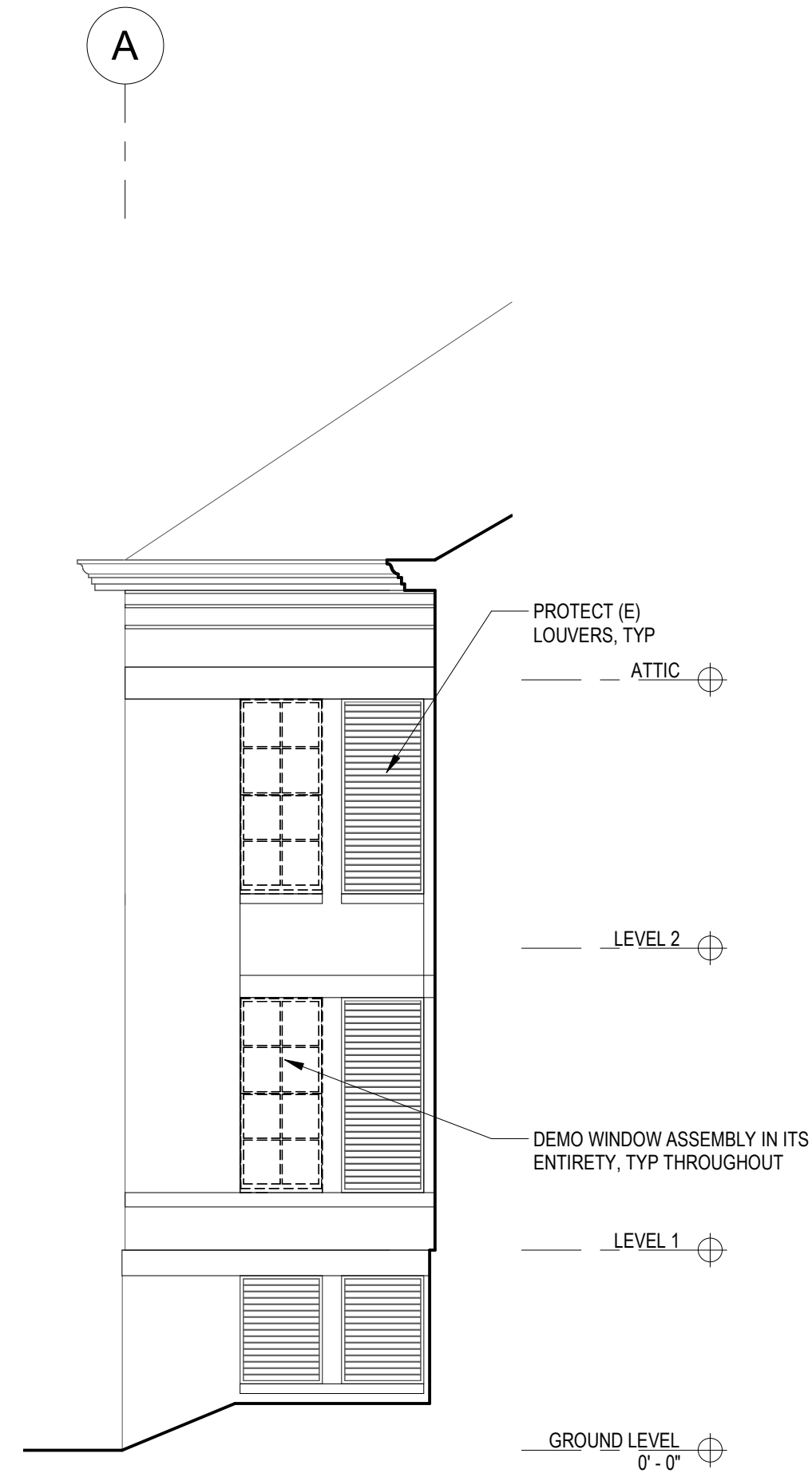
3 North Elevation 3 - Selective Demolition
1/8" = 1'-0"



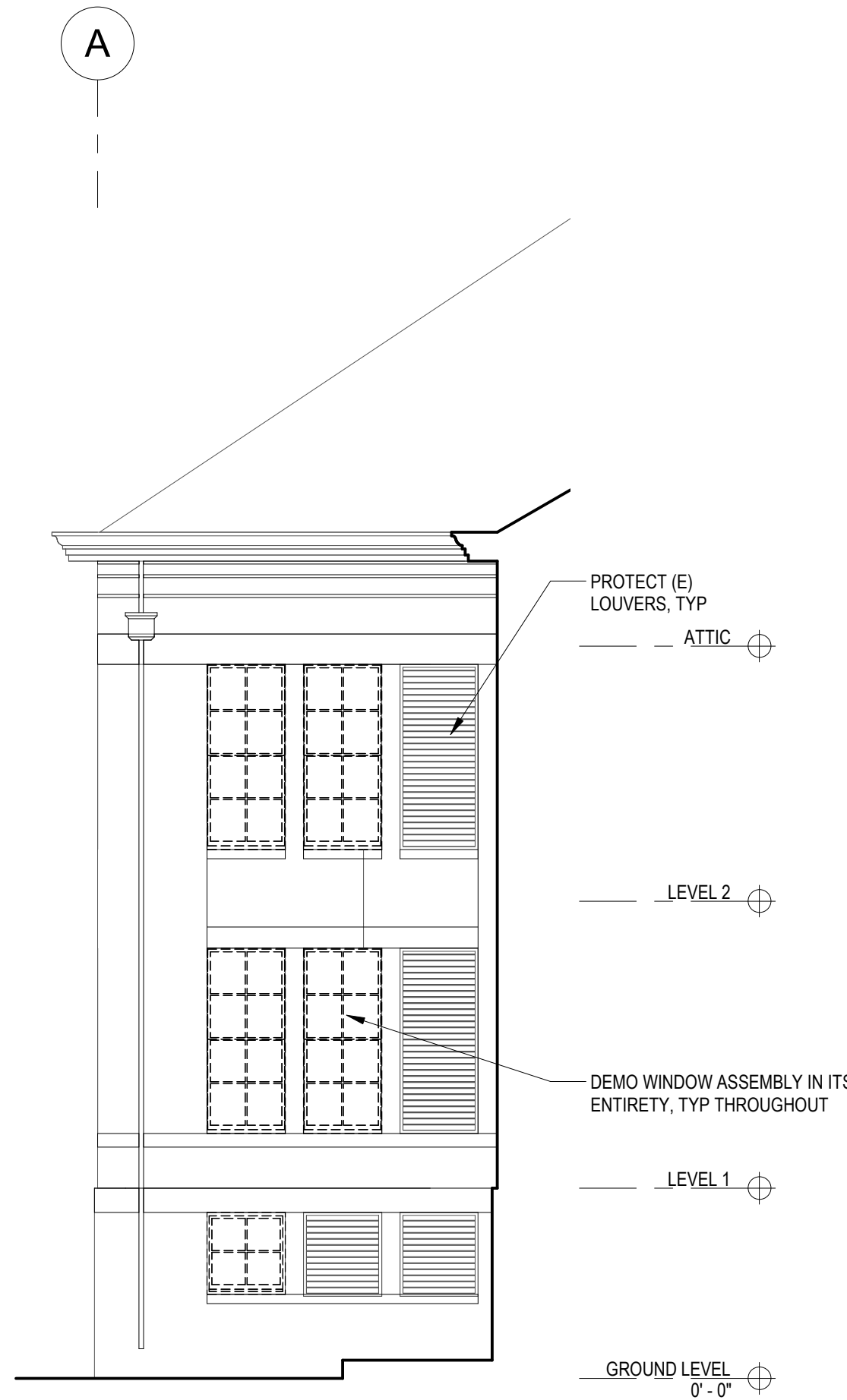
4 North Elevation 4 - Selective Demolition
1/8" = 1'-0"



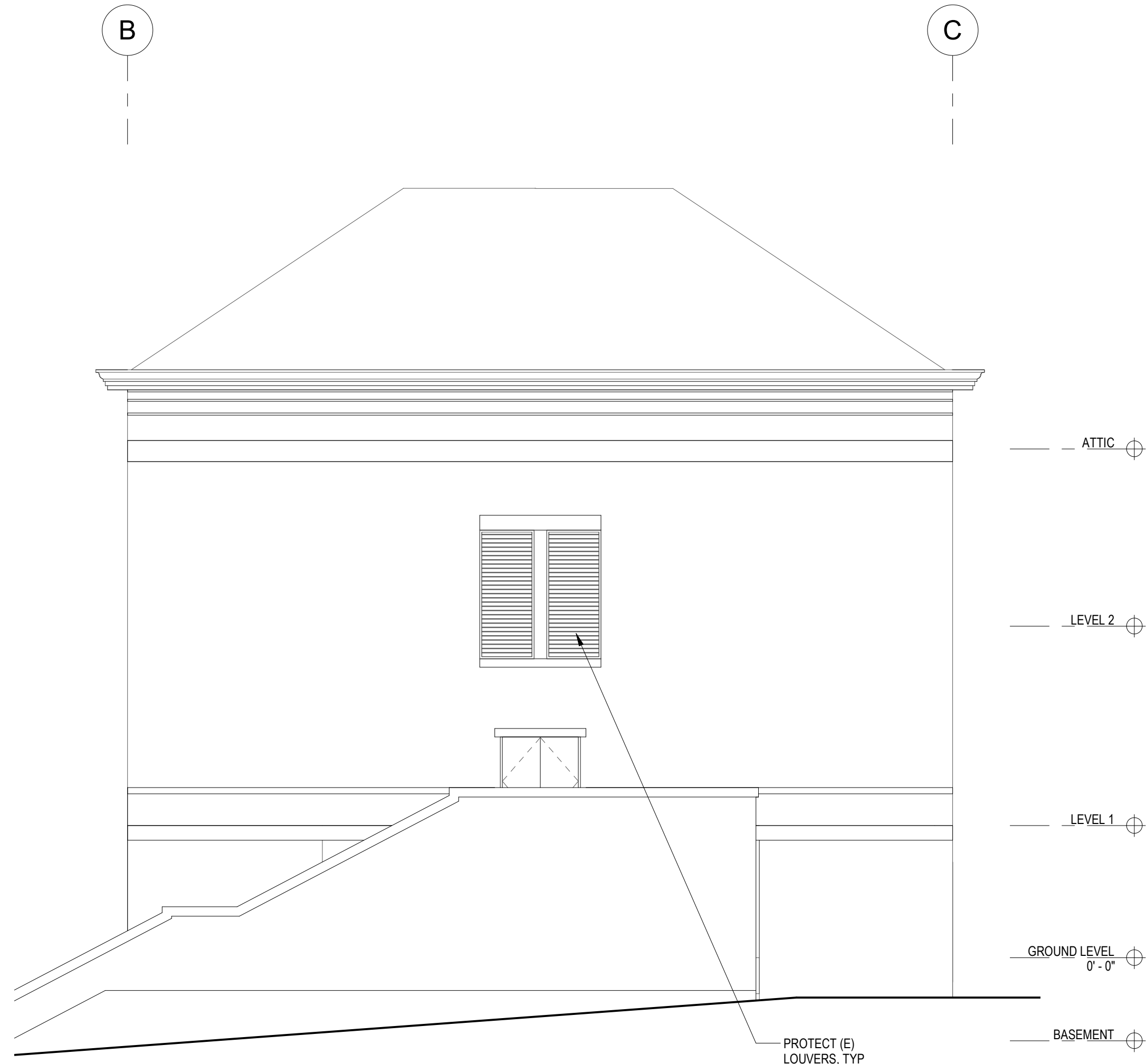
5 North Elevation 5 - Selective Demolition
1/8" = 1'-0"



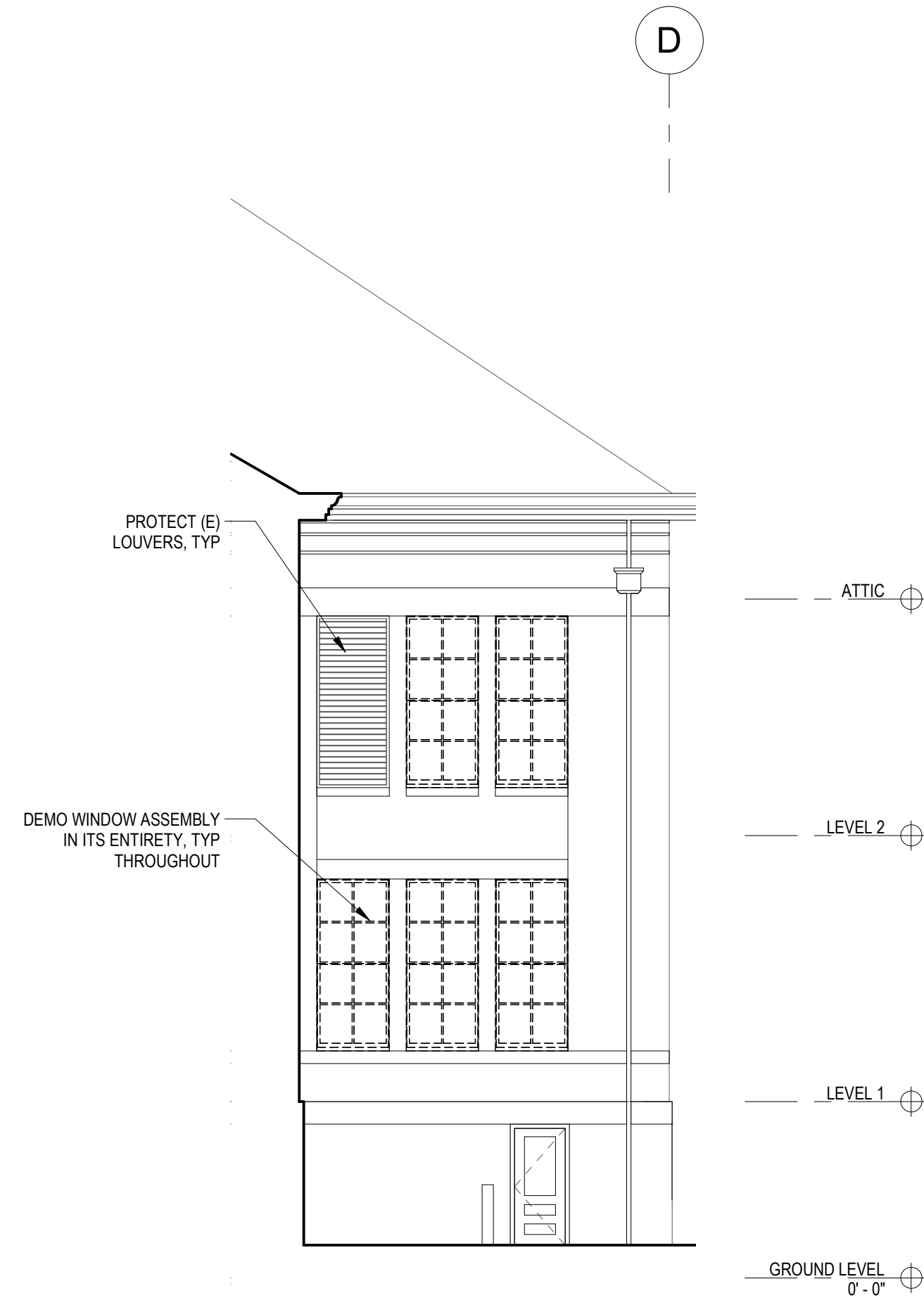
6 South Elevation 1 - Selective Demolition
1/8" = 1'-0"



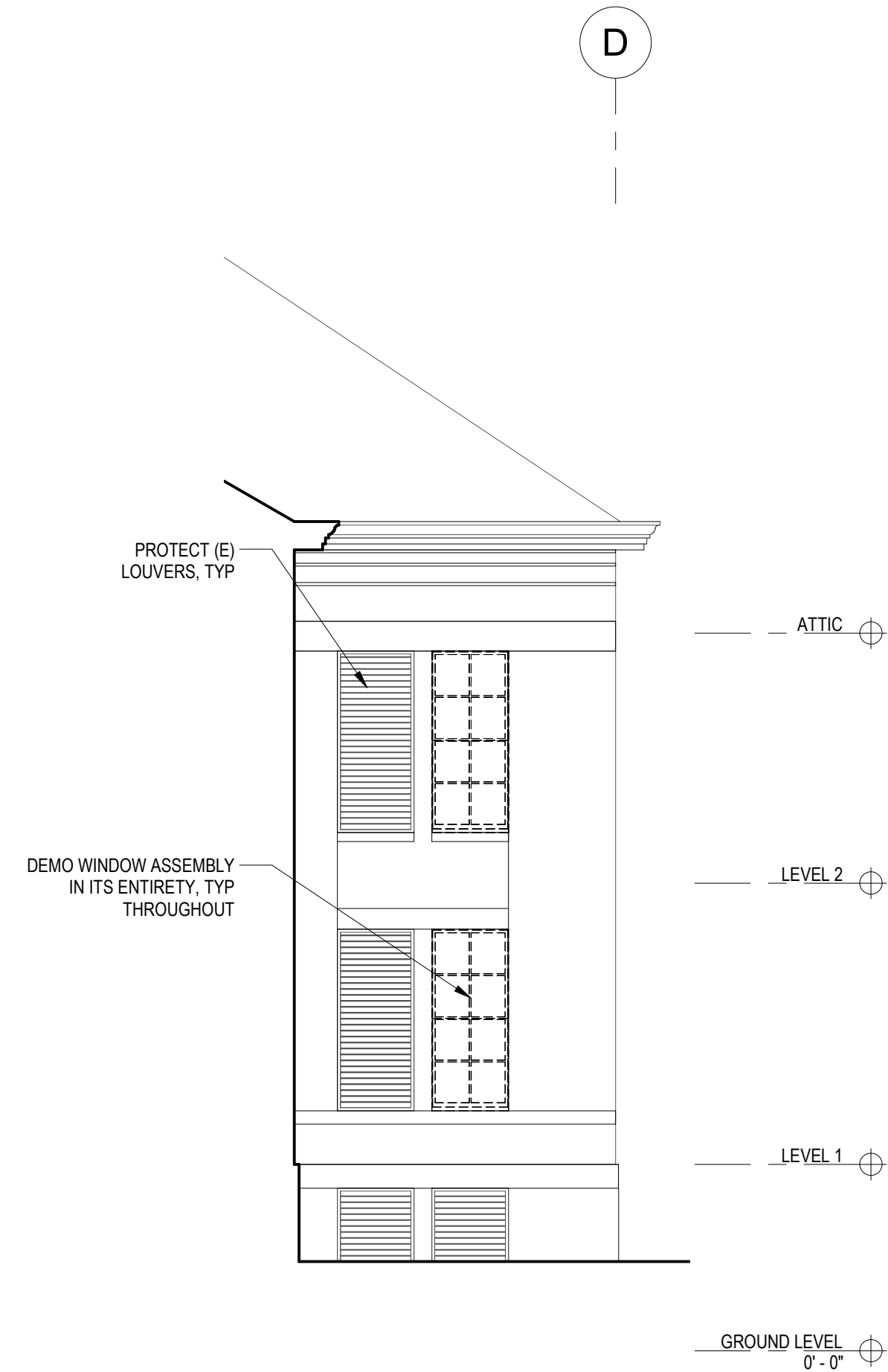
7 South Elevation 2 - Selective Demolition
1/8" = 1'-0"



8 South Elevation 3 - Selective Demolition
1/8" = 1'-0"

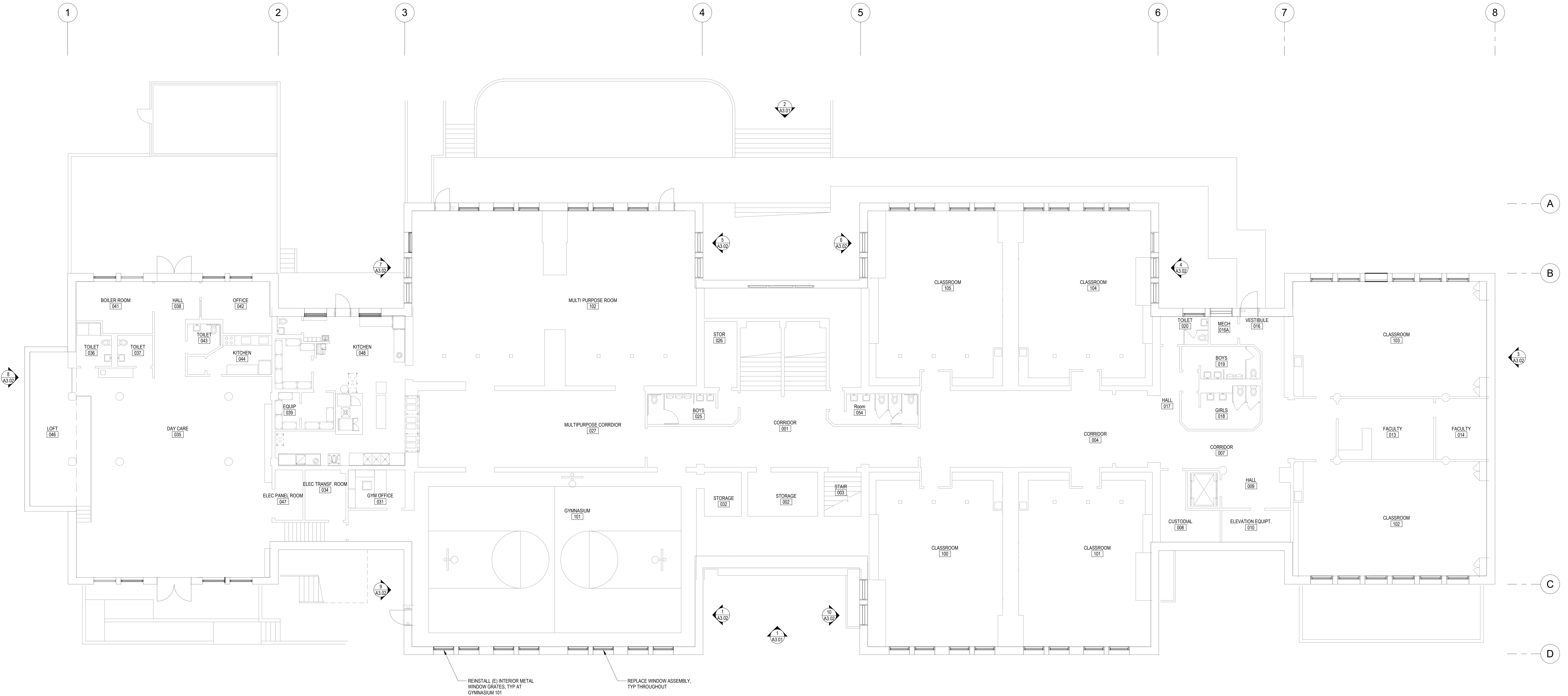


9 South Elevation 4 - Selective Demolition
1/8" = 1'-0"



10 South Elevation 5 - Selective Demolition
1/8" = 1'-0"

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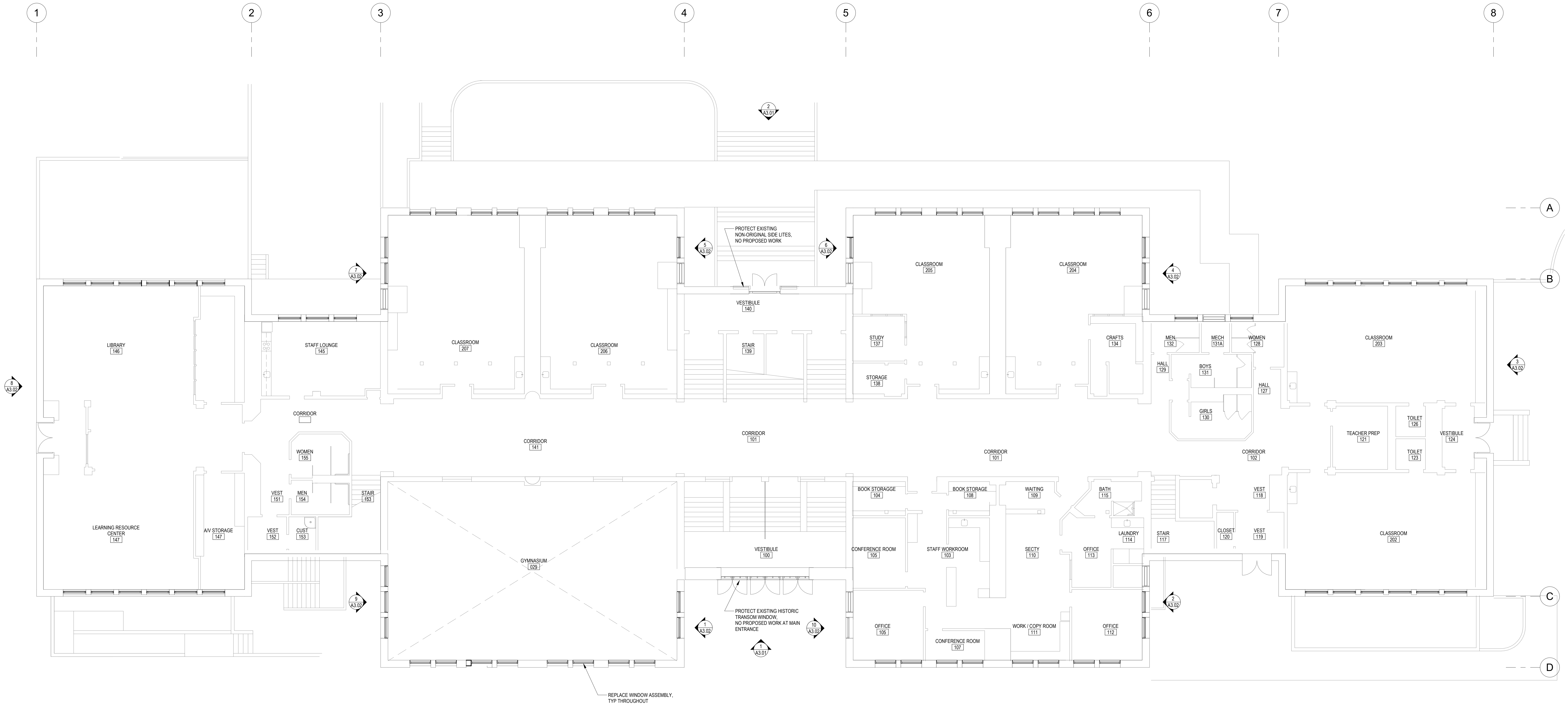


1 Floor Plan - Ground Level
1/8" = 1'-0"

Floor Plan General Notes

1. REFER TO GENERAL NOTES ON SHEET AA1.00.
2. REFER TO DIMENSION & PARTITION TYPES PLAN FOR PARTITION TYPES.
3. ALL DIMENSIONS TO NEW PARTITIONS ARE TO FACE OF FRAMING UNO.
4. DIMENSIONS TO EXISTING WALLS ARE EITHER TO FINISHED FACE OR TO GRID LINE.
5. INFILL WITHIN EXISTING CONSTRUCTION AND NEW PARTITIONS IMMEDIATELY ADJACENT TO EXISTING CONSTRUCTION SHALL MATCH EXISTING CONSTRUCTION. PATCHES, INFILL AND NEW PARTITIONS IMMEDIATELY ADJACENT TO OR WITHIN EXISTING PARTITIONS SHALL BE FINISHED TO BLEND SEAMLESSLY WITH EXISTING MATERIALS AND FINISH AND SHALL ALIGN WITH EXISTING FINISHES.
6. REPETITIVE FEATURES DRAWN OR NOTED ONLY ONCE SHALL BE COMPLETELY PROVIDED AS IF DRAWN OR NOTED IN FULL.
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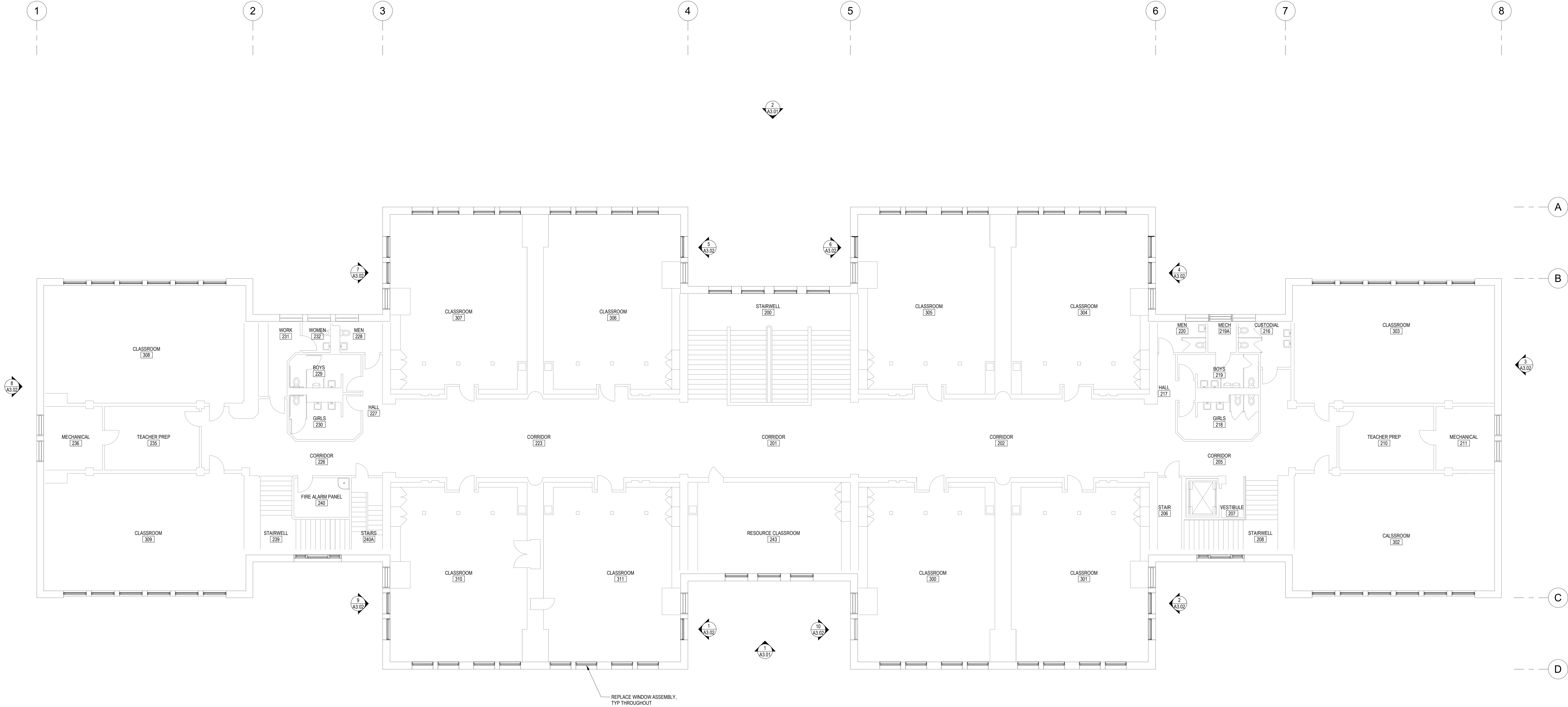


1 Floor Plan - Level 1
1/8" = 1'-0"

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1 Floor Plan - Level 2

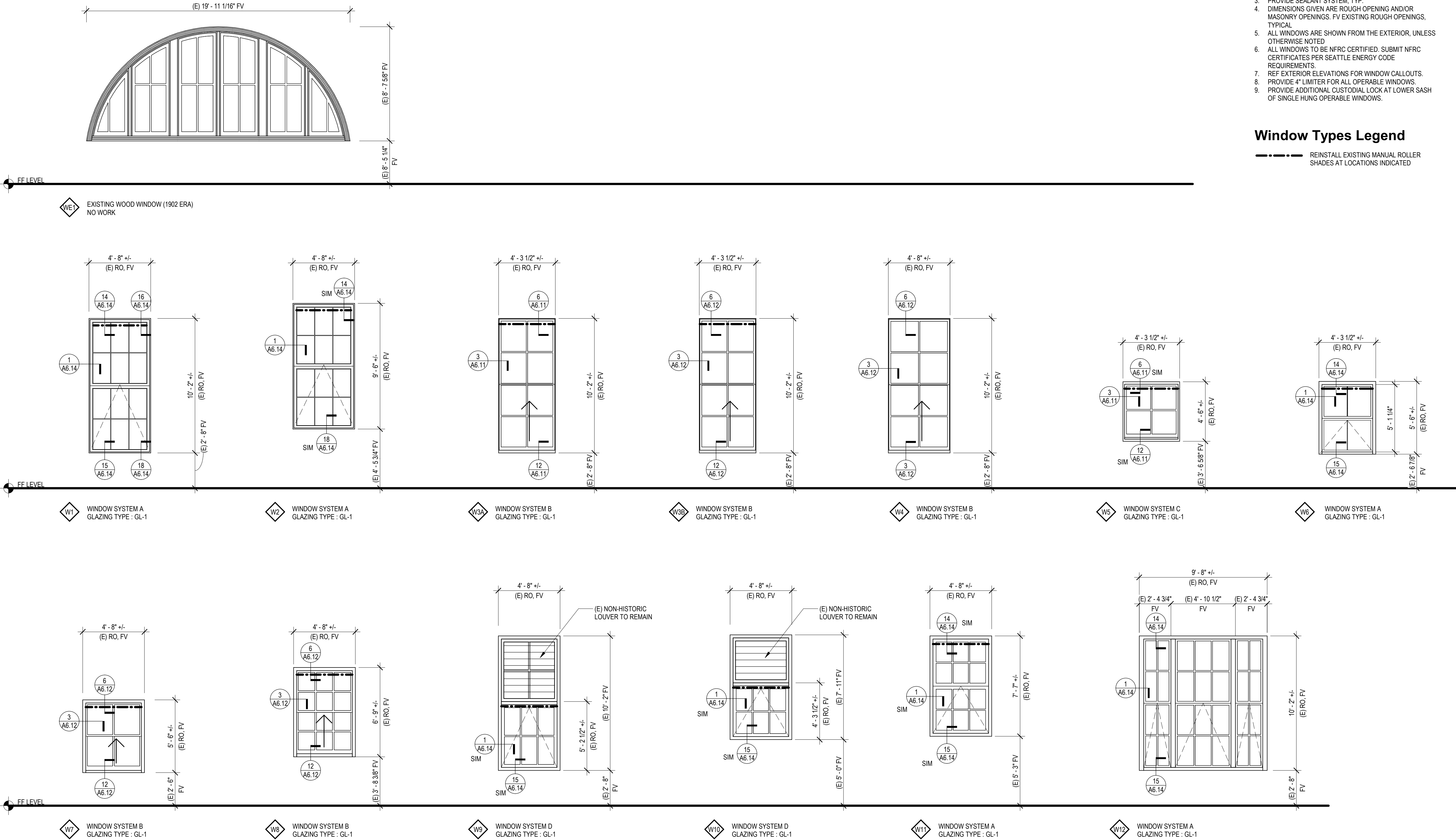
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Window Types



Window Types General Notes

1. PROVIDE SAFETY TEMPERED GLAZING WHERE REQUIRED BY SBC SECTION 2405.
2. PROVIDE STRENGTH OF GLAZING AS REQUIRED BY SBC CHAPTER 24.
3. PROVIDE SEALANT SYSTEM, TYP.
4. DIMENSIONS GIVEN ARE ROUGH OPENING AND/OR MASONRY OPENINGS. FV EXISTING ROUGH OPENINGS, TYPICAL.
5. ALL WINDOWS ARE SHOWN FROM THE EXTERIOR, UNLESS OTHERWISE NOTED.
6. ALL WINDOWS TO BE NFRC CERTIFIED. SUBMIT NFRC CERTIFICATES PER SEATTLE ENERGY CODE REQUIREMENTS.
7. REF EXTERIOR ELEVATIONS FOR WINDOW CALLOUTS.
8. PROVIDE 4" LIMITER FOR ALL OPERABLE WINDOWS.
9. PROVIDE ADDITIONAL CUSTODIAL LOCK AT LOWER SASH OF SINGLE HUNG OPERABLE WINDOWS.

Window Types

- WINDOW SYSTEM A:**
CLAD ALUMINUM WINDOWS, BASIS OF DESIGN:
KOLBE ULTRA SERIES, XL CRANK-OUT AWNING, OR,
PELLA RESERVE TRADITIONAL AWNING WINDOW
OPERABLE BOTTOM UNIT, FIXED TRANSOM TOP UNIT
MAX OPERABLE U-FACTOR : 0.36 PER SEC C402.4
- WINDOW SYSTEM B:**
CLAD ALUMINUM WINDOWS, BASIS OF DESIGN:
KOLBE ULTRA SERIES, XL STERLING SINGLE HUNG, OR,
PELLA RESERVE TRADITIONAL MONUMENTAL HUNG WINDOW
OPERABLE BOTTOM UNIT, FIXED TRANSOM TOP UNIT
MAX OPERABLE U-FACTOR : 0.36 PER SEC C402.4
- WINDOW SYSTEM C:**
CLAD ALUMINUM WINDOWS, BASIS OF DESIGN:
KOLBE ULTRA SERIES, FIXED UNIT, OR,
PELLA RESERVE TRADITIONAL FIXED UNIT WINDOW
MAX OPERABLE U-FACTOR : 0.34 PER SEC C402.4
- WINDOW SYSTEM D:**
CLAD ALUMINUM WINDOWS, BASIS OF DESIGN:
KOLBE ULTRA SERIES, XL CRANK-OUT AWNING, OR,
PELLA RESERVE TRADITIONAL AWNING WINDOW
FRAME ONLY AT TOP UNIT WHERE (E) LOUVER OCCURS
MAX FIXED U-FACTOR : 0.34 PER SEC C402.4

Window Types Legend

- REINSTALL EXISTING MANUAL ROLLER
SHADES AT LOCATIONS INDICATED

Glazing Types

- PROVIDE SAFETY GLAZING AT GLAZING TYPES AS REQUIRED BY SBC CHAPTER 24, TYP.
- GL-1 (TYPICAL EXTERIOR):**
CLEAR 1" INSULATED LOW-E UNITS W/ THERMAL SPACERS
- BASIS OF DESIGN:
(2) LAYERS CLEAR 1/4" GLASS WITH SOLARBAN-70 (#2 SURFACE)
90% ARGON GAS FILL
CLIMAGUARD IS-20 (#4 SURFACE)
OR
(2) LAYERS CLEAR 1/4" GLASS WITH CARDINAL 366 (#2 SURFACE)
90% ARGON GAS FILL
CARDINAL I89 COATING (#4 SURFACE)

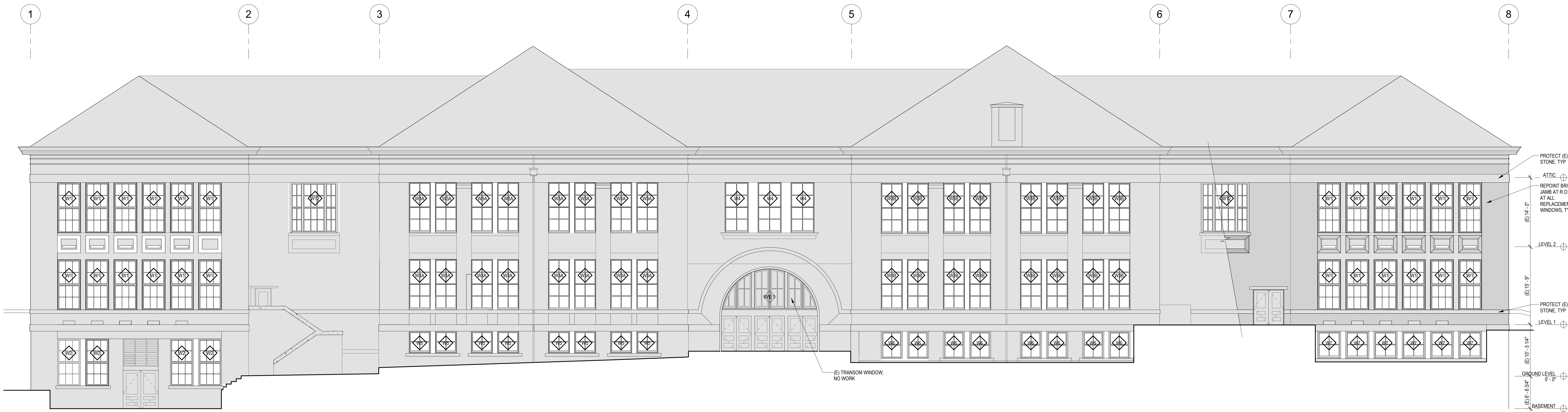
<p>SHEET REVISIONS</p> <p>02/28/25 Pricing Revision #1</p>	<p>BUILDING DEPARTMENT'S STAMP</p>	<p>Seattle Public Schools</p> <p>BF Day Elementary School</p> <p>Window Replacement</p> <p>6760 34th Ave SW, Seattle, WA 98126</p> <p>NOTE: DRAWING SET SCALED FOR 30x42 SHEET</p>	<p>CONSULTANT</p>	<p>STAMP</p> <p>10410 REGISTERED ARCHITECT <i>Jaimi Naman</i> JAIMI S. NAMAN STATE OF WASHINGTON</p>	<p>ARCHITECT</p> <p>Miller Hayashi Architects PLLC 118 North 35th St., Suite 200 Seattle, Washington 98103 Tel: 206 634 0177</p> <p>Project #2328</p>	<p>PHASE</p> <p>Landmarks Certificate of Approval Set</p> <p>DATE</p> <p>04/21/25</p>	<p>SHEET TITLE</p> <p>WINDOW TYPES</p> <p>SHEET NO.</p> <p>A2.72</p>
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Masonry Restoration General Notes

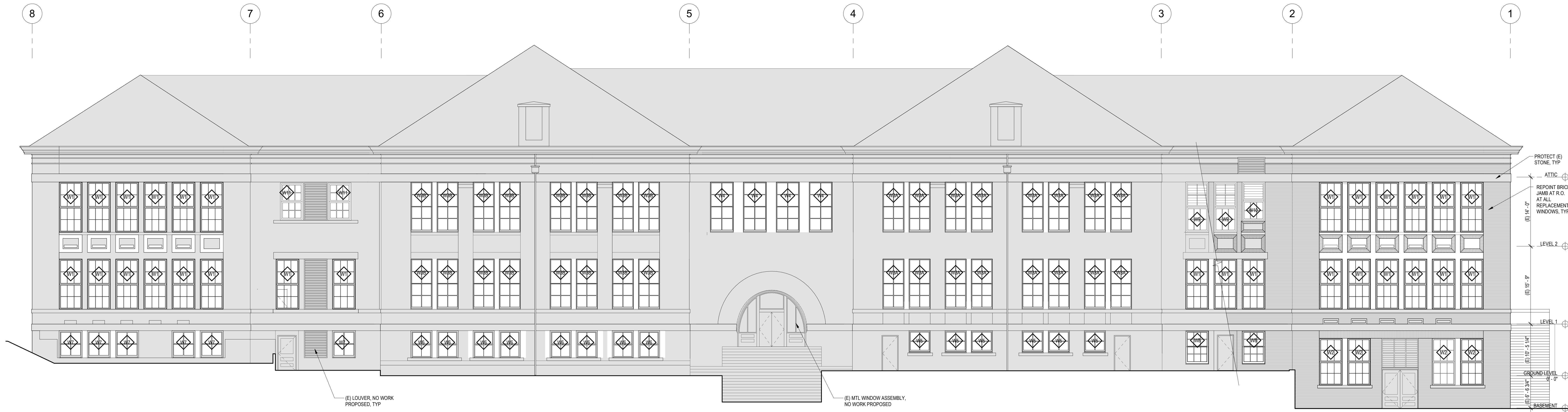
1. REPORTING AT REPLACEMENT WINDOWS: REPORT BRICK ROUGH OPENING AT JAMBS AT ALL REPLACEMENT WINDOWS.
2. BRICK CLEANING: LOW PRESSURE ONLY, 400 PSI MAX. DO NOT ERODE. WASHING ONLY AS REQUIRED TO REPAIR THE SURFACE FOR SEALING. USE WATER OR NON-ACIDIC CLEANING AGENT. USE FAN-SHAPED SPRAY NOZZLES AND MAINTAIN APPROPRIATE CLEARANCE FROM FACE OF WALL. CLEAN BRICK ONLY AS REQUIRED FOR WINDOW FLASHING PREPARATION. MASONRY AREAS BEYOND ROUGH OPENINGS ARE NOT INCLUDED.
3. MORTAR TYPE: REPORT WITH TYPE N MORTAR.

Exterior Elevation General Notes

1. REFER TO WINDOW TYPES DRAWINGS ON SHEET A2.7.2

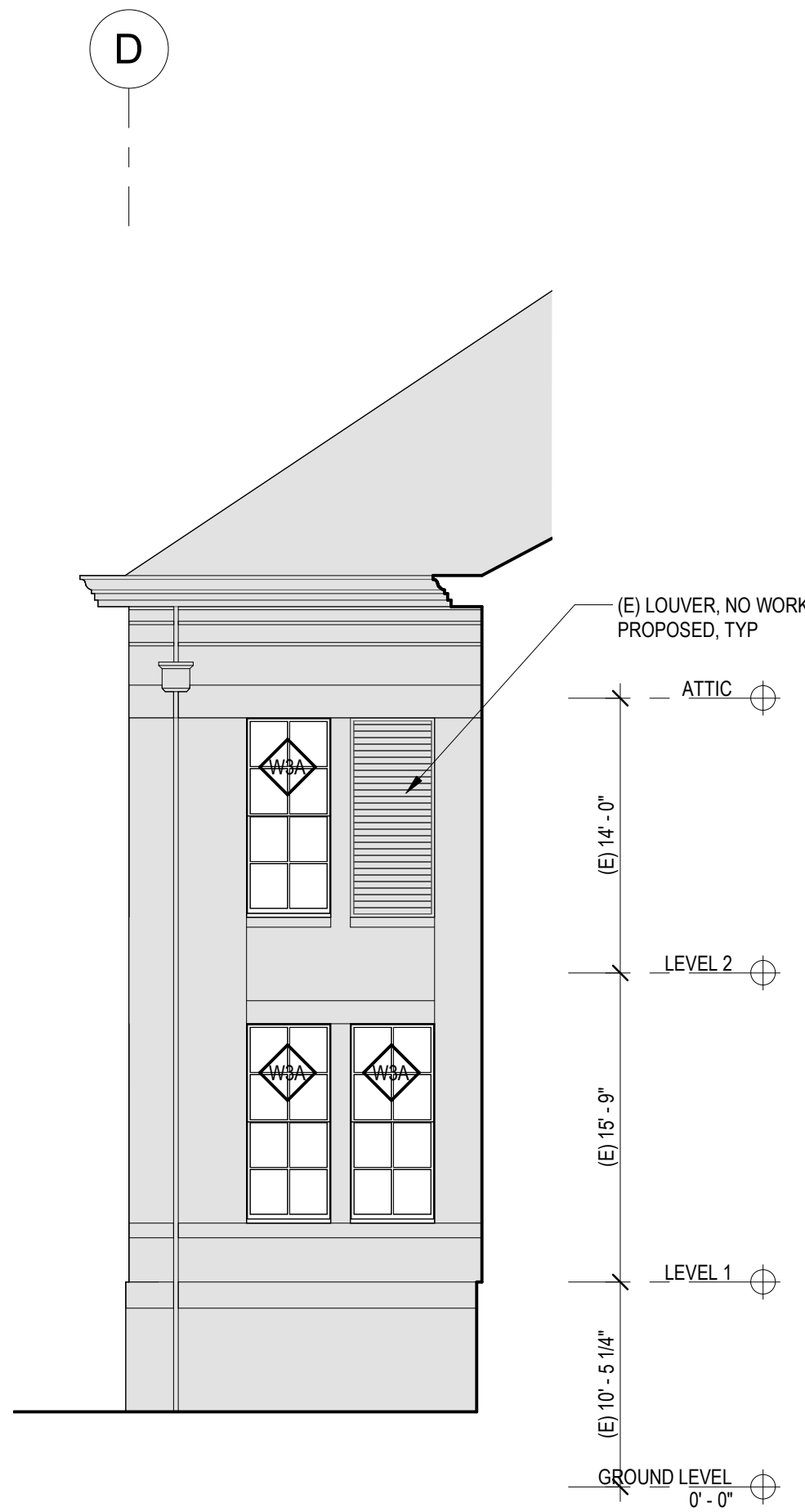


1 East Elevation
1/8" = 1'-0"



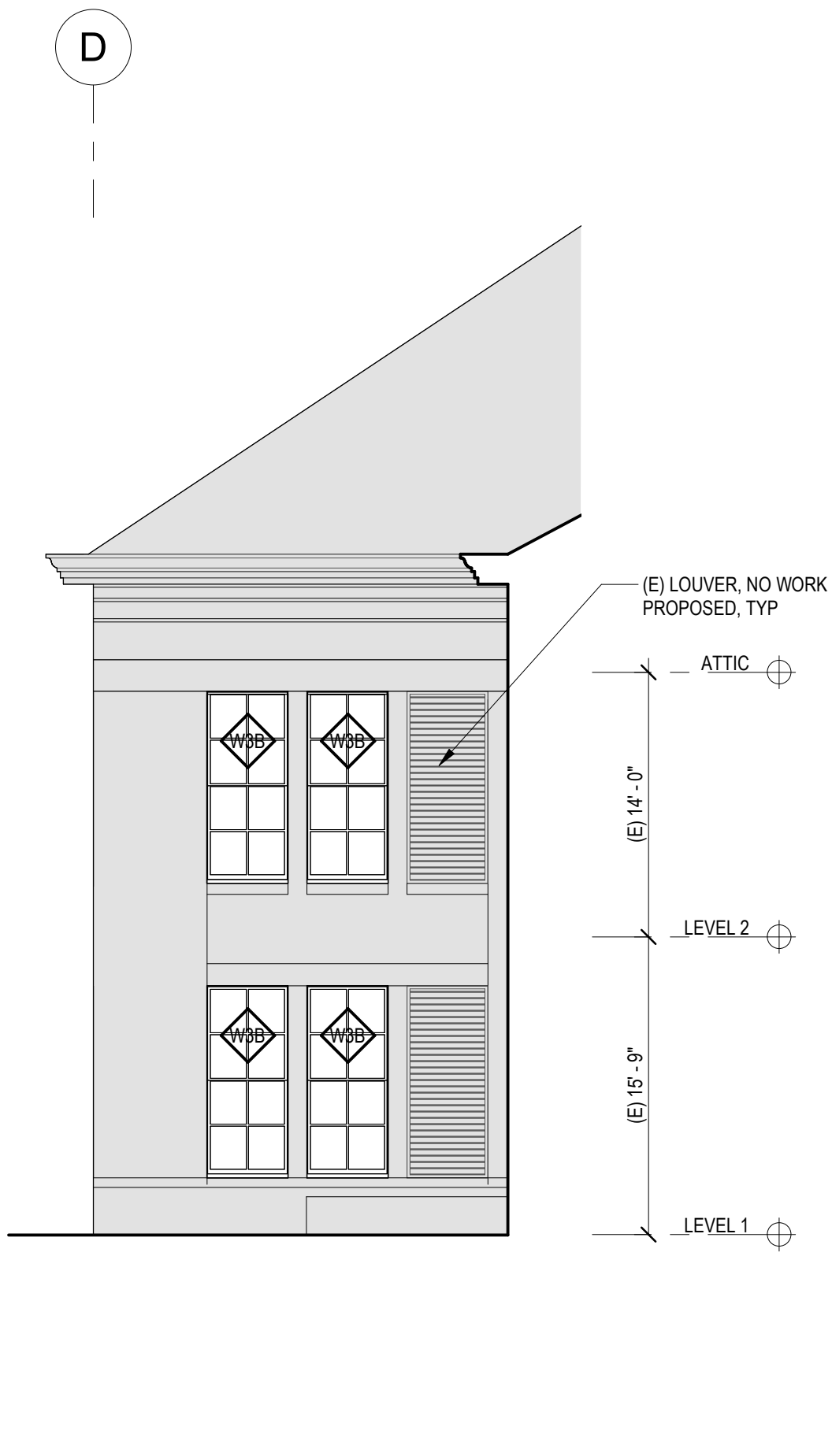
2 West Elevation
1/8" = 1'-0"

SHEET REVISIONS		BUILDING DEPARTMENT'S STAMP		<div>Seattle Public Schools</div> <div>BF Day Elementary School Window Replacement</div> <div>6760 34th Ave SW, Seattle, WA98126</div> <div>NOTE: DRAWING SET SCALED FOR 30x42 SHEET</div>		CONSULTANT		STAMP		ARCHITECT		PHASE		SHEET TITLE	
02/28/25	Pricing Revision #1					10419 REGISTERED ARCHITECT Jaimi Naman JAIMI P. NAMAN STATE OF WASHINGTON		118 North 35th St., Suite 200 Seattle, Washington 98103 Tel: 206 634 0177 Project #2328		Landmarks Certificate of Approval Set		DATE		EXTERIOR ELEVATIONS	
						MILLER HAYASHI ARCHITECTS PLLC						04/21/25		SHEET NO. A3.01	



1 North Elevation 1 (1892 Era)

1/8" = 1'-0"



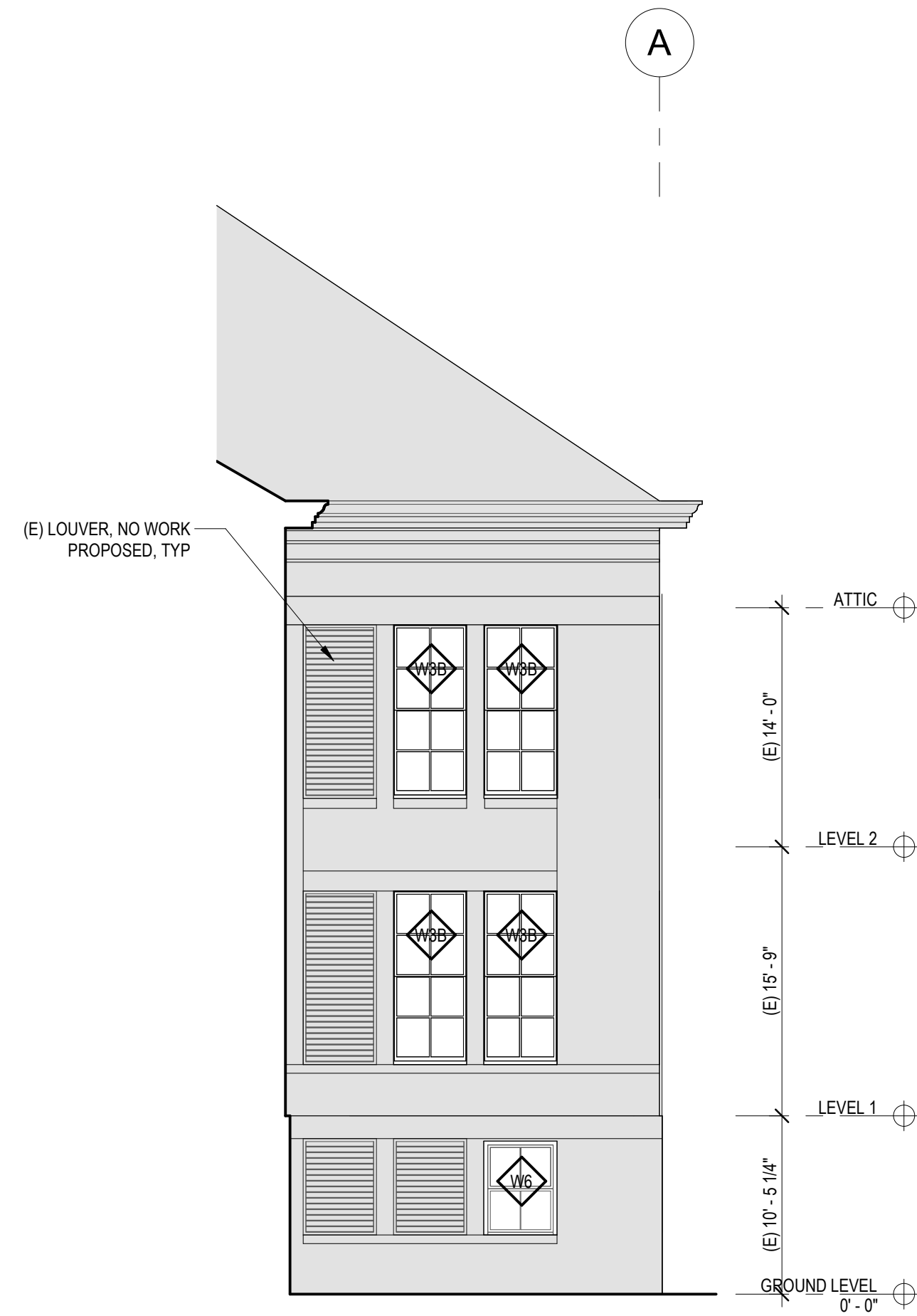
2 North Elevation 2 (1902 Era)

1/8" = 1'-0"



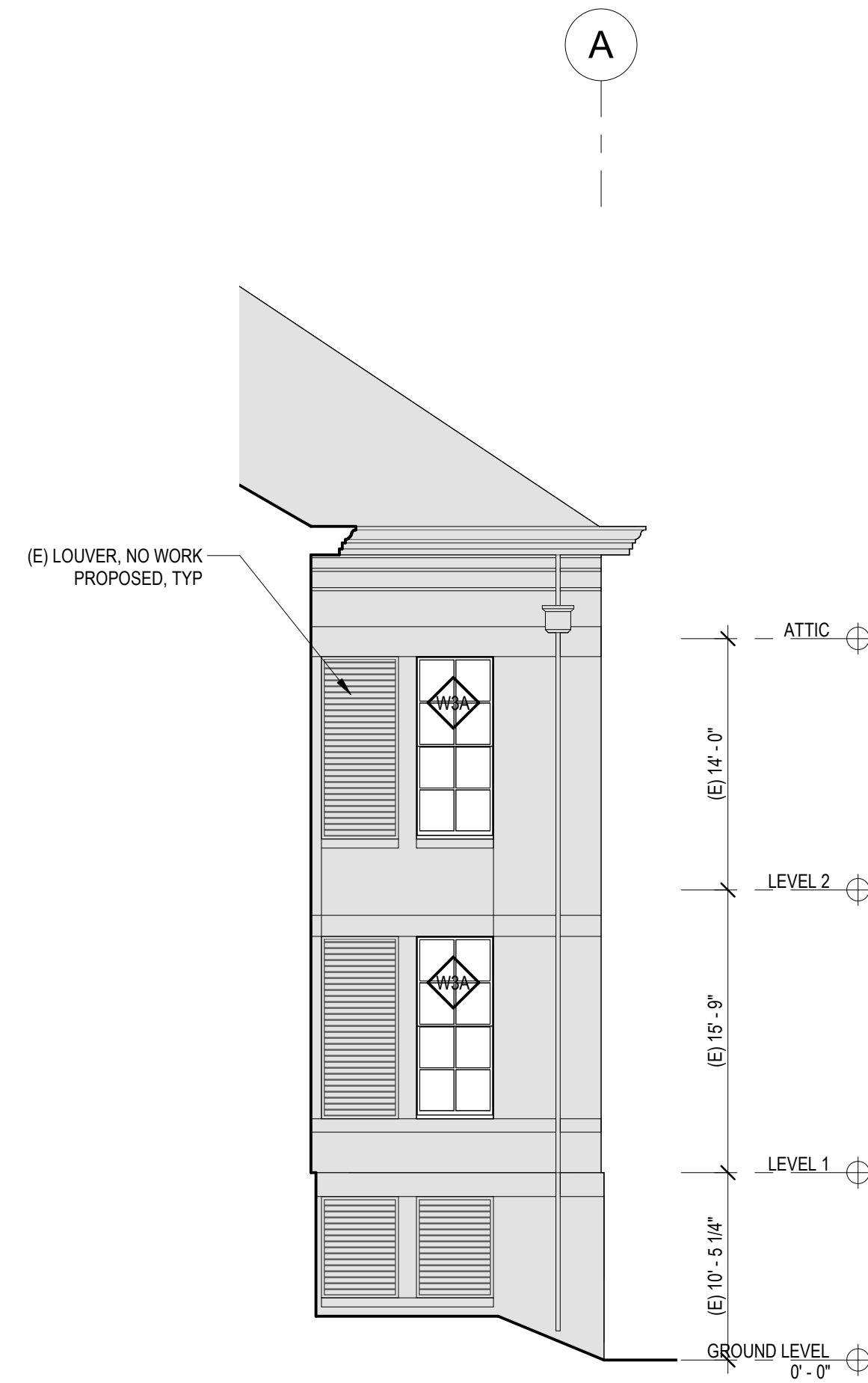
3 North Elevation 3 (1916 Era)

1/8" = 1'-0"



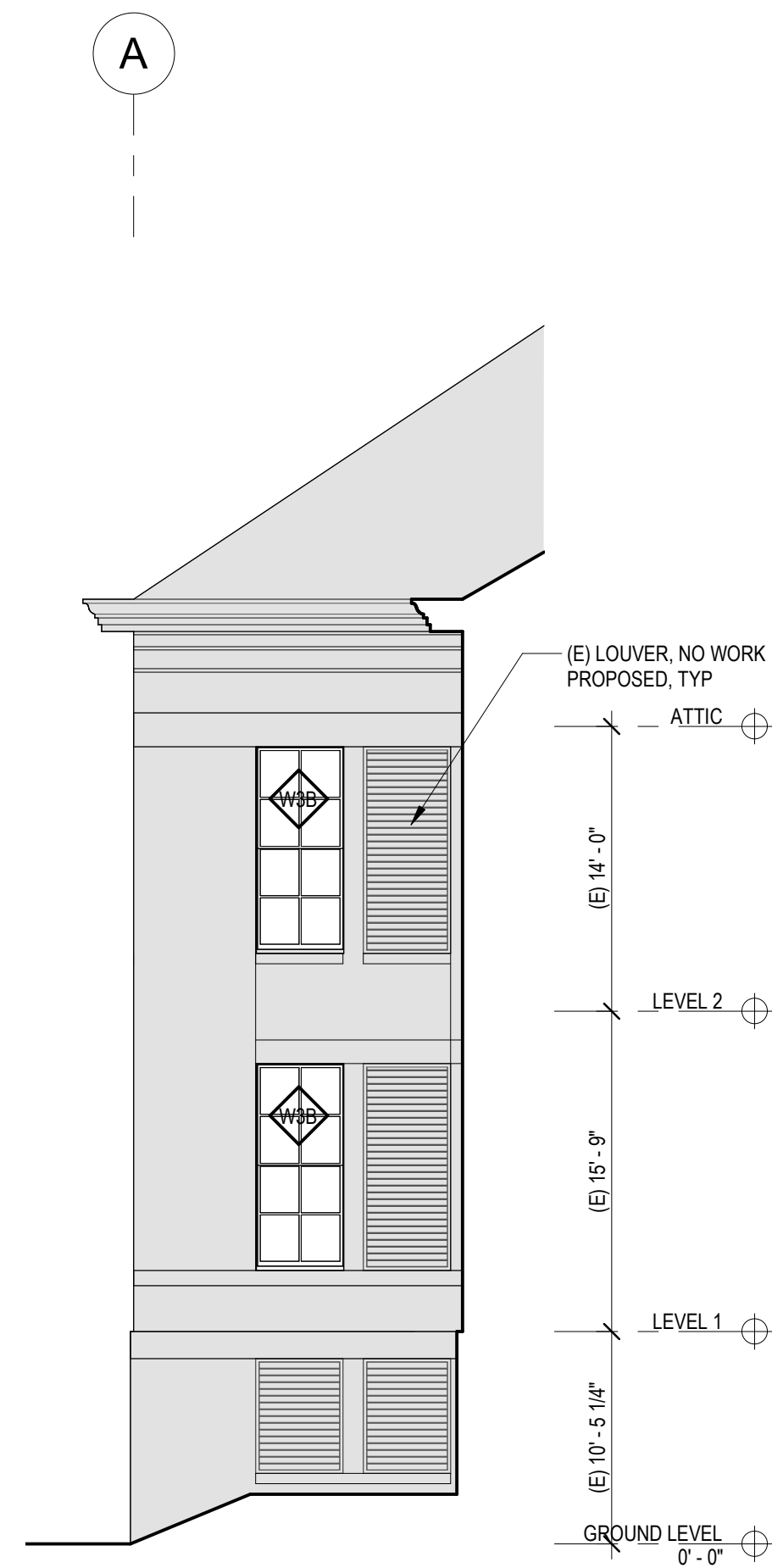
4 North Elevation 4 (1902 Era)

1/8" = 1'-0"



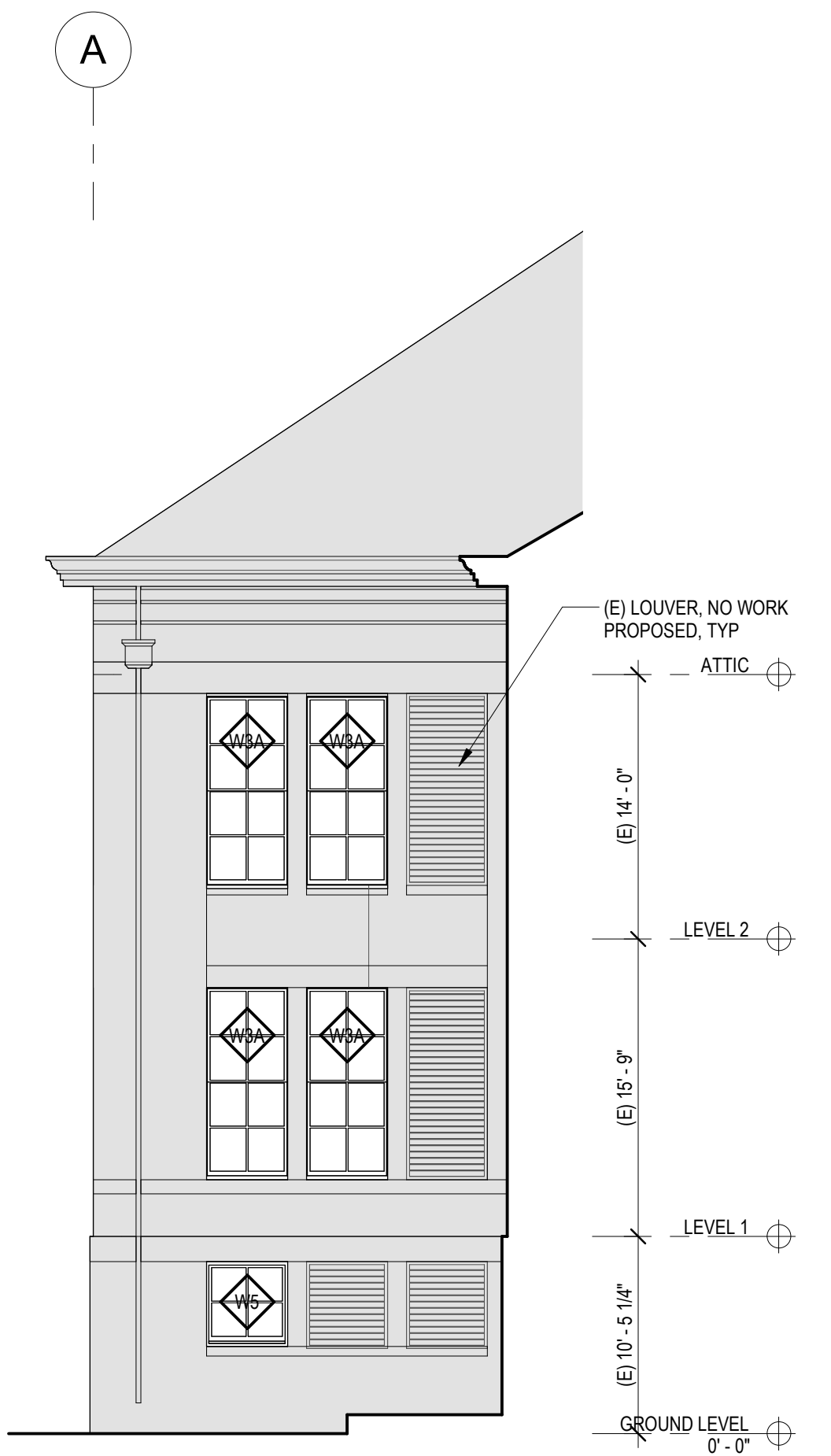
5 North Elevation 5 (1892 Era)

1/8" = 1'-0"



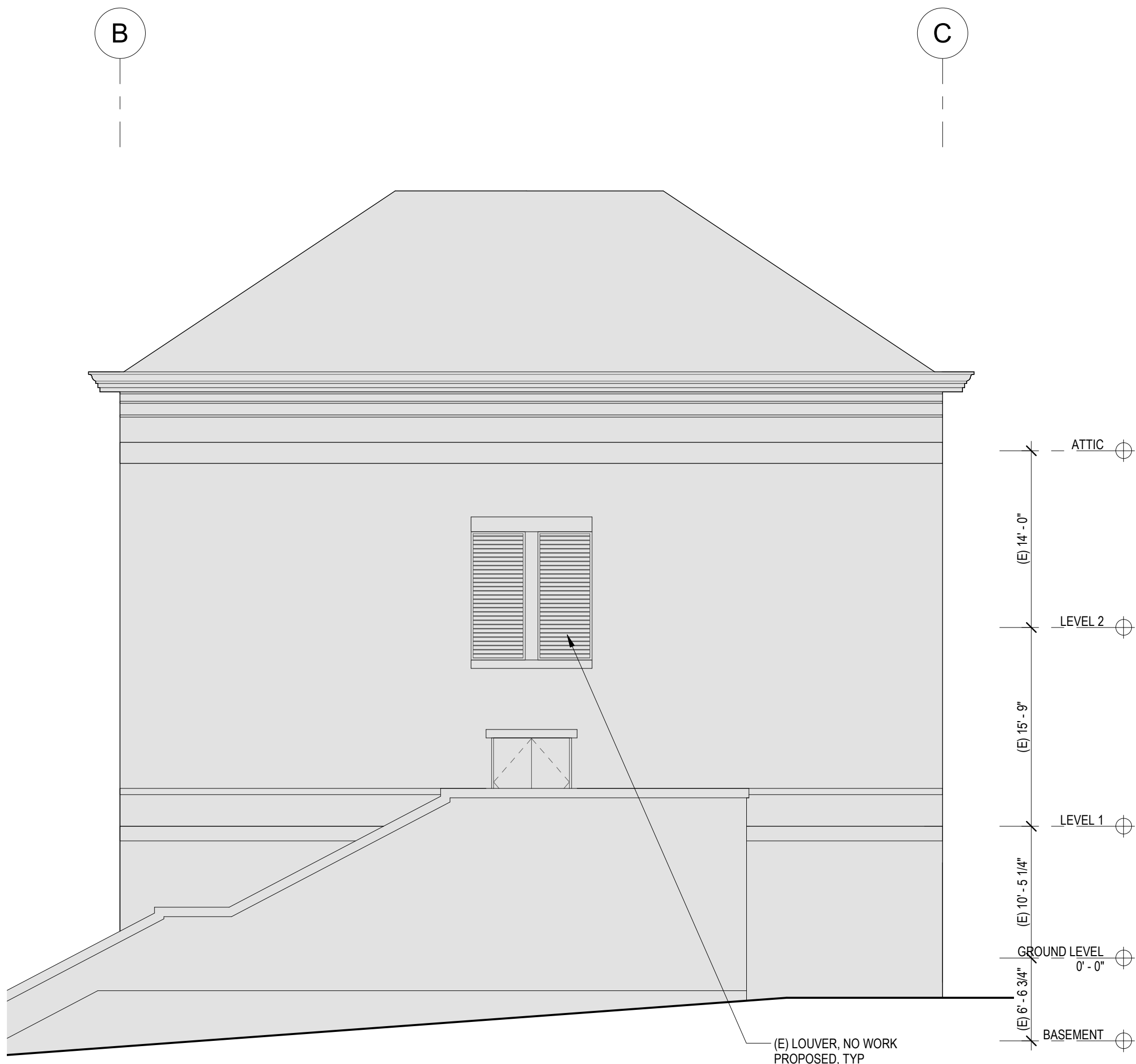
6 South Elevation 1 (1902 Era)

1/8" = 1'-0"



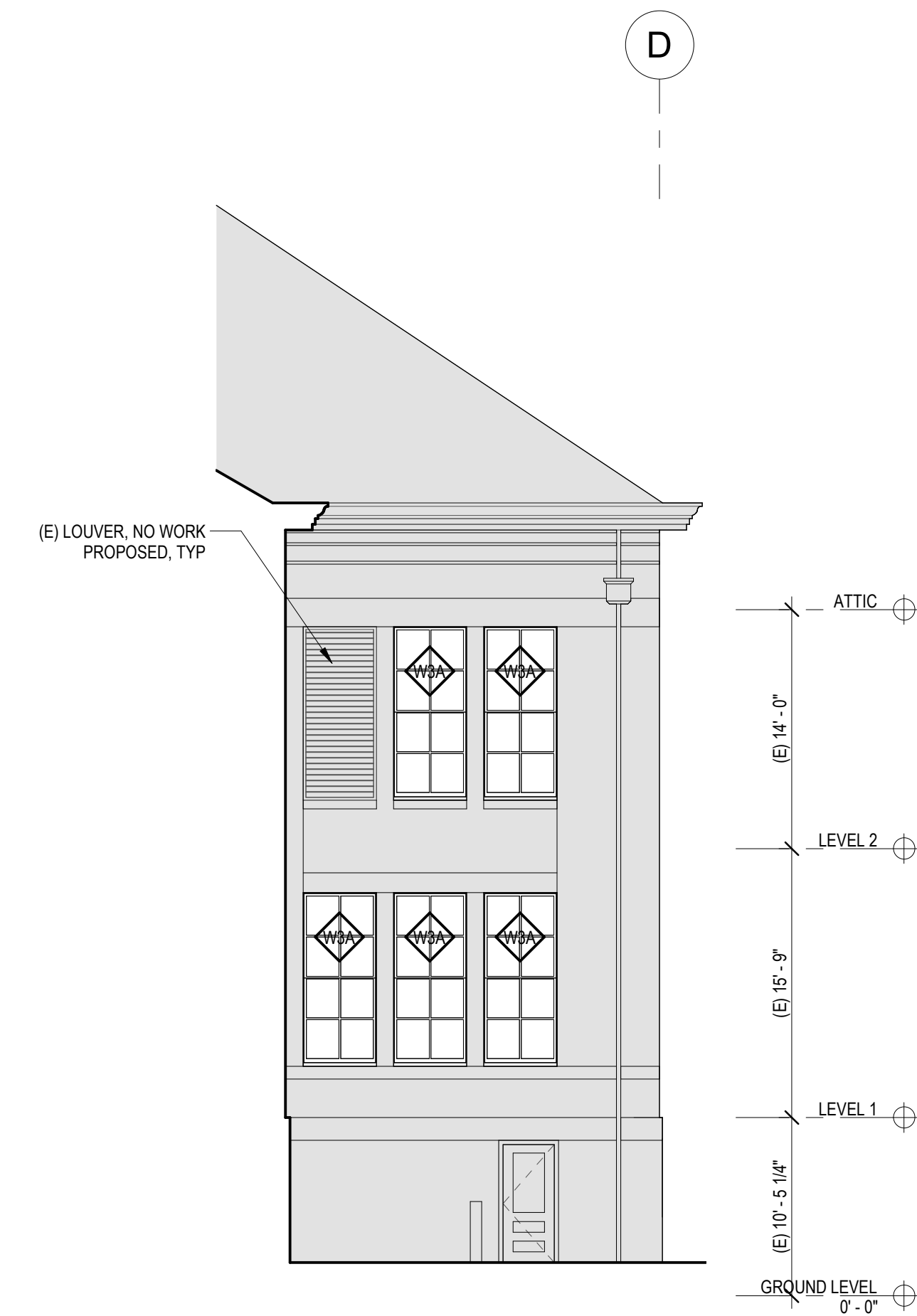
7 South Elevation 2 (1892 Era)

1/8" = 1'-0"



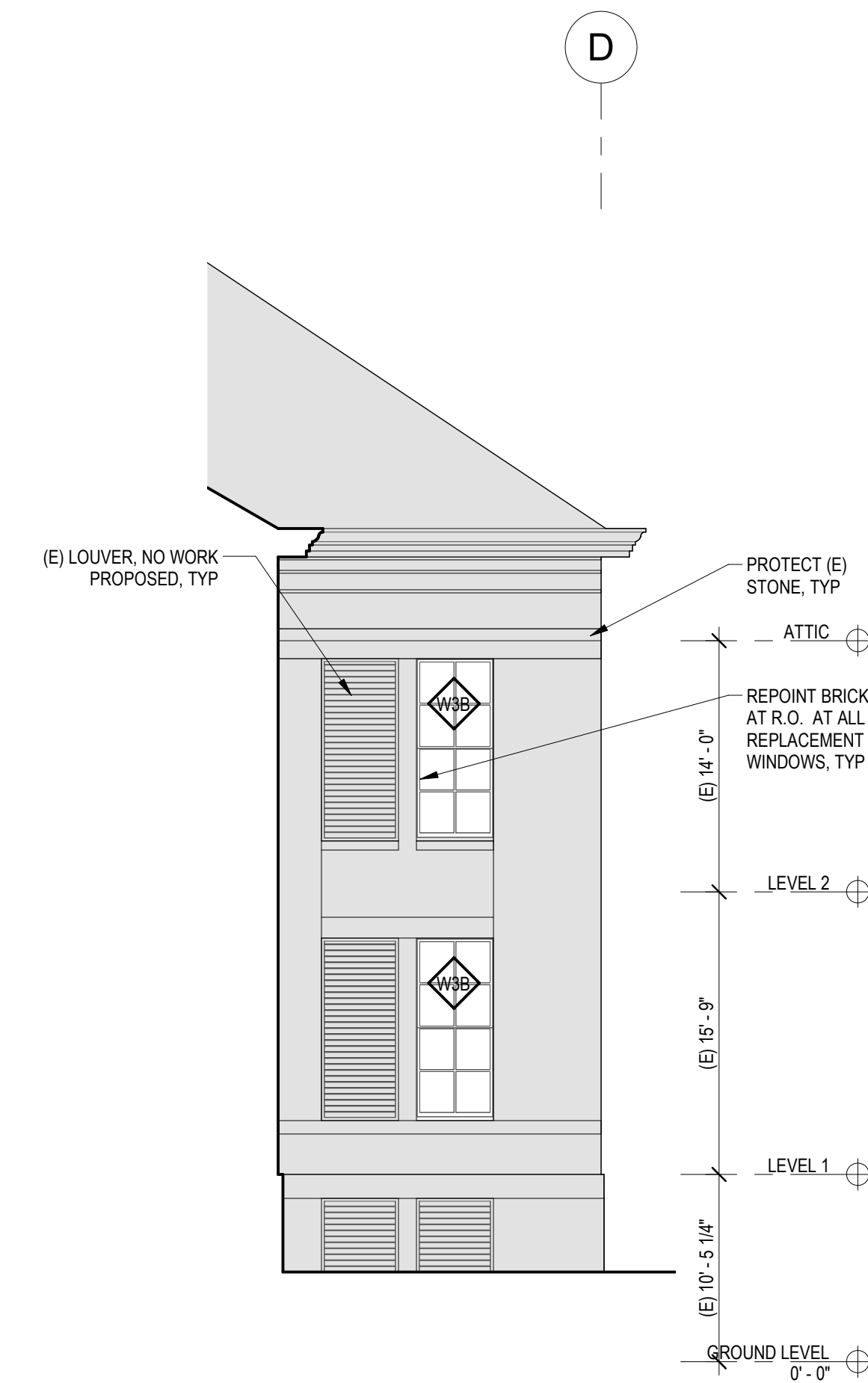
8 South Elevation 3 (1916 Era)

1/8" = 1'-0"



9 South Elevation 4 (1892 Era)

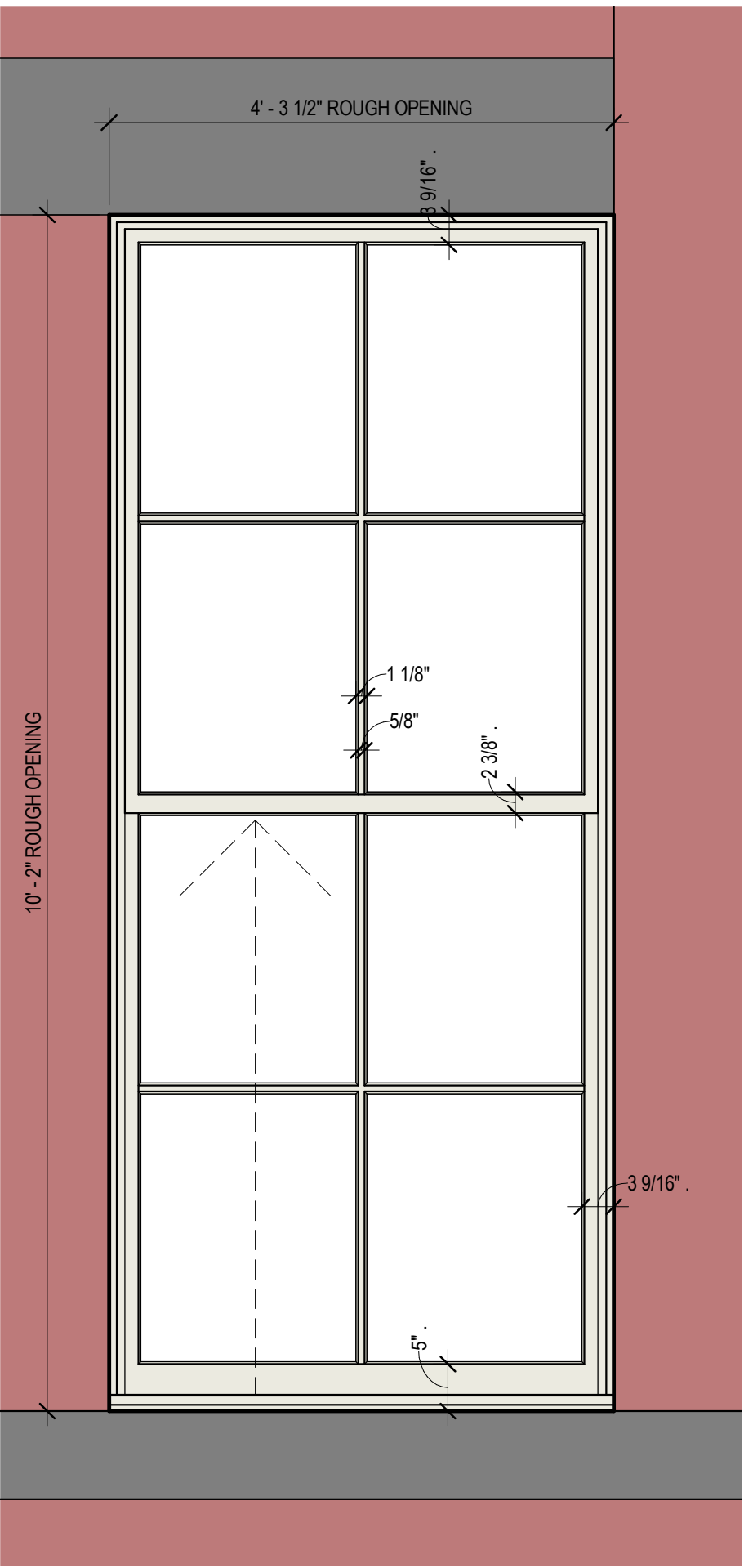
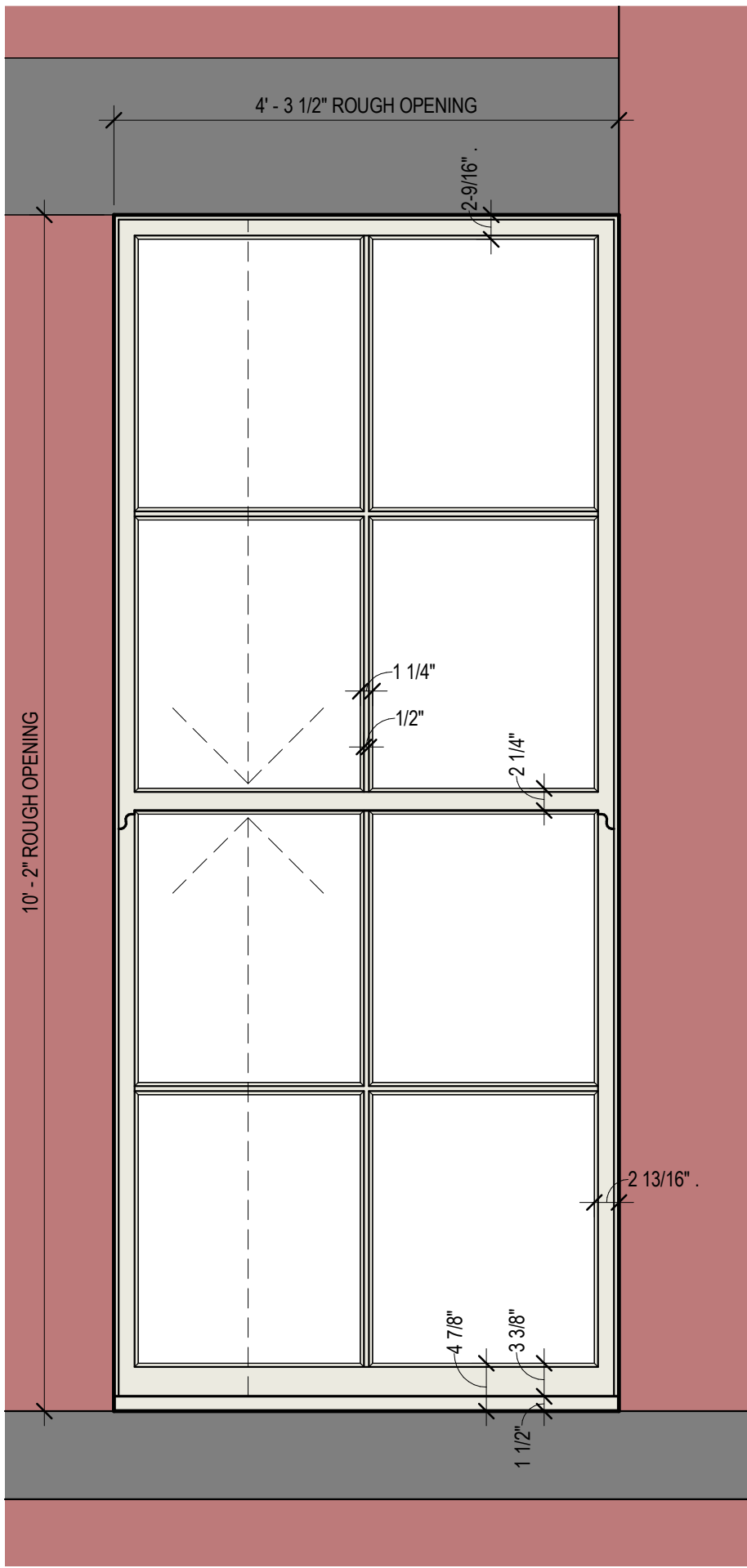
1/8" = 1'-0"



10 South Elevation 5 (1902 Era)

1/8" = 1'-0"

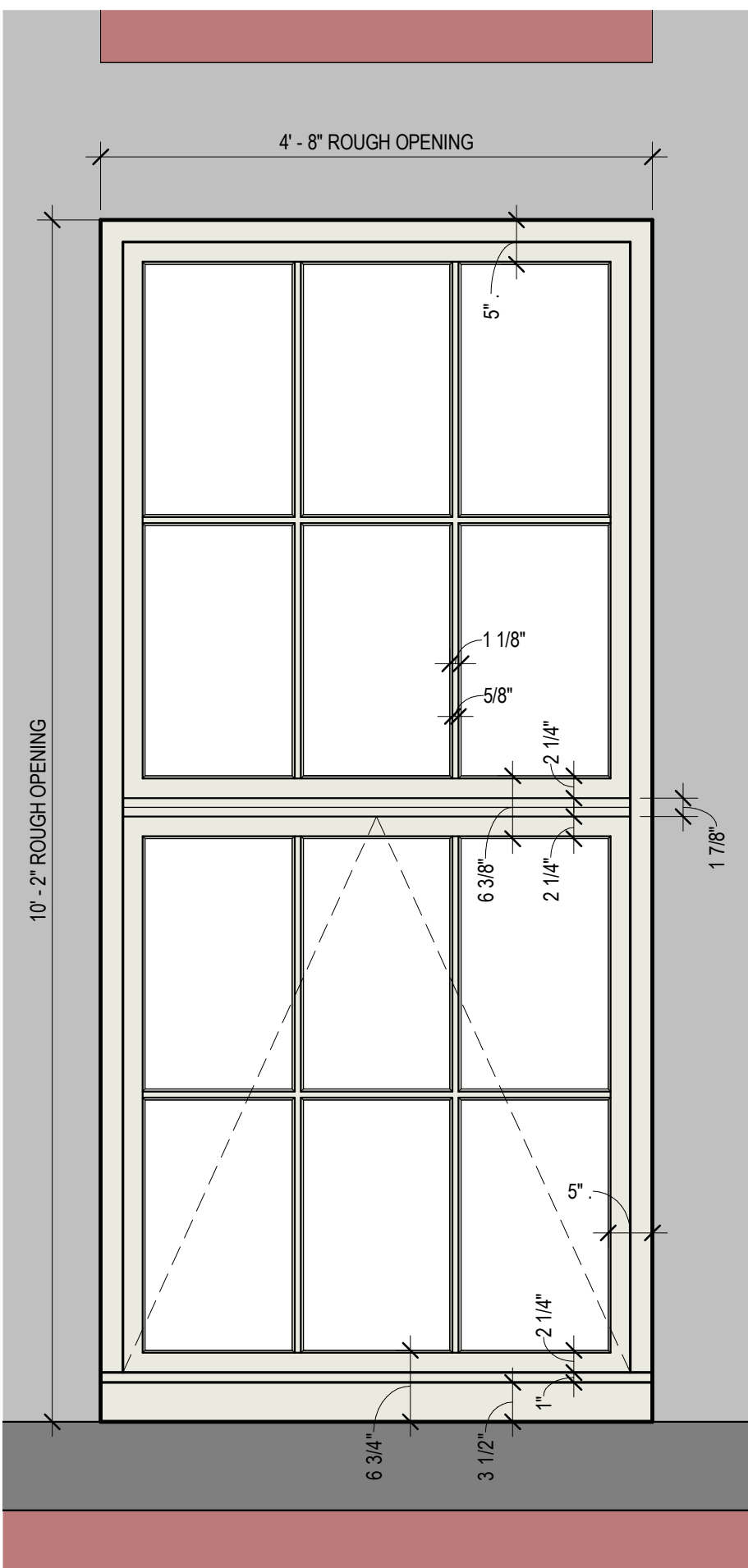
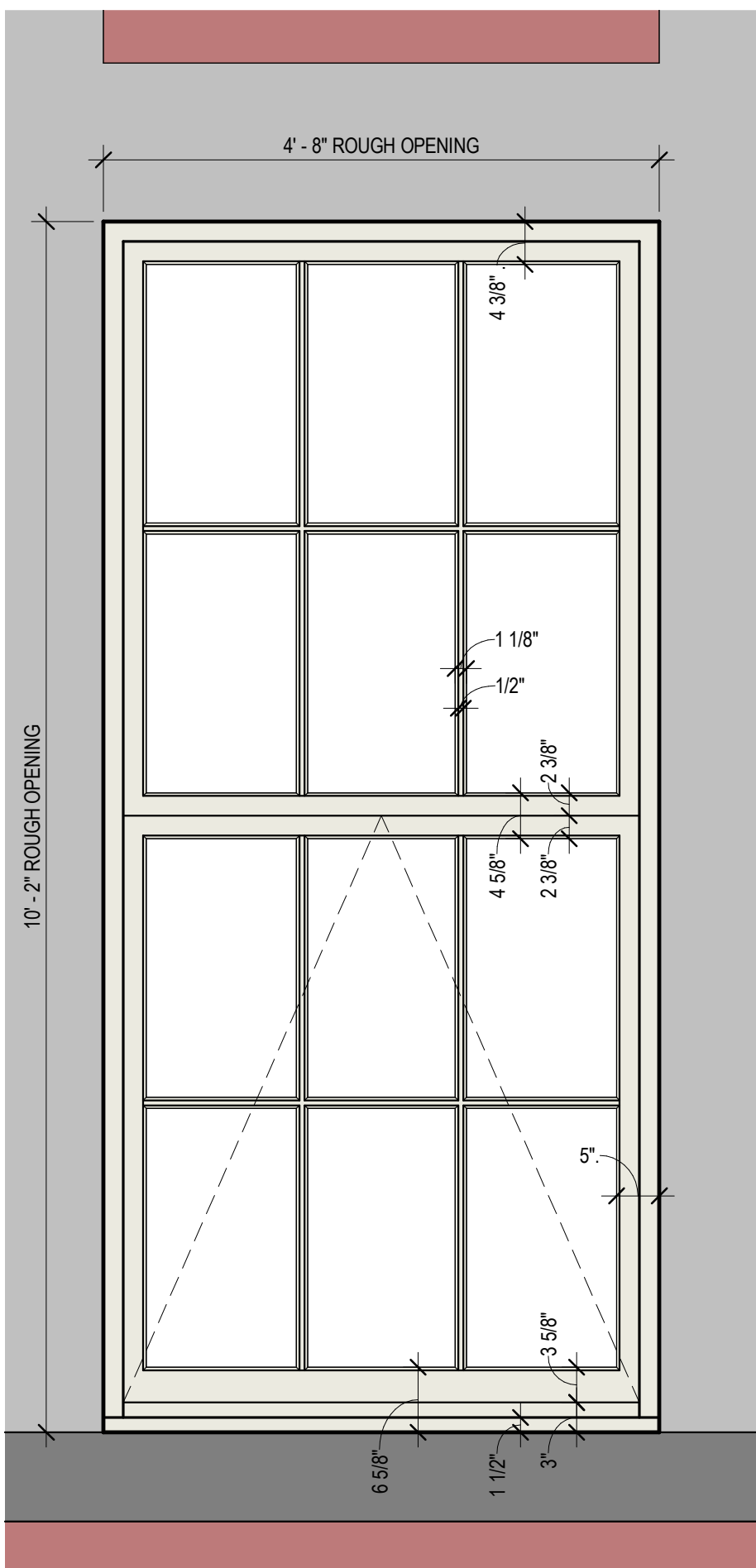
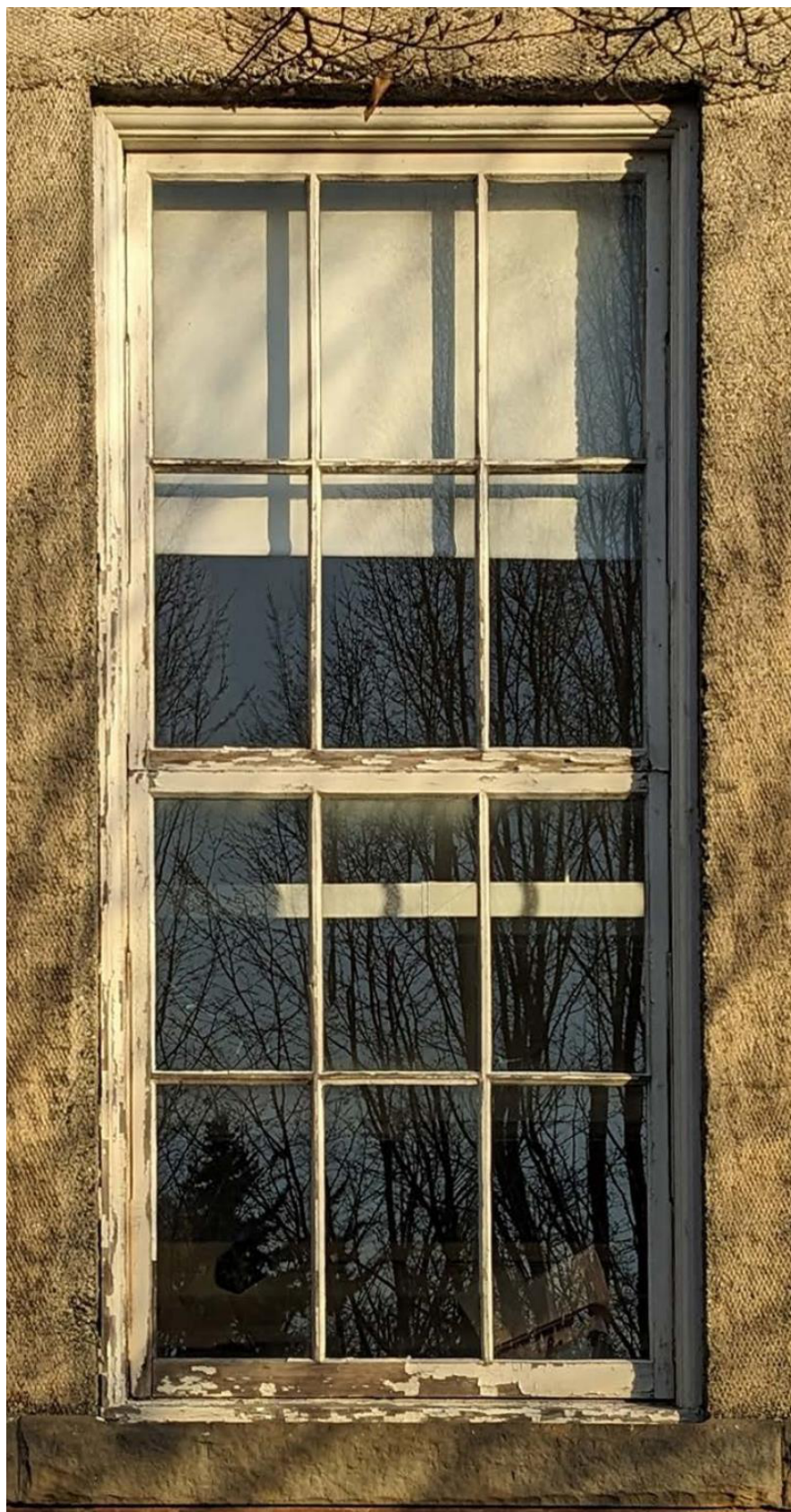
<p>SHEET REVISIONS</p> <p>02/28/25 Pricing Revision #1</p>	<p>BUILDING DEPARTMENT'S STAMP</p>	<p>Seattle Public Schools</p> <p>BF Day Elementary School</p> <p>Window Replacement</p> <p>6760 34th Ave SW, Seattle, WA 98126</p> <p>NOTE: DRAWING SET SCALED FOR 30x42 SHEET</p>	<p>CONSULTANT</p>	<p>STAMP</p> <p>10410 REGISTERED ARCHITECT</p> <p><i>Jaime Naman</i></p> <p>JAIME NAMAN</p> <p>STATE OF WASHINGTON</p>	<p>ARCHITECT</p> <p>Miller Hayashi Architects PLLC</p> <p>118 North 35th St, Suite 200 Seattle, Washington 98103 Tel: 206 634 0177</p> <p>Project #2328</p>	<p>PHASE</p> <p>Landmarks Certificate of Approval Set</p> <p>DATE</p> <p>04/21/25</p>	<p>SHEET TITLE</p> <p>EXTERIOR ELEVATIONS</p> <p>SHEET NO.</p> <p>A3.02</p>
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1 Existing 1892 Double Hung Window
NTS

2 Typical 1892 Double Hung Window
3/4" = 1'-0"

3 Typical Proposed Single Hung Window
3/4" = 1'-0"



4 Existing 1916 Awning Window
NTS

5 Typical Existing 1916 Awning Window
3/4" = 1'-0"

6 Typical Proposed Awning Vent Window
3/4" = 1'-0"

Exterior Colors

Kolbe's Ultra Series products are finished with a 70% PVDF fluoropolymer coating, an ideal choice for durability and resistance to chemicals, abrasion, corrosion, and weathering. In addition to the standard palette, custom colors can be specified, as well as Anodized aluminum and Mica® fluoropolymer finishes.

COLOR: WHITE		
White	Cloud	Ultra Pure White
Abalone	Alabaster	Camel
Mudpie	Nutmeg	Khaki
Sahara	Beige	Natural Cotton
Spiced Vinegar		
Gingersnap	Truffle	Bronze
Rustic	Shadow	Shale
Smokestack		

7 Kolbe color chart
NTS

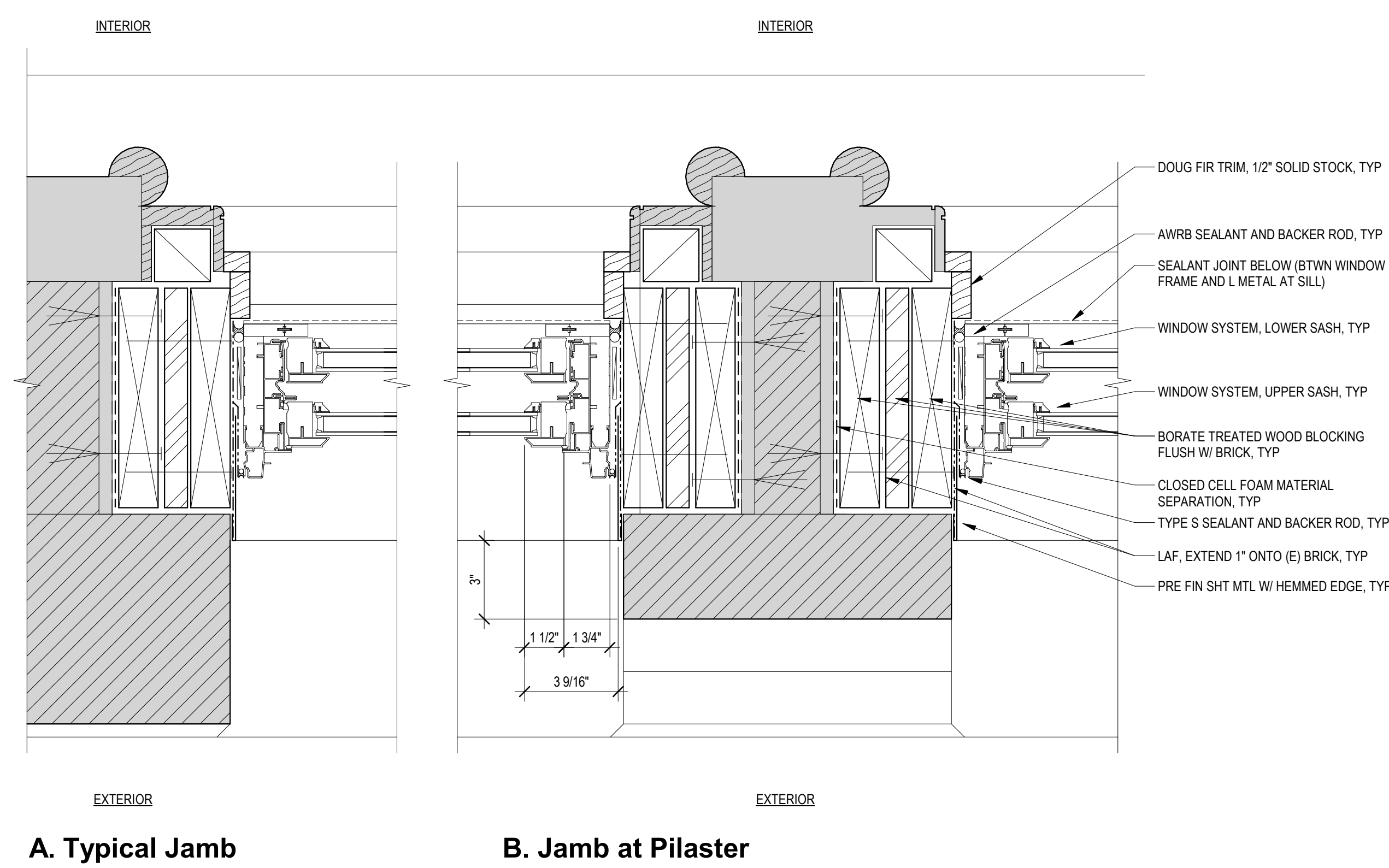
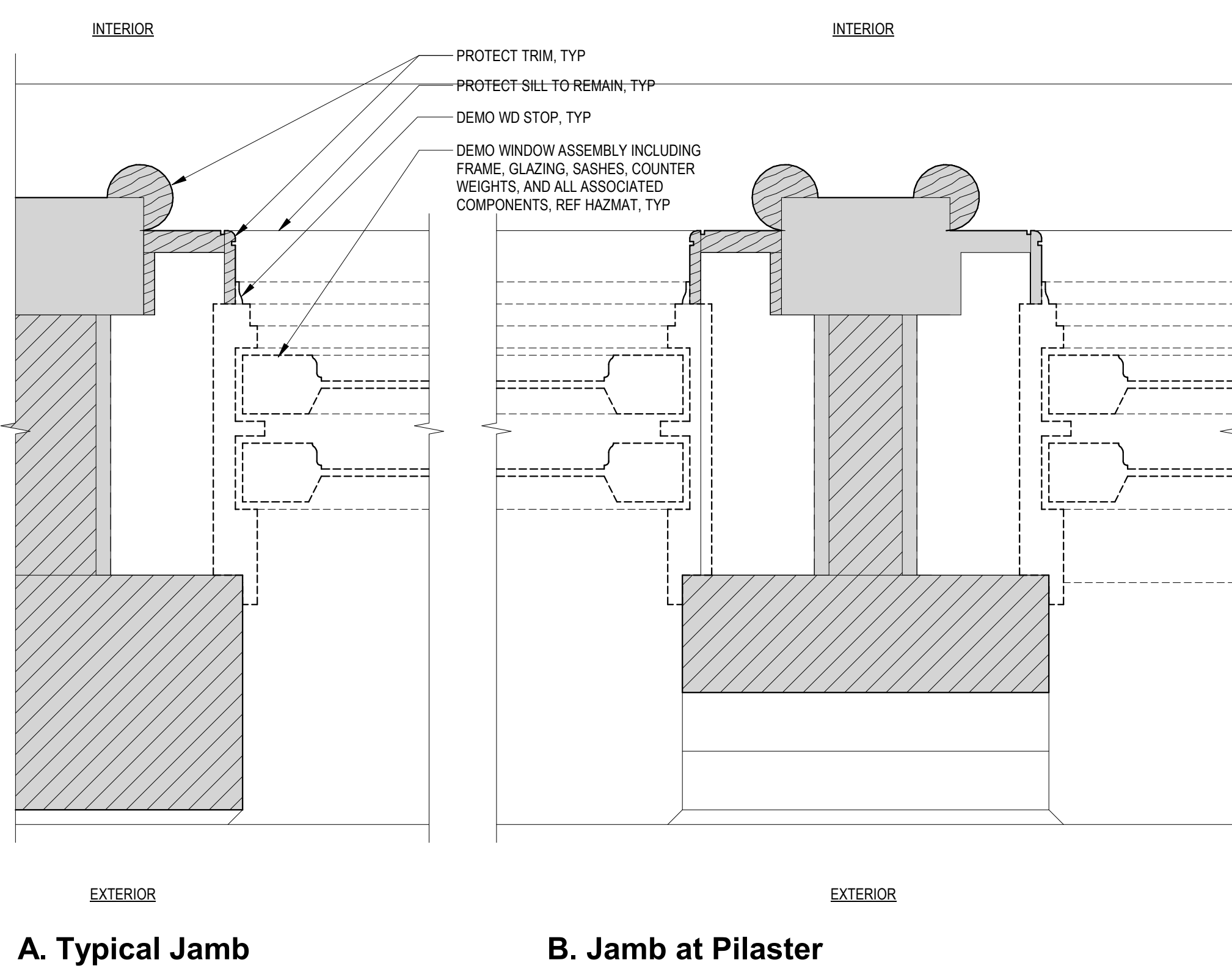
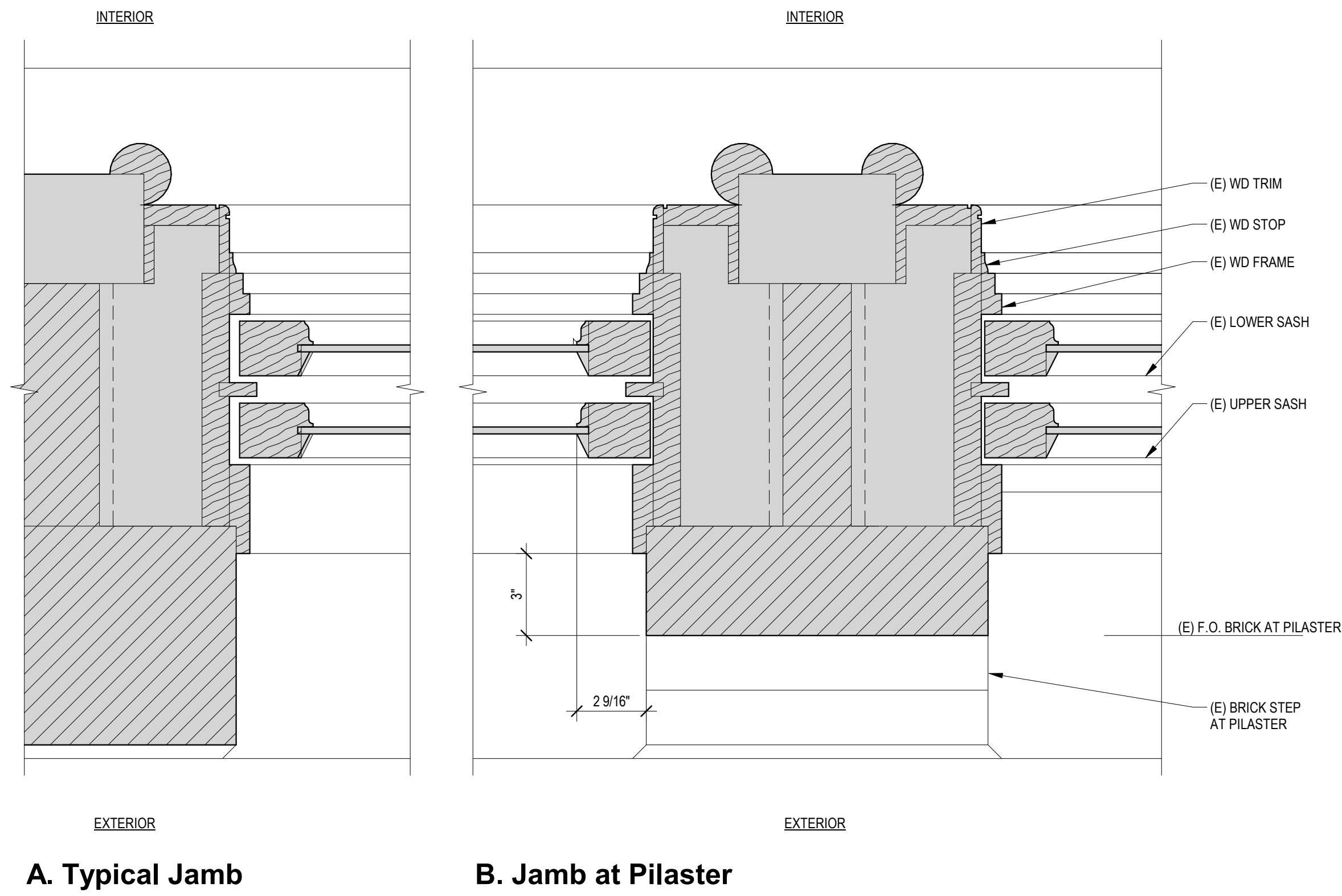
COLOR: WHITE

Black	White	Brown	Fossil
Iron Ore	Portobello	Putty	Almond
Classic White	Brick Red	Hartford Green	Pearl Gray
Soft Linen	Satin Steel	Matte Gray	Wolf Gray
Spice Red	Sage	Frost Blue	Blue Ash

8 Pella color chart
NTS

			PROPOSED PELLA RESERVE
			PROPOSED KOLBE ULTRA SERIES
			EXISTING

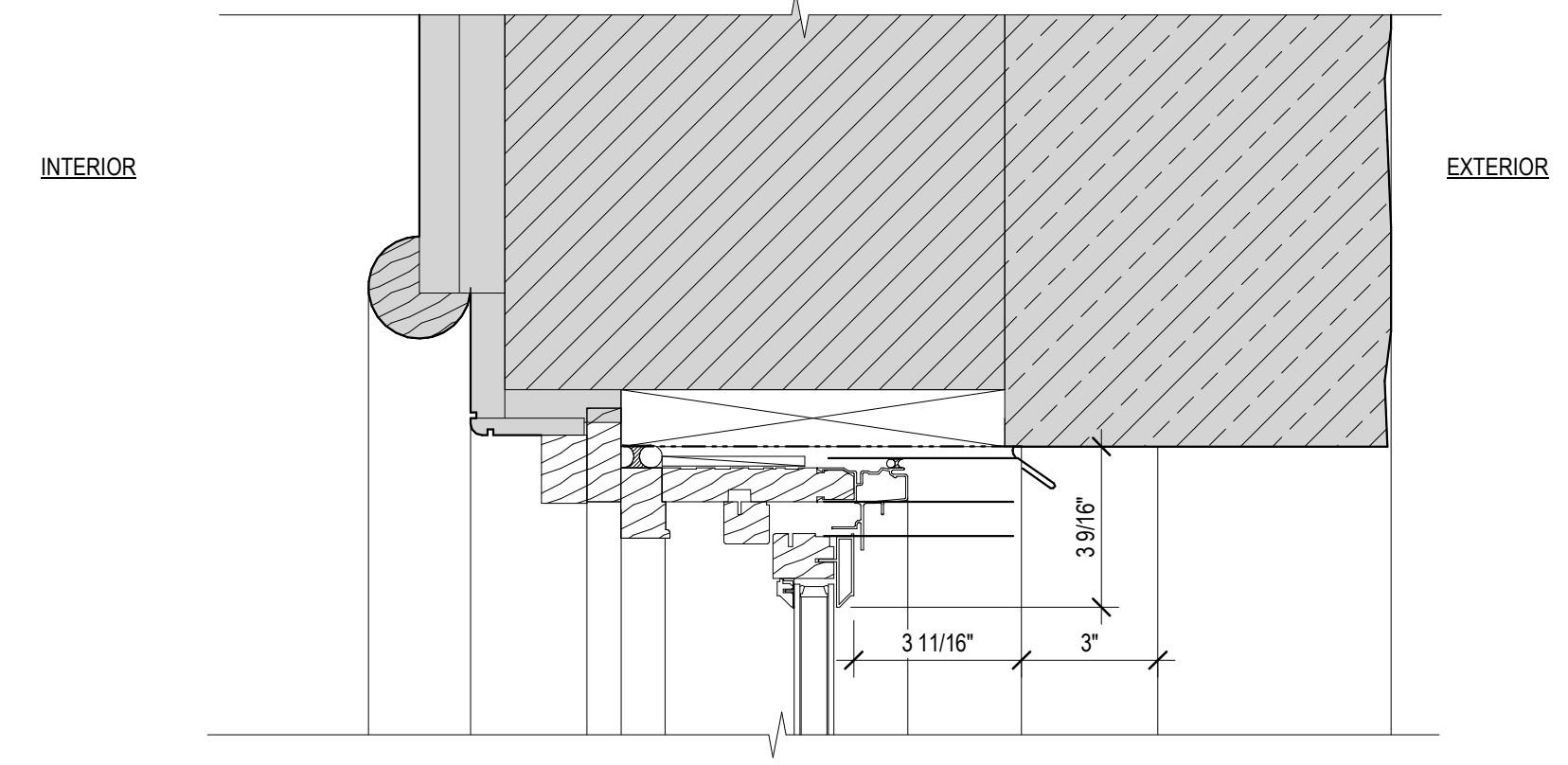
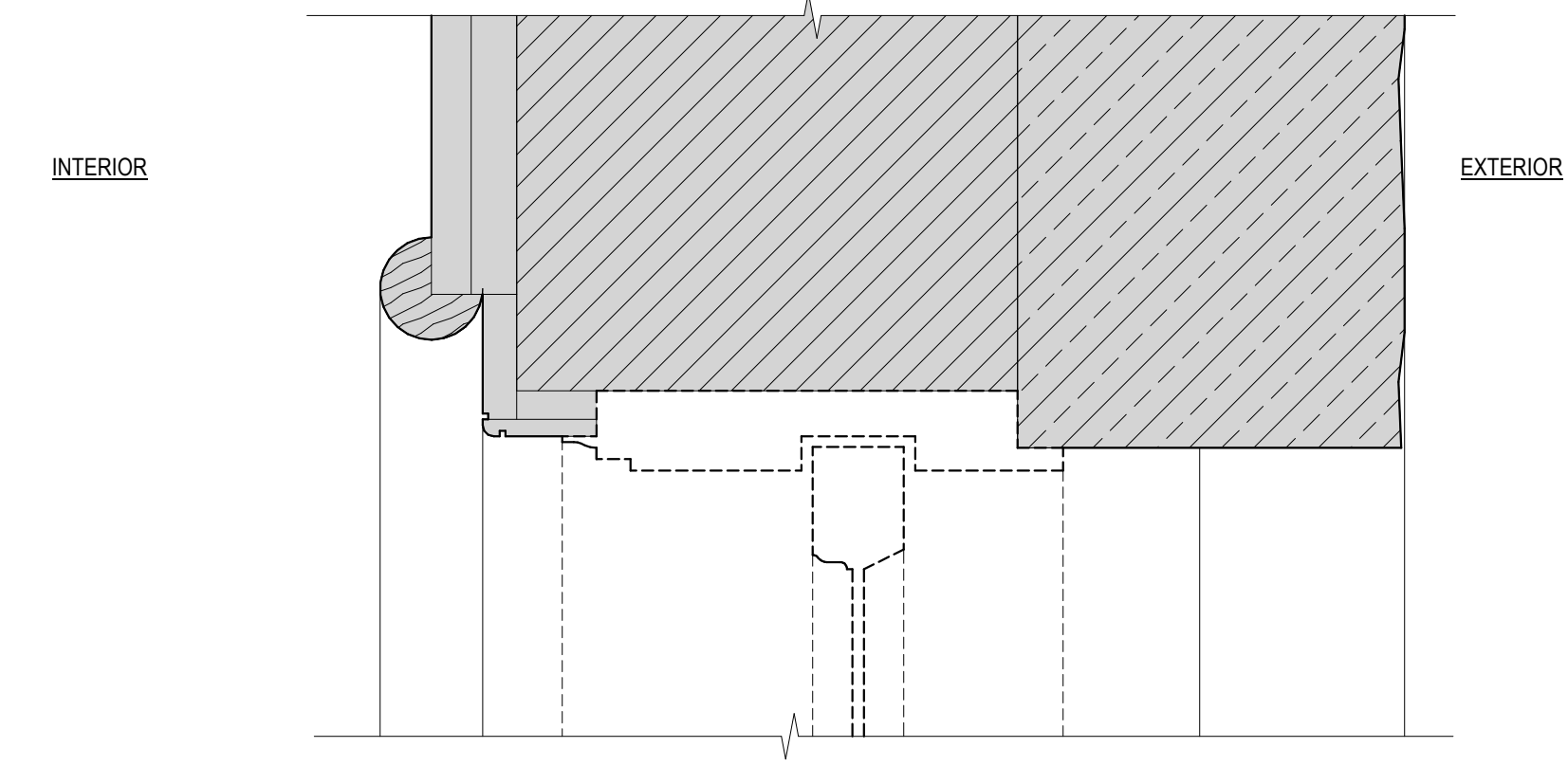
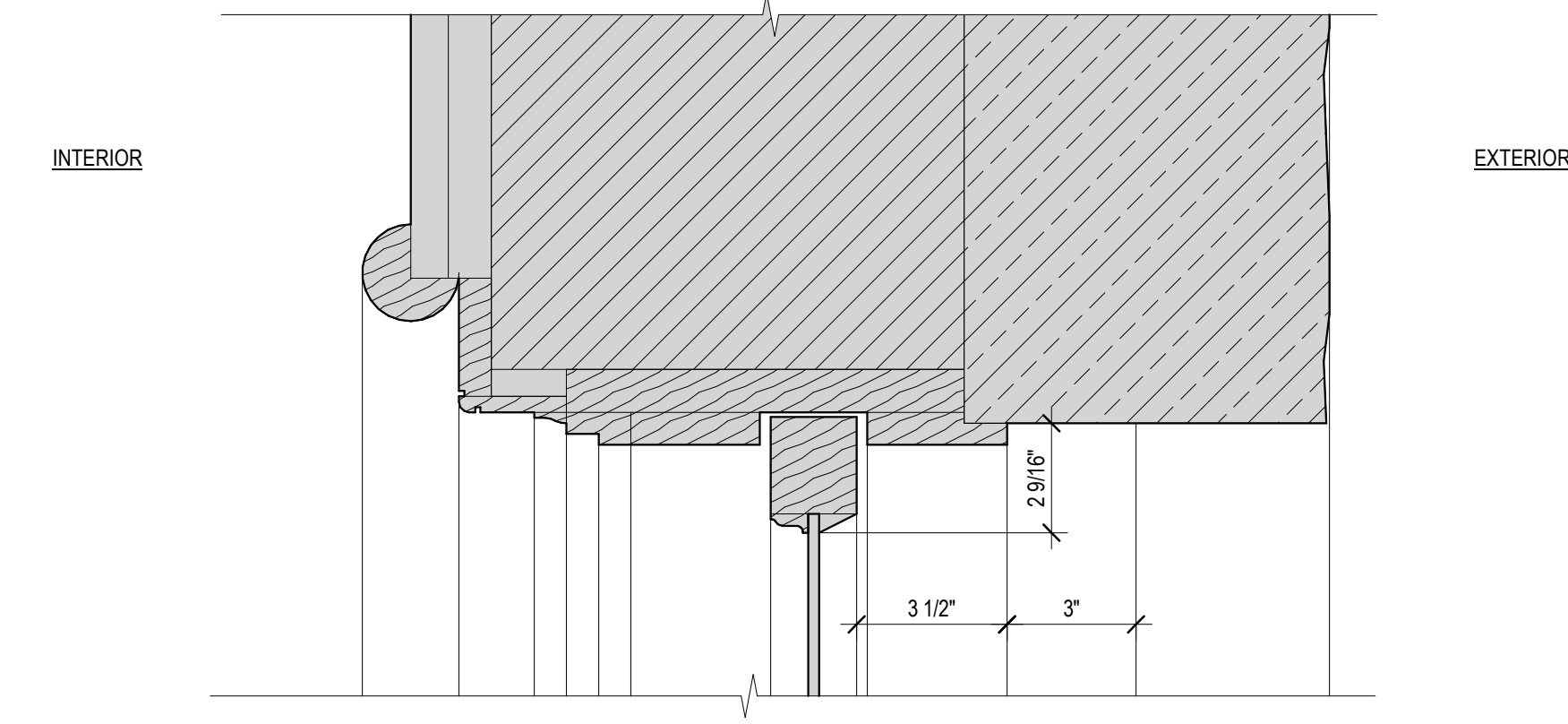
9 Muntins
3" = 1'-0"



1 1892 Era - North/South Facade - Existing Double Hung - Jamb
3" = 1'-0"

2 1892 Era - North/South Facade - Demo Double Hung - Jamb
3" = 1'-0"

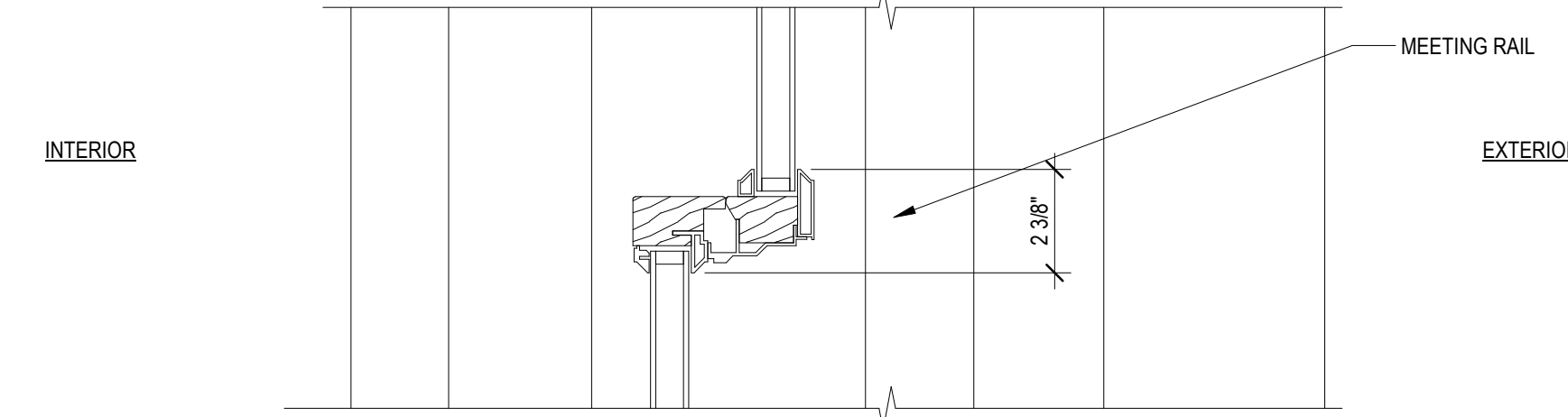
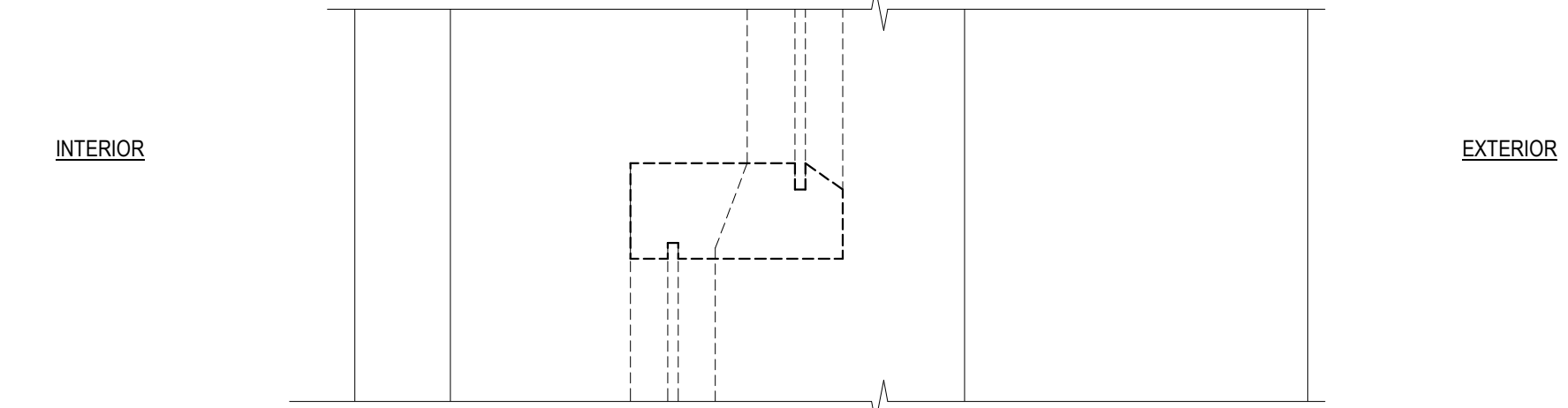
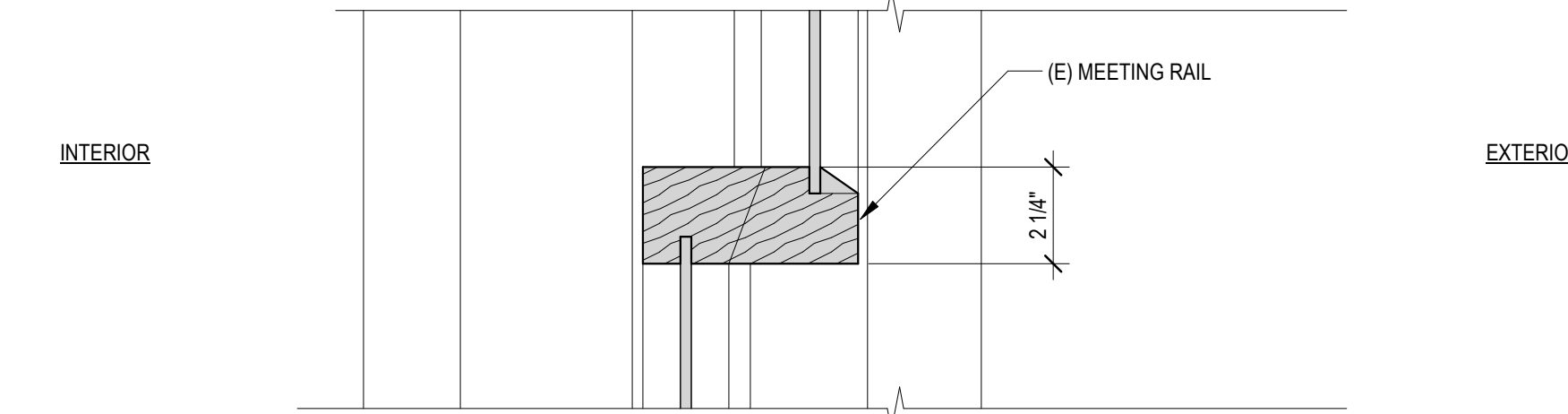
3 1892 Era - North/South Facade - Kolbe Window System - Jamb
3" = 1'-0"



4 1892 Era - North/South Facade - Existing Double Hung - Head
3" = 1'-0"

5 1892 Era - North/South Facade - Demo Double Hung - Head
3" = 1'-0"

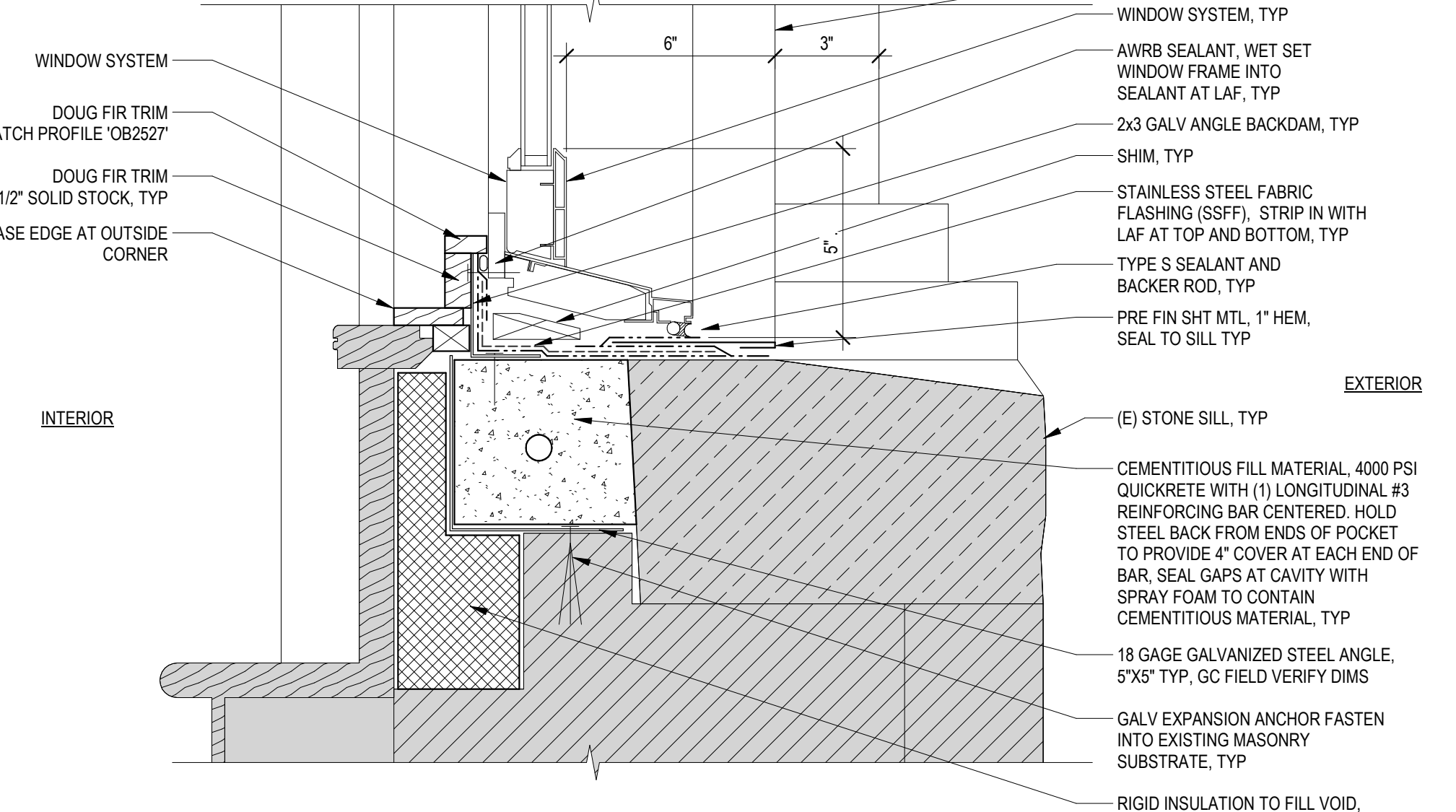
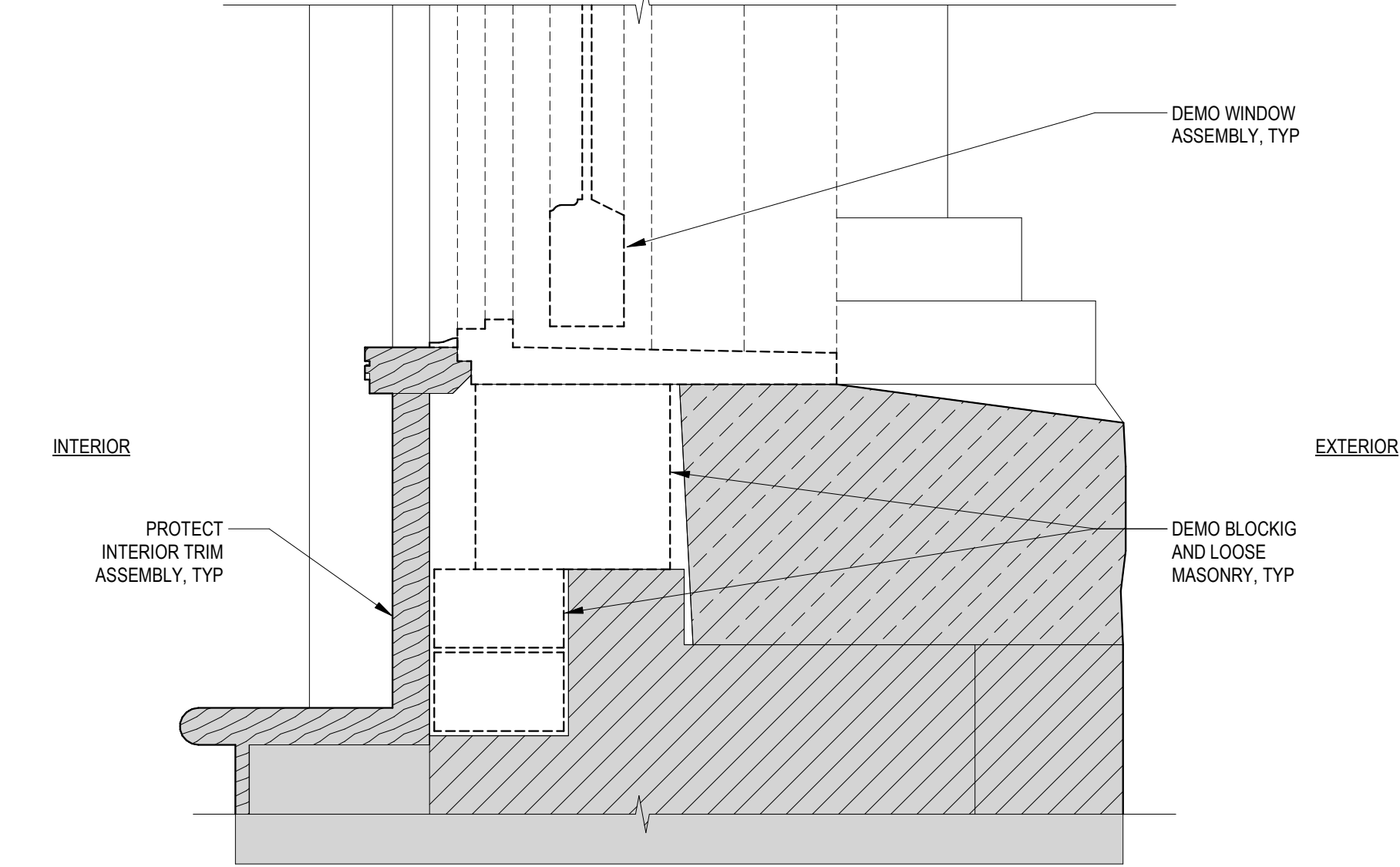
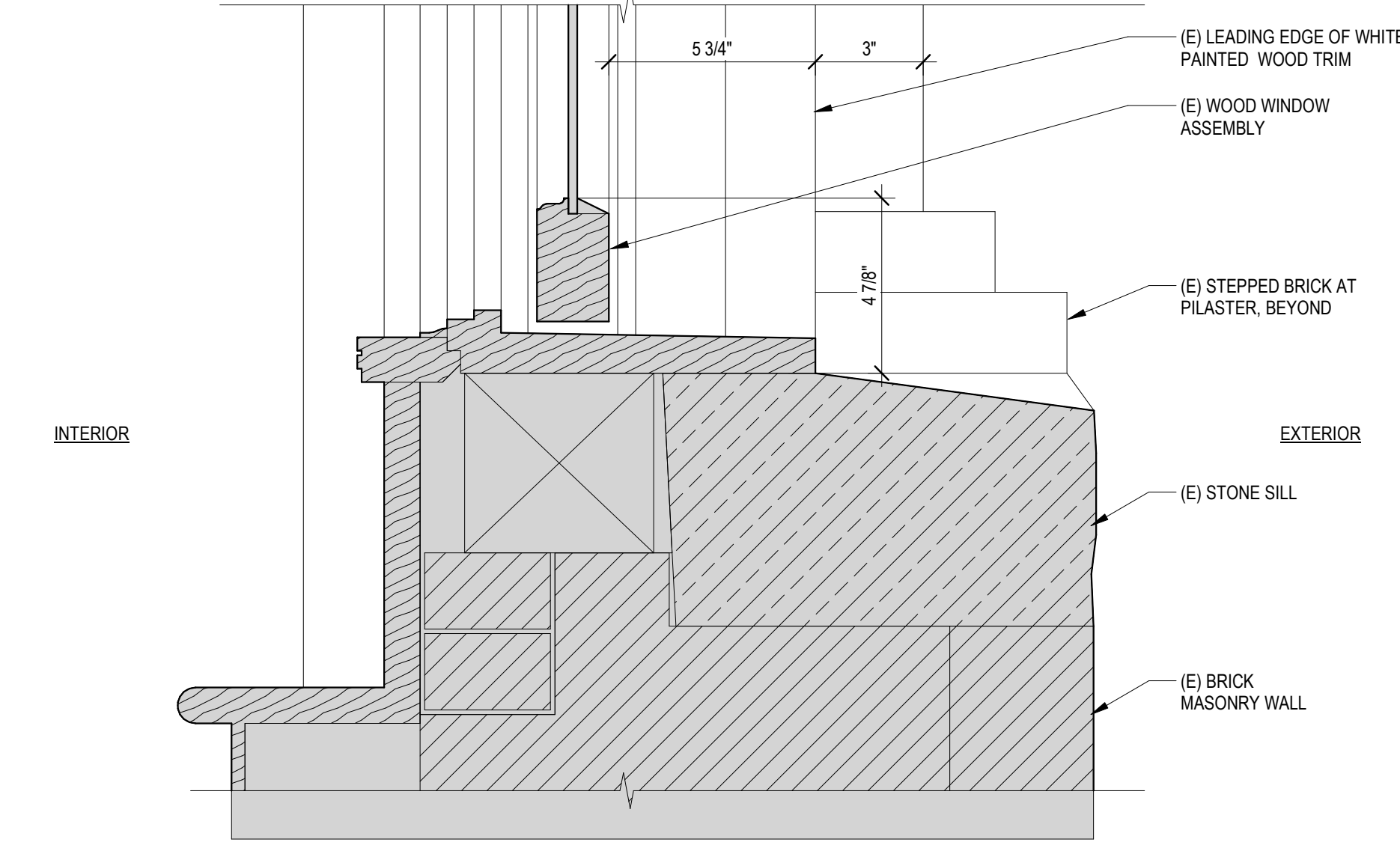
6 1892 Era - North/South Facade - Kolbe Window System - Head
3" = 1'-0"



7 1892 Existing Meeting Rail
3" = 1'-0"

8 1892 Demo Meeting Rail
3" = 1'-0"

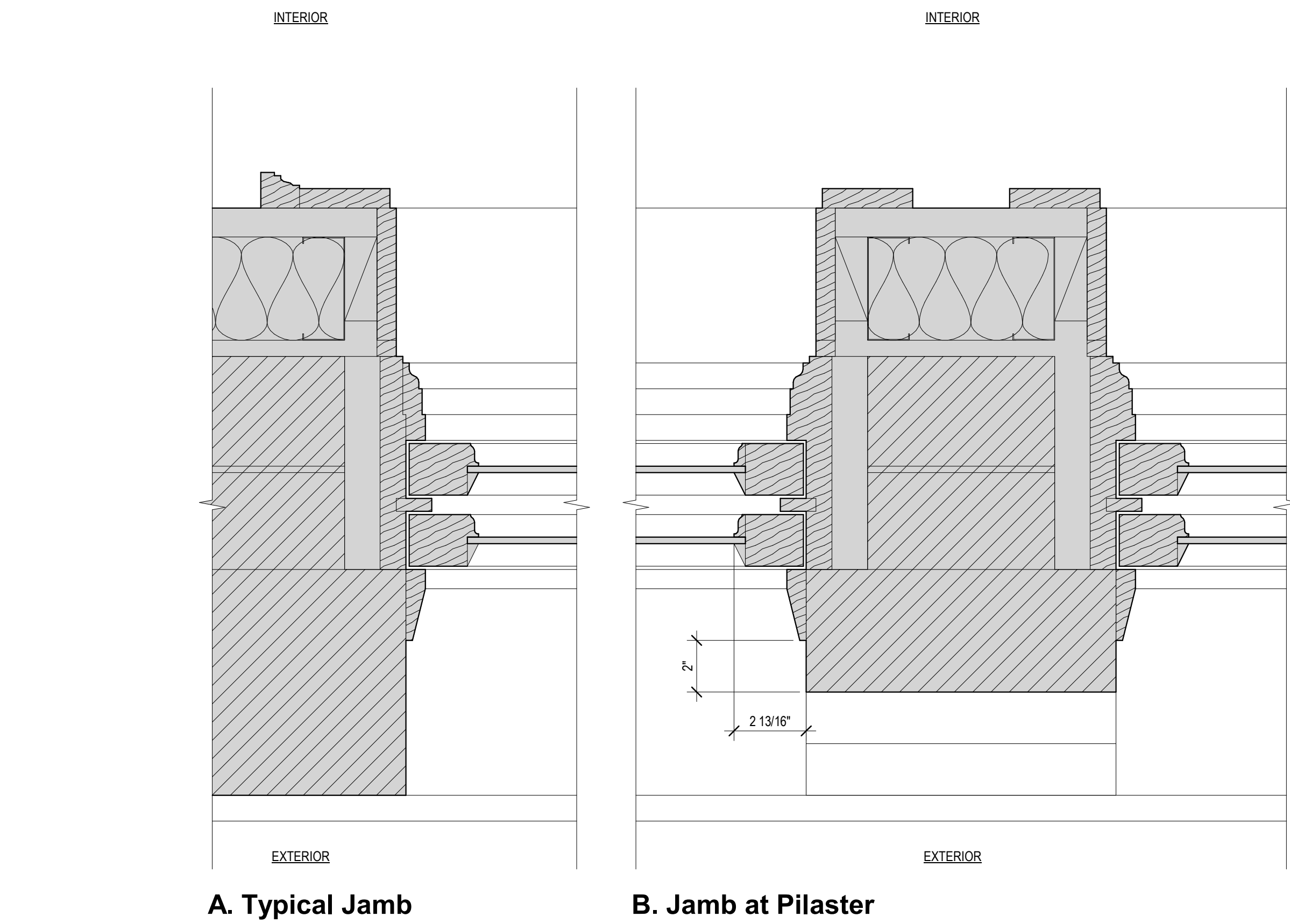
9 1892 Kolbe Window System Meeting Rail
3" = 1'-0"



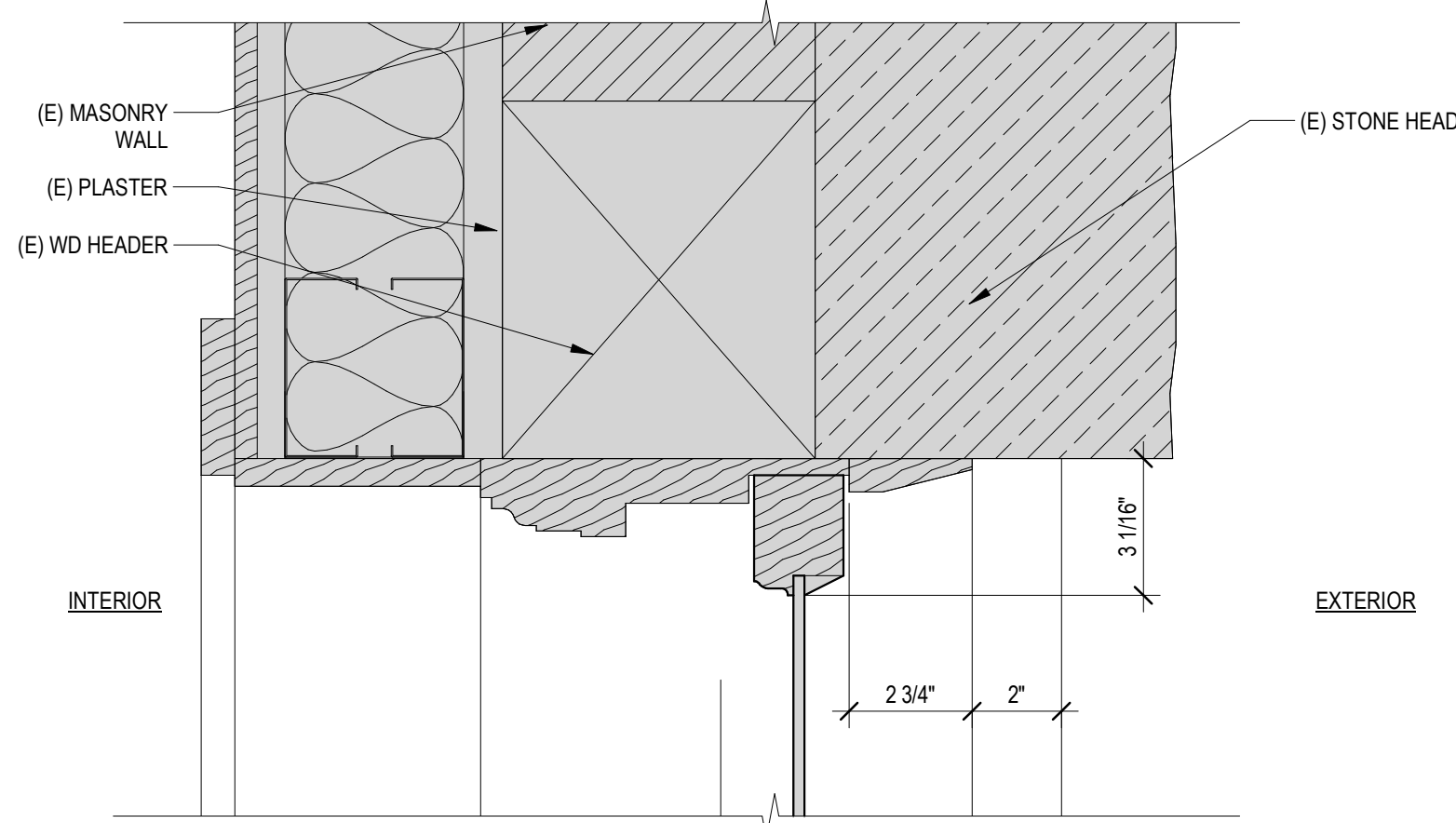
10 1892 Era - North/South Facade - Existing Double Hung - Sill
3" = 1'-0"

11 1892 Era - North/South Facade - Demo Double Hung - Sill
3" = 1'-0"

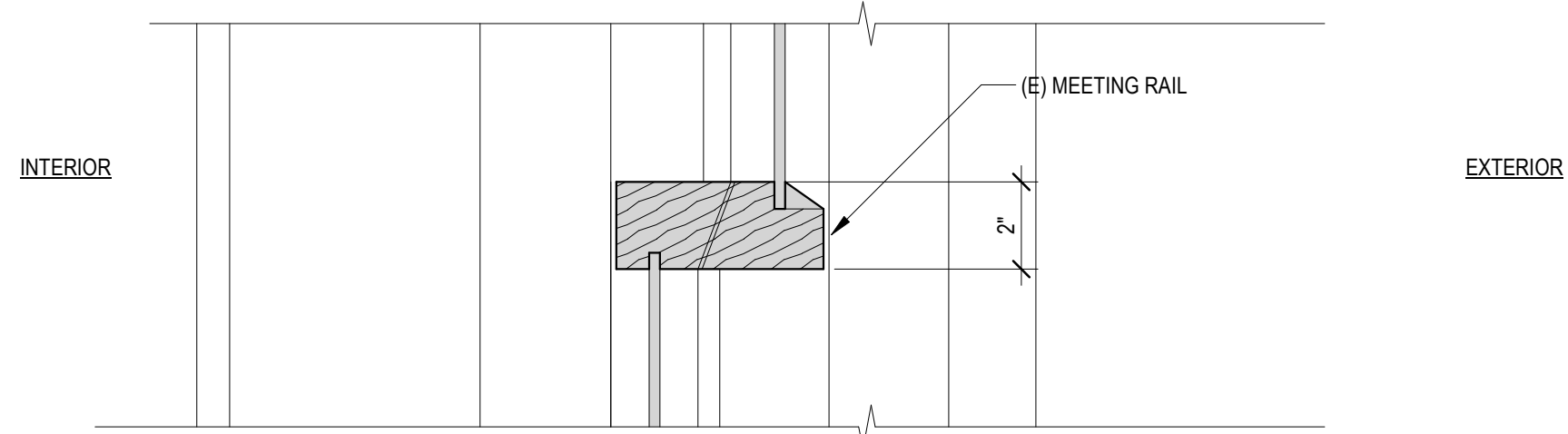
12 1892 Era - North/South Facade - Kolbe Window System - Sill
3" = 1'-0"



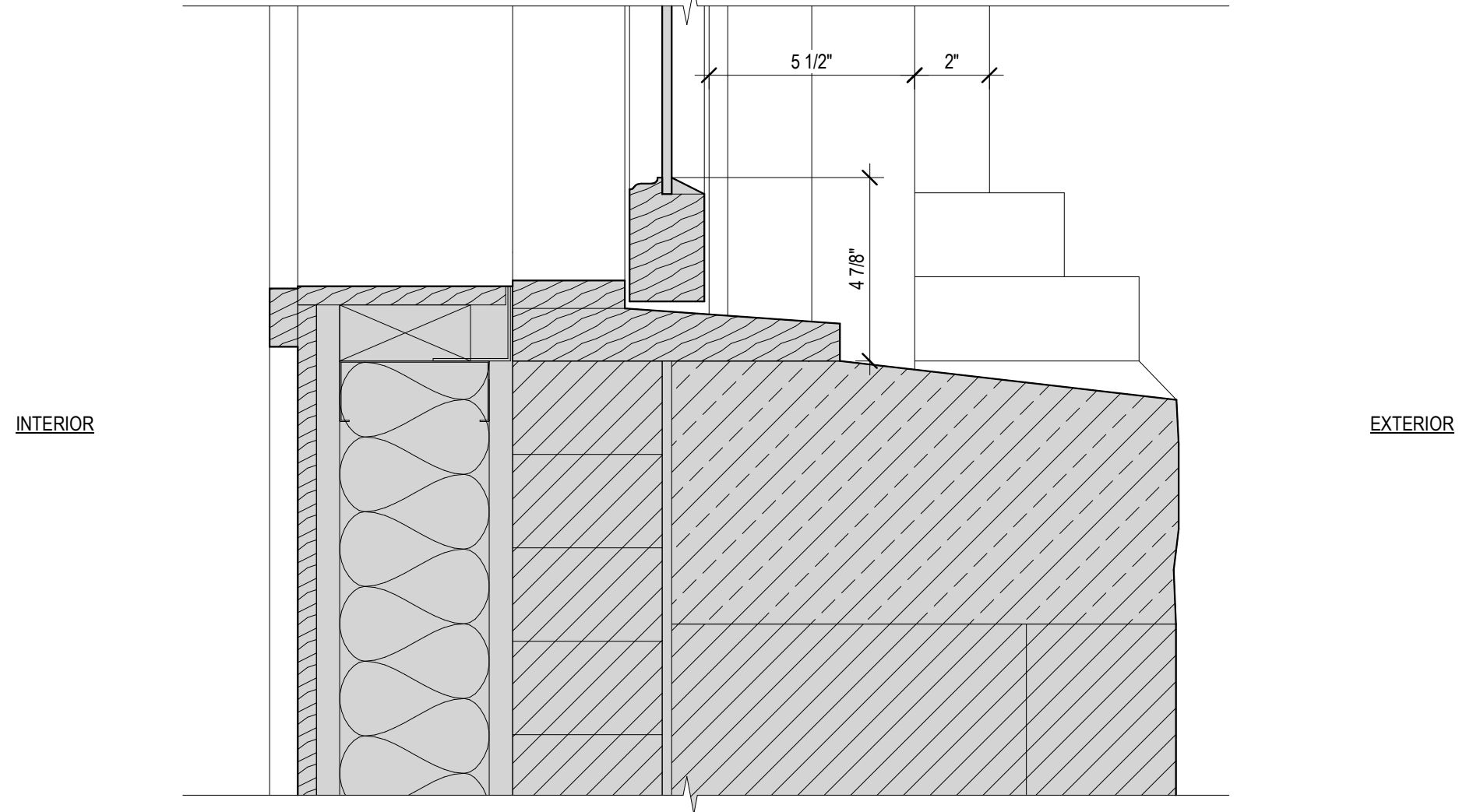
1 1902 Era - East/West Facade - Existing Double Hung - Jamb
3" = 1'-0"



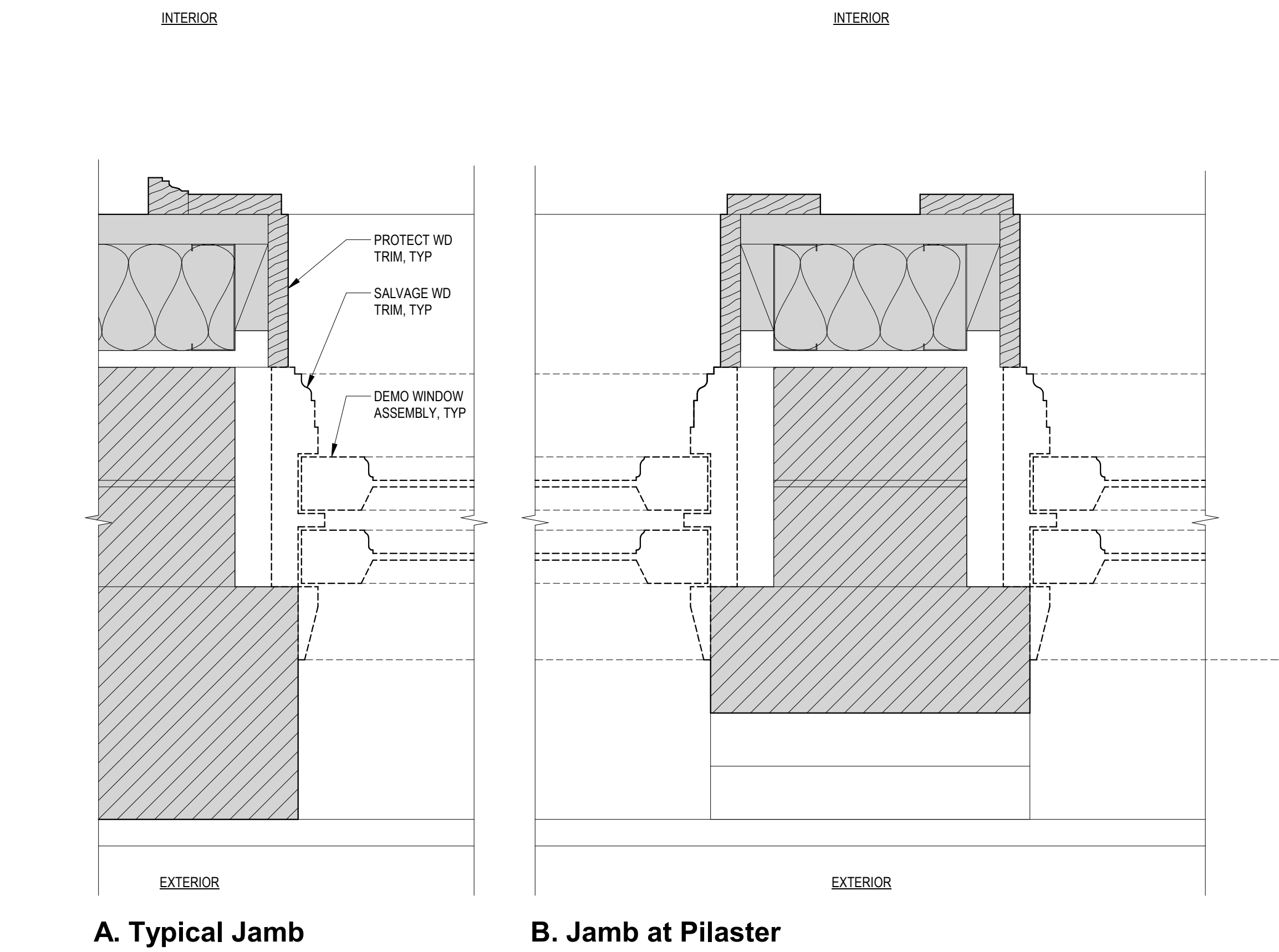
4 1902 Era - East/West Facade - Existing Double Hung - Head
3" = 1'-0"



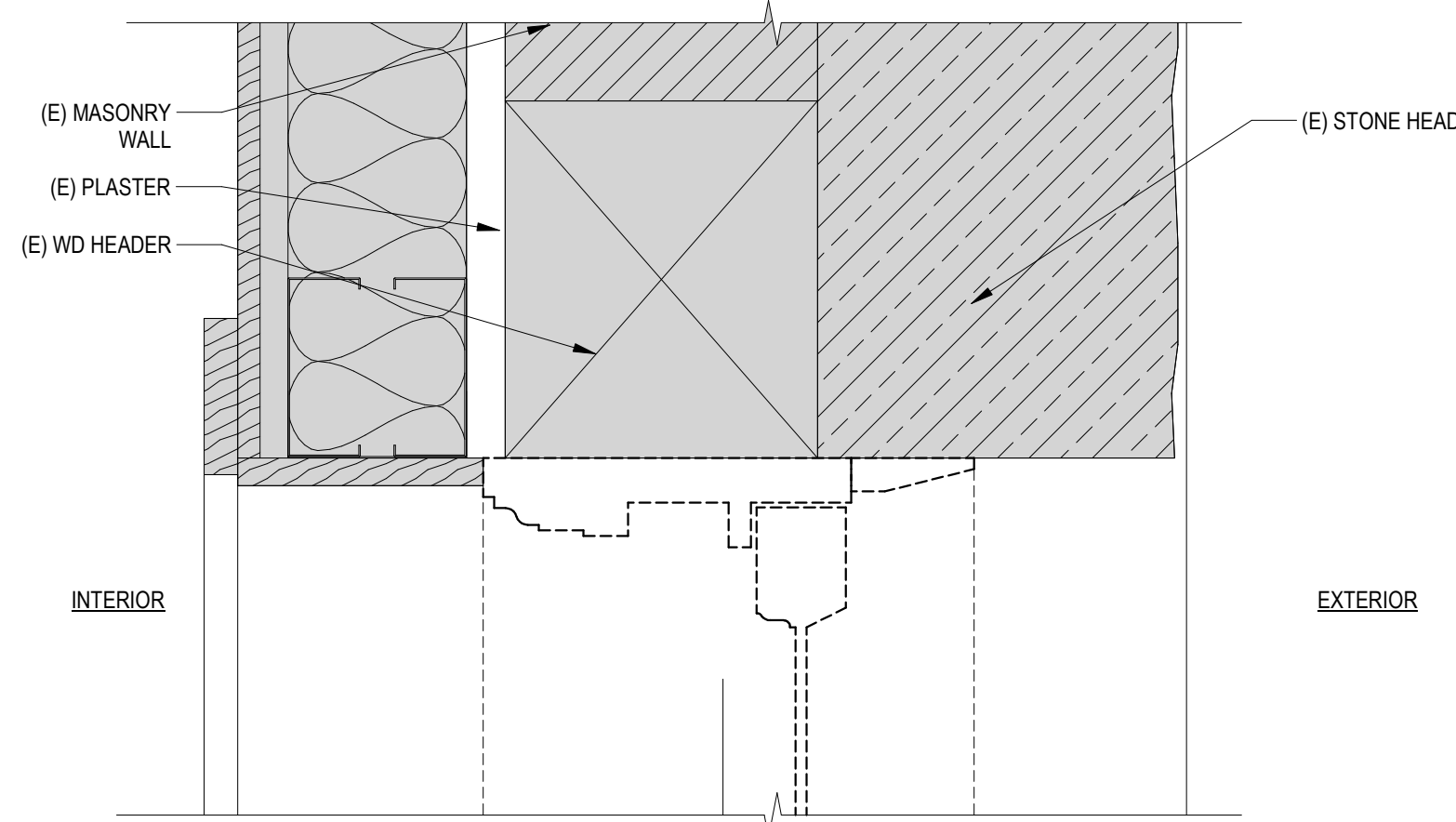
7 1902 Existing Meeting Rail
3" = 1'-0"



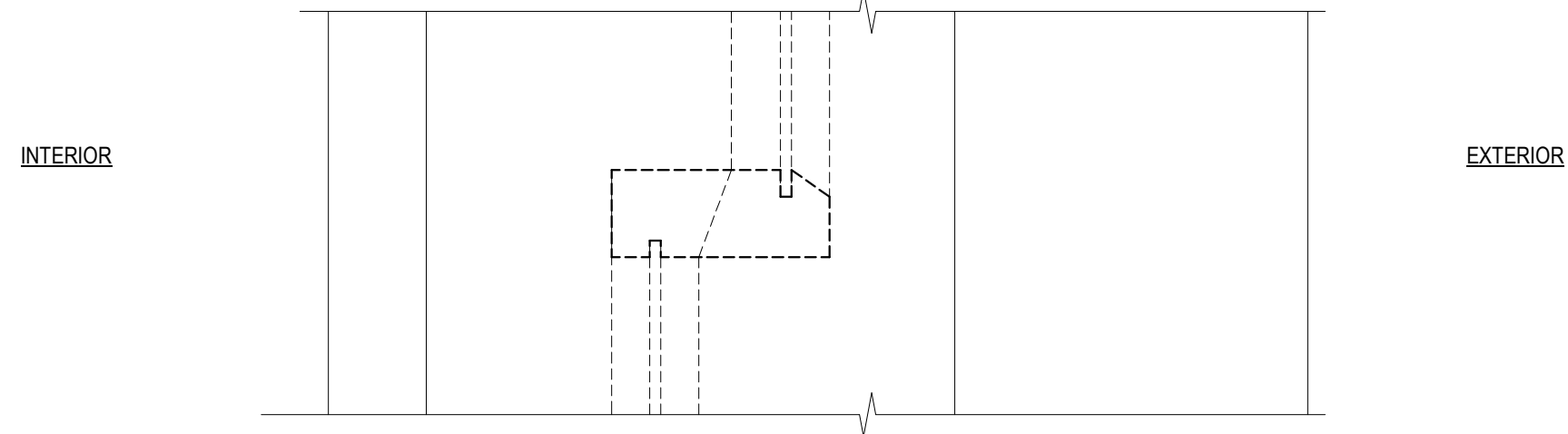
10 1902 Era - East/West Facade - Existing Double Hung - Sill
3" = 1'-0"



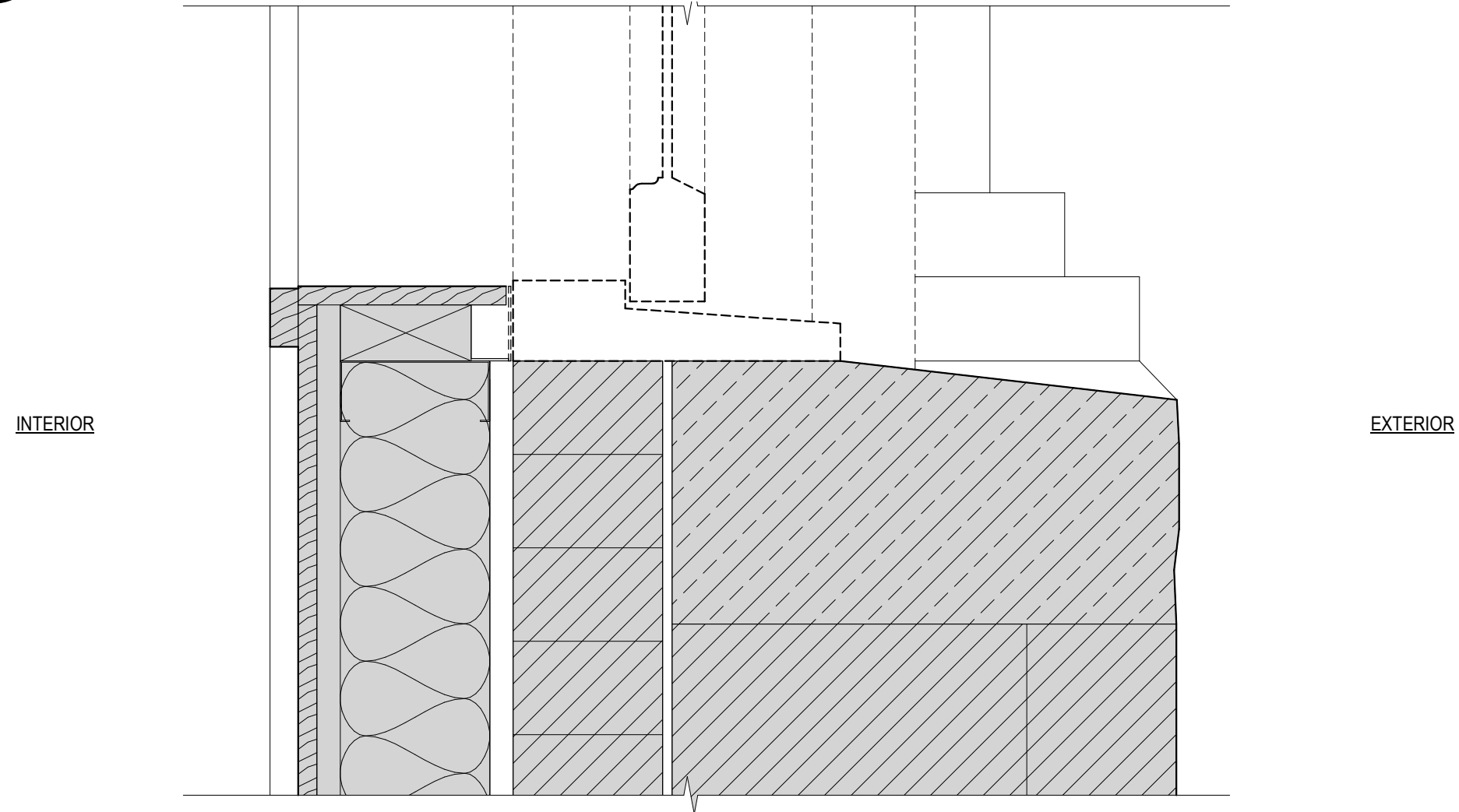
2 1902 Era - East/West Facade - Demo Double Hung - Jamb
3" = 1'-0"



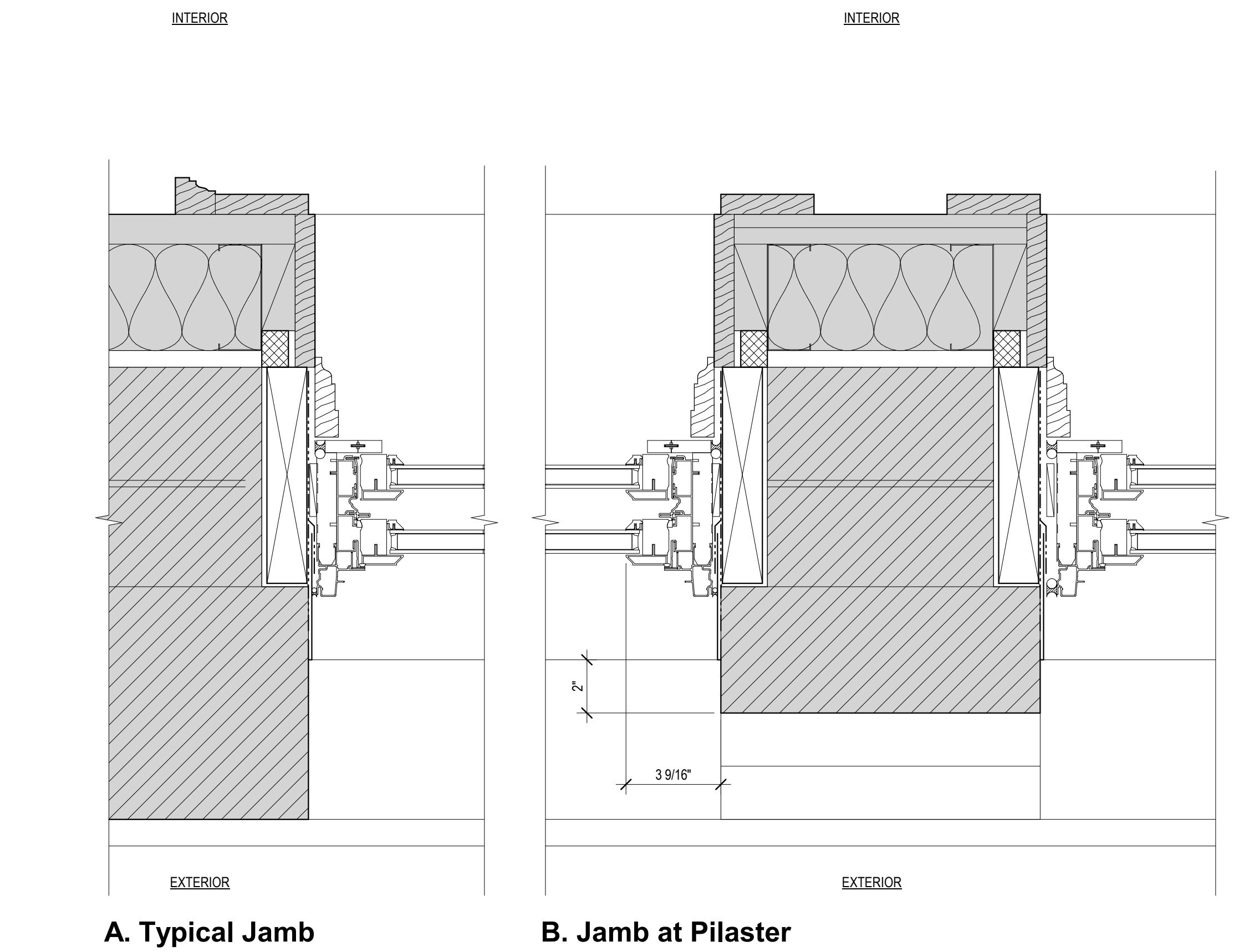
5 1902 Era - East/West Facade - Demo Double Hung - Head
3" = 1'-0"



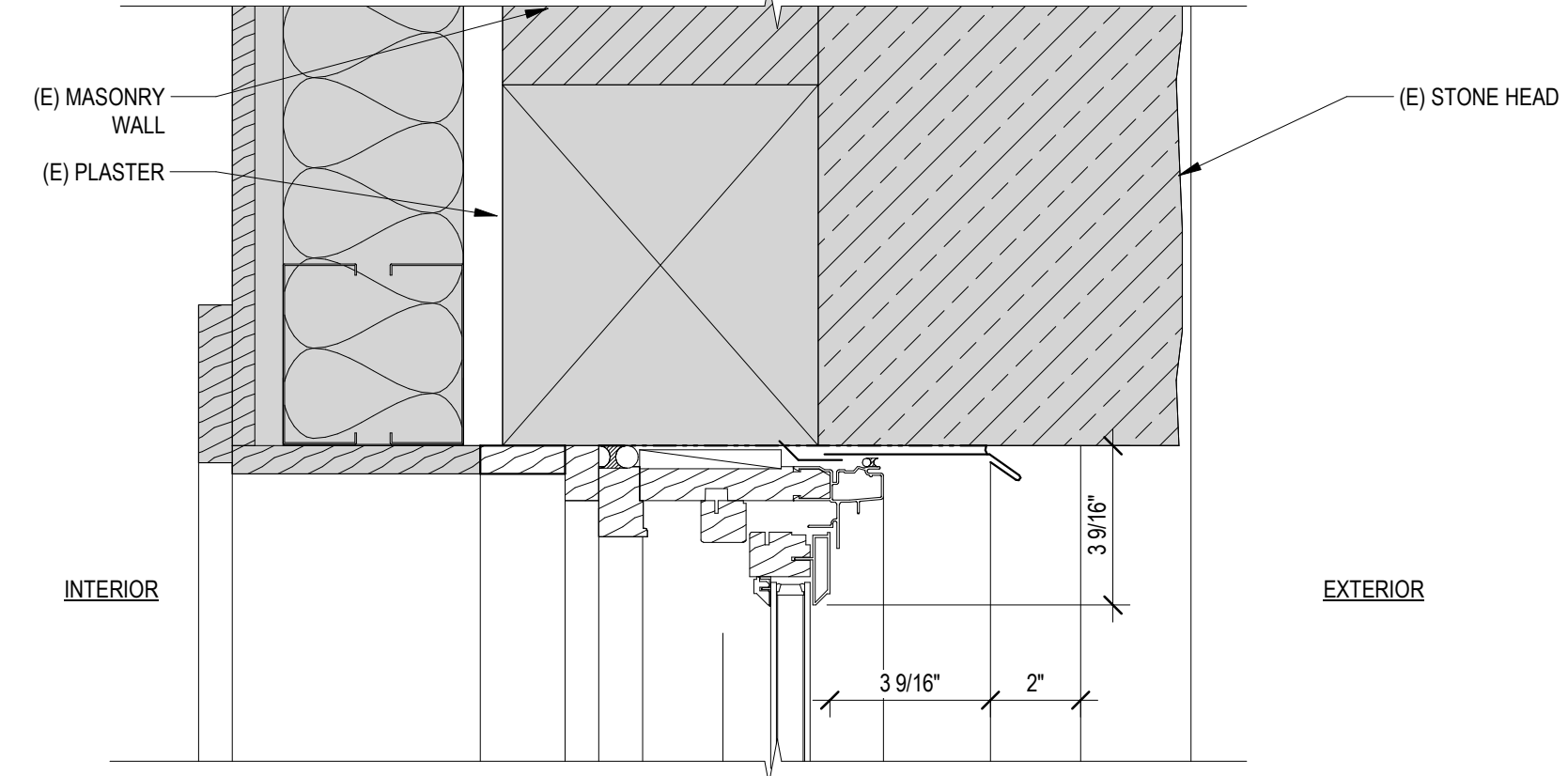
8 1902 Demo Meeting Rail
3" = 1'-0"



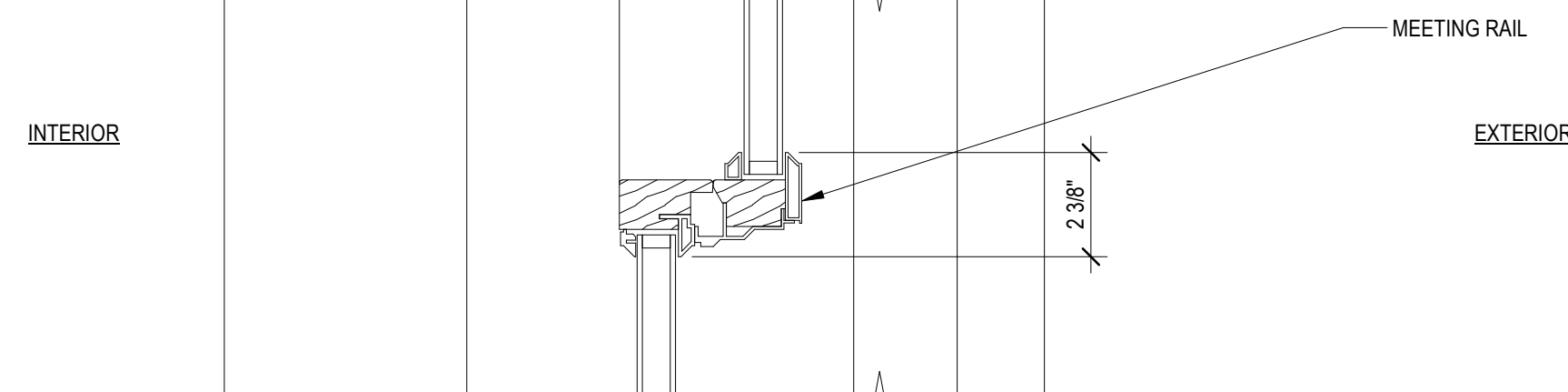
11 1902 Era - East/West Facade - Demo Double Hung - Sill
3" = 1'-0"



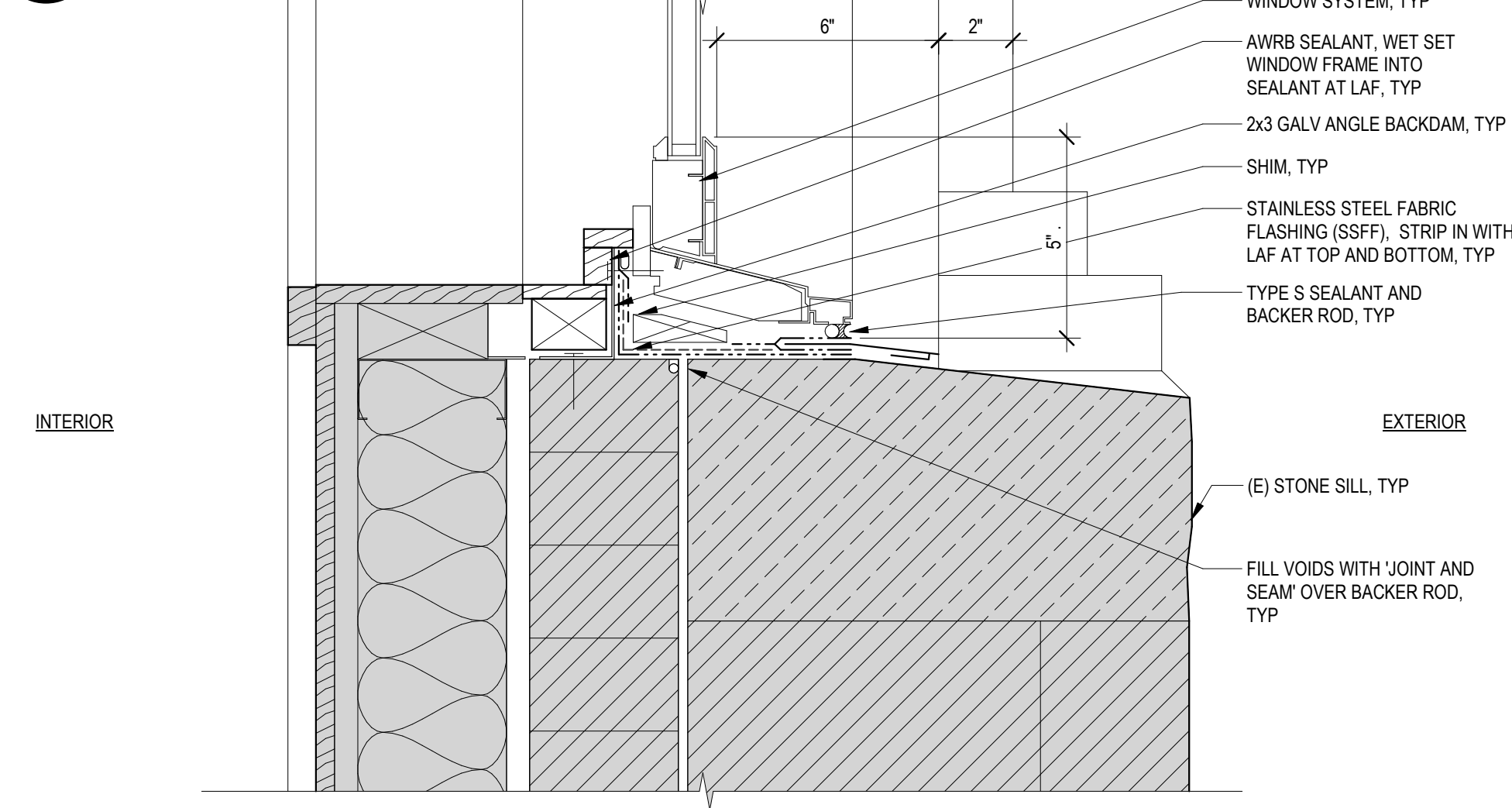
3 1902 Era - East/West Facade - Kolbe Window System - Jamb
3" = 1'-0"



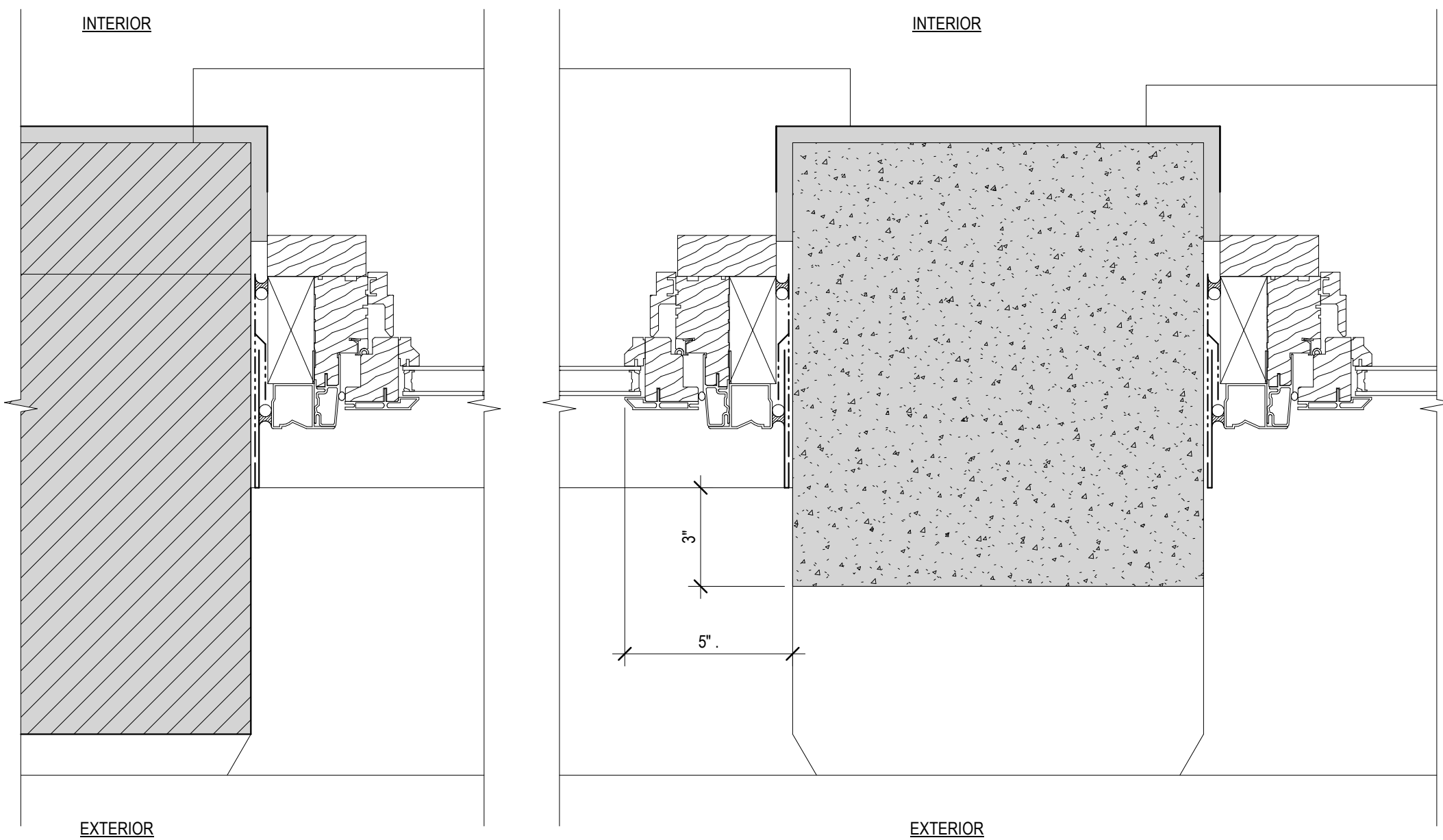
6 1902 Era - East/West Facade - Kolbe Window System - Head
3" = 1'-0"



9 1902 Kolbe Window System Meeting Rail
3" = 1'-0"



12 1902 Era - East/West Facade - Kolbe Window System - Sill
3" = 1'-0"

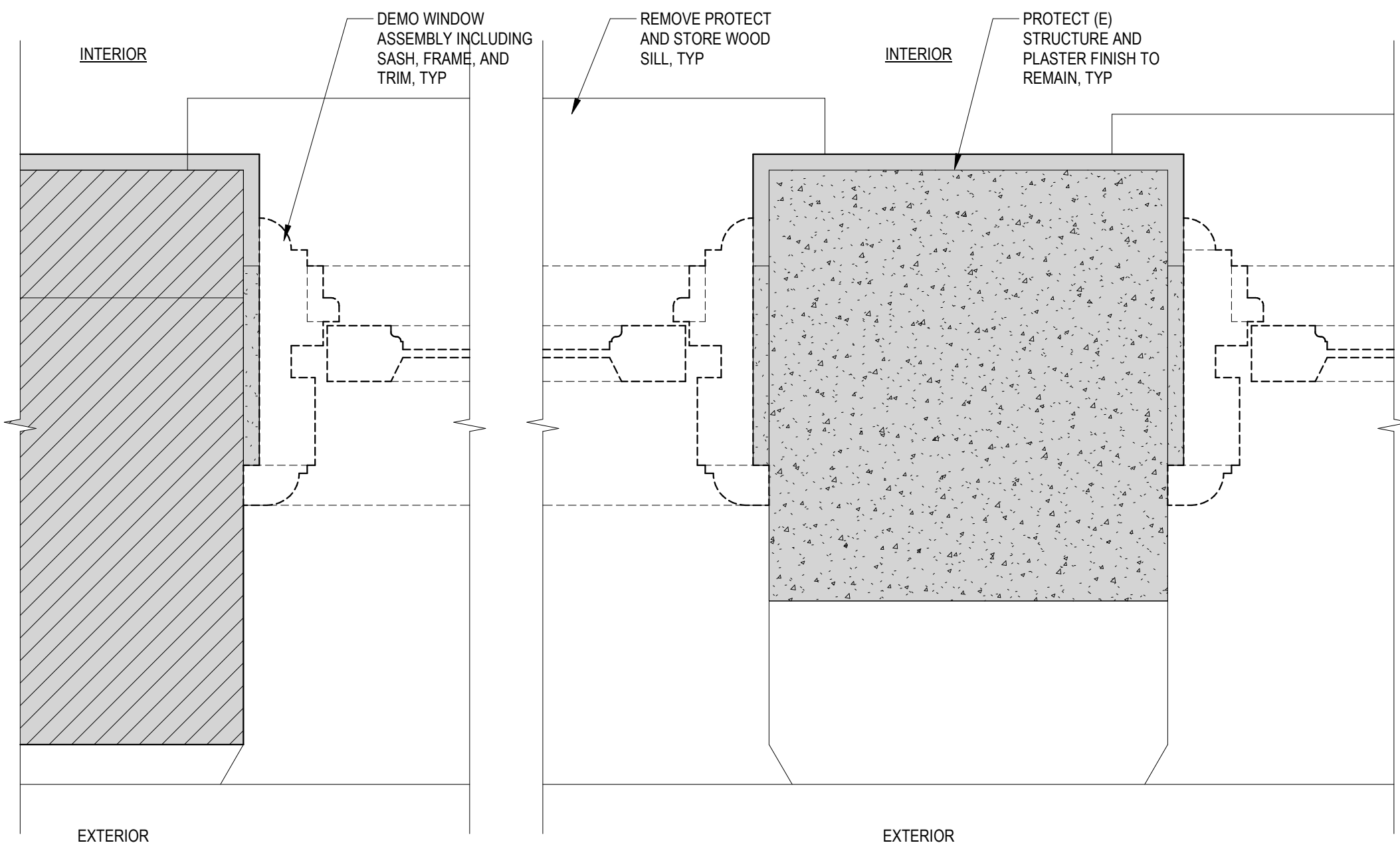


A. Jamb at Brick

B. Jamb at Concrete Pilaster

1 1916 Era - Kolbe Projected Awning - Jamb

3" = 1'-0"

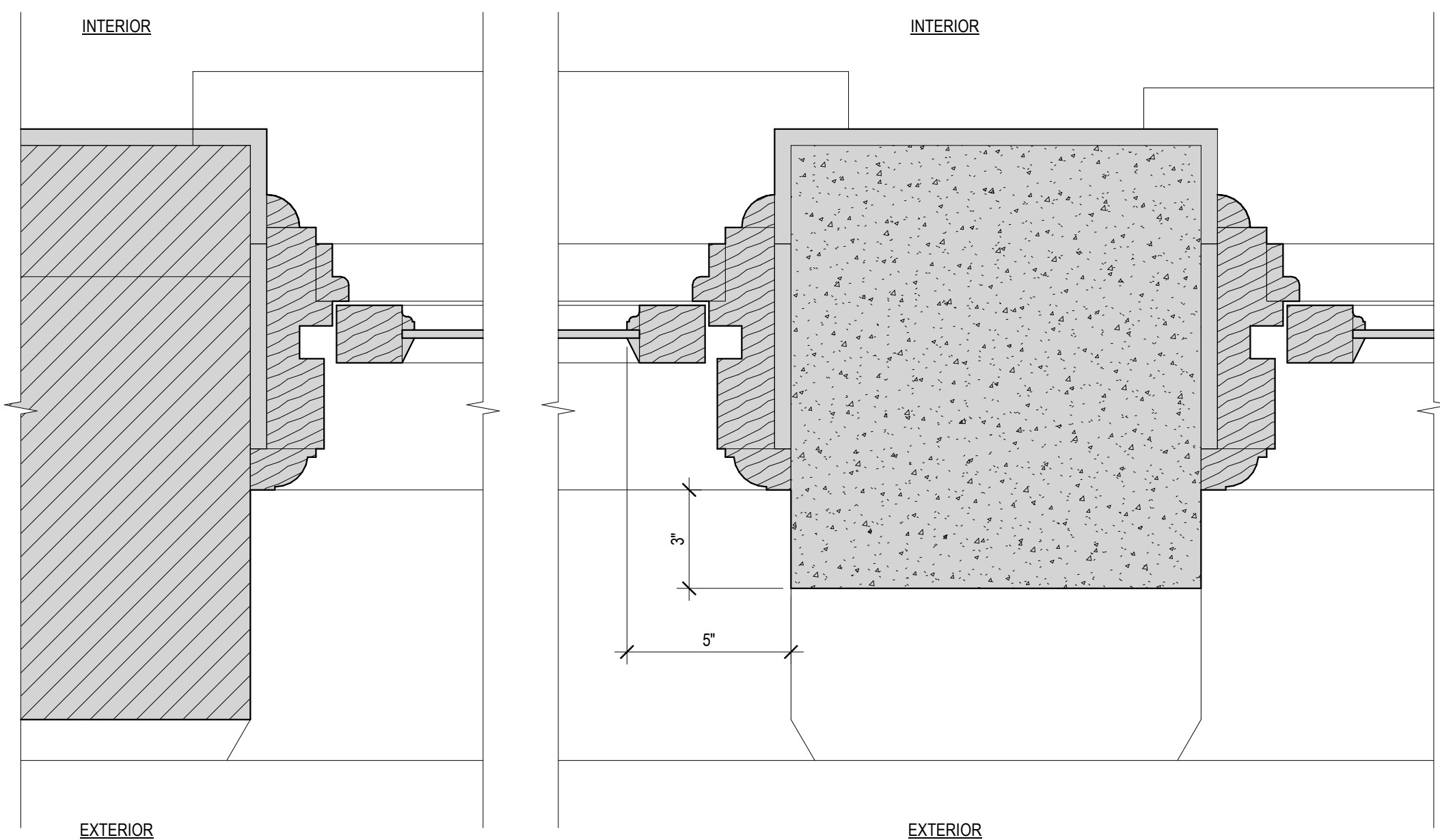


A. Jamb at Brick

B. Jamb at Concrete Pilaster

2 1916 Era - Demo Projected Awning - Jamb

3" = 1'-0"

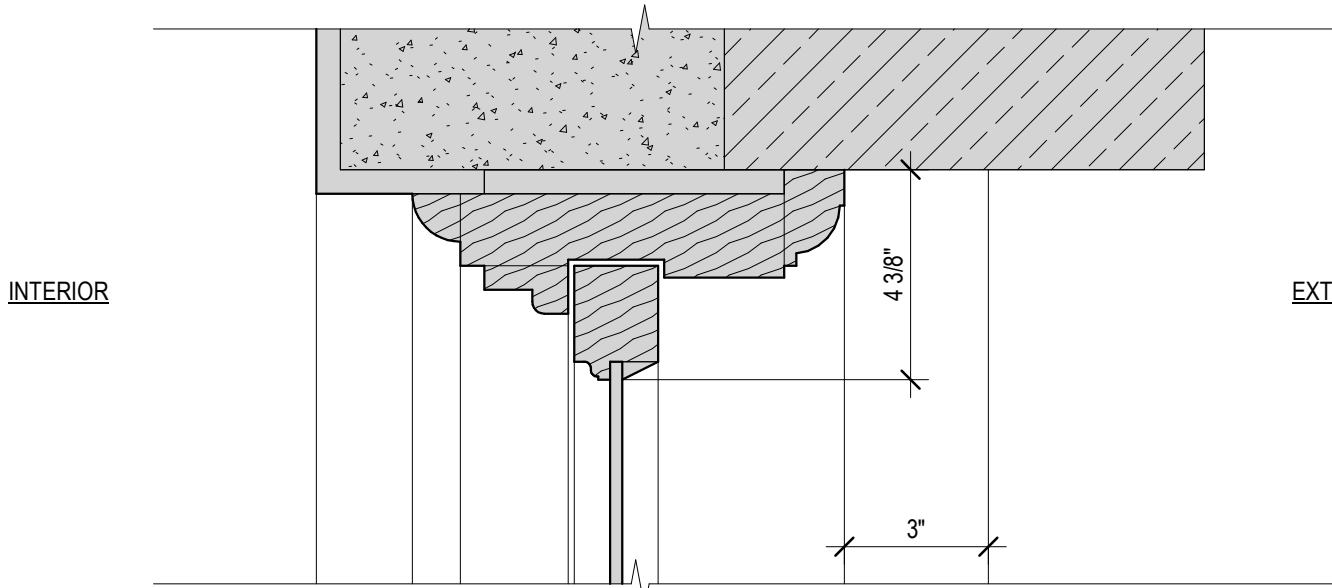


A. Jamb at Brick

B. Jamb at Concrete Pilaster

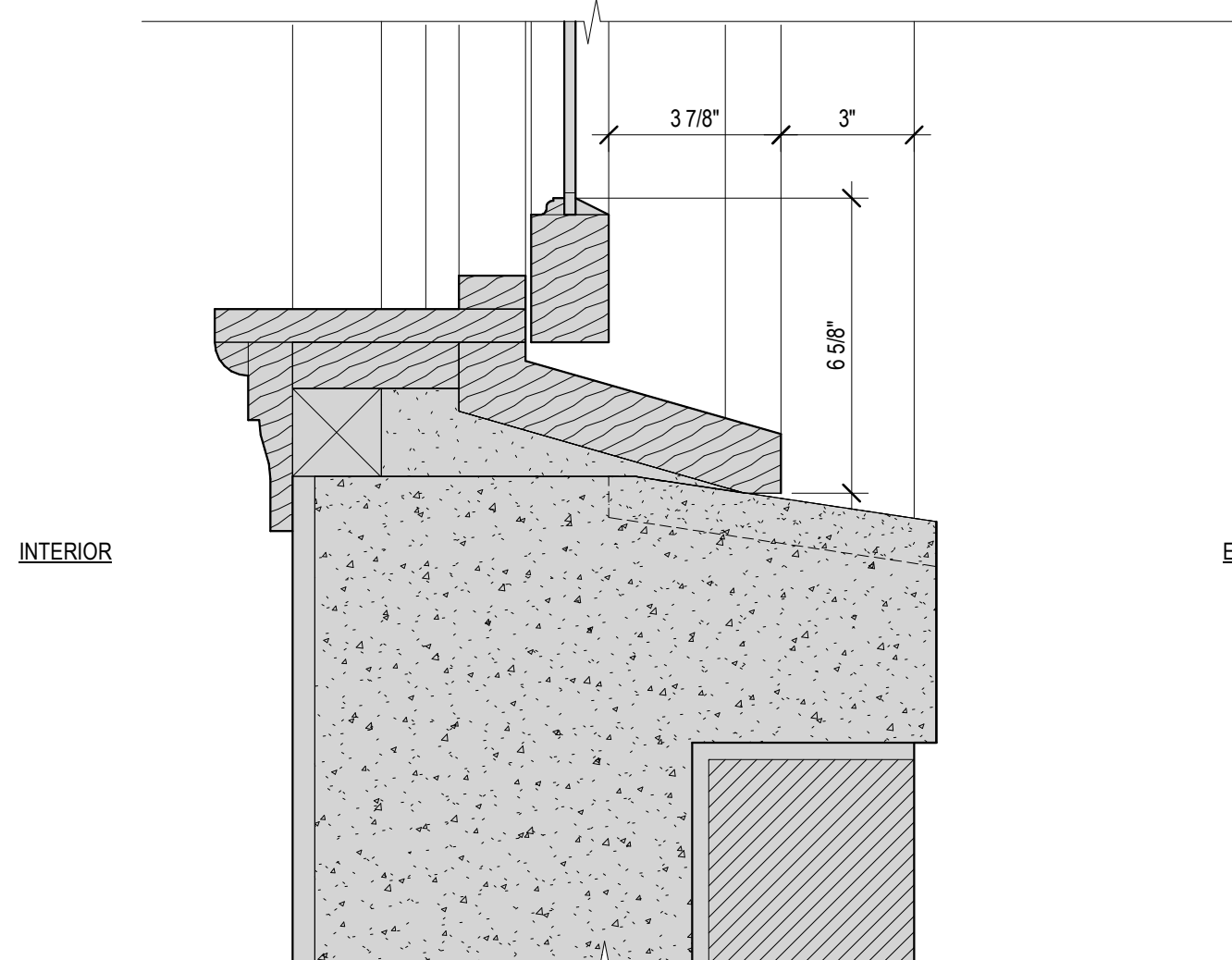
3 1916 Era - Existing Projected Awning - Jamb

3" = 1'-0"



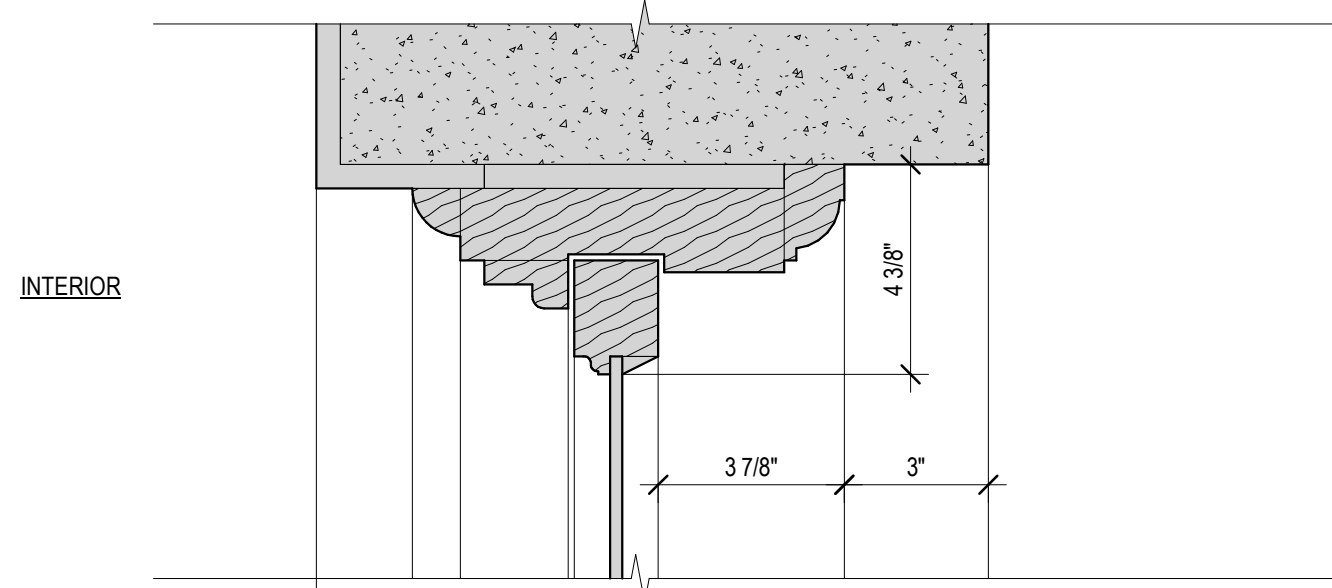
4 1916 Era - Existing Projected Awning - Head at Level 2

3" = 1'-0"



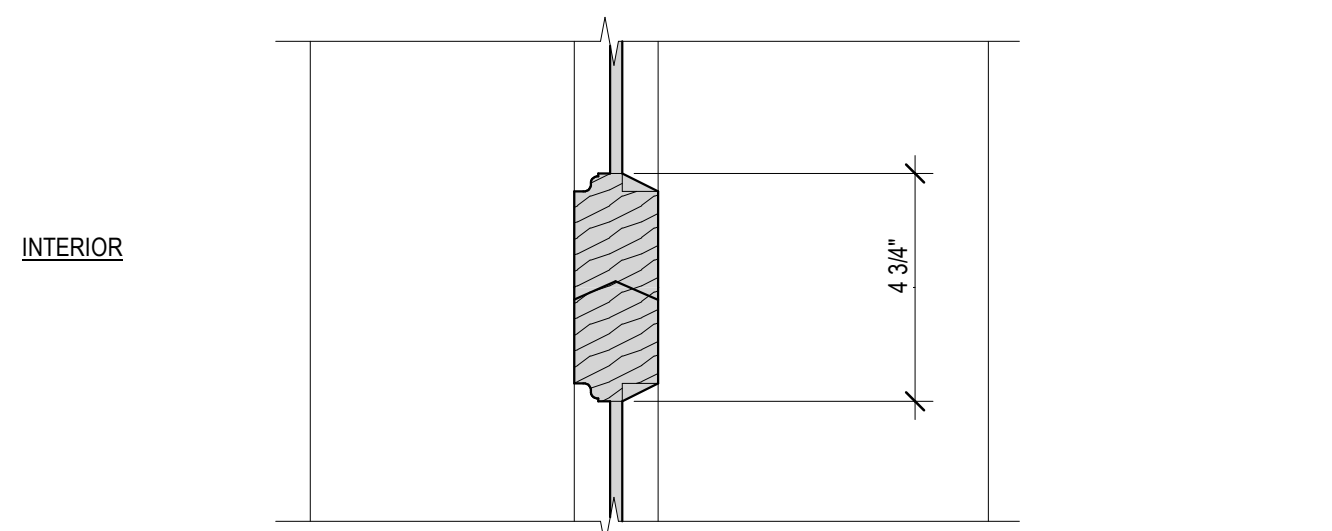
5 1916 Era - Existing Projected Awning - Conc Sill at Level 2

3" = 1'-0"



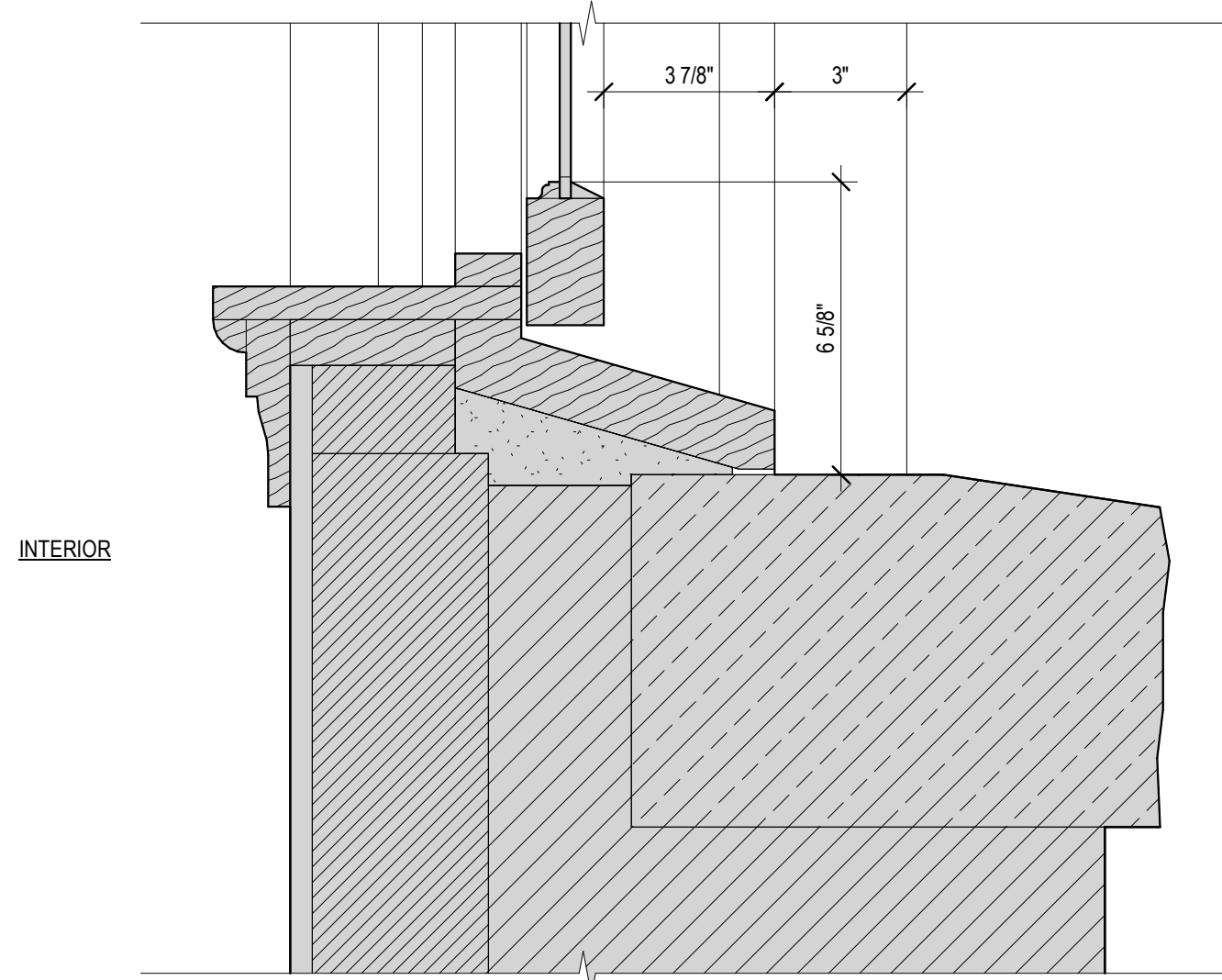
6 1916 Era - Existing Projected Awning - Head at Level 1

3" = 1'-0"



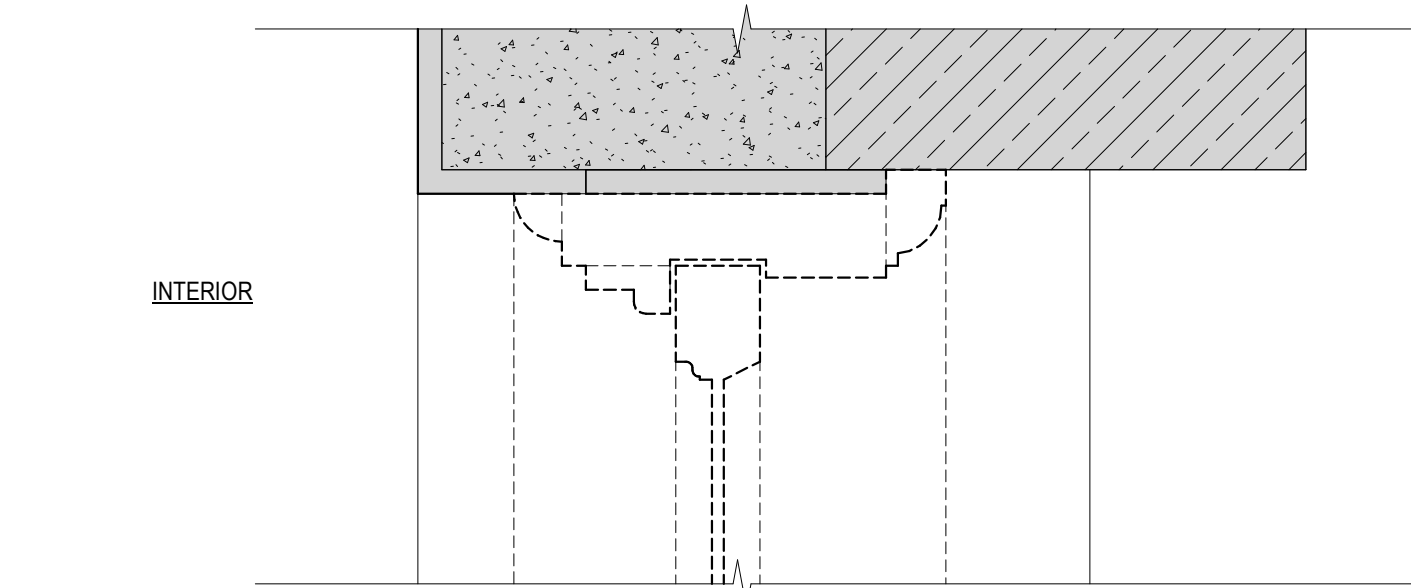
7 1916 Era - Existing Projected Awning - Parting Rail

3" = 1'-0"



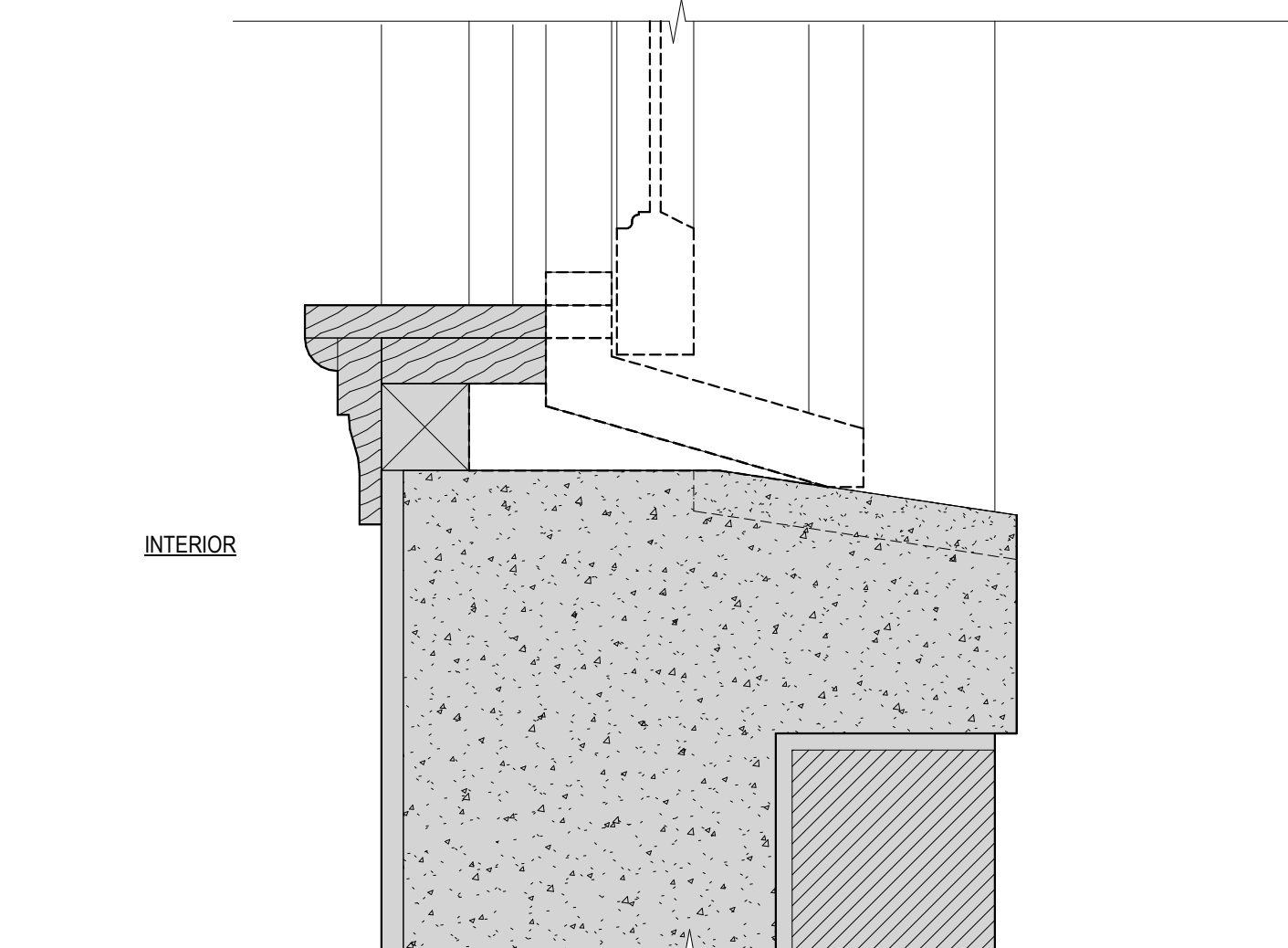
8 1916 Era - Existing Projected Awning - Stone Sill at Level 1

3" = 1'-0"



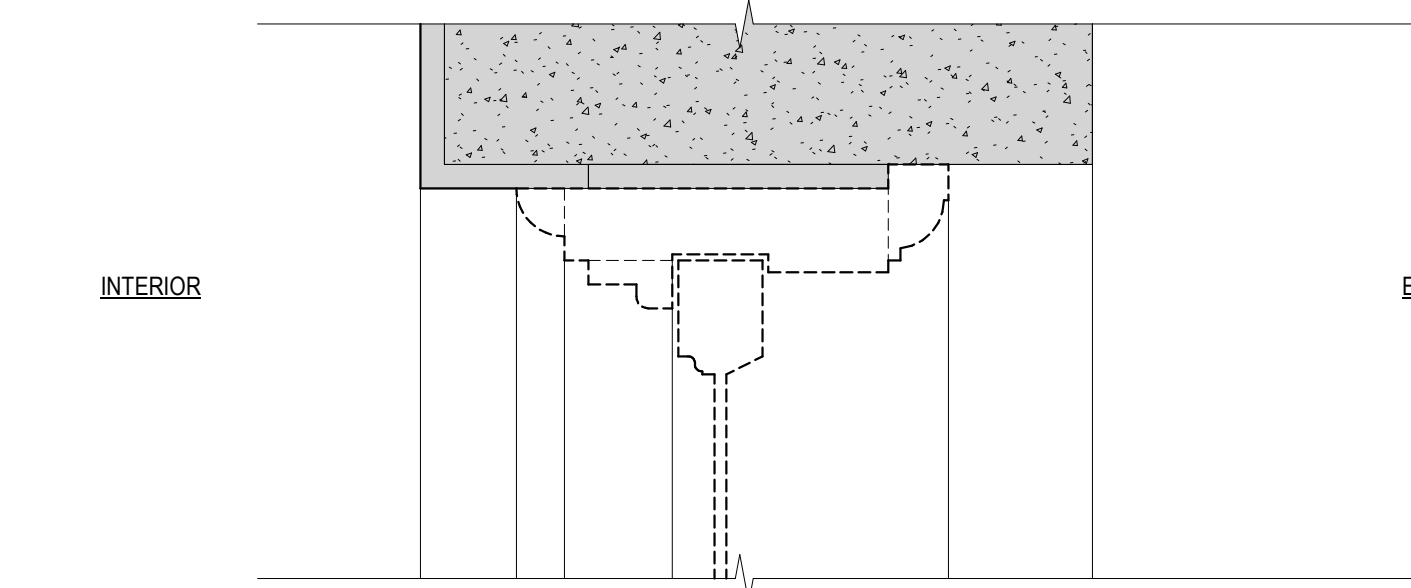
9 1916 Era - Demo Projected Awning - Head at Level 2

3" = 1'-0"



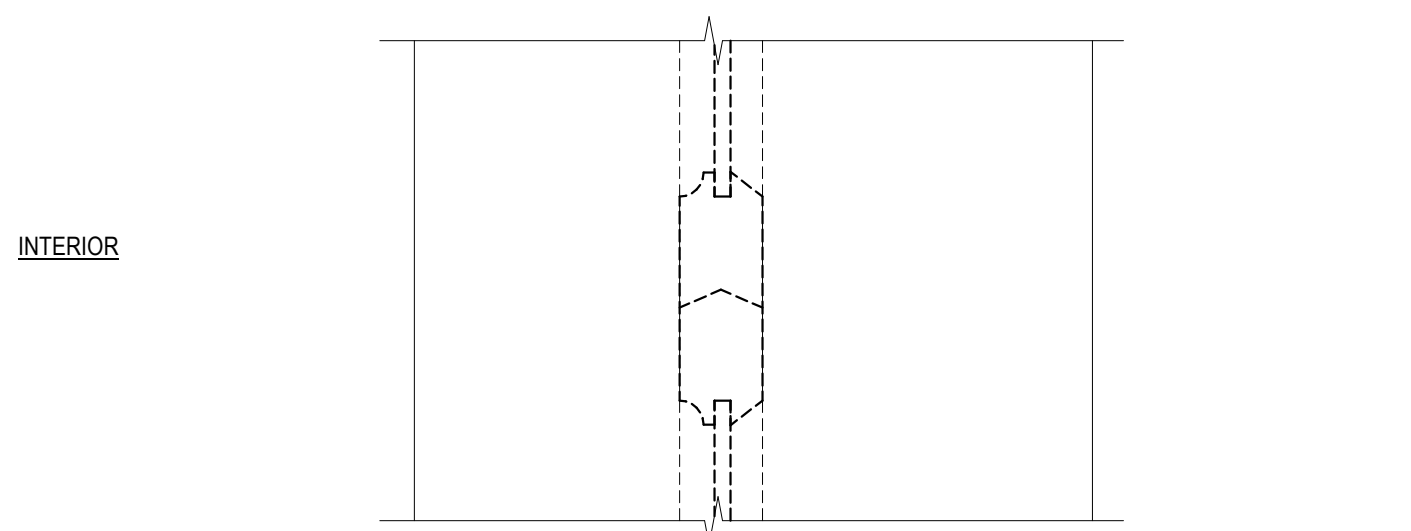
10 1916 Era - Demo Projected Awning - Conc Sill at Level 2

3" = 1'-0"



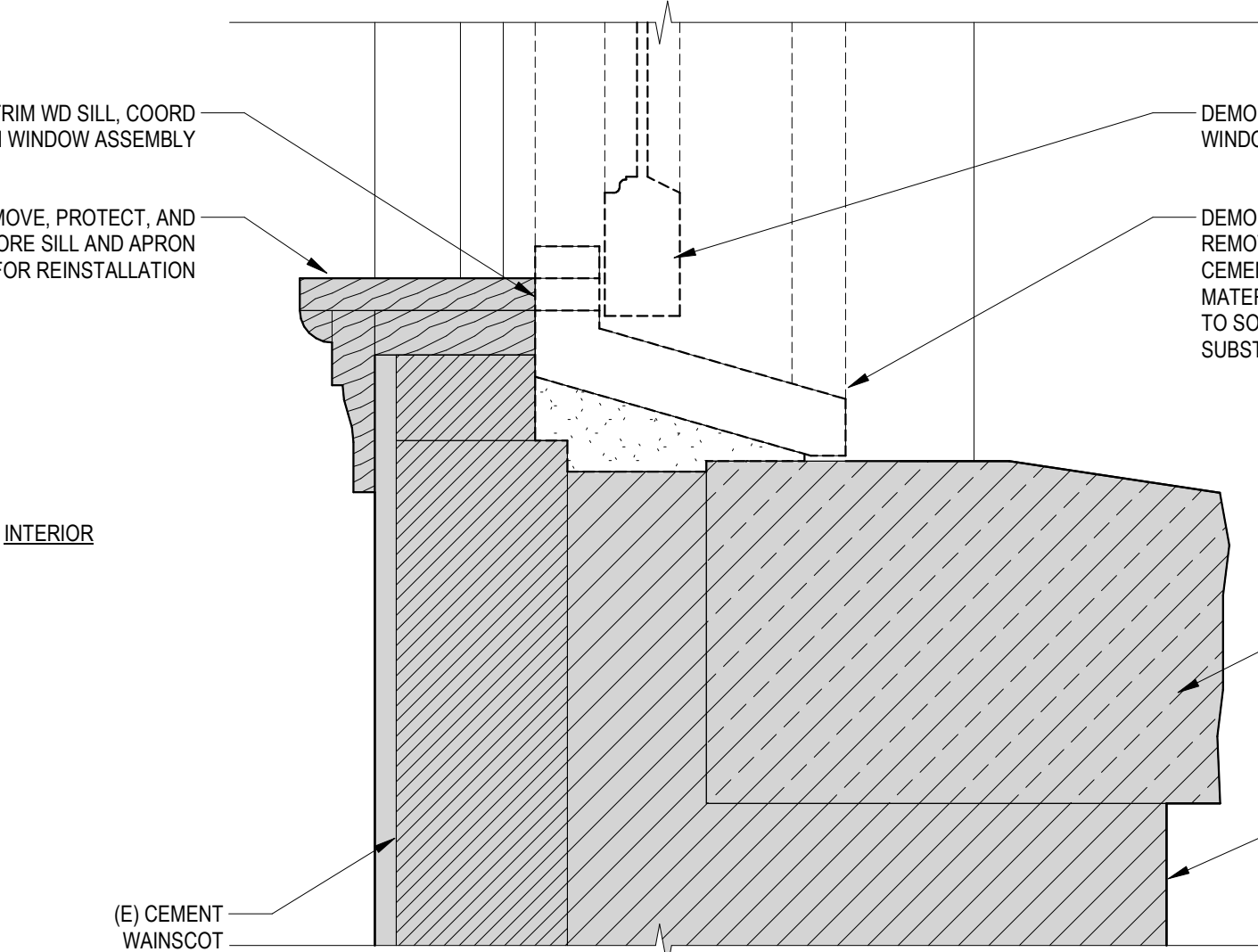
11 1916 Era - Demo Projected Awning - Head at Level 1

3" = 1'-0"



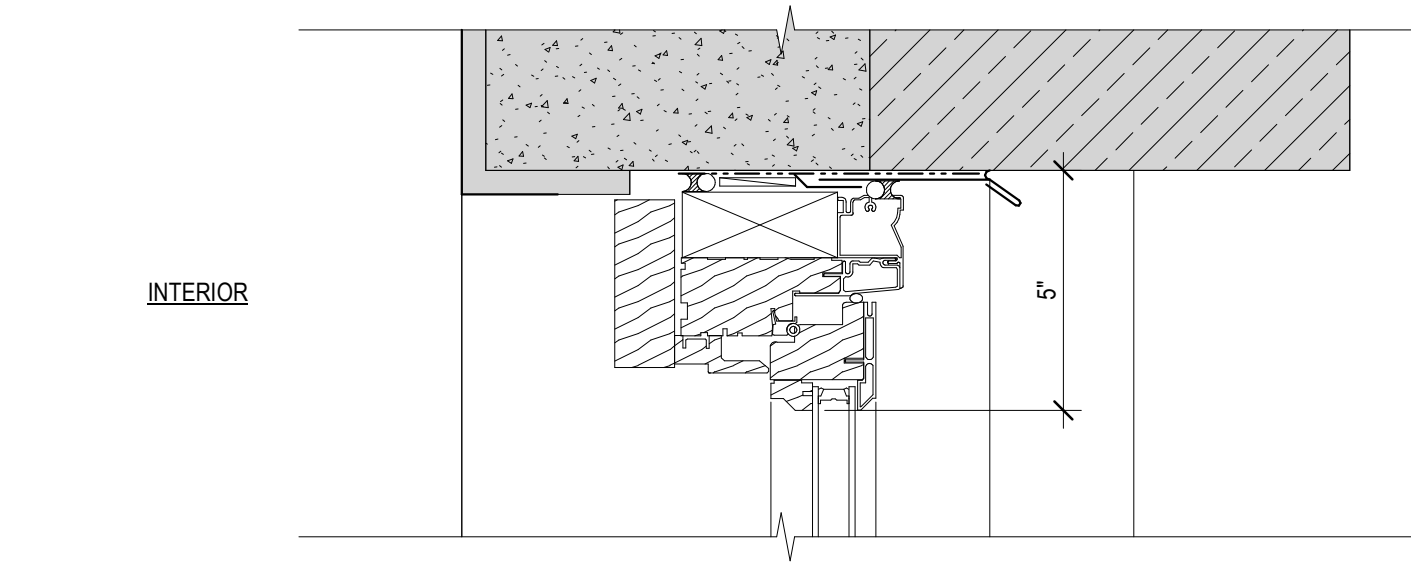
12 1916 Era - Demo Projected Awning - Parting Rail

3" = 1'-0"



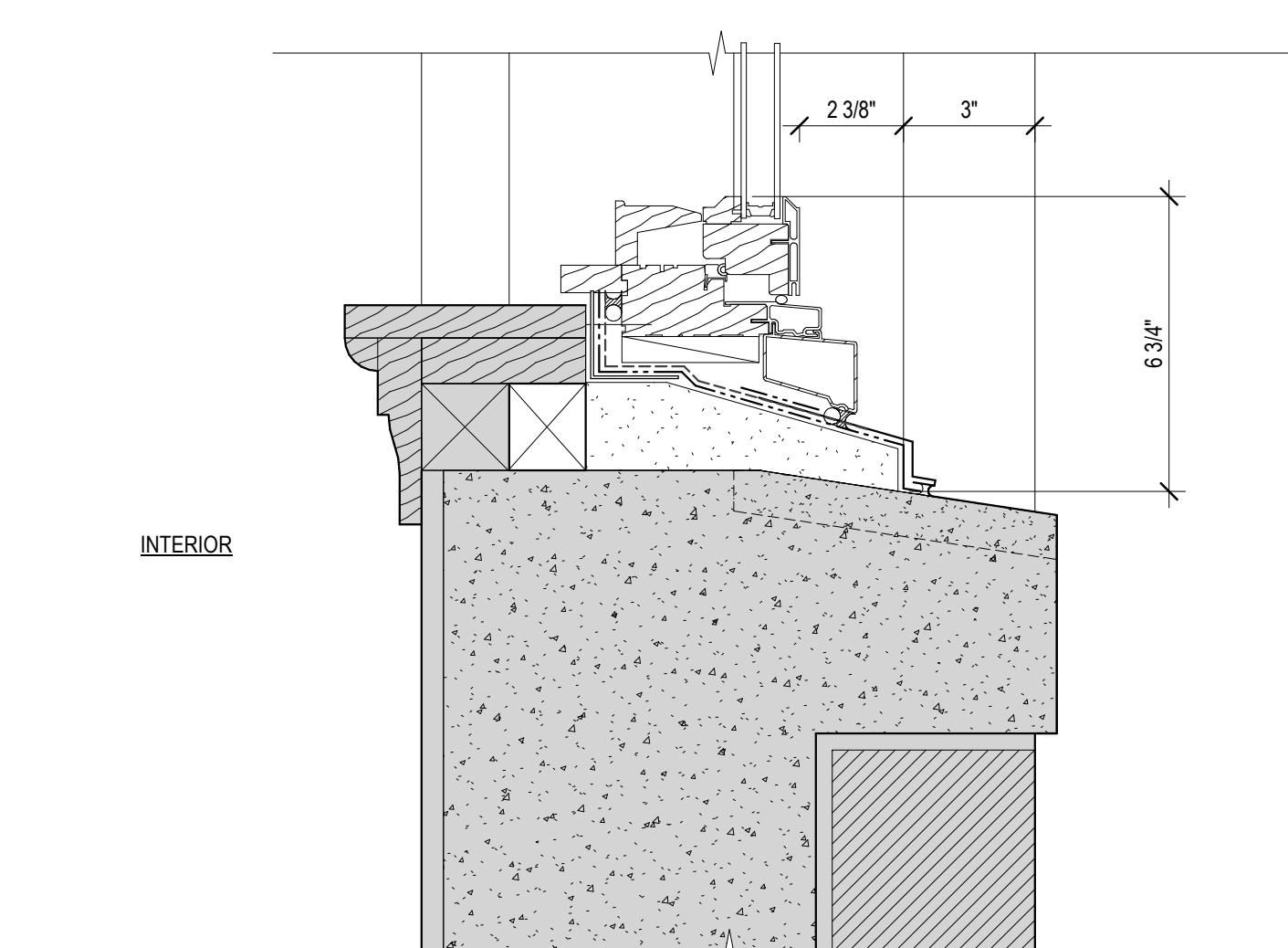
13 1916 Era - Demo Projected Awning - Stone Sill at Level 1

3" = 1'-0"



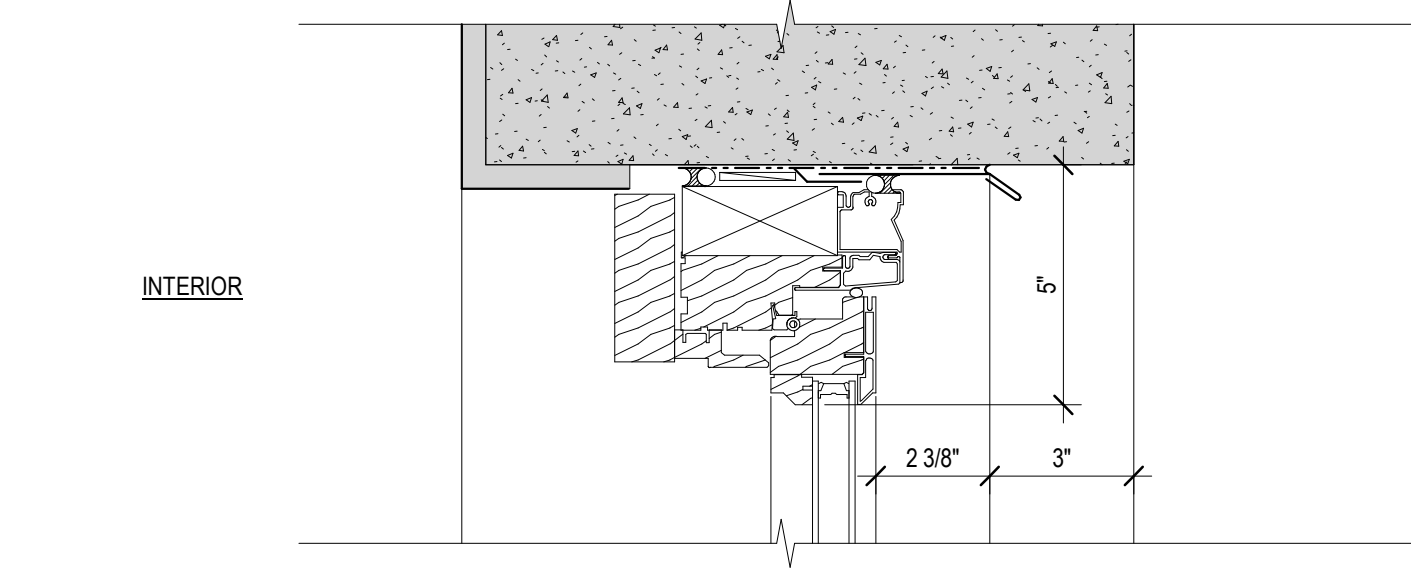
14 1916 Era - Kolbe Projected Awning - Head at Level 2

3" = 1'-0"



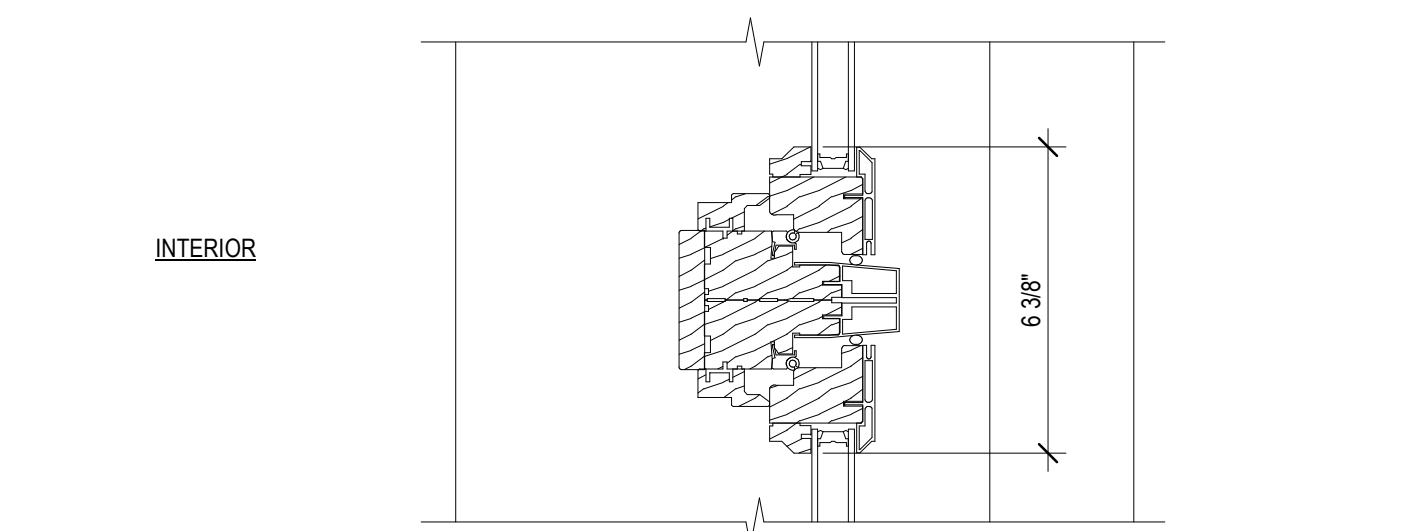
15 1916 Era - Kolbe Projected Awning - Conc Sill at Level 2

3" = 1'-0"



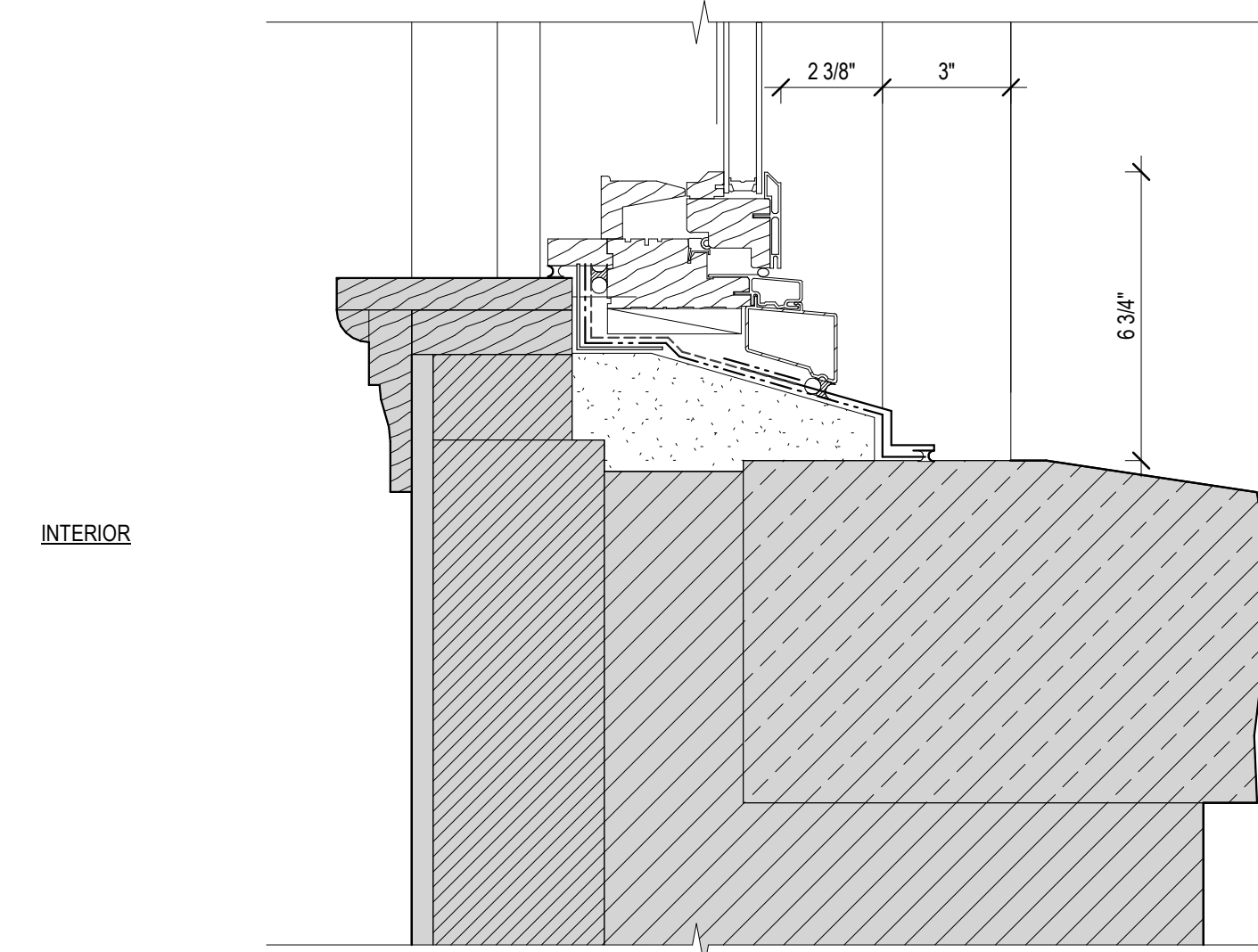
16 1916 Era - Kolbe Projected Awning - Head at Level 1

3" = 1'-0"



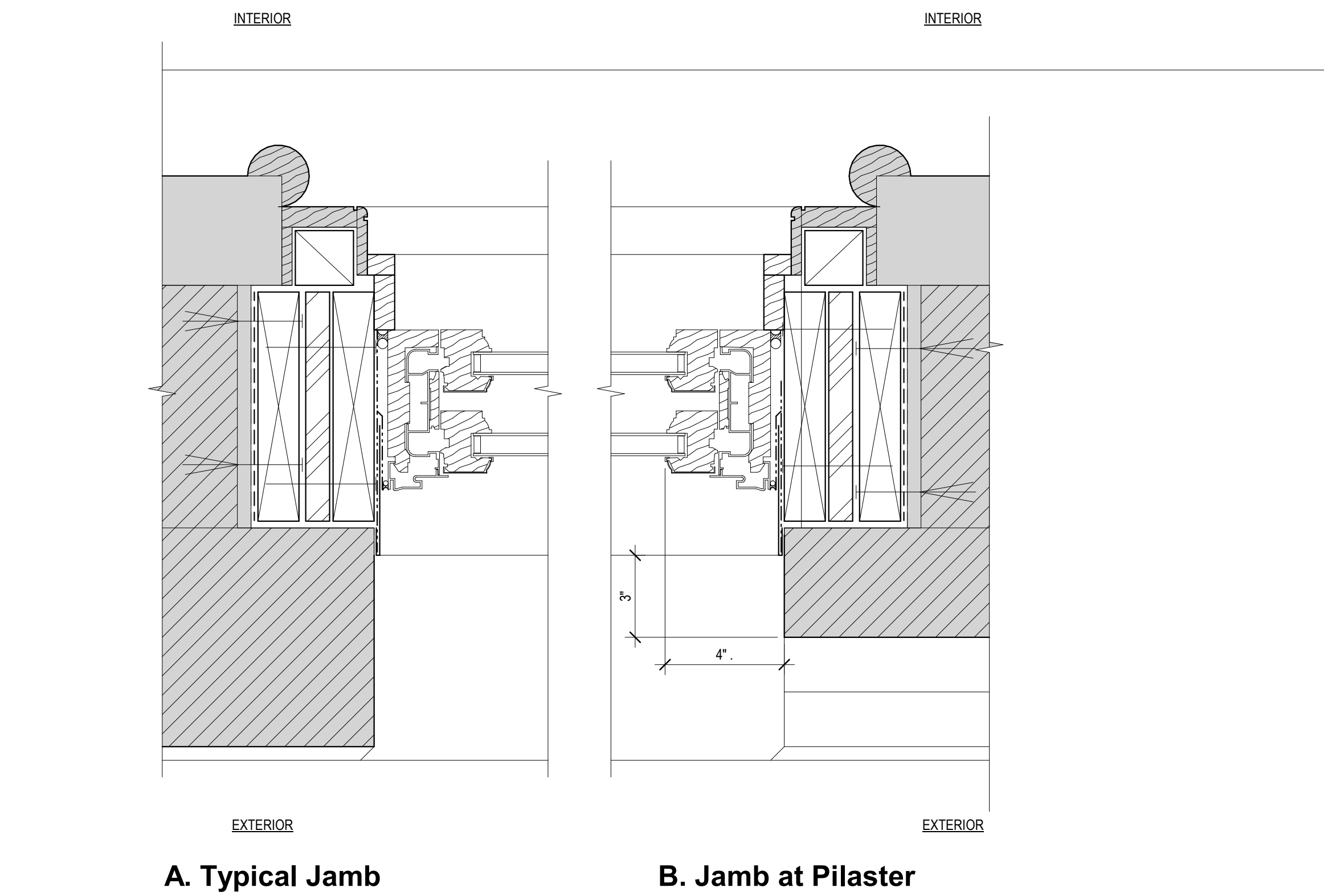
17 1916 Era - Kolbe Projected Awning - Parting Rail

3" = 1'-0"

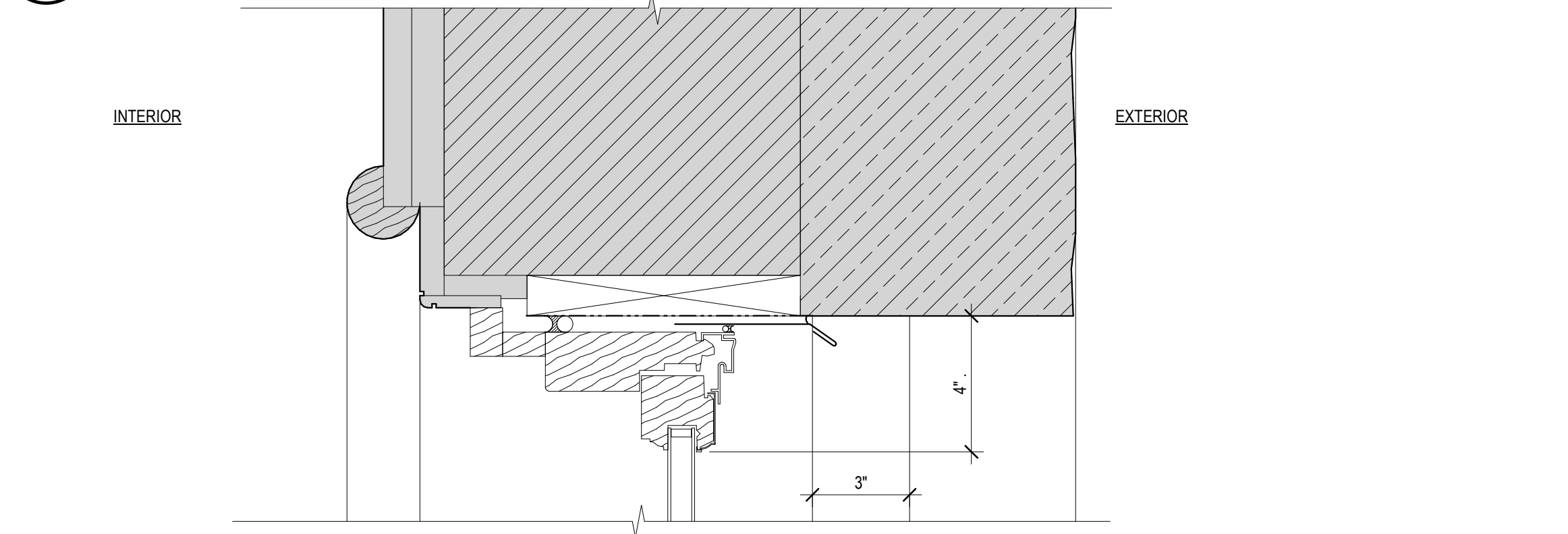


18 1916 Era - Kolbe Projected Awning - Stone Sill at Level 1

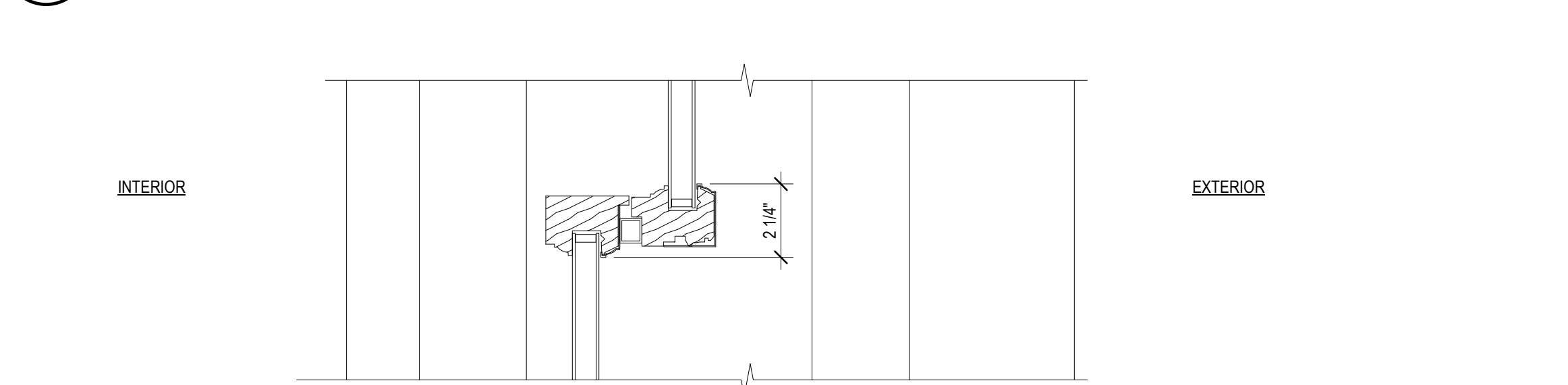
3" = 1'-0"



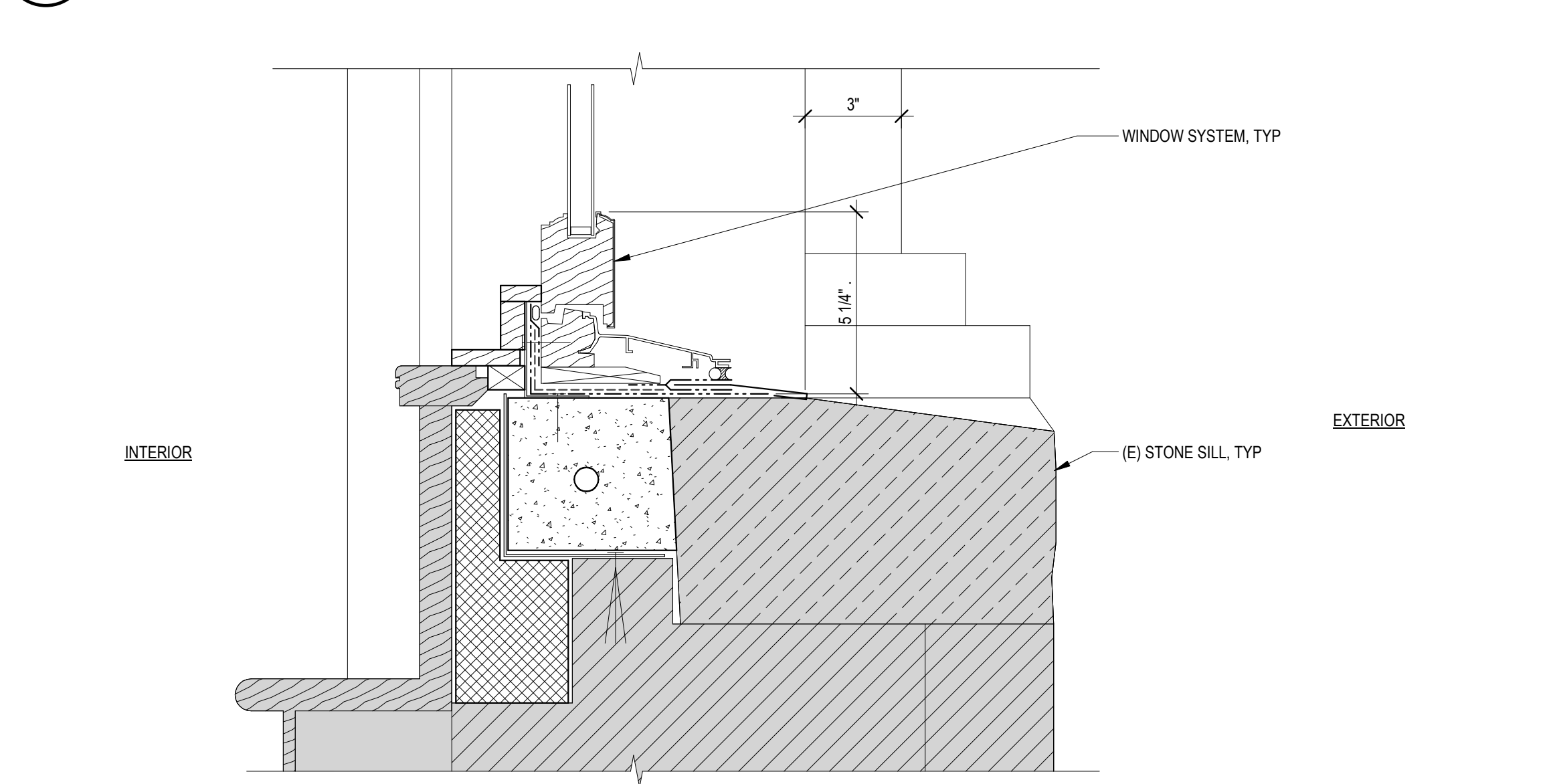
1 1892 Era - North/South Facade - Pella Window System - Jamb
3" = 1'-0"



4 1892 Era - North/South Facade - Pella Window System - Head
3" = 1'-0"

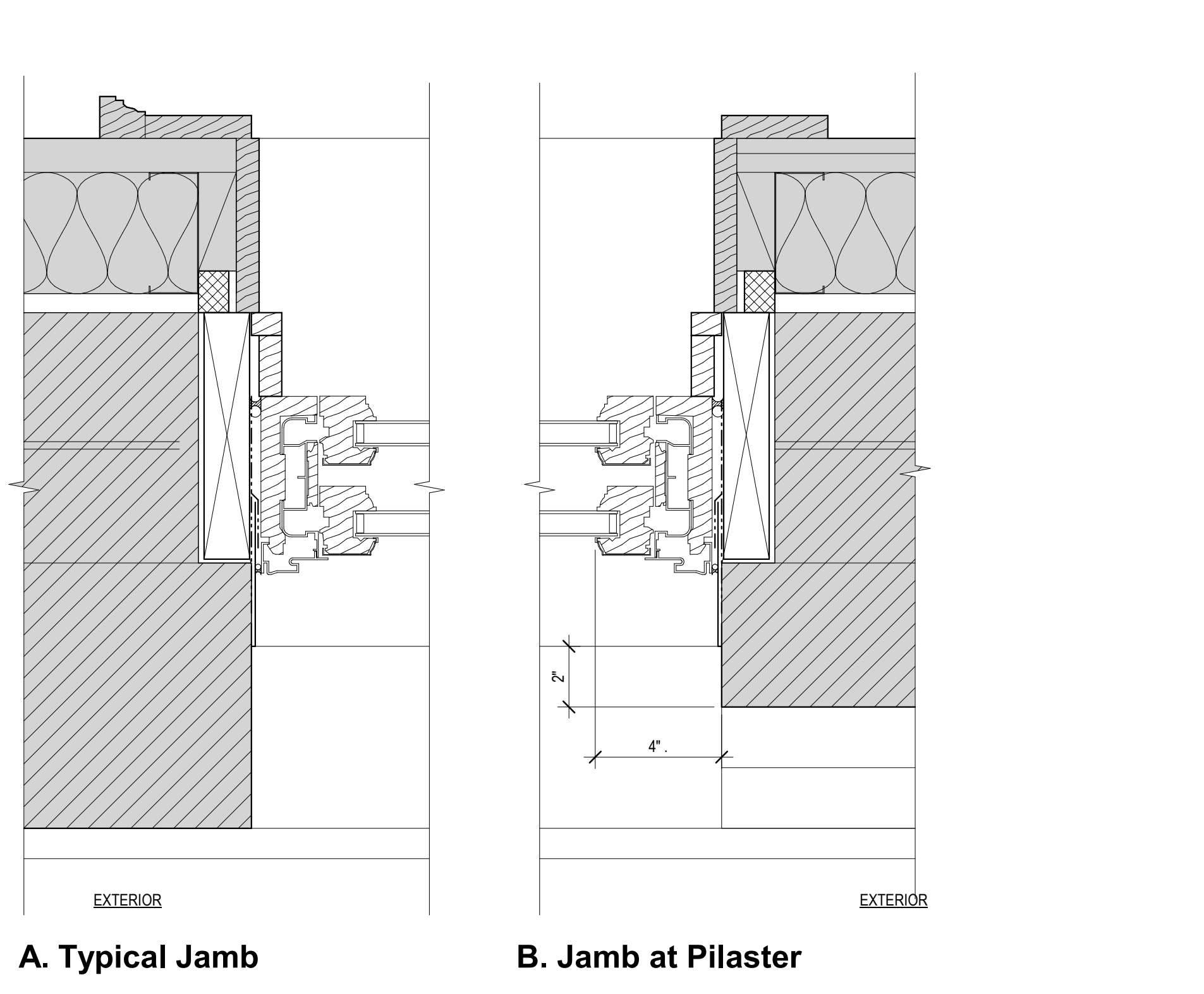


7 1892 Pella Window System Meeting Rail
3" = 1'-0"

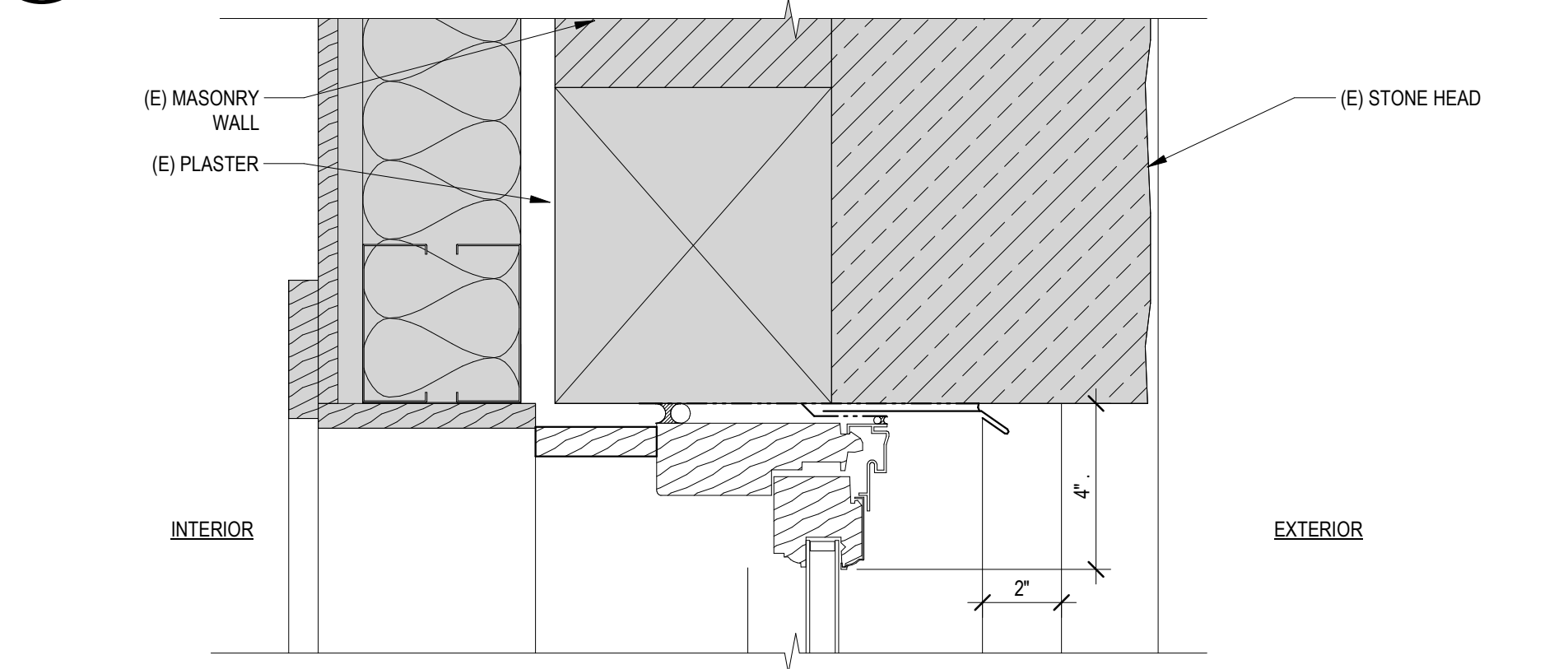


10 1892 Era - North/South Facade - Pella Window System - Sill
3" = 1'-0"

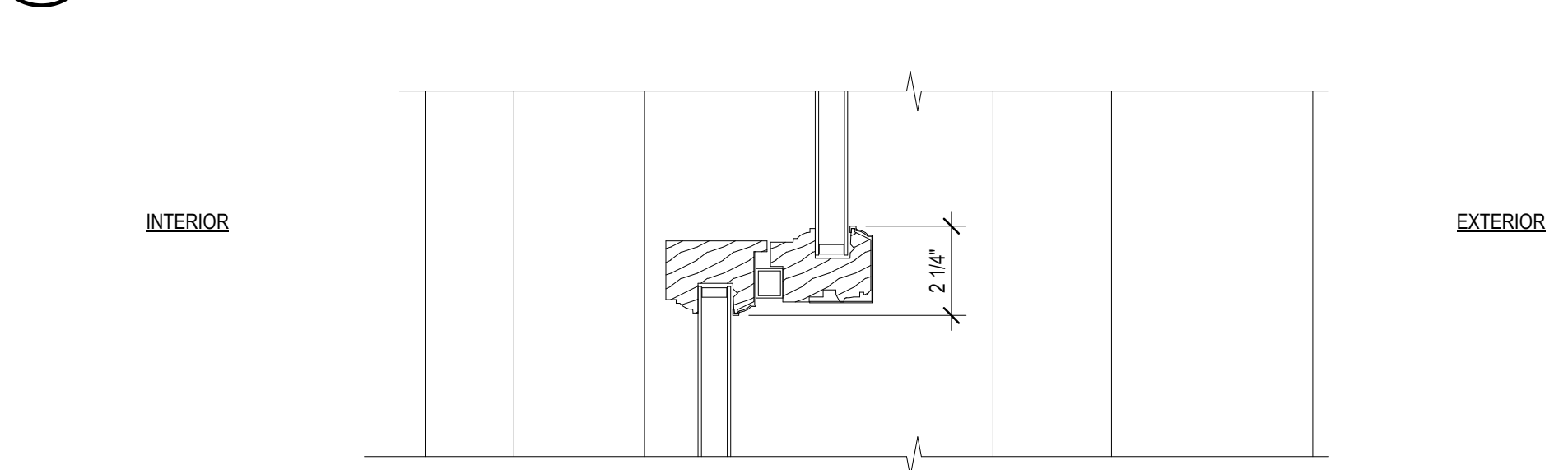
SHEET REVISIONS	BUILDING DEPARTMENT'S STAMP



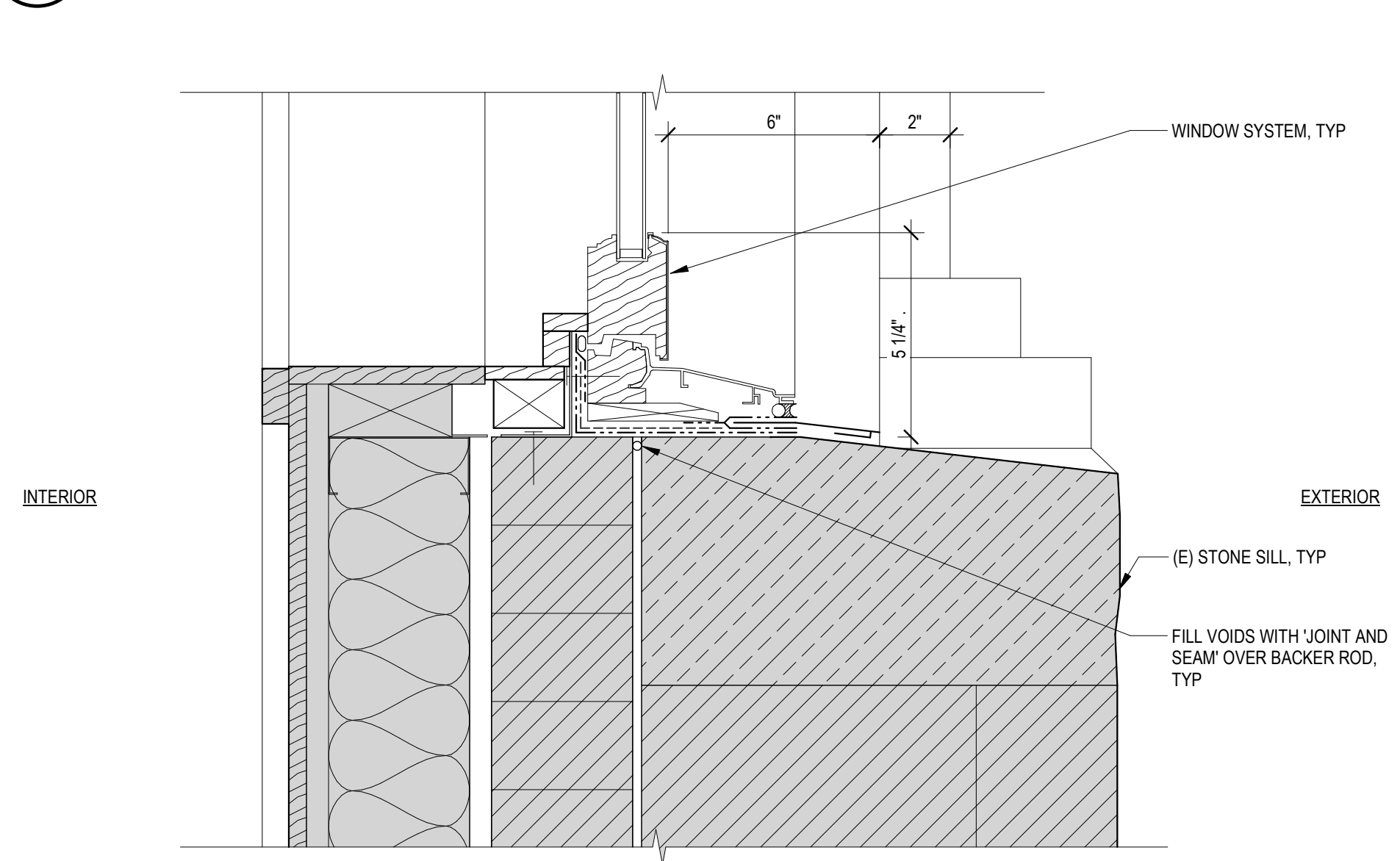
2 1902 Era - East/West Facade - Pella Window System - Jamb
3" = 1'-0"



5 1902 Era - East/West Facade - Pella Window System - Head
3" = 1'-0"

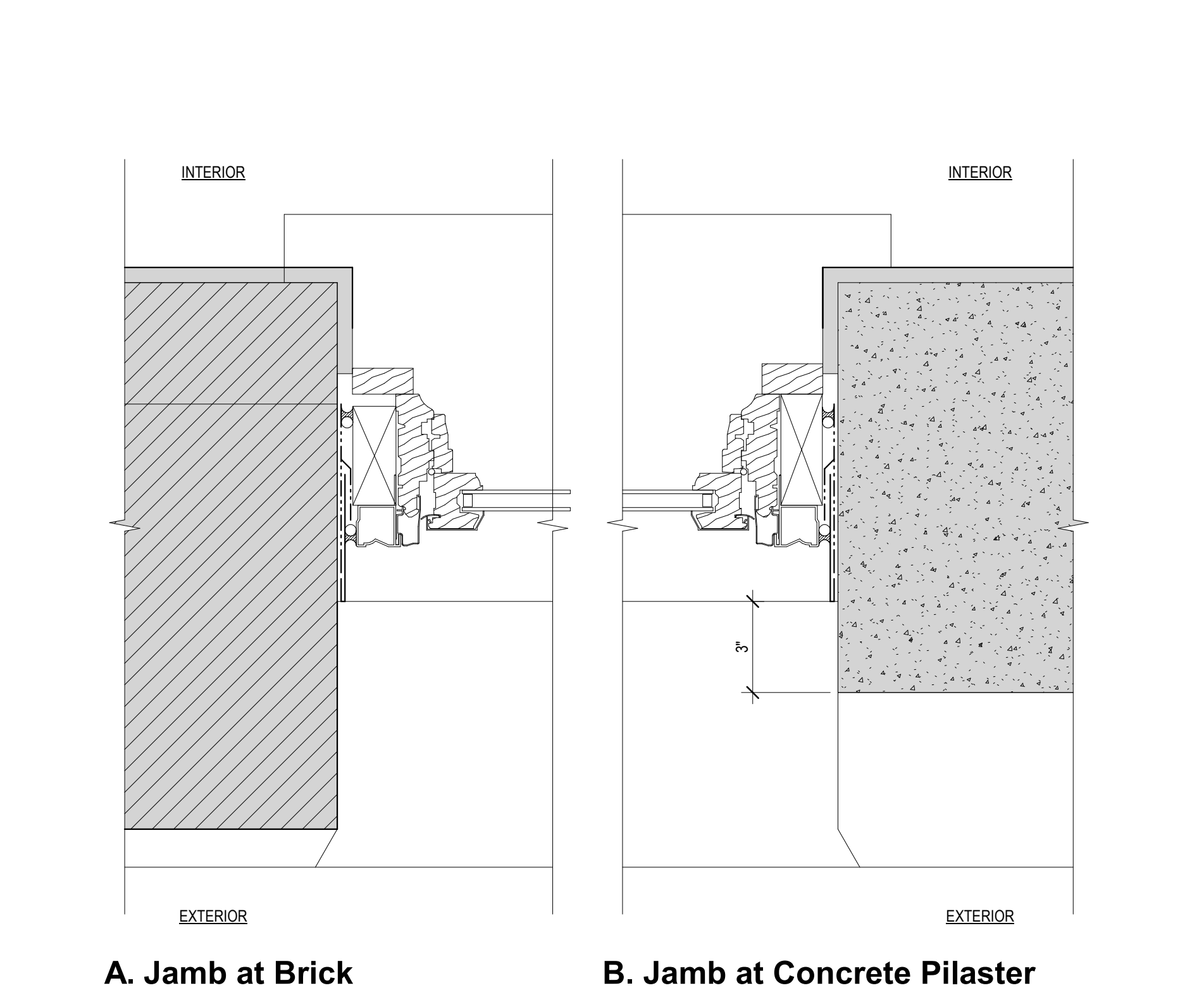


8 1902 Pella Window System Meeting Rail
3" = 1'-0"

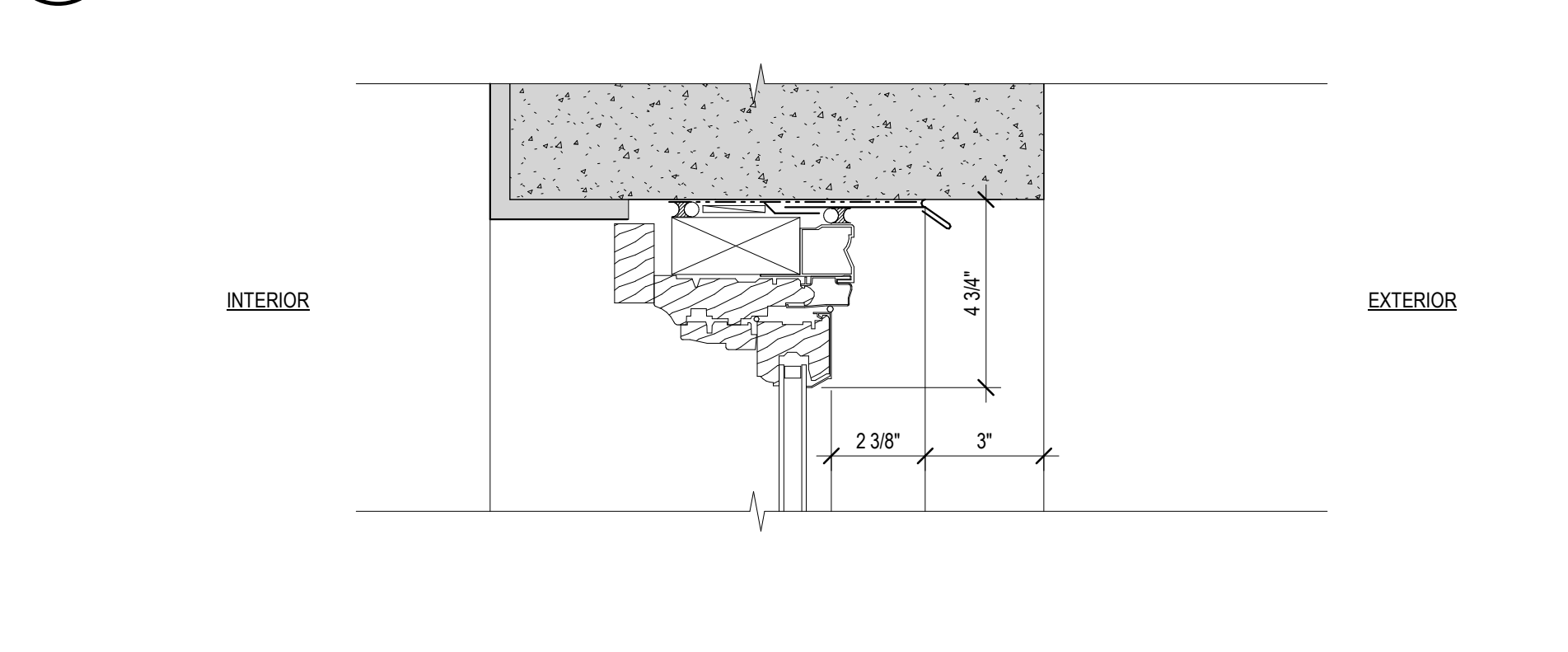


11 1902 Era - East/West Facade - Pella Window System - Sill
3" = 1'-0"

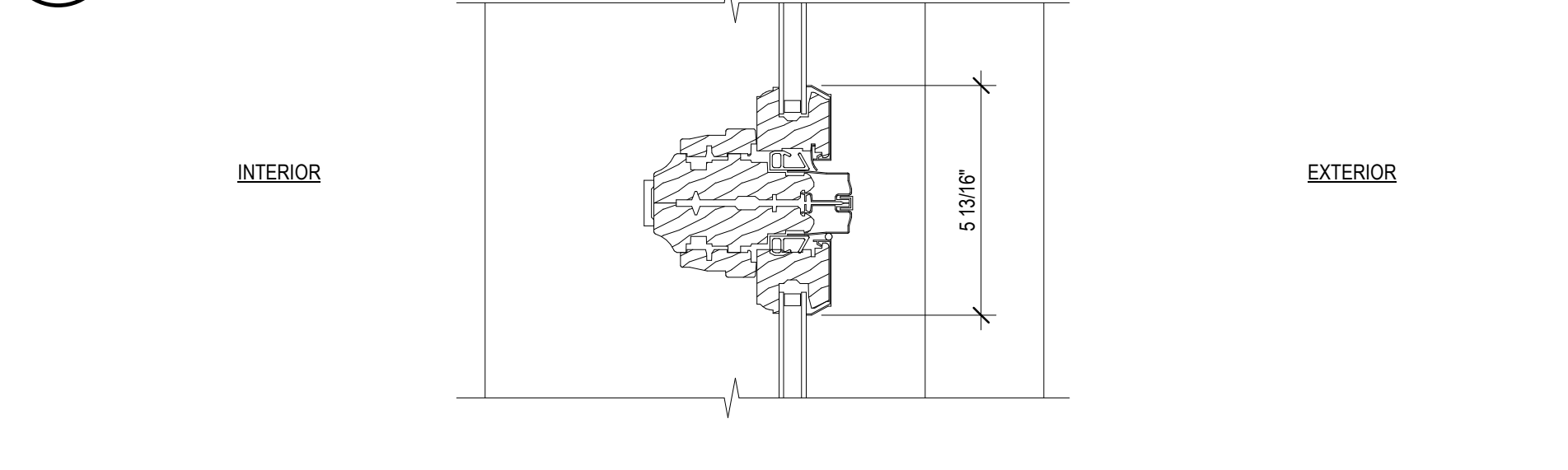
NOTE: DRAWING SET SCALED FOR 30x42 SHEET	© MILLER HAYASHI ARCHITECTS PLLC
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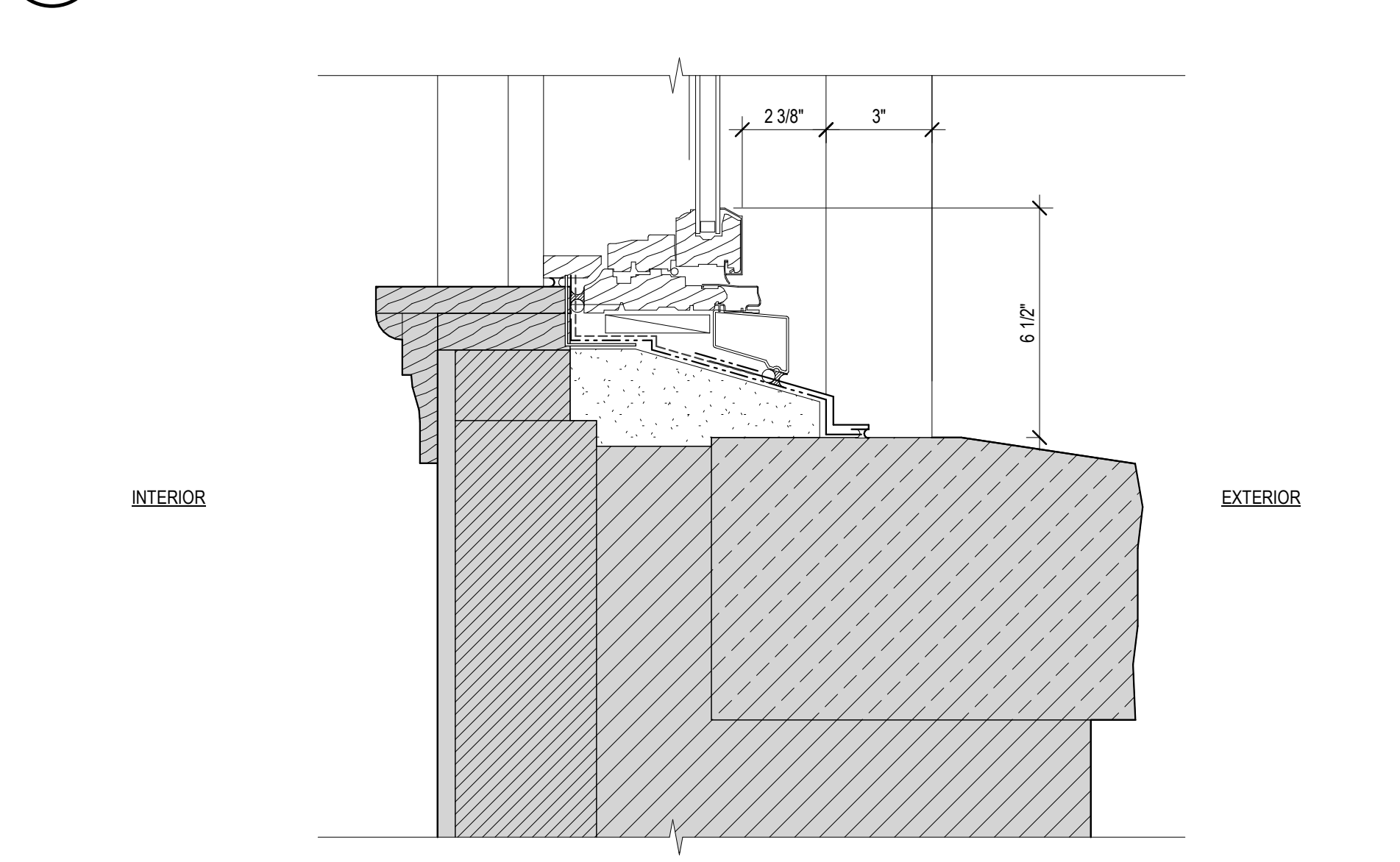
3 1916 Era - Pella Projected Awning - Jamb
3" = 1'-0"



6 1916 Era - Pella Projected Awning - Head at Level 1
3" = 1'-0"



9 1916 Era - Pella Projected Awning - Parting Rail
3" = 1'-0"



12 1916 Era - Pella Projected Awning - Stone Sill at Level 1
3" = 1'-0"

CONSULTANT	STAMP	ARCHITECT	PHASE	SHEET TITLE
	10419 REGISTERED ARCHITECT Jaim Naman CALIFORNIA STATE OF WASHINGTON	Miller Hayashi Architects PLLC 118 North 35th St., Suite 200 Seattle, Washington 98103 Tel: 206 634 0177 Project #2328	Landmarks Certificate of Approval Set DATE 04/21/25	EXTERIOR DETAILS - ALT MFR SHEET NO. A6.15

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Cleaning of existing brick masonry surfaces.
 - 2. Repointing mortar joints.
- B. Related Sections:
 - 1. 024119 - Selective Demolition
 - 2. 030130 - Maintenance of Cast-In-Place Concrete
 - 3. 085213 - Aluminum-Clad Wood Windows
- C. Drawings, the provisions of the Agreement, the General Conditions, and Division 1 specification sections apply to all work of this Section.
- D. Substitutions: Substitute products will be considered only under the terms and conditions of Section 016000.

1.2 REFERENCES

- A. American Society for Testing and Materials (ASTM):
 - 1. C270 - Mortar for Unit Masonry.
 - 2. E2260 - Standard Guide for Repointing (Tuckpointing) Historic Masonry
- B. Masonry Institute of Washington (MIW) - Northwest Masonry Guide,
 - 1. Part IV / D.1 - Cleaning Masonry Construction
 - 2. Part IV / D.2 - Masonry Restoration
- C. National Park Service - Technical Preservation Services for Historic Buildings
 - 1. Preservation Briefs 2 - Re-pointing Mortar Joints in Historic Masonry Buildings.
 - 2. Preservation Briefs 7 - The Preservation of Historic Glazed Architectural Terra-Cotta.
 - 3. Preservation Briefs 42 - The Maintenance, Repair and Replacement of Historic Cast Stone.
 - 4. Preservation Brief 1 - Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings.
- D. Brick Institute of America (BIA) - Technical Notes on Brick Construction,
 - 1. Technical Note 7F - Moisture Resistance of Brick Masonry - Maintenance
 - 2. Technical Note 15 Re - Salvaged Brick

1.3 SUBMITTALS

- A. Make submittals in accordance with Section 013300.
- B. Submit product literature for each cleaning product proposed for use.

1.4 QUALITY CONTROL

- A. Mock-ups:
 - 1. In accordance with Section 014500.
 - 2. Clean and repoint a minimum 2 x 2 foot area of wall in a location as directed by the Architect. Clean and repoint additional 2 x 2 foot areas until mock-up is approved.
 - 3. Adjust solution strength and cleaning procedures as required to obtain the most effective cleaning with the specified cleaner.
- B. Preliminary Testing for Cleaning Agents: Unless testing has been performed prior to bid, submit to the masonry cleaning materials manufacturer samples of masonry units from stock of those to be used in the work.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. In accordance with Section 016000.

1.6 ENVIRONMENTAL REQUIREMENTS

- A. Do not repoint, or clean masonry surfaces when temperature may drop below 40 degrees F within 24 hours.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Masonry Cleaner: Non-acidic commercial cleaning detergent.
 - 1. ProSoCo Enviro Klean "SafRestorer", or approved equal. Muriatic acid not permitted.
- B. Mortar:
 - 1. ASTM C270, Type 'N', typical
 - 2. Otherwise as determined by testing to be compatible with existing mortar and brick for masonry restoration and re-pointing.
 - 3. Do not use mortar that is denser and harder than existing brick.
 - 4. Color to match existing; commercially prepared type.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Prior to starting work carefully inspect the preparatory work of other sections and verify that such work is acceptable for the work of this section. Report all unacceptable conditions to the Architect in writing. Do not begin work in areas of unacceptable conditions until the conditions have been resolved.
- B. Starting work under this section constitutes contractor acceptance of existing conditions and responsibility for unacceptable work caused by prior foreseeable conditions.

3.2 PREPARATION

- A. Carefully remove and store fixtures, fittings, finishing hardware, and other removable accessories.
- B. Cover and protect glass, aluminum, painted surfaces, plants and shrubs, doorways, trim, roof membranes and flashings, prefabricated metal panels, and other surfaces not to be cleaned.
- C. Build up dams to divert flowing water to a safe disposal location.

3.3 CLEANING EXISTING MASONRY

- A. Clean masonry in strict accordance with the cleaner manufacturer's recommendations and in accordance with procedures approved in the mock-up.
- B. Use only low hose pressures limited to 400 psi and fan-shaped nozzle types to prevent pitting brick and mortar and to prevent driving moisture into wall. Maintain appropriate clearance from the face of the wall.
- C. Immediately remove stains, efflorescence, overspray or spillage resulting from the work of this Section.
- D. Rinse in accordance with the cleaner manufacturer's recommendations.
- E. Take special precautions to protect glass, concrete, and other materials from etching and other damage resulting from cleaning agents and methods of cleaning. Protect stone and cementitious surfaces from contact with masonry cleaner to prevent etching of surfaces.
- F. Rinse with clean water. Leave brick face surfaces clean, free from mortar residue and stains.

3.4 TUCK POINTING

- A. Cut out loose or disintegrated mortar in joints to a 1/2 inch depth.
- B. Do not damage masonry units.
- C. When removal of mortar is complete remove dust and loose material by brushing.

- D. Apply mortar packed tightly in thin layers. Match existing joint treatment.
- E. Leave installation clean and free from residue and debris from work of this Section.

3.5 CLEAN UP

- A. Promptly as work proceeds and upon completion, remove excess mortar, smears, droppings.
- B. Clean adjacent and adjoining surface of marks arising from performance of work of this Section.

END OF SECTION

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Shop fabricated metal clad wood windows.
 - 2. Shop fabricated metal clad wood doors.
 - 3. Shop glazed.
 - 4. Framed insect screens.
 - 5. Operable hardware and weather-stripping.
- B. Related Sections:
 - 1. 060140 - Maintenance of Architectural Woodwork
 - 2. 072701 – Fluid-Applied Air and Weather Barrier: Vapor and air barrier seal to window frame and adjacent construction.
 - 3. 079200 - Joint Sealants.
 - 4. 088000 - Glazing: Glass and site glazing.
 - 5. 099000 - Painting: Site finishing wood surfaces.
- C. Drawings, the provisions of the Agreement, the General Conditions, and Division 1 specification sections apply to work of this Section.
- D. Substitutions: Substitutions will be considered only under the terms and conditions of Section 016310.

1.2 REFERENCES

- A. ANSI/NWMA I.S.2 - Wood Windows.

1.3 SYSTEM PERFORMANCE

- A. Conform to performance requirements of Subsection 4 of ANSI/NWMA I.S.2, Class A.

1.4 SUBMITTALS

- A. Submit shop drawings and product data under provisions of Section 013300.
- B. Include dimensions, relation to construction of adjacent work, air and vapor barrier seal to adjacent construction, component anchorage and locations, anchor methods and materials, and hardware installation details.
- C. Submit samples under provisions of Section 013300.
- D. Submit two samples of glazed window frame, corner, mullion joint and operating sash, operating hardware, illustrating quality of joint, color and texture of finish.
- E. Submit manufacturer's installation instructions under provisions of Section 013300.
- F. Submit manufacturer's certificate under provisions of Section 014500, that window units meet or exceed specified requirements.

1.5 QUALITY ASSURANCE

- A. Manufacturer: Company specializing in wood window manufacture with five years experience.
- B. Installer: Company licensed or franchised by window manufacturer with three years experience.

1.6 REGULATORY REQUIREMENTS

- A. Conform to International Building Code for wind and suction loads.

1.7 WARRANTY

- A. Provide five year manufacturer's warranty under provisions of Section 017736.
- B. Warranty: Include coverage of insulating glass units and delamination or separation of finish cladding from window member.

PART 2 - PRODUCTS

2.1 ALLOWABLE MANUFACTURERS

- A. Kolbe Windows (Wausau, WI; 715-842-5666)
- B. Pella Windows (Pella, Iowa; 800-847-3552).
- C. Marvin Windows (Warroad, MN; 888-537-7828)

2.2 WINDOW UNITS

- A. Kolbe Windows – Awning Type:
 - 1. Kolbe Ultra Series, XL Crank-out awning with operable bottom unit, fixed transom top unit.
 - 2. Provide sill receiver and compensation channel at head.
 - 3. Performance divided lites with historic replica profile.
 - 4. Awning Hardware: Multi-Point Lock
 - 5. Lock Lever Style: Traditional, Rustic Umber Hardware, with Custodial Lock,
 - 6. Manufacturer's heavy duty hardware: Crank Cover and Handle
 - 7. Limited Opening Hardware
- B. Kolbe Windows – Single Hung Type
 - 1. Kolbe Ultra Series, XL Sterling Single Hung with operable bottom unit, fixed transom top unit.
 - 2. Provide sill receiver and compensation channel at head.
 - 3. Performance divided lites with historic replica profile.
 - 4. Lock Style: Signature, Rustic Umber Hardware, with Custodial Lock
 - 5. Bottom Sash Lift Handles: Square Style, Sash Lift Handle Color: Rustic
 - 6. Umber, Sash Lift Handle Quantity: 2 per Bottom Sash
 - 7. Limited Opening Hardware
- C. Kolbe Windows – Fixed Type:
 - 1. Kolbe Ultra Series, XL Sterling Fixed.
 - 2. Provide sill receiver and compensation channel at head.
 - 3. Performance divided lites with historic replica profile.
- D. Pella Windows – Awning Type:
 - 1. Pella Reserve, Traditional Awning with operable bottom unit, fixed transom top unit.
 - 2. Provide sill receiver and compensation channel at head.
 - 3. Simulated divided lites with "putty" profile.
 - 4. Lever Style: Antiek fold away crank
 - 5. Limited Opening Hardware
- E. Pella Windows – Single-Hung Type:
 - 1. Pella Reserve, Traditional Single Hung with operable bottom unit, fixed transom top unit.
 - 2. Provide sill receiver and compensation channel at head.
 - 3. Simulated divided lites with historic replica profile.
 - 4. Lock Style: Cam-Action Lock, Oil-Rubbed Bronze, lock shall be accessible from the bottom sash (not at meeting rail)
 - 5. Limited Opening Hardware
- F. Pella Windows – Fixed Type:
 - 1. Pella Reserve, Traditional Fixed.
 - 2. Provide sill receiver and compensation channel at head.
 - 3. Simulated divided lites with historic replica profile.

2.3 MATERIALS

- A. Wood: Clear pine species, clear preservative treated of type suitable for transparent or opaque finish.
- B. Metal Cladding: Formed aluminum shop fit to profile of wood members, sash, and exterior exposed surfaces.
- C. Insulating Glass: Sealed double pane units, outer pane of clear with specified low-e coating on #2 surface, inner pane of clear glass; argon-filled; pane thickness determined by size and/or wind and suction loads; total unit thickness not less than 1 inch.
 - 1. Low-e Coating:
 - a. Basis of Design: Guardian Glass "ClimaGuard IS 20" on #4 surface.
 - b. Allowable Alternate: PPG Solarban 70 Clear on #2 surface.
- D. Screening: Vinyl-coated fiberglass, 21/17 mesh, with minimum 78 percent light transmissivity.
- E. Weather-stripping: Roll formed stainless steel, spring folded for flexible fit.

2.4 HARDWARE

- A. Projecting Sash: Zinc or cadmium plated steel arms, friction pivot joints with nylon bearings, removable pivot clips for cleaning.
- B. Single Hung Sash: Metal and nylon spiral friction slide cylinder, each sash, each jamb.
- C. Operator: Manual Operation: Lever action handle and geared rotary handle at manual remote opener; fitted to zinc or cadmium plated steel arms with limit stops.
- D. Sash Locks: Manufacturer's heavy-duty lever handle with cam lock.
- E. Finish: Satin nickel.

2.5 FABRICATION

- A. Fabricate framing mullions and sash members with mortise and joints. Glue and steel pin joints to hairline fit, weather tight.
- B. Scarf joints permitted if wood matches in color and grain texture.
- C. Form sills and stools in one piece. Slope sills for wash.
- D. Form glass stops of solid wood sloped for wash. Form weatherstop flange to perimeter of unit.
- E. Assemble insect screens of rolled rectangular sections with mesh set into frame and secured. Fit frame with four spring loaded pin retainers.
- F. Size window units to allow for tolerances of rough framed openings, clearances, and shim spacing around perimeter of assemblies.
- G. Match and align cladding joints for continuity of line and design.
- H. Provide internal drainage to exterior for moisture entering glazing spaces.
- I. Double weather-strip operable units.

2.6 FINISHES

- A. Exterior Surfaces:
 - 1. Aluminum cladding with factory finish; fluoropolymer two-coat system with fluoropolymer color topcoat containing not less than 70 percent PVDF resin by weight and complying with AAMA 2605.
 - 2. Color: White.
- B. Interior Surfaces: Manufacturer's standard factory-applied color finish.
- C. Screens: Champagne color.
- D. Operators: Satin Nickel.

PART 3 - EXECUTION

3.1 INSPECTION

- A. Verify rough openings are correctly sized and located.
- B. Beginning of installation means acceptance of existing conditions.

3.2 PREPARATION

- A. Prepare opening to permit correct installation of window unit and air and vapor barrier seal.

3.3 INSTALLATION

- A. Install windows in accordance with manufacturer's instructions.
- B. Maintain alignment with adjacent work. Secure assembly to frame openings without distortion or stress.
- C. Ensure air and vapor barrier is sealed to window frame. Coordinate placement of insulation in shim spaces around unit perimeter as specified in Section 072100.
- D. Install sealant and related backing materials at exterior and interior of installed assembly as specified in Section 079200.
- E. Install perimeter trim and closures.
- F. Install glass as specified in Section 088000.
- G. Close and latch operating sash.

3.4 TOLERANCES

- A. Plumb and Level: Plus or minus 1/8 inch from true measurement.
- B. Longitudinal or Diagonal Warp: Plus or minus 1/8 inch from 10 foot straight edge.

3.5 CLEANING

- A. Clean window frames and glass.
- B. Remove labels and visible markings.

END OF SECTION