



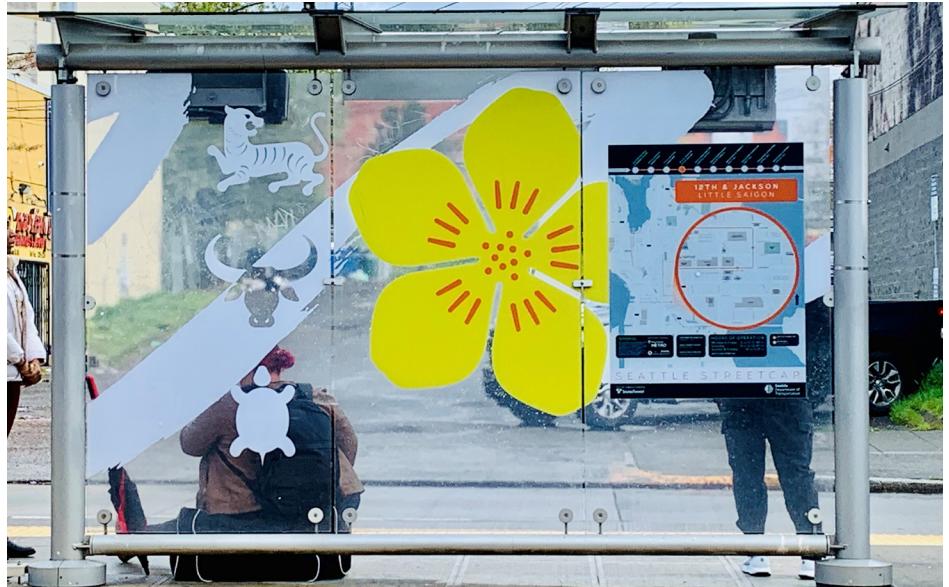
LITTLE SAIGON LANDMARK —

FINAL DESIGN BRIEFING #1 UPDATE

UPDATED CHANGES



LITTLE SAIGON NEIGHBORHOOD & VIETNAMESE CULTURE



COMMUNITY SPIRIT
HARMONY IN LIFE
SOCIAL COHESION
RESPECT FOR THE ELDERS



LITTLE SAIGON NEIGHBORHOOD & VIETNAMESE CULTURE



HOLIDAYS &
CELEBRATION
CUISINE
ARTS & CRAFTS



INSPIRATION - BRICK & TEXTURE

BRICK

A VIETNAMESE MATERIAL

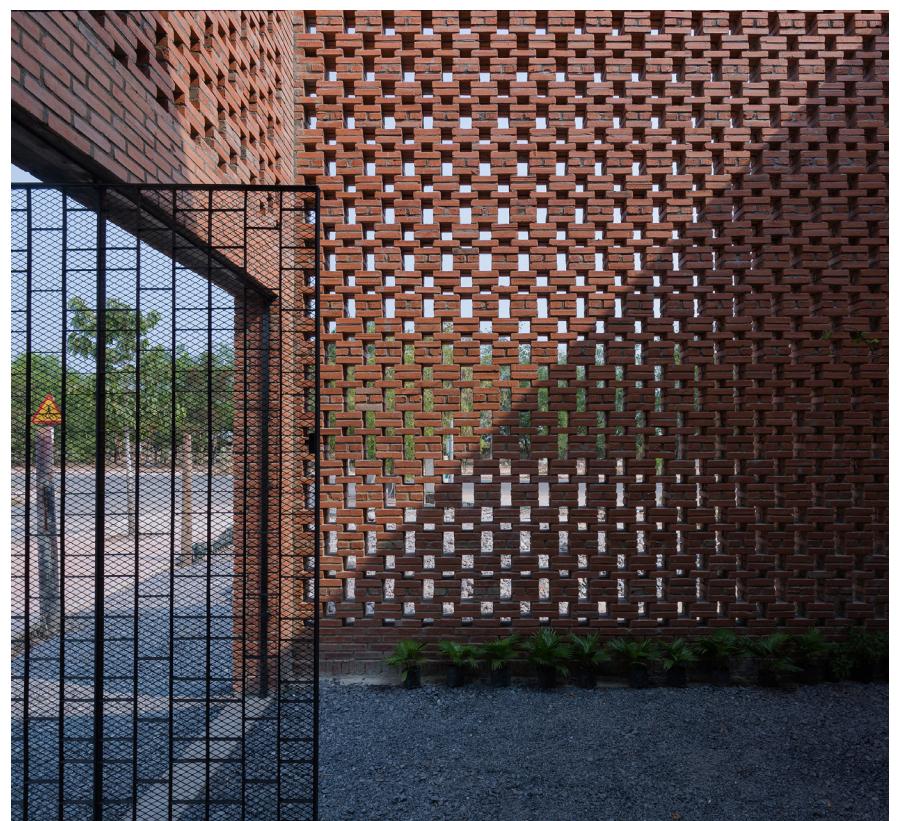
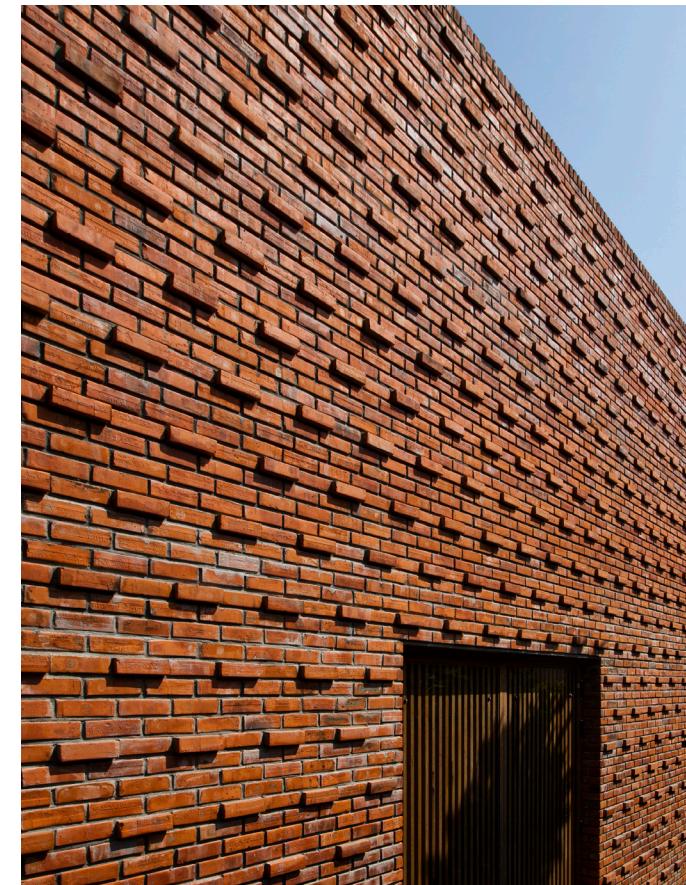
TROPICAL CLIMATE

CULTURAL SIGNIFICANCE

LOCALLY PRODUCED

LOCAL CRAFTSMANSHIP

AFFORDABLE



TEXTURE

BRICK SKIN FORMS

LATTICE

BRICK SCREEN

PROMOTES NATURAL VENTILATION AND DAYLIGHTING

SUPPORTED BUILDING MASSING



MASSING APPROACH

Clear expression of building program

6-story upper mass - residential units
over 1-story base - cultural center
& residential amenity space

Upper mass is setback by 11' from lot line
along 10th Avenue S due to the existing
overhead power line (14' clearance
from the closest wire to face of building
required by Seattle City Light)

Distinctive building base to highlight
cultural center at street level

Building base is setback by 5'
along S Jackson Street to enhance
pedestrian experience

Simple form with vertical recesses to bring
natural light at the end of corridors

C-shape configuration with podium-
level courtyard facing east

VIEW LOOKING FROM NORTHWEST



KEY FACADE DESIGN STRATEGIES

Incorporating community input

Stands out being a cultural center

Simplicity & timeless

Natural & authentic

Vertical stacking window pattern

Texture

Clear expression of building program

7-story upper mass - residential units
over 2-story base - cultural center
& residential amenity space

Building base:

Distinctive building base to highlight
cultural center at street level

Use of brick & wood to express
connection to nature

Brick details to add texture

Dark bronze storefront & canopy

Upper level:

Vertical stacking window pattern

Simplicity & timeless - window
pattern, material, color

Window shroud - add shadows
and reinforce vertical stacking

Thin brick - add residential
scale and texture

Incorporate 6-story tall wall mural

VIEW LOOKING FROM NORTHWEST



8

VIEW LOOKING FROM NORTH



9

VIEW LOOKING FROM NORTHEAST



10

VIEW LOOKING FROM NORTHWEST



11

VIEW LOOKING FROM SOUTHWEST



12

VIEW LOOKING FROM NORTHWEST



VIEW LOOKING FROM WEST



14

VIEW LOOKING FROM NORTHEAST



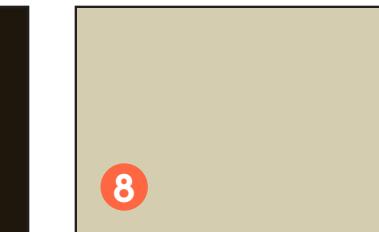
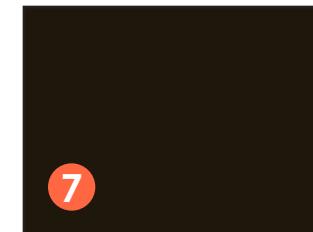
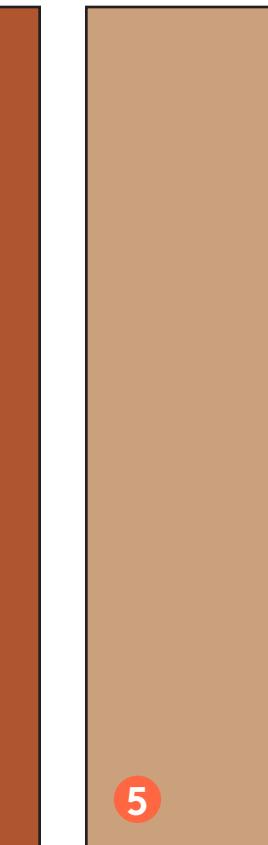
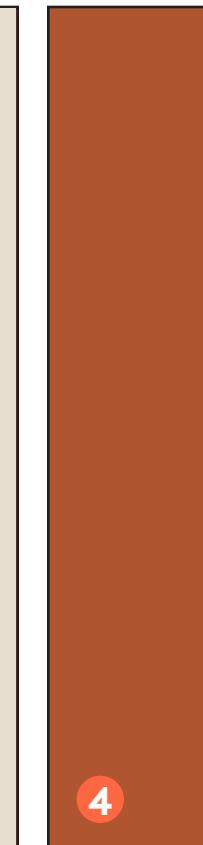
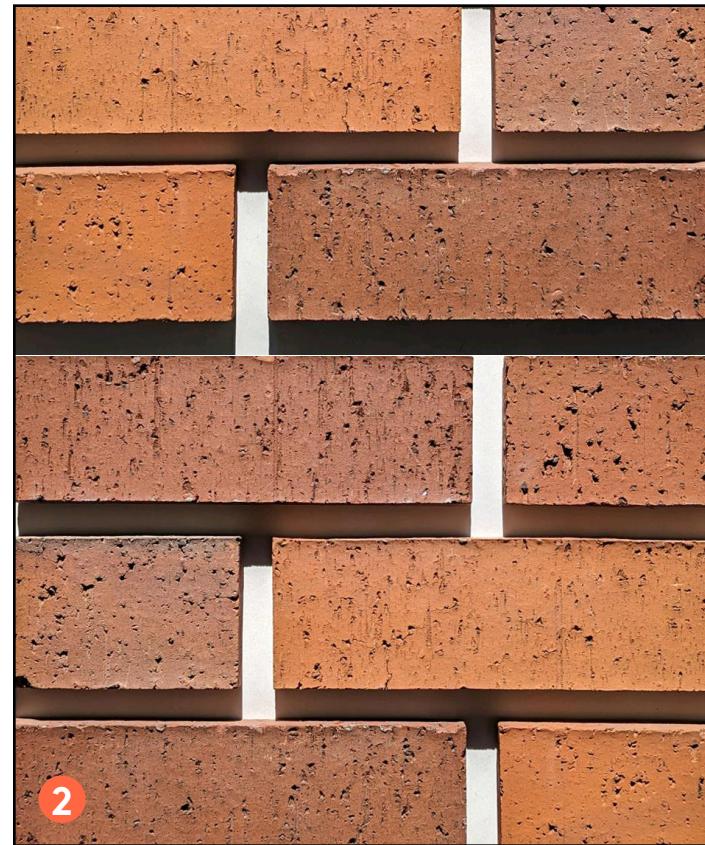
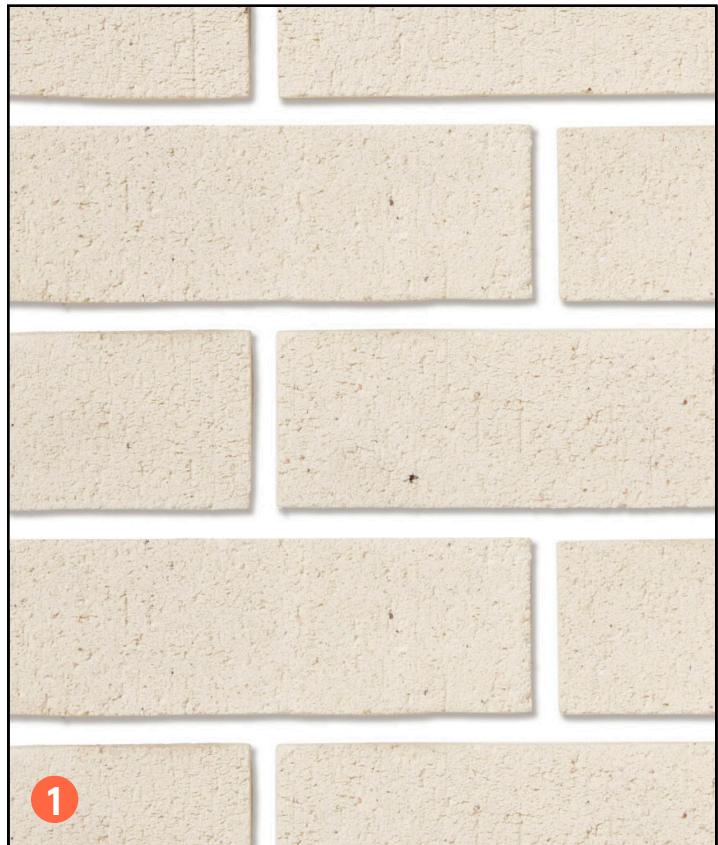
15

VIEW LOOKING FROM WEST



16

BUILDING MATERIALS



LEGEND

- 1 THIN BRICK, "MUTUAL MATERIAS" DESERT BLEND
STACKED BOND, SMOOTH TEXTURE
- 2 BRICK, "MUTUAL MATERIALS" AUTUMN BLEND
RUNNING BOND, MISSION TEXTURE
- 3 FIBER CEMENT PANEL, PAINTED, P1
- 4 FIBER CEMENT PANEL, PAINTED, P2
- 5 METAL WINDOW SHROUD, PAINTED, P3
- 6 WOOD SOFFIT, STAINED
- 7 ALUM STOREFRONT MULLION COLOR, DARK BRONZE
- 8 VINYL WINDOW, ADOBE
- 9 CONCRETE

FRIENDS OF LITTLE SAIGON'S ART PLAN



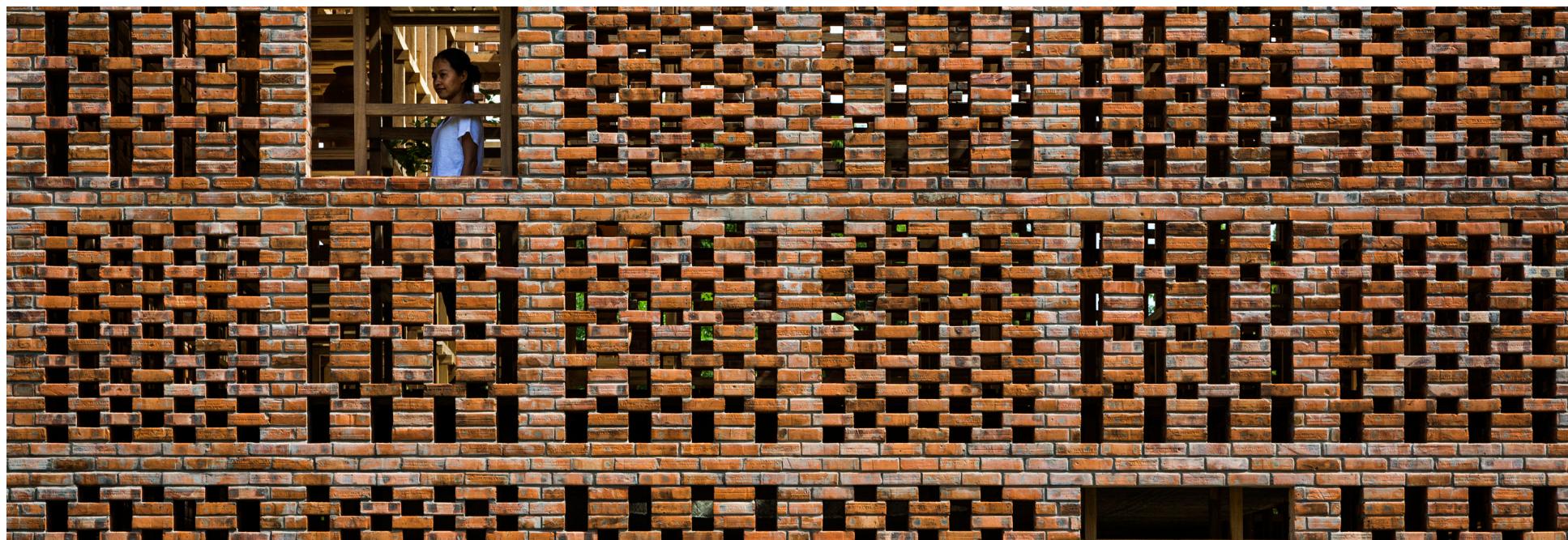
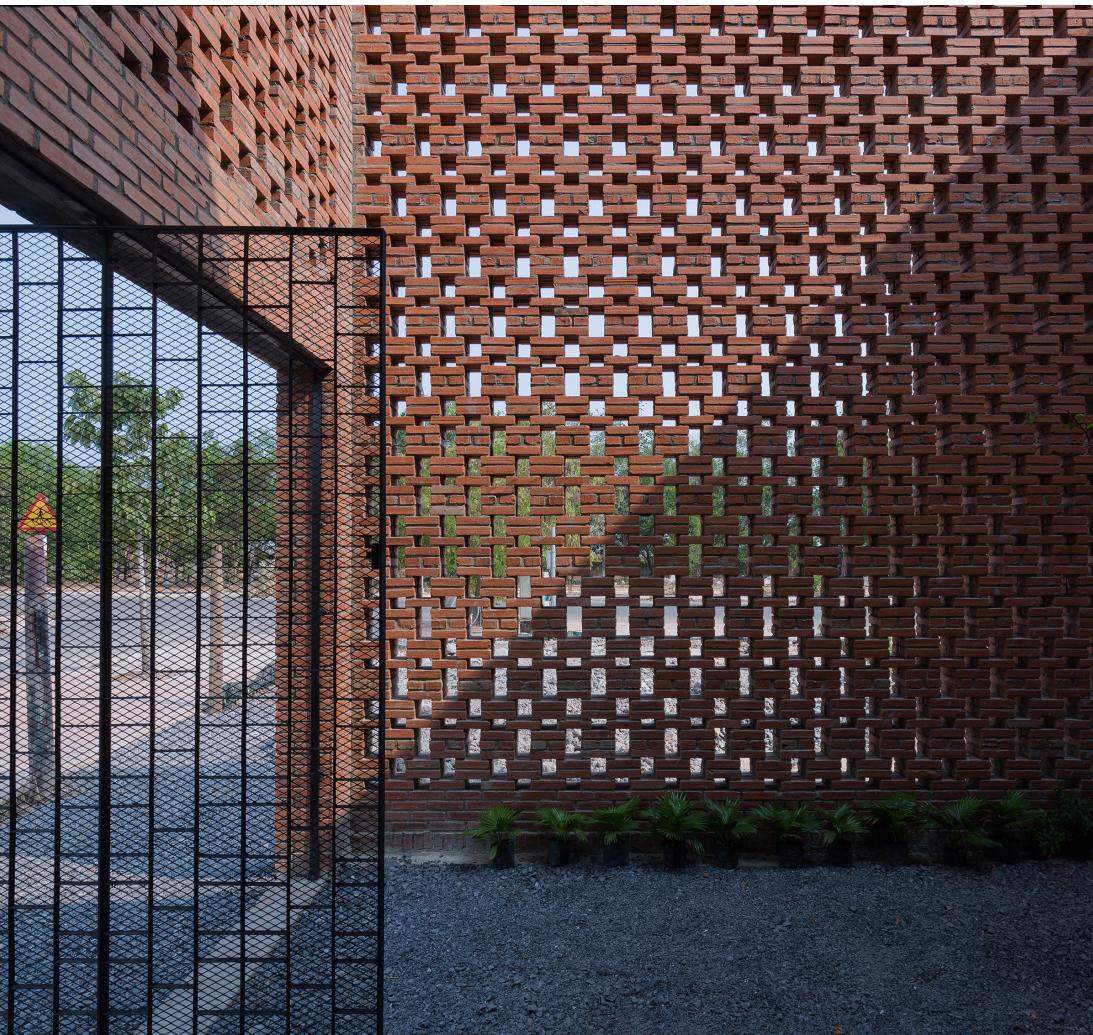
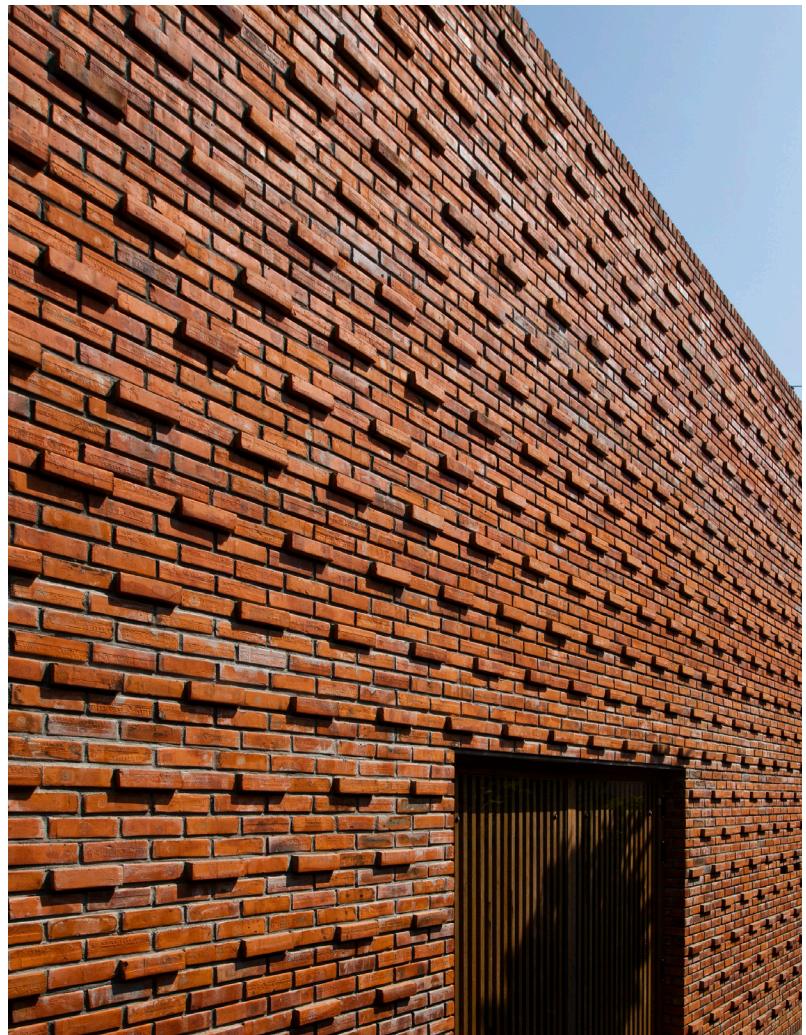
THE ART FOR THE LANDMARK PROJECT WILL CELEBRATE THE VIETNAMESE AMERICAN EXPERIENCE AND CENTER THE COMMUNITY'S IDENTITY IN SEATTLE'S LITTLE SAIGON. THIS ART WILL SERVE AS A VISUAL REPRESENTATION OF STORYTELLING, CONTINUING TO BUILD ON THE COMMUNITY'S NARRATIVE.

THE BUILDING DESIGN IS INFLUENCED BY VIETNAMESE CULTURE, WITH THE PACIFIC NORTHWEST AS A BACKDROP. IT DRAWS INSPIRATION FROM NATURAL MATERIALS FROM VIETNAM, COLORS REMINISCENT OF THE VIETNAMESE CULTURE AND ECONOMIC CENTER. THE ART FOR THE BUILDING SHOULD BUILD ON THESE DESIGN ELEMENTS, ENHANCING THE CULTURAL EXPRESSION OF THE OVERALL PROJECT.

ART OPPORTUNITIES - 1. WALL MURAL



ART OPPORTUNITIES - 2. BRICK DETAILS



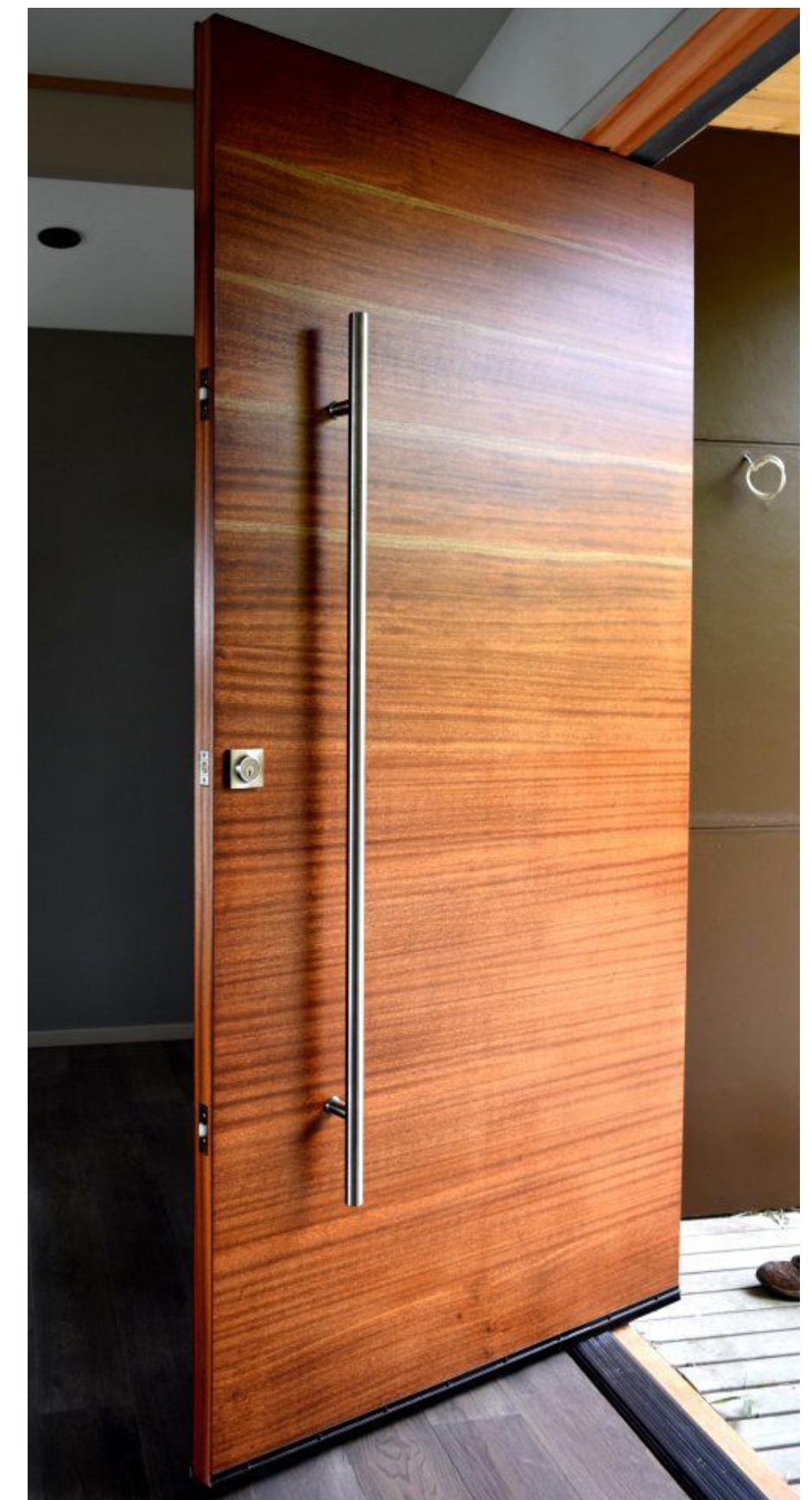
ART OPPORTUNITIES - 3. CANOPY ART



ART OPPORTUNITIES - 4. BANNER ART



ART OPPORTUNITIES - 5. WOOD ENTRY DOOR



ART OPPORTUNITIES - NORTH ELEVATION



ART OPPORTUNITIES - WEST ELEVATION

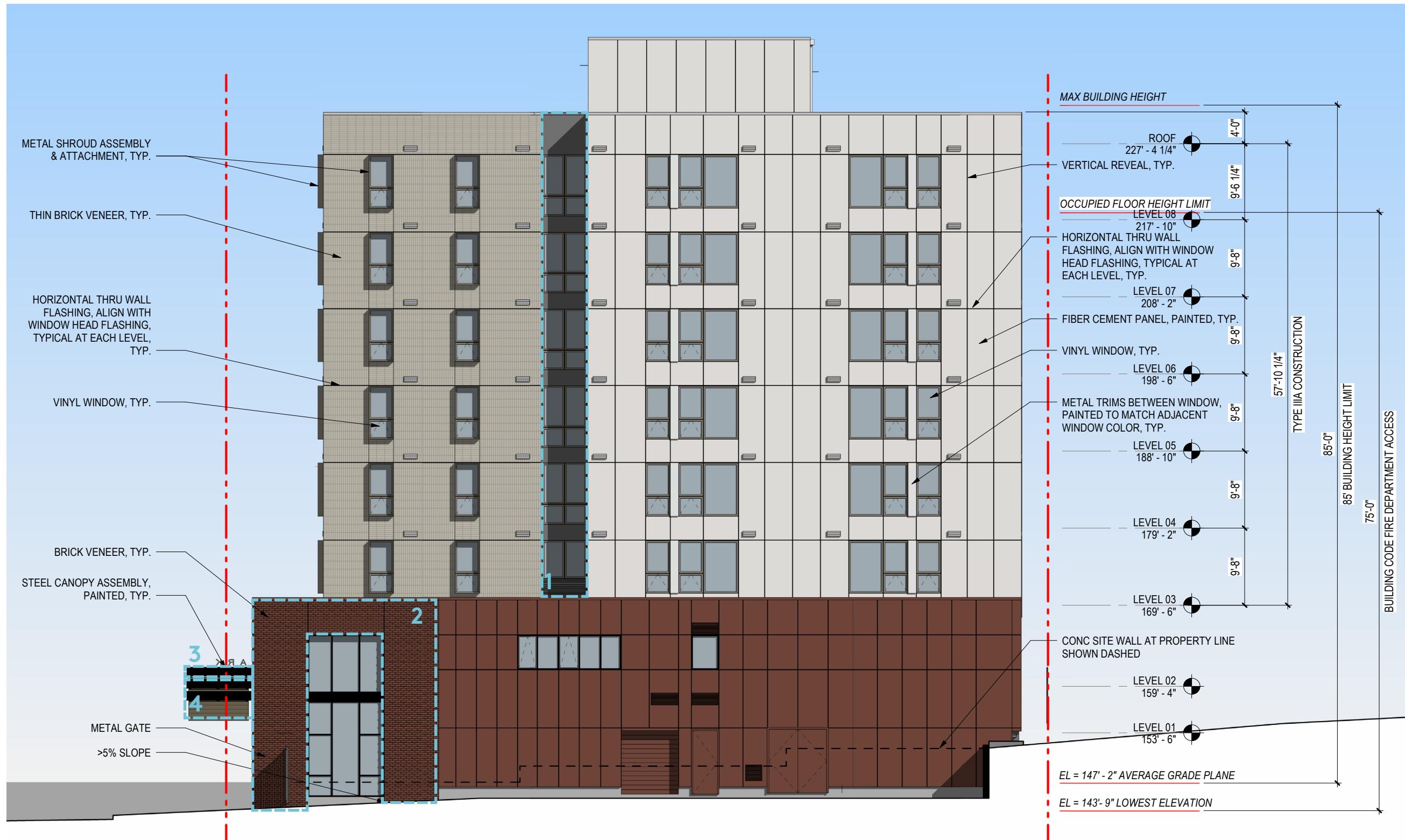


ART OPPORTUNITIES - EAST ELEVATION



1 - WALL MURAL

ART OPPORTUNITIES - SOUTH ELEVATION

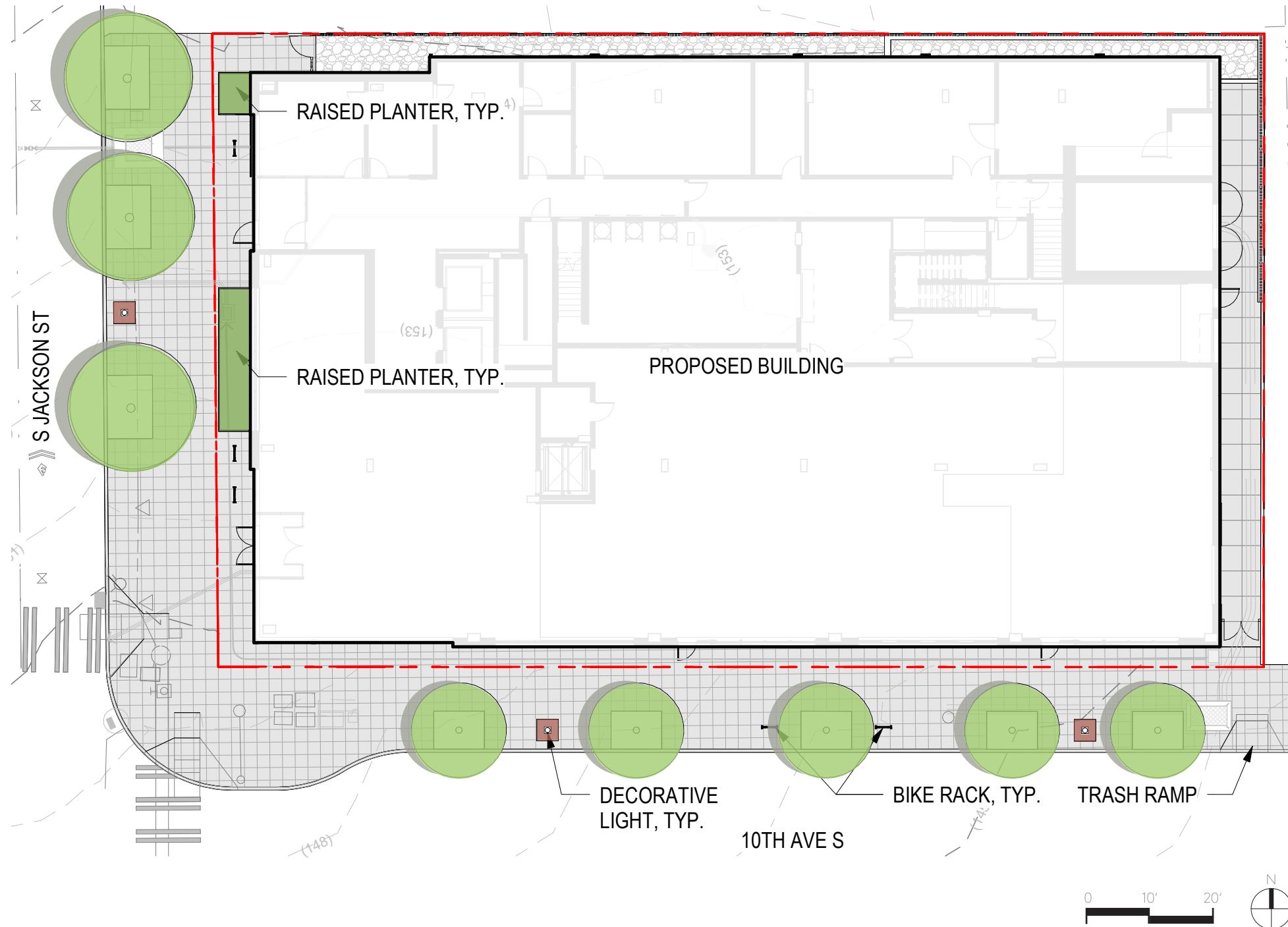


1 - WALL MURAL 2 - BRICK DETAILS 3 - CANOPY ART 4 - BANNER ART

ART OPPORTUNITIES - 3D VIEWS - WALL MURAL



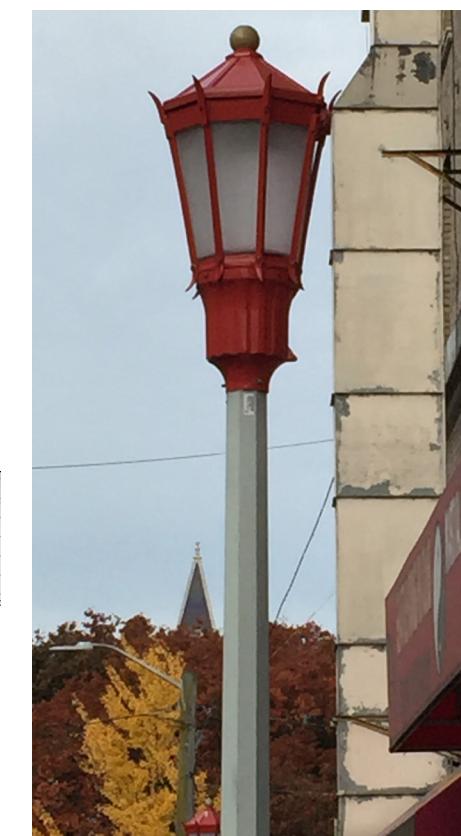
PROPOSED STREETSCAPE PLAN



RED HORSE CHESTNUT
ON S JACKSON ST



SARGENT'S CHERRY ON 10TH AVE S



CHINATOWN INTERNATIONAL
DISTRICT STREET LIGHT



SARGENT'S CHERRY IN SPRING

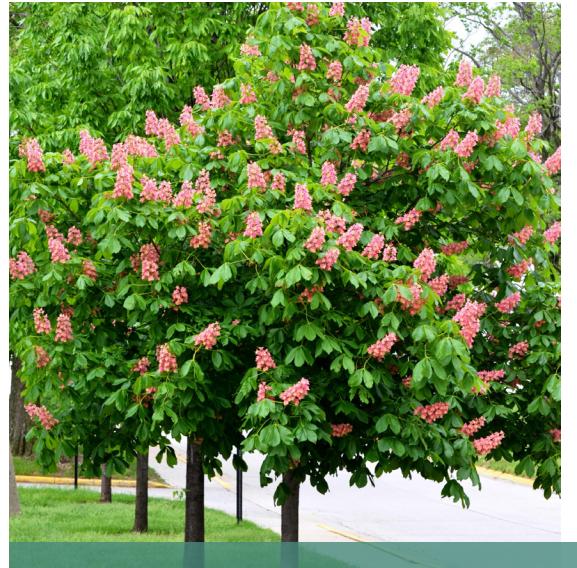


SARGENT'S CHERRY IN FALL

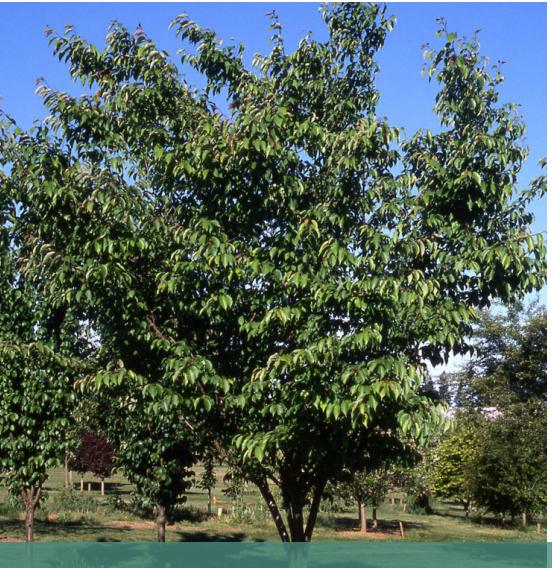


PROPOSED BIKE RACK

LANDMARK PLANTING PALETTE



Aesculus x carnea 'Briottii'



Prunus sargentii

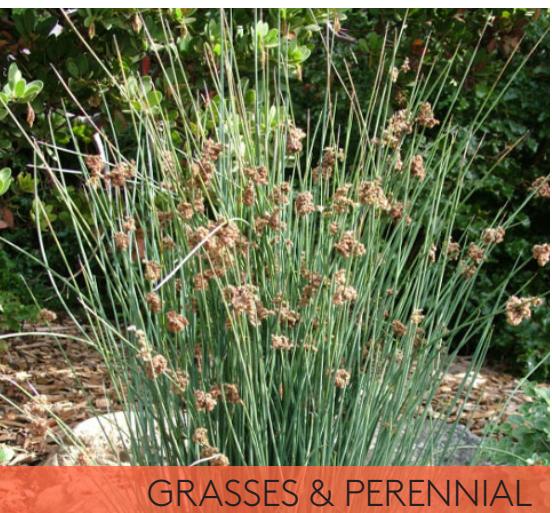


Albizia julibrissin

TREES



Hakonechloa macra



Juncus patens



Phyllostachys aureosulcata 'Spectabilis'



Pleioblastus pygmaeus

BAMBOO



Sedum spp.

GREEN ROOF



Cornus sericea 'Flaviramea'



Vaccinium ovatum 'Scarlet Ovation'



Crocosmia 'Lucifer'



Iris douglasiana

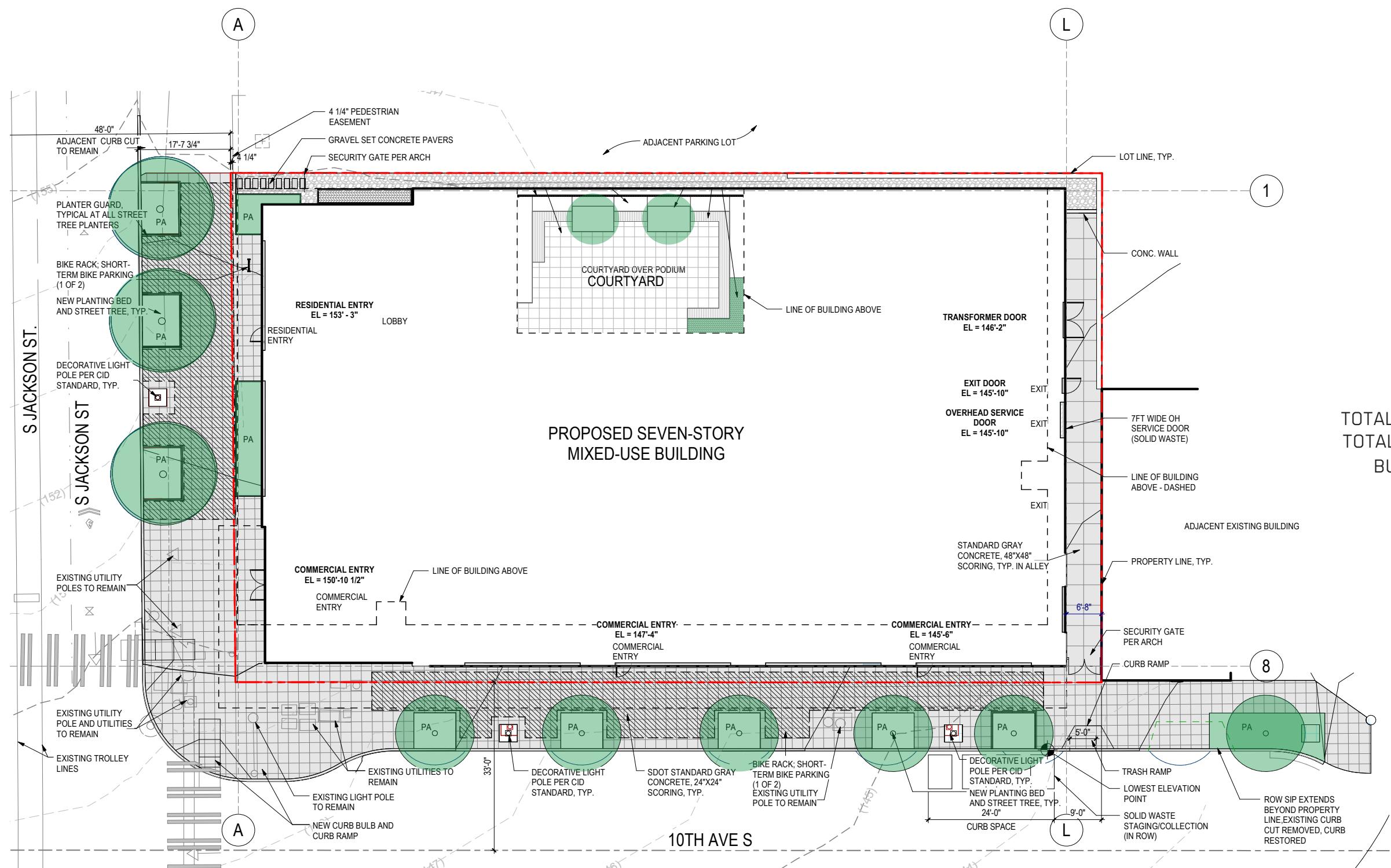
BULBS



Epimedium x perralchicum 'Frohnleiten'

GROUNDCOVER

PROPOSED SITE PLAN



SUMMARY

LEVEL 1	
COMMERCIAL	APPROX. 6,805 GSF
RESIDENTIAL	APPROX. 6,630 GSF
LEVEL 2	
COMMERCIAL	APPROX. 3,750 GSF
LEVEL 3	
RESIDENTIAL	APPROX. 11,390 GSF
LEVEL 4	
RESIDENTIAL	APPROX. 11,390 GSF
LEVEL 5	
RESIDENTIAL	APPROX. 11,390 GSF
LEVEL 6	
RESIDENTIAL	APPROX. 11,390 GSF
LEVEL 7	
RESIDENTIAL	APPROX. 11,390 GSF
LEVEL 8	
RESIDENTIAL	APPROX. 11,390 GSF
COMMERCIAL	APPROX. 10,550 GSF
RESIDENTIAL	APPROX. 75,160 GSF
BUILDING TOTAL	APPROX. 85.710 GSF

UNIT COUNT

3B/1.5B 12 UNITS (17.1%)
2B/1B 34 UNITS (48.6%)
1B/1B 24 UNITS (34.3%)

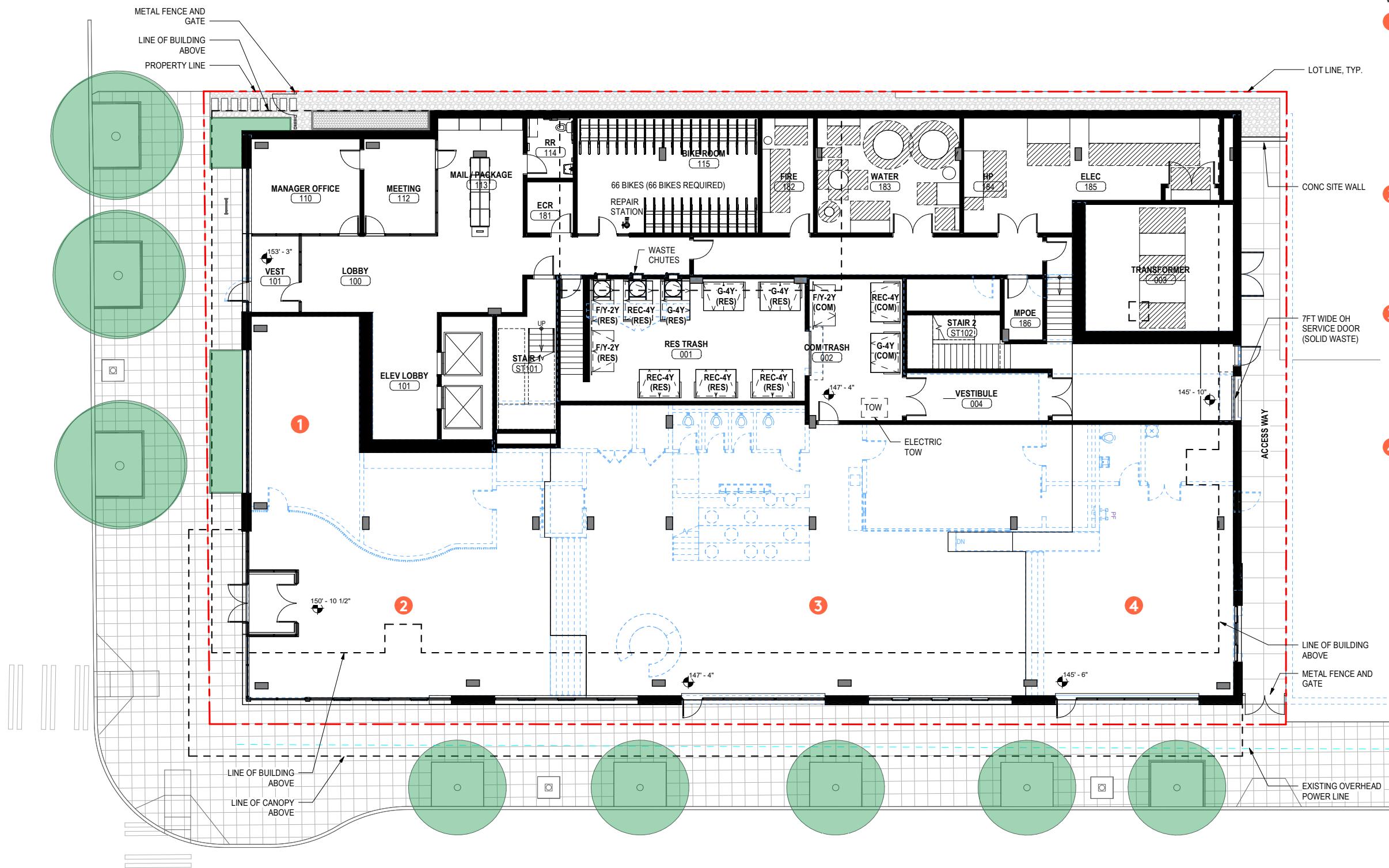
TOTAL 70 UNITS

TYPE A UNITS

3B/1.5B 1 UNIT
2B/1B 2 UNIT
1B/1B 1 UNITS
TOTAL 4 UNITS. 5% OF TOTAL UNITS



PROPOSED LEVEL 1 FLOOR PLAN



PROPOSED STREET LEVEL USES

OVERALL USE: INSTITUTION/ VIETNAMESE COMMUNITY CENTER

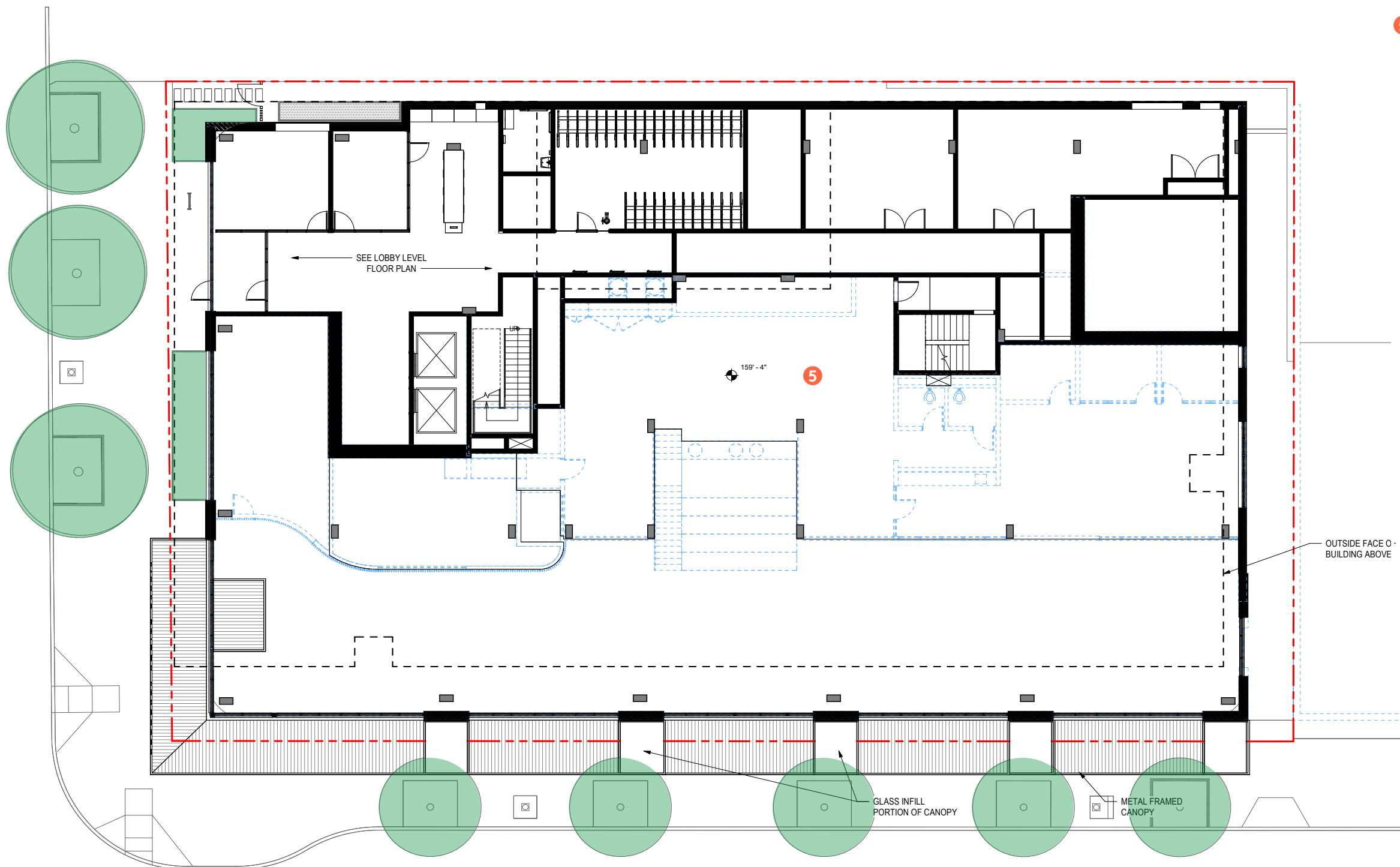
1 VIETNAMESE COMMUNITY KITCHEN, 600 SF, ACCESSORY TO AN INSTITUTION/ COMMUNITY CENTER, CLASSIFIED AS "GENERAL SALES AND SERVICE", PER DEFINITIONS 23.84A.014 "SERVICES ARE PROVIDED PRIMARILY FOR PERSONAL USE" AND "A GENERAL SALES AND SERVICE USE THAT IS NOT A MULTI-PURPOSE RETAIL SALES USE". PER 23.66.308, IT IS A PREFERRED USE EAST OF I-5, "WITH AN ASIAN PRODUCT, SERVICE OR TRADE".

2 VIETNAMESE EATING AND DRINKING ESTABLISHMENT, 1,200 SF ACCESSORY TO AN INSTITUTION/COMMUNITY CENTER. RESTAURANT IS A PREFERRED USE PER 23.66.308, WITH AN ASIAN PRODUCT, SERVICE, OR TRADE. 23.49.009 STREET LEVEL USES DOES NOT APPLY.

3 VIETNAMESE COMMUNITY CENTER, 3,000 SF OF INSTITUTION/COMMUNITY CENTER AT GRADE WITH ACCESSORY MICRO-RETAIL SHOPS. PER 23.66.308 IT IS A PREFERRED USE EAST OF I-5, "WITH AN ASIAN PRODUCT, SERVICE OR TRADE". 23.49.009 STREET LEVEL USES DOES NOT APPLY.

4 VIETNAMESE EATING AND DRINKING ESTABLISHMENT, 1,200 SF ACCESSORY TO AN INSTITUTION/COMMUNITY CENTER. RESTAURANT IS A PREFERRED USE PER 23.66.308, WITH AN ASIAN PRODUCT, SERVICE, OR TRADE. 23.49.009 STREET LEVEL USES DOES NOT APPLY.

PROPOSED LEVEL 2 PLAN



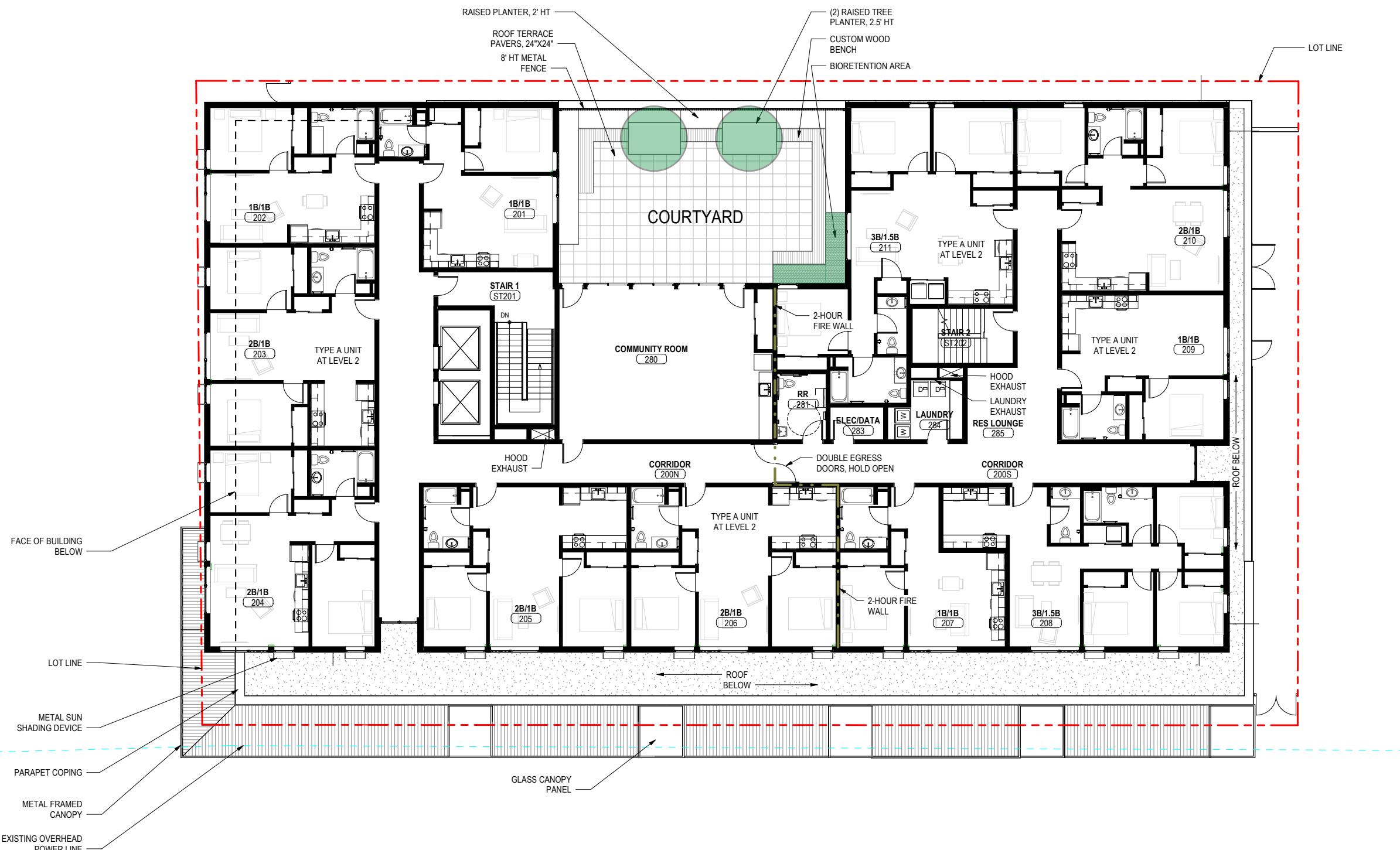
PROPOSED STREET LEVEL USES

OVERALL USE: INSTITUTION/
VIETNAMESE COMMUNITY CENTER

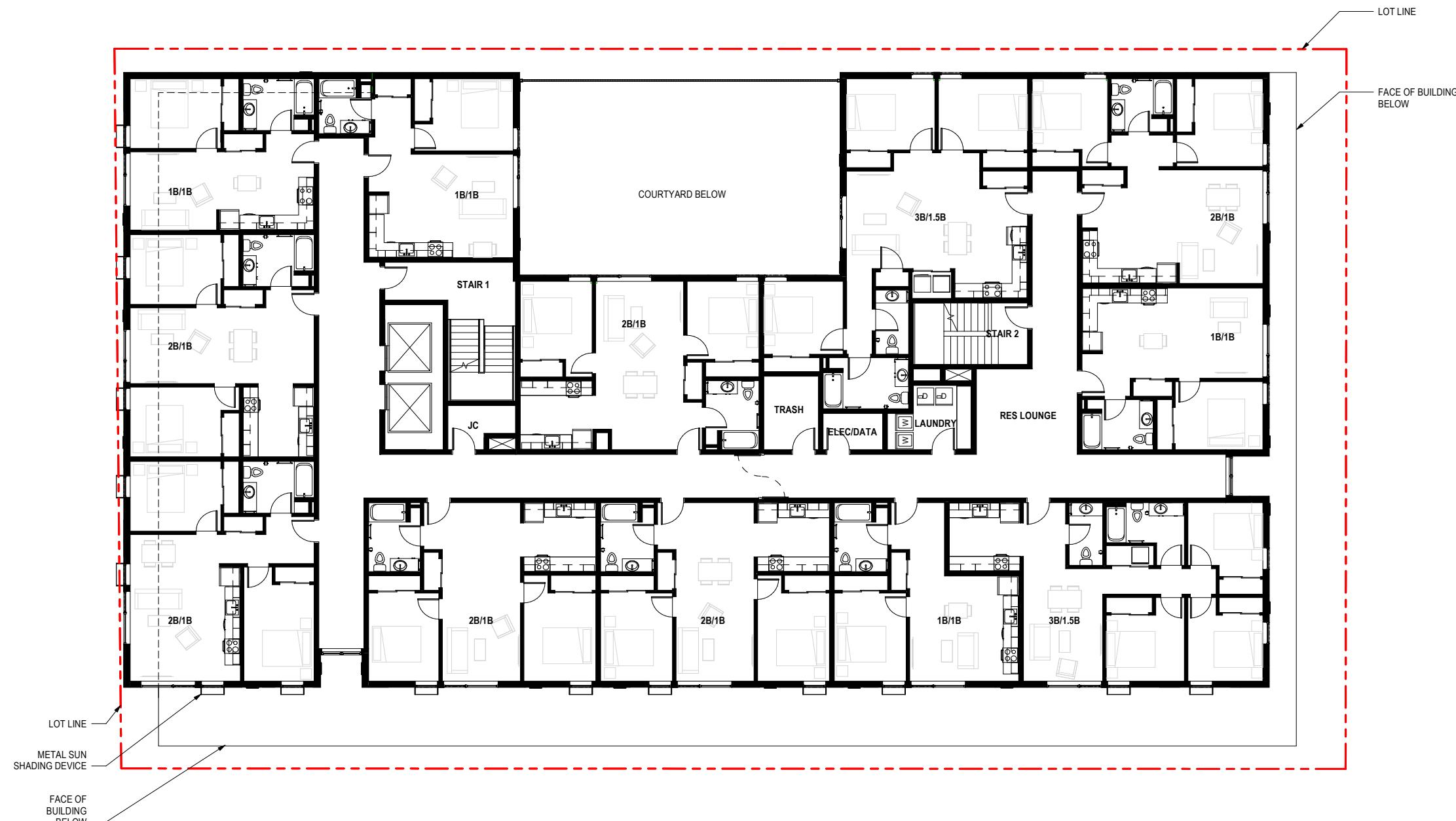
5 VIETNAMESE COMMUNITY CENTER:
GALLERY AND OFFICES, 3,500 SF
INSTITUTION/ COMMUNITY CENTER. USE
IS CONSISTENT WITH 23.66.308 PREFERRED
USES, CONTRIBUTING TO THE FUNCTION AND
PURPOSES OF THE ID EAST OF I-5. 23.49.009
STREET LEVEL USES DOES NOT APPLY.

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PROPOSED LEVEL 3 FLOOR PLAN



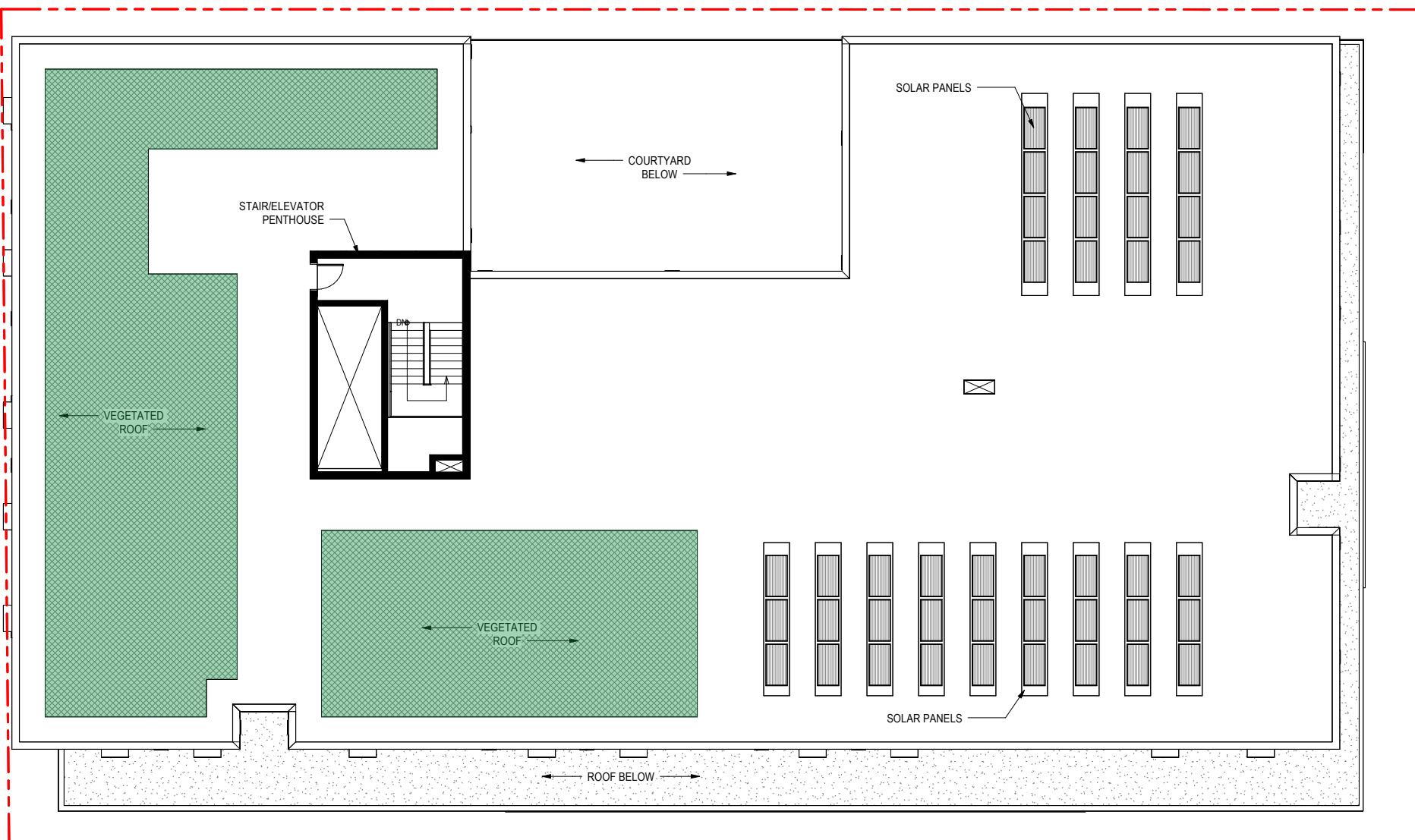
PROPOSED LEVEL 4 TO LEVEL 8 FLOOR PLAN



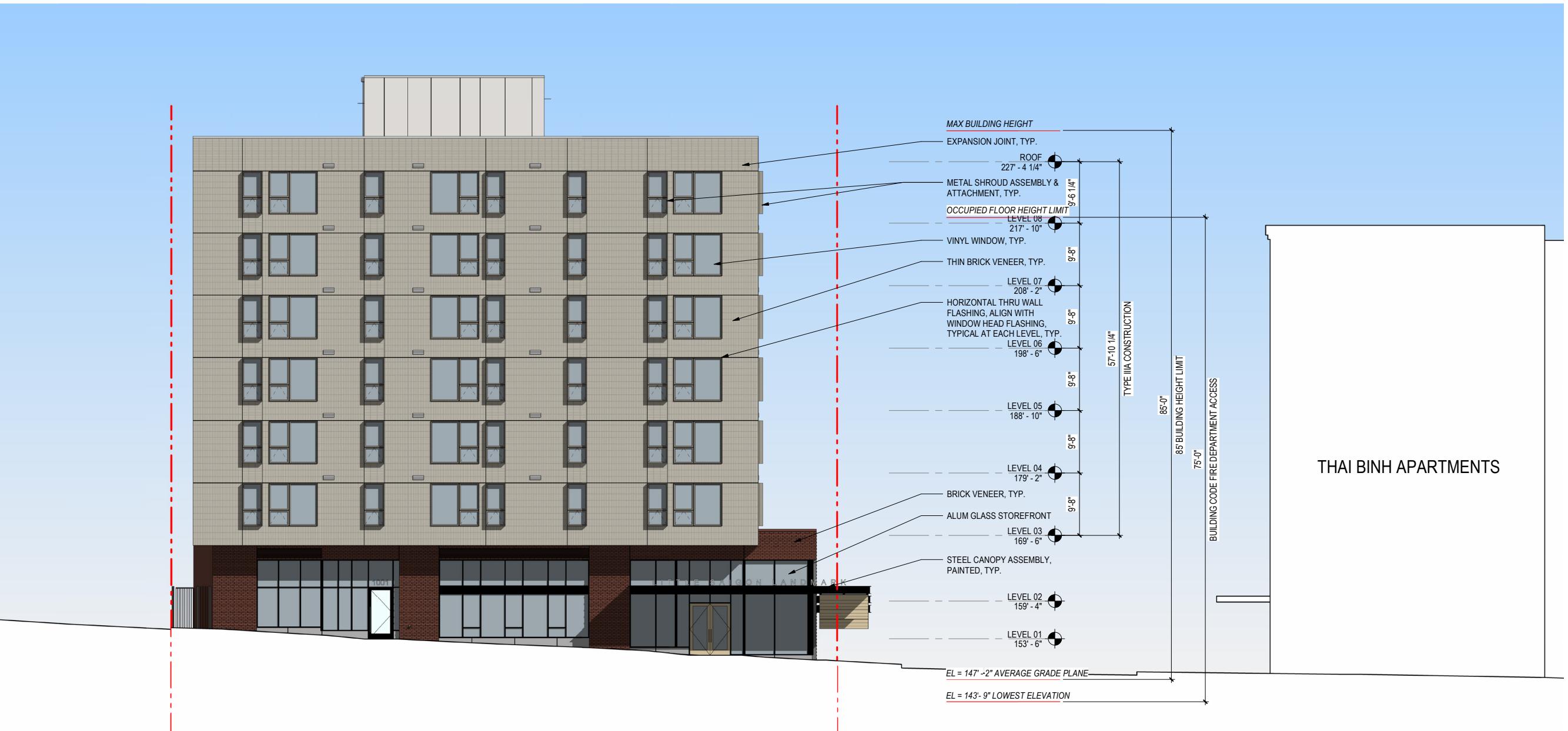
34



PROPOSED ROOF PLAN



PROPOSED BUILDING ELEVATIONS - NORTH



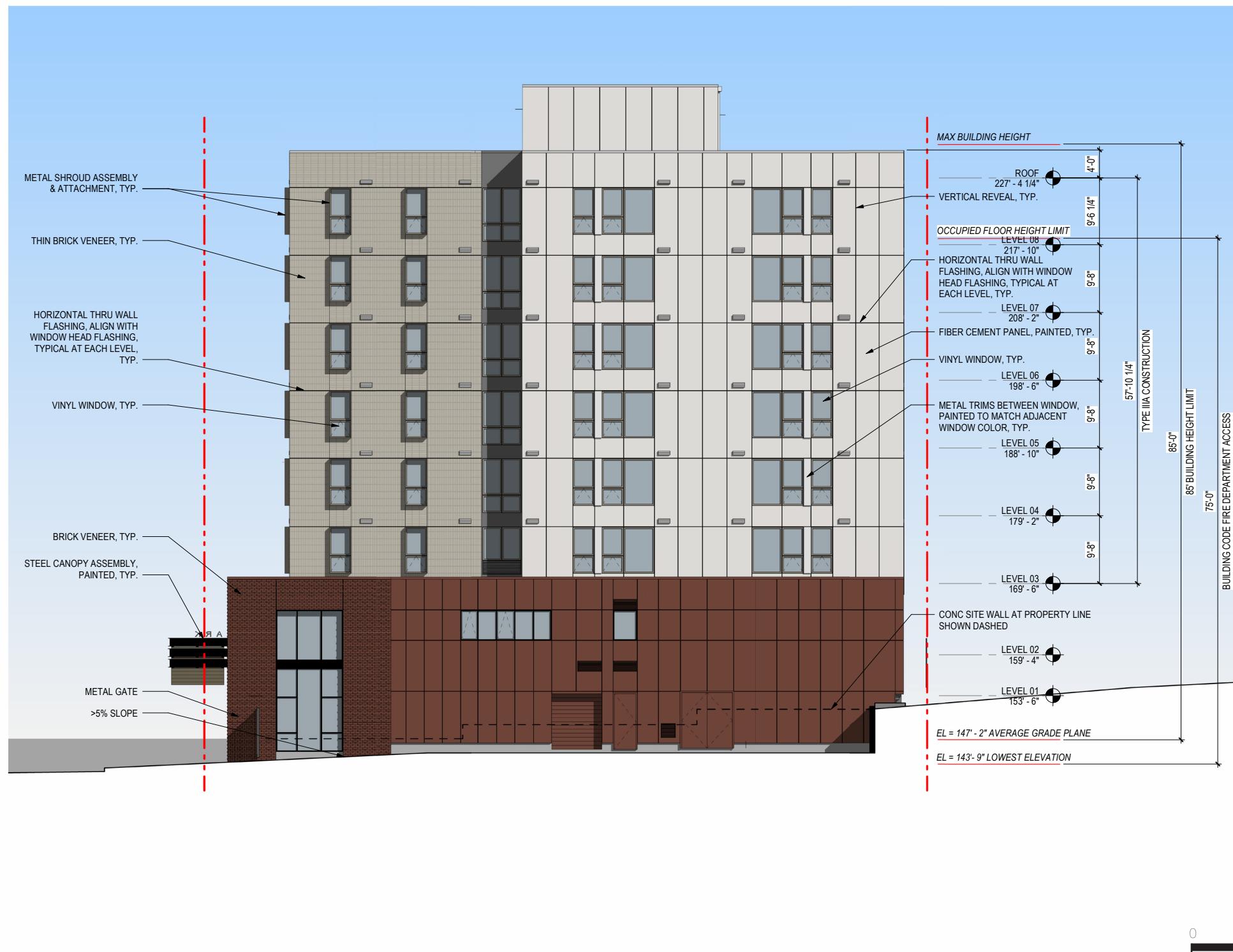
0 8' 16'

PROPOSED BUILDING ELEVATIONS - WEST

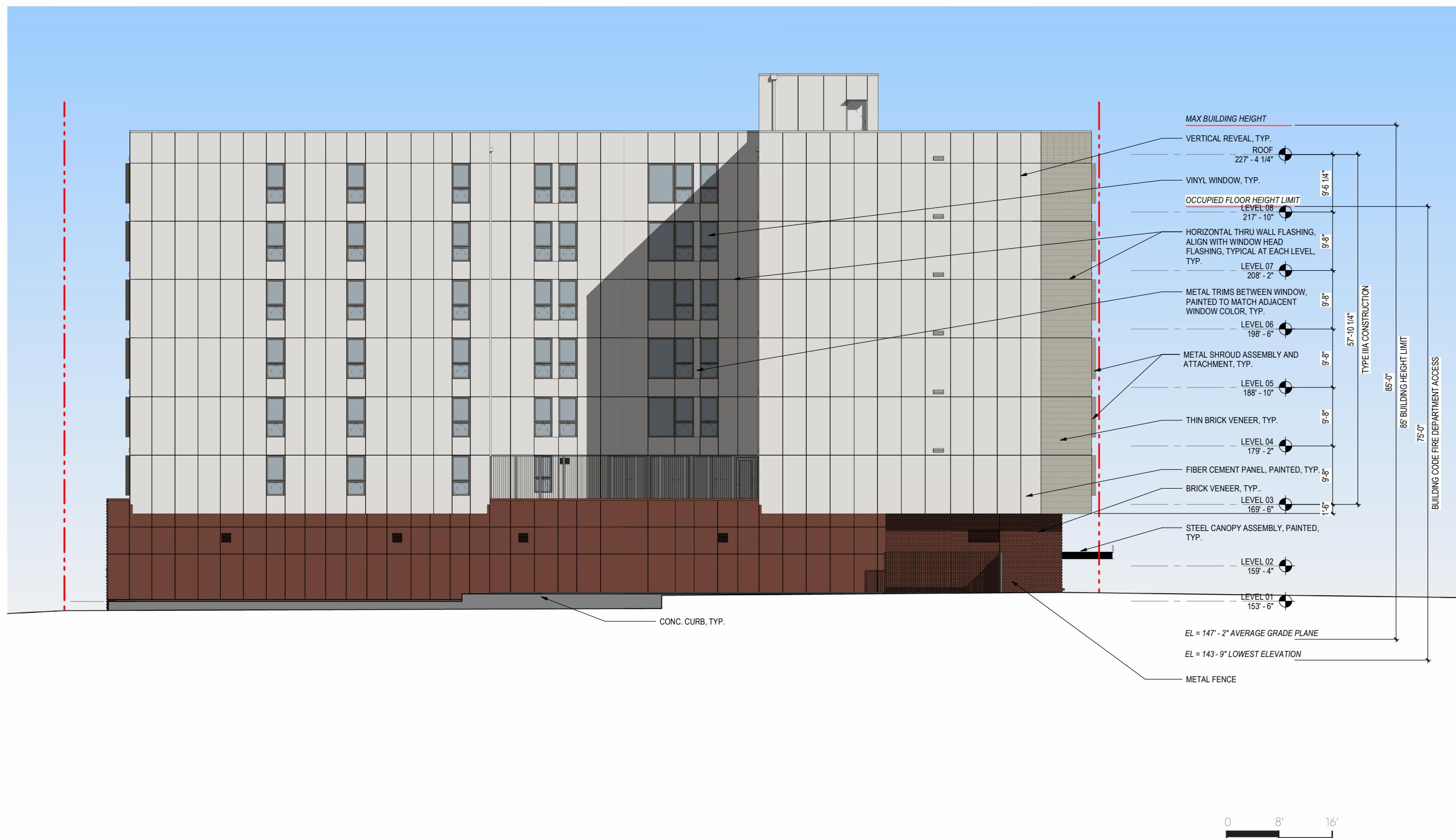


PROPOSED BUILDING ELEVATIONS - SOUTH

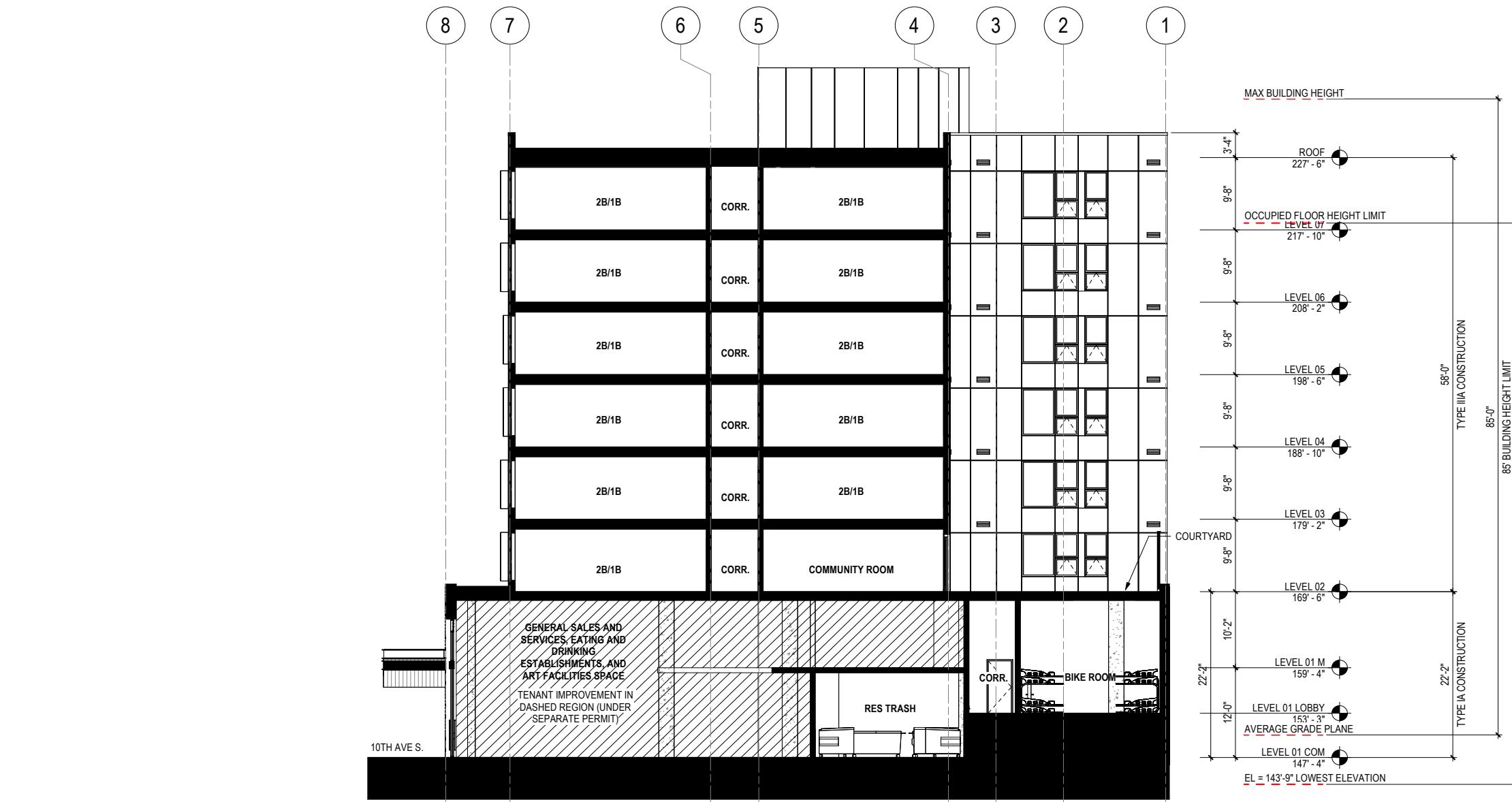
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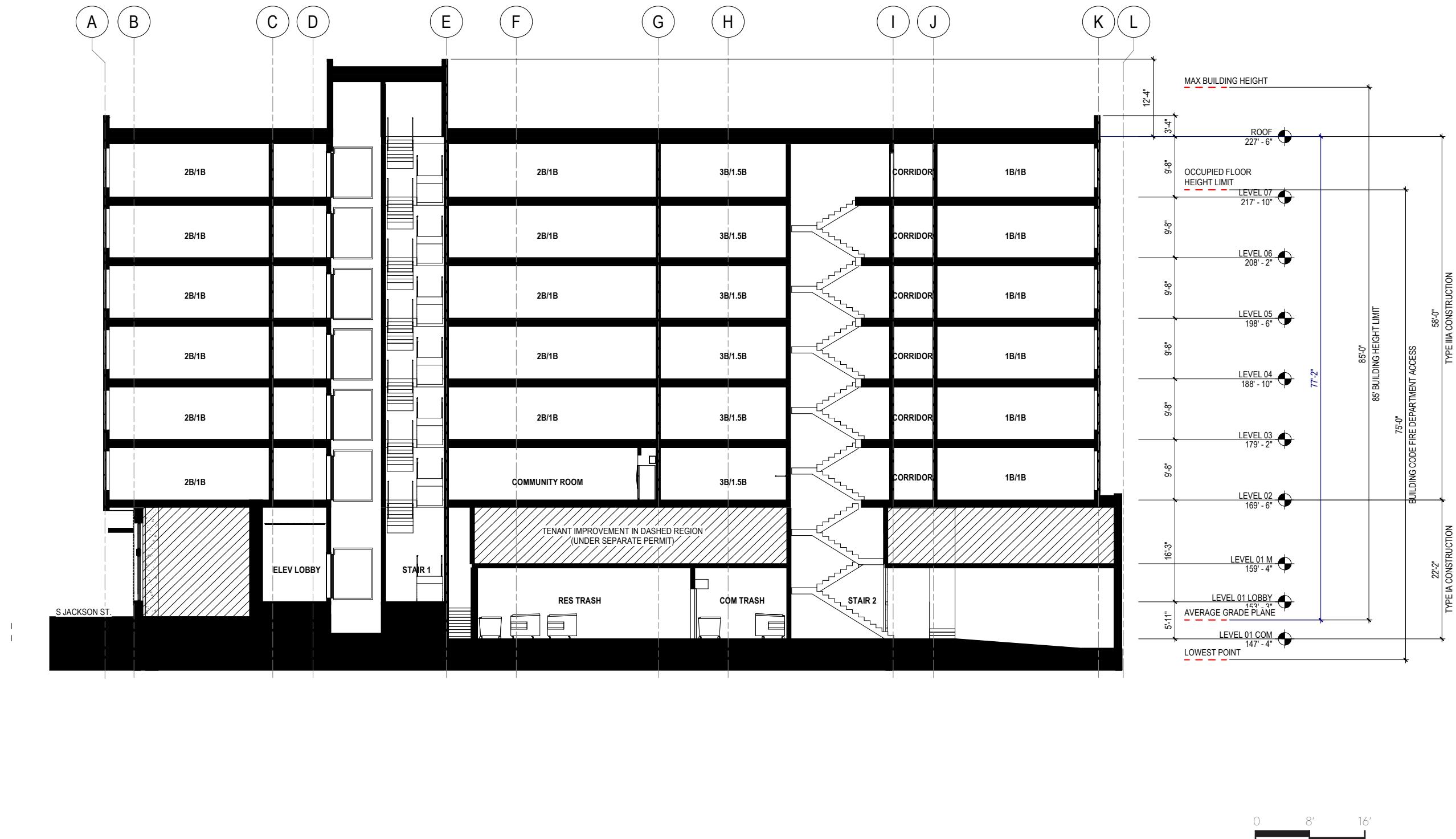
PROPOSED BUILDING ELEVATIONS - EAST (COURTYARD)



PROPOSED E-W BUILDING SECTION



PROPOSED N-S BUILDING SECTION



DEPARTURE #1



COMMON RECREATION AREA - 23.49.010.B

CODE STANDARD:

B. COMMON RECREATION AREA IS REQUIRED FOR ALL NEW DEVELOPMENT WITH MORE THAN 20 DWELLING UNITS. REQUIRED COMMON RECREATION AREA SHALL MEET THE FOLLOWING STANDARDS:

1. AN AREA EQUIVALENT TO 5% OF THE TOTAL GROSS FLOOR AREA IN RESIDENTIAL USE SHALL BE PROVIDED AS COMMON RECREATION AREA.
2. A MAXIMUM OF 50% OF THE COMMON RECREATION AREA MAY BE ENCLOSED.
3. THE MIN. HORIZ. DIM. FOR REQ. COMMON RECREATION AREAS SHALL BE 15'.
4. COMMON RECREATION AREA THAT IS PROVIDED AS OPEN SPACE AT STREET LEVEL SHALL BE COUNTED AS TWICE THE ACTUAL ARA IN DETERMINING THE AMOUNT PROVIDED TO MEET THE REQUIREMENT.
5. IN IDM AND IDR ZONES, THE DIR. OF THE DEPT. OF NEIGHBORHOODS, ON RECOMMENDATION OF THE ISRD BOARD, MAY WAIVE THE REQ. FOR COMMON RECREATION AREA, PURSUANT TO THE CRITERIA OF SECTION 23.66.155, WAIVER OF COMMON AREA REQUIREMENTS.

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DEPARTURE REQUEST:

REQUESTED DEPARTURE FROM COMMON RECREATION AREA REQUIREMENTS. COMMUNITY ROOM (821 SF) AND RESIDENTIAL LOUNGE (846 SF) ARE PROVIDED AS ENCLOSED COMMON RECREATION AREA AND COURTYARD (1,208 SF) IS PROVIDED AS OPEN COMMON RECREATION. REDUCTION OF 5% OF THE TOAL GROSS FLOOR AREA TO 3.83%.

RATIONALE FOR REQUEST:

REQUIRED AREA: $(5\% \times 75,159 \text{ SF}) = 3,758 \text{ SF}$

PROPOSED AREA: $(821 \text{ SF} + 846 \text{ SF} + 1,208 \text{ SF}) = 2,875 \text{ SF}$ (3.83% OF 75,159 SF)

REDUCTION FROM REQUIRED: 23.4% (PER 23.66.155, IN FAVOR OF AN ADDITIONAL FLOOR OF HOUSING (12 UNITS))

NEARBY OPEN SPACES

A YESLER TERRACE CITY PARK, 0.1 MILE (1 BLOCK)

B LITTLE SAIGON LANDBANKED SITE PARK, 0.2 MILE (2 BLOCKS)

C HING HAY PARK, 0.3 MILE (4 BLOCKS)

DEPARTURE #2

DOWNTOWN MIXED RESIDENTIAL,
MAXIMUM WIDTH, DEPTH AND SEPARATION
REQUIREMENTS - 23.49.164.D.2

CODE STANDARD:

FACADE WIDTH LIMITS AND SEPARATION
REQUIREMENTS IN SOUTH DOWNTOWN. ON A
LOT IN A DMR/C ZONE IN SOUTH DOWNTOWN,
THE FOLLOWING STANDARDS APPLY:

2. FOR THE PORTION OF A STRUCTURE ABOVE
75 FEET IN HEIGHT, THE MAXIMUM WIDTH OF
A STREET-FACING FAÇADE IS 120 FEET.



DEPARTURE REQUEST:

REQUIRED MAXIMUM FAÇADE WIDTH: 120'-0"

PROPOSED FAÇADE WIDTH: 154'-4"

REQUESTED ADDITIONAL WIDTH: 35'-0" (12%)

RATIONALE FOR REQUEST:

AS PART OF THE DESIGN PROCESS WITH "FRIENDS OF LITTLE SAIGON", IT WAS DETERMINED THAT A SECOND STORY WAS REQUIRED TO MAKE THE LOWER LEVEL COMMERCIAL FACILITY (PROPOSED AS A VIETNAMESE COMMUNITY AND ECONOMIC CENTER) VIABLE. THE ADDITIONAL STORY PUSHED THE BUILDING ABOVE THE 75FT HEIGHT DATUM.

LOWERING THE COMMERCIAL FLOOR HEIGHT WOULD RESULT IN AN INFEASIBLE COMMUNITY CENTER. LIMITING THE BUILDING WIDTH OF THE UPPER FLOOR WOULD RESULT IN THE LOSS OF (5) PROPOSED LOW INCOME HOUSING UNITS, IMPOSING SIGNIFICANT HARSHIP ON THE PROJECT, IMPACTING POTENTIAL FINANCIAL VIABILITY, AND RESULTING IN FEWER LOW INCOME HOUSING UNITS FOR THE LITTLE SAIGON COMMUNITY.

IN ALIGNMENT WITH THE CODE INTENT, THE WEST BUILDING FAÇADE IS DIVIDED INTO (2) SEGMENTS, SEPARATED BY A RECESS, TO REDUCE THE OVERALL CONTINUOUS WIDTH.

THE PROPOSED UPPER FLOOR CONFIGURATION IS IN COMPLIANCE WITH ALL OTHER APPLICABLE CODE PROVISIONS; 1) THE MAXIMUM BUILDING HEIGHT IS INCREASED TO 85'-0" PER 23.49.008F. FOR RESIDENTIAL USES; 2) SEATTLE BUILDING CODE SECTION 5.10.10 INCREASES THE NUMBER OF STORIES OF TYPE IIIA WOOD CONSTRUCTION FROM (5) TO (6) FOR RESIDENTIAL USES; 3) THE PROPOSED HEIGHT OF THE HIGHEST OCCUPIED FLOOR IS LESS THAN 75'-0" ABOVE THE LOWEST GRADE FOR FIRE DEPARTMENT VEHICLE ACCESS PER SBC 510.2.9



APPENDIX —

LITTLE SAIGON 2030 ACTION PLAN DESIGN RECOMMENDATIONS

CHARACTER RECOMMENDATIONS

- INTEGRATE ART

STREET GRID AND BLOCK PATTERN RECOMMENDATIONS

- REQUIRE ACTIVE EDGES ON THE GROUND FLOOR
- DESIGN STREETS TO REFLECT COMMUNITY VISION

PEDESTRIAN COMFORT RECOMMENDATIONS

- PROVIDE WEATHER PROTECTION
- ADD MORE STREET TREES
- ENCOURAGE LIGHTING THAT IMPROVES THE CHARACTER AND THE PERCEPTION OF SECURITY IN THE NEIGHBORHOOD
- CREATE DIVERSE, COMFORTABLE, WELCOMING OUTDOOR SPACES

ARCHITECTURAL RECOMMENDATIONS

- ENCOURAGE HIGH QUALITY MATERIALS
- CREATE DISTINCT ARTICULATION IN MASSING TO AVOID LONG, TALL BUILDINGS ABOVE THE STREET LEVEL
- DESIGN COMPATIBLE GROUND FLOOR RETAIL AND COMMERCIAL SPACES
- DESIGN INVITING RETAIL AND COMMERCIAL ENTRIES
- ENCOURAGE HOUSING TYPES THAT CAN ACCOMMODATE LARGE, MULTIGENERATIONAL FAMILIES

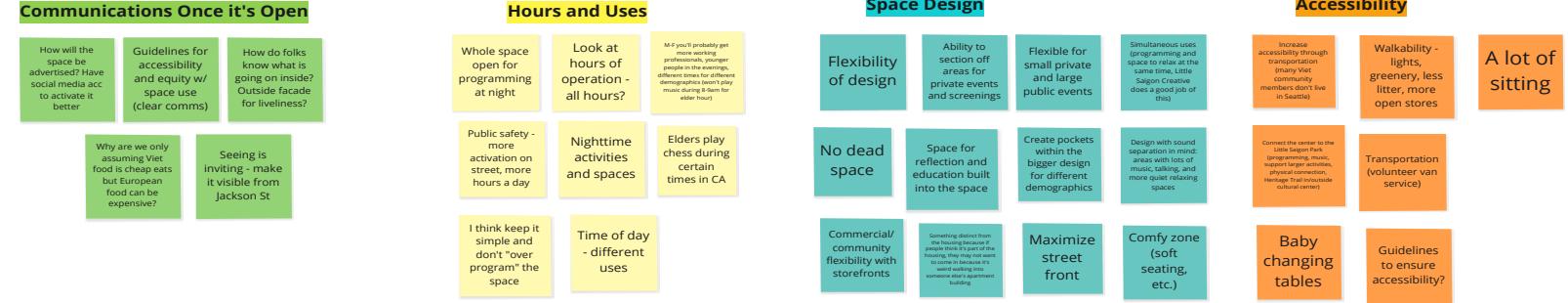


COMMUNITY ENGAGEMENT - PUBLIC MEETING 04/06/2024

BIG PICTURE VISIONS FOR THE SPACE



CONSIDERATIONS FOR DEVELOPMENT AND OPERATIONS

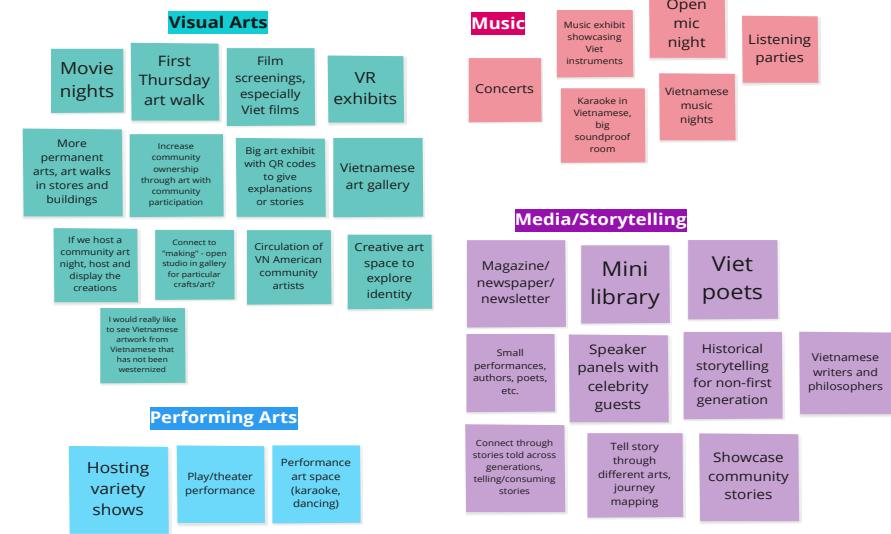


WHAT PROGRAMMING WOULD MAKE YOU WANT TO VISIT THE VIETNAMESE CULTURAL AND ECONOMIC CENTER?

Food



Arts/Culture



Small Business



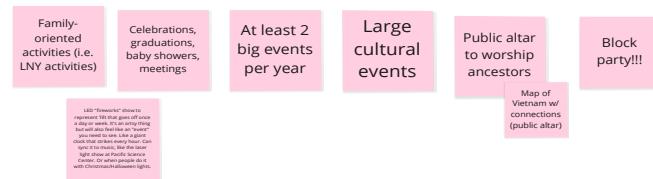
Health Promotion



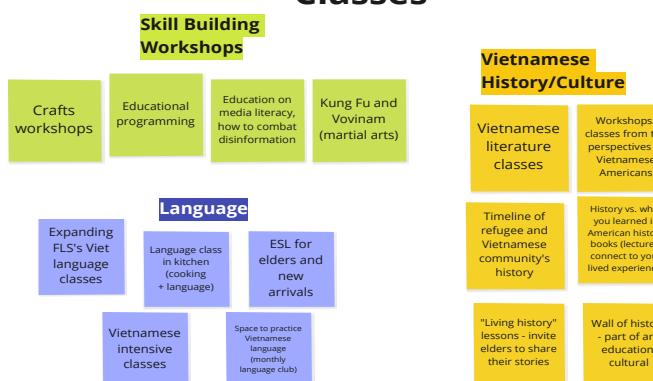
Youth Focused



Cultural Celebrations



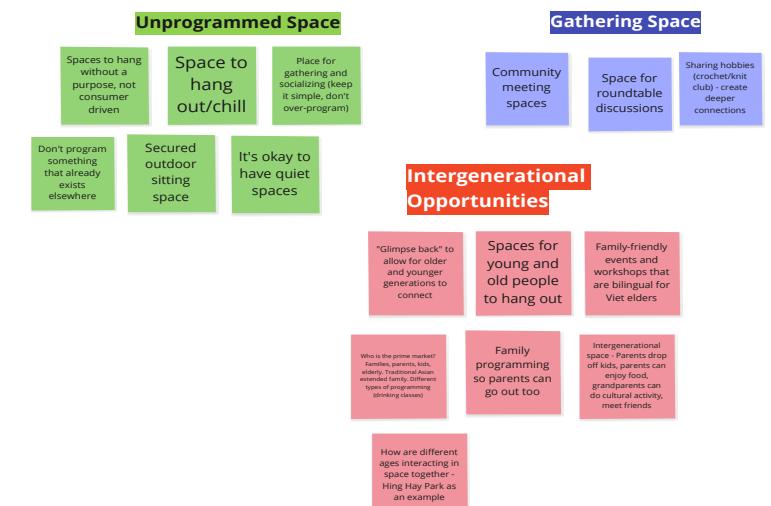
Classes



Elder Focused



Space to be in Community



COMMUNITY ENGAGEMENT - PUBLIC MEETING 04/06/2024

HOW CAN THE VCEC REFLECT VIETNAMESE CULTURE IN SEATTLE?

Celebrating Diverse Experiences/Identities



Elements from Vietnam



What Should the Space Feel Like?



Inviting Other Communities to Share Space



Sights



Sounds



Smells



Folklore/Symbols/Icons



General Notes EFFECTIVE DATE 7/13/23

- ALL WORK SHALL CONFORM TO THE 2023 EDITION OF CITY OF SEATTLE STANDARD SPECIFICATIONS, THE 2023 EDITION OF THE CITY OF SEATTLE STANDARD PLANS; AND SEATTLE DEPARTMENT OF TRANSPORTATION DIRECTOR'S RULE 01-2017 RIGHT-OF-WAY OPENING AND RESTORATION RULES. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION.
- A COPY OF THE APPROVED PLAN MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ERRORS AND OMISSIONS ON THE PERMITTED PLANS MUST BE CORRECTED BY THE ENGINEER AND APPROVED BY THE CITY OF SEATTLE.
- ALL PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO THE START OF CONSTRUCTION WITHIN THE RIGHT OF WAY, THE PERMITTEE SHALL SCHEDULE AND ATTEND A PRECONSTRUCTION MEETING WITH THE CITY OF SEATTLE DEPARTMENT OF TRANSPORTATION.
- PERMITTEE SHALL CONTACT SEATTLE DEPARTMENT OF TRANSPORTATION, STREET USE INSPECTOR A MINIMUM OF 2 BUSINESS DAYS PRIOR TO NEEDING AN INSPECTION.
- ALL DAMAGE TO CITY INFRASTRUCTURE CAUSED BY THE CONSTRUCTION SHALL BE IMMEDIATELY REPORTED AND REPAIRED AS REQUIRED BY THE SEATTLE DEPARTMENT OF TRANSPORTATION. TO REPORT DAMAGE TO SPU INFRASTRUCTURE, INCLUDING ANY SEWAGE RELEASE OR BLOCKAGE, CALL 206-386-1800.
- THE APPROVED PLANS SHALL SHOW THE APPROXIMATE AREA OF PAVEMENT RESTORATION BASED ON THE DEPTH OF UTILITY CUTS AND/OR THE AREA OF CURB AND/OR PAVEMENT TO BE REMOVED AND REPLACED. THE ACTUAL LIMITS OF THE PAVEMENT RESTORATION SHALL BE PER THE DIRECTOR'S RULE 01-2017, RIGHT-OF-WAY OPENING AND RESTORATION RULE AND WILL BE DETERMINED IN THE FIELD BY THE SEATTLE DEPARTMENT OF TRANSPORTATION STREET USE INSPECTOR PRIOR TO THE PAVEMENT RESTORATION. FOR SPU WATER SERVICES, APPLICANT MUST SHOW THE PAVEMENT RESTORATION LIMITS FOR THE PROPOSED AND THE EXISTING WATER SERVICES TO BE RETIRED, INCLUDING SERVICES THAT ARE OUTSIDE THE PROJECT AREA, BUT SERVE THE PARCEL.
- DATUM: NAVD88 AND NAD 83 (2011) 2010.00 EPOCH.
- SURVEYING AND STAKING OF ALL IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY SHALL BE COMPLETED PRIOR TO CONSTRUCTION. PERMITTEE TO STAKE THE CURB AT THE CENTERLINE OF DRAINAGE GRATES PER STANDARD PLAN 260A. SURVEY GRADE SHEETS MUST BE SUBMITTED AND APPROVED BY THE SEATTLE DEPARTMENT OF TRANSPORTATION AT LEAST 2 BUSINESS DAYS PRIOR TO CONSTRUCTION.
- IF AN EXISTING CURB IS TO BE REMOVED AND REPLACED IN THE SAME LOCATION THE PERMITTEE SHALL PROVIDE THE STREET USE INSPECTOR A PLAN WITH EXISTING FLOW LINE AND TOP OF CURB ELEVATIONS IDENTIFIED. PERMITTEE TO STAKE THE LOCATION OF THE EXISTING CURB PRIOR TO DEMOLITION.
- THE PERMITTEE MUST BE RESPONSIBLE FOR REFERENCING AND REPLACING ALL SURVEY MONUMENTS THAT MAY BE DISTURBED, DESTROYED OR REMOVED BY THE PROJECT AND 2 WORKING DAYS, PRIOR TO THE WORK, MUST FILE AN APPLICATION FOR PERMIT TO REMOVE OR DESTROY A SURVEY MONUMENT WITH THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, PURSUANT TO WAC 332-120. THE PERMITTEE MUST PROVIDE THE ENGINEER AND SPU LAND SURVEY WITH A COPY OF THE APPROVED PERMIT AND COMPLETION REPORT. SEE STANDARD SPECIFICATION 1- 07.28 ITEM 17.
- THE PERMITTEE SHALL SUBMIT ALL APPLICABLE DOCUMENTS REQUIRED UNDER SECTION 1-05.3 OF THE STANDARD SPECIFICATIONS PRIOR TO CONSTRUCTION. A MATERIAL SOURCE FORM FOR ALL MATERIALS TO BE PLACED IN THE RIGHT OF WAY AND MIX DESIGNS FOR ALL ASPHALT, CONCRETE AND AGGREGATES TO BE PLACED IN THE RIGHT OF WAY MUST BE SUBMITTED TO THE SEATTLE DEPARTMENT OF TRANSPORTATION FOR REVIEW AND APPROVAL PRIOR TO BEGINNING CONSTRUCTION. A REVISED MATERIAL SOURCE FORM AND MIX DESIGNS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF ANY SUBSTITUTE MATERIALS.
- THE PERMITTEE SHALL NOTIFY THE SEATTLE FIRE DEPARTMENT DISPATCHER (206-386-1495) AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF ALL WATER SERVICE INTERRUPTIONS, HYDRANT SHUTOFFS, AND STREET CLOSURES OR OTHER ACCESS BLOCKAGE. THE PERMITTEE SHALL ALSO NOTIFY THE DISPATCHER OF ALL NEW, RELOCATED, OR ELIMINATED HYDRANTS RESULTING FROM THIS WORK.
- THE PERMITTEE SHALL LOCATE AND PROTECT ALL CASTINGS AND UTILITIES DURING CONSTRUCTION.
- THE PERMITTEE SHALL CONTACT THE UNDERGROUND UTILITIES LOCATOR SERVICE (811) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- IT IS THE SOLE RESPONSIBILITY OF THE PERMITTEE TO VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE PERMITTEE SHALL ADJUST ALL EXISTING MAINTENANCE HOLE RIMS, DRAINAGE STRUCTURE LIDS, VALVE BOXES, AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY THE PROPOSED IMPROVEMENTS.
- THE PERMITTEE SHALL FOLLOW SPU CORE TAP PROCEDURES FOR ALL NEW CONNECTIONS TO EXISTING SEWER OR DRAINAGE MAINS OR STRUCTURES. CONTRACTORS ARE NOT ALLOWED TO CORE INTO MAINS OR STRUCTURES WITHOUT PRIOR APPROVAL FROM SPU-DWW. TO SCHEDULE CORE CUT CONTACT SPU-DWW AT 206-615-0511 A MINIMUM OF 2 BUSINESS DAYS IN ADVANCE.
- ALL UTILITY SERVICE CONNECTIONS SHOWN ON THIS PLAN REQUIRE SEPARATE PERMITS.
- THE PERMITTEE SHALL PROVIDE FOR ALL TESTING AS REQUIRED BY THE STREET USE INSPECTOR.
- INSPECTION AND ACCEPTANCE OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY REPRESENTATIVES OF THE CITY OF SEATTLE. IT SHALL BE THE PERMITTEE'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS ALLOWING FOR PROPER ADVANCE NOTICE. THE SEATTLE DEPARTMENT OF TRANSPORTATION STREET USE INSPECTOR MAY REQUIRE REMOVAL AND RECONSTRUCTION OF ANY ITEMS PLACED IN THE RIGHT OF WAY THAT DO NOT MEET CITY STANDARDS OR THAT WERE CONSTRUCTED WITHOUT APPROPRIATE INSPECTIONS.
- THE PERMITTEE SHALL PROVIDE A PLAN FOR STORMWATER AND EROSION CONTROL AND INSTALL, MAINTAIN AND REMOVE TEMPORARY FACILITIES PER SECTION 8-01. AS CONSTRUCTION PROGRESSES AND CONDITIONS DICTATE, ADDITIONAL CONTROL FACILITIES MAY BE REQUIRED. DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THE PERMITTEE'S ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.
- ALL DISTURBED SOILS MUST BE AMENDED PER STANDARD PLAN 142 AND SECTION 8-02 OF THE STANDARD SPECIFICATIONS UNLESS WITHIN ONE FOOT OF A CURB OR SIDEWALK, THREE FEET OF A UTILITY STRUCTURE (E.G. WATER METER, UTILITY POLE, HAND HOLE, ETC.) OR THE DRIPLINE OF AN EXISTING TREE.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE TRAFFIC CONTROL MANUAL FOR IN-STREET WORK. AN APPROVED TRAFFIC CONTROL PLAN WILL BE REQUIRED FOR ALL ARTERIAL STREETS, HIGH IMPACT AREAS AND CONSTRUCTION HUBS PRIOR TO BEGINNING CONSTRUCTION.
- PERMITTEE SHALL NOTIFY KING COUNTY METRO AT 206-477-1140 FOURTEEN DAYS IN ADVANCE OF ANY IMPACT TO TRANSIT OPERATIONS. CALL 206-477-1150 FOR ANY COORDINATION RELATED TO KING COUNTY METRO TROLLEY (INCLUDING SLU AND FIRST HILL STREET CAR). CONTACT KING COUNTY METRO TWO MONTHS PRIOR FOR ANY TROLLEY DE-ENERGIZING REQUESTS.
- COORDINATE PARKING/LOADING SIGN(S) AND PAY STATION REMOVAL / RELOCATION AND INSTALLATION WITH SEATTLE DEPARTMENT OF TRANSPORTATION CURB SPACE MANAGEMENT WILLIAM WAN 206-684-8175, WILLIAM.WAN@SEATTLE.GOV WITH AT LEAST 10 BUSINESS DAYS' NOTICE. SIGNPOSTS ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD PLANS 616, 620, 621A, 621B, 625, & 626.
- ALL STREET NAME SIGNS MUST BE INSTALLED BY SEATTLE DEPARTMENT OF TRANSPORTATION AT THE PERMITTEE'S EXPENSE.
- ALL WORK PERFORMED BY SEATTLE CITY LIGHT, SEATTLE PUBLIC UTILITIES, AND OTHER UTILITIES TO INSTALL, REPAIR, REMOVE OR RELOCATE UTILITIES SHALL BE DONE AT THE PERMITTEE'S EXPENSE.
- PERMITTEE MUST CONTACT THE SEATTLE DEPARTMENT OF PARKS AND RECREATION TO APPLY FOR A SEPARATE PERMIT IF WORKING WITHIN A DESIGNATED PARK BOULEVARD.
- CARE SHALL BE EXERCISED WHEN EXCAVATING OR REMOVING PAVEMENT NEAR EXISTING CHARGED WATER MAINS. CAST IRON WATER MAINS ARE KNOWN TO BE SENSITIVE TO EXCESSIVE VIBRATION. COORDINATE PROTECTION METHODS WITH SPU.

Civil Abbreviations

BOE	BOTTOM OF MASS EXCAVATION	ROW	RIGHT OF WAY
CB	CATCH BASIN	SDCI	SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS
CMP	CORRUGATED METAL PIPE	SDCO	STORM DRAIN CLEAN OUT
CO	CLEAN OUT	SDMH	STORM DRAIN MANHOLE
CONC	CONCRETE	SPU	SEATTLE PUBLIC UTILITIES
COS	CITY OF SEATTLE	SS	SANITARY SEWER
FF	FINISH FLOOR	SSCO	SANITARY SEWER CLEAN OUT
MH	MANHOLE	SSMH	SANITARY SEWER MANHOLE
PS/PSS	PIPE SEWER/PIPE SANITARY SEWER	STDs	STANDARDS
PSD	PIPE STORM DRAIN	TOS	TOP OF SLAB
PVC	POLYVINYLCHLORIDE	WM	WATER METER
RCP	REINFORCED CONCRETE PIPE		

Monument Construction Notes

EXISTING MONUMENT CASES WITHIN THE CONSTRUCTION AREA SHALL BE ADJUSTED OR RESET. SURVEY MONUMENTS AND MONUMENT CASES SHALL NOT BE REMOVED, DISTURBED, COVERED, OR DESTROYED BEFORE A PERMIT IS OBTAINED FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES. WWW.DNR.WA.GOV/HTDOCS/PLSO/DOWNLOAD.HTM OR 360-902-1194. A COPY OF THE PERMIT SHALL BE GIVEN TO THE SEATTLE PUBLIC UTILITIES SURVEY SECTION, PHONE 206-684-5073, FAX 206-733-9902, AT LEAST 4 WORKING DAYS BEFORE A MONUMENT IS REMOVED, DISTURBED, COVERED, OR DESTROYED. THE CONTRACTOR MAY REQUEST THAT THE SEATTLE PUBLIC UTILITIES SURVEY SECTION PERFORM THE REQUIRED MONUMENT PERMITTING AND SURVEYING. CONTACT THE LAND SURVEY MANAGER AT 206-684-5073 AT LEAST 4 WORKING DAYS PRIOR TO ACTIVITY WHICH WILL AFFECT A MONUMENT.

Legal Description

PARCEL A:
LOT 1 AND THE NORTH 60 FEET OF LOTS 21 AND 22 IN BLOCK 1 OF SYNDICATE ADDITION TO THE CITY OF SEATTLE, AS PER PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 44, RECORDS OF KING COUNTY AUDITOR;

EXCEPT THE NORTH 15 FEET THEREOF CONDEMNED BY THE CITY OF SEATTLE FOR WIDENING JACKSON STREET IN KING COUNTY SUPERIOR COURT CAUSE NO. 56407, UNDER THE PROVISIONS OF ORDINANCE NO. 15291 OF THE CITY OF SEATTLE.

PARCEL B:

LOT 2 IN BLOCK 1 OF SYNDICATE ADDITION TO THE CITY OF SEATTLE, AS PER PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 44, RECORDS OF KING COUNTY AUDITOR;

EXCEPT THE NORTH 15 FEET THEREOF CONDEMNED BY THE CITY OF SEATTLE FOR WIDENING JACKSON STREET IN KING COUNTY SUPERIOR COURT CAUSE NO. 56407, UNDER THE PROVISIONS OF ORDINANCE NO. 15291 OF THE CITY OF SEATTLE.

TITLE REPORT REFERENCE:
THIS SURVEY WAS CONDUCTED ACCORDING TO THE DESCRIPTION SHOWN, FURNISHED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1184153-WA1, DATED AUGUST 25, 2023. THE EASEMENTS SHOWN OR NOTED HEREON RELATE TO THIS COMMITMENT.

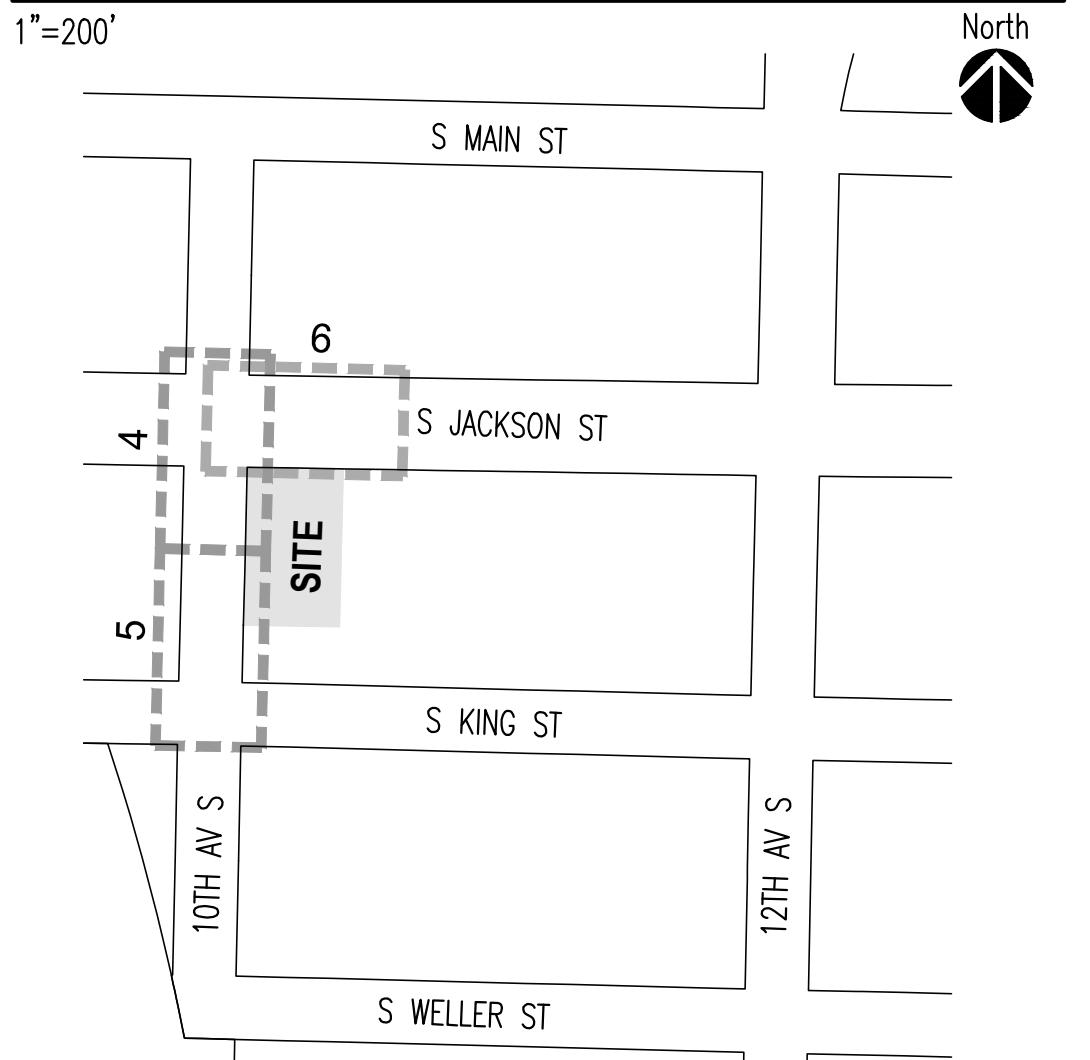
NOTE: EASEMENTS CREATED OR RESCINDED AFTER THIS DATE ARE NOT SHOWN OR NOTED HEREON.

Drainage CB And Inlet Notes

UNLESS OTHERWISE NOTED

- CATCH BASIN CONNECTIONS AND INLET CONNECTIONS MUST BE 8" DIAMETER. PIPE MUST BE CEMENT MORTAR LINED DUCTILE IRON CLASS 50 (MIN) PER SPECIFICATION 9-05.3. FITTINGS MUST BE CEMENT MORTAR LINED DUCTILE IRON. JOINTS MUST BE RUBBER GASKET, PUSH-ON OR MECHANICAL.
- BEDDING MUST BE CLASS D WITH SELECT NATIVE MATERIAL.
- CATCH BASIN CONNECTIONS MUST BE PLACED AT A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 100% PER STANDARD PLAN NO. 261 AND SPECIFICATION 7-08.3(4).
- INLET CONNECTIONS MUST BE PLACED AT A MINIMUM SLOPE OF 5% AND A MAXIMUM SLOPE OF 50% PER SPECIFICATION 7-08.3(5).
- CATCH BASINS AND INLETS MUST BE LOCATED PER STANDARD PLAN NO. 260A AND 260B.
- TELEVISION INSPECTION OF CATCH BASIN CONNECTIONS MUST BE PER SPECIFICATION 7-17.3(3)G.
- CONTRACTORS ARE NOT ALLOWED TO CORE INTO MAINS OR STRUCTURES WITHOUT PRIOR APPROVAL FROM SPU. TO SCHEDULE CORE TAPS, CONTACT SPU AT 206-615-0511 A MINIMUM OF 2 BUSINESS DAYS IN ADVANCE. SPU SHALL BE ON SITE PRIOR TO THE START OF CONTRACTOR PERFORMED CORE TAP. CONTRACTORS PERFORMING CORE TAPS MUST PROVIDE THE COUPON OF REMOVED MATERIAL TO SPU.

Vicinity Map



Sheet Index

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02 of 17	ALIGNMENT PLAN
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SURVEY	TOPOGRAPHIC SURVEY
15 of 17	NOTES AND LEGAL DESC.
16 of 17	

Owner

FRIENDS OF LITTLE SAIGON
1227 S WELLER ST SUITE A
SEATTLE, WA 98144
(253) 245-9341 CONTACT: QUYNH PHAM

Architect

MITHUN
1201 ALASKAN WAY #200
SEATTLE, WA 98101
(206) 623 3344 CONTACT: DOUG LEIGH

Engineer

COUGHLIN PORTER LUNDEEN
1191 SECOND AVENUE, SUITE 1100
SEATTLE, WA 98101
206-343-0460 CONTACT: KEN WIERSEMA, PE

Surveyor

BUSH ROED AND HITCHINGS
15400 SE 30TH PL SUITE 100
BELLEVUE, WA 98007
(206) 323-4144 CONTACT: TAYLOR SCHULTE PL

Tax Account Numbers

817010-0005-00
817010-0010-03

Requirements Prior To Permit Issuance	Task	Responsible Party	Notes
	Drawing Approval	Design Team	
	Surety Bond	Contractor Or Owner	Bond Amount Determined By Sdot
	Pre-construction Material Submittal	Contractor	Pre-construction List Provided By SDOT
	Insurance Certificate	Contractor	
	Permit Issuance Fee (\$8,262)	Contractor Or Owner	
	Approved Traffic Control Plan	Contractor	
	Construction Hub Approval	Contractor	
	Pre-construction Meeting	Contractor	Contractor To Schedule Based On Sub-contractor Availability
	Street Use Fees (Utility Permits Only)	Contractor	

90% STREET IMPROVEMENT PLAN – NOT FOR CONSTRUCTION

11/27/24 12:48 AM
2023/12/24 08:00 AM
SDOT COVER SHEET

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ENGINEER/LA/SURVEYOR

SDOT PROJECT MANAGER

SPU/WATER ENGINEERING

SDOT SUPERVISOR

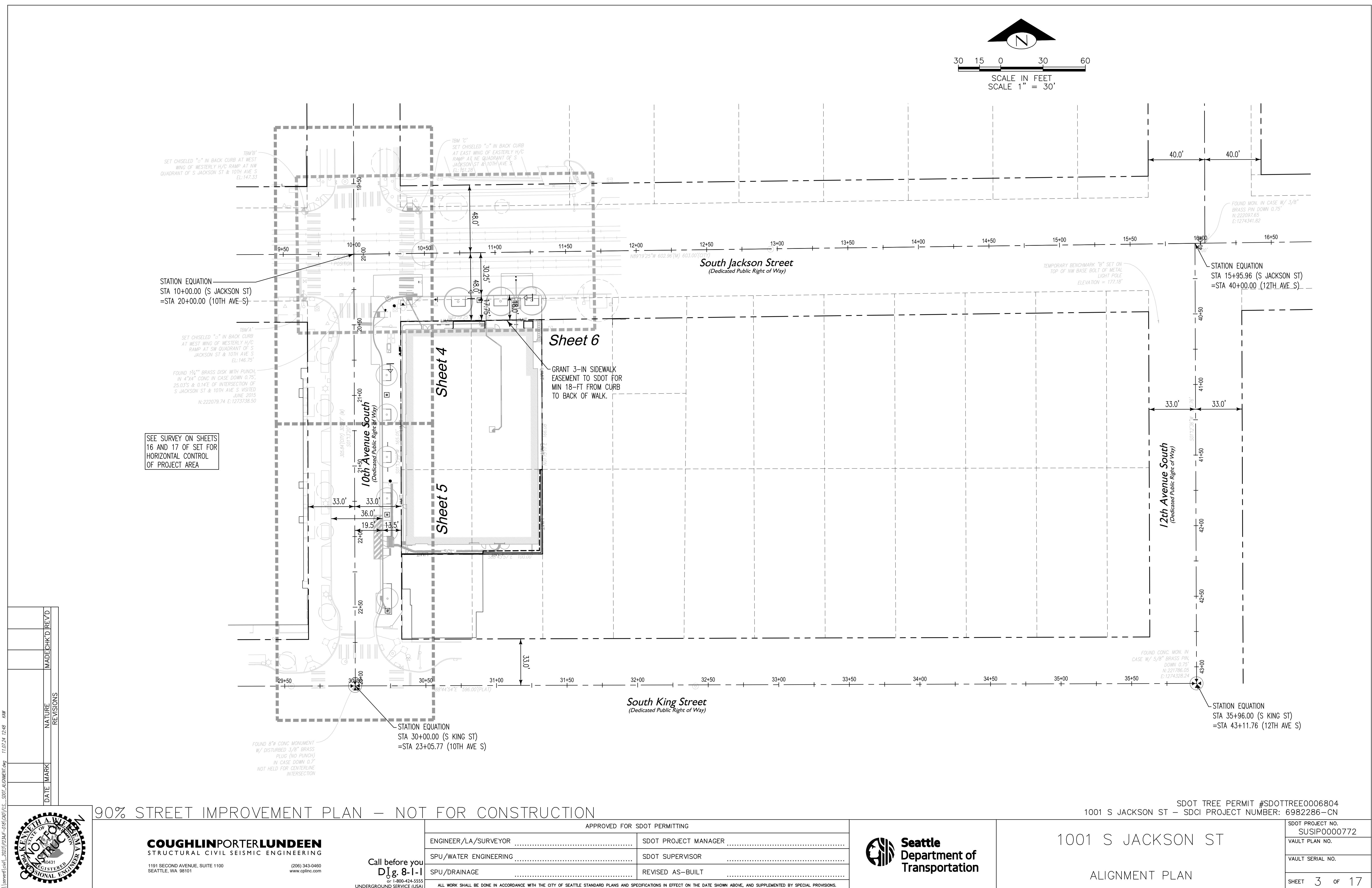
SPU/DRAINAGE

REVISED AS-BUILT

Seattle
Department of
Transportation

1001 S JACKSON ST
COVER SHEET

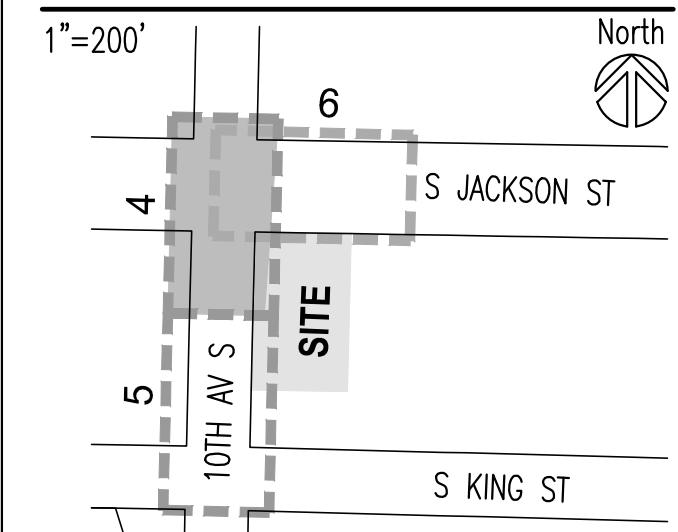
SDOT PROJECT NUMBER: #SDOTREE0006804
1001 S JACKSON ST – SDCI PROJECT NUMBER: 6982286-CN
SDOT PROJECT NO.
SUSI0000772
VA



LEGEND	
CONCRETE PAVEMENT (STD PLAN 420A)	CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ACROSS THE FRONTAGE OF THE PROJECT AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR WORK PERFORMED WITHIN THE CITY OF SEATTLE RIGHT-OF-WAY, UNLESS CONTRACTOR HAS RECEIVED APPROVAL OR OTHERWISE FROM SDOT ON SIDEWALK CLOSURES.
ASPHALT PAVEMENT (STD PLAN 402C)	PROTECT TREES & VEGETATION PER STANDARD SPECIFICATIONS 1-07.16(2) & 8-01.3(2)B. CONTACT SDOT URBAN FORESTER BEN.ROBERTS@SEATTLE.GOV FOR FIELD REVIEW OF TREE, VEGETATION AND SOIL PROTECTION PLAN PRIOR TO CONSTRUCTION. SEE TREE PROTECTION NOTES ON SHEET 2.
2" ASPHALT GRIND & OVERLAY (STD PLAN 402B)	THE CONTRACTOR SHALL COORDINATE SIDEWALK CLOSURES, STREET CLOSURES AND ROW USE PERMITS WITH THE CITY OF SEATTLE DEPARTMENT OF TRANSPORTATION (SDOT).
CONCRETE WALK (STD PLAN 420)	
LANDSCAPING	
EXISTING CENTER LINE	
EXISTING FLOWLINE	
PROPOSED FLOWLINE	
PROPOSED TOP OF CURB	
PROPOSED BACK OF WALK	
EXISTING SPOT ELEVATION	

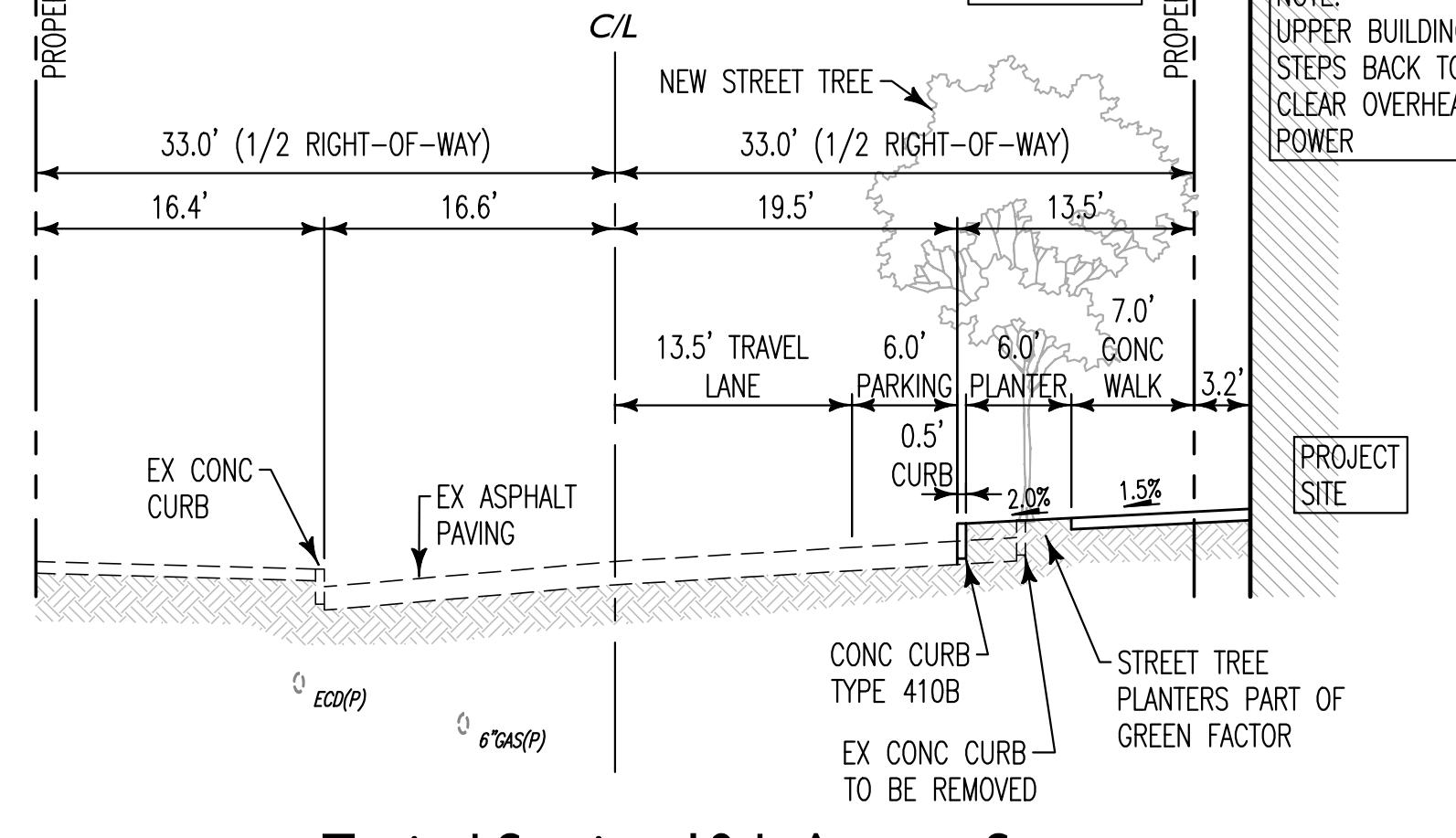
COORDINATE STREET/PARKING SIGNAGE REMOVAL AND INSTALLATION IN THE RIGHT-OF-WAY WITH WILLIAM WAN, SDOT STREET SIGNAGE, AT 206-684-8175. SEE GENERAL NOTE #27 FOR PAY STATION/SIGN REMOVAL/RELOCATION.
PROTECT TREES & VEGETATION PER STANDARD SPECIFICATIONS 1-07.16(2) & 8-01.3(2)B. CONTACT SDOT URBAN FORESTER BEN.ROBERTS@SEATTLE.GOV FOR FIELD REVIEW OF TREE, VEGETATION AND SOIL PROTECTION PLAN PRIOR TO CONSTRUCTION. SEE TREE PROTECTION NOTES ON SHEET 2.
THE CONTRACTOR SHALL COORDINATE SIDEWALK CLOSURES, STREET CLOSURES AND ROW USE PERMITS WITH THE CITY OF SEATTLE DEPARTMENT OF TRANSPORTATION (SDOT).

VICINITY MAP



NEW STREET TREES #SDOTREE0005117		
①	SPECIES/BOTANICAL NAME	STATION (OFFSET)
①	STREET TREE RHAMNUS PURSHIANA (CASCARA)	STA 20+85.69, 23.00 LT
②	STREET TREE RHAMNUS PURSHIANA (CASCARA)	STA 21+13.69, 23.00 LT

10th Avenue South (Dedicated Public Right of Way)



Typical Section 10th Avenue S

SCALE 1'=10' HORZ, 1'=5' VERT

DATE	MARK	NATURE	REVISIONS	CURB RETURN DATA		BOTTOM OF CURB ELEV	TOP OF CURB ELEV
				MADE	OKD/KO REV'D		
(A)		PC STA 20+29.93, 33.31 LT		149.32 (EX)	149.71 (EX)	149.58 (1/4)	
		R: 20.00'		149.14 (1/4)	149.46 (1/2)		
		Δ: 89d38'41.87"		148.96 (1/2)	149.23 (3/4)		
		L: 31.29'		148.73 (3/4)	149.00		
		PR STA 20+41.00, 13.50 LT		148.50			
(B)		PC STA 20+57.03, 13.50 LT		148.32	148.82		
		R: 20.00'		148.26 (1/4)	148.76 (1/4)		
		Δ: 31d47'18.09"		148.20 (1/2)	148.70 (1/2)		
		L: 11.10'		148.14 (3/4)	148.64 (3/4)		
		PR STA 20+67.56, 16.50 LT		148.08	148.58		
(C)		PC STA 20+67.56, 16.50 LT		148.08	148.58		
		R: 20.00'		148.02 (1/4)	148.52 (1/4)		
		Δ: 31d47'18.06"		147.96 (1/2)	148.46 (1/2)		
		L: 11.10'		148.90 (3/4)	148.40 (3/4)		
		PR STA 20+78.10, 19.50 LT		147.84	148.34		

SCALE IN FEET
SCALE 1" = 10'



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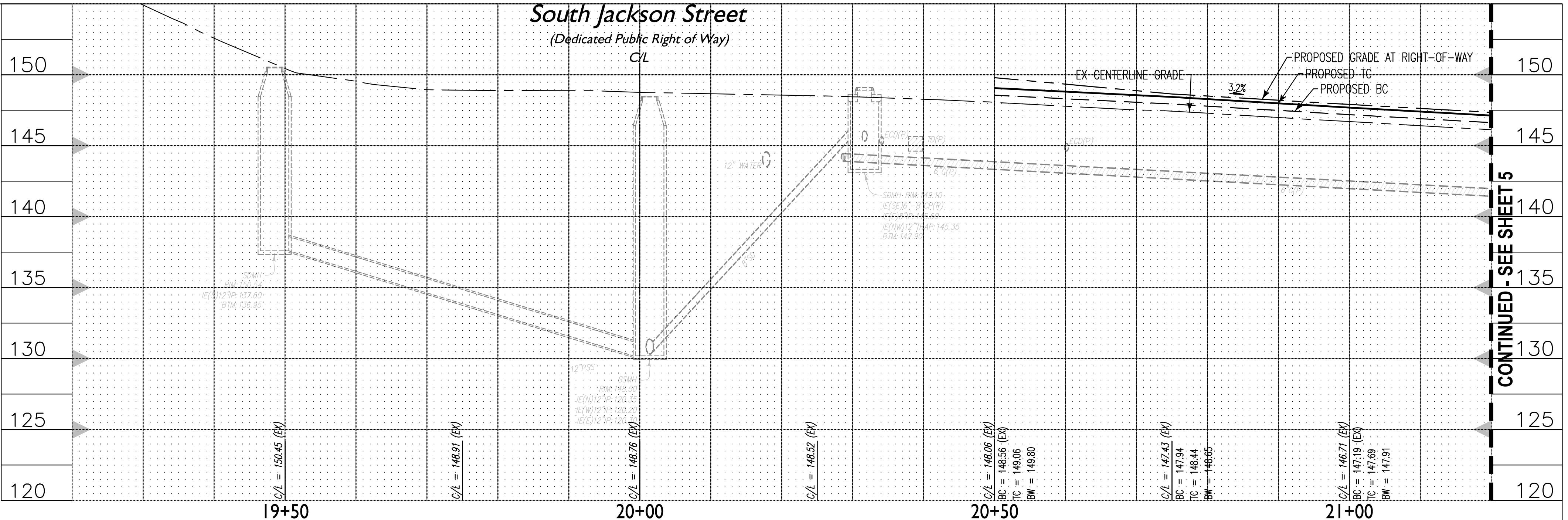
SPU/WATER ENGINEERING SDOT SUPERVISOR

SPU/DRAINAGE REVISED AS-BUILT

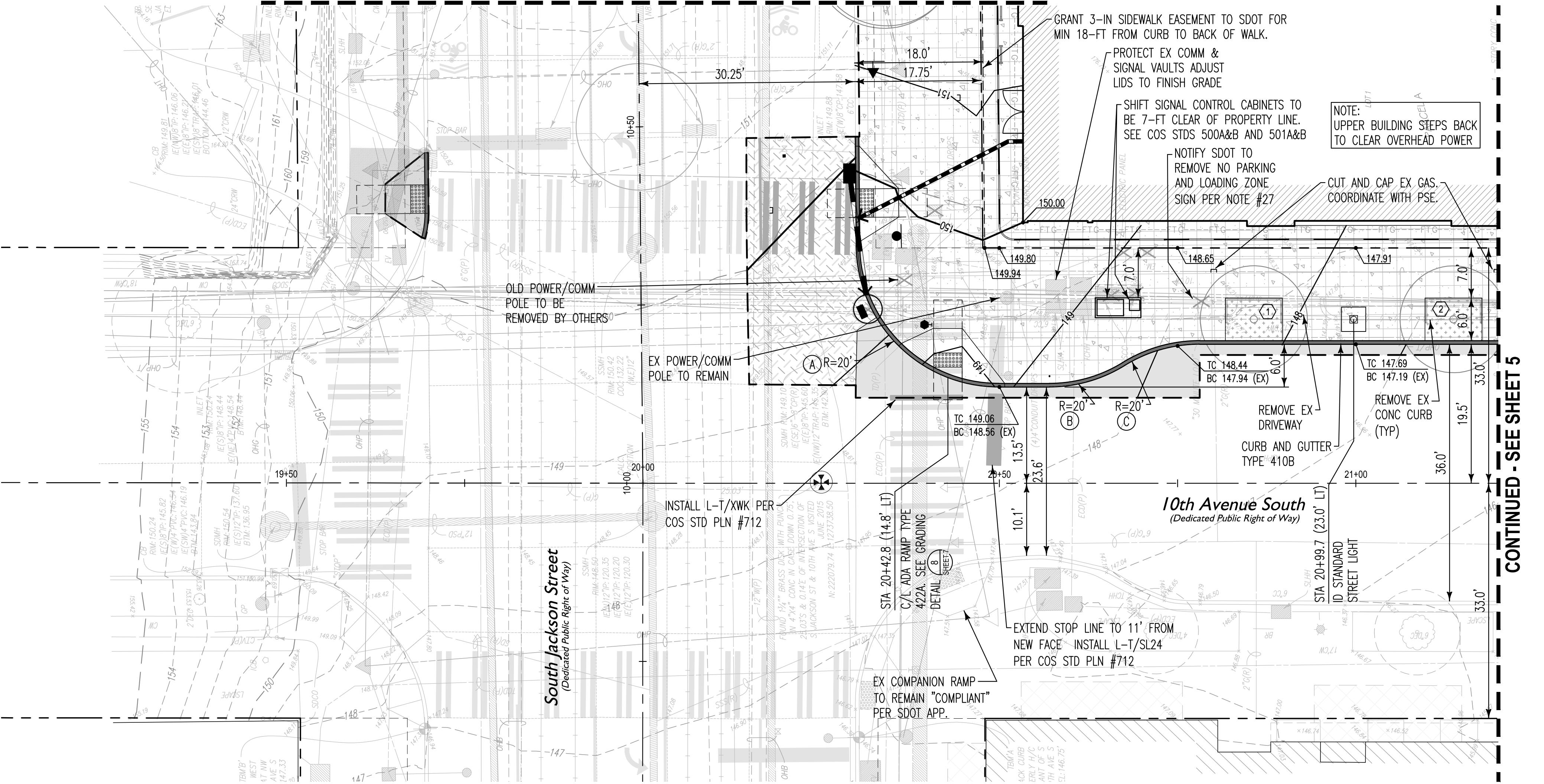
South Jackson Street

(Dedicated Public Right of Way)

C/L



CONTINUED - SEE SHEET 6



1001 S JACKSON ST

PLAN AND PROFILE
10TH AVE S

SDOT PROJECT NO.
SUSP0000772

VAULT PLAN NO.

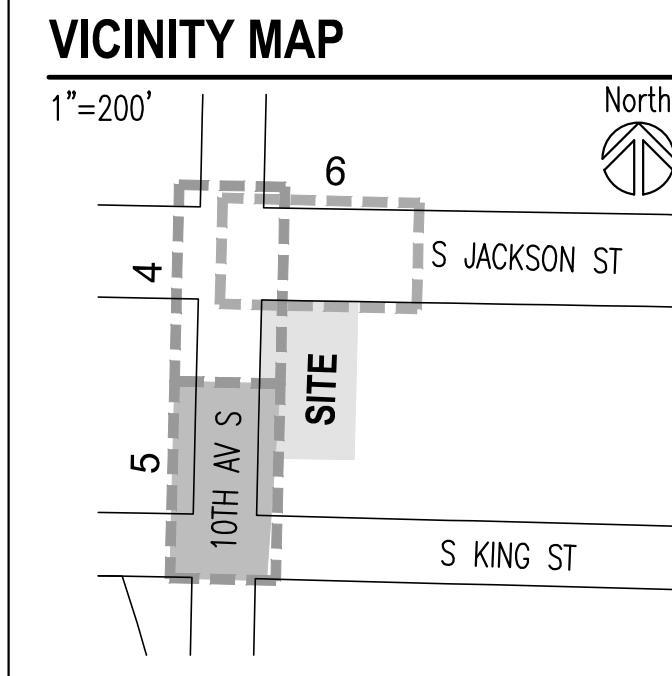
VAULT SERIAL NO.

SHEET 4 OF 17

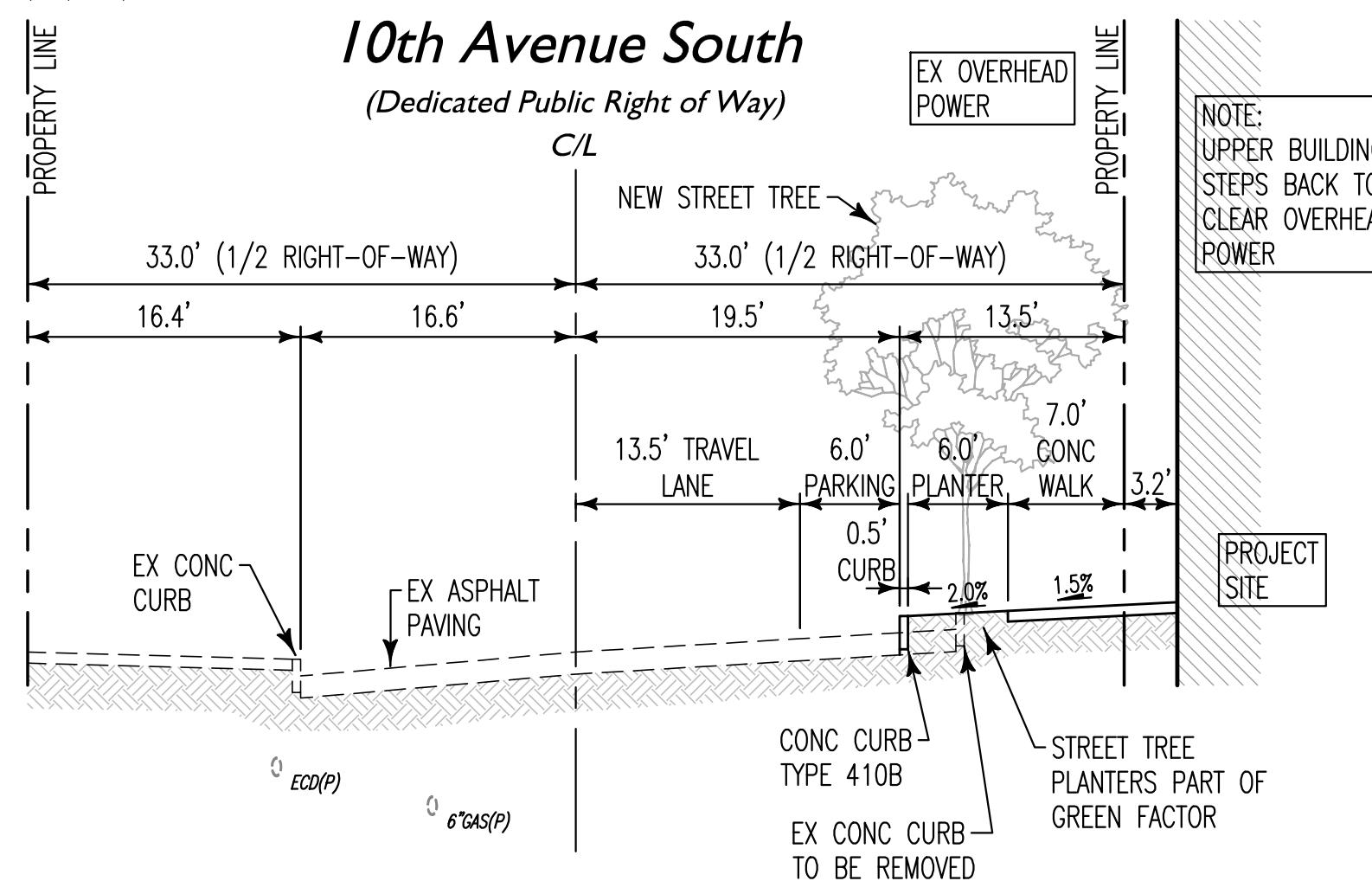
LEGEND	
CONCRETE PAVEMENT (STD PLAN 420A)	CONTRACTOR SHALL MAINTAIN SAFE PEDESTRIAN ACCESS ACROSS THE FRONTAGE OF THE PROJECT AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR WORK PERFORMED WITHIN THE CITY OF SEATTLE RIGHT-OF-WAY, UNLESS CONTRACTOR HAS RECEIVED APPROVAL OR OTHERWISE FROM SDOT ON SIDEWALK CLOSURES.
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2" ASPHALT GRIND & OVERLAY (STD PLAN 402B)	THE CONTRACTOR SHALL COORDINATE SIDEWALK CLOSURES, STREET CLOSURES AND ROW USE PERMITS WITH THE CITY OF SEATTLE DEPARTMENT OF TRANSPORTATION (SDOT).
CONCRETE WALK (STD PLAN 420)	
LANDSCAPING	
EXISTING CENTER LINE	
EXISTING FLOWLINE	
PROPOSED FLOWLINE	
PROPOSED TOP OF CURB	
PROPOSED BACK OF WALK	
EXISTING SPOT ELEVATION	+ 100.00

COORDINATE STREET/PARKING SIGNAGE REMOVAL AND INSTALLATION IN THE RIGHT-OF-WAY WITH WILLIAM WAN, SDOT STREET SIGNAGE, AT 206-684-8175. SEE GENERAL NOTE #27 FOR PAY STATION/SIGN REMOVAL/RELOCATION.
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NEW STREET TREES #SDOTREE0005117		
SPECIES/BOTANICAL NAME	STATION (OFFSET)	
③ STREET TREE RHAMNUS PURSHIANA (CASCARA)	STA 21+43.69, 23.00 LT	
④ STREET TREE RHAMNUS PURSHIANA (CASCARA)	STA 21+73.03, 23.00 LT	
⑤ STREET TREE RHAMNUS PURSHIANA (CASCARA)	STA 21+96.03, 23.00 LT	
⑥ STREET TREE RHAMNUS PURSHIANA (CASCARA)	STA 22+44.06, 23.00 LT	



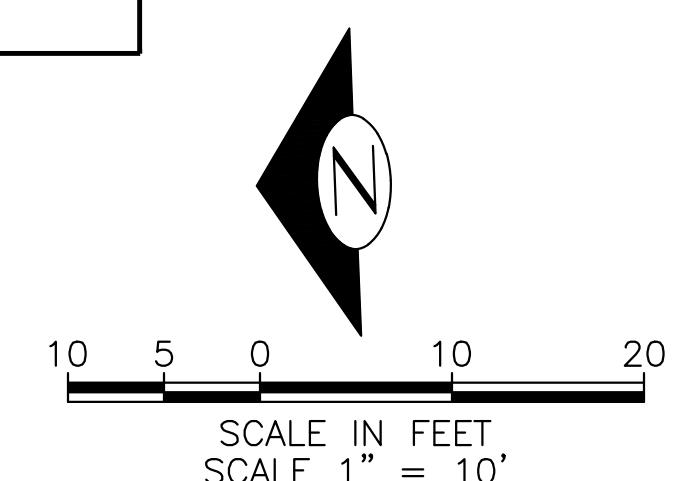
10th Avenue South (Dedicated Public Right of Way)



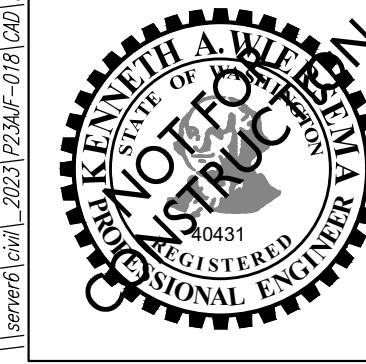
Typical Section 10th Avenue S

SCALE 1'=10' HORZ, 1'=5' VERT

CURB RETURN DATA		BOTTOM OF CURB ELEV	TOP OF CURB ELEV
DATE	MARK	MADE/OK'D REV'D	
(D)	PC STA 22+45.11, 19.50 LT R: 20.00' Δ: 29d2'16.99" L: 10.25' PR STA 22+54.92, 16.93 LT	(1/4) (1/2) (3/4)	(1/2) (1/2) (3/4)



11/07/24 12:47 AM

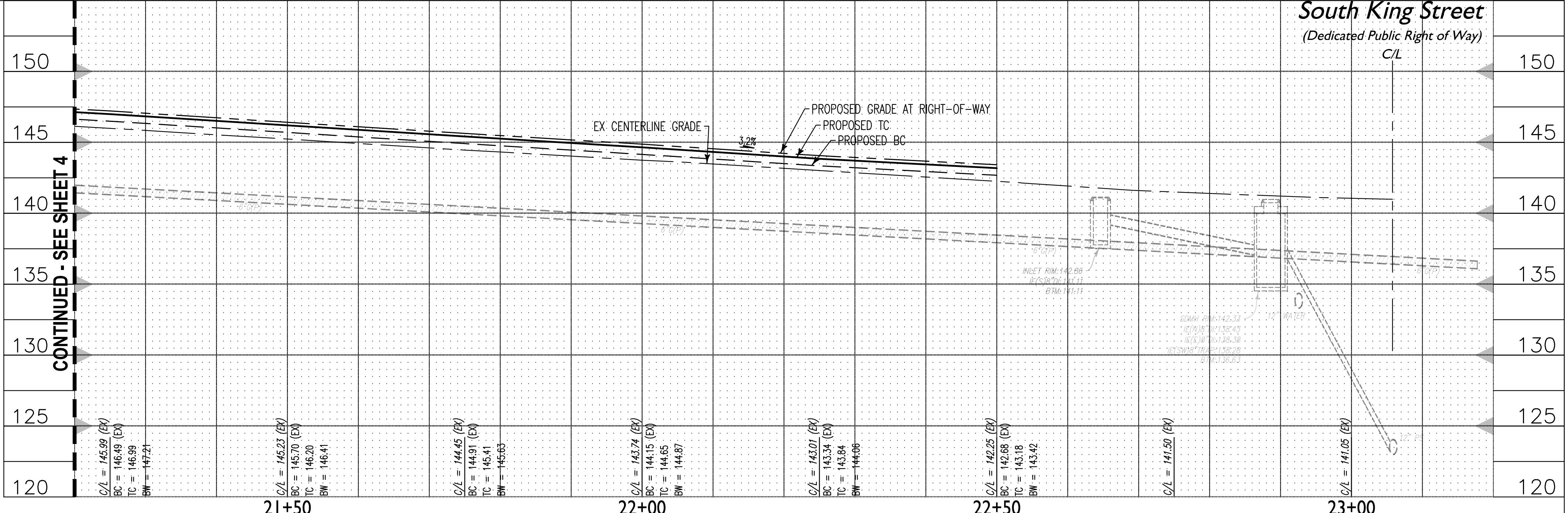


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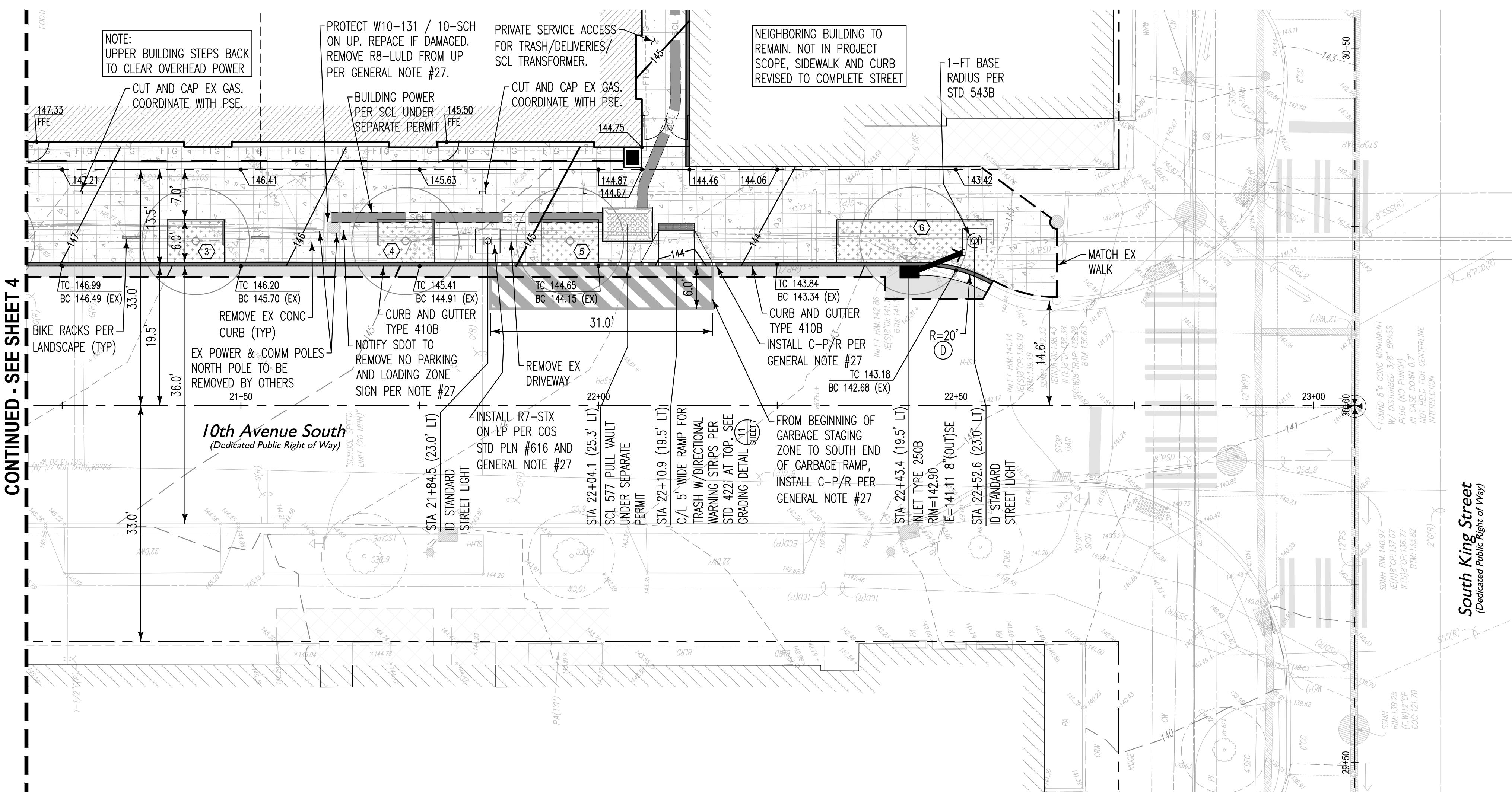
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CONTINUED - SEE SHEET 4



90% STREET IMPROVEMENT PLAN – NOT FOR CONSTRUCTION

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SPU/WATER ENGINEERING	SDOT SUPERVISOR
SPU/DRAINAGE	REVISED AS-BUILT

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Seattle
Department of
Transportation

1001 S JACKSON ST
PLAN AND PROFILE
10TH AVE S

South King Street

(Dedicated Public Right of Way)

C/L

150

145

140

135

130

125

120

South King Street
(Dedicated Public Right of Way)

SDOT PROJECT NO.

SUSP000772

VAULT PLAN NO.

E1081077

VAULT SERIAL NO.

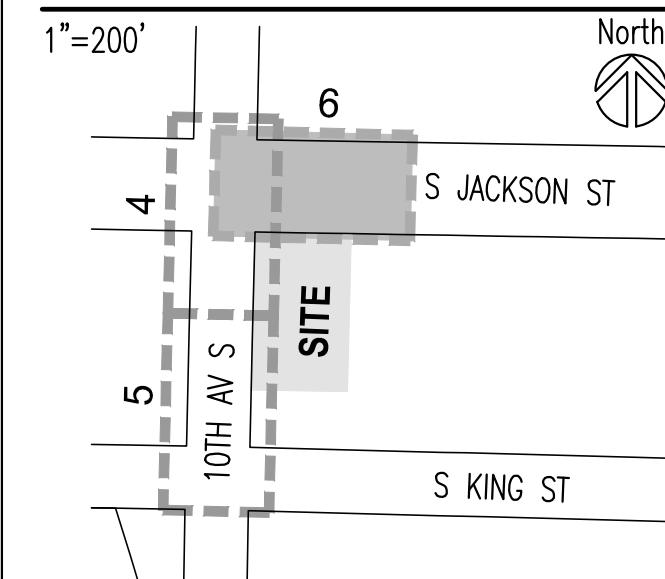
1001 S JACKSON ST

SHEET 5 OF 17

LEGEND	
CONCRETE PAVEMENT (STD PLAN 420A)	
ASPHALT PAVEMENT (STD PLAN 402C)	
2" ASPHALT GRIND & OVERLAY (STD PLAN 402B)	
CONCRETE WALK (STD PLAN 420)	
LANDSCAPING	
EXISTING CENTER LINE	
EXISTING FLOWLINE	
PROPOSED FLOWLINE	
PROPOSED TOP OF CURB	
PROPOSED BACK OF WALK	
EXISTING SPOT ELEVATION	

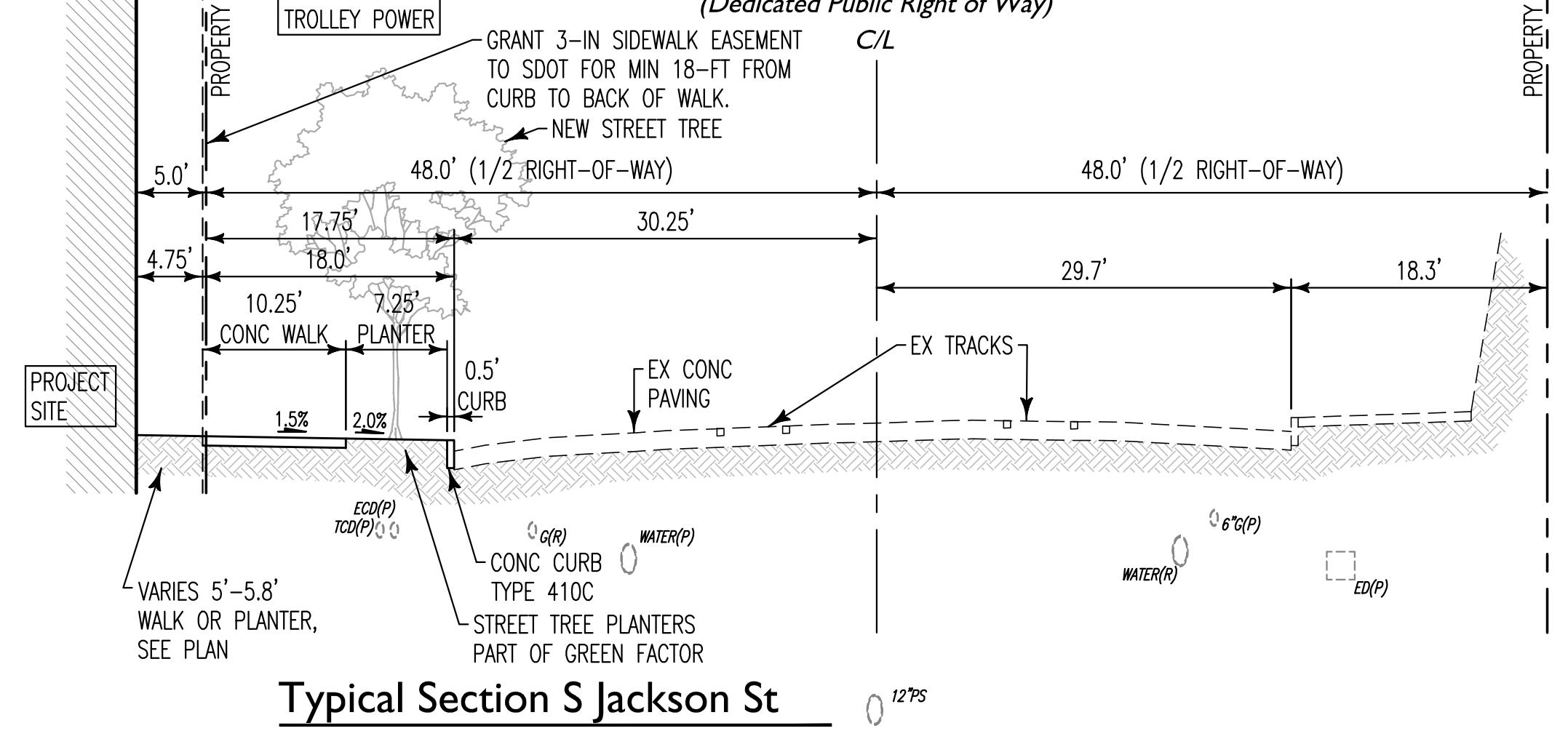
COORDINATE STREET/PARKING SIGNAGE REMOVAL AND INSTALLATION IN THE RIGHT-OF-WAY WITH WILLIAM WAN, SDOT STREET SIGNAGE, AT 206-684-8175. SEE GENERAL NOTE #27 FOR PAY STATION/SIGN REMOVAL/RELOCATION.
PROTECT TREES & VEGETATION PER STANDARD SPECIFICATIONS 1-07.16(2) & 8-01.3(2)B. CONTACT SDOT URBAN FORESTER BEN.ROBERTS@SEATTLE.GOV FOR FIELD REVIEW OF TREE, VEGETATION AND SOIL PROTECTION PLAN PRIOR TO CONSTRUCTION. SEE TREE PROTECTION NOTES ON SHEET 2.
THE CONTRACTOR SHALL COORDINATE SIDEWALK CLOSURES, STREET CLOSURES AND ROW USE PERMITS WITH THE CITY OF SEATTLE DEPARTMENT OF TRANSPORTATION (SDOT).
100.00

VICINITY MAP

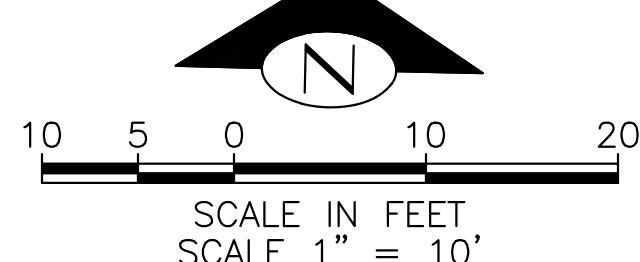


NEW STREET TREES #SDOTREE0005117	
SPECIES/BOTANICAL NAME	STATION (OFFSET)
① STREET TREE Aesculus x carnea "Briotii" (RED HORSECHESTNUT)	STA 10+73.50, 34.58 RT
② STREET TREE Aesculus x carnea "Briotii" (RED HORSECHESTNUT)	STA 11+03.56, 34.62 RT
③ STREET TREE Aesculus x carnea "Briotii" (RED HORSECHESTNUT)	STA 11+25.55, 34.48 RT

South Jackson Street (Dedicated Public Right of Way)

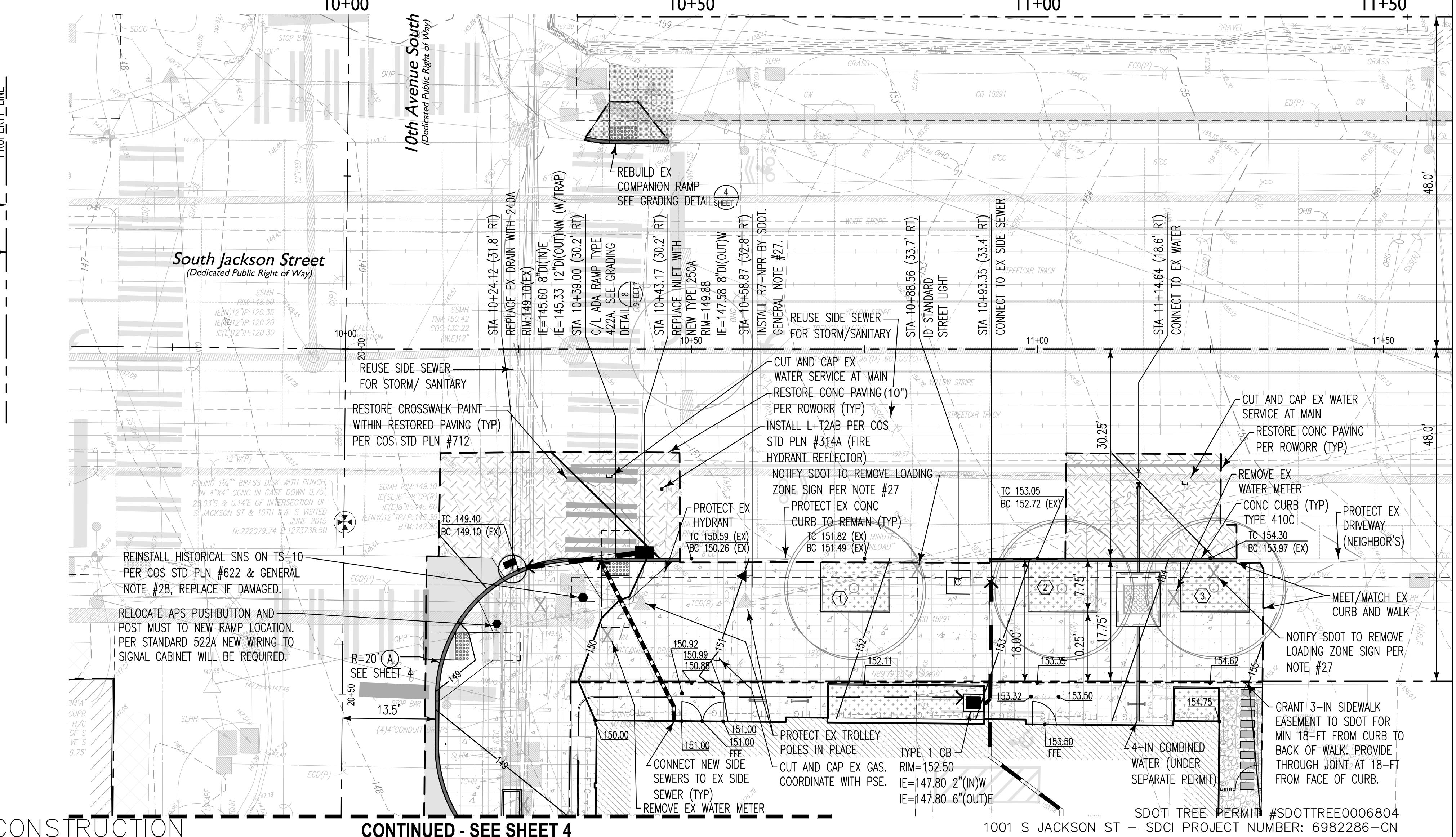
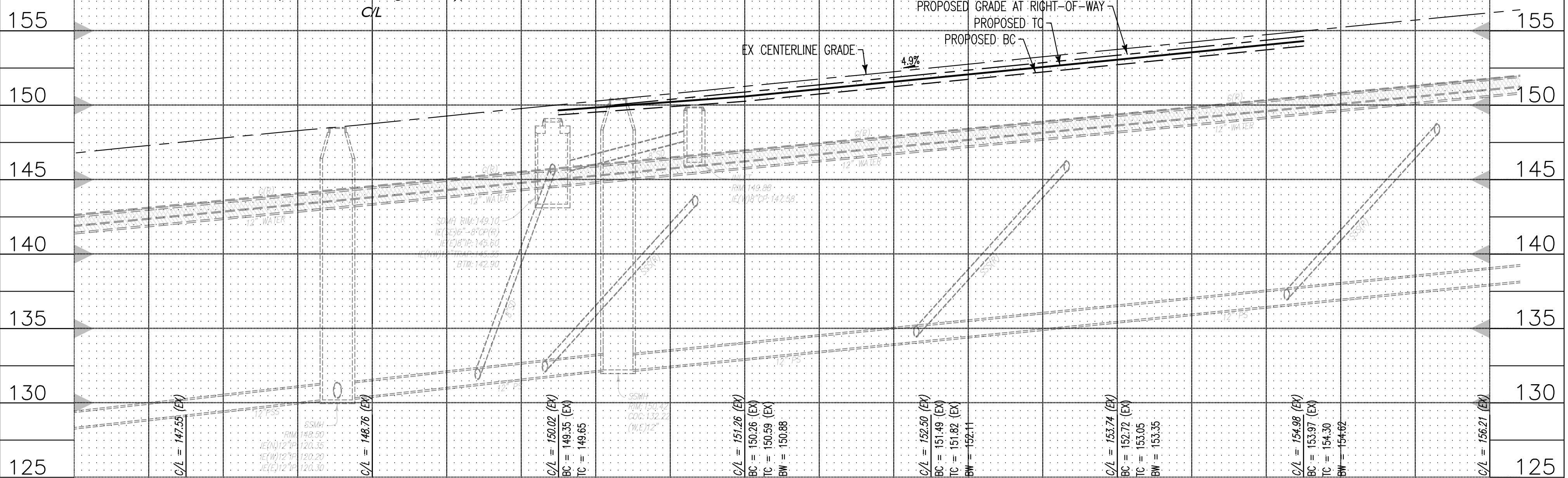


DATE	MARK	NATURE	MADE/DOK'D/REVD
11/07/24	008	SDOT	11/07/24 12:47



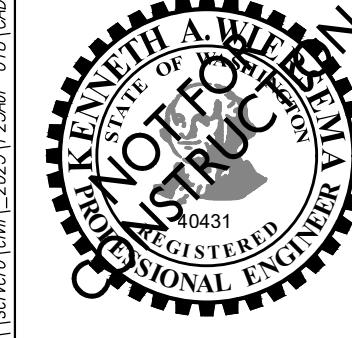
10th Avenue South (Dedicated Public Right of Way)

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CONTINUED - SEE SHEET 4

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1001 S JACKSON ST

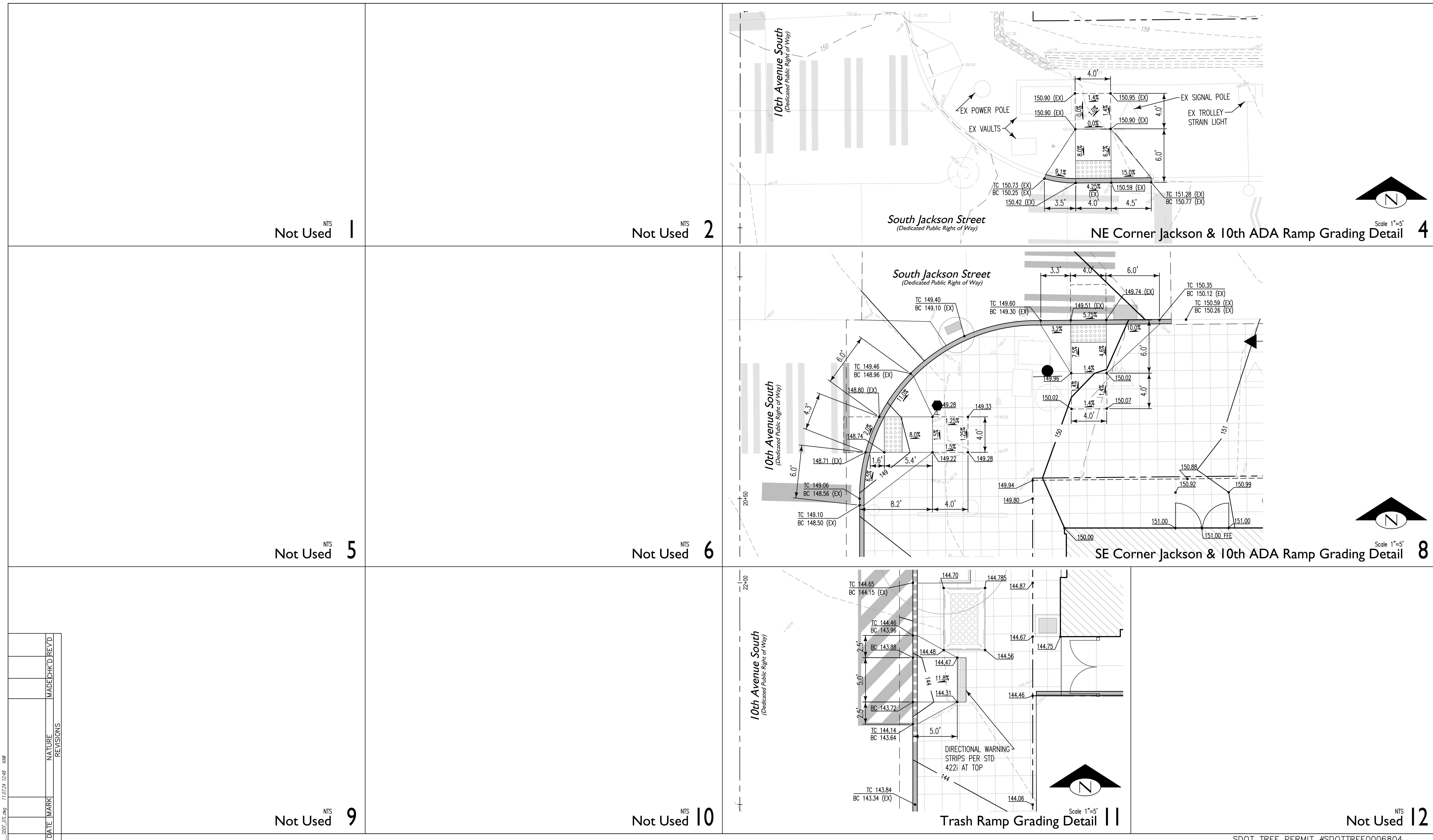
PLAN AND PROFILE
S JACKSON ST

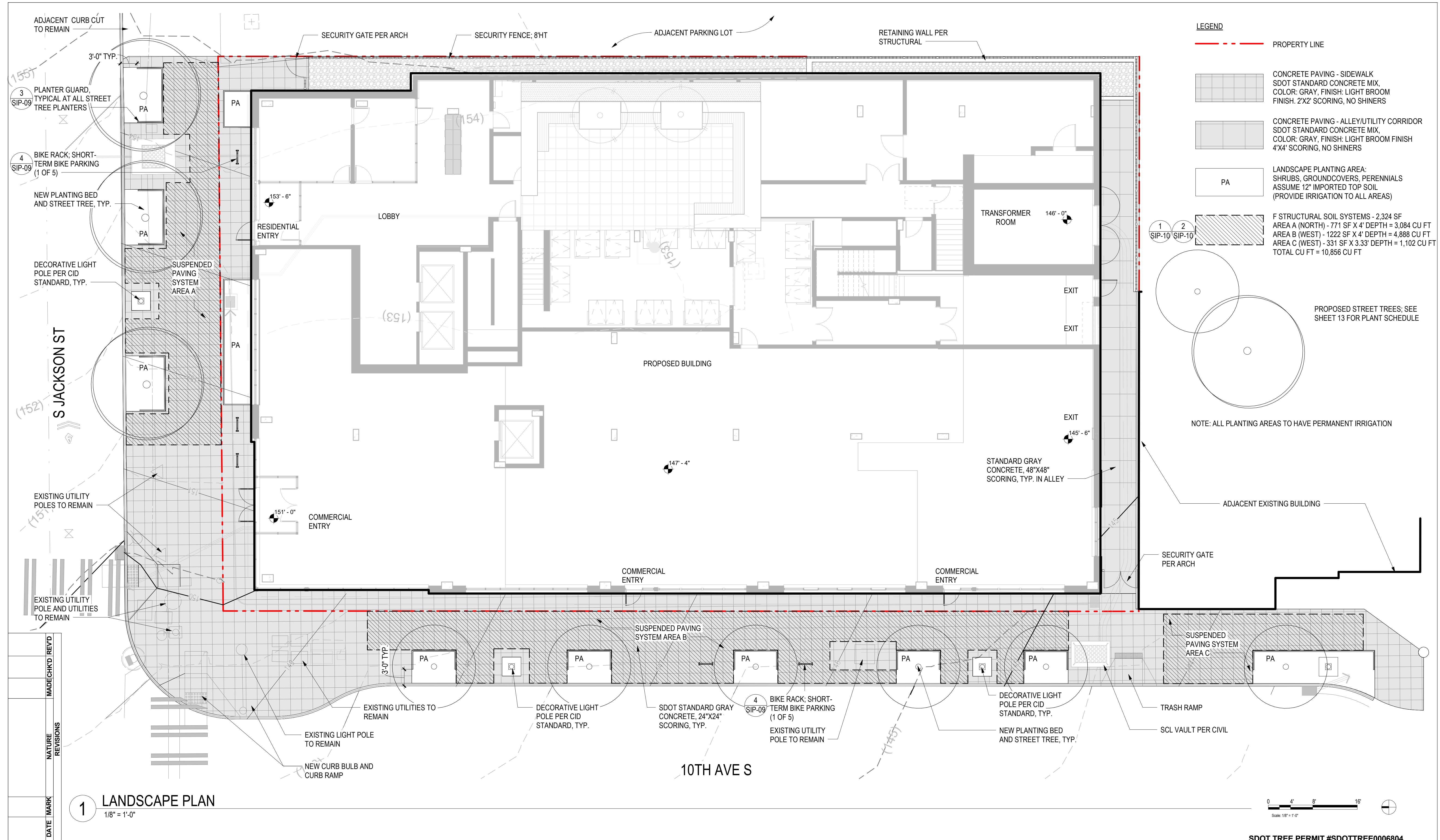
SDOT PROJECT NO.
SUSI0000772

VAULT PLAN NO.

VAULT SERIAL NO.

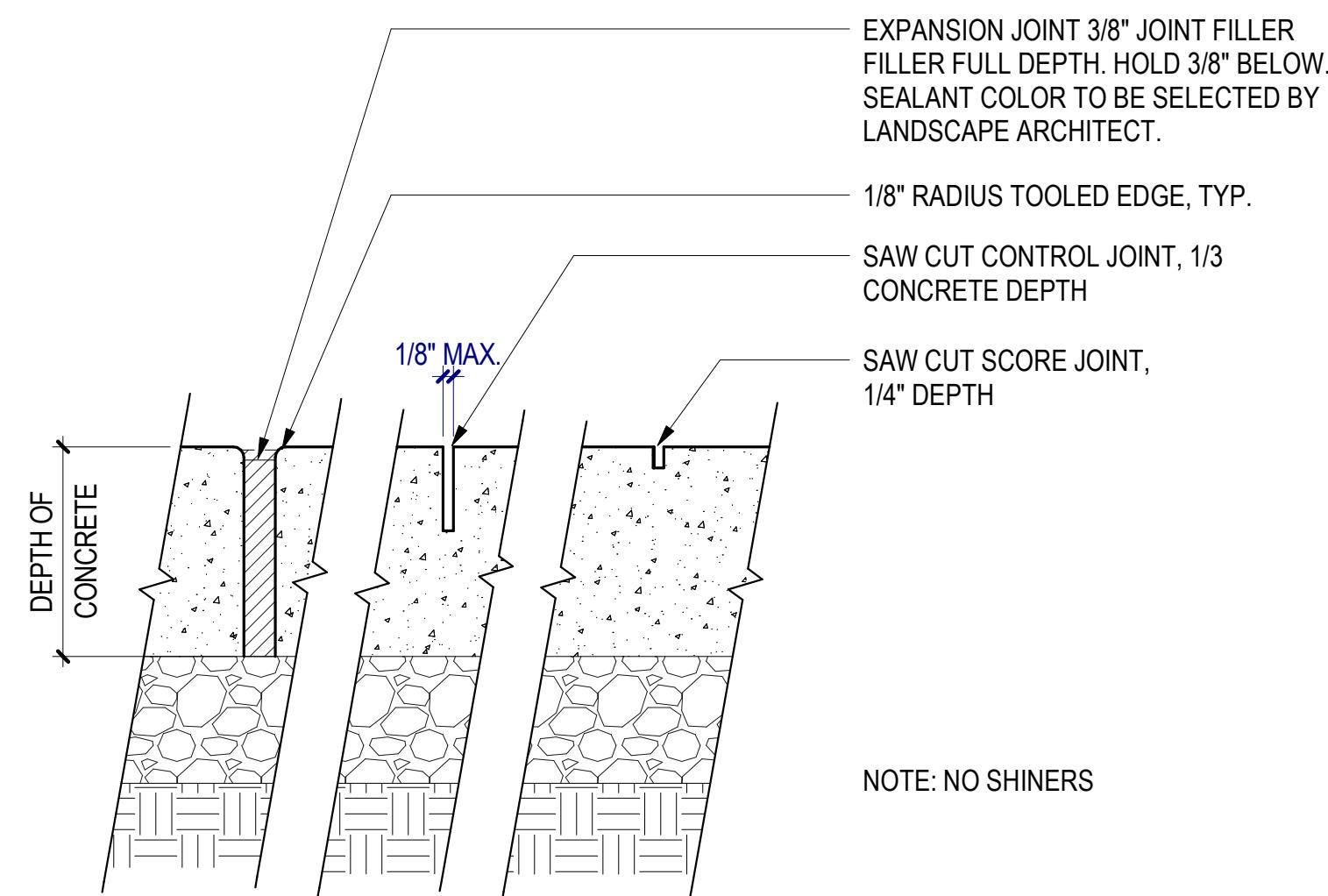
SHEET 6 OF 17



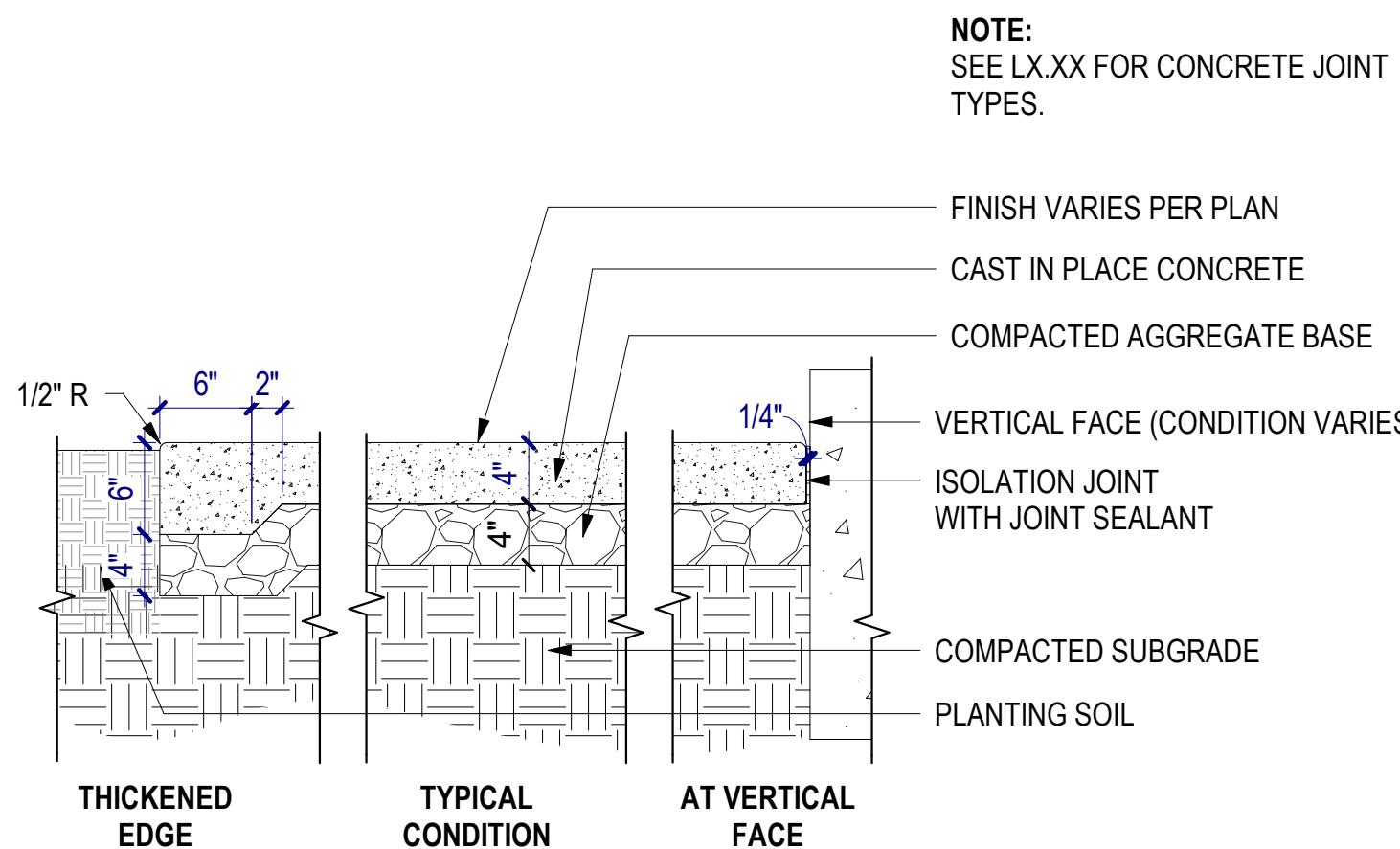


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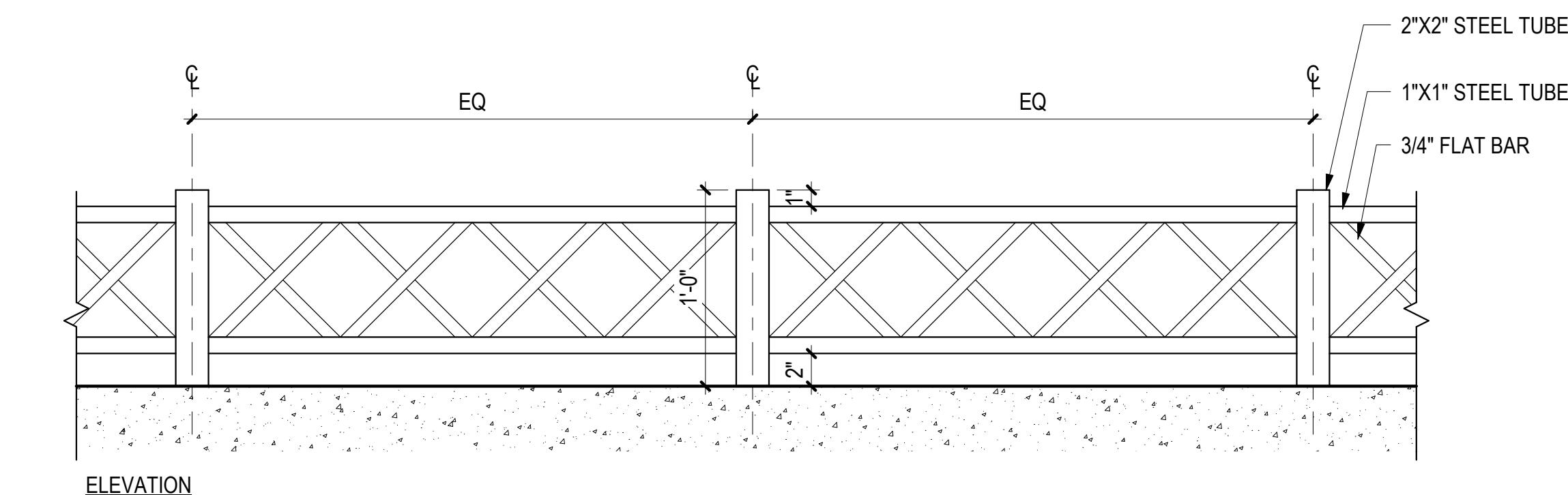
SDOT PROJECT NO. SUSIP000772
VAULT PLAN NO.
VAULT SERIAL NO.
SHEET 8 OF 17



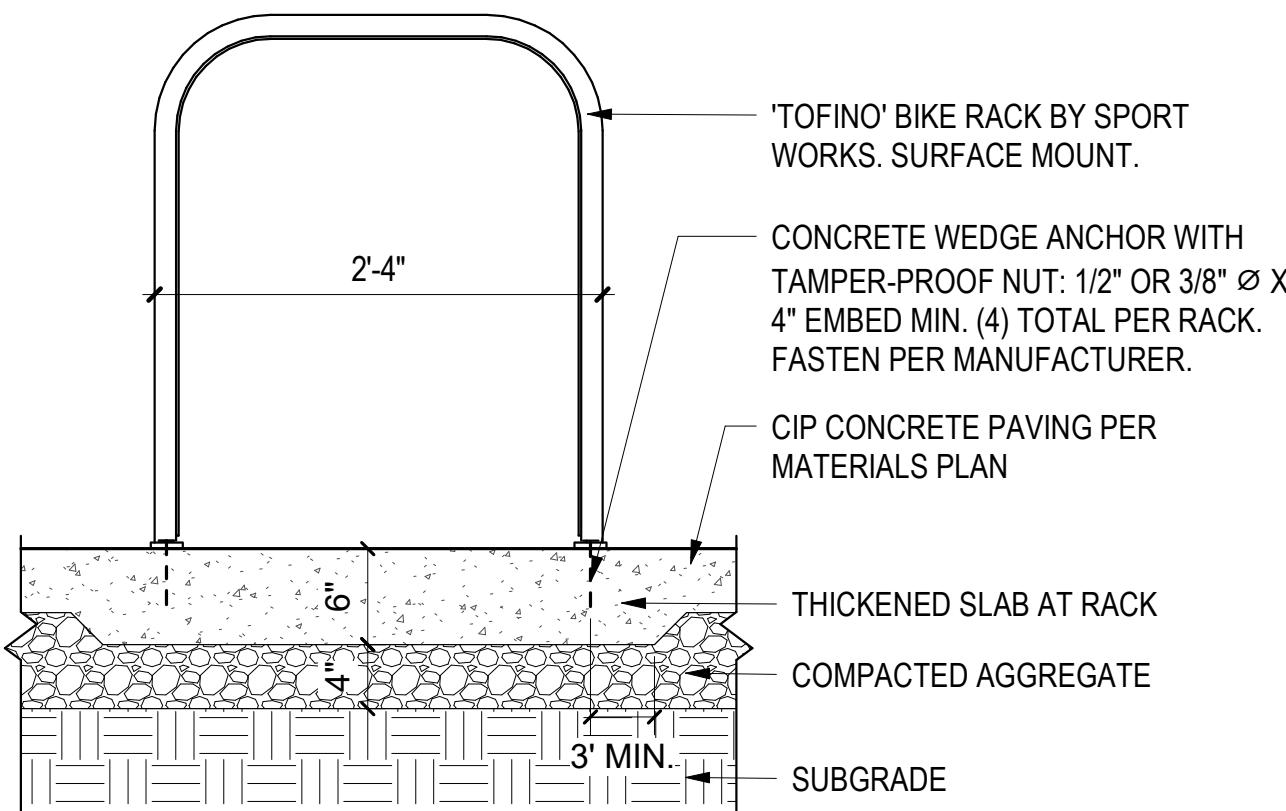
1 CONCRETE JOINTS
6" = 1'-0"



2 PEDESTRIAN CONCRETE PAVING
1" = 1'-0"



3 PLANTER GUARD
1 1/2" = 1'-0"



4 BIKE RACK 'TOFINO'
1" = 1'-0"

DATE	MARK	NATURE	REVISIONS	MADE/CHK'D	REVD

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SPU/WATER ENGINEERING	SDOT SUPERVISOR
SPU/DRAINAGE	REVISED AS-BUILT

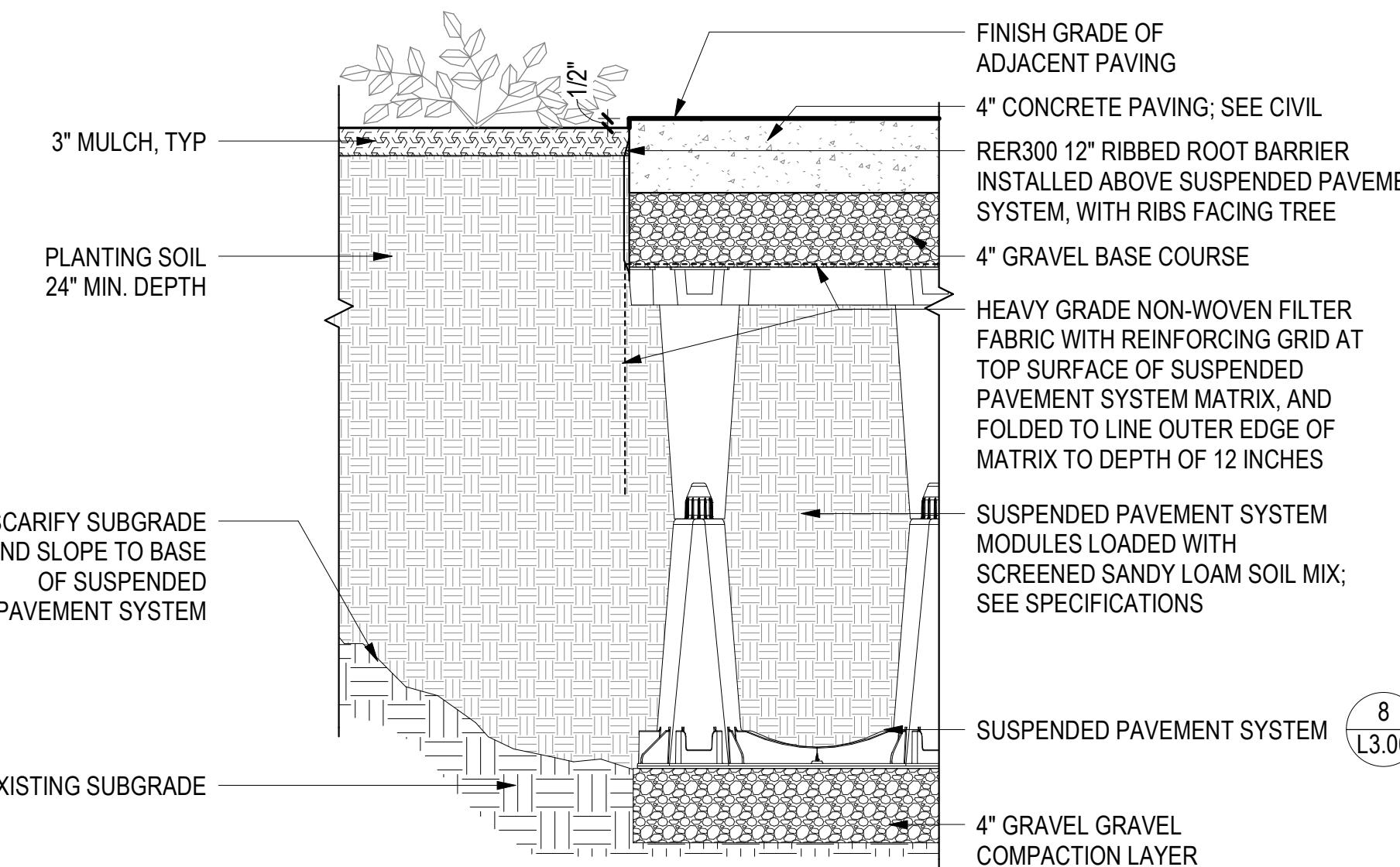
 Seattle
Department of
Transportation

SDOT TREE PERMIT #SDOT TREE 0006804
1001 S JACKSON ST - SDCI PROJECT NUMBER: 6982286-CN

SDOT PROJECT NO.
SUSIP0000772
VAULT PLAN NO.
VAULT SERIAL NO.
SHEET 9 OF 17

1001 S JACKSON ST
LANDSCAPE DETAILS

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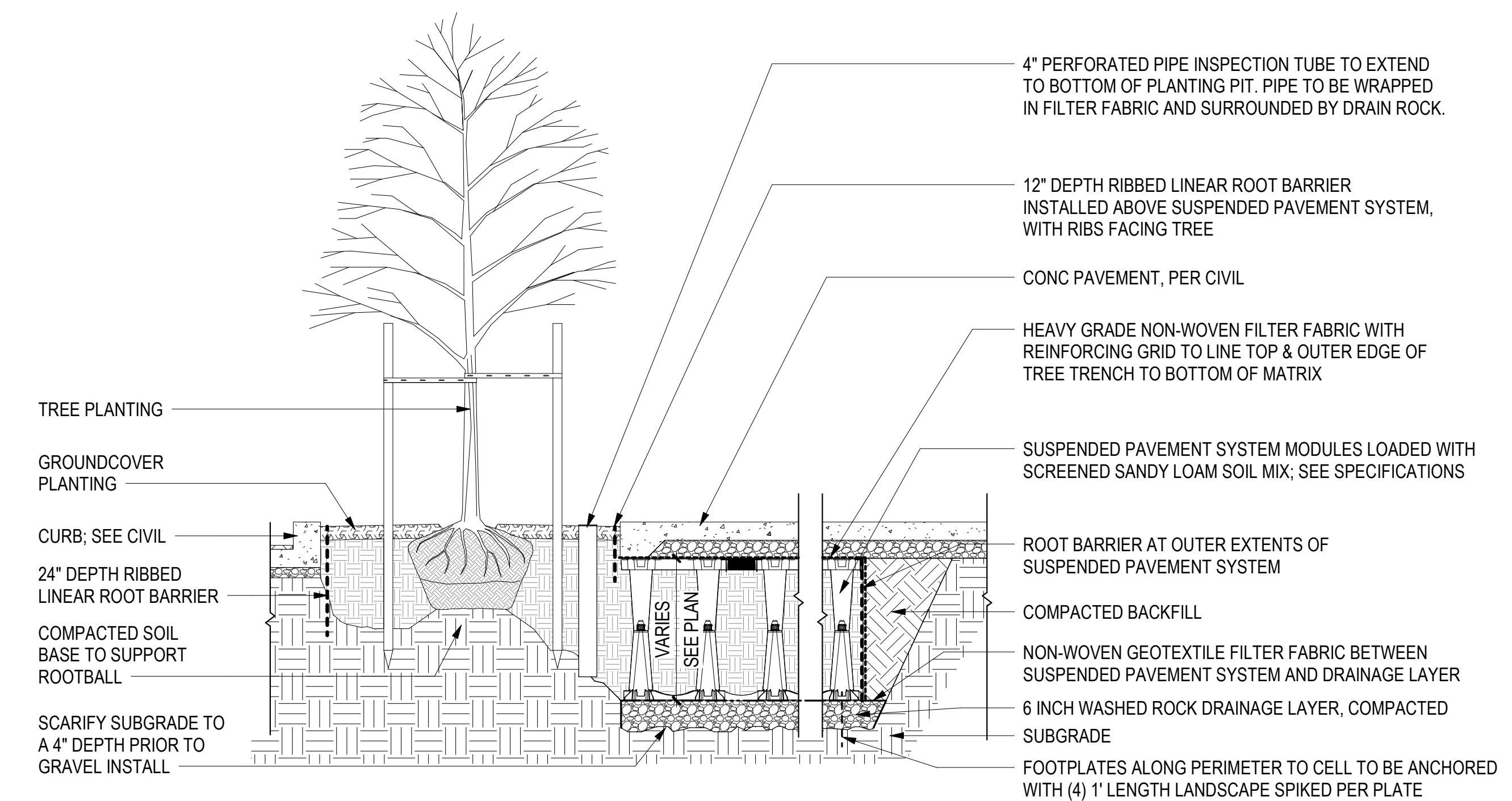


1 SUSPENDED PAVEMENT SYSTEM AT TREE PITS

1 1/2" = 1'-0"

2 SUSPENDED PAVEMENT SYSTEM AT TREE PITS

1 1/2" = 1'-0"



DATE	MARK	NATURE	REVISIONS	MADE/CHK'D/REVD

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SPU/DRAINAGE	REVISED AS-BUILT

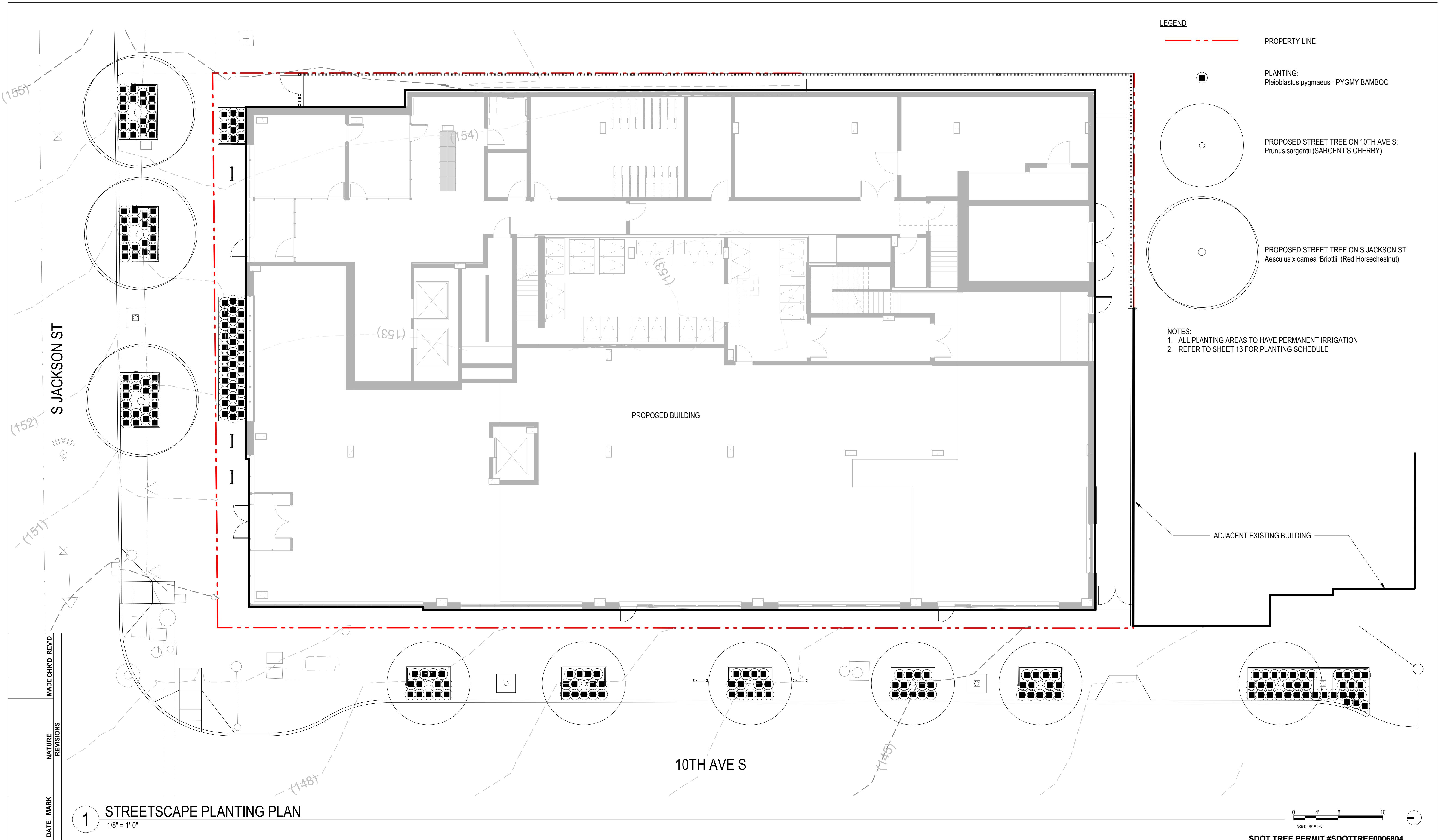
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SDOT TREE PERMIT #SDOTREE0006804
1001 S JACKSON ST - SDCI PROJECT NUMBER: 6982286-CN

1001 S JACKSON ST
LANDSCAPE DETAILS

SDOT PROJECT NO. SUSIP000772
VAULT PLAN NO.
VAULT SERIAL NO.
SHEET 10 OF 17



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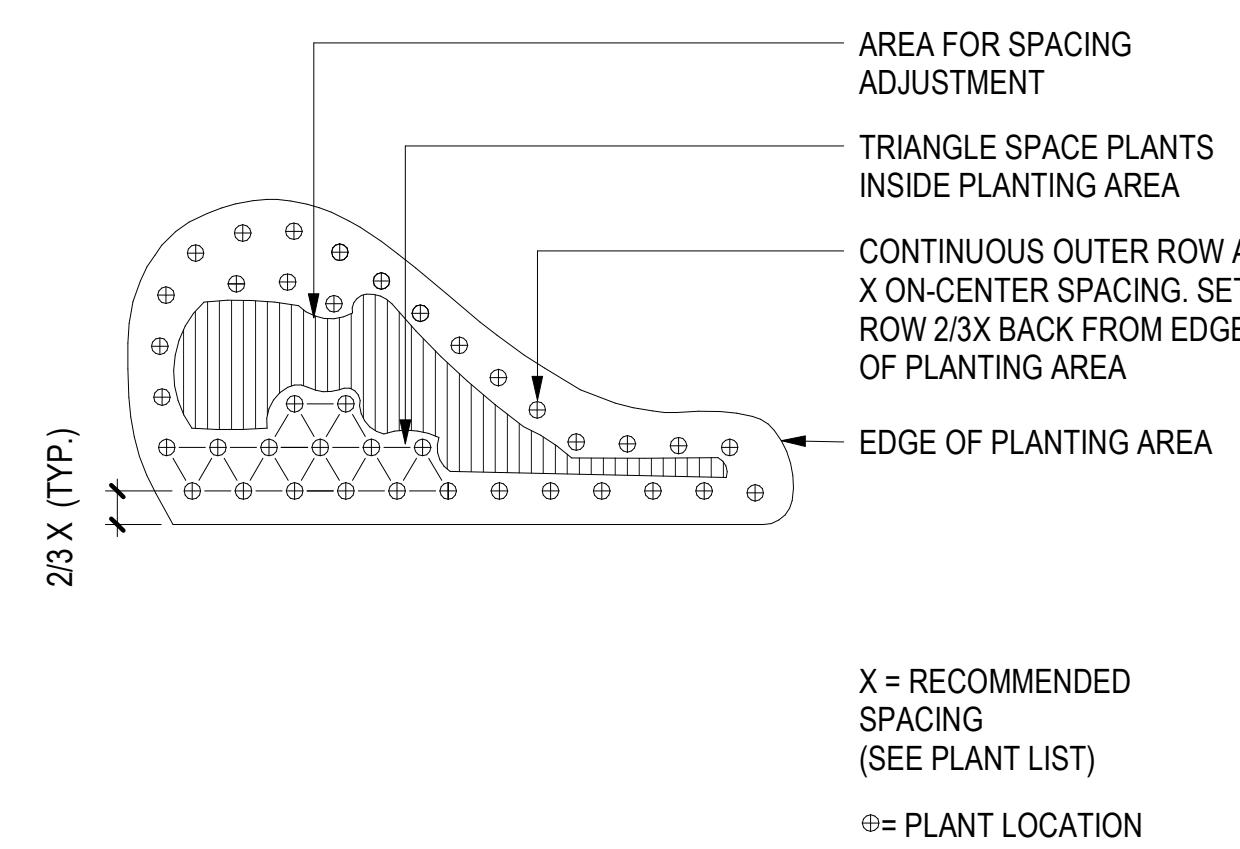
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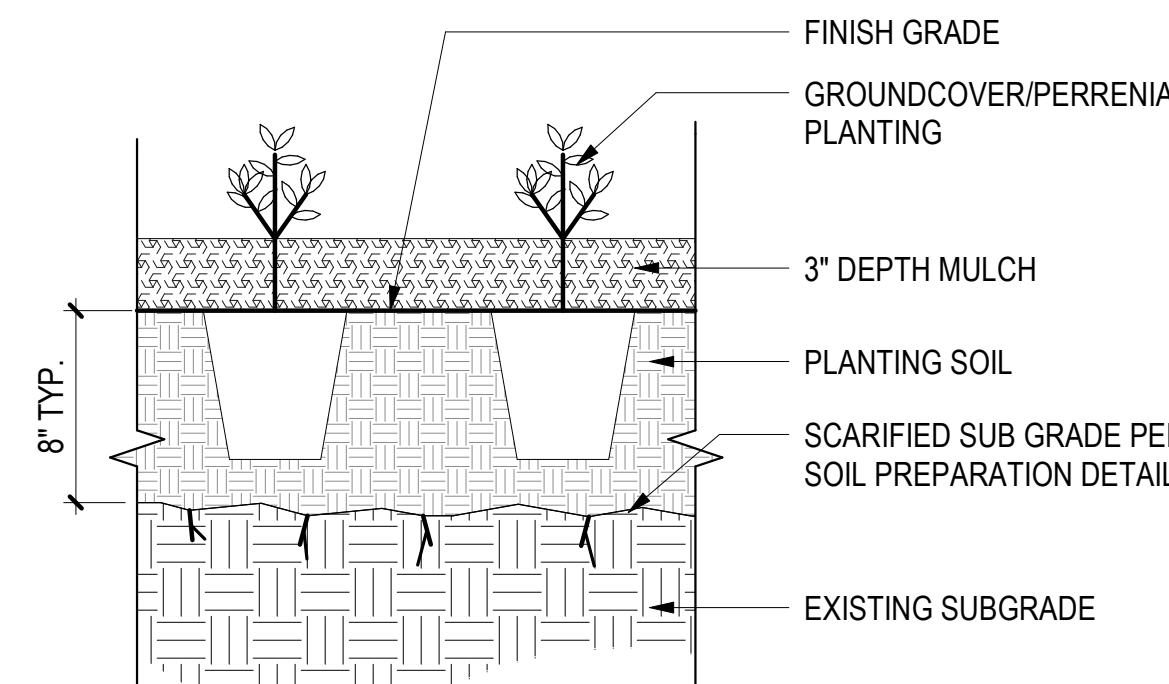
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SPU/DRAINAGE	REVISED AS-BUILT

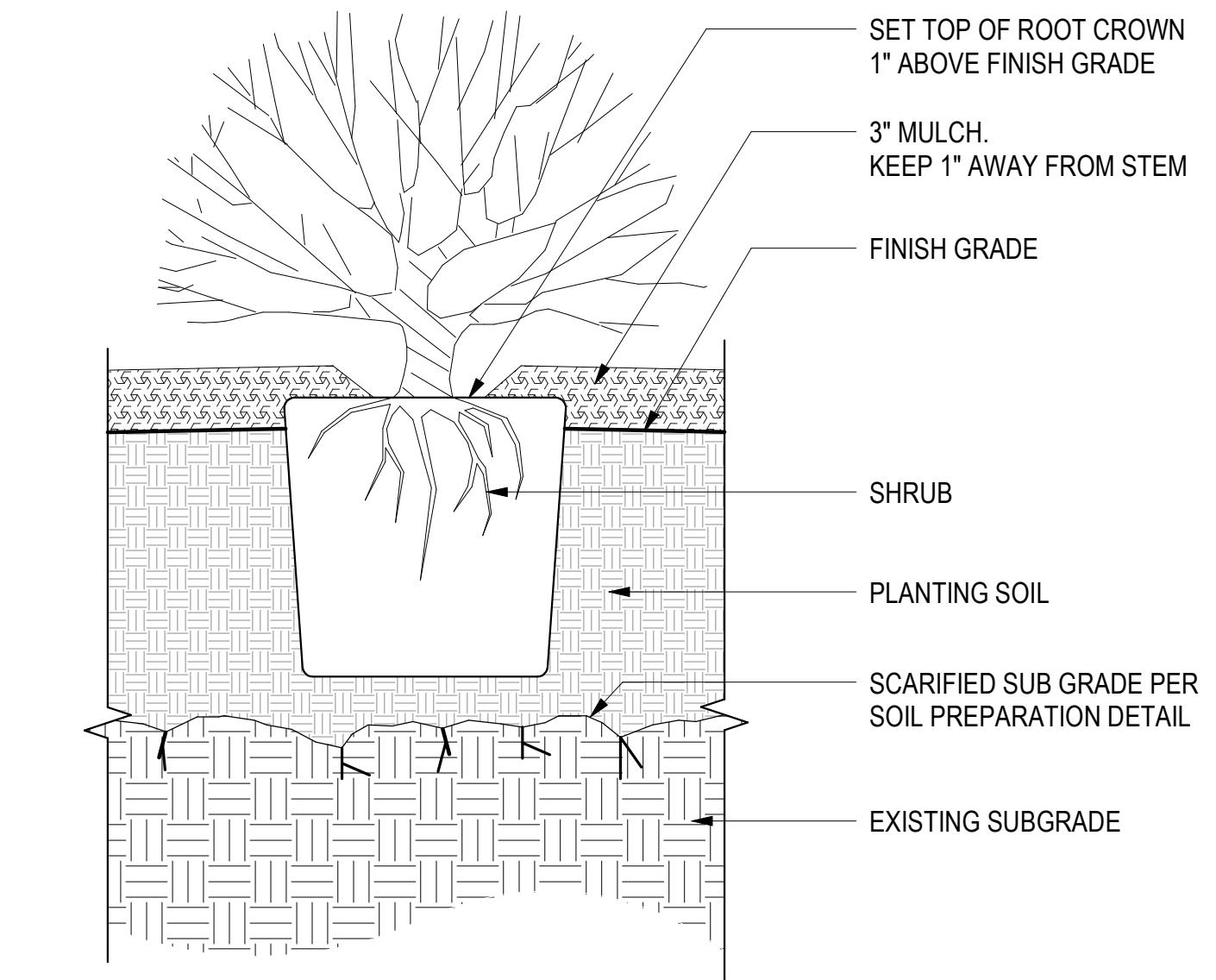




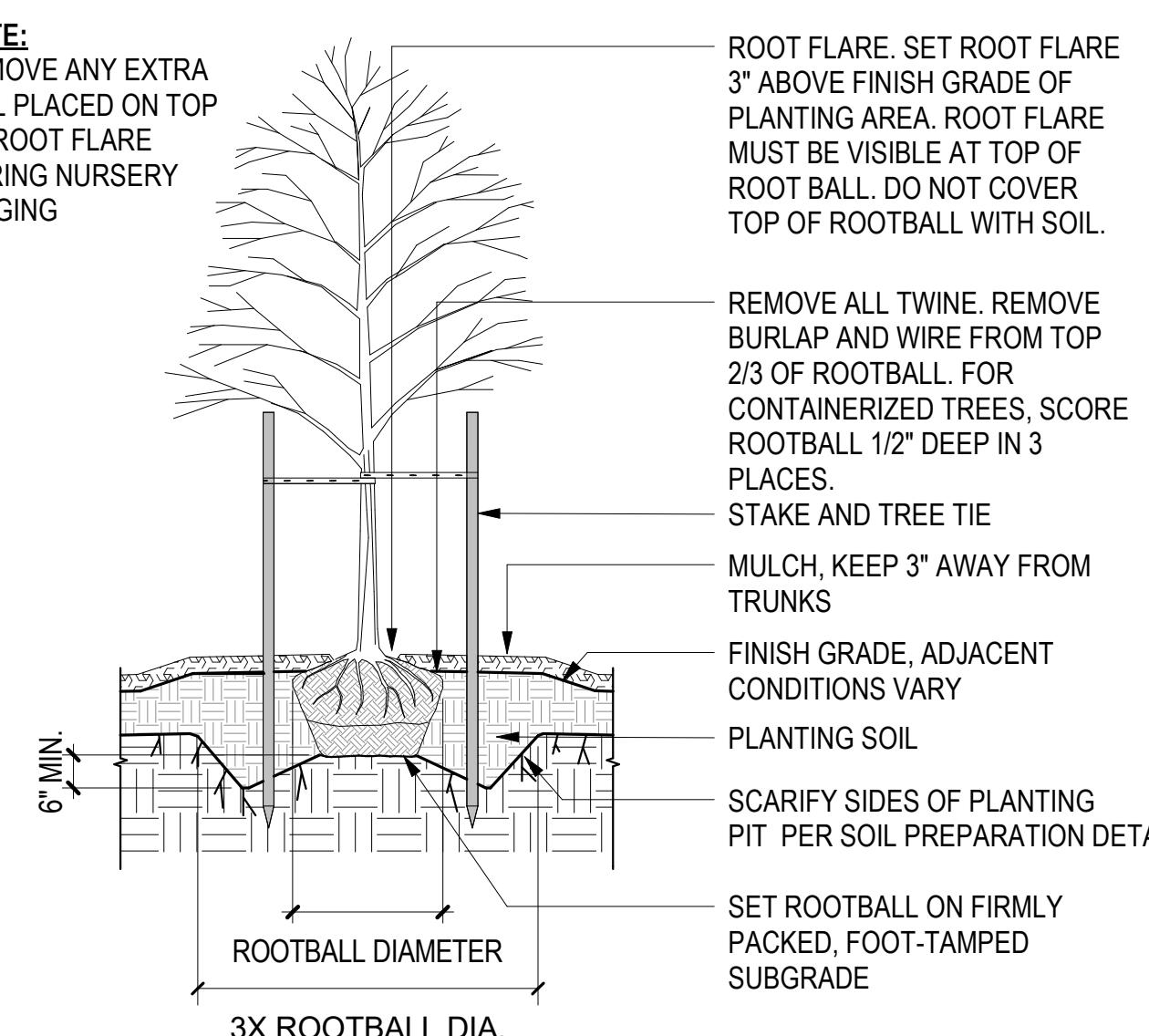
1 PLANT SPACING
1/2" = 1'-0"



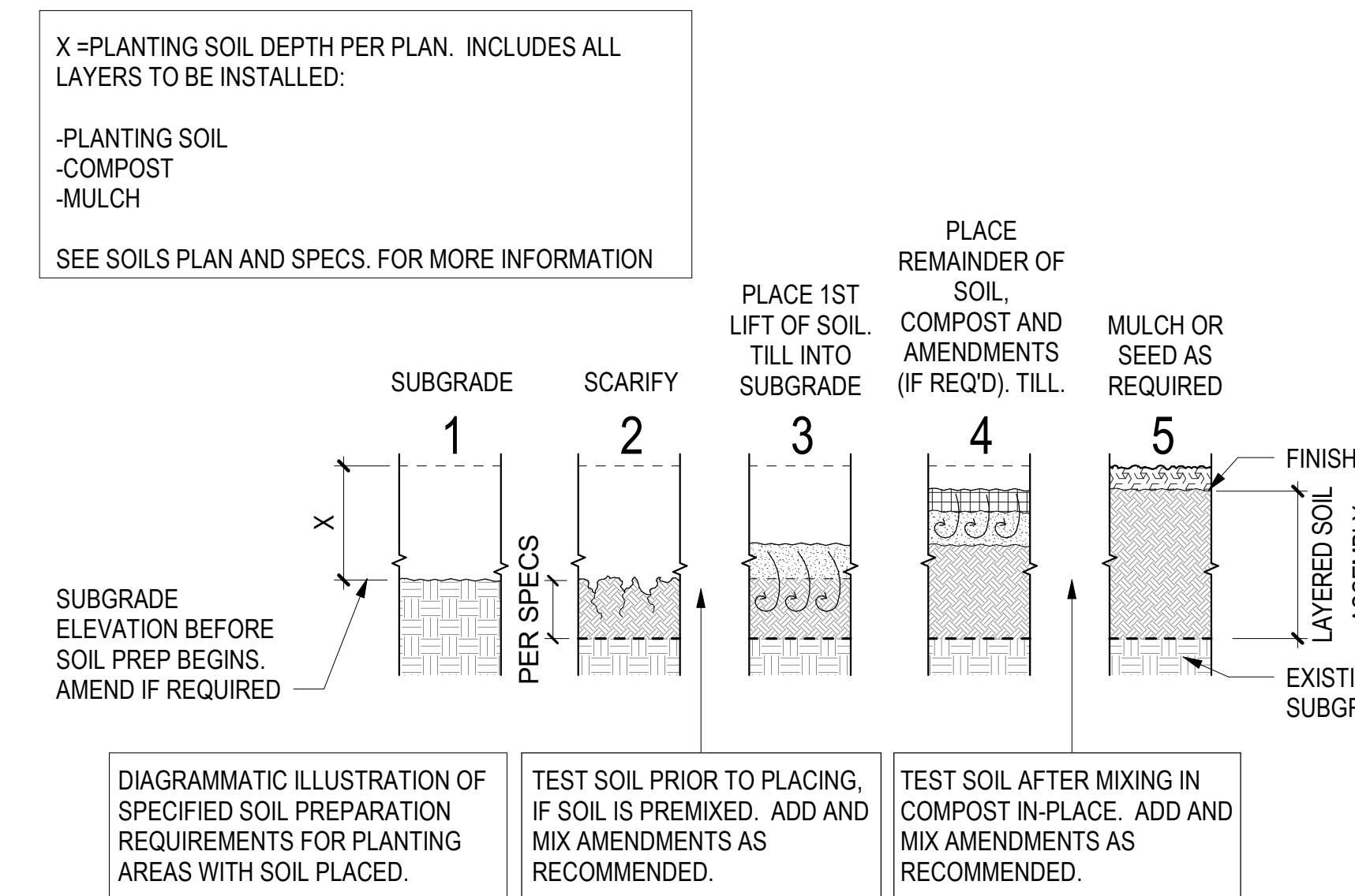
2 GROUNDCOVER PLANTING
1 1/2" = 1'-0"



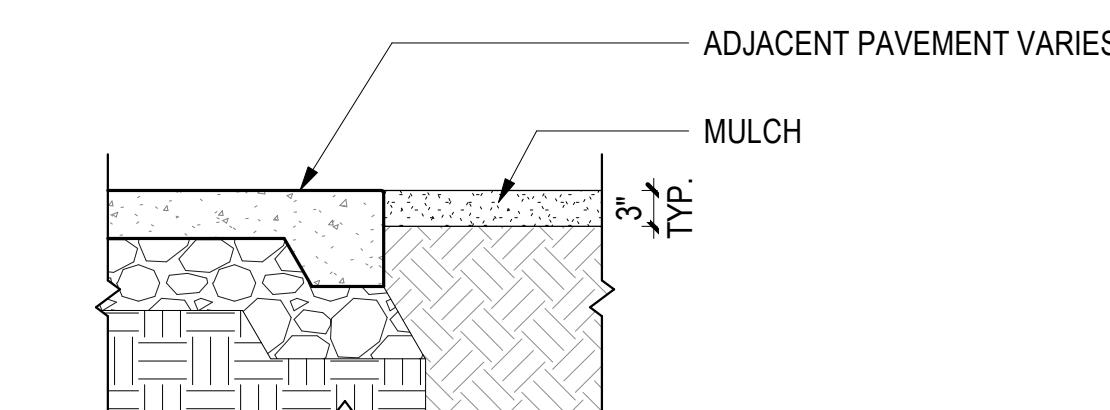
3 SHRUB PLANTING
1 1/2" = 1'-0"



4 TREE PLANTING WITH STAKES
3/8" = 1'-0"



5 SOIL PREPARATION
6" = 1'-0"



6 MULCH AT PAVEMENT
3/4" = 1'-0"

DATE	MARK	NATURE	REVISIONS	MADE/CHK'D/REVD

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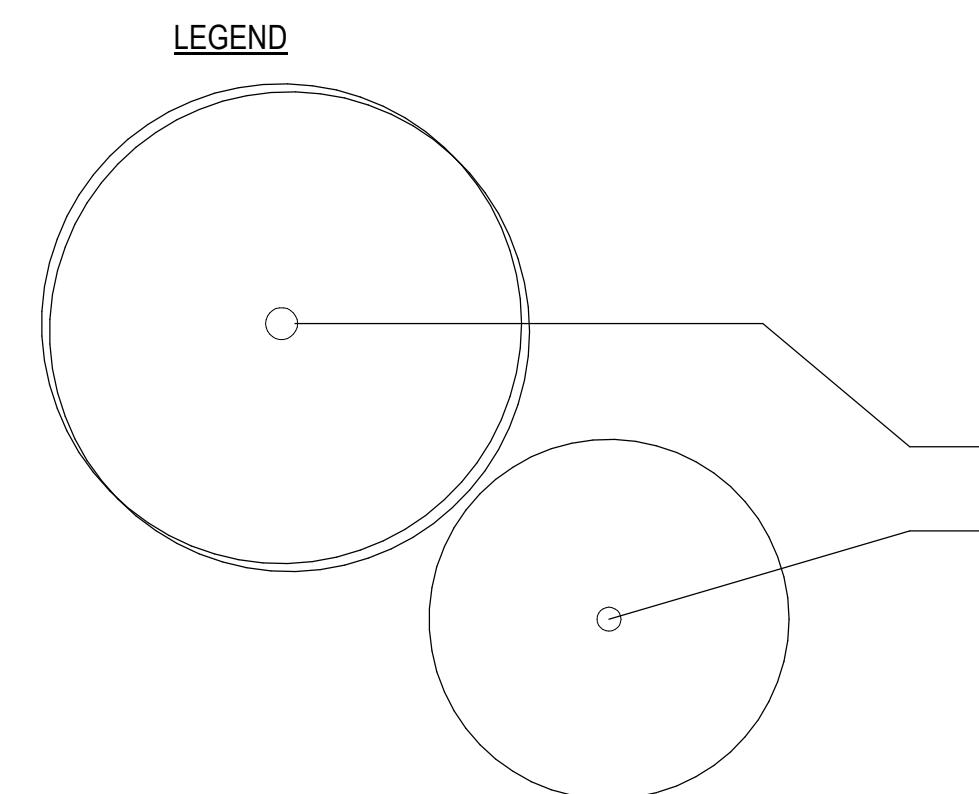
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SPU/WATER ENGINEERING	SDOT SUPERVISOR
SPU/DRAINAGE	REVISED AS-BUILT



SDOT TREE PERMIT #SDOTREE0006804
1001 S JACKSON ST - SDCI PROJECT NUMBER: 6982286-CN
1001 S JACKSON ST
PLANTING DETAILS
SDOT PROJECT NO.
SUSIP000772
VAULT PLAN NO.
VAULT SERIAL NO.
SHEET 12 OF 17



STREETSCAPE PLANT SCHEDULE

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ON-CENTER SPACING	ROOT CONDITION	NATIVE/ADAPTED	COMMENTS
TREE								
3	AES CAR	Aesculus x carnea 'Briotii'	RED HORSECHESTNUT	2" - 2.5" CAL	AS SHOWN	B&B		FULL EVEN UPRIGHT STRUCTURE WITH STRONG CENTRAL LEADER
6	PRU SAR	Prunus sargentii	SARGENT'S CHERRY	2" - 2.5" CAL	AS SHOWN	B&B		FULL EVEN UPRIGHT STRUCTURE WITH STRONG CENTRAL LEADER
BAMBOO								
204	CIS COR	Pleioblastus pygmaeus	PYGMY BAMBOO	5 GAL	24" O.C.	CONTAINER	X	ADAPTED TO SEATTLE

NOTES

1. PLANT SIZE AND SPACING DEMONSTRATE PLANT COVERAGE OF ALL PLANTING AREAS WITHIN THREE GROWING SEASONS WITH A COMBINATION OF SHRUBS, PERENNIALS AND GROUNDCOVERS.
2. ALL PLANTING AREAS TO BE SUPPLIED WITH A PERMANENT IRRIGATION SYSTEM FOR A MINIMUM OF (2) GROWING SEASONS TO ENSURE ADEQUATE PLANT ESTABLISHMENT.

DATE	MARK	REVISIONS	MADE/CHK'D/REVD

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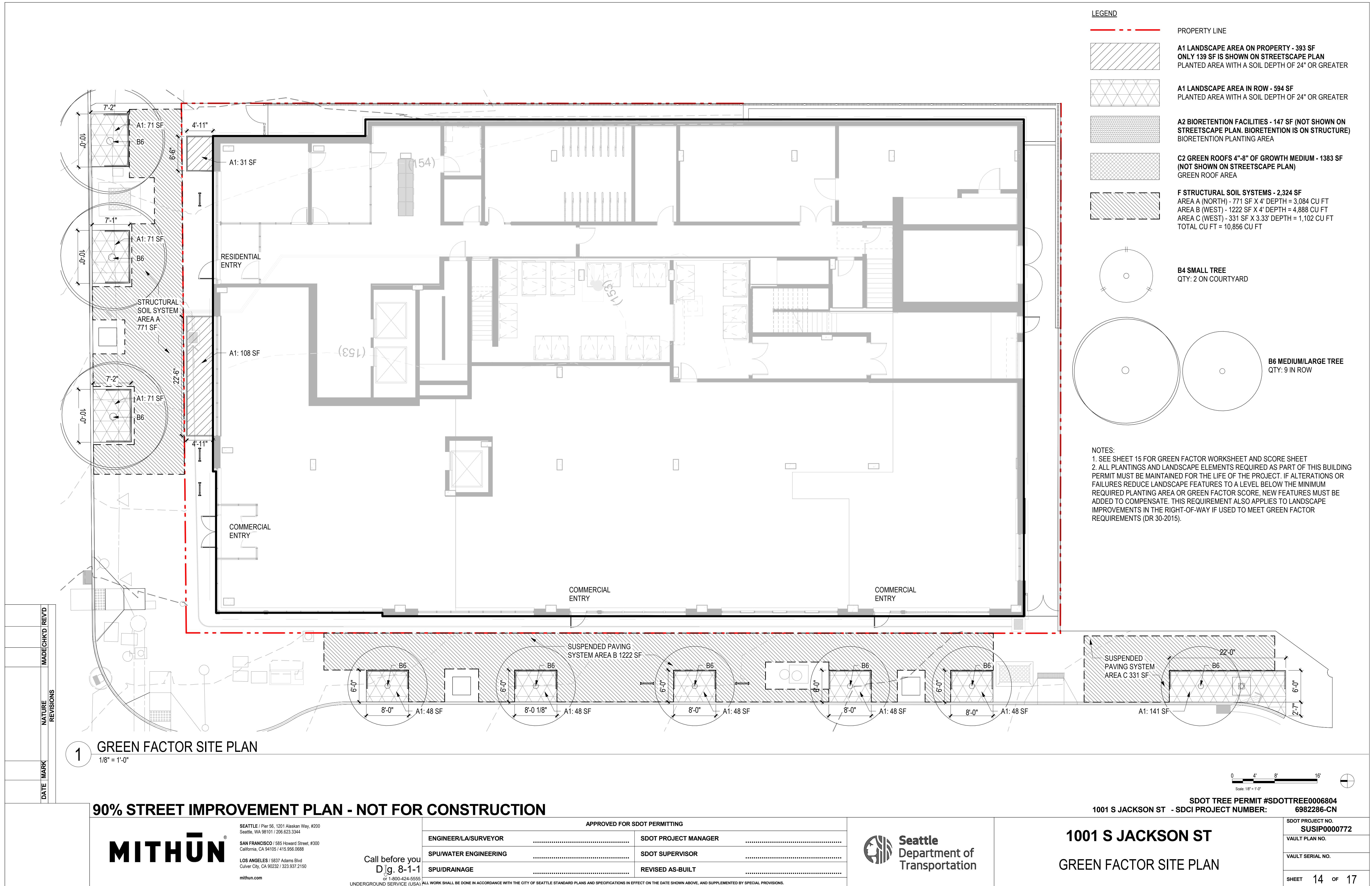
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SPU/DRAINAGE	REVISED AS-BUILT



SDOT TREE PERMIT #SDOTREE0006804
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1001 S JACKSON ST
PLANTING SCHEDULE

SDOT PROJECT NO.
SUSIP0000772
VAULT PLAN NO.
VAULT SERIAL NO.
SHEET 13 OF 17



Green Factor Worksheet								SEATTLE 	
Project title:		Planting Area							
Little Saigon Landmark		1	2	3	4	5	6		7
Landscape Elements		Step 1. Enter all values for Green Factor landscape elements here. Values entered here will automatically populate the Score Sheet.							
		Step 2. Go to the Score Sheet and enter the size of the development site.							
		Step 3. Check the Score to make sure your project meets the minimum score for the zone.							
*Totals on the Green Factor Scoresheet will calculate automatically									
Measurement									
A1	square feet	594	393					987	
A2	square feet		147					147	
B1	square feet	594	540					1134	
B2	# of plants	161	187					348	
B3	# of plants							0	
B4	# of trees		2					2	
B5	# of trees	0						0	
B6	# of trees	9						9	
B7	# of trees							0	
B8	Inches DBH							0	
C1	square feet							0	
C2	square feet	1383						1383	
C3	square feet							0	
D	square feet							0	
E1	square feet							0	
E2	square feet							0	
F	square feet	2324						2324	
G1	square feet	594	411					1005	
G2	square feet							0	
G3	square feet	594	139					733	
G4	square feet							0	

REVISED 07-07-2020

Green Factor Scoresheet PAGE 1								SEATTLE 		
Project title:		Enter sq ft of parcel								
Little Saigon Landmark		Parcel size	16,500	Score	0.342491					
Landscape Elements**								Totals calculate automatically from Green Factor Worksheet		
A Planted areas								987	0.6	592
1 Planted areas with a soil depth of 24" or greater								square feet		
2 Bioretention facilities								147	1	147
B Plantings (credit for plants in landscaped areas from Section A)								square feet		
1 Mulch, ground covers, or other plants less than 2' tall at maturity								1134	0.1	113
2 Medium shrubs or perennials 2'-4' tall maturity - calculated at 9 sq ft per plant (typically planted no closer than 18" on center)								348	0.3	940
3 Large shrubs or perennials 4'+ at maturity - calculated at 36 sq ft per plant (typically planted no closer than 24" on center)								0	0	0
4 Small Trees								2	0.3	45
Tree canopy for "Small Trees" or equivalent (canopy spread of 8' to 15') - calculated at 75 sq ft per tree								trees		
5 Small/Medium Trees								0	0.5	0
Tree canopy for "Small/Medium Trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree								trees		
6 Medium/Large Trees								9	0.7	1,575
Tree canopy for "Medium/Large Trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree								trees		
7 Large Trees								0	0.9	0
Tree canopy for "Large Trees" or equivalent (canopy spread of 26' or more) - calculated at 350 sq ft per tree								trees		
8 Preserved Trees								0	1	0
Tree canopy for preservation of existing trees with trunks 6"+ DBH (Diameter at Breast Height, 4.5' above the ground) - calculated at 20 sq ft per inch diameter								inches		
* Do not count public rights-of-way in parcel size calculation.										
** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR XX-2020).										

REVISED 07-07-2020

Green Factor Scoresheet PAGE 2								SEATTLE 		
C Green roofs										
1 Green roofs over at least 2" and less than 4" of growth medium								0	0.4	0
2 Green roofs 4"- 8" of growth medium								1383	0.6	830
3 Green roofs 8"+ of growth medium								0	0.8	0
D Vegetated walls								0	0.4	0
NC, C, SM, and South Downtown zones only								square feet		
E Permeable paving								0	0.2	0
1 Permeable paving over at least 6" and less than 24" of soil or gravel								0	0.5	0
2 Permeable paving over at least 24" of soil or gravel								0	0.5	0
F Structural soil systems								2324	0.5	1,162
sub-total of sq ft = 11,507								square feet		
G Bonuses										
1 Landscaping that consists of drought-tolerant and/or native plant species								1005	0.1	101
2 Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater or collected greywater								0	0.2	0
3 Vegetation visible to passersby from adjacent public right of way or public open spaces								733	0.2	147
4 Landscaping in food cultivation								0	0.1	0
Green Factor numerator = 5,651								square feet		
* Do not count public rights-of-way in parcel size calculation.										
** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR XX-2020).										

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DATE	MARK	REVISIONS	MADE/CHKD/REVD

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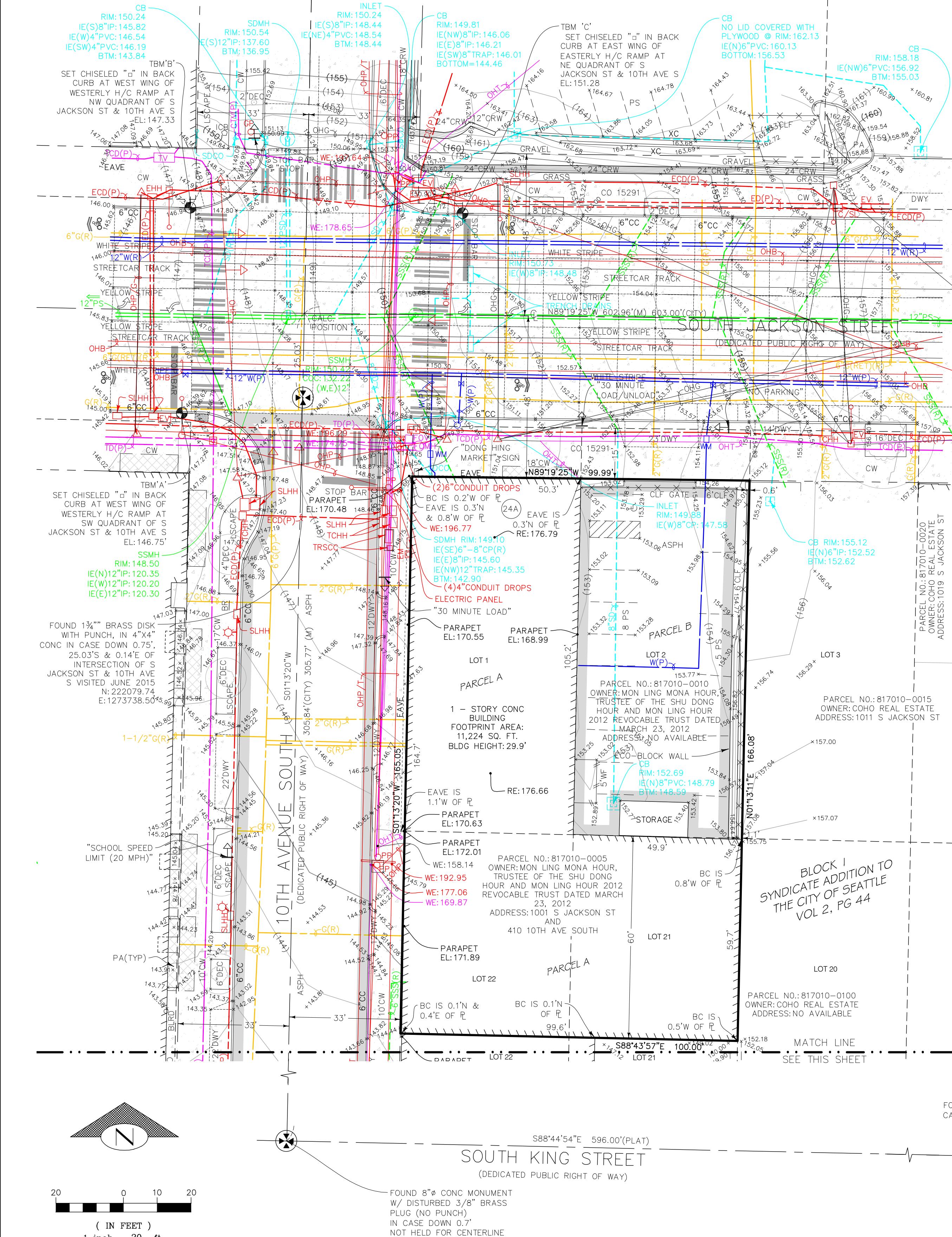
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SPU/WATER ENGINEERING	SDOT SUPERVISOR
SPU/DRAINAGE	REVISED AS-BUILT



1001 S JACKSON ST
GREEN FACTOR SCORE SHEET

SDOT PROJECT NO. SUSIP000772
VAULT PLAN NO.
VAULT SERIAL NO.
SHEET 15 OF 17

IN THE S.W. 1/4 OF THE N.E. 1/4 OF SECTION 5, TOWNSHIP 24 N., RANGE 04 E., W.M.



GEODETIC GROUND TO GRID INFORMATION

SCALE FACTOR BASIS: 4"X4" CONC MON IN CASE W/
1-3/4" BRASS DISK
25' SOUTH OF INTERSECTION OF S
JACKSON ST AND 10TH AVE S
NORTHING: 222079.74
EASTING: 1273738.50
(GRID) SCALE FACTOR: 0.99998939
ELEVATION (SCALE) FACTOR: 0.99999634
COMBINED GRID (SCALE) FACTOR: 0.99997933

FOUND MON. IN CASE
W/ 3/8" BRASS PIN
DOWN 0.75'
N: 222097.65
E: 1274341.82

LEGEND

ABAN/RET	AREA DRAIN
BLRD	ABANDONED/RETIRED
BC	ASPHALT (ASPH)
BR	BOLLARD
BRICK SURFACE	BUILDING LINE
BUILDING CORNER	BIKE RACK
CANOPY	CATCH BASIN (CB)
CATCH BASIN (CB)	CONCRETE SURFACE
CW/BW	CONCRETE/BRICK WALK
CRW/WRW	CONCRETE/WOOD RETAINING WALL
CC/XC	CONCRETE/EXTRUDED CURB
CP/IP	CONCRETE/IRON PIPE
CTV	CHAIN LINK FENCE (CLF)
COL	CABLE, TV
C/M	COLUMN
CS/WS	CENTER/MONUMENT LINE
CON	CONCRETE/WOOD STAIRS
DEC	H/C PARKING SPACE
CMP	CONIFEROUS TREE
C.O.C.	DECIDUOUS TREE
DWY	CORRUGATED METAL PIPE
ECD	CENTER OF CHANNEL
EHH	DRIVEWAY
EMH	ELECTRICAL CONDUIT
EM	ELECTRICAL DUCT
EV/ET	ELECTRICAL HANDHOLE
	ELECTRICAL MANHOLE
	ELECTRICAL METER
	ELECTRICAL VAULT/TRANSFORMER
	FOUND SURVEY MONUMENT (AS NOTED)
	FIRE HYDRANT
FO	FIRE DEPT. CONNECTION (FDC)
FOMH	FIBER OPTICS
FFE	FIBER OPTIC MANHOLE
G	FINISH FLOOR ELEVATION
GM	GAS MAIN
GV	GAS METER
GP	GAS VAULT
SP	GUY ANCHOR
ICB	GUY POLE
IV	STRAIN POLE
	IRRIGATION CONTROL BOX
	IRRIGATION VALVE
IE	IRON FENCE (WIF)
	INVERT ELEVATION
	LIGHT POLE (METAL)
	LIGHT POLE (WOOD)
	STRAIN POLE W/ LIGHT
	LIGHT POLE (DECORATIVE)
LSCAPE/PA	LANDSCAPE/PLANTER
OHP/OHT	MANHOLE
OHG/OHB	OVERHEAD POWER/TEL/PHONE
P.S.	OVERHEAD GUYWIRE/BUS (TROLLEY)
(P)	PARKING SPACE(S)
PE	PROPERTY LINE (PL)
PS/PSS	PAINTED UTILITY LOCATION
PSD	PIPE FLOW DIRECTION
(R)	POLYETHYLENE
	COMBINED/SANITARY SEWER
	STORM DRAIN
	PRIVATE CATCH BASIN
	PEDESTRIAN PUSH BUTTON (PPB)
	PEDESTRIAN SIGNAL/PEDESTRAL
	RECORD DATA
	GRAVEL SURFACE
	ROCKERY
	ROOF ELEVATION
	SEATTLE CITY LIGHT HANHOLE
	SERVICE DRAIN (STORM)
RE	CLEANOUT
SCL/CLHH	SANITARY SIDE SEWER (RECORD)
SD	SIGN/STREET NAME SIGN
CO	TRAFFIC CONTROL/STREET LIGHT HANHOLE
SS	TRAFFIC CONTROL CABINET (TRSCC)
	TRENCH DRAIN
	TEMPORARY BENCHMARK (TBM)
	TELEPHONE CONDUIT (BURIED)
	TELEPHONE DUCT
	TELEPHONE VAULT
	TELEPHONE MANHOLE
	TELEPHONE SENTRY
	TRAFFIC FLOW DIRECTION
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL CONDUIT (BURIED)
	UTILITY POLE (WOOD)
	WATER VAULT
	WATER MAIN
	WATER METER
	WATER VALVE
	WATER GATE VALVE/CHAMBER
	VACATION/CONDAMNATION ORDINANCE
	WIRE ELEVATION
	WOOD FENCE (WF)

BUSH, ROED & HITCHINGS, INC.
LAND SURVEYORS & CIVIL ENGINEERS

15400 SE 30TH PL, STE 100
BELLEVUE, Washington 98007-6546
(206) 323-4144
1-800-935-0508
WWW.BRHINC.COM

11/02/23 10/25/23

REVISION DATE

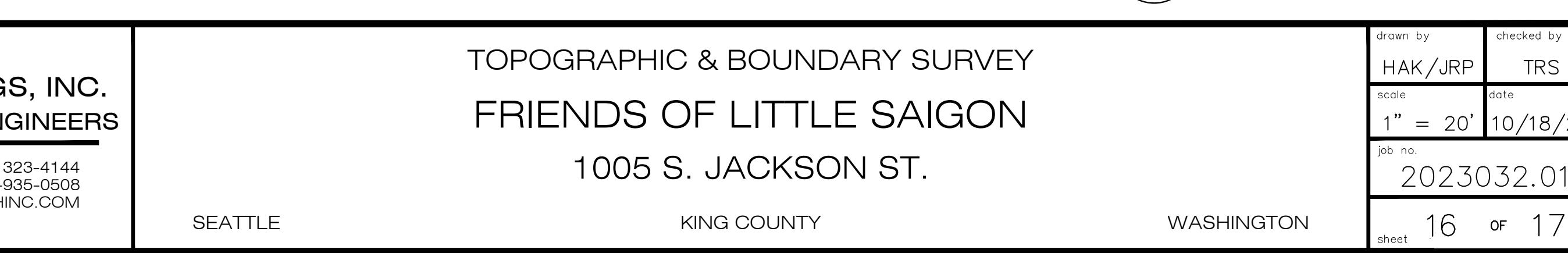
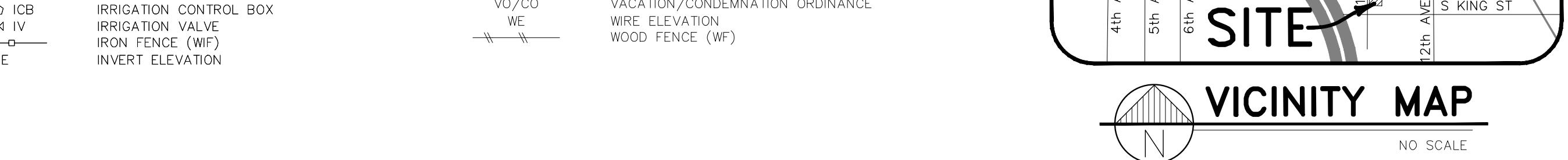
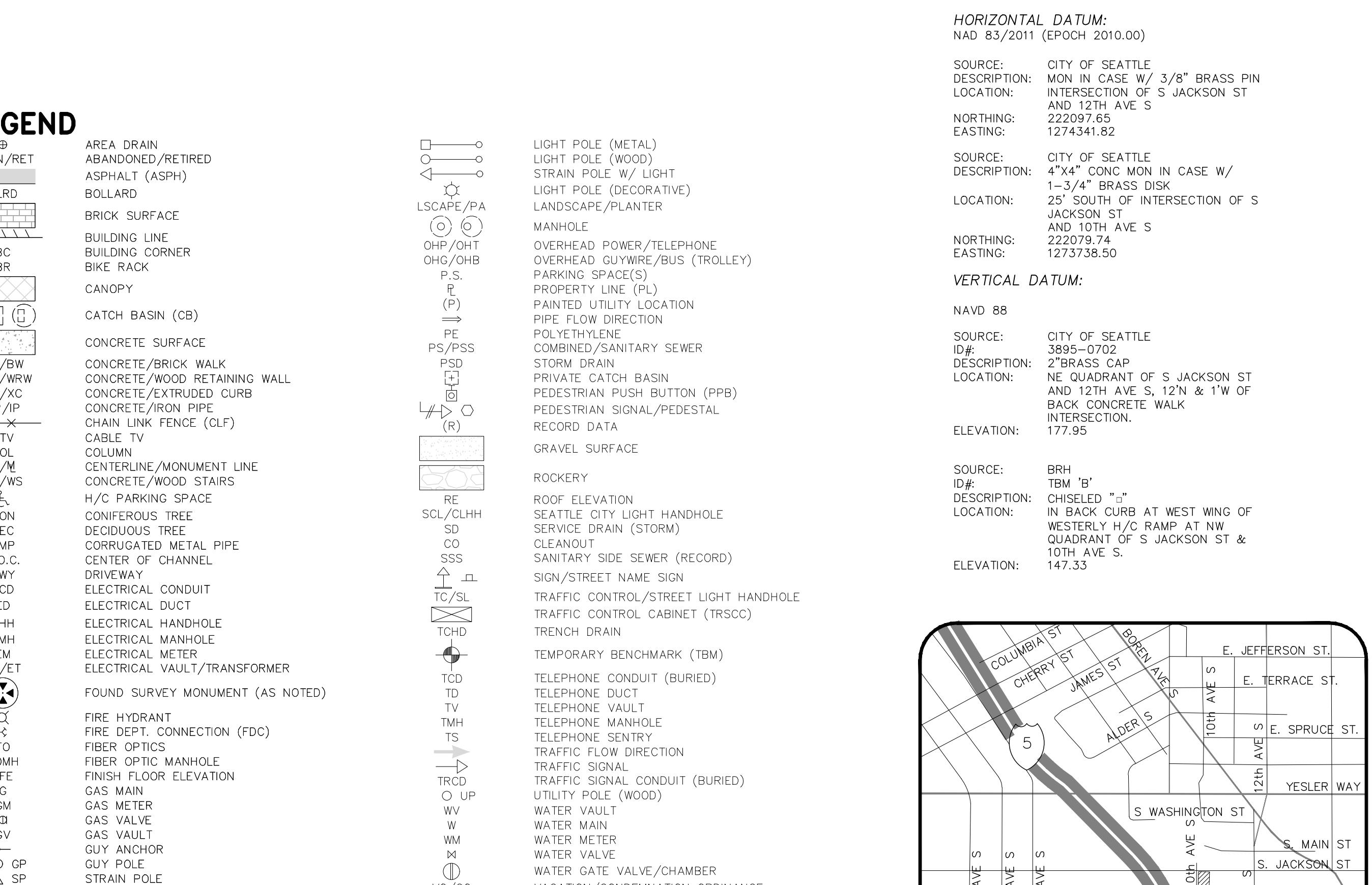
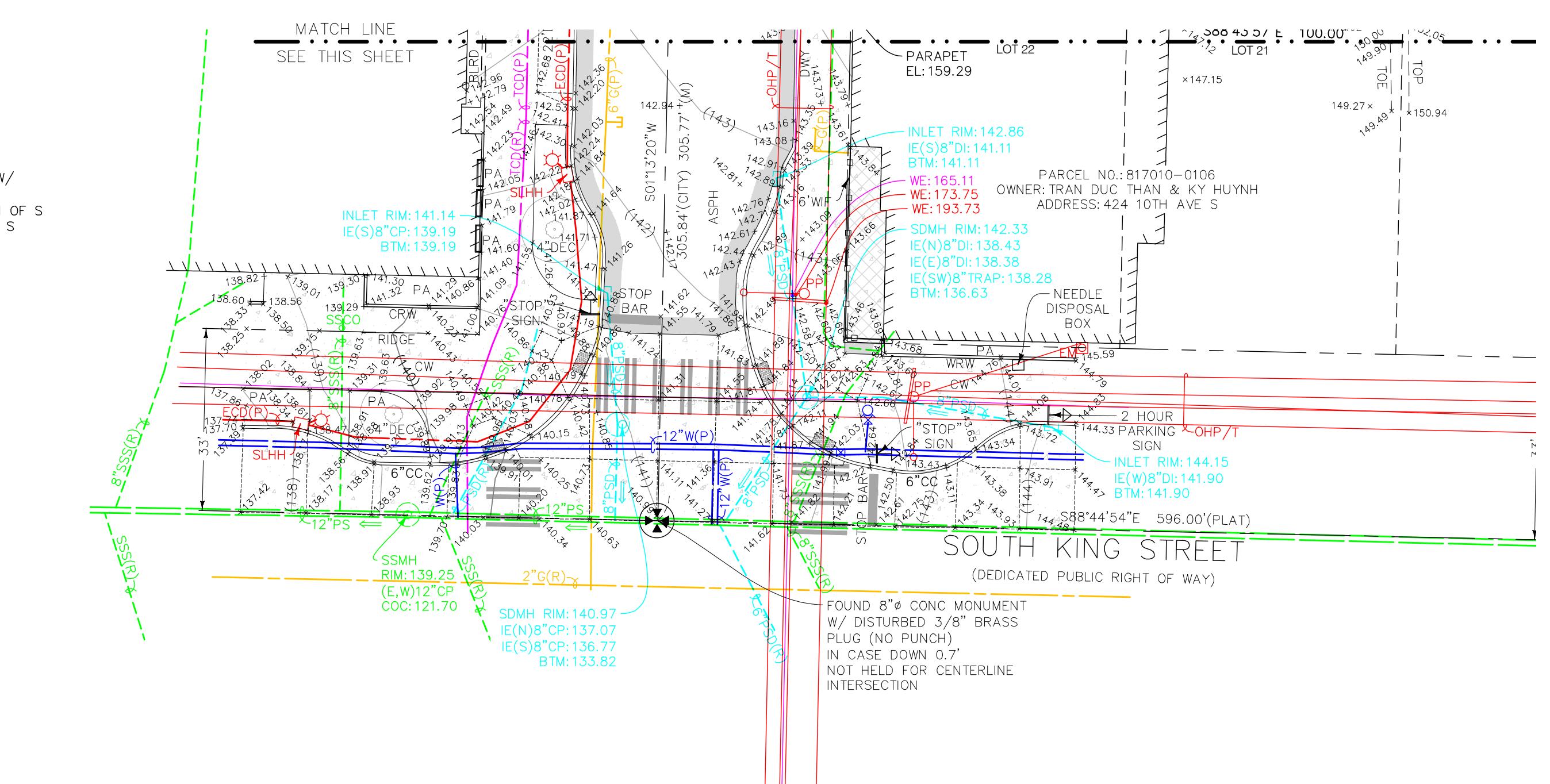
TOPOGRAPHIC & BOUNDARY SURVEY

FRIENDS OF LITTLE SAIGON

1005 S. JACKSON ST.

SEATTLE KING COUNTY

drawn by	HAK/JRP	checked by	TRS
scale	1" = 20'	date	10/18/23
job no.	2023032.01	sheet	16 of 17



SITE NOTES

SITE ADDRESS:
1001 S JACKSON STREET
410 10TH AVENUE SOUTH
SEATTLE, WA 98104

TAX ACCOUNT NOS.:
817010-0005-00
817010-0010-03

ZONING:
DMR/C 75/75-95: DOWNTOWN MIXED RESIDENTIAL/COMMERCIAL 75/75-95

ZONING AGENCY:
CITY OF SEATTLE
SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS
700 5TH AVENUE, SUITE 2000
SEATTLE, WA 98104
(206) 684-8600

SETBACKS:
CURRENT SETBACK REQUIREMENTS SUBJECT TO SITE PLAN REVIEW.
CURRENT SETBACKS MAY DIFFER FROM THOSE IN EFFECT DURING
DESIGN/CONSTRUCTION OF EXISTING IMPROVEMENTS.

THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE GOVERNING
JURISDICTION INDICATES THAT STRUCTURES ON THIS PROPERTY COMPLIED
WITH MINIMUM SETBACK AND HEIGHT REQUIREMENTS FOLLOWING
CONSTRUCTION.

FLOOD ZONE:
THIS SITE APPEARS ON NATIONAL FLOOD INSURANCE RATE MAP, DATED
AUGUST 19, 2020, COMMUNITY PANEL NO. 53033C0630G, AND IS SITUATED
IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL
CHANCE FLOODPLAIN.

HORIZONTAL DATUM:
NAD 83/2011 (EPOCH 2010.00)

VERTICAL DATUM:
NAVD 88

AREA:
SITE AS SHOWN CONTAINS 16,555 SQUARE FEET OR 0.3801 ACRES, MORE
OR LESS.

PARKING SPACE COUNT:
PARKING SPACES TOTAL 14 INCLUDING 1 DISABLED PARKING SPACE.

SUBSTRUCTURES:
BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORDS MAPS FURNISHED
BY OTHERS AND VERIFIED WHERE POSSIBLE BY FEATURES LOCATED IN THE
FIELD. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS.
FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO
DESIGN CONTACT THE UTILITY OWNER/AGENCY.

TELECOMMUNICATIONS/FIBER OPTIC DISCLAIMER:
RECORDS OF UNDERGROUND TELECOMMUNICATIONS AND /OR FIBER OPTIC
LINES ARE NOT MADE AVAILABLE TO THE PUBLIC. BRH HAS NOT
CONTACTED EACH OF THE MANY COMPANIES, IN THE COURSE OF THIS
SURVEY, WHICH COULD HAVE UNDERGROUND LINES WITHIN ADJACENT
RIGHTS-OF-WAY. THEREFORE, BRH DOES NOT ACCEPT RESPONSIBILITY FOR
THE EXISTENCE OF UNDERGROUND TELECOMMUNICATIONS/FIBER OPTIC LINES
WHICH ARE NOT MADE PUBLIC RECORD WITH THE LOCAL JURISDICTION. AS
ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.

UTILITY PROVIDERS:

SANITARY SEWER AND STORM DRAINAGE:
SEATTLE PUBLIC UTILITIES
PROJECT MANAGEMENT AND ENGINEERING
700 5TH AVENUE
PO BOX 34018
SEATTLE, WA 98124-4018
(206) 233-7900

WATER:
SEATTLE PUBLIC UTILITIES
700 5TH AVENUE, SUITE 4900
PO BOX 34018
SEATTLE, WA 98124-4018
(206) 684-3000

POWER:
SEATTLE CITY LIGHT
700 5TH AVENUE, SUITE 3200
SEATTLE, WA 98124-4023
(206) 684-3000

NATURAL GAS:
PUGET SOUND ENERGY
10885 NE 4TH STREET, SUITE 1200
PO BOX 97034
BELLEVUE, WA 98009-9734
(425) 454-6363
(888) 225-5773

TELEPHONE:
LUMEN TECHNOLOGIES
1600 7TH AVENUE
SEATTLE, WA 98191
(800) 244-1111

DESCRIPTION:

PARCEL A:

LOT 1 AND THE NORTH 60 FEET OF LOTS 21 AND 22 IN BLOCK 1 OF
SYNDICATE ADDITION TO THE CITY OF SEATTLE, AS PER PLAT RECORDED IN
VOLUME 2 OF PLATS, PAGE 44, RECORDS OF KING COUNTY AUDITOR;

EXCEPT THE NORTH 15 FEET THEREOF CONDEMNED BY THE CITY OF
SEATTLE FOR WIDENING JACKSON STREET IN KING COUNTY SUPERIOR COURT
CAUSE NO. 56407, UNDER THE PROVISIONS OF ORDINANCE NO. 15291 OF
THE CITY OF SEATTLE.

PARCEL B:

LOT 2 IN BLOCK 1 OF SYNDICATE ADDITION TO THE CITY OF SEATTLE, AS
PER PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 44, RECORDS OF KING
COUNTY AUDITOR;

EXCEPT THE NORTH 15 FEET THEREOF CONDEMNED BY THE CITY OF
SEATTLE FOR WIDENING JACKSON STREET IN KING COUNTY SUPERIOR COURT
CAUSE NO. 56407, UNDER THE PROVISIONS OF ORDINANCE NO. 15291 OF
THE CITY OF SEATTLE.

TITLE REPORT REFERENCE:

THIS SURVEY WAS CONDUCTED ACCORDING TO THE DESCRIPTION SHOWN,
FURNISHED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT
NO. NCS-1184153-WA1, DATED AUGUST 25, 2023. THE EASEMENTS SHOWN
OR NOTED HEREON RELATE TO THIS COMMITMENT.

NOTE: EASEMENTS CREATED OR RESCINDED AFTER THIS DATE ARE NOT
SHOWN OR NOTED HEREON.

TITLE REPORT SCHEDULE B EXCEPTIONS:
ITEMS CIRCLED ARE SHOWN ON MAP.

13. RIGHT TO DAMAGE THE LAND BY CHANGING AND ESTABLISHING STREET
GRADES, AS CONDEMNED IN KING COUNTY COURT CASE NO. 56407,
UNDER THE PROVISIONS OF ORDINANCE NO. 15291 OF THE CITY OF
SEATTLE.

14. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED
"ORDINANCE 112134" RECORDED MARCH 14, 1985 AS RECORDING
NO. 8503140774 OF OFFICIAL RECORDS.

16. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED
"MEMORANDUM OF DRAINAGE CONTROL PLAN" RECORDED DECEMBER 23,
1997 AS RECORDING NO. 9712231503 OF OFFICIAL RECORDS.

17. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED
"COVENANT/OFF-SITE ACCESSORY PARKING" RECORDED OCTOBER 18,
1999 AS RECORDING NO. 19991015001342 OF OFFICIAL RECORDS.

24. SURVEY BY TAYLOR R. SCHULTE (PLS NO. 44646) AND BUSH, ROED &
HITCHINGS, INC., DATED MARCH 29, 2023, LAST REVISED JULY 13, 2023,
JOB NO. 2023032.00 , DISCLOSES THE FOLLOWING:

(A) ENCROACHMENT OF EAVES OVER THE NORTHERN AND WESTERN
BOUNDARIES.

STATEMENT OF TOPOGRAPHIC MAP ELEMENTS (WAC 332-130-145)

2(B) PURPOSE: FEASIBILITY AND DESIGN

2(C) CONTOUR SOURCE: CONTOURS DERIVED FROM DIRECT FIELD OBSERVATIONS

2(F) CONTOUR ACCURACY: COMPLIES WITH UNITED STATES NATIONAL MAP ACCURACY
STANDARDS (90% OR GREATER OF ALL SURVEY POINTS CHECKED ARE CORRECT WITHIN
HALF OF ONE CONTOUR INTERVAL).

2(G) LIMITATIONS: THE PURPOSE OF THIS LIMITED TOPOGRAPHIC SURVEY IS TO SUPPORT
SPECIFIC EFFORTS WITHIN THE AREA OF MAPPING SHOWN, AND IS NOT INTENDED TO
ILLUSTRATE ANY BOUNDARY OR TITLE INVESTIGATIONS.

2(H) BOUNDARY SOURCE: FIELD SURVEY OF CONTROLLING MONUMENTS, AND
CONSIDERATION OF EXISTING RECORDS OF SURVEYS FOR DETERMINING ON THE GROUND
POSITIONS OF DEEDED PROPERTY AND EASEMENT LINES.

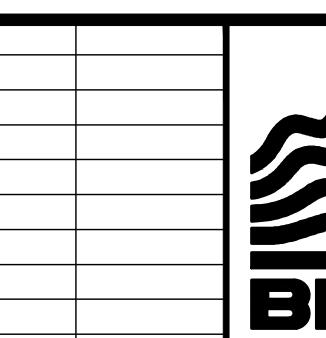
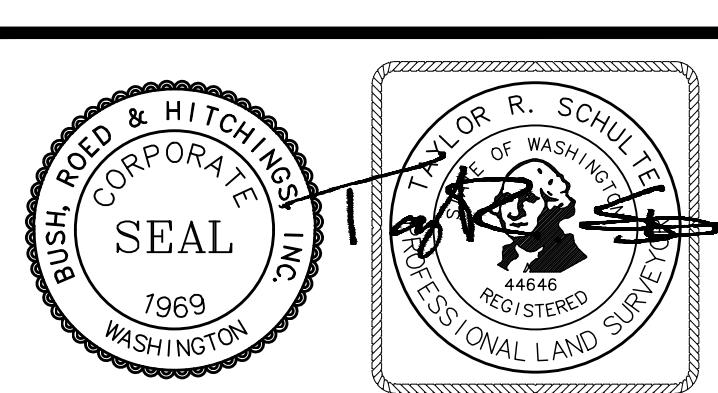
3(A) 3(B) UTILITIES: UNDERGROUND UTILITIES ARE SHOWN BY ONE OR MORE OF THE
FOLLOWING METHODS:

1. SURVEY FIELD OBSERVATION OF MARKINGS PRODUCED BY DIRECT UTILITY DETECTION
WORK.

2. DIRECT OBSERVATIONS OF UNDERGROUND, GRAVITY FLOW PIPES PERFORMED AT
VISIBLE CONTROLLING STRUCTURES.

3. SCALING OF AS-BUILT, DESIGN DRAWINGS OR OTHER RECORDS.

3(C) SCOPE STATEMENT: UTILITY INVESTIGATIONS ARE SUBJECT TO THE LIMITATIONS OF
ACCURACY OF CONVENTIONAL UNDERGROUND UTILITY DETECTION EQUIPMENT, THE
EXISTENCE / ACCURACY OF RECORD UTILITY MAPS PRODUCED BY OTHERS, OR THE
AWARENESS OR LOCAL KNOWLEDGE OF ANYTHING CONCEALED UNDERGROUND. THE
COMPREHENSIVENESS OF SAID INVESTIGATIONS ARE THEREFORE LIMITED TO THE
CAPACITY OF SAID TECHNOLOGIES AND /OR THE AVAILABILITY OF SUCH RECORDS OR
KNOWLEDGE.



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TOPOGRAPHIC & BOUNDARY SURVEY
FRIENDS OF LITTLE SAIGON
1005 S. JACKSON ST.

KING COUNTY

WASHINGTON

drawn by	checked by
HAK/JRP	TRS
scale	date
1" = 20'	10/18/23
job no.	
2023032.01	
sheet	17 of 17

General Notes EFFECTIVE DATE 7/13/23

- ALL WORK SHALL CONFORM TO THE 2023 EDITION OF CITY OF SEATTLE STANDARD SPECIFICATIONS, THE 2023 EDITION OF THE CITY OF SEATTLE STANDARD PLANS; AND SEATTLE DEPARTMENT OF TRANSPORTATION DIRECTOR'S RULE 01-2017 RIGHT-OF-WAY OPENING AND RESTORATION RULES. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION.
- A COPY OF THE APPROVED PLAN MUST BE ON SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ERRORS AND OMISSIONS ON THE PERMITTED PLANS MUST BE CORRECTED BY THE ENGINEER AND APPROVED BY THE CITY OF SEATTLE.
- ALL PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO THE START OF CONSTRUCTION WITHIN THE RIGHT OF WAY, THE PERMITTEE SHALL SCHEDULE AND ATTEND A PRECONSTRUCTION MEETING WITH THE CITY OF SEATTLE DEPARTMENT OF TRANSPORTATION.
- PERMITTEE SHALL CONTACT SEATTLE DEPARTMENT OF TRANSPORTATION, STREET USE INSPECTOR A MINIMUM OF 2 BUSINESS DAYS PRIOR TO NEEDING AN INSPECTION.
- ALL DAMAGE TO CITY INFRASTRUCTURE CAUSED BY THE CONSTRUCTION SHALL BE IMMEDIATELY REPORTED AND REPAIRED AS REQUIRED BY THE SEATTLE DEPARTMENT OF TRANSPORTATION. TO REPORT DAMAGE TO SPU INFRASTRUCTURE, INCLUDING ANY SEWAGE RELEASE OR BLOCKAGE, CALL 206-386-1800.
- THE APPROVED PLANS SHALL SHOW THE APPROXIMATE AREA OF PAVEMENT RESTORATION BASED ON THE DEPTH OF UTILITY CUTS AND/OR THE AREA OF CURB AND/OR PAVEMENT TO BE REMOVED AND REPLACED. THE ACTUAL LIMITS OF THE PAVEMENT RESTORATION SHALL BE PER THE DIRECTOR'S RULE 01-2017, RIGHT-OF-WAY OPENING AND RESTORATION RULE AND WILL BE DETERMINED IN THE FIELD BY THE SEATTLE DEPARTMENT OF TRANSPORTATION STREET USE INSPECTOR PRIOR TO THE PAVEMENT RESTORATION. FOR SPU WATER SERVICES, APPLICANT MUST SHOW THE PAVEMENT RESTORATION LIMITS FOR THE PROPOSED AND THE EXISTING WATER SERVICES TO BE RETIRED, INCLUDING SERVICES THAT ARE OUTSIDE THE PROJECT AREA, BUT SERVE THE PARCEL.
- DATUM: NAVD88 AND NAD 83 (2011) 2010.00 EPOCH.
- SURVEYING AND STAKING OF ALL IMPROVEMENTS IN THE PUBLIC RIGHT OF WAY SHALL BE COMPLETED PRIOR TO CONSTRUCTION. PERMITTEE TO STAKE THE CURB AT THE CENTERLINE OF DRAINAGE GRATES PER STANDARD PLAN 260A. SURVEY GRADE SHEETS MUST BE SUBMITTED AND APPROVED BY THE SEATTLE DEPARTMENT OF TRANSPORTATION AT LEAST 2 BUSINESS DAYS PRIOR TO CONSTRUCTION.
- IF AN EXISTING CURB IS TO BE REMOVED AND REPLACED IN THE SAME LOCATION THE PERMITTEE SHALL PROVIDE THE STREET USE INSPECTOR A PLAN WITH EXISTING FLOW LINE AND TOP OF CURB ELEVATIONS IDENTIFIED. PERMITTEE TO STAKE THE LOCATION OF THE EXISTING CURB PRIOR TO DEMOLITION.

City Light Typical Instructions For Protection

THESE INSTRUCTIONS ARE ISSUED FOR THE GUIDANCE OF ALL CONTRACTORS AND ALL UTILITIES, PUBLIC OR PRIVATE, PROPOSING TO EXCAVATE IN ANY STREET OR THOROUGHFARE PARALLEL TO OR CROSSING CITY LIGHT'S HIGH VOLTAGE UNDERGROUND PIPE TYPE CABLE SYSTEM.

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY UNANTICIPATED SCL WORK ACTIVITY, WHICH MAY CAUSE RESULTING DELAYS.

2. AFTER OBTAINING AN EXCAVATION PERMIT FROM THE CITY ENGINEER, CALL THE UTILITIES UNDERGROUND LOCATION CENTER 1-800-424-5555 AND GIVE THE LOCATION AND THE BEGINNING DATE OF THE PROPOSED WORK. FORTY-EIGHT (48) HOURS PRIOR TO EXCAVATION, CALL 206-684-4911, THE CITY LIGHT CONTRACT REVIEWER. THIS PERSON WILL PROVIDE INSPECTION AS NECESSARY AT THE PIPELINE LOCATION DURING THE WORK.

3. THE EXCAVATOR SHALL WARN HIS WORKMEN OF THE EXTREME DANGER TO THEMSELVES, BY FLASH, EXPLOSION, ELECTROCUTION, OR FIRE LIKELY TO FOLLOW RUPTURE OF THE PIPE. THE PIPE CONTAINS CABLE OIL AT 250 PSI. A TAILGATE MEETING WILL TAKE PLACE BETWEEN SCL'S SAFETY STAND-BY AND ANY CREW WORKING AT THE JOB SITE BEFORE WORK STARTS AND AT LEAST WEEKLY THEREAFTER.

4. THE EXCAVATOR WILL BE HELD FINANCIALLY RESPONSIBLE FOR THE COST OF REPAIRING THE PIPE CABLE SYSTEM WHERE ANY DAMAGE MAY BE TRACED TO HIS OPERATIONS. THE EXCAVATOR IS ADVISED TO CARRY PROPERTY DAMAGE INSURANCE AS DETERMINED BY THE CITY'S RISK MANAGER.

5. THE PAVEMENT ABOVE THE PIPELINE MAY BE OPENED WITH POWER-DRIVEN EQUIPMENT. THEREAFTER, EXCAVATION TO OR BELOW THE PIPELINE SHALL CONTINUE WITH HAND TOOLS ONLY. NO DIGGING BARS WILL BE USED, ONLY SHOVELS.

6. TO GIVE WARNING TO EXCAVATORS OF THE PRESENCE OF THE PIPELINE, A YELLOW OR RED PLASTIC TAPE WITH THE LEGEND "CAUTION-BURIED ELECTRICAL LINE BELOW" MAY HAVE BEEN INSTALLED IN SOME OF THE INSTALLATIONS IN THE EARTH OVER THE PIPE NEAR THE STREET SURFACE. THEREFORE, ITS ABSENCE SHALL NOT BE CONSTRUED TO MEAN THAT THE PIPELINE MAY NOT BE WHERE SHOWN AND EXCAVATION

SHALL PROCEED AS PROVIDED ABOVE. IN SOME OF THE INSTALLATIONS, A 3-INCH PLASTIC COMMUNICATIONS CONDUIT LIES 12-INCHES ABOVE THE STEEL PIPELINE. THIS EXISTENCE WILL BE DETERMINED AND MARKED IN THE FIELD. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR AVOIDING TRANSMISSION INFRASTRUCTURE, REGARDLESS OF MARKINGS.

7. CAUTION: DO NOT STRIKE THE PIPE COATING. THE PIPE IS COATED WITH A COATING FOR CORROSION CONTROL. IF THE PIPE IS EXPOSED DURING THE COURSE OF THE CONTRACTOR'S WORK, CITY LIGHT WILL TEST FOR ANY COATING DAMAGE USING A HIGH VOLTAGE HOLIDAY DECTECTOR. THIS TEST WILL BE DONE JUST PRIOR TO THE THERMAL BACK FILLING. ANY COATING REPAIR WILL BE MADE BY CITY LIGHT. THE PIPE IS BEDDED-IN AND COMPLETELY ENCASED WITH A SPECIAL SAND OR 'THERMAL BACKFILL' TO INSURE AS FAR AS POSSIBLE UNIFORM DISSIPATION OF THE HEAT GENERATED IN THE CABLES WITHIN THE PIPE. AFTER THE EXCAVATOR HAS COMPLETED HIS WORK IN THE VICINITY OF THE PIPE, AND ANY REPAIR OF THE COATING HAS BEEN MADE, THIS 'THERMAL BACKFILL' IS TO BE REPLACED IN ACCORDANCE WITH THE FOLLOWING PROCEDURES:

A) USING MATERIAL REMOVED FROM THE EXCAVATION, OR OTHER SUITABLE INORGANIC FILL, APPROVED BY SCL, BUILD UP A FOUNDATION TO A PLANE 6-INCHES BELOW THE BOTTOM OF THE PIPE. COMPACT THE FOUNDATION.

B) USING WASHED GRADING SAND NO 2, FILL THE TRENCH UNTIL THE LOWER HALF OF THE PIPE IS COVERED, TAMP (BY HAND) ALONG THE PIPE ON BOTH SIDES UNTIL THE SAND UNDERNEATH IT SUPPORTS THE PIPE. DISCONTINUE TAMPING WHEN THE SAND IS FIRM AND WHEN FURTHER TAMPING WOULD TEND TO RAISE THE PIPE.

C) FILL THE TRENCH WITH SAND TO AT LEAST 12-INCHES ABOVE THE TOP OF THE PIPE, TAMPING AGAIN FOR 96% COMPACTION. THE PIPE SHOULD NOW BE SURROUNDED WITH 6-INCHES OF SAND ON THE BOTTOM, AT LEAST 6 INCHES ON EACH SIDE, AND 12-INCHES ABOVE THE TOP OF THE PIPE.

D) THE REMAINING BACKFILL ABOVE THE THERMAL BACKFILL IS TO BE THE SAME AS THAT PROVIDED FOR THE OTHER WORK ADJACENT TO THE PIPELINE AS APPROVED BY SCL.

8. AT THE ENDS OF EACH MANHOLE VULT, A THERMOCOUPLE CIRCUIT EXTENDS ALONG THE PIPELINE FOR A DISTANCE UP TO 100 FEET, DEPENDING ON THE LOCATION OF THE NEAREST WELDED PIPE JOINT. THIS THERMOCOUPLE CIRCUIT IS CARRIED IN A 1-1/2-INCH PLASTIC CONDUIT LYING PARALLEL WITH THE PIPE AND LOCATED TO ONE SIDE OF THE TRENCH. THE PLASTIC CONDUIT LIES APPROXIMATELY 24-INCHES ABOVE THE PIPE AND THEREFORE APPROXIMATELY 24-INCHES BELOW THE PAVEMENT IN THE NORMAL CASE. THE THERMOCOUPLE CIRCUIT SHOULD BE KEPT INTACT BY SUPPORTING THE PLASTIC CONDUIT LEVEL WHERE FOUND. IN CASE OF DAMAGE, CITY LIGHT WILL MAKE NECESSARY REPAIR.

9. AT CERTAIN VULTS, A CATHODIC PROTECTION SYSTEM HAS BEEN INSTALLED CONSISTING OF SMALL WIRES IN PLASTIC CONDUIT LEADING TO SACRIFICIAL ANODES BURIED IN THE ADJACENT PARKING STRIP OR BENEATH THE VULT. THE LOCATION OF THE ANODES AND THE CONNECTING CIRCUIT WILL BE PLAINLY MARKED IN THE FIELD BY CITY LIGHT AT THE TIME WHEN NOTIFIED OF IMPENDING WORK. ANY DAMAGE WILL BE REPAIRED BY CITY LIGHT.

10. THE PIPELINE AND ANY EXPOSED ATTACHMENTS SHALL NOT BE COVERED UNTIL INSPECTED AND APPROVED BY CITY LIGHT.

11. TEMPORARY SUPPORT OF THE PIPE SHALL PROVIDE ISOLATION FOR THE PIPE FROM VIBRATION.

12. TEMPORARY SUPPORT SHALL BE STRUCTURALLY ADEQUATE AND SHALL PROVIDE FOR THE NONCONDUCTIVE BLOCKING FOR ISOLATION AND PROTECTION FROM DAMAGE.

13. TEMPORARY SUPPORT SHALL PROVIDE FOR ADEQUATE COOLING OF THE PIPE AND THERMAL EXPANSION.

14. TEMPORARY SUPPORT SHALL HAVE PROVISIONS FOR OIL CONTAINMENT.

15. TEMPORARY SUPPORT STRUCTURE SHALL INCLUDE ACCESS FOR WORKERS ALONG THE PIPE FOR INSPECTION AND/OR REPAIR OF THE PIPE.

16. TEMPORARY SUPPORT SHALL BE PROVIDED BY CITY LIGHT.

17. TEMPORARY SUPPORT PLAN SHALL BE MINIMIZED.

22. INSPECTION AND ACCEPTANCE OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE BY REPRESENTATIVES OF THE CITY OF SEATTLE. IT SHALL BE THE PERMITTEE'S RESPONSIBILITY TO COORDINATE AND SCHEDULE APPROPRIATE INSPECTIONS ALLOWING FOR PROPER ADVANCE NOTICE. THE SEATTLE DEPARTMENT OF TRANSPORTATION STREET USE INSPECTOR MAY REQUIRE REMOVAL AND RECONSTRUCTION OF ANY ITEMS PLACED IN THE RIGHT OF WAY THAT DO NOT MEET CITY STANDARDS OR THAT WERE CONSTRUCTED WITHOUT APPROPRIATE INSPECTIONS.

23. THE PERMITTEE SHALL PROVIDE A PLAN FOR STORMWATER AND EROSION CONTROL AND INSTALL, MAINTAIN AND REMOVE TEMPORARY FACILITIES PER SECTION 8-01. AS CONSTRUCTION PROGRESSES AND CONDITIONS DICTATE, ADDITIONAL CONTROL FACILITIES MAY BE REQUIRED. DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE PERMITTEE TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY THE PERMITTEE'S ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES THAT MAY BE NEEDED TO PROTECT ADJACENT PROPERTIES.

24. ALL DISTURBED SOILS MUST BE AMENDED PER STANDARD PLAN 142 AND SECTION 8-02 OF THE STANDARD SPECIFICATIONS UNLESS WITHIN ONE FOOT OF A CURB OR SIDEWALK, THREE FEET OF A UTILITY STRUCTURE (E.G. WATER METER, UTILITY POLE, HAND HOLE, ETC.), OR THE DRIPLINE OF AN EXISTING TREE.

25. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF SEATTLE TRAFFIC CONTROL MANUAL FOR IN-STREET WORK. AN APPROVED TRAFFIC CONTROL PLAN WILL BE REQUIRED FOR ALL ARTERIAL STREETS, HIGH IMPACT AREAS AND CONSTRUCTION HUBS PRIOR TO BEGINNING CONSTRUCTION.

26. PERMITTEE SHALL NOTIFY KING COUNTY METRO AT 206-477-1140 FOURTEEN DAYS IN ADVANCE OF ANY IMPACT TO TRANSIT OPERATIONS. CALL 206-477-1150 FOR ANY COORDINATION RELATED TO KING COUNTY METRO TROLLEY (INCLUDING SLU AND FIRST HILL STREET CAR). CONTACT KING COUNTY METRO TWO MONTHS PRIOR FOR ANY TROLLEY DE-ENERGIZING REQUESTS.

27. COORDINATE PARKING/LOADING SIGN(S) AND PAY STATION REMOVAL / RELOCATION AND INSTALLATION WITH SEATTLE DEPARTMENT OF TRANSPORTATION CURB SPACE MANAGEMENT AT 206-684-5370 WITH AT LEAST 10 BUSINESS DAYS' NOTICE. SIGNPOSTS ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD PLANS 616, 620, 621A, 621B, 625, & 626.

28. ALL STREET NAME SIGNS MUST BE INSTALLED BY SEATTLE DEPARTMENT OF TRANSPORTATION AT THE PERMITTEE'S EXPENSE.

29. ALL WORK PERFORMED BY SEATTLE CITY LIGHT, SEATTLE PUBLIC UTILITIES, AND OTHER UTILITIES TO INSTALL, REPAIR, REMOVE OR RELOCATE UTILITIES SHALL BE DONE AT THE PERMITTEE'S EXPENSE.

30. PERMITTEE MUST CONTACT THE SEATTLE DEPARTMENT OF PARKS AND RECREATION TO APPLY FOR A SEPARATE PERMIT IF WORKING WITHIN A DESIGNATED PARK BOULEVARD.

31. CARE SHALL BE EXERCISED WHEN EXCAVATING OR REMOVING PAVEMENT NEAR EXISTING CHARGED WATER MAINS. CAST IRON WATER MAINS ARE KNOWN TO BE SENSITIVE TO EXCESSIVE VIBRATION. COORDINATE PROTECTION METHODS WITH SPU.

SCL Duct Bank Installation Notes

1. DUCT BANK INSTALLATION SHALL BE IN ACCORDANCE WITH SCL STANDARD 0222.02 FOR NETWORK AREA INSTALLATION.

2. CONDUIT ENCASEMENT SHALL BE RED, HIGH STRENGTH, FLUIDIZED THERMAL BACKFILL (FTB), A CONCRETE MIX. SEE 0222.02.

3. SPACERS FOR CONDUIT SHALL BE PLASTIC LOCK-TYPE, OF SUCH CONFIGURATION TO GIVE THE REQUIRED SEPARATION BETWEEN CONDUIT AND EARTH AS SHOWN ON DRAWINGS. PER SCL CONSTRUCTION GUIDELINES 0222.02.

4. GROUND COVER OVER TOP OF CONCRETE ENCASED DUCT BANK SHALL BE A MINIMUM OF 3 FEET-BETWEEN STREET INTERSECTIONS, 4 FEET - AT STREET INTERSECTIONS, AND A MAXIMUM DEPTH OF 6 FEET UNLESS OTHERWISE SPECIFIED. PER SCL CONSTRUCTION GUIDELINES NDK-50.

5. IF CONTRACTOR ENCOUNTERS AN AREA WHERE THE CONCRETE ENCASED DUCT BANK CAN NOT BE SUPPORTED, REINFORCEMENT OF THE CONCRETE ENCASED DUCT BANK IS REQUIRED FOR THAT DUCT BANK SECTION PER SCL CONSTRUCTION GUIDELINE NDK-20.

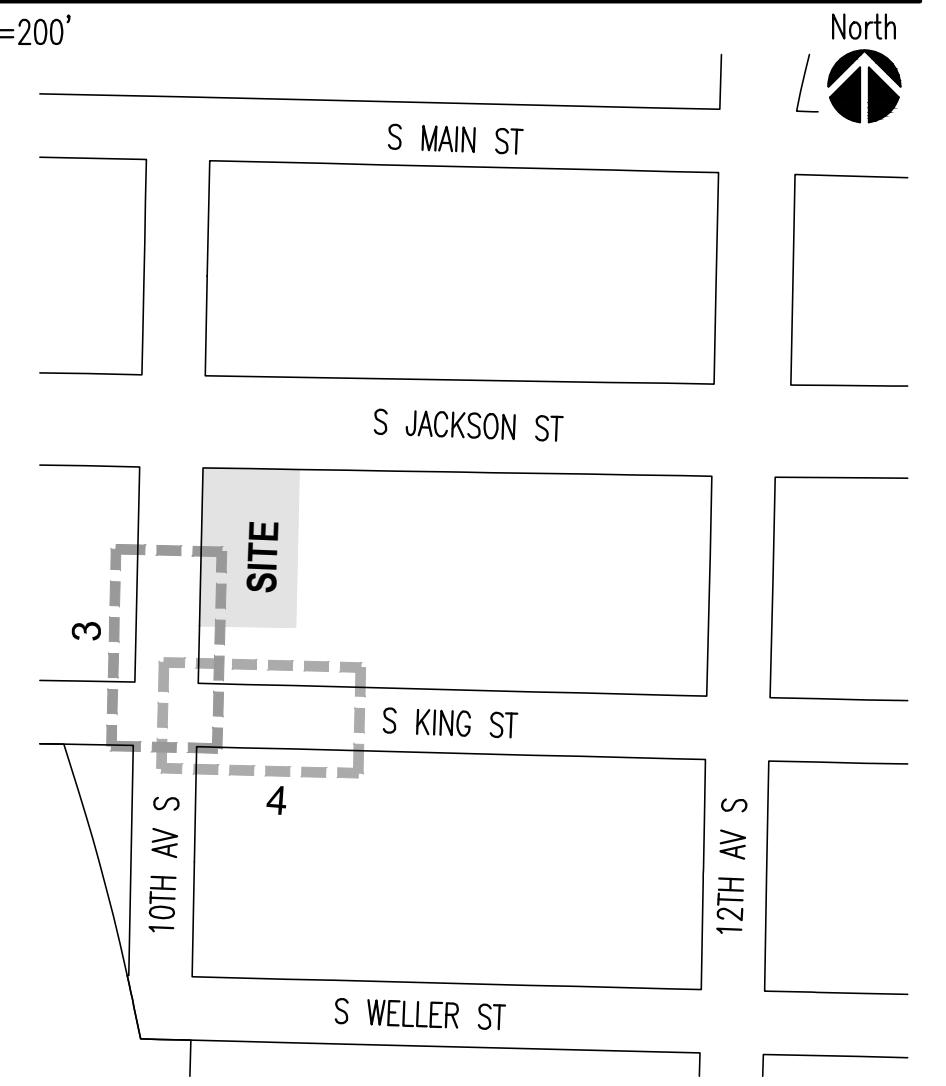
6. BACKFILL TRENCHES WITH FTB PER SCL CONSTRUCTION GUIDELINES 0222.02.

Monument Construction Notes

EXISTING MONUMENT CASES WITHIN THE CONSTRUCTION AREA SHALL BE ADJUSTED OR RESET. SURVEY MONUMENTS AND MONUMENT CASES SHALL NOT BE REMOVED, DISTURBED, COVERED, OR DESTROYED BEFORE A PERMIT IS OBTAINED FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES. WWW.DNR.WA.GOV/HDPCS/PLSO/DOWNLOAD.HTM OR 360-902-1194. A COPY OF THE PERMIT SHALL BE GIVEN TO THE SEATTLE PUBLIC UTILITIES SURVEY SECTION, PHONE 206-684-5073, FAX 206-733-9902, AT LEAST 4 WORKING DAYS BEFORE A MONUMENT IS REMOVED, DISTURBED, COVERED, OR DESTROYED. THE CONTRACTOR MAY REQUEST THAT THE SEATTLE PUBLIC UTILITIES SURVEY SECTION PERFORM THE REQUIRED MONUMENT PERMITTING AND SURVEYING. CONTACT THE LAND SURVEY MANAGER AT 206-684-5073 AT LEAST 4 WORKING DAYS PRIOR TO ACTIVITY WHICH WILL AFFECT A MONUMENT.

NOTE: EASEMENTS CREATED OR RESCINDED AFTER THIS DATE ARE NOT SHOWN OR NOTED HEREON.

Vicinity Map



Sheet Index

CIVIL PLANS	COVER SHEET
1 of 7	ALIGNMENT PLAN
2 of 7	PLAN AND PROFILE 10TH AVE S
3 of 7	PLAN AND PROFILE S KING ST
4 of 7	DETAILS SHEET
5 of 7	SURVEY 1
6 of 7	SURVEY 2
7 of 7	

Owner

FRIENDS OF LITTLE SAIGON
1227 S WELLER ST SUITE A
SEATTLE, WA 98144
(253) 245-9341 CONTACT: QUYNH PHAM

Architect

MITHUN
1201 ALASKAN WAY #200
SEATTLE, WA 98101
(206) 623 3344 CONTACT: DOUG LEIGH

Engineer

COUGHLIN PORTER LUNDEEN
1191 SECOND AVENUE, SUITE 1100
SEATTLE, WA 98101
206-343-0431 CONTACT: KEN WIERSEMA, PE

Surveyor

BUSH ROAD AND HITCHINGS
15400 SE 30TH PL SUITE 100
BELLEVUE, WA 98007
(206) 323-4144 CONTACT: TAYLOR SCHULTE PLS

Right of Way Construction

- CONTRACTOR TO COORDINATE ALL WORK WITHIN THE CITY OF SEATTLE RIGHT OF WAY WITH THE STREET USE INSPECTOR. THE CONTRACTOR SHALL COORDINATE REQUIRED PERMITS WITH SDOT.
- PERMITS FOR WORK WITHIN THE RIGHT OF WAY SHALL BE OVER THE COUNTER PERMITS THE CONTRACTOR SHALL APPLY FOR REQUIRED PERMITS AT THE STREET USE COUNTER IN THE MUNICIPAL BUILDING (700 5TH AVENUE, 23RD FLOOR).
- ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE IN ACCORDANCE WITH CITY OF SEATTLE STANDARDS. THE CONTRACTOR SHALL HAVE A COPY OF THE CITY OF SEATTLE STANDARD PLANS ON SITE DURING CONSTRUCTION.

Datum

HORIZONTAL DATUM: NAD 83/2011 (EPOCH 2010.00) VERTICAL DATUM: NAVD 88

SOURCE: CITY OF SEATTLE
DESCRIPTION: MON IN CASE W/
3/8" BRASS PIN
LOCATION: INTERSECTION OF S
JACKSON ST AND 12TH AVE S,
NORTHING: 222097.65
EASTING: 1274341.82
ELEVATION: 177.95

SOURCE: BRH
DESCRIPTION: 4"X4" CONC MON
IN CASE W/ 1-3/4" BRASS DISK
LOCATION: IN BACK CURB AT
WEST WING OF WESTERLY H/C
RAMP AT NW QUADRANT OF S
JACKSON ST & 10TH AVE S.
ELEVATION: 147.33

Legal Description

Parcel A:

LOT 1 AND THE NORTH 60 FEET OF LOTS 21 AND 22 IN BLOCK 1 OF SYNDICATE ADDITION TO THE CITY OF SEATTLE, AS PER PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 44, RECORDS OF KING COUNTY AUDITOR;

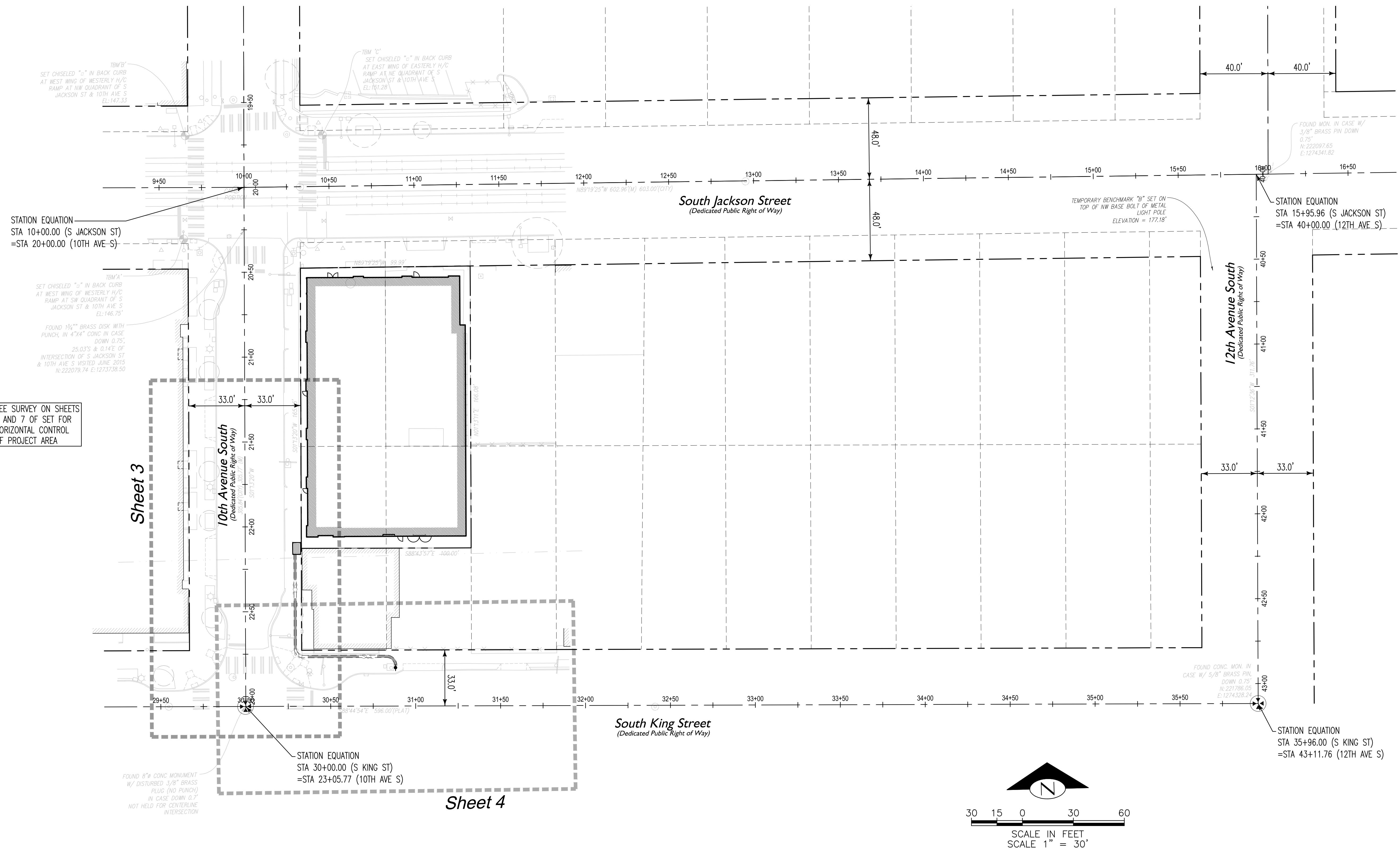
EXCEPT THE NORTH 15 FEET THEREOF CONDEMNED BY THE CITY OF SEATTLE FOR WIDENING JACKSON STREET IN KING COUNTY SUPERIOR COURT CAUSE NO. 56407, UNDER THE PROVISIONS OF ORDINANCE NO. 15291 OF THE CITY OF SEATTLE.

Parcel B:

LOT 2 IN BLOCK 1 OF SYNDICATE ADDITION TO THE CITY OF SEATTLE, AS PER PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 44, RECORDS OF KING COUNTY AUDITOR;

EXCEPT THE NORTH 15 FEET THEREOF CONDEMNED BY THE CITY OF SEATTLE FOR WIDENING JACKSON STREET IN KING COUNTY SUPERIOR COURT CAUSE NO. 56407, UNDER THE PROVISIONS OF ORDINANCE NO. 15291 OF THE CITY OF SEATTLE.

TITLE REPORT REFERENCE:
THIS SURVEY WAS CONDUCTED ACCORDING TO THE DESCRIPTION SHOWN, FURNISHED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1184153-WA1, DATED AUGUST 25



UTILITY MAJOR PLAN – NOT FOR CONSTRUCTION

COUGHLIN PORTER LUNDEEN

STRUCTURAL CIVIL SEISMIC ENGINEERING

1191 SECOND AVENUE, SUITE 1100
SEATTLE, WA 98101

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www.cp

Call before
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or 1-800-42-

or 1-800-42-

1-800-42
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UNDERGROUND SERVICE

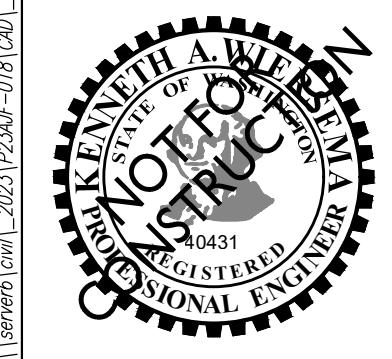
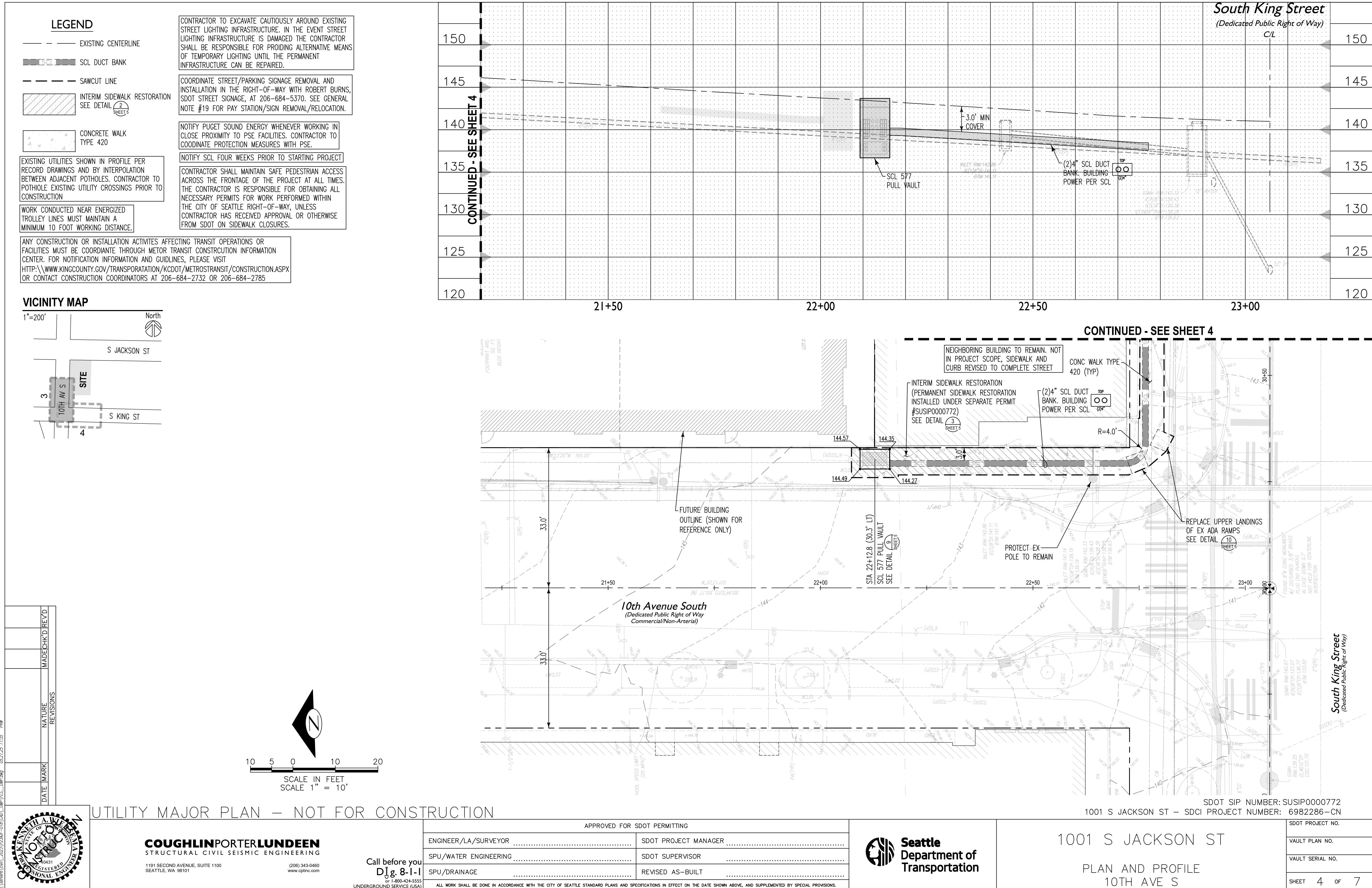
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SEATTLE STANDARD PLANS AND SPECIFICATIONS IN EFFECT ON THE DATE SHOWN ABOVE, AND SUPPLEMENTED BY SPECIAL PROVISIONS.

The logo for the Seattle Department of Transportation. It features a circular emblem on the left containing a stylized profile of a person's head facing left, with vertical lines extending from the top of the head. To the right of the emblem, the word "Seattle" is written in a bold, sans-serif font. Below "Seattle", the words "Department of Transportation" are also written in a bold, sans-serif font.

SDOT SIP NUMBER: SUSIP0000772
1001 S JACKSON ST – SDCI PROJECT NUMBER: 6982286–CN

001 S JACKSON ST	SDOT PROJECT NO.
	VAULT PLAN NO.
	VAULT SERIAL NO.

R: 6982286-CN	SDOT PROJECT NO.
	VAULT PLAN NO.
	VAULT SERIAL NO.
	SHEET <u>2</u> OF



UTILITY MAJOR PLAN – NOT FOR CONSTRUCTION

COUGHLIN PORTER LUNDEEN

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SEATTLE, WA 98101

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www.cplink.org

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or 1-800-424-5555
ND SERVICE (USA)

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SEATTLE STANDARD PLANS AND SPECIFICATIONS IN EFFECT ON THE DATE SHOWN ABOVE, AND SUPPLEMENTED BY SPECIAL PROVISIONS.

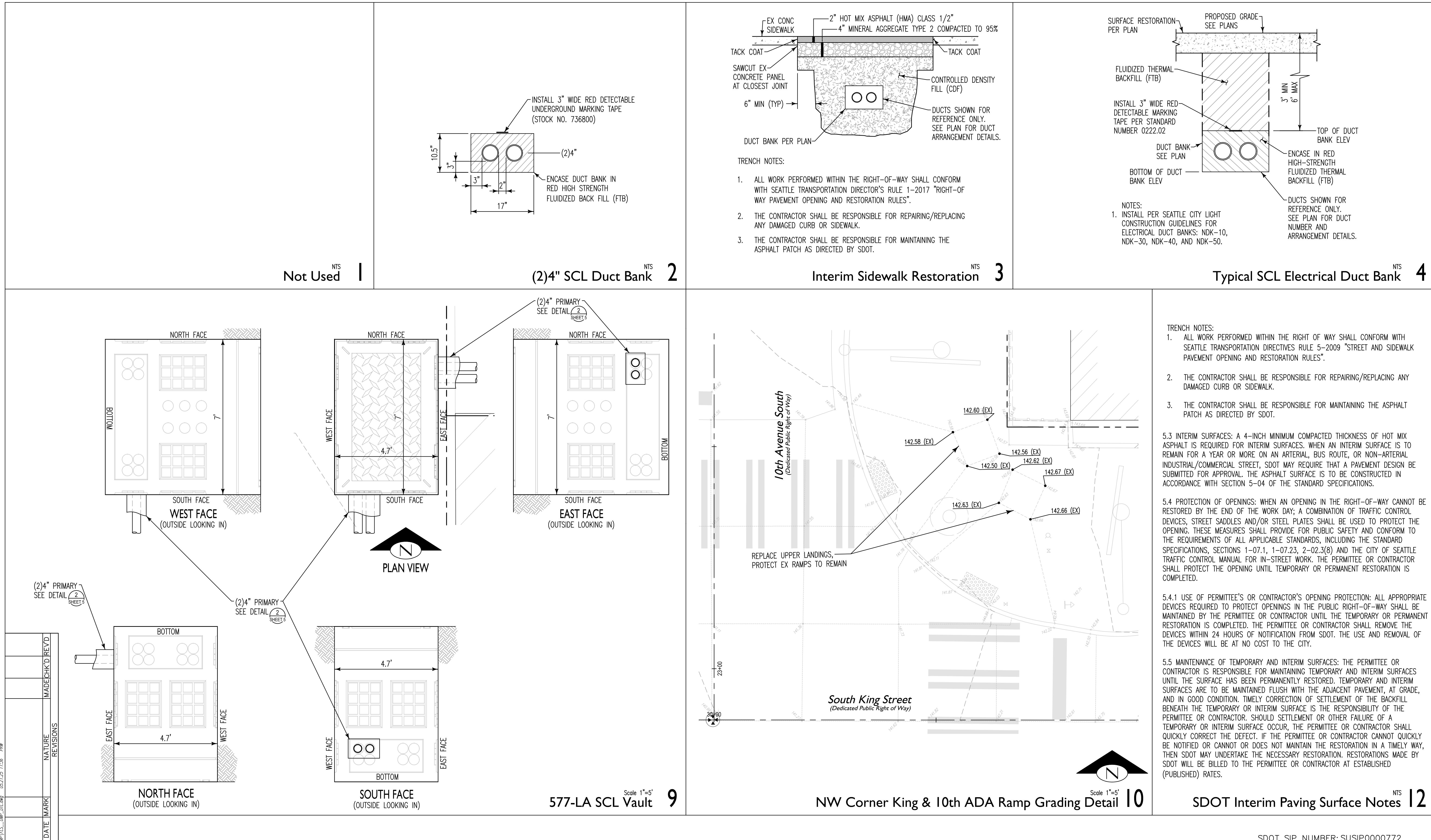
APPROVED FOR SDOT PERMITTING	
PLR/LA/SURVEYOR	SDOT PROJECT MANAGER
INTER ENGINEERING	SDOT SUPERVISOR
RAINAGE	REVISED AS-BUILT
WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF SEATTLE STANDARD PLANS AND SPECIFICATIONS IN EFFECT ON THE DATE SHOWN ABOVE, AND SUPPLEMENTED BY SPECIAL PLANS.	



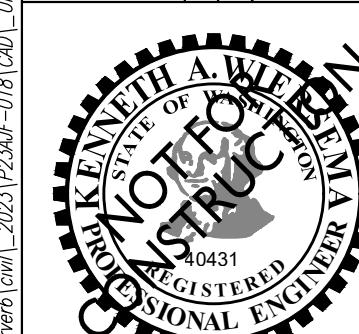
SDOT SIP NUMBER: SUSIP0000772
1001 S JACKSON ST – SDCI PROJECT NUMBER: 6982286-CN

1001 S JACKSON ST
PLAN AND PROFILE
10TH AVE S

SDOT PROJECT NO.
VAULT PLAN NO.
VAULT SERIAL NO.
SHEET <u>4</u> OF <u>7</u>



UTILITY MAJOR PLAN – NOT FOR CONSTRUCTION



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APPROVED FOR SDOT PERMITTING

SDOT PROJECT MANAGER

SDOT SUPERVISOR

REvised AS BUILT

SEATTLE STANDARD PLANS AND SPECIFICATIONS IN EFFECT ON THE DATE SHOWN ABOVE, AND SUPPLEMENTED BY SPECIAL PROVISIONS



NW Corner King & 10th ADA Ramp Grading Detail 10

SDOT SIP NUMBER: SUSIP0000772
1001 S JACKSON ST = SDCI PROJECT NUMBER: 6982286-CN

01 S JACKSON ST VAULT PLAN NO.

Vault Serial No.

DETAILS SHEET

1001 S JACKSON ST

DETAILS SHEET