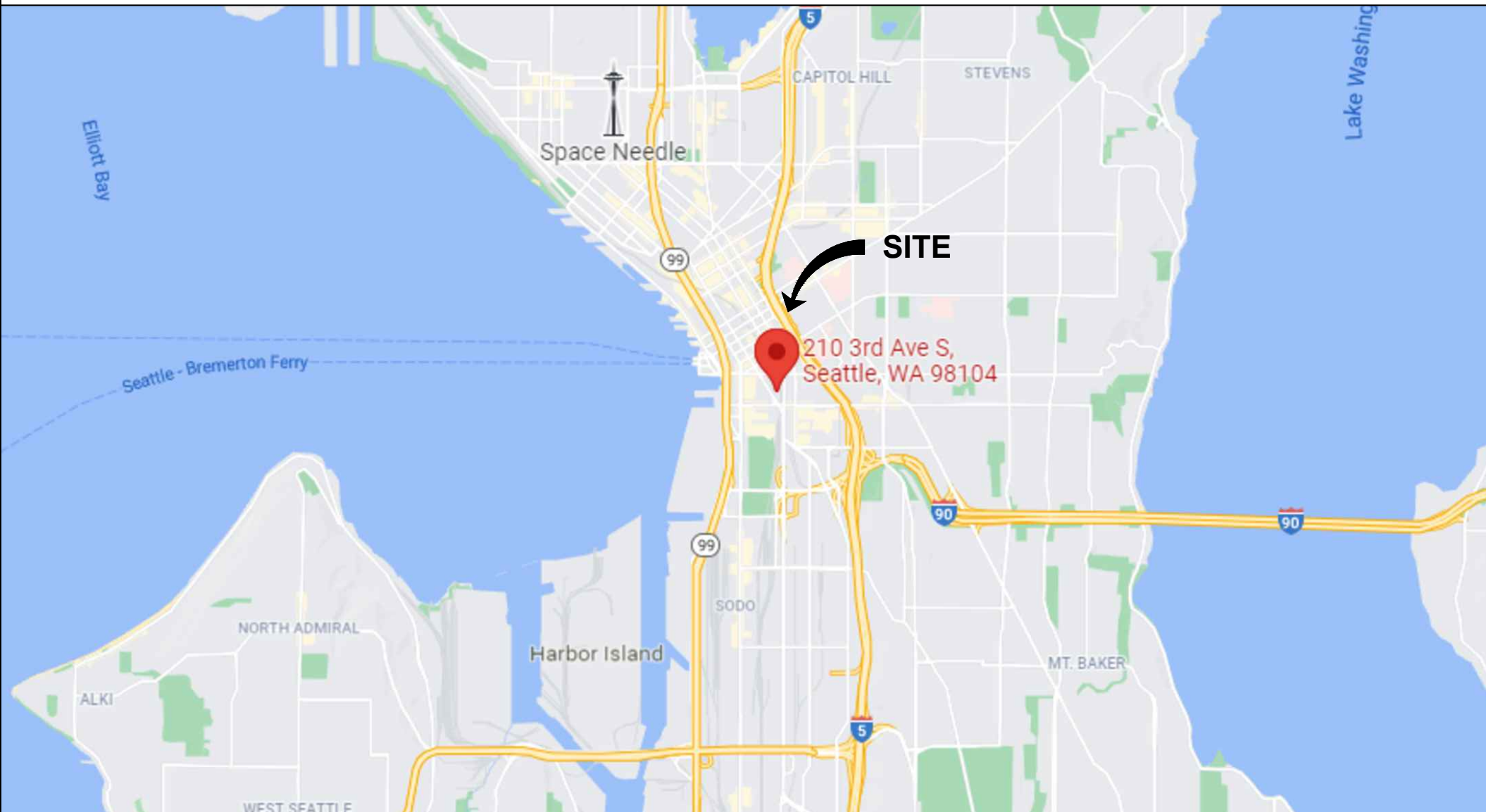


GENERAL NOTES		VICINITY MAP		CD2G PROJ. No.		2021053	
1. ALL WORK SHALL CONFORM TO THE 2018 SEATTLE EXISTING BUILDING CODE (SEBC) AND AS AMENDED BY ANY LOCAL BUILDING CODES OR ORDINANCES. INCLUDING ENERGY AND ACCESSIBILITY CODE REQUIREMENTS.				SDCI No.		COA-00436	
2. DO NOT SCALE DIMENSIONS FROM DRAWINGS. VERIFY ALL DIMENSIONS, DATUMS, AND LEVEL PRIOR TO CONSTRUCTION. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS NOTED OTHERWISE. CONSULT WITH ARCHITECT AND OWNER REGARDING ANY SUSPECTED ERRORS, OMISSIONS, OR CHANGES ON PLANS BEFORE PROCEEDING WITH THE WORK.				<div>THE LOFTS</div> <div>GLAZING REPLACEMENT</div> <div>208-212 THIRD AVENUE SOUTH</div> <div>SEATTLE, WA 98104</div>			
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SAFETY PRECAUTIONS AND METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES REQUIRED TO PERFORM THE WORK.							
4. THE CONTRACTOR SHALL UTILIZE CONSTRUCTION TECHNIQUES, PRACTICES, AND PROCESSES THAT ARE STANDARD AND ACCEPTABLE TO THE CONSTRUCTION INDUSTRY QUALITY STANDARDS. THE ARCHITECT DOES NOT SPECIFY OR ASSUME LIABILITY OR RESPONSIBILITY FOR METHODS AND MEANS OF CONSTRUCTION.							
5. THE CONTRACTOR SHALL INDEMNIFY AND SAVE THE OWNER, ARCHITECT & OWNER'S REPRESENTATIVE HARMLESS FROM AND AGAINST ANY DAMAGE, COST, OR LIABILITY FROM INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY NEGLIGENCE OF THE CONTRACTORS, HIS EMPLOYEES, AGENTS, AND/OR SUBCONTRACTORS.							
6. THE CONTRACTOR SHALL EXAMINE THE PREMISES TO DETERMINE THE EXTENT OF WORK AND THE CONDITIONS UNDER WHICH IT MUST BE DONE. NO EXTRA PAYMENTS OR CHARGES WILL BE ALLOWED FOR CLAIMS FOR ADDITIONAL WORK THAT SHOULD HAVE BEEN INCLUDED IN ORIGINAL INSPECTION.							
7. THE CONTRACTOR SHALL CHECK AND VERIFY CONTRACT DOCUMENTS AND FIELD CONDITIONS FOR ACCURACY AND CONFIRM THAT THE WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS TO OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTION.							
8. CONTRACTOR SHALL NOTE THAT NOT ALL MISCELLANEOUS ITEMS OF CUTTING, PATCHING OR FITTING ARE INDIVIDUALLY DESCRIBED OR NOTED HEREIN. NO SPECIFIC DESCRIPTION OF CUTTING, PATCHING, OR FITTING REQUIRED TO PROPERLY ACCOMMODATE THE SCOPE OF WORK SHALL RELIEVE THE CONTRACTOR FROM RESPONSIBILITY TO PERFORM SUCH WORK AS REQUIRED.							
9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF ANY ACCIDENTAL DAMAGE HE/SHE HIS/HER EMPLOYEES INFLECTS UPON THE EXISTING WORK TO REMAIN. IF, FOR ANY REASON, DAMAGE TO EXISTING WORK OR UTILITIES IS CONSIDERED TO BE UNAVOIDABLE, SUBMIT WRITTEN NOTIFICATION OF THIS BEFORE SIGNING THE CONTRACT. IN THE ABSENCE OF SUCH NOTIFICATION, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR DAMAGE AND THE COST OF SATISFACTORILY REPAIRING OR REPLACING THE DAMAGED WORK.							
10. THE RELOCATION OF ANY ITEMS INVOLVED IN THE WORK IS SUBJECT TO THE CONTRACTOR'S ABILITY TO DO SO WITHOUT PERMANENTLY DAMAGING OR MARRING THE ITEMS TO BE RELOCATED. IF THE CONTRACTOR IS UNABLE TO RELOCATE ANY ITEM AS PRESCRIBED HEREIN HE/SHE SHALL NOTIFY ARCHITECT AND OWNER IN WRITING. WITH OWNER AND / OR ARCHITECTS APPROVAL, CONTRACTOR SHALL SUBSTITUTE NEW MATERIAL TO MATCH EXISTING IN LIEU OF RELOCATING SAME. CONTRACTOR MAY ALSO ELECT TO USE NEW MATERIAL TO MATCH EXISTING IN LIEU OF RELOCATION OF EXISTING FOR HIS/HER OWN CONVENIENCE.							
11. IN PERFORMING WORK PRESCRIBED HEREIN AND THE DRAWINGS OF THIS WORK, IT WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR ALL ALL EXISTING CONSTRUCTION DISTURBED, RELOCATED, DAMAGED OR ALTERED AND ALL NEW CONSTRUCTION INSTALLED, AS REQUIRED TO HIDE ALL EVIDENCE OF WORK AND TO REFINISH THIS CONSTRUCTION TO MATCH EXISTING FINISH AND APPEARANCE.							
12. ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING AND WILL BE CONSIDERED ONLY IF BETTER SERVICE FACILITIES, A MORE ADVANTAGEOUS DELIVERY DATE OR A LOWER PRICE WITH CREDIT TO THE TENANT WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE, AND FUNCTION. UNDER NO CIRCUMSTANCES WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.							
13. ALL WORK NOTED N.I.C.* OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE A PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL COORDINATE WITH "OTHER" CONTRACTORS AS REQUIRED.							
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND PROPER DISPOSAL OF ALL DEBRIS FROM THE WORK AREA DURING PROGRESS OF THE JOB.							
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND COSTS ASSOCIATED WITH ALL UTILITY REMOVAL AND INSTALLATION WITH APPROPRIATE UTILITY AS REQUIRED.							
16. UPON COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL DEBRIS, SURPLUS MATERIALS, AND EQUIPMENT AND THOROUGHLY CLEAN ALL SURFACES SO THAT THE PREMISES ARE READY FOR IMMEDIATE OCCUPANCY.							
17. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT THE SPREAD OF DUST, DIRT, AND DEBRIS TO AREAS OUTSIDE THE WORK AREA INCLUDING FINISHED AREAS WITHIN THE BUILDING.							
18. ALL PLUMBING, HEATING, VENTILATION, AND ELECTRICAL EQUIPMENT, FIXTURES, WIRING, PIPING, APPLIANCES, ETC., AND ALL ASSOCIATED APPURTENANCES SCHEDULED TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE GENERAL CONTRACTOR WITH ALL DISCONNECTIONS OF SAME BY THE RESPECTIVE SUB-CONTRACTOR OF PLUMBING, H.V.A.C., AND ELECTRICAL. SURFACE APPURTENANCES ARE TO BE REMOVED, CARED FOR AND REINSTALLED BY CONTRACTOR. ALSO, CONTRACTOR IS TO MARK AND PROTECT EXISTING PIPING, WIRING, ETC., AND IS SOLELY RESPONSIBLE FOR DAMAGE CAUSED TO SAME. THIS NOTE APPLIES ONLY TO EXISTING ITEMS SCHEDULED TO BE REMOVED.							
19. THESE GENERAL NOTES AND DRAWINGS APPLY ONLY TO THAT PORTION OF THE BUILDING/PROJECT IN WHICH WORK DESCRIBED IN THESE DOCUMENTS IS SCHEDULED TO BE PERFORMED. THE ARCHITECT SHALL ASSUME OR ACCEPT NO LIABILITY FOR WORK IN AREAS WHERE NO WORK IS SCHEDULED TO BE PERFORMED.							

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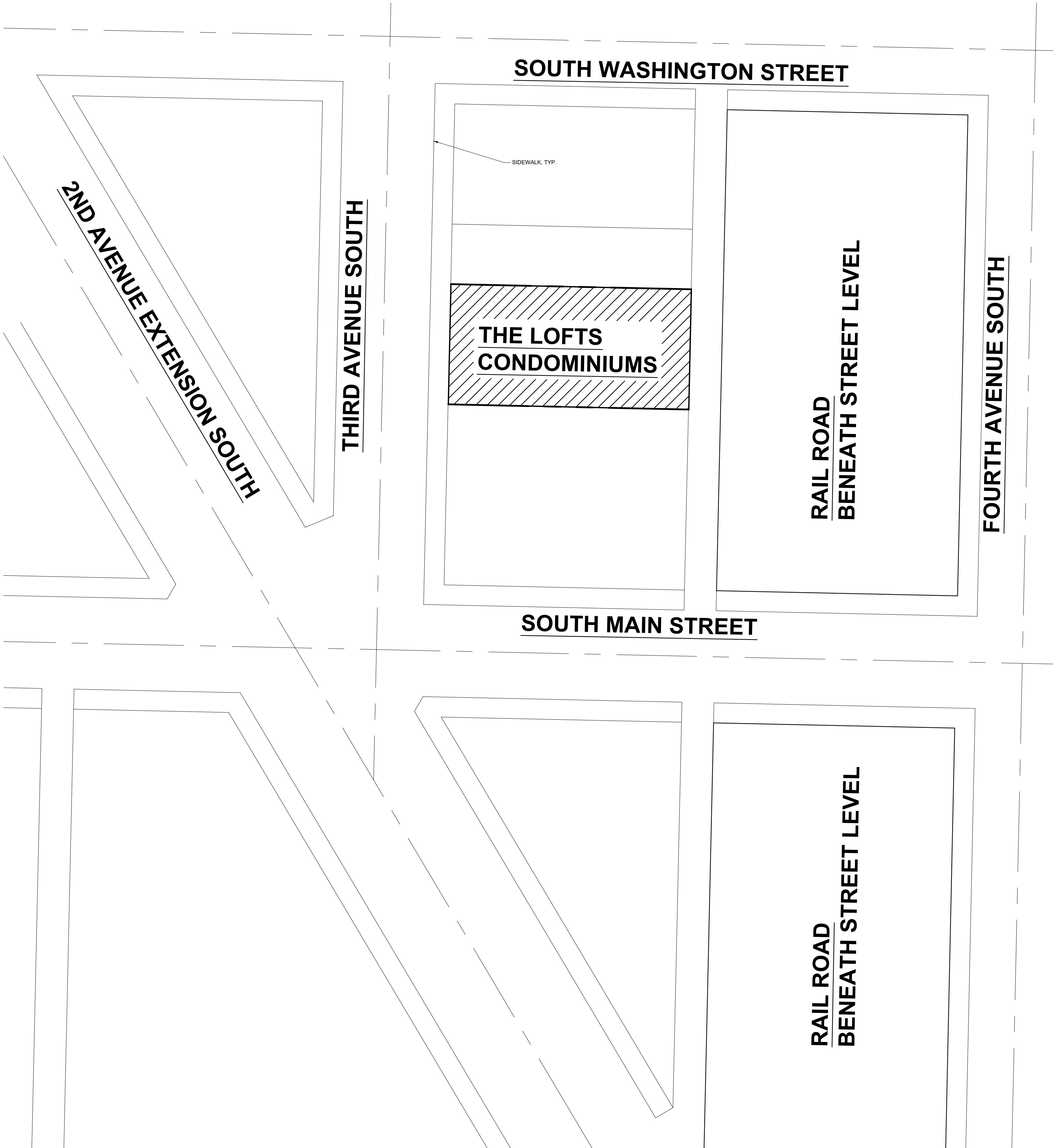
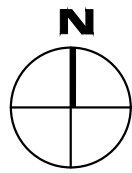
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LANDMARK	2022-03-23
LANDMARK	2022-08-19
REVISION	2022-01-17
REVISION	2022-08-19
DESIGN	AL
DRAWN	AZ
CHECK	AL



SITE PLAN


1

1/32" = 1'-0"

A3.1


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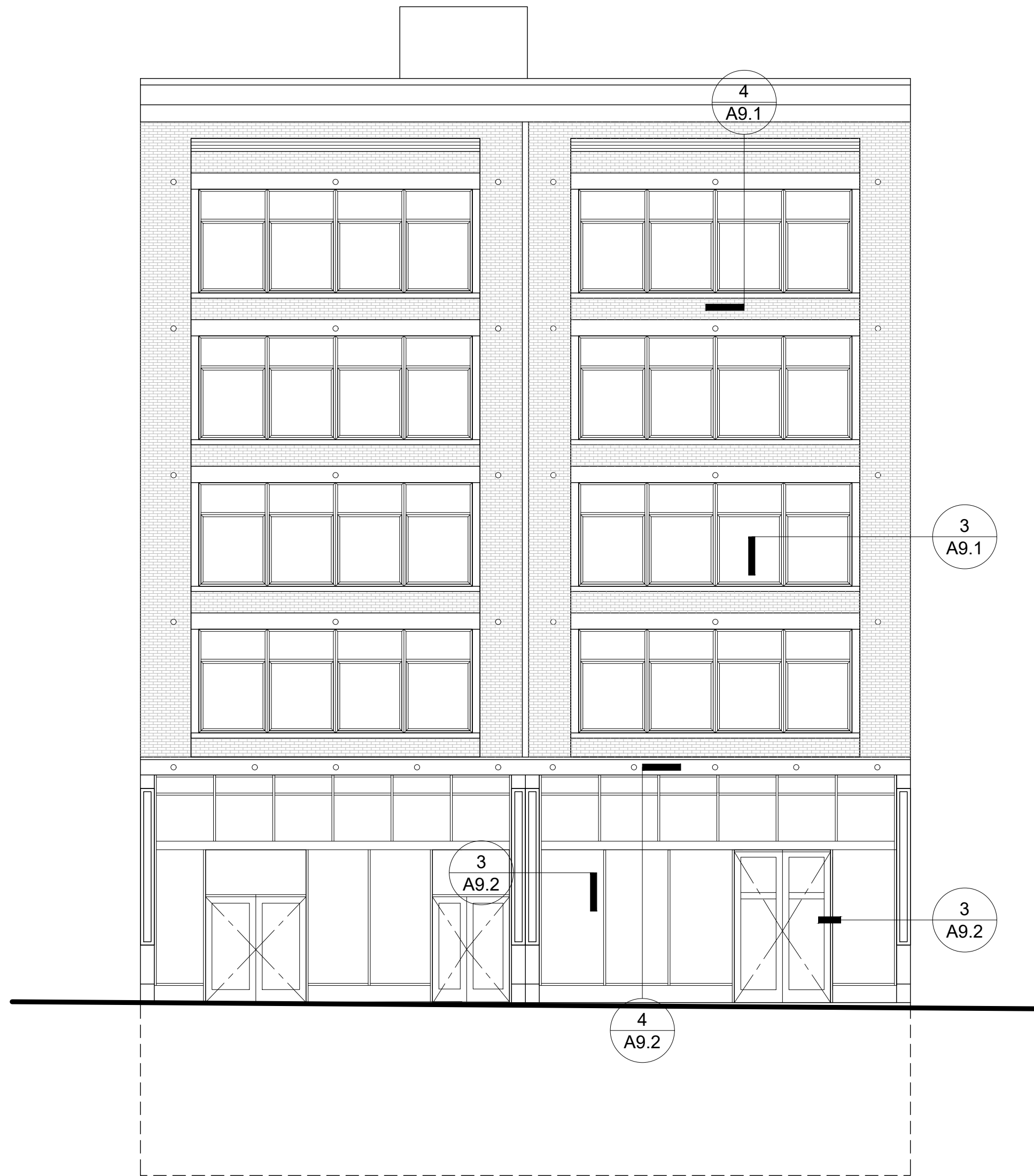
A3.1

PLOT DATE	Aug. 19, 22
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PROPOSED EAST EXTERIOR ELEVATION 2
1/8" = 1'-0" A3.2



PROPOSED WEST EXTERIOR ELEVATION 1
1/8" = 1'-0" A3.2

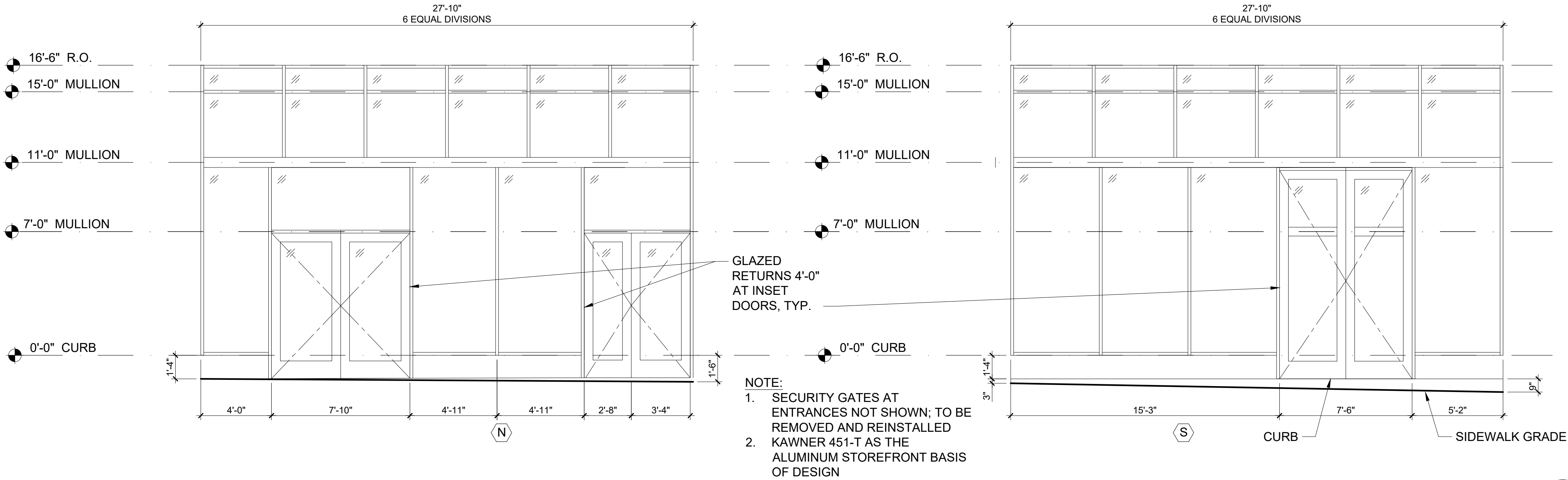
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REVISION 2	2022-08-19

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CHECK	AL

A3.2



WINDOW "W" PHOTO 9
SCALE: NTS A7.1



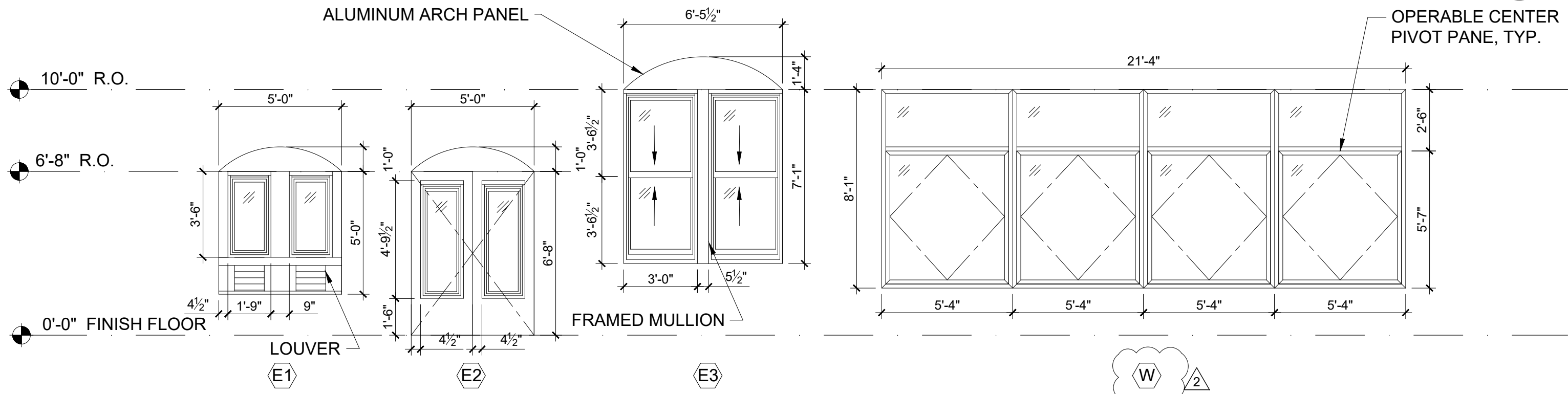
STOREFRONT ELEVATIONS - WEST ELEVATION 3
SCALE: 1/4" = 1'-0" A7.1



WINDOW E3 PHOTO 8
SCALE: NTS A7.1



WINDOW E1 PHOTO 6
SCALE: NTS A7.1

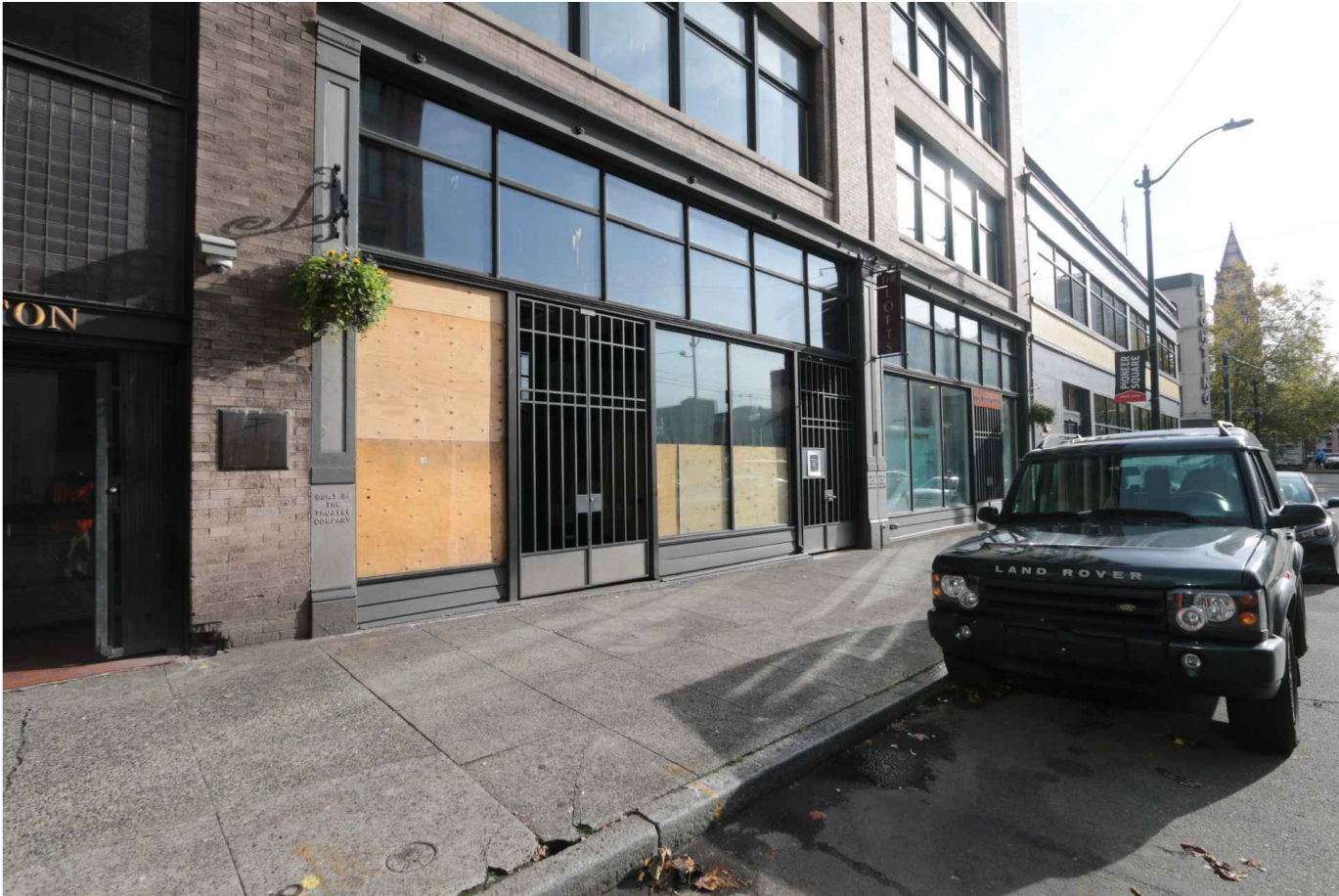


WINDOW / DOOR SCHEDULE								
NO.	SIZE		FRAME			U-FACTOR	MANUFACTURER	NOTE
	W	H	MAT	TYPE	FIN			
E1	1'-9"	5'-0"	ALUMINUM	WINDOW / FIXED	PAINT	0.30	ST. CLOUD WINDOW	1-4
E2	5'-0"	6'-8"	METAL CLAD WOOD	DOOR / OPERABLE	PAINT	0.30	ANDERSEN	1-4
E3	4'-0"	7'-1"	ALUMINUM	WINDOW / OPERABLE	PAINT	0.30	ST. CLOUD WINDOW	1-4
W	21' - 4"	8'-1"	WOOD	WINDOW / OPERABLE	PAINT	.30	ARKA WINDOWS	1-4

WINDOW SCHEDULE AND ELEVATIONS 2
SCALE: 1/4" = 1'-0" A7.1



DOOR E2 PHOTO 7
SCALE: NTS A7.1



STOREFRONT "N" PHOTO 5
SCALE: NTS A7.1



STOREFRONT "S" PHOTO 4
SCALE: NTS A7.1

- NOTE:
- ALL EXTERIOR STOREFRONTS SHALL HAVE A MAX. GLAZING U-FACTOR OF .34. STOREFRONT ENTRANCES 0.36. ALL OTHER OPERABLE FENESTRATION SHALL HAVE A U-FACTOR OF 0.28. ALL FENESTRATION SHALL HAVE AN SHGC .38 (NFRF CERTIFIED) PER 2018 SEC TABLE 402.4 STANDARD DESIGN FOR AN ALTERED COMPONENT.
 - PER SBC 2406.4.2 GLAZING ADJACENT TO DOORS. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE SHALL BE TEMPERED SAFETY GLAZING.
 - PER SBC 2406.4.3. GLAZING IN WINDOWS. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED A HAZARDOUS LOCATION (SHALL BE TEMPERED SAFETY GLAZING):
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR
 - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR
 - ONE OR MORE WALKING SURFACE(S) ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.
 - SBC 1015.8 IN R-2 AND R3 BUILDINGS WHERE THE SILL OF AN OPERABLE WINDOW OPENING IS LESS THAN 36" ABOVE FINISH FLOOR AND MORE THAN 72" ABOVE FINISH GRADE. PROVIDE WINDOW FALL PREVENTION DEVICES WITH EMERGENCY ESCAPE RELEASE MECHANISMS COMPLY WITH ASTM F2090-17

EXTERIOR WINDOW NOTES 1
SCALE: 1/4" = 1'-0" A7.1



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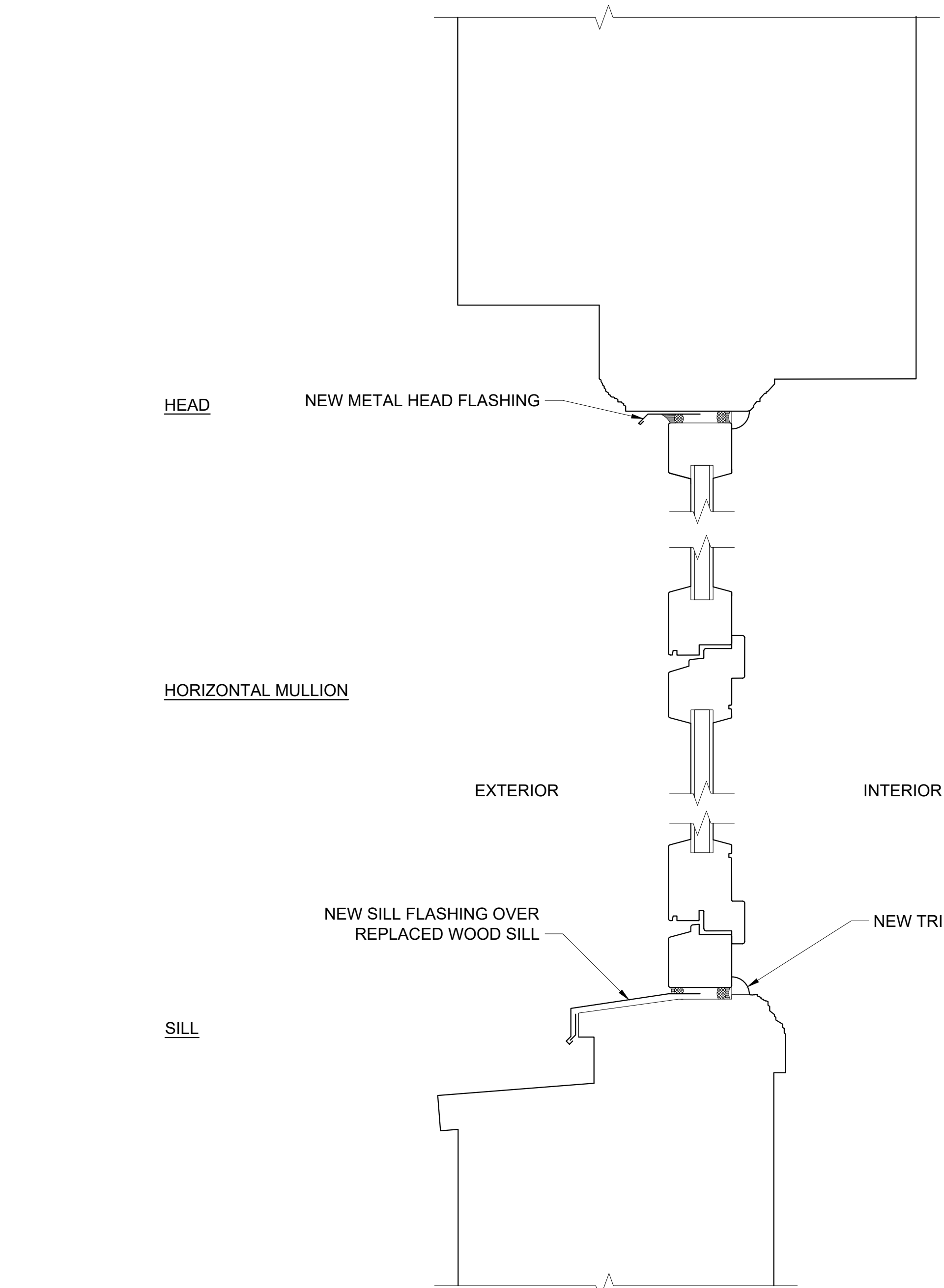
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A9.1

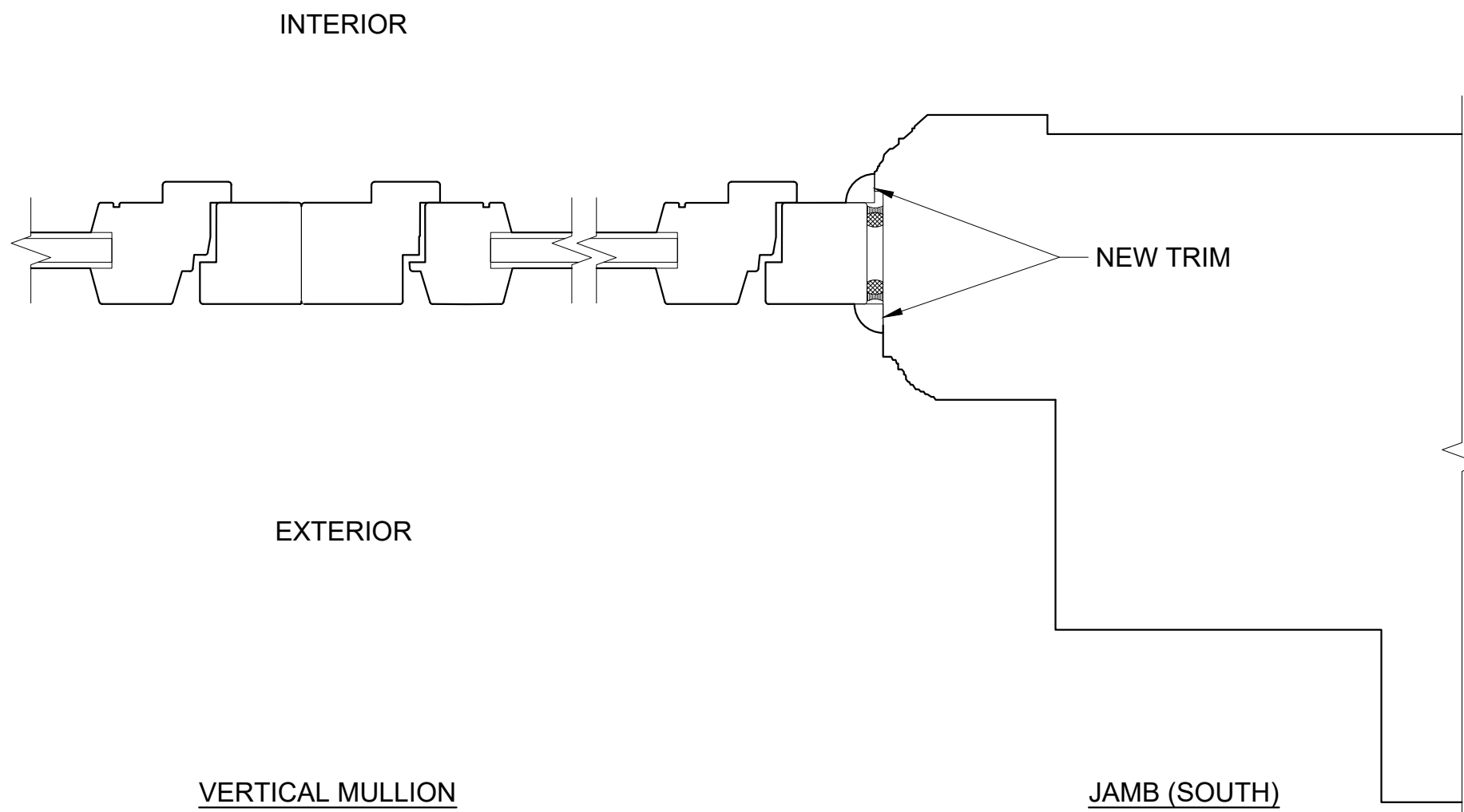
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WEST WINDOW PROPOSED SECTION WINDOW PROFILES

4

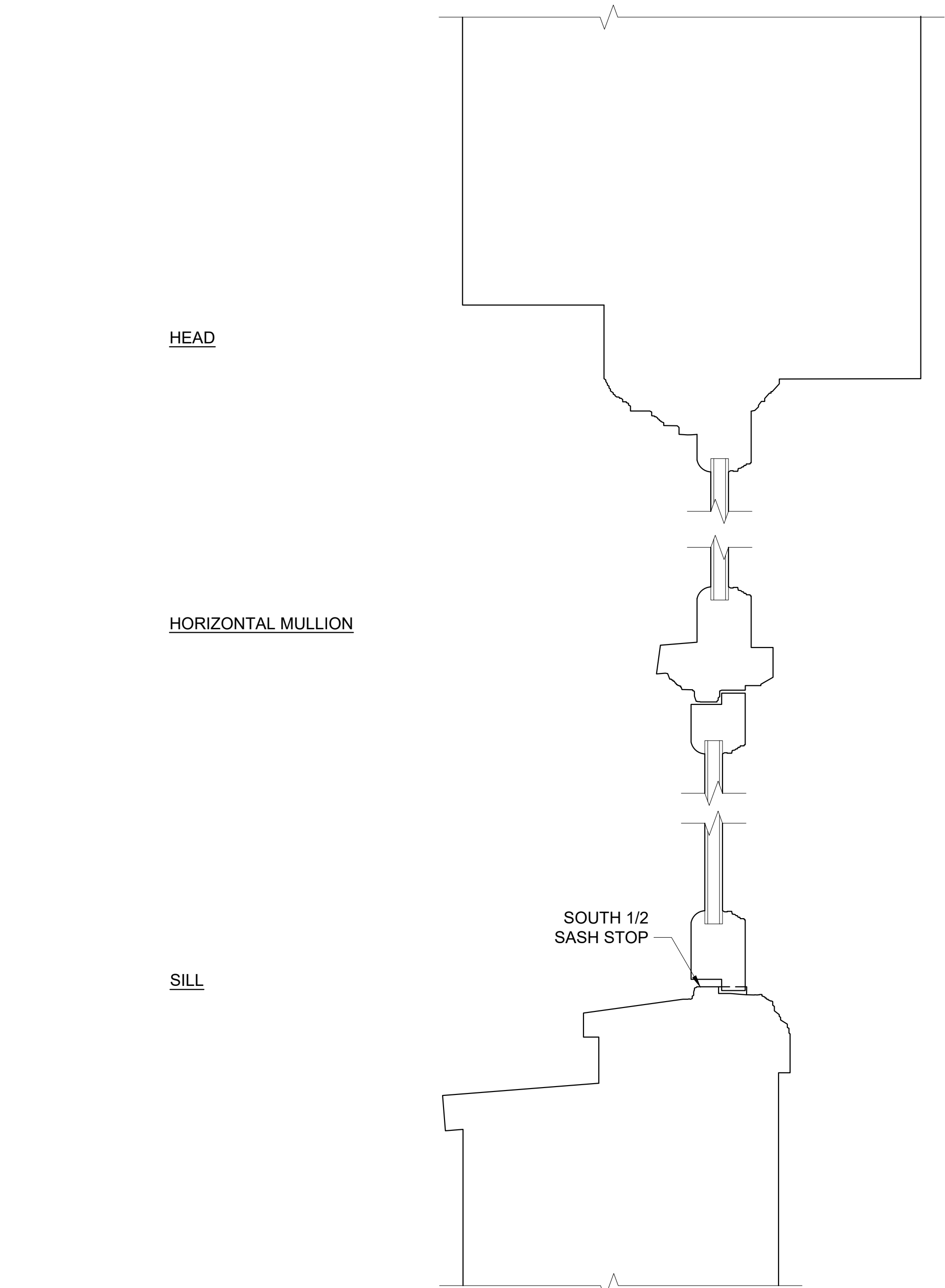
SCALE: 3" = 1'-0" A9.1



WEST WINDOW PROPOSED PLAN WINDOW PROFILES

3

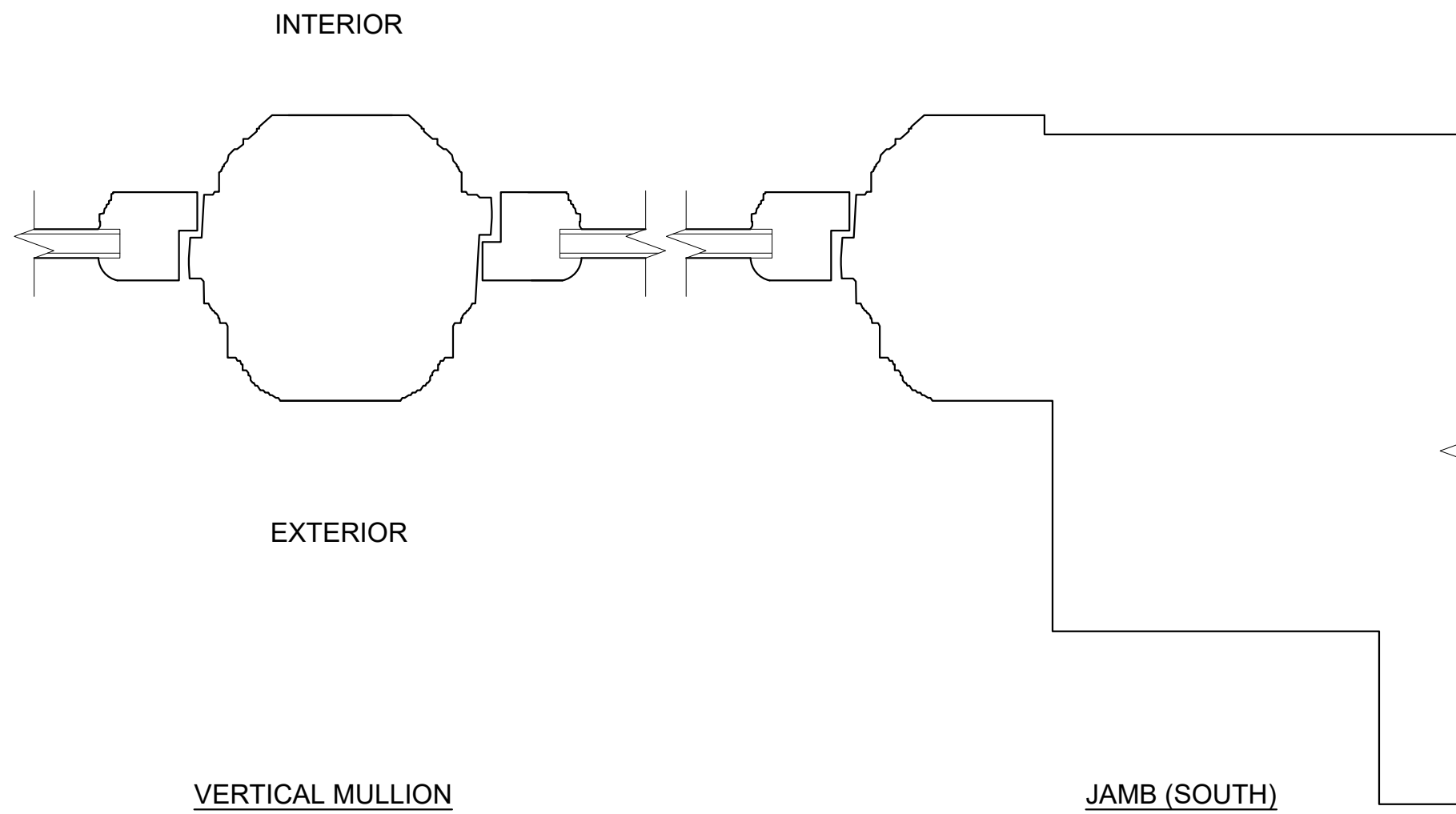
SCALE: 3" = 1'-0" A9.1



WEST WINDOW EXISTING SECTION WINDOW PROFILES

2

SCALE: 3" = 1'-0" A9.1



WEST WINDOW EXISTING PLAN WINDOW PROFILES

1

SCALE: 3" = 1'-0" A9.1

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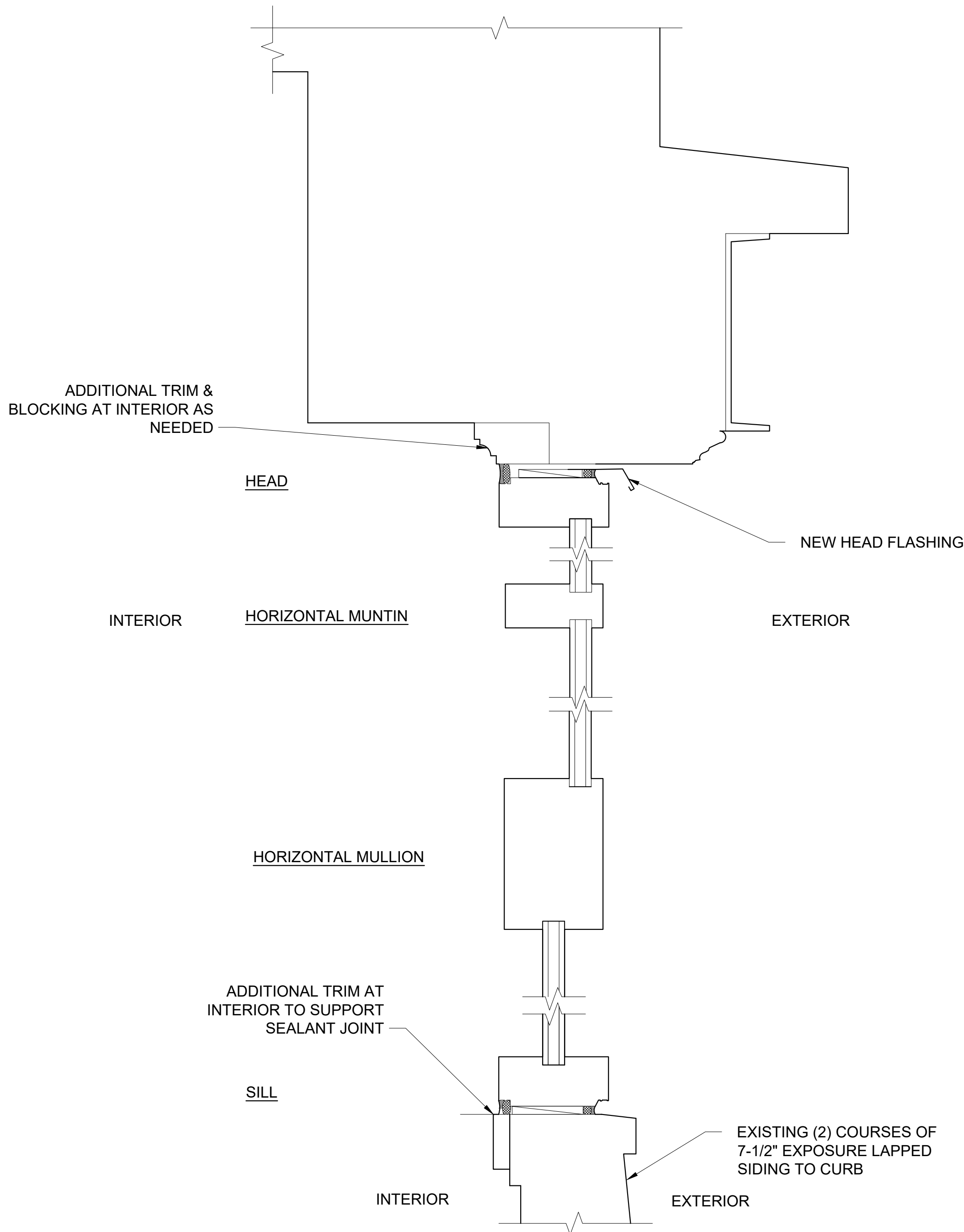
STOREFRONT
PROFILES

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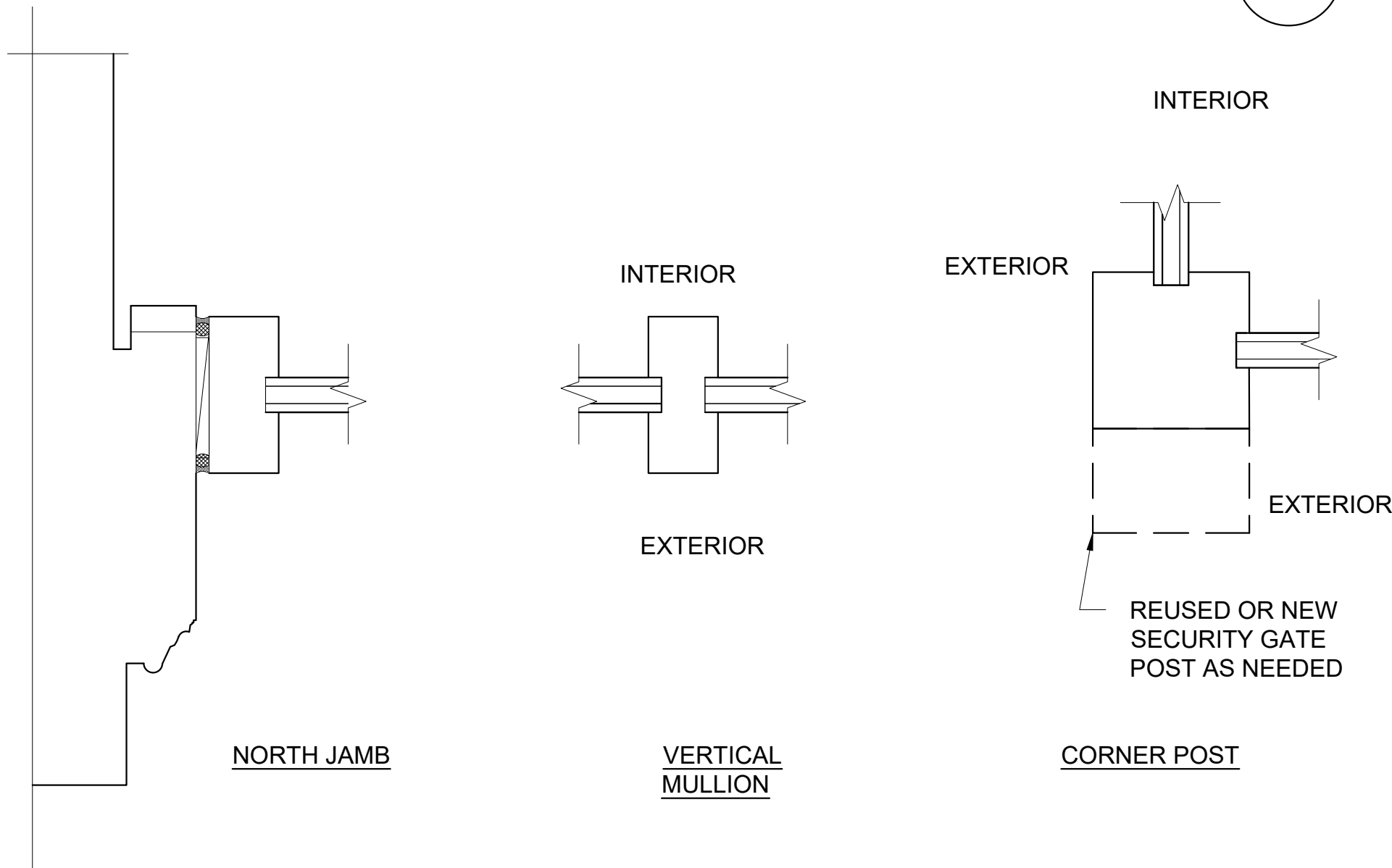
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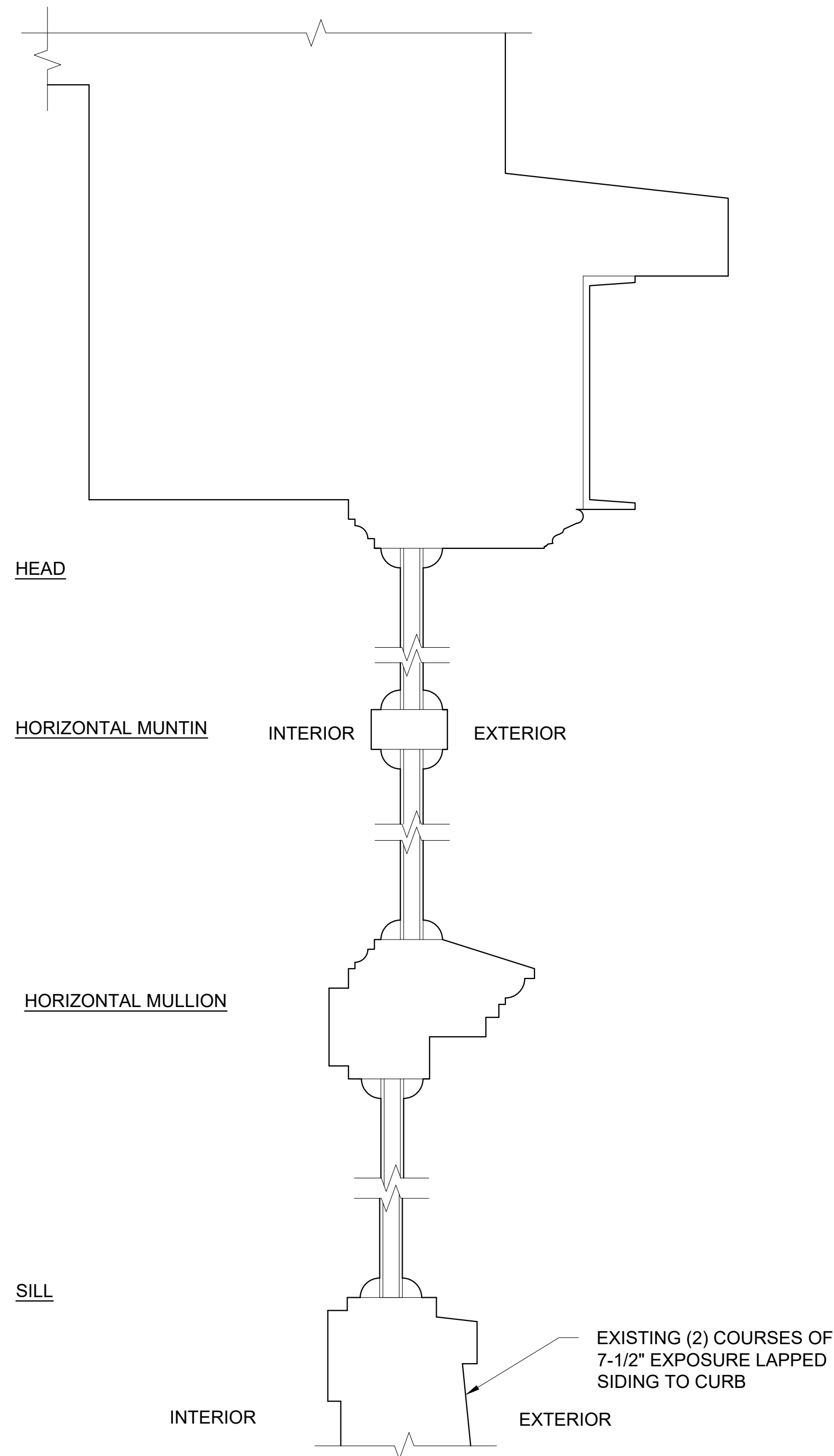
A9.2



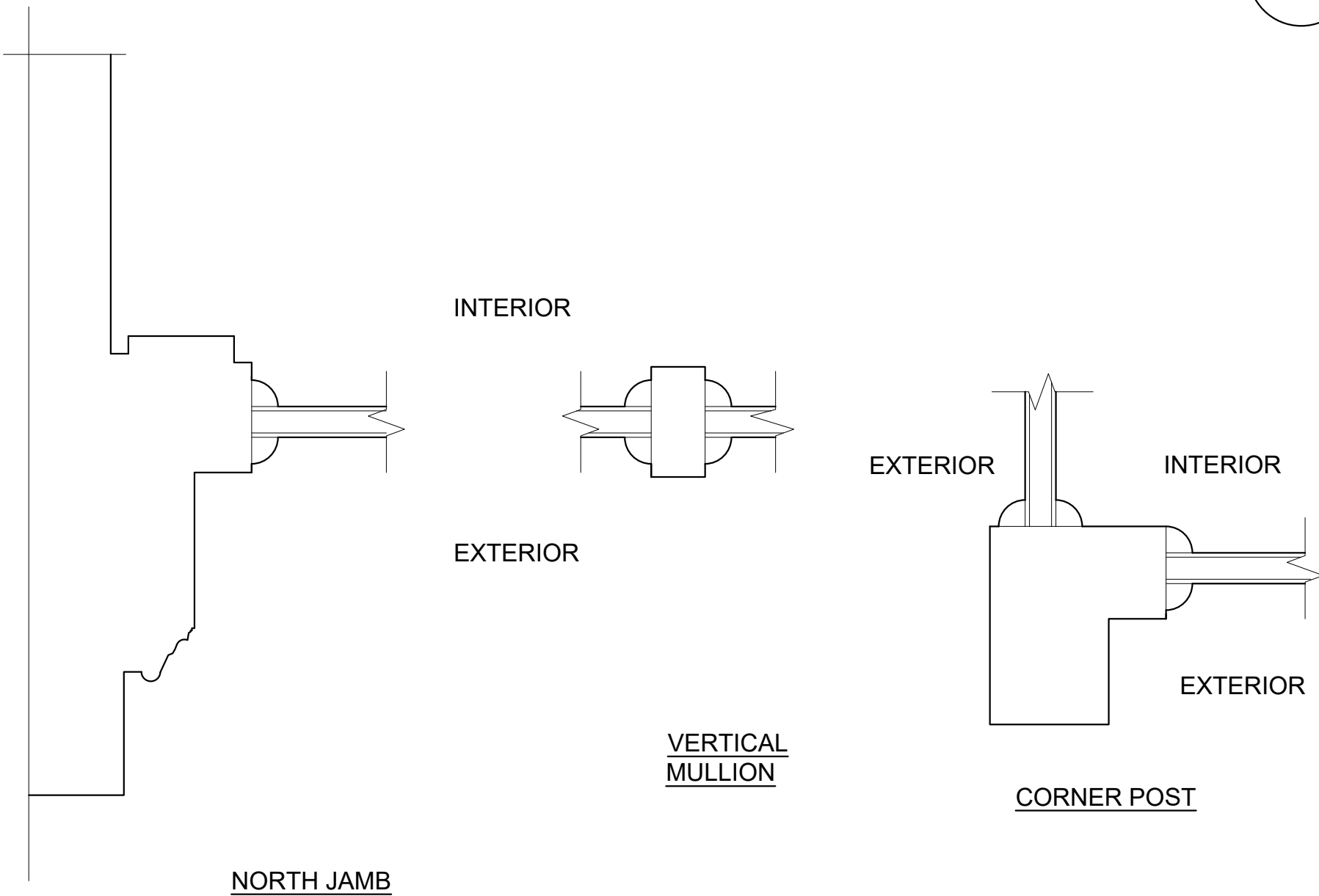
PROPOSED STOREFRONT SECTION PROFILES **4**
SCALE: 3" = 1'-0" BE9.2



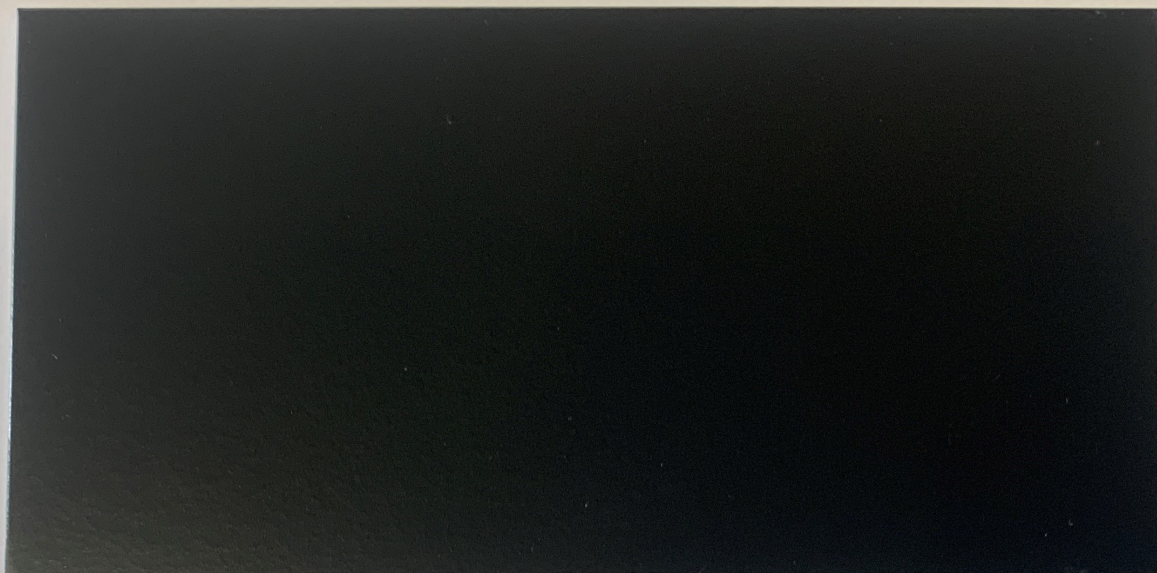
PROPOSED STOREFRONT PLAN PROFILES **3**
SCALE: 3" = 1'-0" BE9.2



EXISTING STOREFRONT SECTION PROFILES **2**
SCALE: 3" = 1'-0" BE9.2



EXISTING STOREFRONT PLAN PROFILES **1**
SCALE: 3" = 1'-0" BE9.2



**High performance coating sample meets
AAMA 2605**

**UC109846 Permafluor™
BLACK**

This is a lab prepared color display panel. A reasonable degree of color
variation can be expected on production line application.

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