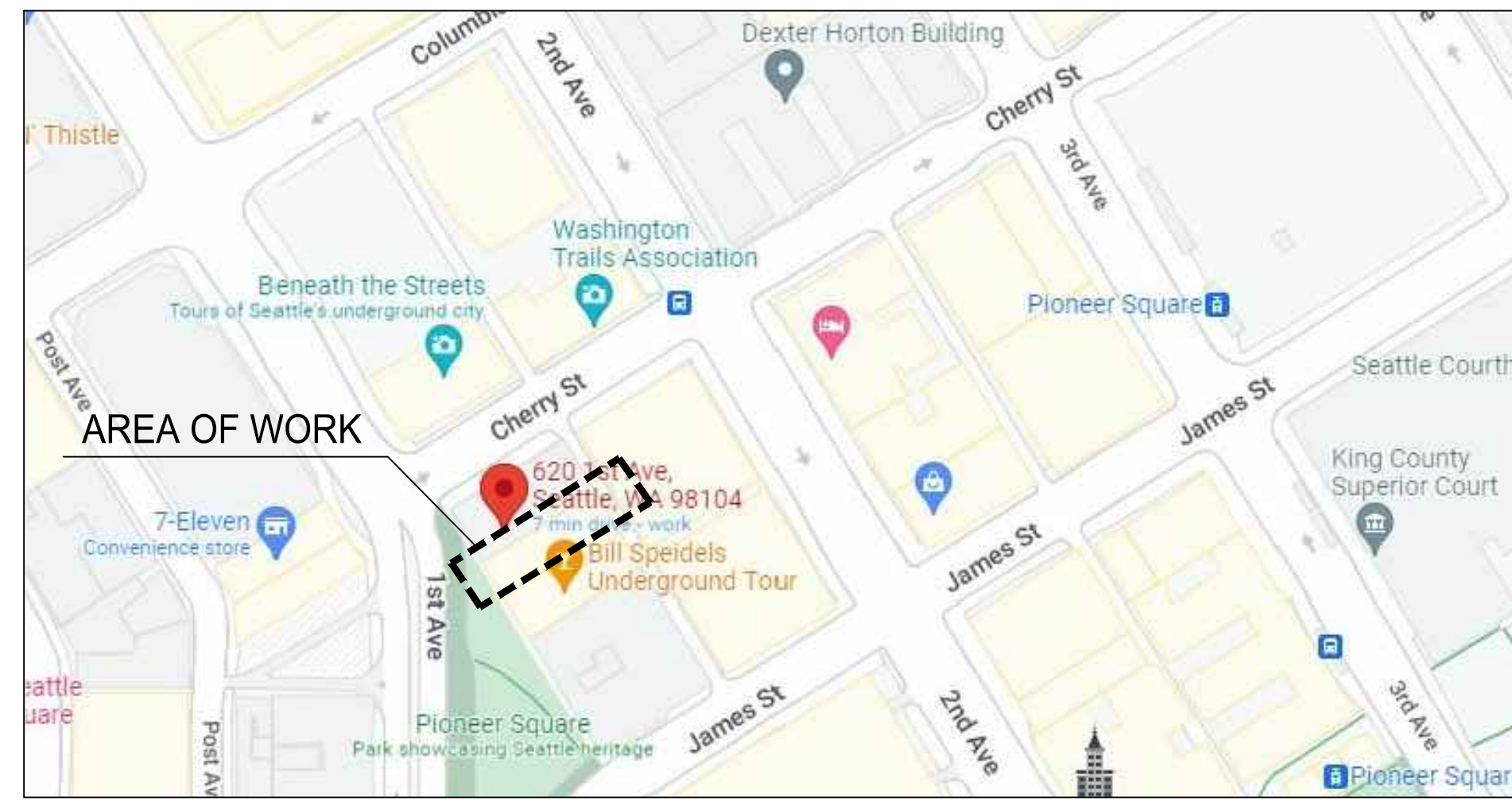


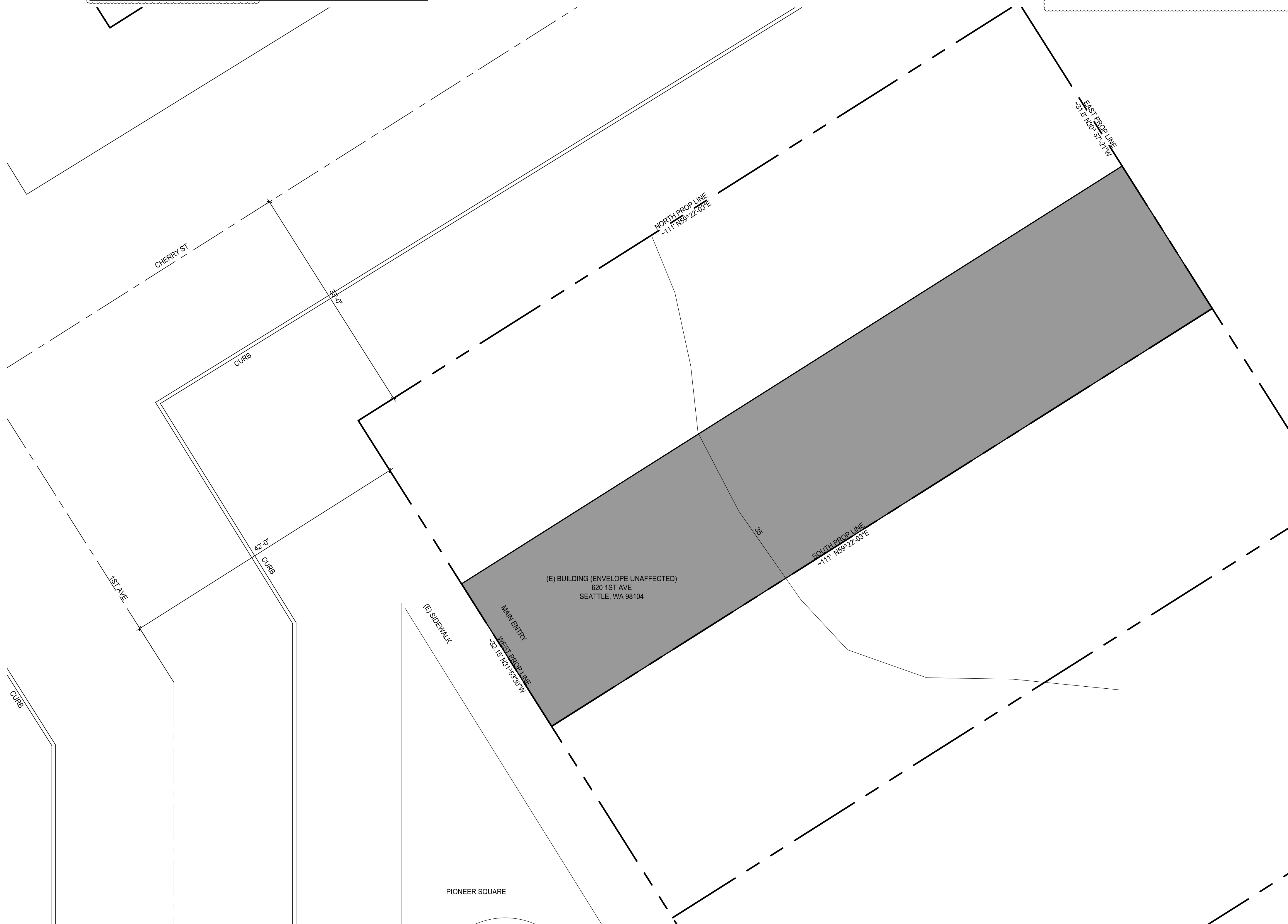
PROJECT DATA	PROPERTY DATA
OWNER RICH SIMMS (425 489 4542) RICH@REACHMINISTRY.ORG	PROJECT ADDRESS ² 620 1ST AVE SEATTLE, WA 98104
ARCHITECT JOSH PS 5406 SW BEACH DRIVE TER SEATTLE, WA 98116 SDCI ID: AC58960 CONTACT: S. JOSHUA BRINCKO (206 708 9933) JOSH@JOSHARCH.COM	ZONING DESIGNATION PSM 100/100-130
CONTRACTOR OWNER	ASSESSOR'S TAX NUMBER 0939000725
SCOPE CHANGE OF USE FOR A RELIGIOUS ENTITY TO OCCUPY EXISTING RETAIL SPACE (NO PROPOSED SIGNAGE)	LEGAL DESCRIPTION BOREN AND DENNY'S ADD POR LOT 1 SELY OF LN BEG ON NELY LN 9.21 FT NWLY OF MOST ELY COR TH SWLY TO PT ON NELY LN OF 1ST AVE 8.64 FT NWLY OF SELY LN SO LOT ALSO POR LOT 4 LY NWLY OF LN BEG ON NELY LN OF 1ST AVE 23.51 FT SELY OF MOST WLY COR TH NELY TO PT ON NELY LN 22.79 FT SELY OF MOST NLY COR PLAT BLOCK: 4 PLAT LOT: PORTION
DESCRIPTION OF USE ² THE PROPOSED USE IS TO PROVIDE GENERAL RETAIL OF CLOTHING ITEMS AND ARTWORK WITHIN THE EXISTING STOREFRONT AND TO PROVIDE FAITH-BASED GENERAL HUMAN SERVICES ON SITE TO GROUPS AND INDIVIDUALS INCLUDING CONSUMER COUNSELING AND GROUP EDUCATION SESSIONS AS WELL AS REFERRALS TO NEARBY PROVIDERS FOR TRANSPORTATION, GENERAL AND MENTAL HEALTH CARE, HOUSING ASSISTANCE, AND EMERGENCY FOOD. THE SPACE WILL ALSO PARTICIPATE IN ESTABLISHED COMMUNITY EVENTS AND OPEN HOUSE ENGAGEMENTS ON A WEEKLY BASIS.	



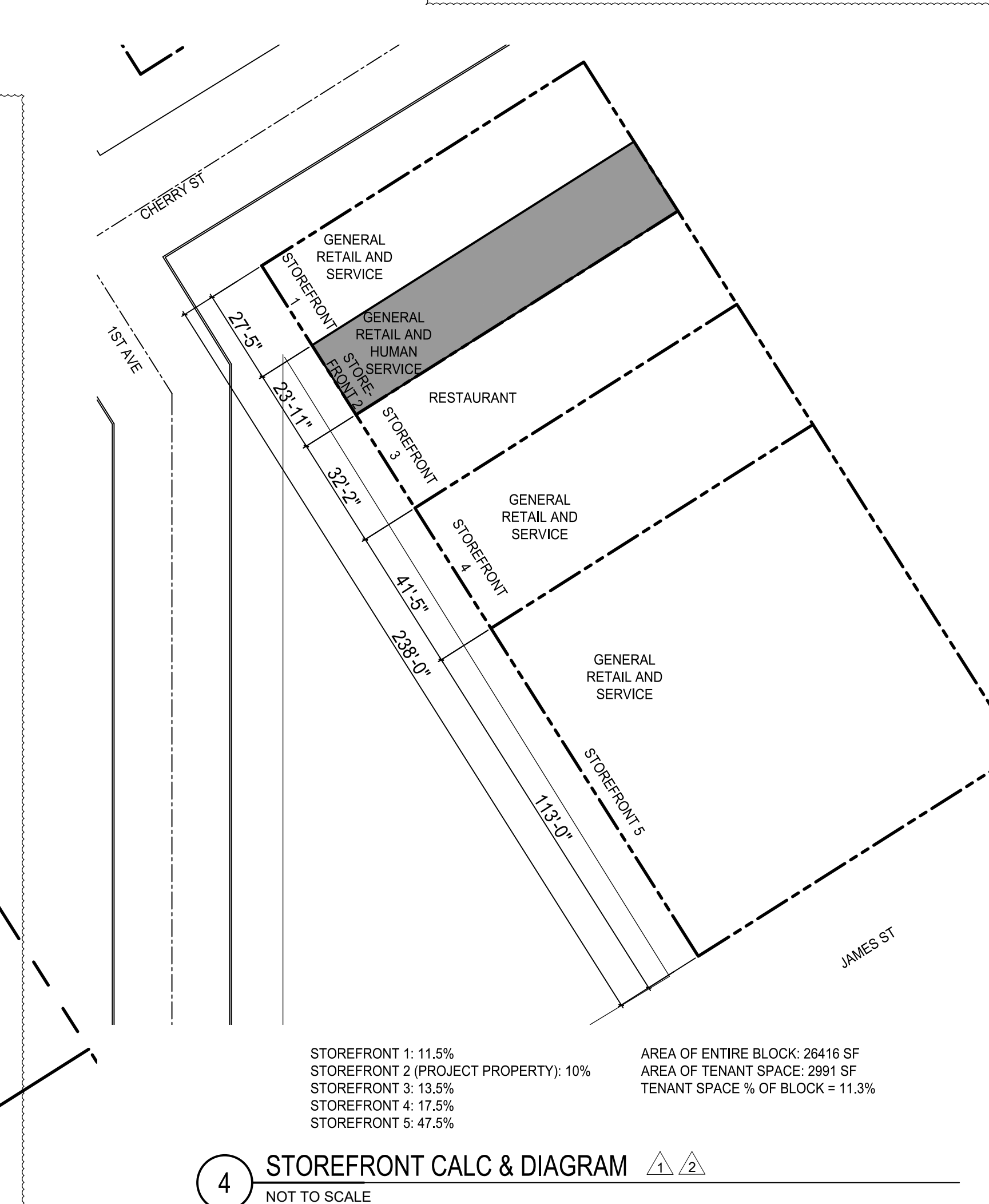
1 VICINITY MAP
NOT TO SCALE



3 STREET VIEW ¹ ²
NOT TO SCALE



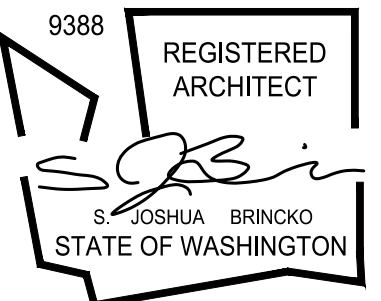
2 SITE PLAN (TO BE VERIFIED IN FIELD)
SCALE: 1/8" = 1'-0"



4 STOREFRONT CALC & DIAGRAM ¹ ²
NOT TO SCALE

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JOSH PS



DESIGN	SJB
DRAWN	CEC
CHECKED	SJB
DATE	[2022-1018 PRE-AP]
	¹ [2022-1107 PERMIT]
	² [2023-0109 REV 1]

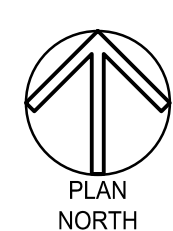
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- (X) NOT ALLOWED
 WITH CONDITIONED NOTED
 AT RISK OF OWNER AND BUILDER
 WITH ARCHITECT REVIEW ON SITE

REACH
620 1ST AVE
SEATTLE WA 98104

PERMIT

SITE PLAN
PROJECT INFORMATION



A1.0

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JOSH PS

9388 REGISTERED ARCHITECT
Joshi Brincko
JOSHUA BRINCKO
STATE OF WASHINGTON

NOTE

1. THIS SPACE IS LESS THAN 50% OF THE BLOCK FRONT, AND THE PROPOSED USE, WHICH IS UNCHANGED FROM THE PREVIOUS USE, STILL DOES NOT OCCUPY MORE THAN 50% OF THE BLOCK FRONT.
2. THE SPACE IS LESS THAN 3000SF, SO NO USE WILL OCCUPY MORE THAN 3000SF AT STREET LEVEL, SUCH AS THE GENERAL SALES AND SERVICE USES.
3. THE SPACE IS LESS THAN 3000SF, SO NO USE AT THE STREET FRONT EXCEEDS 10,000SF.
4. NO PROFESSIONAL SERVICE USES ARE PROPOSED, SO THIS SPACE DOES NOT CONTRIBUTE TO A PROFESSIONAL SERVICE OCCUPYING MORE THAN 20% OF THE BLOCK FRONT.
5. THE EXISTING OFFICE SPACE IS 150SF AND IS LOCATED MORE THAN 50' AWAY FROM THE STREET FRONT, SO NO OFFICE USE WILL OCCUPY MORE THAN 20% OF THE BLOCK FRONT. THE EXISTING OFFICE IS 5% OF THE SPACE.
6. NO PARKING USE IS PROPOSED.
7. THE PROPOSED USES INCLUDE GENERAL SALES AND SERVICE USES SUCH AS HOUSEHOLD ITEMS, PERSONAL CLOTHING ITEMS INCLUDING SOCKS, BLANKETS, AND PACKAGED FOOD FOR PURCHASE OR DONATION. HUMAN SERVICES INCLUDE INDIVIDUAL COUNSELING, SMALL GROUP COUNSELING SESSIONS, AND DISPLAY FOR ART OPENINGS.
8. HUMAN SERVICE USES SUCH AS INDIVIDUAL OR GROUP COUNSELING DO NOT EXCEED 25% OF THE BLOCK FRONT.
9. THE FOLLOWING USES ARE NOT PROPOSED: WHOLESALING, STORAGE AND DISTRIBUTION, VOCATIONAL OR FINE ARTS SCHOOLS, RESEARCH AND DEVELOPMENT LABORATORIES, RADIO AND TELEVISION STUDIOS, TAXIDERMY SHOPS, APPLIANCE REPAIR SHOPS, UPHOLSTERY ESTABLISHMENTS, AND OTHER SIMILAR USES.
10. THE PROPOSED USE IS TO PROVIDE GENERAL HUMAN SERVICES ON SITE TO GROUPS INCLUDING AS EMERGENCY FOOD, INFORMATION AND REFERRAL SERVICES FOR HOUSING AND OTHER EMERGENCY SERVICES, CONSUMER COUNSELING, AND GROUP EDUCATION SESSIONS. THE SPACE WILL ALSO PARTICIPATE IN COMMUNITY ART EVENTS AND OTHER SIMILAR OPEN HOUSE ENGAGEMENTS ON A WEEKLY BASIS, AND THE ARTWORK AND OTHER PRODUCTS WHETHER FOR SALE, DISPLAY, OR DONATION WILL BE DISPLAYED WITHIN THE EXISTING STOREFRONT.

- EXIT EXIT SIGN W/ EMERGENCY LIGHTING
- PULL MANUAL ALARM PULL
- SIREN/STROBE AUDIBLE ALARM VISUAL ALARM
- FE FIRE EXTINGUISHER MIN CLASS 2-A

ALL DOORS AND WINDOWS ARE EXISTING TO REMAIN

ALL (E) OCCUPANCY CLASSIFICATIONS UNCHANGED, AN ASSEMBLY AREA WAS ADDED

ADAPT SPRINKLERS AS REQUIRED

NO PROPOSED CHANGES TO EXISTING HEATING SYSTEM WITHIN EXISTING TENANT SPACE, RETROFIT VENTILATION AS REQUIRED (SEPARATE PERMIT)

FIRE NOTES

- 1) Provide a Class 2A fire extinguisher for every 3,000 ft² of ordinary hazard occupancy (kitchen, storage, retail, etc.) and for every 6,000 ft² of light hazard occupancy (assembly, business, etc.). Verify that all portions of the building are within 75 feet travel to a fire extinguisher. Provide a Class K fire extinguisher within 30 feet travel of all commercial kitchen cooking equipment using vegetable oils.
- 2) No storage or use of flammable or combustible liquids, torch cutting or welding operations, roofing operations or use of flammable gas for temporary heating or drying shall be conducted on any construction site without first having obtained a specific permit from the Seattle Fire Department for these hazardous activities. This includes demolition work. Please call 206-386-1450 for Fire Department permit information and application.
- 3) Adjacent areas to be staying in operation during construction. Egress, fire protection systems, and emergency access shall meet the requirements of King County Fire Code during construction. Contractor materials and activities shall not block any exit, restrict emergency access, or impair fire separation in any building while the building is occupied. This includes demolition work and also applies to neighboring spaces, areas, floors, and buildings.

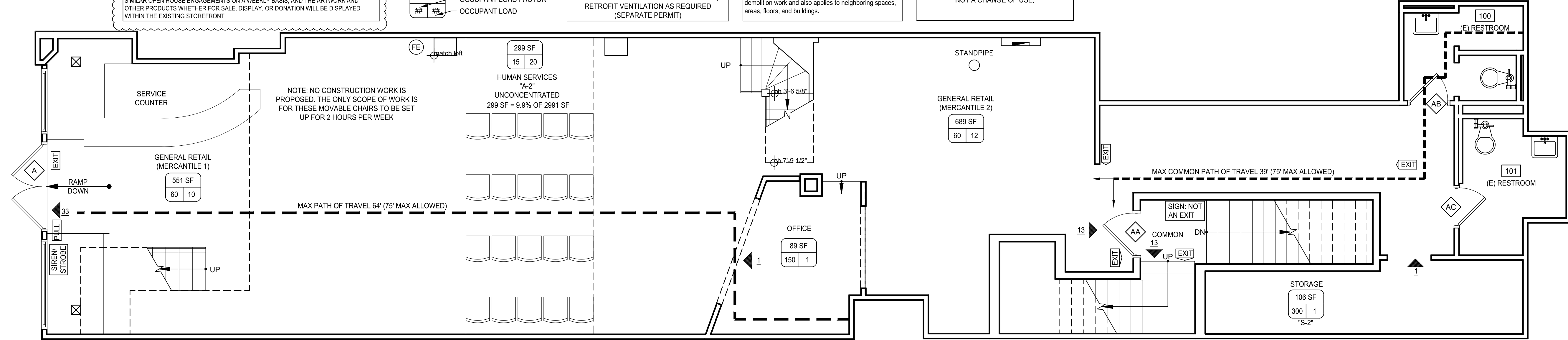
FIRE SEPARATION REQUIREMENTS:
ALL SPACES SPRINKLERED
NO CHANGE OF USE PROPOSED
NO SEPARATION REQUIRED SINCE ALL SPACES ARE SAME OCCUPANCY, AN ASSEMBLY AREA WAS ADDED
(E) CEILING IS 3 HR RATED PER IBC 721.1(3)

WATER AVAILABILITY CERTIFICATE NOT REQUIRED WITHIN EXISTING SPACE SINCE NO CHANGE IN SERVICE

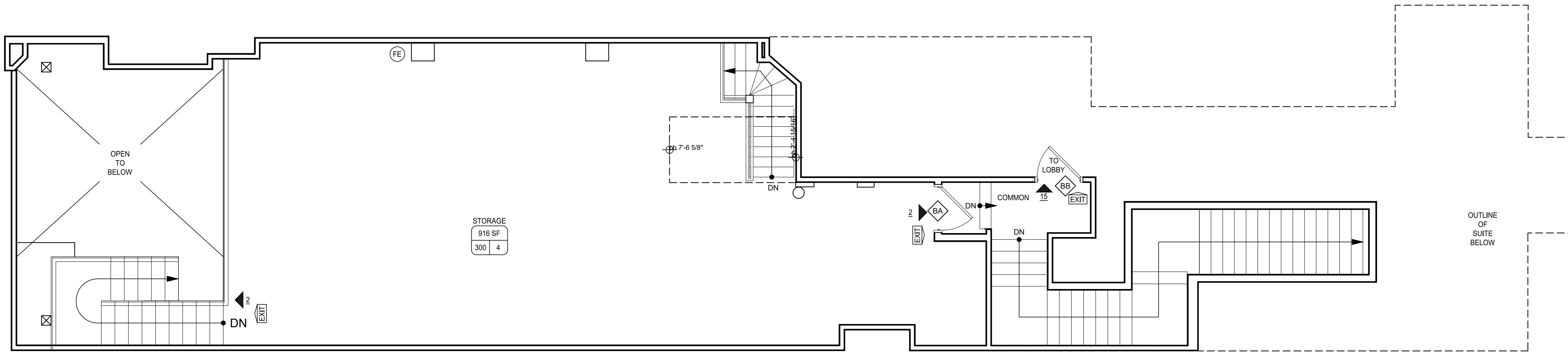
EXISTING CLASS 2-A FIRE EXTINGUISHERS PROVIDED FOR EACH 3000 SQ FT WITHIN 75' TRAVEL DISTANCE

NOTE: ASSEMBLY AREA IS ACCESSORY TO THE EXISTING RETAIL AND HAS LESS THAN 50 OCCUPANTS WITH LESS THAN 7500SF, SO IT IS NOT CONSIDERED A SEPARATE OCCUPANCY PER 2018 SBC 313.1.4. IT SHALL REMAIN CLASSIFIED AS M OCCUPANCY, SO NOT A CHANGE OF USE.

#SF SQUARE FEET OF SPACE
OCCUPANT LOAD FACTOR
OCCUPANT LOAD



1 (E) LOWER LEVEL 2074.6 SF
SCALE: 1/4" = 1'-0"



2 (E) MEZZANINE 916.2 SF
SCALE: 1/4" = 1'-0"

DESIGN	SJB
DRAWN	CEC
CHECKED	SJB
DATE	[2022-1018 PRE-AP]
	[2022-1107 PERMIT]
	[2023-0109 REV 1]

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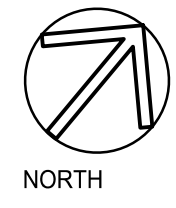
- [X] NOT ALLOWED
- [] WITH CONDITIONED NOTED
- [] AT RISK OF OWNER AND BUILDER
- [] WITH ARCHITECT REVIEW ON SITE

REACH
620 1ST AVE
SEATTLE WA 98104

PERMIT

MAIN FLOOR PLAN

CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
CONTRACTOR TO CONFIRM FINISHES TO BE MOCKED UP WITH ARCHITECT.



A2.0