

SDOT Pioneer Square Areaway ARW-98 and ARW-99 Project Introduction

August, 2026

Project Location

ARW-098 – 207 1st Ave S.

- Skagit Building
 - Current Street Level Tenant
 - Central Saloon

ARW-099 – 209 1st Ave S.

- Marathon Building
(originally Hoteling Block)
 - Current Street Level Tenant
 - Pass D Jollof Restaurant



Project Goals

- Remove weight restrictions on curb lanes due to degrading street walls which support the existing areaways. Restricted loading zones may still exist.
- Rehabilitate and strengthen the existing street walls.



Existing Conditions – ARW-098



Sidewalk and frontage space looking south

Existing Conditions – ARW-098



Fig1: Near south end of areaway,
looking north at sidewalk



Fig 2: At south end limits of areaway,
looking north at sidewalk

Existing Conditions – ARW-098



Past work on
masonry wall



Fig 3: Looking at east at street wall at
north end of areaway

Fig 4: Looking at north end of
areaway

Existing Conditions – ARW-098



Fig 5: Looking at south end of areaway



Fig 6: South end of areaway

Past repair work
on masonry wall

Existing Conditions – ARW-098



Fig 7: Near north end of areaway
looking at street wall



Fig 8: Looking at ceiling near north end

Sections of
masonry barrel
arch ceiling
removed and
replaced

Existing Conditions – ARW-098



Fig 9: Barrel arch ceiling near south end



Fig 10: Barrel arch ceiling near north end

Existing Conditions – ARW-098



Fig 11: Openings building face from inside of areaway at south end



Fig 12: Openings looking towards areaway from building at south end

Existing Conditions – ARW-099



Wall Location
(approximate)

Looking south, sidewalk and
frontage space

Existing Conditions – ARW-099



Fig 13: Looking at north near south end of areaway

Existing Conditions – ARW-099

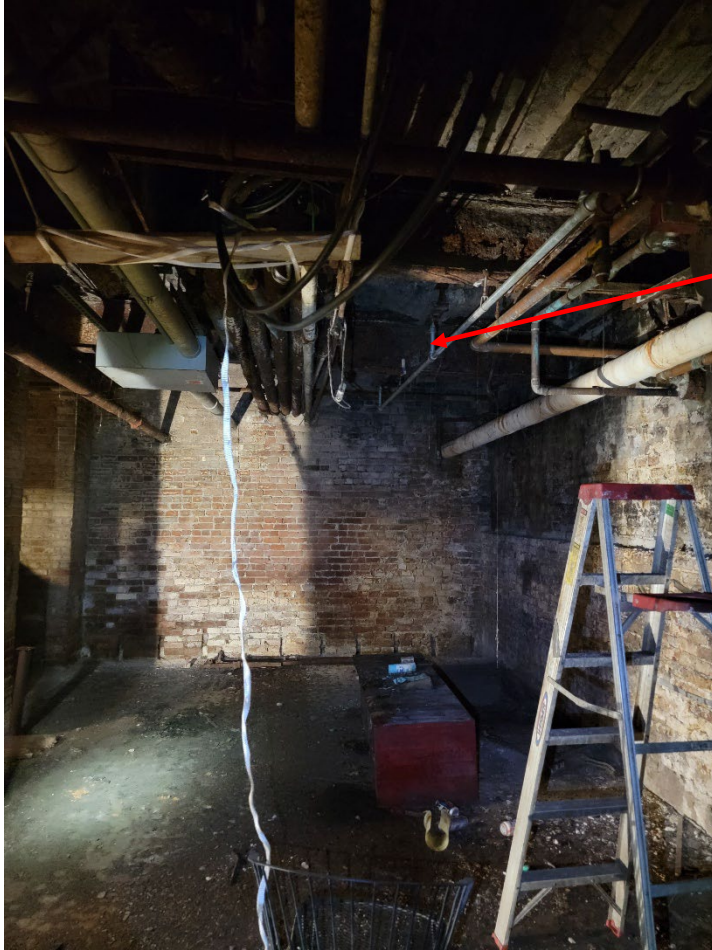


Fig 14: Looking at north at end of areaway with street wall to the right

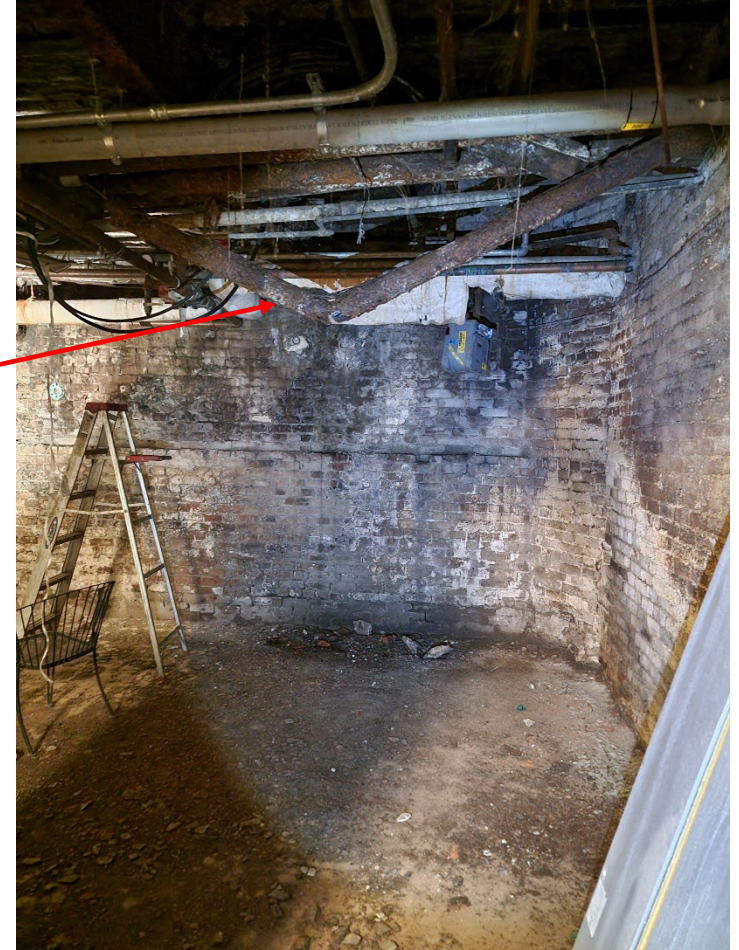


Fig 15: Looking at east at street near south end of areaway

Existing Conditions – ARW-099



Fig 16: Near north end of areaway
looking at street wall



Fig 17: Looking at east at street wall
near middle of areaway

Existing Conditions – ARW-099



Fig 18: Looking east towards areaway from building



Fig 19: Looking east from building at north end of areaway

Existing Conditions – ARW-099



Fig 20: Looking towards the south end of areaway from building

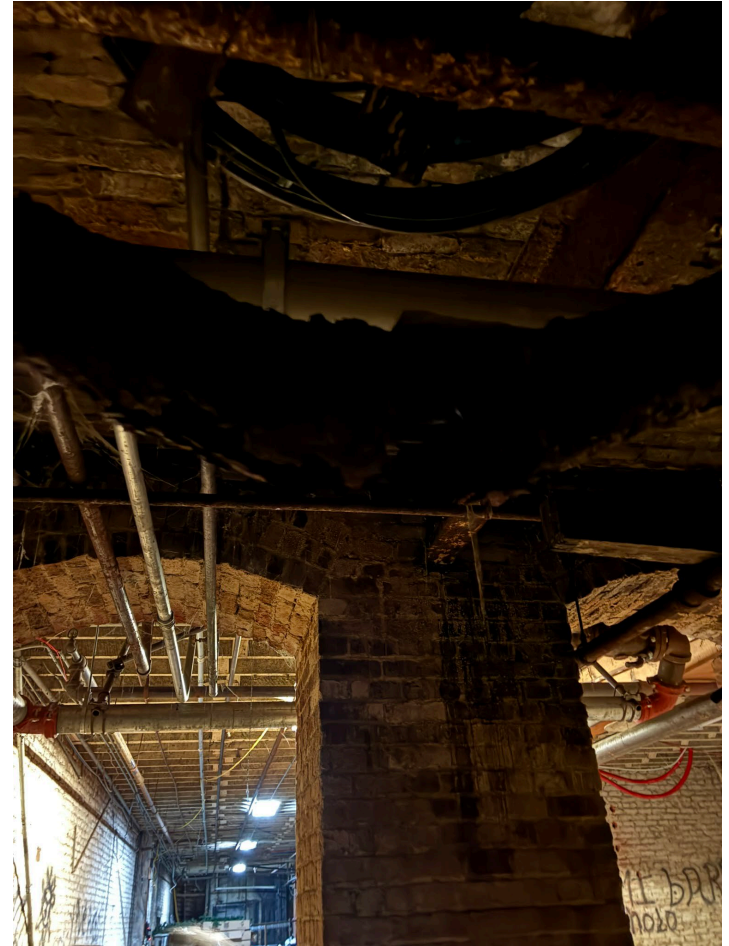


Fig 21: Looking west at building from areaway

Existing Conditions – ARW-099



Fig 22: Northeast corner of areaway



Fig 23: Looking at the south end

Existing Conditions - ARW-099

Portion of
masonry arch
ceiling removed



Fig 24: Ceiling near middle of areaway

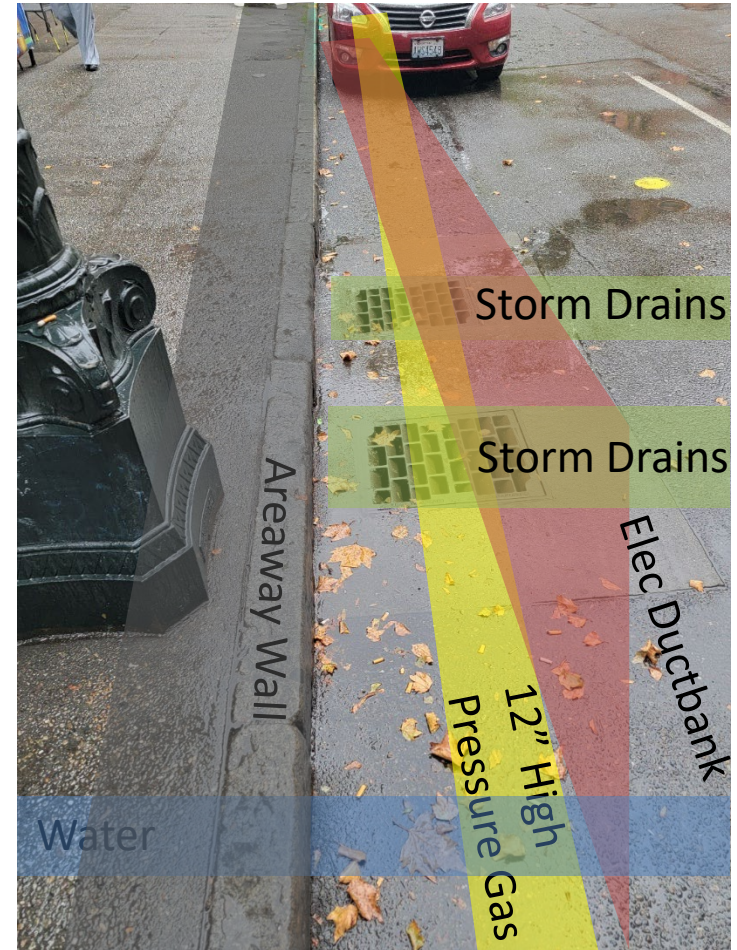


Fig 25: Ceiling near north end of
areaway

Nearby Existing Utilities

- Gas
- Electrical
- Water
- Storm
- Metro Trolley Wires (overhead)

Metro OCS
Wires



SDOT
Seattle Department of Transportation



Traffic Detour/Rerouting



- Southbound street closure requires significant reroute
- General Public and Business Impacts

Existing Construction Areaway Access Routes

- Tenant storefront
- Alley
- Utilize existing areaway ceiling holes



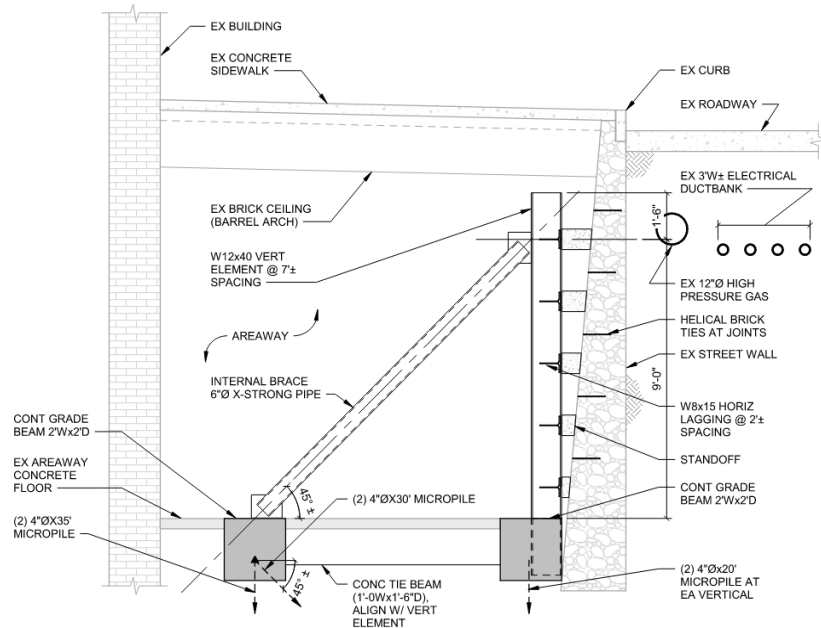
We looked at different systems:

- External Systems
- Internal Systems

Evaluated:

- Community needs
- Impacts to tenants
- Constructability
- Impacts to space and historic construction

Internal Soldier Pile and Internal Braces



Key Considerations

- Space requires small machines to do work
- Areaway Space is reduced and appearance will be changed
- Does not address ceiling member degradation

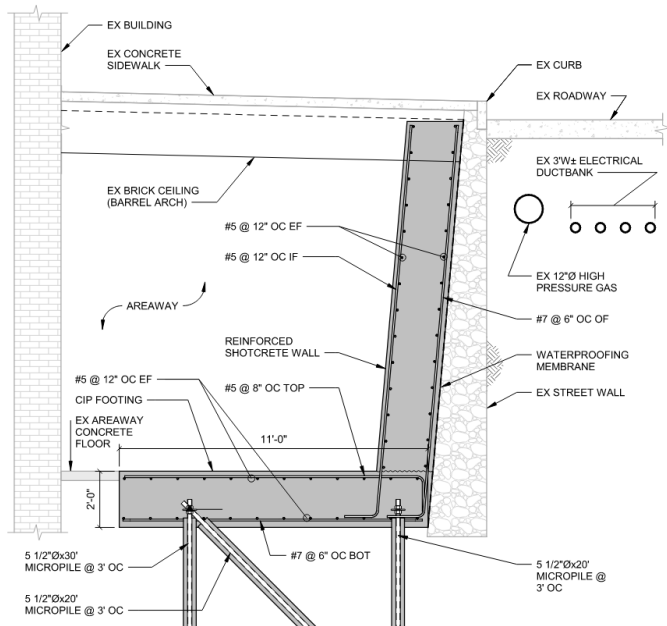
Disadvantages

- Conflict with existing utilities through the wall and within the space
- Future utility penetrations through the lagging and the wall
- Installation of reaction piles is difficult due to access of equipment and clearances
- Interior is visually impacted by the work
- Tenants are heavily impacted.
- Bracing is an additional conflict in the space

Advantages

- Future maintenance can be done from the inside
- Potentially wider spacing of walers with the use of helical ties in the brick
- Limits excavation or installation of piles
- Minimize impacts to architectural features

Internal Shotcrete Wall



Key Considerations

- Tricky construction
- Areaway space is reduced and appearance will be changed
- Does not address ceiling member degradation

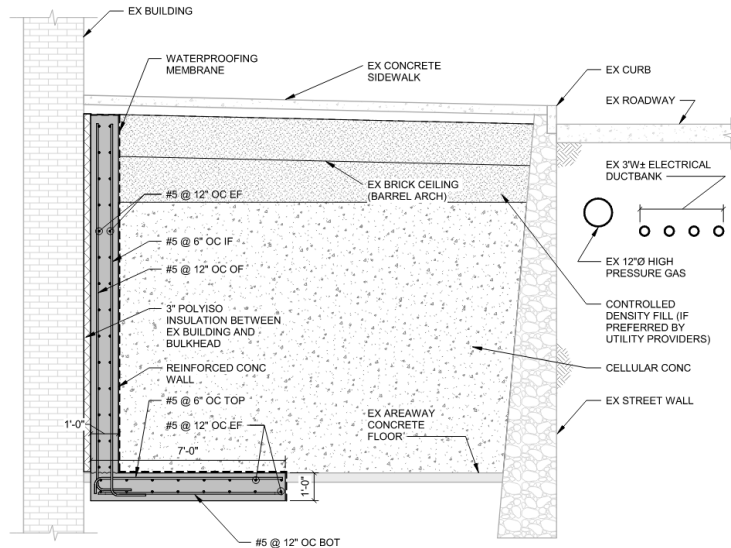
Disadvantages

- Conflict with existing utilities through the wall and within the space
- Future utility penetrations through the wall
- Interior is visually impacted by the work
- Sequencing of CIP footing needs to be sequential to not result in an instability of the wall
- Tenants are heavily impacted.
- Access of shotcrete equipment and concrete trucks

Advantages

- Limits work from within the street
- Limits excavation
- Limited long-term maintenance
- Straight-forward construction

Infill the Areaway



Key Considerations

- Areaway decommissioned limited future public safety issues
- Solves ceiling member degradation

Disadvantages

- Existing utilities have to be coordinated with regards to being changed to below grade
- Future utility penetrations or modifications
- Loss of access to the areaway
 - The street wall would be preserved for future opportunity

Advantages

- Tenants are moderately impacted.
- Limited or no maintenance
- Waterproofing applied and limited pathways
- ARW-099 the ceiling concerns are addressed
- Areaway is preserved

Discussion on Proposed Alternatives

- Understanding aims and goals of the Preservation Board
 - Project Goals
 - Impacts to space and historic construction
 - Mitigation – Historic Preservation considerations
- One solution may not be right for both areaways

Pioneer Square Preservation Board Input

Recommendations from the committee

- Design Elements
- Historic considerations
- Next steps?