

RDA BUILDING SELF-STORAGE CERTIFICATE OF APPROVAL

FEBRUARY 3, 2025

VICINITY MAP



FULL SIZE SHEET: 36" X 48" (ANSI E) TITLEBLOCK: 202407 DATE PLOTTED: 2/3/2025 2:53:27 PM

	ISSU	JANCE LOG
#	DATE	ISSUANCE
-	2/3/2025	CERTIFICATE OF APPROVAL

PROJECT TEAM

<u>ARCHITECT</u> NEIMAN TABER 1435 34TH AVE SEATTLE, WA 98122 206.760.5550 DAVID NEIMAN dn@neimantaber.com

PROJECT INFORMATION STREET ADDRESS 800 MAYNARD AVE S SEATTLE, WA 98134

<u>OWNER</u> FU QUAN LLC LEGAL DESCRIPTION TERRYS 5TH ADD & 8 BLK 1 PLUMMERS ADD & 7-8 BLK 208 S T L & FOR R/W ADJ PLAT BLOCK: 8 PLAT LOT: 5-6-7

TAX PARCEL NUMBER 859290-0345

BUILDING INFORMATION

<u>CODES:</u> SEATTLE MUNICIPAL CODE ('SMC') 2021 SEATTLE BUILDING CODE ('SBC') 2021 SEATTLE MECHANICAL CODE 2021 SEATTLE ELECTRICAL CODE 2021 SEATTLE ENERGY CODE ('SEC') 2021 SEATTLE FIRE CODE ('SFC') PROPOSED USE: SELF-STORAGE FACILITY

CONSTRUCTION: 4 STORIES TYPE IIIA OCCUPANCY: S-1 SELF-SERVICE STORAGE FACILITY

GENERAL DRAWING SYMBOLS

1 DRAWING TITLE	
1 (A1.0)	SECTION F
	DETAIL RE
	ELEVATIO
1	GRID LINE
0	DATUM OF
N ()	NORTH AR
	SPOT ELE
	REVISION AND TAG
	BREAK LIN
€	CENTERLI

ABBREVIATIONS

۸D	
AB ABV	AIR BARRIER ABOVE
ADV	ADJACENT
	ADJACENT ABOVE FINISHED FLOOR
AFF AFG	ABOVE FINISHED FLOOR
	APPROXIMATE
ARCH	
ANCH	ARCHITECT(URAL)
	AVERAGE
@ BA	AT BATHROOM
	BEDROOM
	BUILDING
	BLOCKING
BLKG	BEAM
B.O.	BOTTOM OF
BOF	BOTTOM OF FOOTING
BSMT	BASEMENT
BTWN	BETWEEN
CEM	CEMENT
CIP	CAST IN PLACE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CONSTR	CONSTRUCTION
СР	CEMENT BOARD PANEL
СРТ	CARPET
CTR	CENTER
DEMO	DEMOLISH
DIAM	DIAMETER
DIM	DIMENSIONS
DN	DOWN
DS	DOWNSPOUT
DW	DISHWASHER
DWG	DRAWING
E	EAST
(E)	EXISTING
EA	EACH
EFS EL	EXTERIOR FINISH SYSTEM ELEVATION
ELEC	ELECTRICAL
ELEC	EQUAL
EXIST	EXISTING
EXP	EXCEPTION
EXT	EXTERIOR
FAC	FACTORY
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FIN	FINISHED
FIXT	FIXTURE
FF	FINISHED FLOOR
FO	FACE OF
FRT	FIRE-RETARDANT TREATED
FT	FOOT/FEET
GA	GAUGE
GA	GYPSUM ASSOCIATION
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GEN	GENERAL
GL	GLASS
GSF	GROSS SQUARE FEET
GWB	GYPSUM WALL BOARD
GYP	GYPSUM HOSE BIBB
HB HDR	HEADER
HORIZ	HORIZONTAL
HURIZ	HEIGHT
HVAC	HEATING VENTILATION AIR CO
IN	INCHES



NEIMAN TABER ARCHITECTURE FOR THE NORTHWEST 1435 34th Avenue Seattle, WA 98122 www.neimantaber.com 206.760.5550

DEVELOPER
TOURBINEAU REAL ESTATE PARTNERS
4311 11TH AVE NE, 5TH FLOOR
SEATTLE, WA 98105
425.943.0697
BEN WONG
bwong@tourbineau.com

PROJECT DESCRIPTION CONVERT EXISTING 4 STORY OFFICE BUILDING TO SELF STORAGE FACILITY <u>NET LOT AREA</u> 27,360 SF

OVERLAYS INTERNATIONAL SPECIAL REVIEW DISTRICT DOWNTOWN URBAN CENTER FREQUENT TRANSIT SERVICE AREA OPPORTUNITY ZONE

<u>ZONING</u> IDM 165/85-170

ICC-ANSI A117.1-2017 INCLUDED AS REFERENCE STANDARD

REFERENCE EFERENCE ON TAG

R LEVEL

ARROW

EVATION

N CLOUD

TION AIR CONDITIONING WIN

WINDOW TAG DOOR TAG FLOOR OR ROOF TAC WALL TAG

RAMP OR ROOF SLOPE

ROOF PITCH RISE : RUN

INLUDE(ING) **INFORMATION**

NSULATION NTERIOF

AMINA

MATERIA MAXIMUI

MECHANICAL MANUFACTURE MINIMUM METAL MICROWAV NEW

NOT TO SCALE

OVERHEAD PROPOSED

PERFORATED PLASTIC LAMINATE

PLYWOOD POST TENSION PRESSURE TREATED RUBBER BASE

REFERENCE

REQUIRED ROOM

SEPARATE

SHEET

SIMILAR

SQUARE

STEEL

TILE

TOP OF

REFRIGERATOR

ROUGH OPENING SELF ADHERED

SAFETY GLASS

STAINLESS STEEL

SOLID SURFACE

STRUCT STRUCTURE, STRUCTURAL

TEMPERED

TEMPERATURE

TONGUE + GROOVE

TOP OF CONCRETE

VAPOR BARRIER

VERIFY IN FIELD

WATER CLOSET

WASHER/DRYER

WATER HEATER

WATERPROOFING

WEATHER RESISTANT BARRIER

UNLESS NOTED OTHERWISE

VINYL COMPOSITE TILE

TEMPORARY

TOP OF STEEL

TOP OF WALL

TYPICAL

VERTICAL

WITH

WOOD

WINDOW

WITHOUT

OCCUPANT / OCCUPANC OUTSIDE DIAMETER

REFLECTED CEILING PLAN

SELF-ADHERED MEMBRANE

SEATTLE GREEN FACTOR

SILYL MODIFIED POLYMER

OVER ON CENTER

MECH

NTS

RCP REF

REF

RO

SA

SAM

SEP

SG

SGF

SHT

SIM

SMP

SQ

SS

SS

Т

Т

TEMP

TEMP

T+G

T.O.

TOC TOS TOW

TYP

UNO VB

VCT

VERT

VIF

W/

WC

WD

W/D WH

W/O

WP

WRB

STL

REQ'D RM



CERTIFICATE OF

RDA BUILDING SELF-STORAGE 800 MAYNARD AVE S SEATTLE, WA 98134

No.	Date	Revision
	7236 T	REGISTERED ARCHITECT DAVID NEIMAN TE OF WASHINGTON

2/3/2025 CERTIFICATE OF APPROVAL

G000

Sheet Title COVER _____

Date Sheet Number

FULL SIZE SHEET: 36" X 48" (ANSI E) TITLEBLOCK: 202407 DATE PLOTTED: 2/3/2025 2:53:27 PM

NUMBER	
GENERAL	
	COVE
G001	SHEE
2	
ARCHITECTU	JRAI
A100	SITE F
A110	CODE
A111	CODE
A200	DOOR
A300	DEMC
A301	DEMC
	FLOO
A311	FLOO
A312	FLOO
A313	FLOO
A314	FLOO
A400	REFLE
A401	REFLE
A402	REFLE
A403	REFLE
A404	REFLE
A501	SECTI
A502	SECT
A503	SECTI
A504	SECT
A601	DEMC
A602	DEMC
A603	DEMC
A604	DEMC
A611	ELEVA
A612	ELEVA
A613	ELEVA
A614	ELEVA
A621	COLO
A622	COLO
A623	COLO
A624	COLO
A701	ENLA

35

SHEET IND			
SHEET	REVISION		
NAME	#	DATE	ISSUANCE
OVER	-	2/3/2025	CERTIFICATE OF APPROVAL
HEET INDEX	-	2/3/2025	CERTIFICATE OF APPROVAL
		0/0/0005	
	-	2/3/2025	CERTIFICATE OF APPROVAL
CODE COMPLIANCE - LAND USE CODE ANALYSIS	-	2/3/2025	CERTIFICATE OF APPROVAL
CODE COMPLIANCE - FAR	-	2/3/2025	CERTIFICATE OF APPROVAL
OOR SCHEDULE	-	2/3/2025	CERTIFICATE OF APPROVAL
EMOLITION PLAN - LEVEL 0	-	2/3/2025	CERTIFICATE OF APPROVAL
EMOLITION PLAN - LEVEL 1	-	2/3/2025	CERTIFICATE OF APPROVAL
LOOR PLAN - LEVEL 0	-	2/3/2025	CERTIFICATE OF APPROVAL
LOOR PLAN - LEVEL 1	-	2/3/2025	CERTIFICATE OF APPROVAL
LOOR PLAN - LEVEL 2	-	2/3/2025	CERTIFICATE OF APPROVAL
LOOR PLAN - LEVEL 3	-	2/3/2025	CERTIFICATE OF APPROVAL
LOOR PLAN - LEVEL 4	-	2/3/2025	CERTIFICATE OF APPROVAL
EFLECTED CEILING PLAN - LEVEL 0	-	2/3/2025	CERTIFICATE OF APPROVAL
REFLECTED CEILING PLAN - LEVEL 1	-	2/3/2025	CERTIFICATE OF APPROVAL
EFLECTED CEILING PLAN - LEVEL 2	-	2/3/2025	CERTIFICATE OF APPROVAL
EFLECTED CEILING PLAN - LEVEL 3	-	2/3/2025	CERTIFICATE OF APPROVAL
EFLECTED CEILING PLAN - LEVEL 4	-	2/3/2025	CERTIFICATE OF APPROVAL
ECTION	-	2/3/2025	CERTIFICATE OF APPROVAL
ECTION	-	2/3/2025	CERTIFICATE OF APPROVAL
ECTION	-	2/3/2025	CERTIFICATE OF APPROVAL
ECTION	-	2/3/2025	CERTIFICATE OF APPROVAL
EMOLITION ELEVATION - WEST	-	2/3/2025	CERTIFICATE OF APPROVAL
EMOLITION ELEVATION - NORTH	-	2/3/2025	CERTIFICATE OF APPROVAL
EMOLITION ELEVATION - EAST	-	2/3/2025	CERTIFICATE OF APPROVAL
EMOLITION ELEVATION - SOUTH	-	2/3/2025	CERTIFICATE OF APPROVAL
LEVATION - WEST	-	2/3/2025	CERTIFICATE OF APPROVAL
LEVATION - NORTH	-	2/3/2025	CERTIFICATE OF APPROVAL
LEVATION - EAST	-	2/3/2025	CERTIFICATE OF APPROVAL
LEVATION - SOUTH	-	2/3/2025	CERTIFICATE OF APPROVAL
OLORED ELEVATION - WEST	-	2/3/2025	CERTIFICATE OF APPROVAL
OLORED ELEVATION - NORTH	-	2/3/2025	CERTIFICATE OF APPROVAL
OLORED ELEVATION - EAST	-	2/3/2025	CERTIFICATE OF APPROVAL
COLORED ELEVATION - EAST		2/3/2025	CERTIFICATE OF APPROVAL
NLARGED ELEVATIONS		2/3/2025	CERTIFICATE OF APPROVAL

NEIMAN TABER ARCHITECTURE FOR THE NORTHWEST 1435 34th Avenue Seattle, WA 98122 www.neimantaber.com 206.760.5550

CERTIFICATE OF APPROVAL

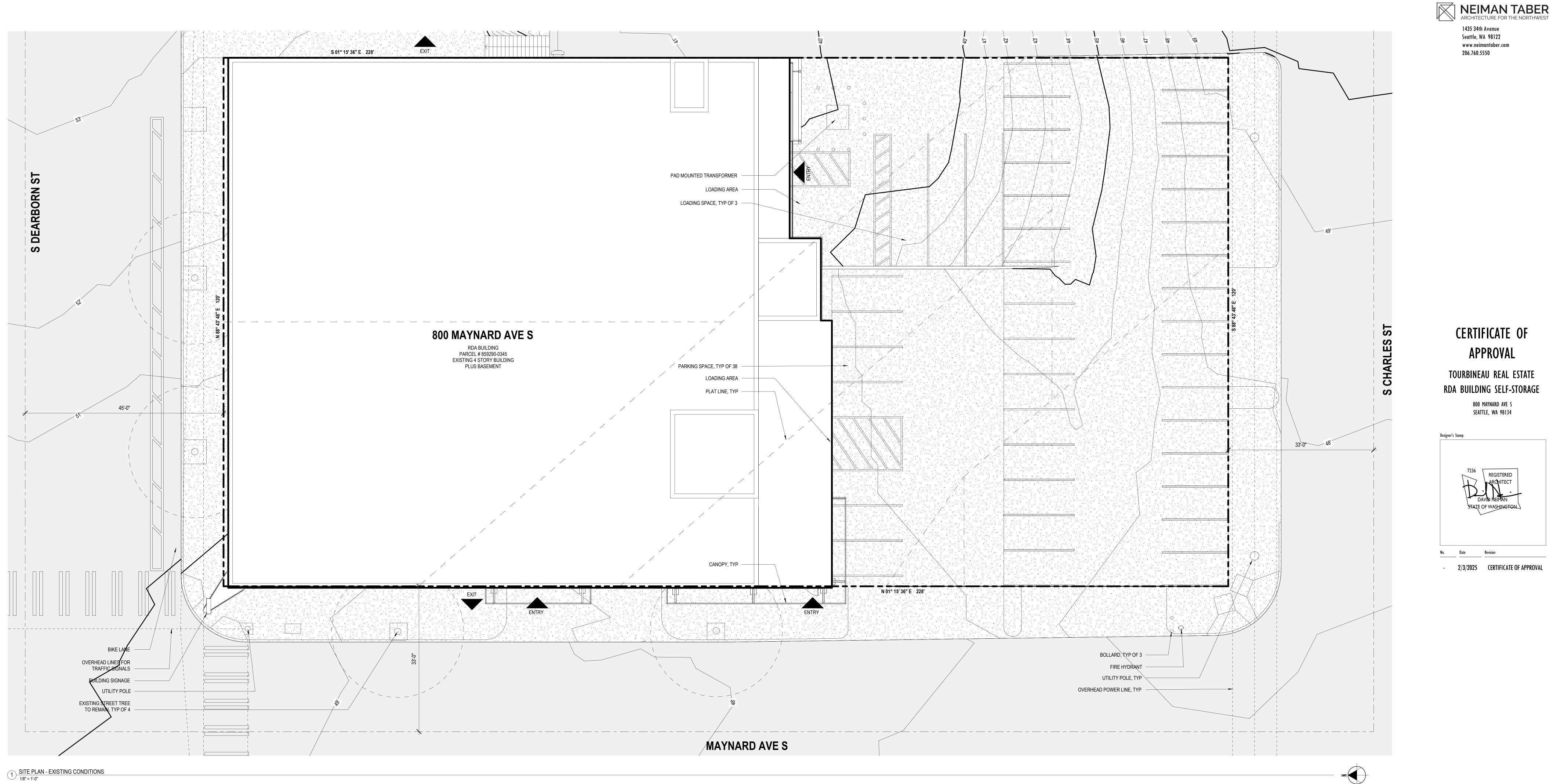
TOURBINEAU REAL ESTATE RDA BUILDING SELF-STORAGE 800 MAYNARD AVE S SEATTLE, WA 98134

Designer's Stamp 7236 REGISTERED ARCHITECT STATE OF WASHINGTON No. Date Revision - 2/3/2025 CERTIFICATE OF APPROVAL

Code Official's Approval Stamp Project Numbers: 7046835-CN, DONH-COA-01488

Sheet Title SHEET INDEX





A100

Sheet Title
SITE PLAN

Date Sheet Number FEBRUARY 3, 2025

FULL SIZE SHEET: 36" X 48" (ANSI E) TITLEBLOCK: 202407 DATE PLOTTED: 2/3/2025 2:54:02 PM

	LAND USE CODE ANALYSIS SEATTLE MUNICIPAL CODE (SMC) TITLE 23		1435 34th Avenue Seattle, WA 98122 www.neimantaber.com 206.760.5550
CODE SECTION	REQUIREMENT	COMMENT	
23.49.011 FLOOR AREA RATIO	BASE FAR: 3.0 MAX FAR: 7.0	NO MODIFICATION TO EXISTING FLOOR AREA IS PROPOSED	
23.49.019 PARKING QUANTITY, LOCATION, AND ACCESS REQUIREMENTS		NO VEHICLE PARKING REQUIRED; NO VEHICLE PARKING PROVIDED.	
	A. IN THE INTERNATIONAL DISTRICT MIXED AND INTERNATIONAL DISTRICT RESIDENTIAL ZONES, PARKING REQUIREMENTS FOR RESTAURANTS, MOTION PICTURE THEATERS, AND OTHER ENTERTAINMENT USES ARE AS PRESCRIBED BY SECTION 23.66.342.	VEHICLE PARKING LOCATED ON SOUTH SIDE OF LOT IS TO BE CONSIDERED A SEPARATE USE AND IS NOT INTENDED TO SERVE THE	
	B. IN THE INTERNATIONAL DISTRICT MIXED AND INTERNATIONAL DISTRICT RESIDENTIAL ZONES, THE DIRECTOR OF THE DEPARTMENT OF NEIGHBORHOODS, UPON THE RECOMMENDATION OF THE INTERNATIONAL DISTRICT SPECIAL REVIEW DISTRICT BOARD, MAY WAIVE OR REDUCE REQUIRED PARKING ACCORDING TO THE PROVISIONS OF SECTION 23.66.342, PARKING AND ACCESS.	I	
	C. BICYCLE PARKING IS REQUIRED AS SPECIFIED IN SUBSECTION 23.54.015.K.		
23.54.015 REQUIRED PARKING	K. BICYCLE PARKING. THE MINIMUM NUMBER OF PARKING SPACES FOR BICYCLES REQUIRED FOR SPECIFIED USES IS SET FORTH IN TABLE D FOR 23.54.015. [] IN THE CASE OF A USE NOT SHOWN ON TABLE D FOR 23.54.015, ONE BICYCLE PARKING SPACE PER 10,000 GROSS SQUARE FEET OF EITHER SHORT- OR LONG-TERM BICYCLE PARKING IS REQUIRED.		
23.58B AFFORDABLE HOUSING IMPACT MITIGATION PROGRAM FOR COMMERCIAL DEVELOPMENT	020.B. APPLICABILITY. EXCEPT AS PROVIDED ACCORDING TO SUBSECTION 23.58B.020.C, THIS CHAPTER 23.58B SHALL APPLY TO DEVELOPMENT THAT INCLUDES MORE THAN 4,000 SQUARE FEET OF GROSS FLOOR AREA IN COMMERCIAL USE THROUGH ONE OF THE FOLLOWING: 1. CONSTRUCTION OF A NEW STRUCTURE; 2. CONSTRUCTION OF AN ADDITION; OR	MHA DOES NOT APPLY. PROPOSED PROJECT DOES NOT INCLUDE CONSTRUCTION OF A NEW STRUCTURE OR ADDITION. NO EXISTING RESIDENTIAL USES.	
	3. CHANGE OF USE FROM RESIDENTIAL USE TO COMMERCIAL USE.		CERTIFICATE OF APPROVAL
23.66.320 PERMITTED USES	ALL USES SHALL BE PERMITTED OUTRIGHT EXCEPT THOSE SPECIFICALLY PROHIBITED BY SECTION 23.66.322 AND THOSE SUBJECT TO SPECIAL REVIEW UNDER SECTION 23.66.324.	CHANGE OF USE FROM OFFICE TO SELF-STORAGE IS PROPOSED FOR LEVELS 1	TOURBINEAU REAL ESTATE RDA BUILDING SELF-STORAGE
23.66.322 PROHIBITED USES	SELF-STORAGE NOT A PROHIBITED USE		800 MAYNARD AVE S Seattle, wa 98134
23.66.324 USES SUBJECT TO SPECIAL REVIEW	SELF-STORAGE NOT SUBJECT TO SPECIAL REVIEW		Designer's Stamp
23.66.326 STREET LEVEL USES	PROJECT IS NOT LOCATED WITHIN RETAIL CORE PER MAP B, STREET LEVEL USES NOT REGULATED DEARBORN IS CLASS II PEDESTRIAN STREET PER MAP B		7236 REGISTERED ARCHITECT
23.66.326 USES ABOVE STREET LEVEL	PROJECT IS NOT LOCATED WITHIN RETAIL CORE PER MAP B, USES ABOVE STREET LEVEL NOT REGULATED DEARBORN IS CLASS II PEDESTRIAN STREET PER MAP B		DAVID NEIMAN STATE OF WASHINGTON
23.66.332 HEIGHT AND ROOFTOP FEATURES	NO CHANGE TO STRUCTURE HEIGHT OR ROOFTOP FEATURES IS PROPOSED		
23.66.336 EXTERIOR BUILDING FINISHES	EXTERIOR BUILDING DESIGN OUTSIDE THE ASIAN DESIGN CHARACTER DISTRICT. OUTSIDE THE ASIAN DESIGN CHARACTER DISTRICT, EARTHEN COLORS AND MASONRY CONSTRUCTION WITH NONMETALLIC SURFACES ARE PREFERRED.	SEE COLORED ELEVATIONS ON A620 SERIES SHEETS	No. Date Revision - 2/3/2025 CERTIFICATE OF APPROVAL
23.66.338 SIGNS	G.1. THE TYPES OF SIGNS THAT MAY BE APPROVED ARE BANNERS AND FLAGS, PROJECTING AND NON-PROJECTING SIGNS INTEGRATED INTO THE BUILDING FAÇADE, MARQUEE, AWNING AND WINDOW SIGNS.	SEE ELEVATIONS ON A610 SERIES SHEETS FOR PROPOSED SIGNAGE EXTENTS	

BICYCLE PARKING SMC 23.54.015 TABLE D

THE MINIMUM NUMBER OF PARKING SPACES FOR BICYCLES REQUIRED FOR SPECIFIED USES IS SET FORTH IN TABLE D FOR 23.54.015. THE MINIMUM REQUIREMENTS ARE BASED UPON GROSS FLOOR AREA OF THE USE IN A STRUCTURE MINUS GROSS FLOOR AREA IN PARKING USES, OR THE SQUARE FOOTAGE OF THE USE WHEN LOCATED OUTSIDE OF AN ENCLOSED STRUCTURE, OR AS OTHERWISE SPECIFIED.

BICYCLE PARKING REQUIRED PROVIDED A.6 SALES AND SERVICES, GENERAL 61,012 SF TOTAL

LONG TERM NONE

BICYCLE PARKING PROVIDED

REQUIRED N/A 0	SHORT TERM 1 PER 10,000 SF	RE 6.1 7
0 COMPLIES		7 CO

REQUIRED

COMPLIES

Sheet litle CODE COMPLIANCE - LAND USE CODE ANALYSIS .____ _____

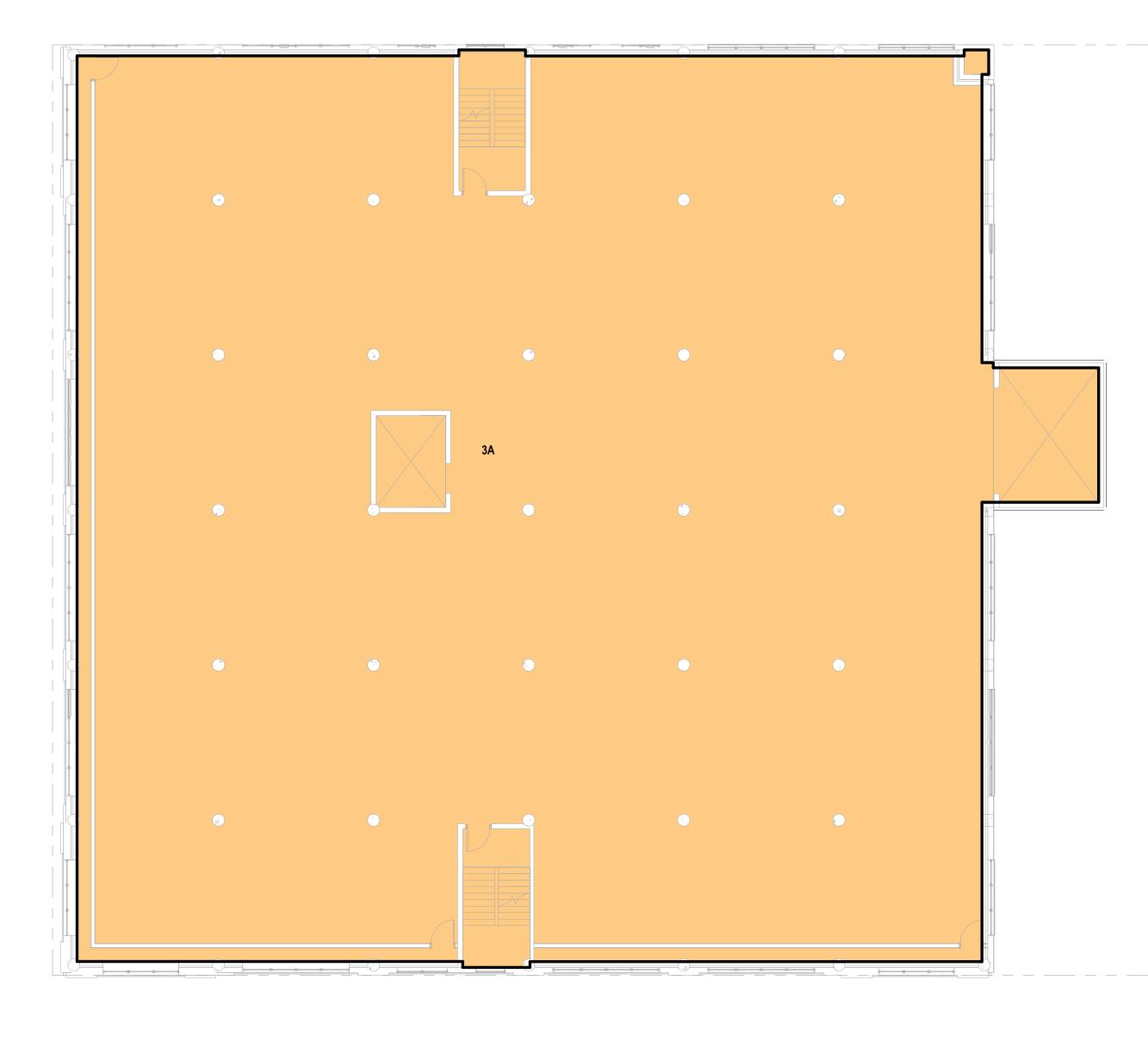
A110

Date Sheet Number

FEBRUARY 3, 2025

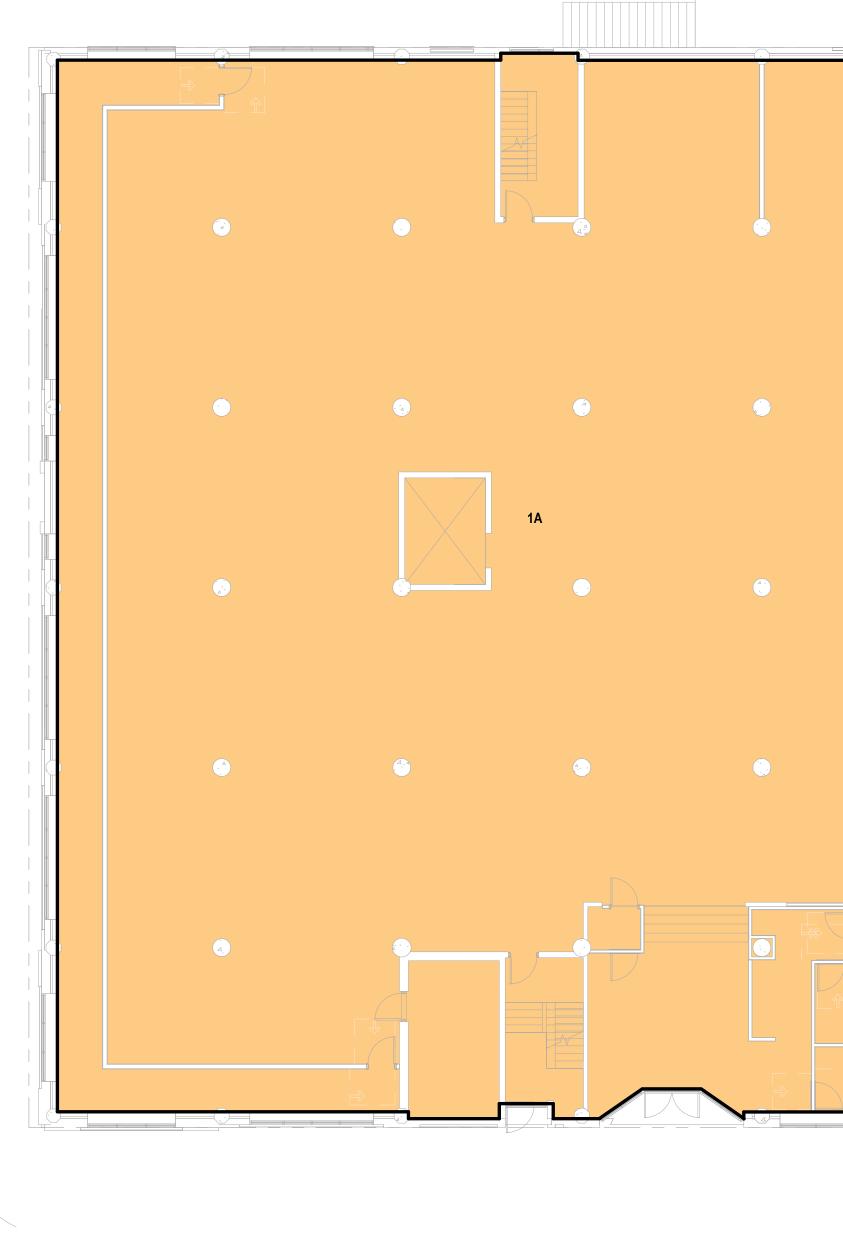


5 <u>LEVEL 0</u> 3/32" = 1'-0"

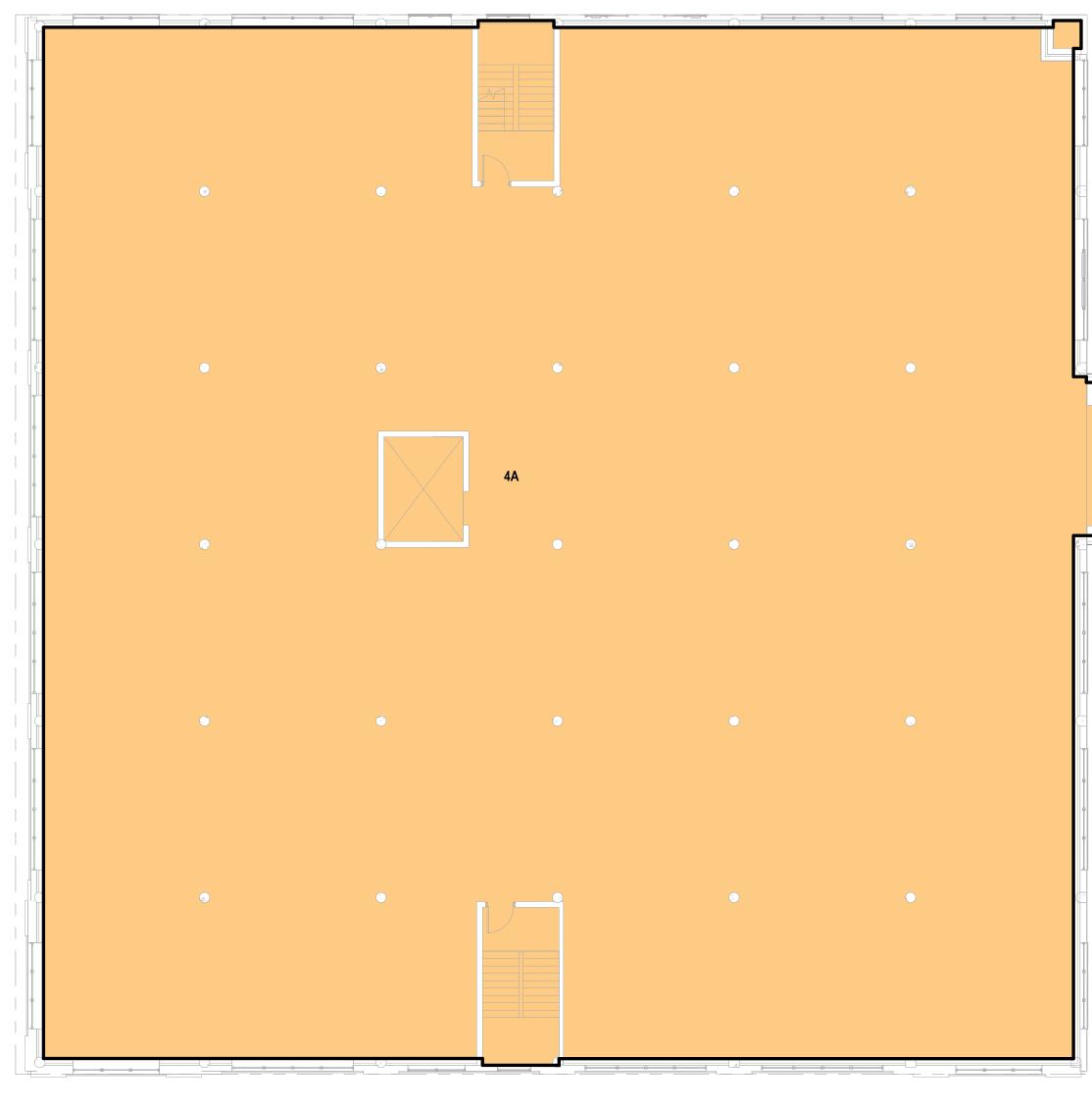


3 LEVEL 3 3/32" = 1'-0"

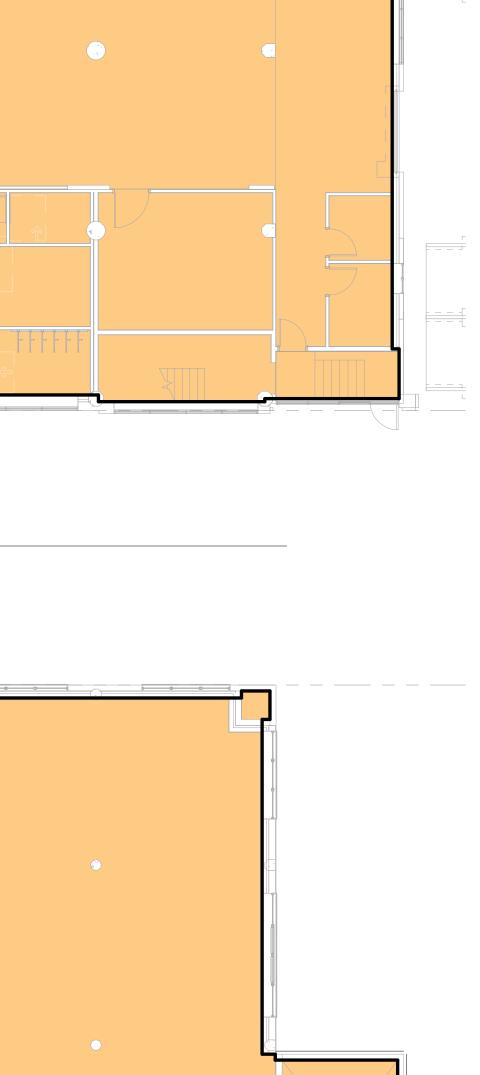


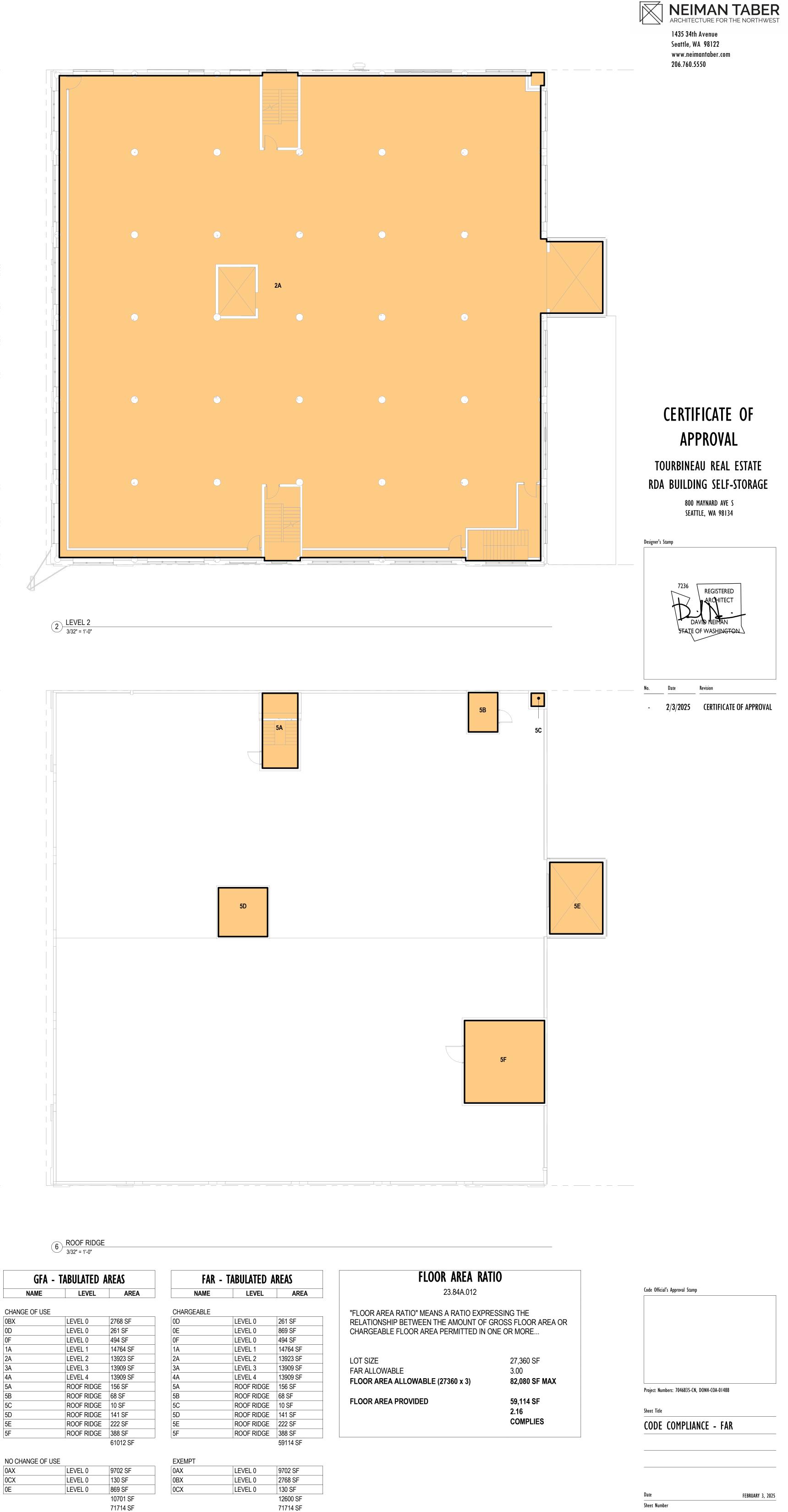


1 <u>LEVEL 1</u> 3/32" = 1'-0"



4 LEVEL 4 3/32" = 1'-0"





GFA - TABULATED AREAS NAME

0BX	LEVEL 0	2768 SF
0D	LEVEL 0	261 SF
0F	LEVEL 0	494 SF
1A	LEVEL 1	14764 SF
2A	LEVEL 2	13923 SF
3A	LEVEL 3	13909 SF
4A	LEVEL 4	13909 SF
5A	ROOF RIDGE	156 SF
5B	ROOF RIDGE	68 SF
5C	ROOF RIDGE	10 SF
5D	ROOF RIDGE	141 SF
5E	ROOF RIDGE	222 SF
5F	ROOF RIDGE	388 SF
		61012 SF

0AX 0CX

FAR - T/	ABULATED	AREAS

CHARGEABLE		-
)D	LEVEL 0	261 SF
)E	LEVEL 0	869 SF
)F	LEVEL 0	494 SF
1A	LEVEL 1	14764 SF
2A	LEVEL 2	13923 SF
BA	LEVEL 3	13909 SF
1A	LEVEL 4	13909 SF
5A	ROOF RIDGE	156 SF
5B	ROOF RIDGE	68 SF
5C	ROOF RIDGE	10 SF
5D	ROOF RIDGE	141 SF
5E	ROOF RIDGE	222 SF
5F	ROOF RIDGE	388 SF
		59114 SF

EXEMPT		
DAX	LEVEL 0	9702 SF
OBX	LEVEL 0	2768 SF
OCX	LEVEL 0	130 SF
		12600 SF
		71714 SF

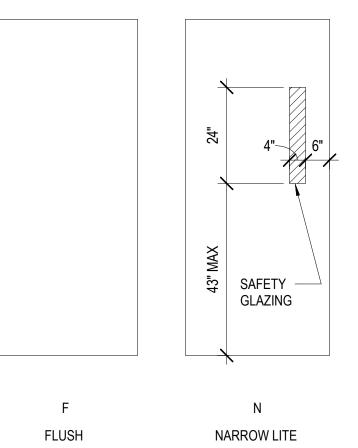
Sheet Number

FULL SIZE SHEET: 36" X 48" (ANSI E) TITLEBLOCK: 202407 DATE PLOTTED: 2/3/2025 2:54:06 PM

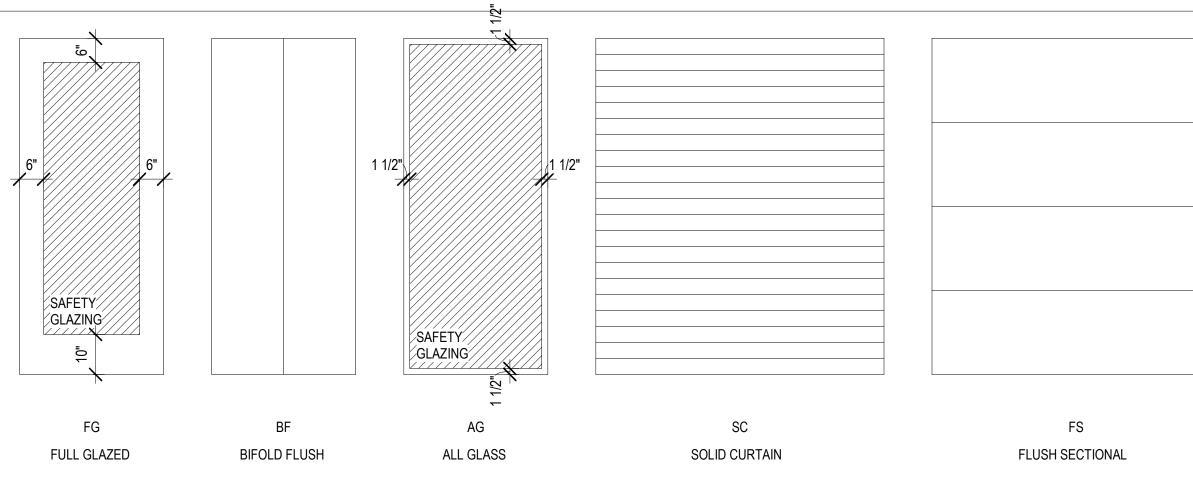
AL ALUMINUM

AL	ALUMINUM
GALV	GALVANIZED
HM	HOLLOW METAL
HWD	HOLLOW WOOD
PT	PAINT
STL	STEEL
VY	VINYL
WD	SOLID WOOD

DOOR PANEL TYPES

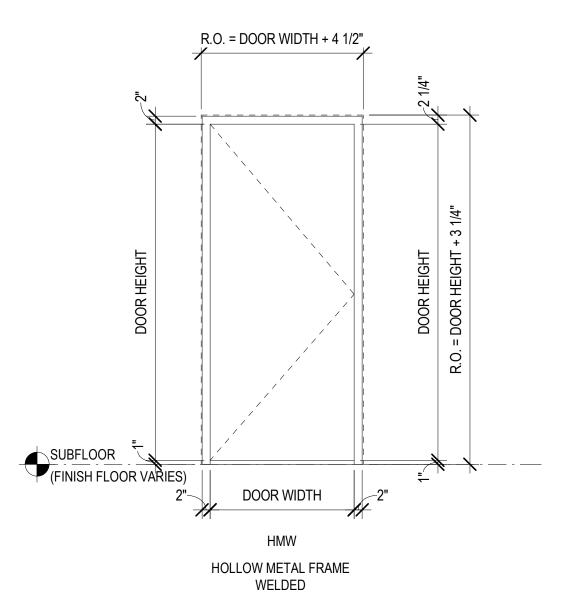


							INTERIOR DO	OR SCHEDULE						
	NOMINAL	DOOR SIZE	ROUGI	H OPENING		PANE	L			FRAME	E	FIRE		
NUMBER	WIDTH	HEIGHT	WIDTH	HEIGHT	OPERATION	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	RATING	COMMENTS	HARDWAR
EVEL 0.7								1						
		6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
		6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
05	3' - 0"	6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
EVEL 1														
	3' - 0"	6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
		6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
EVEL 2														
	3' - 0"	6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
D1A	3' - 0"	6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
D2	3' - 0"	6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
	3' - 0"	6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	НМ	PT	45 MIN		
EVEL 3														
	3' - 0"	6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
		6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
		6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	НМ	PT	HMW	HM	PT	NONE		
EVEL 4														
		6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
		6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
D2	3' - 0"	6' - 8"	3' - 4 1/2"	6' - 11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		



DOOR FRAME TYPES

SEE SCHEDULE FOR ACTUAL METHOD OF OPERATION.



CERTIFICATE OF APPROVAL	
TOURBINEAU REAL ESTAT RDA BUILDING SELF-STORA	_
800 MAYNARD AVE S SEATTLE, WA 98134 Designer's Stamp	
7236 REGISTERED ARCHITECT DAVID NEIMAN STATE OF WASHINGTON	

No. Date Revision

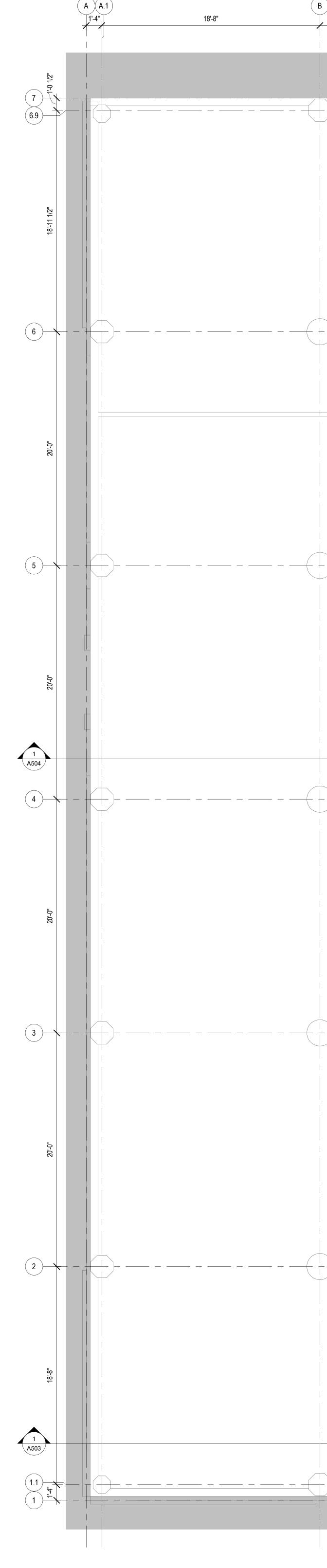
- 2/3/2025 CERTIFICATE OF APPROVAL

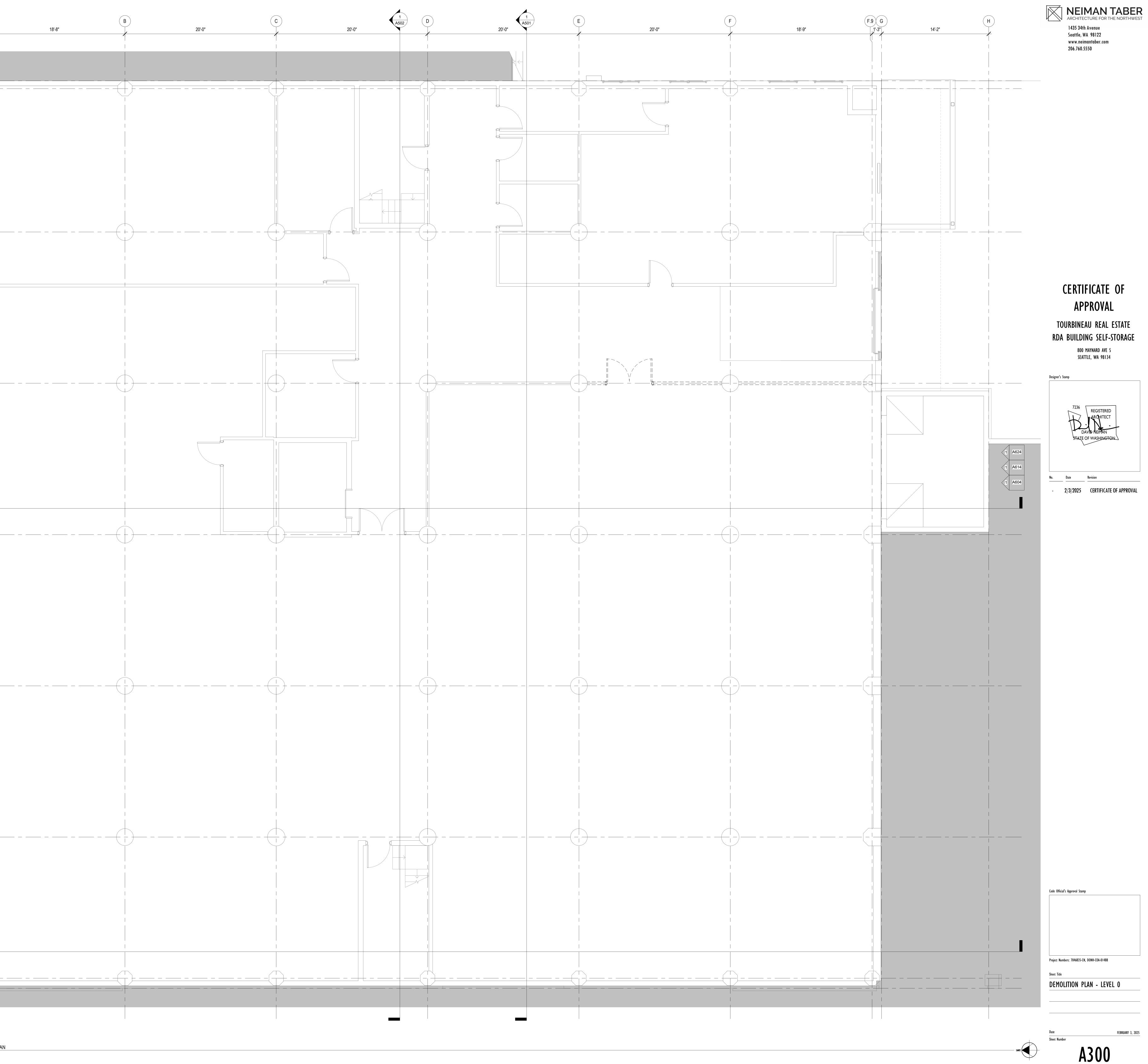
Sheet Title
DOOR SCHEDULE



NEIMAN TABER ARCHITECTURE FOR THE NORTHWEST 1435 34th Avenue Seattle, WA 98122 www.neimantaber.com 206.760.5550

- 1. DO NOT SCALE DRAWINGS. DIMENSIONS FOR NEW WORK ARE GIVEN TO FACE OF WALL FRAMING, CENTERLINE OF FIXTURE, OR ROUGH OPENING OF WINDOWS AND DOORS. EXISTING WALLS ARE DRAWN AT THICKNESS OF THE ROUGH FRAMING
- 2. ELEMENTS THAT APPEAR TO BE ALIGNED, ARE ALIGNED. 3. WHERE ASSEMBLIES MEET WITH DISSIMILAR LAYERS OF FINISH, ADD A LAYER OF WALL
- BOARD TO PROVIDE A CONTINUOUS SURFACE. 4. PRIOR TO INSTALLATION OF SWITCHES, JUNCTION BOXES AND DEVICES, CONTRACTOR IS TO MARK THE LOCATIONS ON ROUGH FRAMING AND REVIEW LOCATIONS WITH THE
- ARCHITECT AND OWNER. 5. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS, SHALL BE SIGNED BY THE
- TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION. 6. ALL EXISTING EXTERIOR FURRING WALLS AND OTHER ELEMENTS OF THE BUILDING'S
- THERMAL ENVELOPE TO REMAIN 7. LAYOUT OF SELF STORAGE FACILITY IS NOTIONAL AND INTENDED TO GIVE A GENERAL SENSE OF HOW THE BUILDING'S INTERIOR LAYOUT MIGHT BE CONFIGURED. ACTUAL
- LAYOUT WILL BE DETERMINED BY SELF-STORAGE FACILITY OPERATOR. 8. ALL INTERIOR PARTITIONS TO BE PAINTED PT-1 ON BOTH SIDES UNLESS NOTED OTHERWISE 9. EXISTING PARTITIONS, FINISHES, CASEWORK, EQUIPMENT, AND FURNITURE TO BE REMOVED. FULL SCOPE OF EXISTING TENANT IMPROVEMENTS TO BE REMOVED NOT
- DEPICTED. EXISTING MEPF ELEMENTS TO BE RETAINED, RECONFIGURED, AND REUSED TO THE MAXIMUM EXTENT FEASIBLE

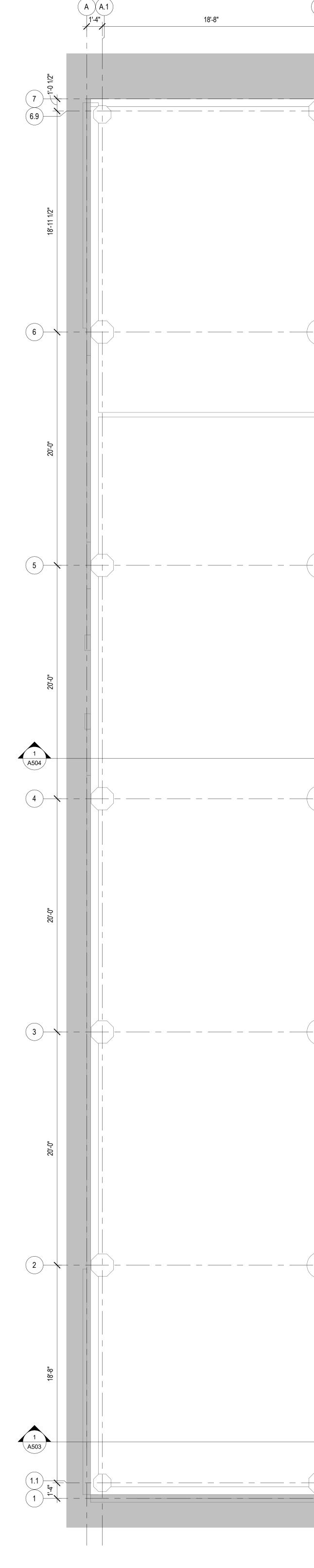


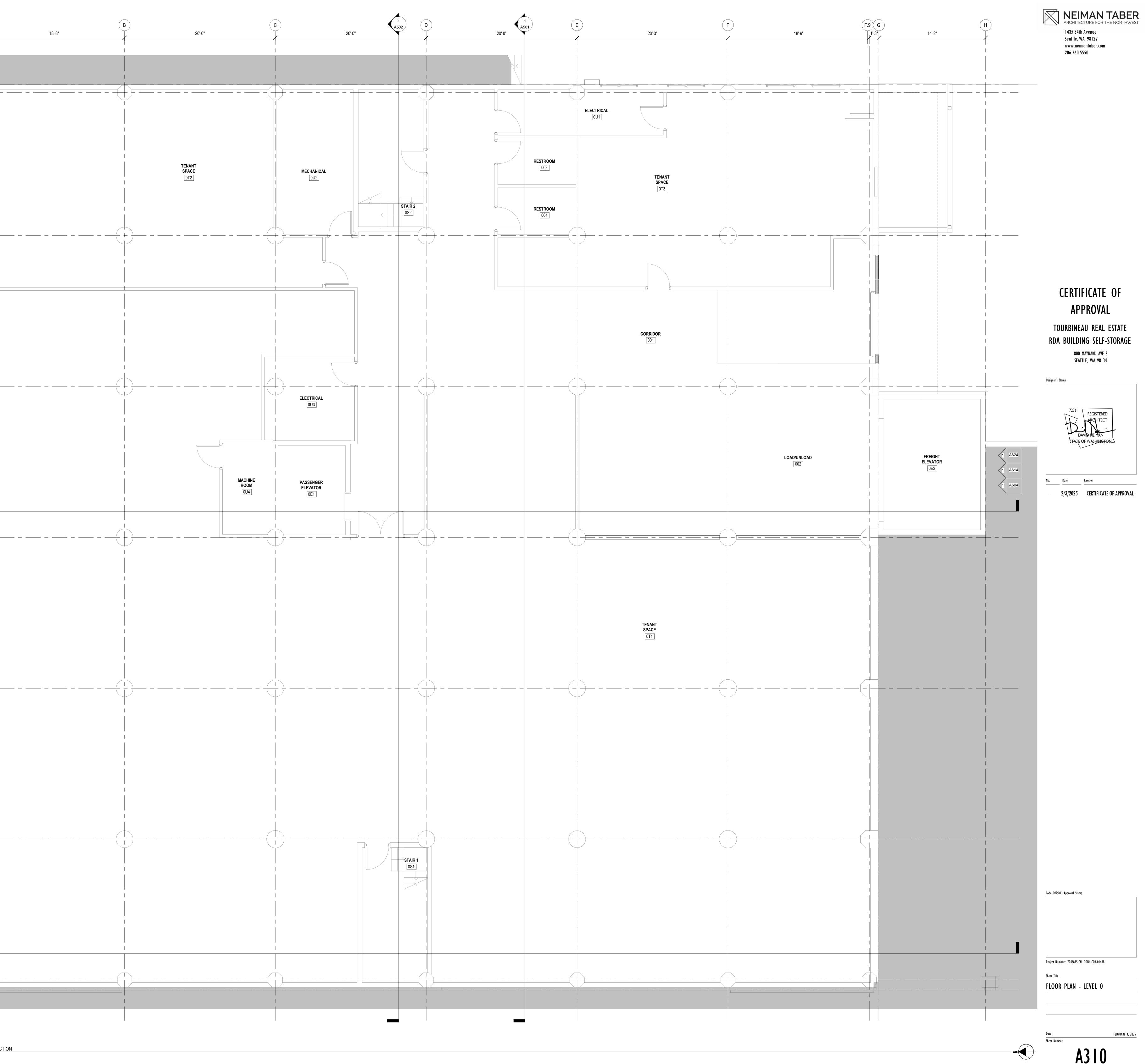


- 1. DO NOT SCALE DRAWINGS. DIMENSIONS FOR NEW WORK ARE GIVEN TO FACE OF WALL FRAMING, CENTERLINE OF FIXTURE, OR ROUGH OPENING OF WINDOWS AND DOORS. EXISTING WALLS ARE DRAWN AT THICKNESS OF THE ROUGH FRAMING
- 2. ELEMENTS THAT APPEAR TO BE ALIGNED, ARE ALIGNED. 3. WHERE ASSEMBLIES MEET WITH DISSIMILAR LAYERS OF FINISH, ADD A LAYER OF WALL BOARD TO PROVIDE A CONTINUOUS SURFACE.
- 4. PRIOR TO INSTALLATION OF SWITCHES, JUNCTION BOXES AND DEVICES, CONTRACTOR IS TO MARK THE LOCATIONS ON ROUGH FRAMING AND REVIEW LOCATIONS WITH THE
- ARCHITECT AND OWNER. 5. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS, SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL
- INSPECTION. 6. ALL EXISTING EXTERIOR FURRING WALLS AND OTHER ELEMENTS OF THE BUILDING'S THERMAL ENVELOPE TO REMAIN
- 7. LAYOUT OF SELF STORAGE FACILITY IS NOTIONAL AND INTENDED TO GIVE A GENERAL SENSE OF HOW THE BUILDING'S INTERIOR LAYOUT MIGHT BE CONFIGURED. ACTUAL LAYOUT WILL BE DETERMINED BY SELF-STORAGE FACILITY OPERATOR.
- 8. ALL INTERIOR PARTITIONS TO BE PAINTED PT-1 ON BOTH SIDES UNLESS NOTED OTHERWISE 9. EXISTING PARTITIONS, FINISHES, CASEWORK, EQUIPMENT, AND FURNITURE TO BE REMOVED. FULL SCOPE OF EXISTING TENANT IMPROVEMENTS TO BE REMOVED NOT
- DEPICTED. 10. EXISTING MEPF ELEMENTS TO BE RETAINED, RECONFIGURED, AND REUSED TO THE MAXIMUM EXTENT FEASIBLE

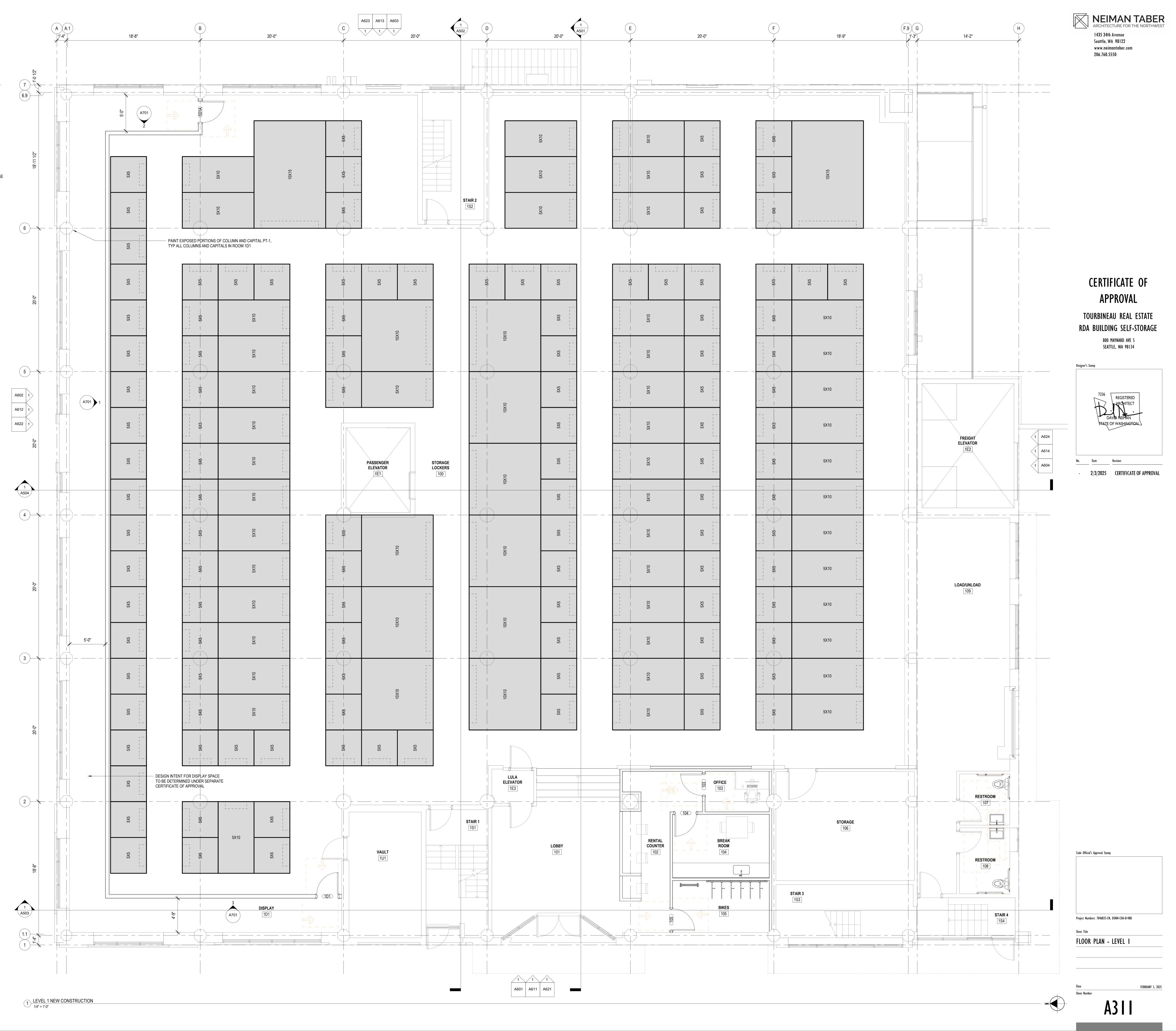


- 1. DO NOT SCALE DRAWINGS. DIMENSIONS FOR NEW WORK ARE GIVEN TO FACE OF WALL FRAMING, CENTERLINE OF FIXTURE, OR ROUGH OPENING OF WINDOWS AND DOORS. EXISTING WALLS ARE DRAWN AT THICKNESS OF THE ROUGH FRAMING
- 2. ELEMENTS THAT APPEAR TO BE ALIGNED, ARE ALIGNED. 3. WHERE ASSEMBLIES MEET WITH DISSIMILAR LAYERS OF FINISH, ADD A LAYER OF WALL
- BOARD TO PROVIDE A CONTINUOUS SURFACE. 4. PRIOR TO INSTALLATION OF SWITCHES, JUNCTION BOXES AND DEVICES, CONTRACTOR IS TO MARK THE LOCATIONS ON ROUGH FRAMING AND REVIEW LOCATIONS WITH THE
- ARCHITECT AND OWNER. 5. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS, SHALL BE SIGNED BY THE
- TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION. 6. ALL EXISTING EXTERIOR FURRING WALLS AND OTHER ELEMENTS OF THE BUILDING'S
- THERMAL ENVELOPE TO REMAIN 7. LAYOUT OF SELF STORAGE FACILITY IS NOTIONAL AND INTENDED TO GIVE A GENERAL SENSE OF HOW THE BUILDING'S INTERIOR LAYOUT MIGHT BE CONFIGURED. ACTUAL
- LAYOUT WILL BE DETERMINED BY SELF-STORAGE FACILITY OPERATOR. 8. ALL INTERIOR PARTITIONS TO BE PAINTED PT-1 ON BOTH SIDES UNLESS NOTED OTHERWISE 9. EXISTING PARTITIONS, FINISHES, CASEWORK, EQUIPMENT, AND FURNITURE TO BE REMOVED. FULL SCOPE OF EXISTING TENANT IMPROVEMENTS TO BE REMOVED NOT
- DEPICTED. EXISTING MEPF ELEMENTS TO BE RETAINED, RECONFIGURED, AND REUSED TO THE MAXIMUM EXTENT FEASIBLE

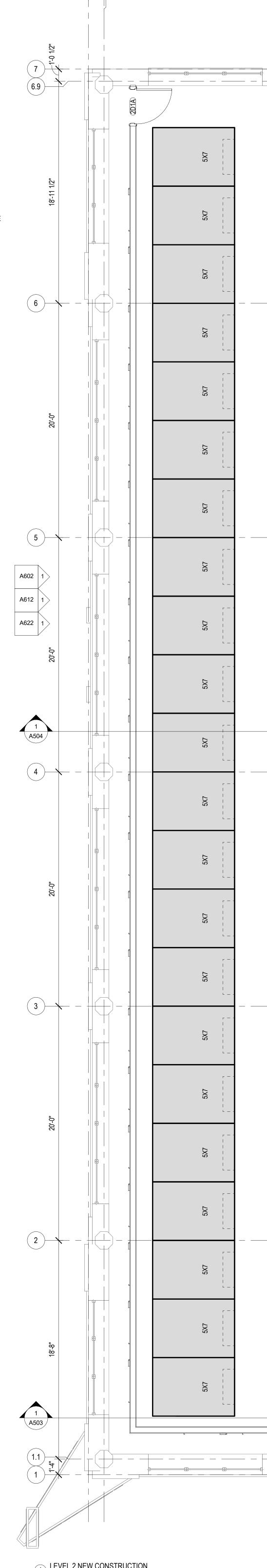




- 1. DO NOT SCALE DRAWINGS. DIMENSIONS FOR NEW WORK ARE GIVEN TO FACE OF WALL FRAMING, CENTERLINE OF FIXTURE, OR ROUGH OPENING OF WINDOWS AND DOORS. EXISTING WALLS ARE DRAWN AT THICKNESS OF THE ROUGH FRAMING
- ELEMENTS THAT APPEAR TO BE ALIGNED, ARE ALIGNED.
 WHERE ASSEMBLIES MEET WITH DISSIMILAR LAYERS OF FINISH, ADD A LAYER OF WALL
- BOARD TO PROVIDE A CONTINUOUS SURFACE.
 PRIOR TO INSTALLATION OF SWITCHES, JUNCTION BOXES AND DEVICES, CONTRACTOR IS TO MARK THE LOCATIONS ON ROUGH FRAMING AND REVIEW LOCATIONS WITH THE
- ARCHITECT AND OWNER. 5. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS, SHALL BE SIGNED BY THE
- TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION.6. ALL EXISTING EXTERIOR FURRING WALLS AND OTHER ELEMENTS OF THE BUILDING'S
- THERMAL ENVELOPE TO REMAIN 7. LAYOUT OF SELF STORAGE FACILITY IS NOTIONAL AND INTENDED TO GIVE A GENERAL
- SENSE OF HOW THE BUILDING'S INTERIOR LAYOUT MIGHT BE CONFIGURED. ACTUAL LAYOUT WILL BE DETERMINED BY SELF-STORAGE FACILITY OPERATOR.
 8. ALL INTERIOR PARTITIONS TO BE PAINTED PT-1 ON BOTH SIDES UNLESS NOTED OTHERWISE
 9. EXISTING PARTITIONS, FINISHES, CASEWORK, EQUIPMENT, AND FURNITURE TO BE
- REMOVED. FULL SCOPE OF EXISTING TENANT IMPROVEMENTS TO BE REMOVED NOT DEPICTED.
 10. EXISTING MEPF ELEMENTS TO BE RETAINED, RECONFIGURED, AND REUSED TO THE MAXIMUM EXTENT FEASIBLE

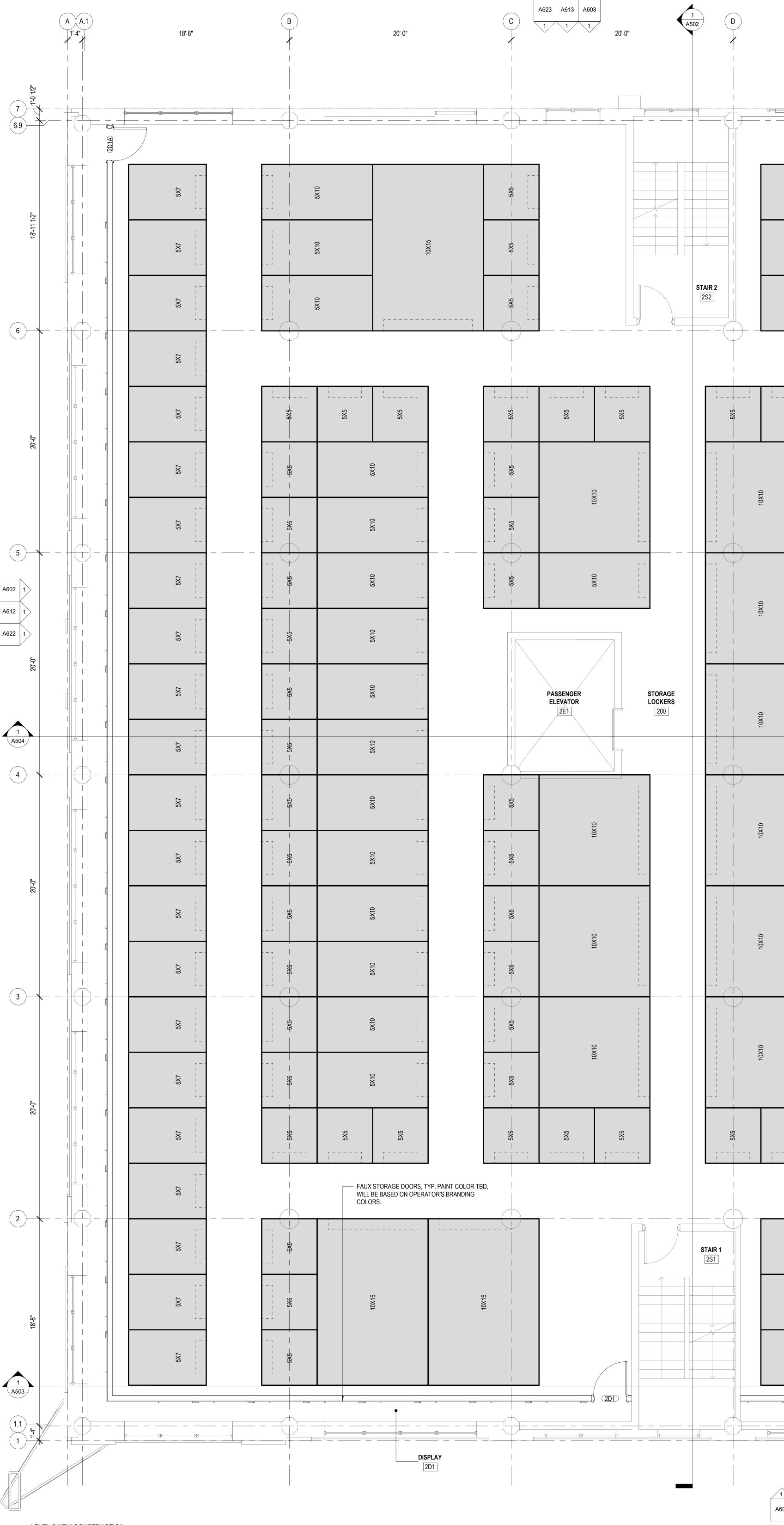


- 1. DO NOT SCALE DRAWINGS. DIMENSIONS FOR NEW WORK ARE GIVEN TO FACE OF WALL FRAMING, CENTERLINE OF FIXTURE, OR ROUGH OPENING OF WINDOWS AND DOORS. EXISTING WALLS ARE DRAWN AT THICKNESS OF THE ROUGH FRAMING
- 2. ELEMENTS THAT APPEAR TO BE ALIGNED, ARE ALIGNED. 3. WHERE ASSEMBLIES MEET WITH DISSIMILAR LAYERS OF FINISH, ADD A LAYER OF WALL
- BOARD TO PROVIDE A CONTINUOUS SURFACE. 4. PRIOR TO INSTALLATION OF SWITCHES, JUNCTION BOXES AND DEVICES, CONTRACTOR IS TO MARK THE LOCATIONS ON ROUGH FRAMING AND REVIEW LOCATIONS WITH THE
- ARCHITECT AND OWNER. 5. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS, SHALL BE SIGNED BY THE
- TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION. 6. ALL EXISTING EXTERIOR FURRING WALLS AND OTHER ELEMENTS OF THE BUILDING'S
- THERMAL ENVELOPE TO REMAIN 7. LAYOUT OF SELF STORAGE FACILITY IS NOTIONAL AND INTENDED TO GIVE A GENERAL
- SENSE OF HOW THE BUILDING'S INTERIOR LAYOUT MIGHT BE CONFIGURED. ACTUAL LAYOUT WILL BE DETERMINED BY SELF-STORAGE FACILITY OPERATOR. 8. ALL INTERIOR PARTITIONS TO BE PAINTED PT-1 ON BOTH SIDES UNLESS NOTED OTHERWISE 9. EXISTING PARTITIONS, FINISHES, CASEWORK, EQUIPMENT, AND FURNITURE TO BE
- REMOVED. FULL SCOPE OF EXISTING TENANT IMPROVEMENTS TO BE REMOVED NOT DEPICTED. 10. EXISTING MEPF ELEMENTS TO BE RETAINED, RECONFIGURED, AND REUSED TO THE MAXIMUM EXTENT FEASIBLE

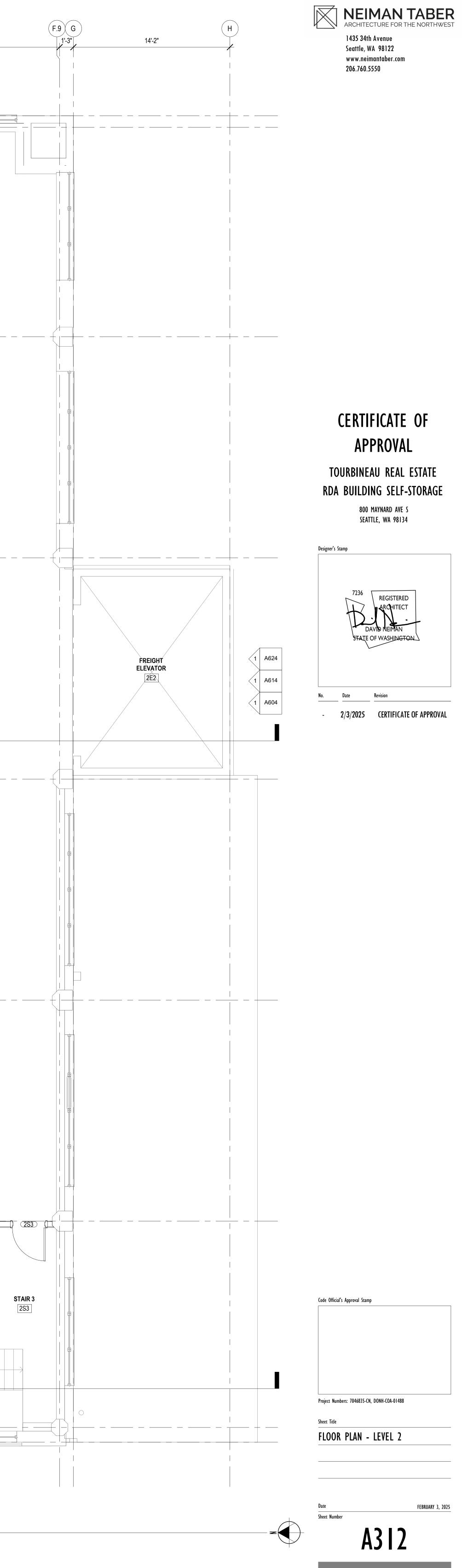


A A.1

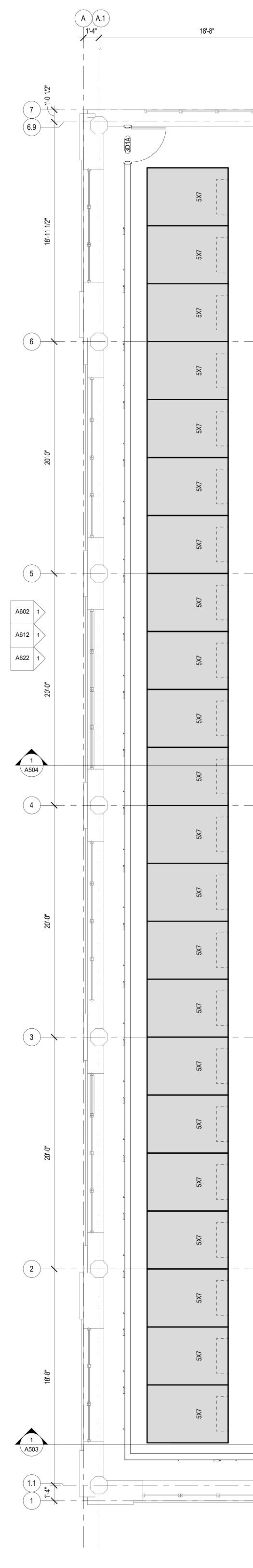
18'-8"

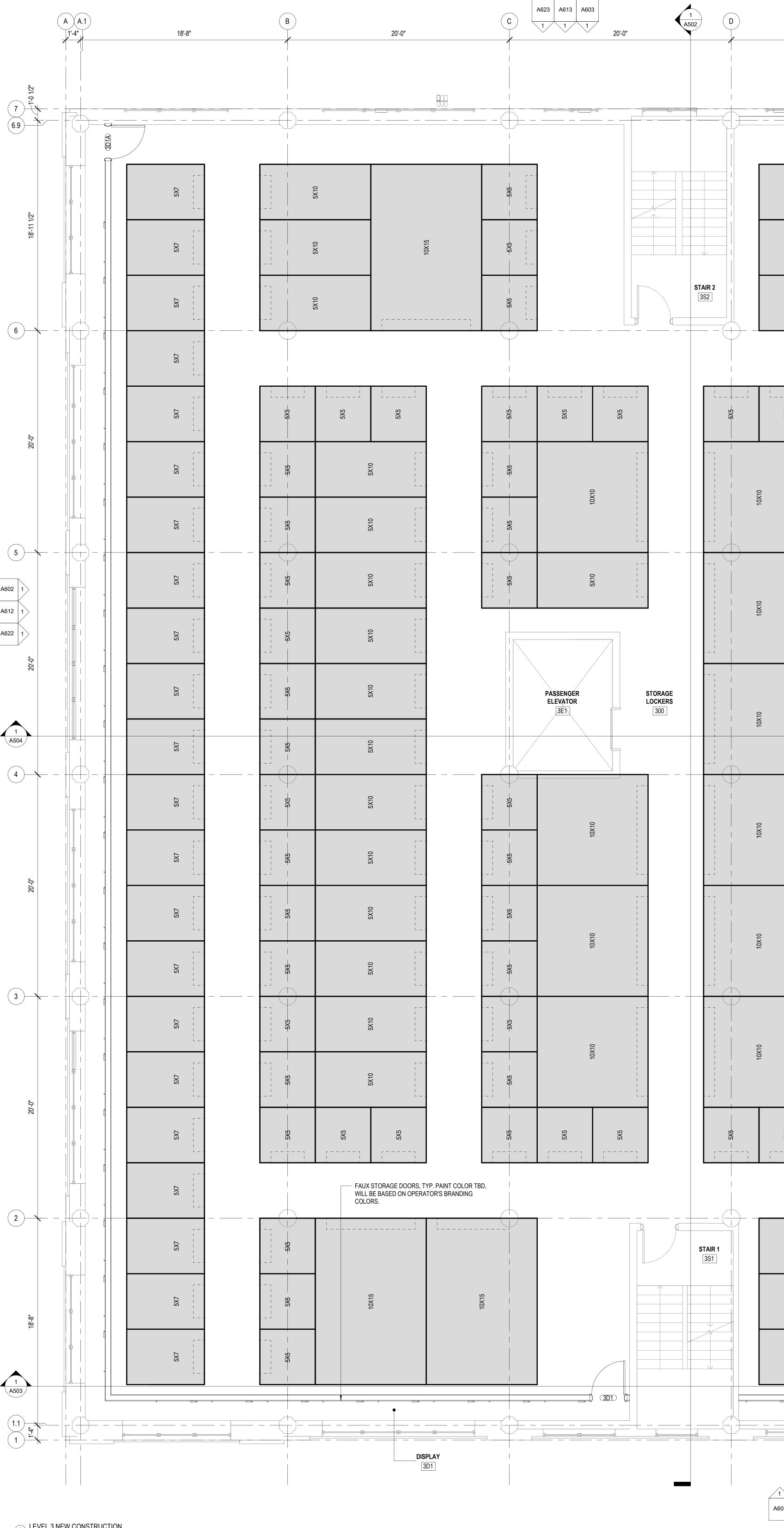


20'-0	1 (A501)	(E	20'-0"	F	18'-9"
<u></u> }						
			- <u> </u> + = 			
5X10			5X10	2X2		
5X10			5X10	2X2 2 1 2 1 2 1 1 1 1 1	2X2	10X15
5X10			5X10	 - 2 2 2 2 2 2		r
5X5			5X5	5X5	£X5	5X5
2X5			5X10	2X2 1 2X2 1 1 1		5X10
5X5			5X10	2X2	2.22	5X10
5X5			5X10	2X2		5X10
5X5			5X10	2X2		5X10
5X5			5X10	2 2 2 2 2 2 2 2 2 2 1 2 2 2	 - - - - 	5X10
5X5	r — -		5X10	 2 X2 		5X10
5X5			5X10	 - - 2 2 2 2		5X10
5X5			5X10	 - - - 2 2 2 2		5X10
5X5	r 		5X10	 - - - - - - - - - - - - - -		5X10
5X5	r 		5X10	 2 2 2 2 2 2		5X10
5X5	r		5X10	 2X2		5X10
5X5			5X10	 - - 2 2 2 2		5X10
5X5 5X5			- 5 X5	2X2	2.22	2X2 2X2 2X2
 		r — — I				
5X10	r — - 		5X10	 2X5		
5X10	r I I I		5X10	 		5X10
5X10			5X10	 - - - - - - - - - - - - - -		
	L				(2D2) (
	E					
1 1 1 A601 A611 A621						

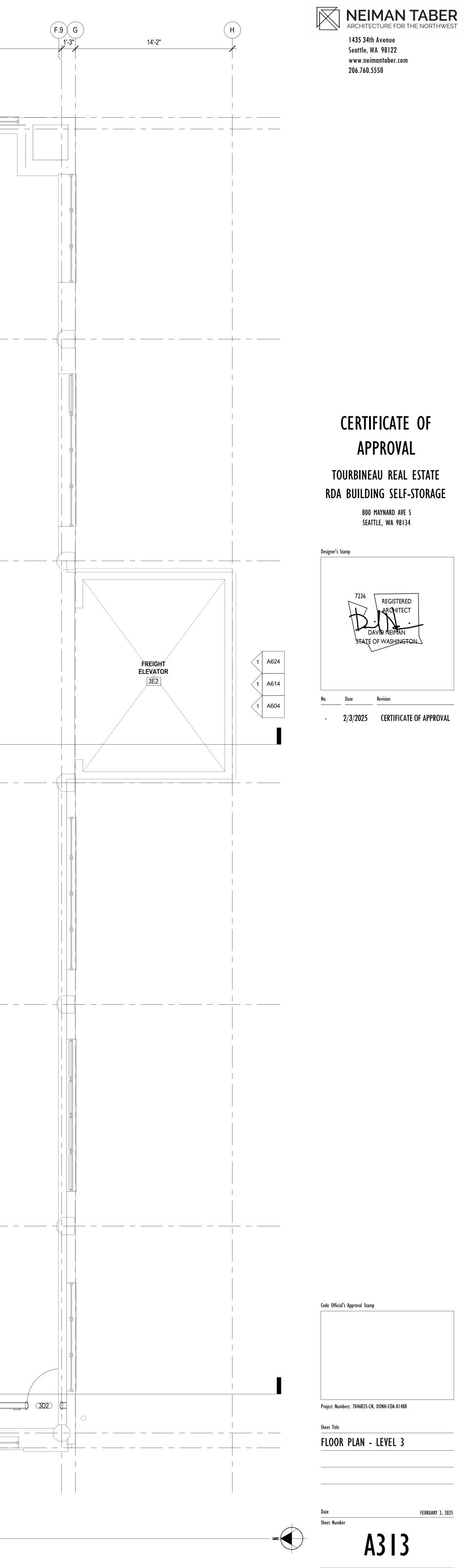


- 1. DO NOT SCALE DRAWINGS. DIMENSIONS FOR NEW WORK ARE GIVEN TO FACE OF WALL FRAMING, CENTERLINE OF FIXTURE, OR ROUGH OPENING OF WINDOWS AND DOORS. EXISTING WALLS ARE DRAWN AT THICKNESS OF THE ROUGH FRAMING
- 2. ELEMENTS THAT APPEAR TO BE ALIGNED, ARE ALIGNED. 3. WHERE ASSEMBLIES MEET WITH DISSIMILAR LAYERS OF FINISH, ADD A LAYER OF WALL
- BOARD TO PROVIDE A CONTINUOUS SURFACE. 4. PRIOR TO INSTALLATION OF SWITCHES, JUNCTION BOXES AND DEVICES, CONTRACTOR IS TO MARK THE LOCATIONS ON ROUGH FRAMING AND REVIEW LOCATIONS WITH THE
- ARCHITECT AND OWNER. 5. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS, SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL
- INSPECTION. 6. ALL EXISTING EXTERIOR FURRING WALLS AND OTHER ELEMENTS OF THE BUILDING'S
- THERMAL ENVELOPE TO REMAIN 7. LAYOUT OF SELF STORAGE FACILITY IS NOTIONAL AND INTENDED TO GIVE A GENERAL SENSE OF HOW THE BUILDING'S INTERIOR LAYOUT MIGHT BE CONFIGURED. ACTUAL
- LAYOUT WILL BE DETERMINED BY SELF-STORAGE FACILITY OPERATOR. 8. ALL INTERIOR PARTITIONS TO BE PAINTED PT-1 ON BOTH SIDES UNLESS NOTED OTHERWISE 9. EXISTING PARTITIONS, FINISHES, CASEWORK, EQUIPMENT, AND FURNITURE TO BE REMOVED. FULL SCOPE OF EXISTING TENANT IMPROVEMENTS TO BE REMOVED NOT
- DEPICTED. 10. EXISTING MEPF ELEMENTS TO BE RETAINED, RECONFIGURED, AND REUSED TO THE MAXIMUM EXTENT FEASIBLE

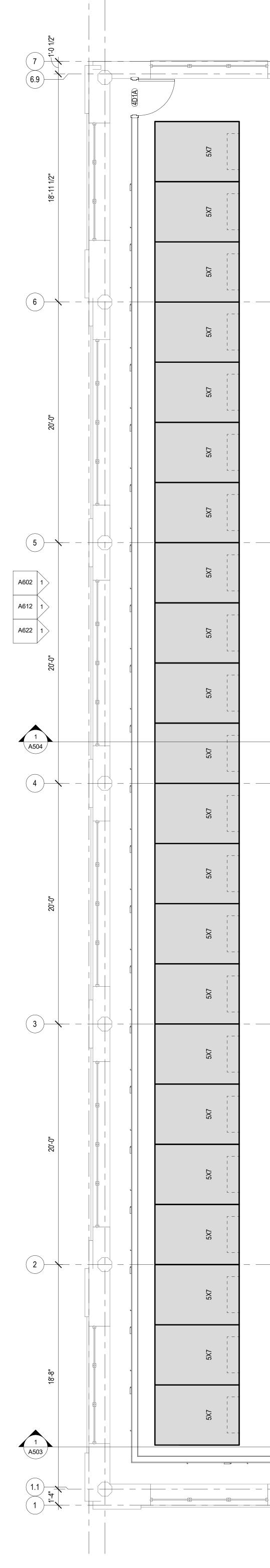




	20'-0"	1 A501	E	20'-0"	(F	18'-9"
		yr 			<u>æ</u>		₽ <u></u> ₩₩ ₽₩
	5X10		5X10	5X5 		- 5 X5 -	
	5X10		5X10	2X2		-5X5	10X15
	5X10 		5X10	2X2 			
		Ⅰ □ (
5X5	5X5		5X5	5X5		 	5X5
			5X10	2X2 		- 5X5	5X10
	5X5		5X10	2X2 		5X5	5X10
			5X10	2X2 			5X10
			5X10	2X2 		-5X5	5X10
	5X5		5X10	2X2 			5X10
	5X5		5X10	2X5		- 5X5	5X10
	5X5		5X10	5X5 		5X5-	5X10
	5X5		5X10	5X5 			5X10
	5X5		5X10	2X5 		5X5	5X10
	5X5		5X10	5X5			5X10
	5X5		5X10	2X5 		-5X5	5X10
			5X10	2X5 			5X10
5X5	5X5		5X5	5X5			SX5
	5X10		5X10	2X2		5X10	2X2
	5X10		5X10	2X2 		5X10	2X2 2 1 2 1 2 1
	5X10		5X10	2X2 1 1 2 2 2		5X10	222 1 1 1 2 2 2
							,, ,, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
			DISF 3[PLAY D2			
A601 A611	A621						



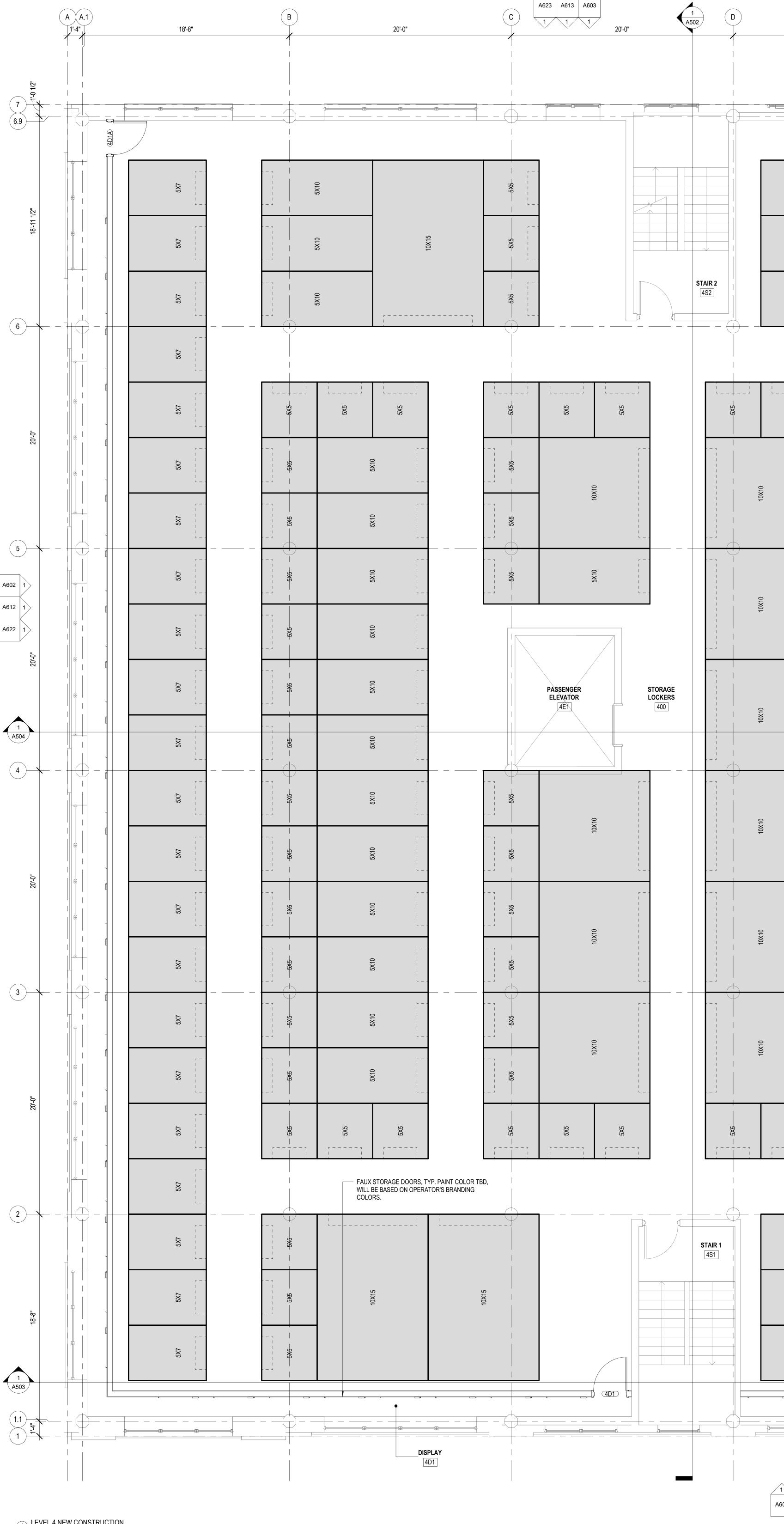
- 1. DO NOT SCALE DRAWINGS. DIMENSIONS FOR NEW WORK ARE GIVEN TO FACE OF WALL FRAMING, CENTERLINE OF FIXTURE, OR ROUGH OPENING OF WINDOWS AND DOORS. EXISTING WALLS ARE DRAWN AT THICKNESS OF THE ROUGH FRAMING
- 2. ELEMENTS THAT APPEAR TO BE ALIGNED, ARE ALIGNED. 3. WHERE ASSEMBLIES MEET WITH DISSIMILAR LAYERS OF FINISH, ADD A LAYER OF WALL
- BOARD TO PROVIDE A CONTINUOUS SURFACE. 4. PRIOR TO INSTALLATION OF SWITCHES, JUNCTION BOXES AND DEVICES, CONTRACTOR IS TO MARK THE LOCATIONS ON ROUGH FRAMING AND REVIEW LOCATIONS WITH THE
- ARCHITECT AND OWNER. 5. A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS, SHALL BE SIGNED BY THE
- TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION. 6. ALL EXISTING EXTERIOR FURRING WALLS AND OTHER ELEMENTS OF THE BUILDING'S
- THERMAL ENVELOPE TO REMAIN 7. LAYOUT OF SELF STORAGE FACILITY IS NOTIONAL AND INTENDED TO GIVE A GENERAL
- SENSE OF HOW THE BUILDING'S INTERIOR LAYOUT MIGHT BE CONFIGURED. ACTUAL LAYOUT WILL BE DETERMINED BY SELF-STORAGE FACILITY OPERATOR. 8. ALL INTERIOR PARTITIONS TO BE PAINTED PT-1 ON BOTH SIDES UNLESS NOTED OTHERWISE 9. EXISTING PARTITIONS, FINISHES, CASEWORK, EQUIPMENT, AND FURNITURE TO BE
- REMOVED. FULL SCOPE OF EXISTING TENANT IMPROVEMENTS TO BE REMOVED NOT DEPICTED. 10. EXISTING MEPF ELEMENTS TO BE RETAINED, RECONFIGURED, AND REUSED TO THE MAXIMUM EXTENT FEASIBLE



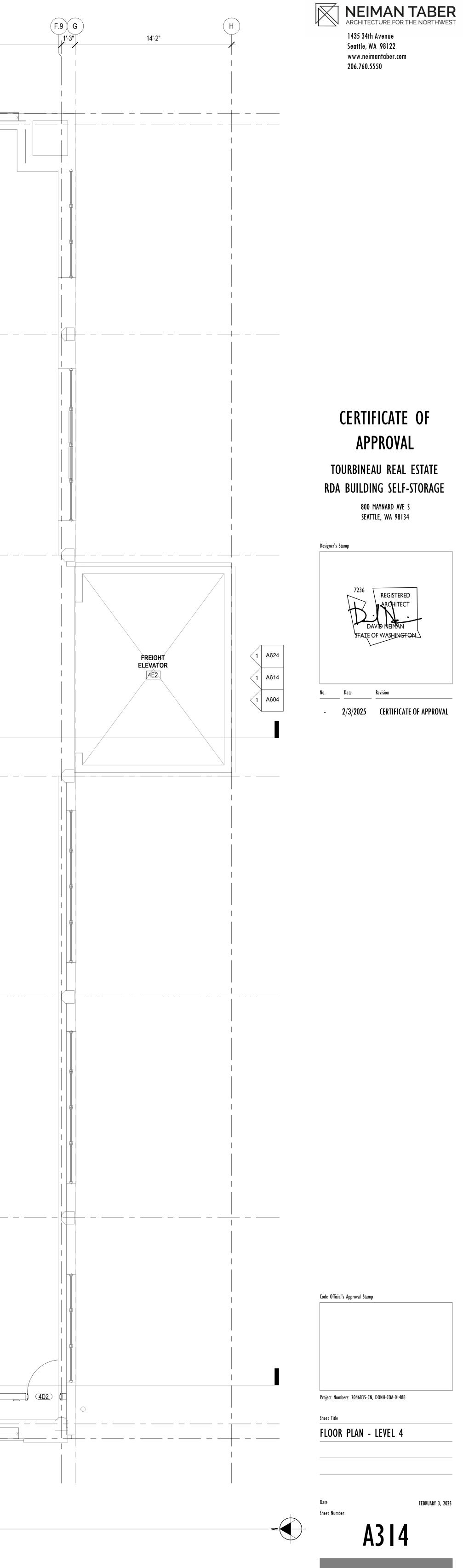
1 LEVEL 4 NEW CONSTRUCTION 1/4" = 1'-0"

A A.1

18'-8"



	20'-0"			20'-0"	F	18'	'-9"
			 			-]	
2 2 2	DIXC		5X10	2X2	<u>-</u> - - - - - - - - - - - - - - - - - -		
20 20	01XC		5X10	2X5		10X15	
5 7 10	01X6		5X10	5X5	2X2	r	
5X5	5X5		2X3-	5X5	+ 2X2- 2	2X2	5X5
	2X2		5X10	5X5		5X10	
	2X2		5X10	5X5	5X5	5X10	
	5X5		5X10	5X5		5X10	
	2×2 2×2		5X10	2 22 2 22	2X2	5X10	
	 - - - - - - - - - - - - - - - - 		5X10	2X2	2X2	5X10	
	2 2 2 2 2		5X10	2X2	2X2	5X10	
	2X2		5X10	2X2		5X10	
	2×2		5X10	2X2		5X10	
	2 2 2 2 2 2 2 2		5 5X10	2X5	· - · · · · · · · · · · · · · · · · · ·	5X10	
	2X2		5X10	2X2	2X2	5X10	
	2X2		5X10	5X5		5X10	
	2X2		5X10	5X5	2X2	5X10	
5X5	2X2	r 	2X5 5X5	5X5		2X2 	5X5
	r — -			r – -			r — -
0 7 7	L. L.		5X10	5X5		5X10	2X2
л 20 20	0 0 1 1 1 1 1 1 1 1 1 1 1 1		5X10	2X2		5X10	2X2
0 2 2	DIXC		5X10	5X5		5X10	2X5 5X5 1 1 1
1 1 A601 A611	1 A621			ISPLAY 4D2			



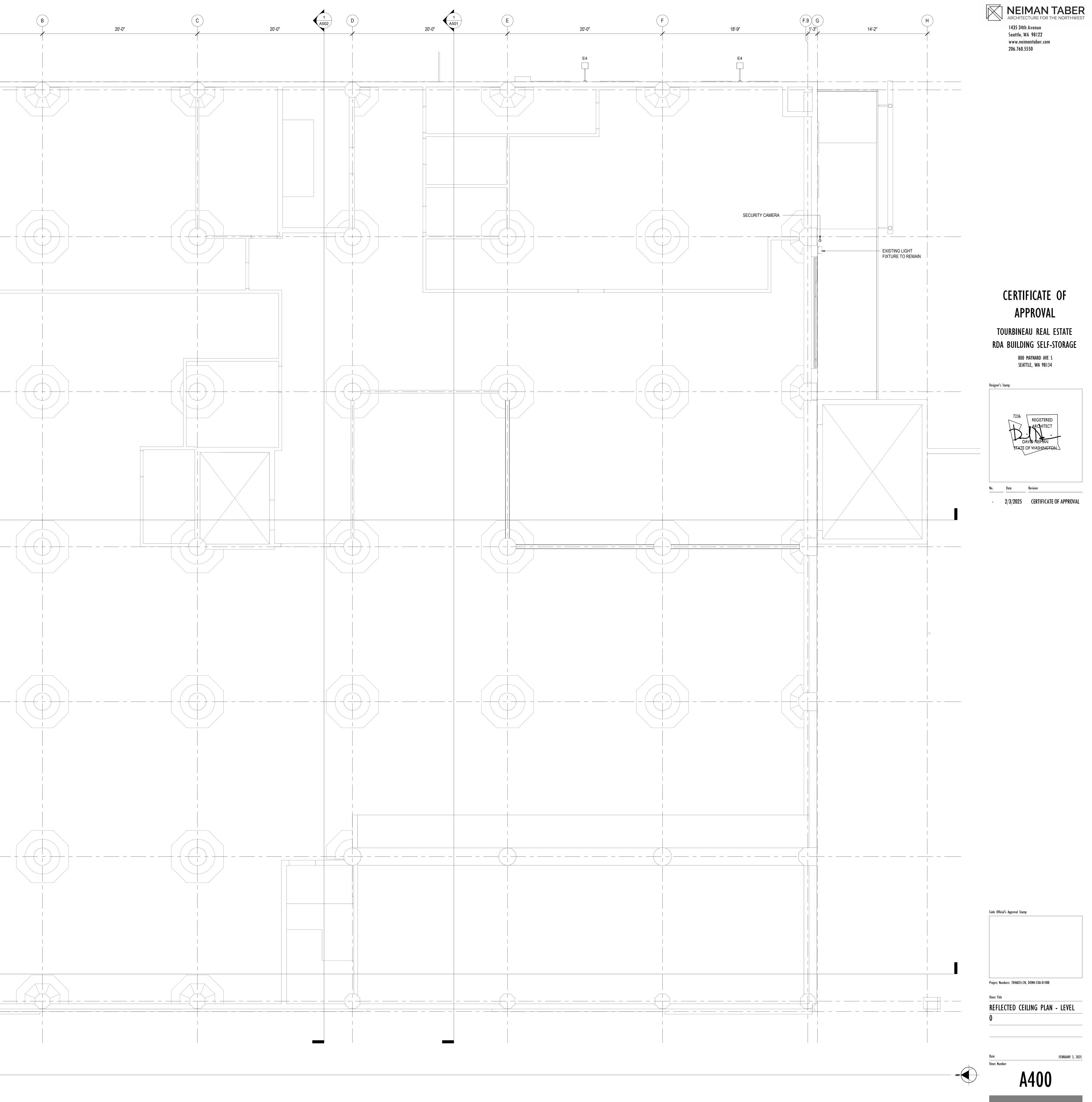
			A A.1 1'-4"	18'-8"
QTY 12 8 4 4 4 4 55 7 4	LIGMAN LEEDS 2 (ULEE-30001-5.5W-W-W40-01-120) LIGMAN ODESSA 1 (UOD-80001-21W-W-W40-01-120) LIGMAN VEKTER 1 (UVK-30001-21W-W-W40-01-120) LIGMAN VEKTER 7 (UVK-30011-21W-EW-W40-01-120) RAB GN3 (GN-3-LED-13-N-AC11-W) FINELITE HP2 (HP-2-SM-WW-D-V-840-K-SW-120-SC-FC-10-C4-FE-SW) FINELITE HP2 (HP-2-P-WW-D-V-840-K-SW-120-SC-FC-10-C4-FE-SW) FINELITE HP2 (HP-2-ID-8'-SO-SO-4000K-120-FA-SC-C4-OBO) BRUCK GX35 (GX35-35LM-35K-90-35D-120V-ELV-P-WH)	18-11 1/2"		
11	FINELITE HPR (HPR LED-A-2x2-DCO-S -8-120-C1)	6		
		5		
		1 A504 4		
		00		
		.002		

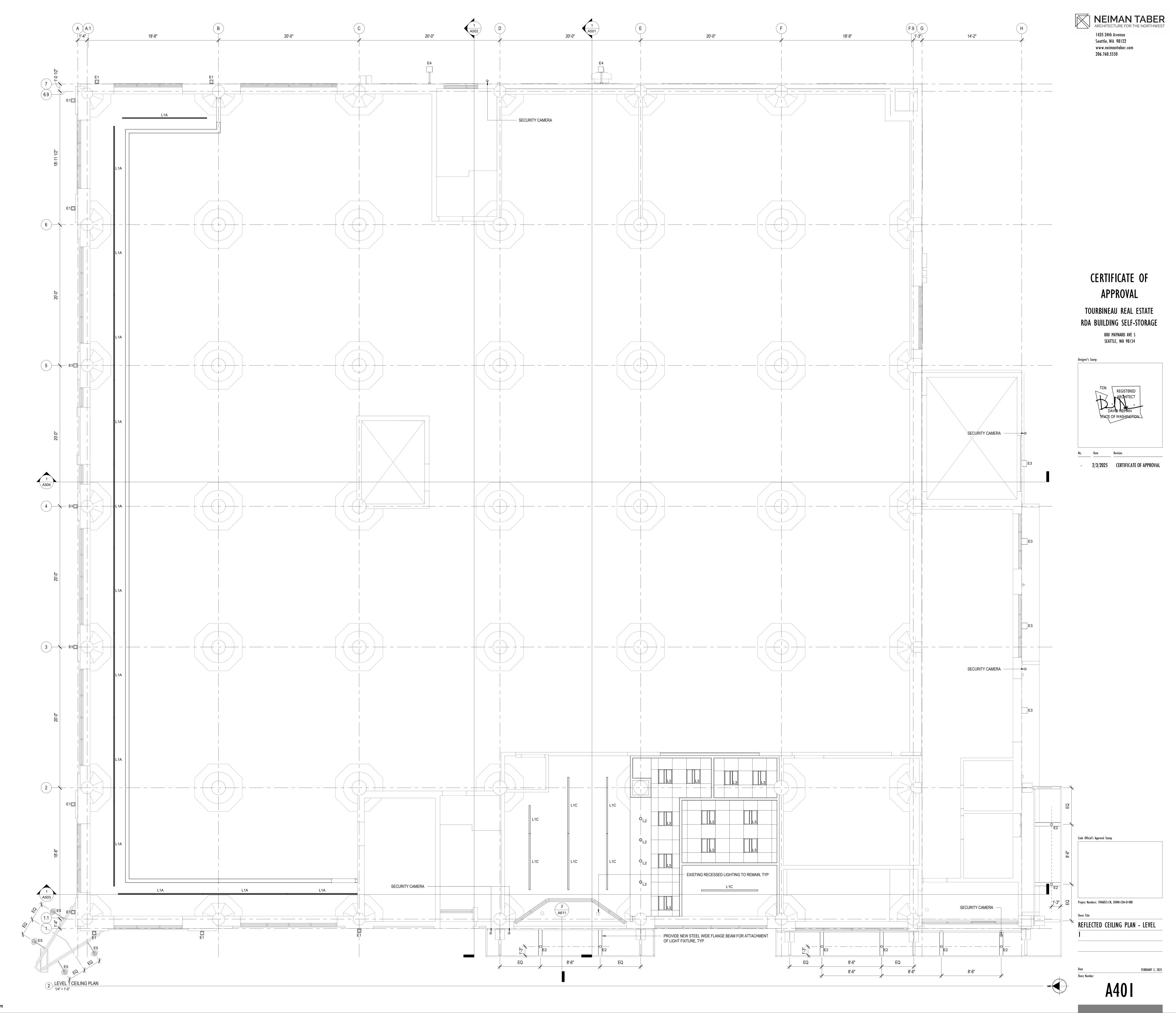
FULL SIZE SHEET: 36" X 48" (ANSI E) TITLEBLOCK: 202407 DATE PLOTTED: 2/3/2025 2:54:18 PM

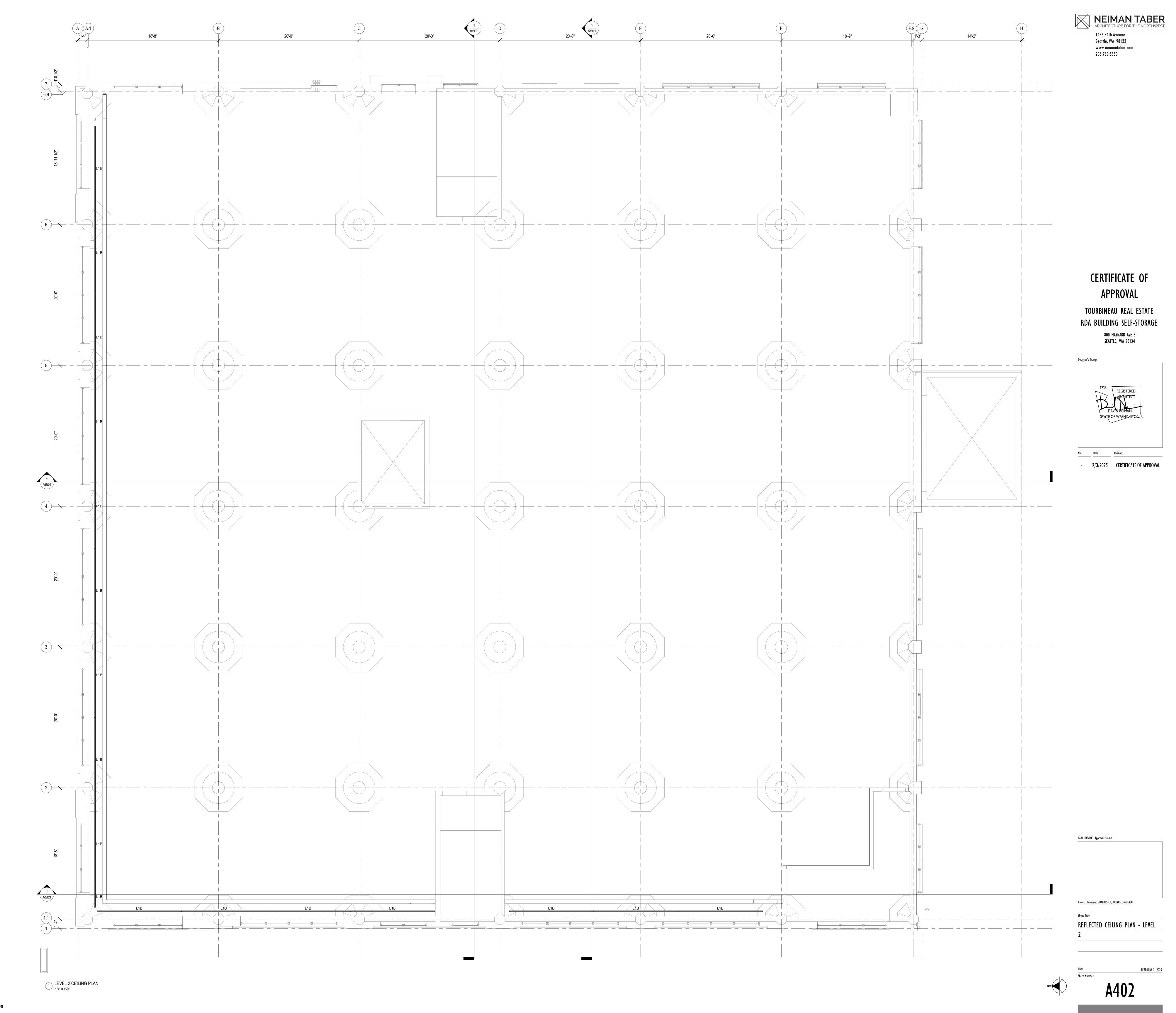
TYPE QTY

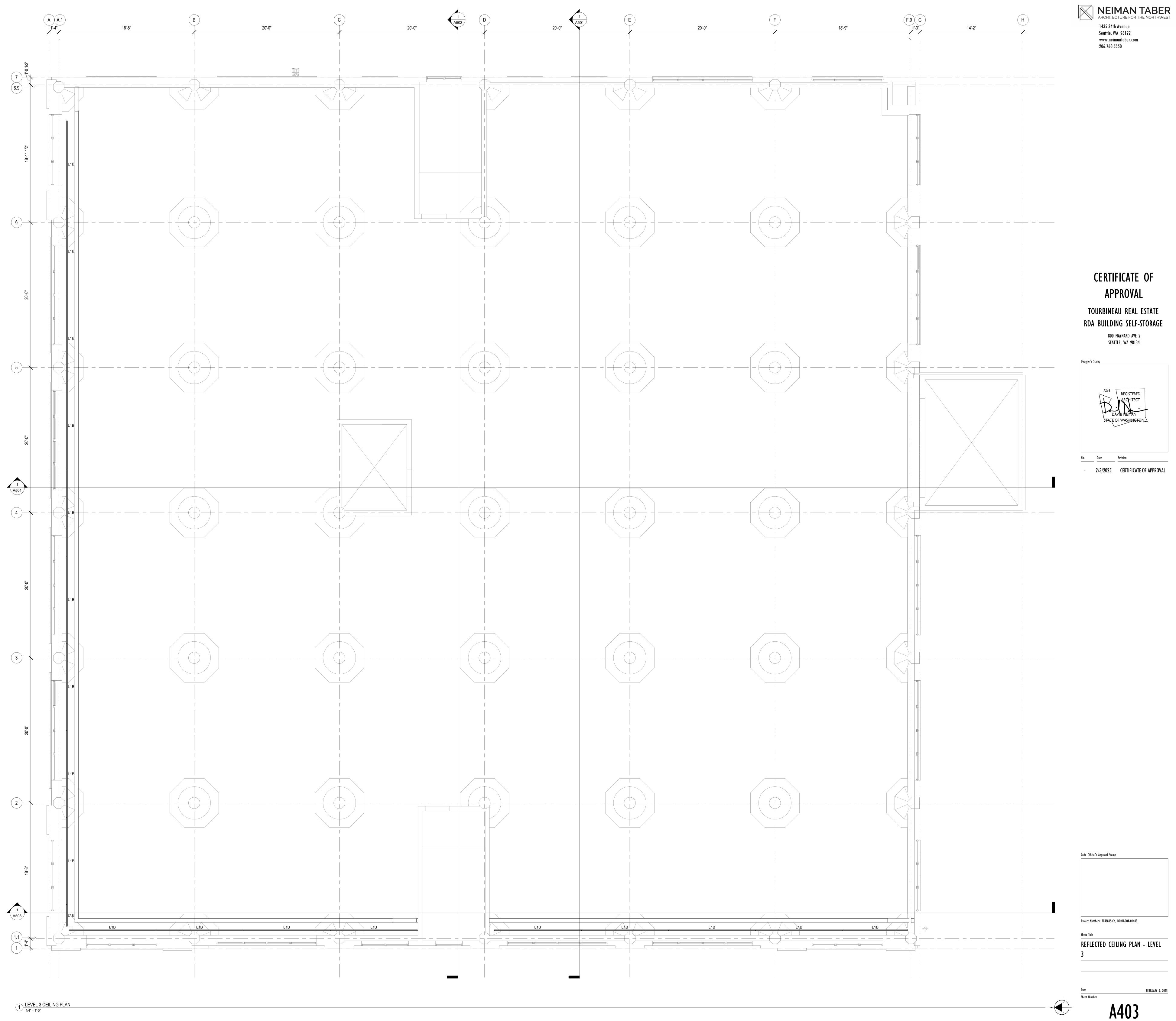
I 1A

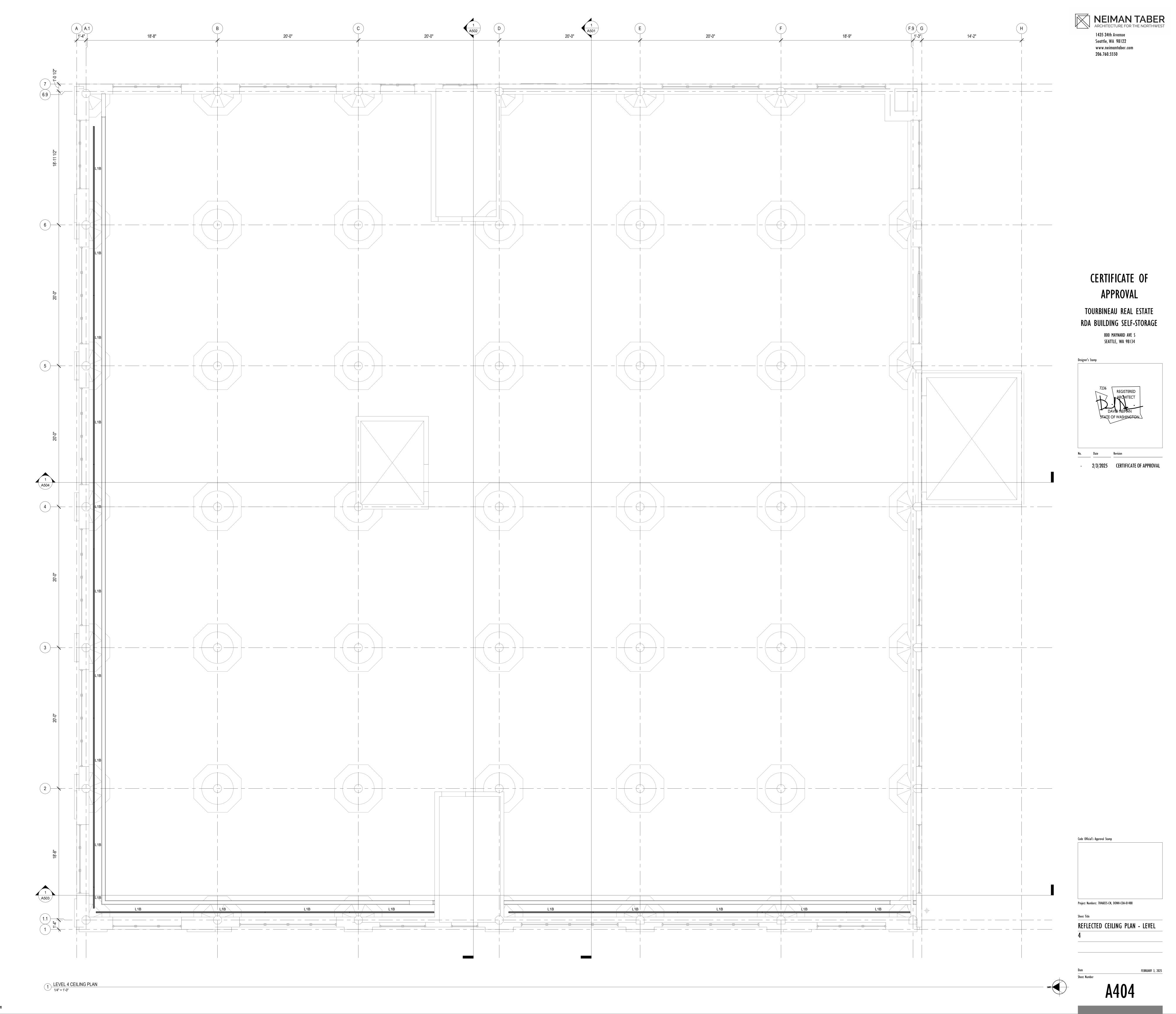
1) LEVEL 0 CEILING PLAN 1/4" = 1'-0"









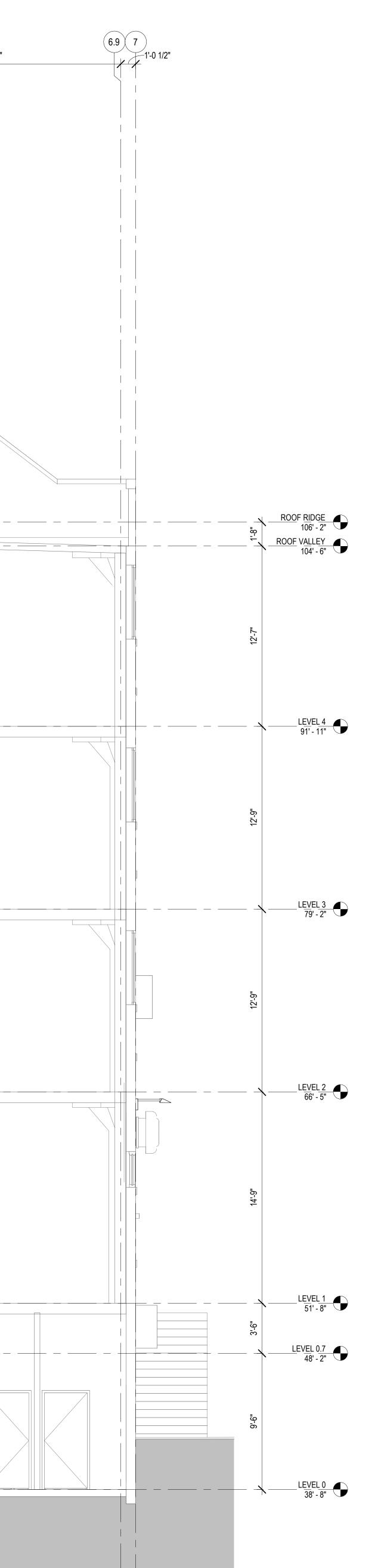


FULL SIZE SHEET: 36" X 48" (ANSI E) TITLEBLOCK: 202407 DATE PLOTTED: 2/3/2025 2:54:23 PM



1 EAST/WEST SECTION @ LOBBY 1/4" = 1'-0"

1 504 20'-0"	5	20'-0"	6	18'-11 1/2"
]				



CERTIFICATE OF APPROVAL TOURBINEAU REAL ESTATE RDA BUILDING SELF-STORAGE 800 MAYNARD AVE S SEATTLE, WA 98134 Designer's Stamp 7236 REGISTERED ARCHITECT

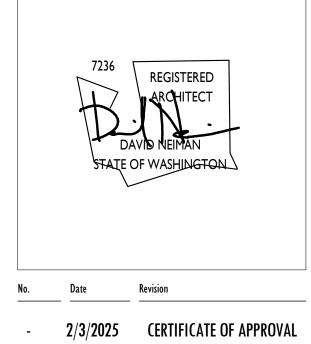
NEIMAN TABER ARCHITECTURE FOR THE NORTHWEST

1435 34th Avenue

Seattle, WA 98122

206.760.5550

www.neimantaber.com

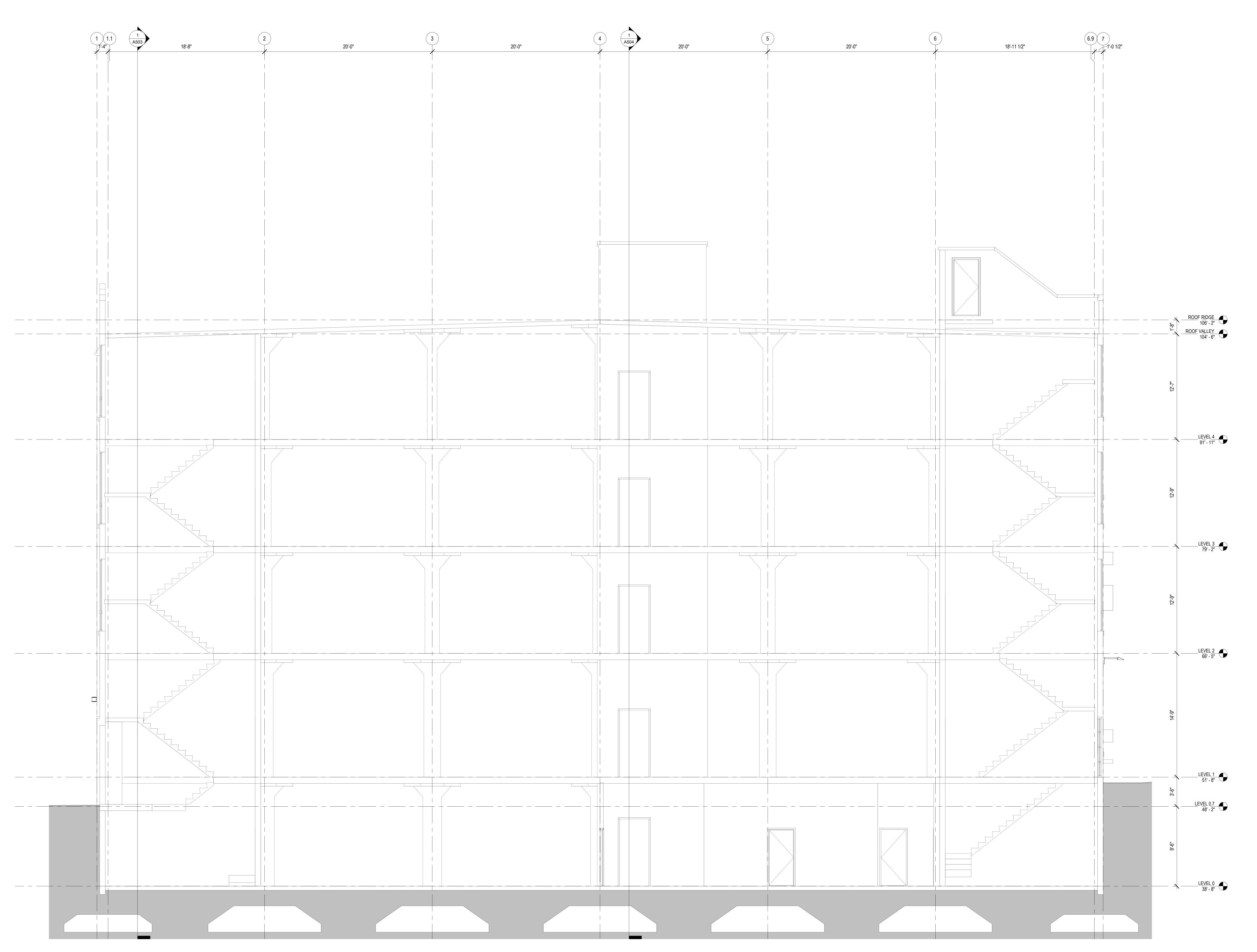


N	mbers: 7046		0.0	

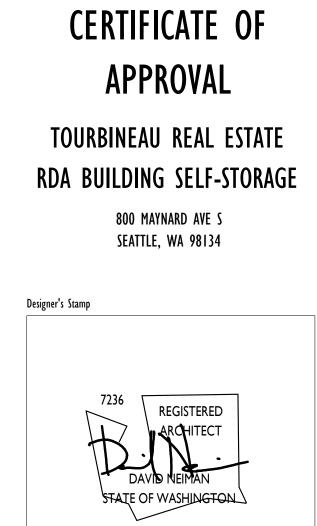
SECTION

Date

FEBRUARY 3, 2025 Sheet Number A501



1 EAST/WEST SECTION @ STAIR 1/4" = 1'-0"



ARCHITECTURE FOR THE NORTHWEST

1435 34th Avenue

Seattle, WA 98122

206.760.5550

www.neimantaber.com

No. Date Revision

- 2/3/2025 CERTIFICATE OF APPROVAL

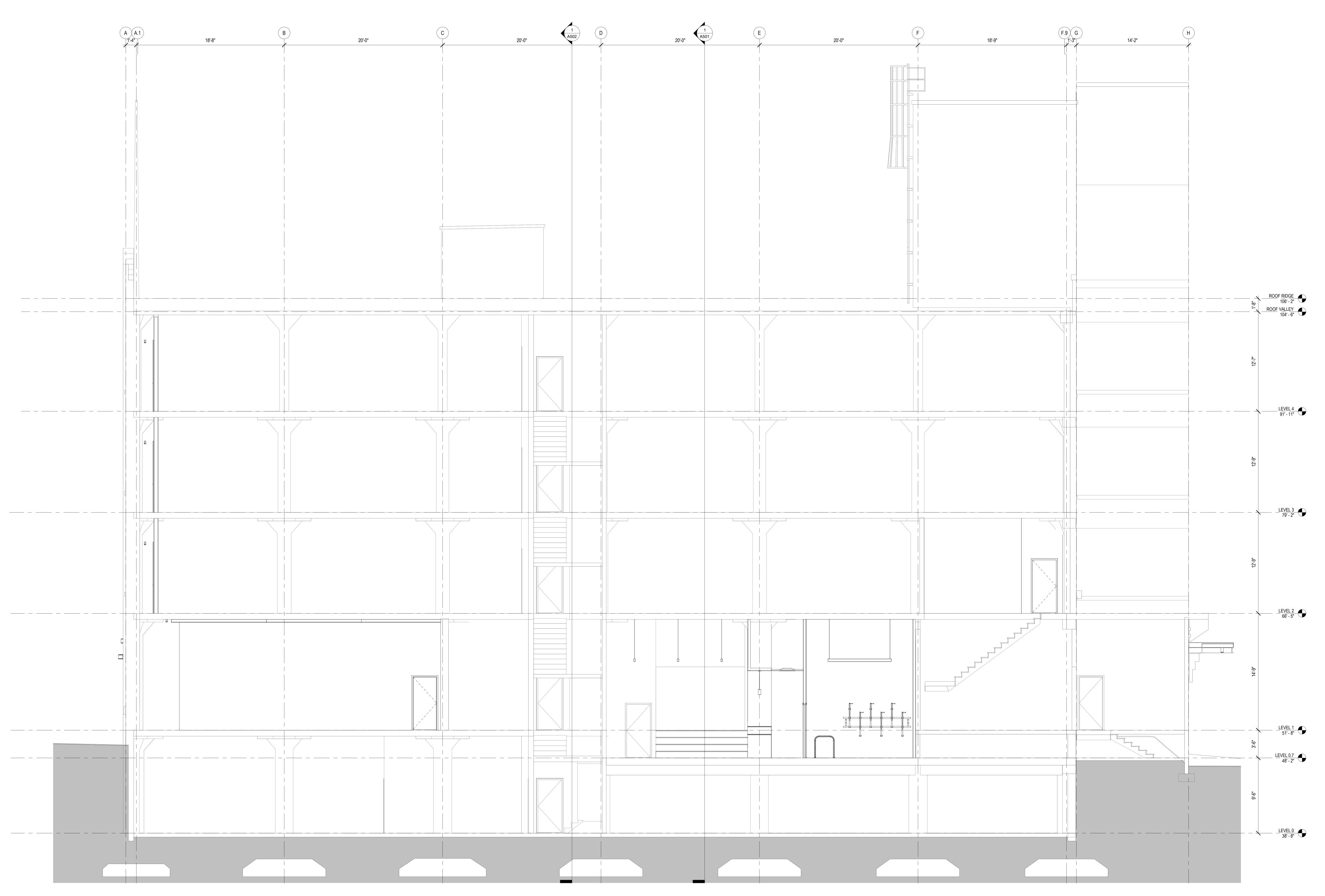
Code Offi	cial's Appro	val Stamp			
Project N	umbers: 70	46835-CN, I	DONH-COA-0	1488	
heet Tit	e				

SECTION

Date

Sheet Number A502

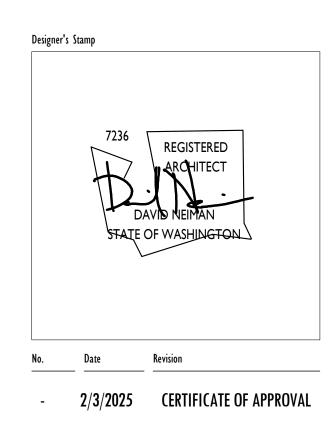
FEBRUARY 3, 2025



1 NORTH/SOUTH SECTION @ LOBBY 1/4" = 1'-0"

ARCHITECTURE FOR THE NORTHWEST 1435 34th Avenue Seattle, WA 98122 www.neimantaber.com 206.760.5550

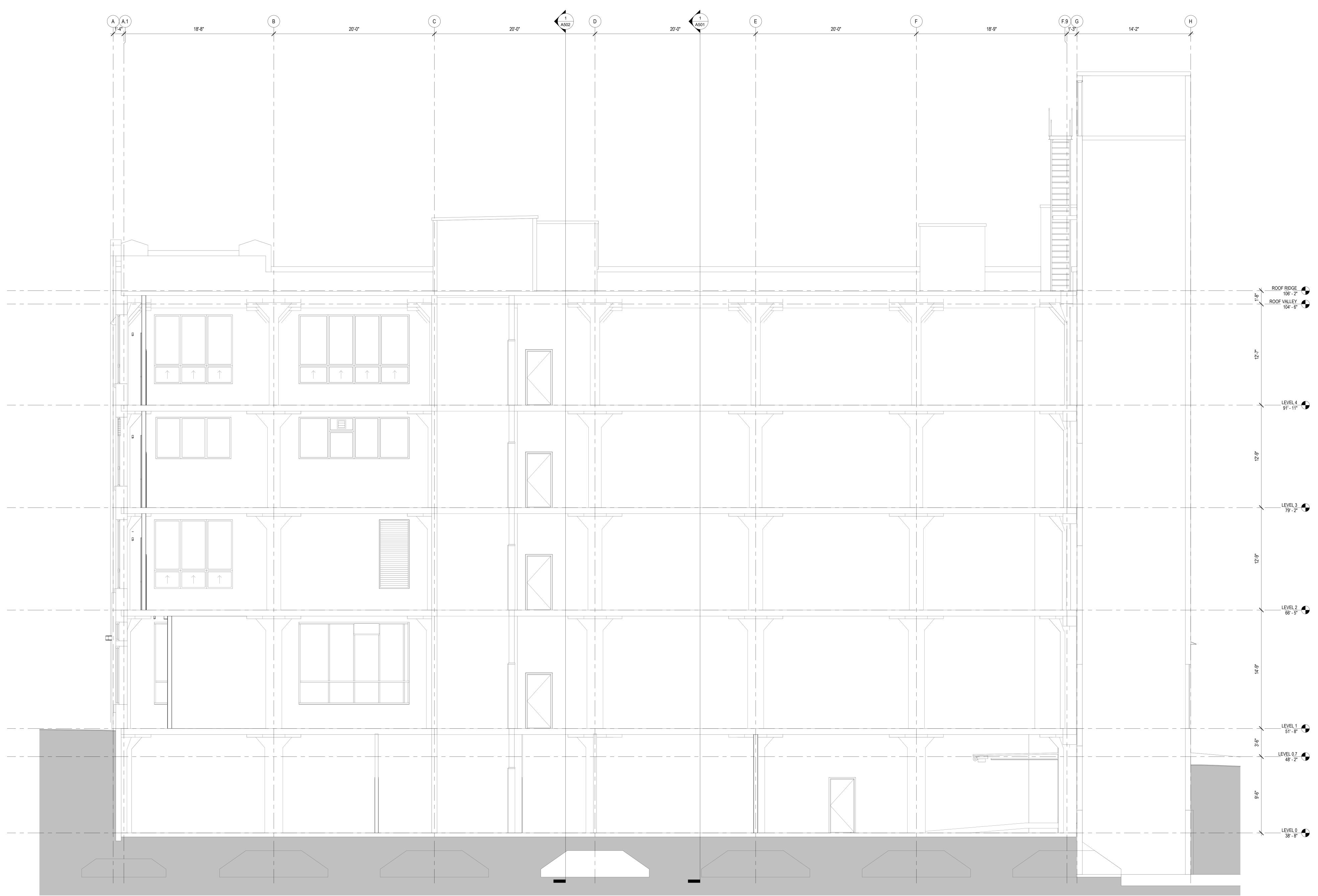
CERTIFICATE OF APPROVAL TOURBINEAU REAL ESTATE RDA BUILDING SELF-STORAGE 800 MAYNARD AVE S SEATTLE, WA 98134



SECTION

Date

Sheet Number A503



1 NORTH/SOUTH SECTION @ ELEVATORS

CERTIFICATE OF
APPROVAL
TOURBINEAU REAL ESTATE RDA BUILDING SELF-STORAGE
800 MAYNARD AVE S SEATTLE, WA 98134
Designer's Stamp 7236 REGISTERED ARCHITECT DAVID NEIMAN STATE OF WASHINGTON

NEIMAN TABER ARCHITECTURE FOR THE NORTHWEST

1435 34th Avenue

Seattle, WA 98122

206.760.5550

www.neimantaber.com



	cial's Approv	rai stamp			
roject N	umbers: 704	6835-CN,	DONH-COA-	01488	

SECTION

Date

Sheet Number A504



DEMOLITION NOTES

1. WHERE LIGHT FIXTURE IS INDICATED AS DEMOLISHED, ALSO REMOVE ASSOCIATED

SURFACE MOUNTED JUNCTION BOX, SURFACE MOUNTED CONDUIT, AND MOUNTING STRUTS. PATCH HOLES IN CONCRETE LEFT BY ANCHORS.

APPROVAL TOURBINEAU REAL ESTATE RDA BUILDING SELF-STORAGE 800 MAYNARD AVE S SEATTLE, WA 98134 Designer's Stamp

CERTIFICATE OF

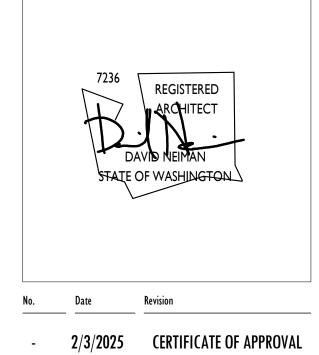
ARCHITECTURE FOR THE NORTHWEST

1435 34th Avenue

Seattle, WA 98122

206.760.5550

www.neimantaber.com



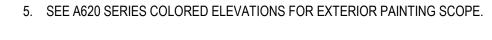
GENERAL NOTES

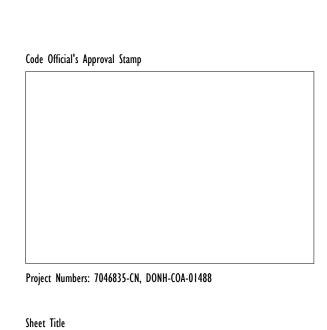
1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.

2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO

CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS. 3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.

4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.



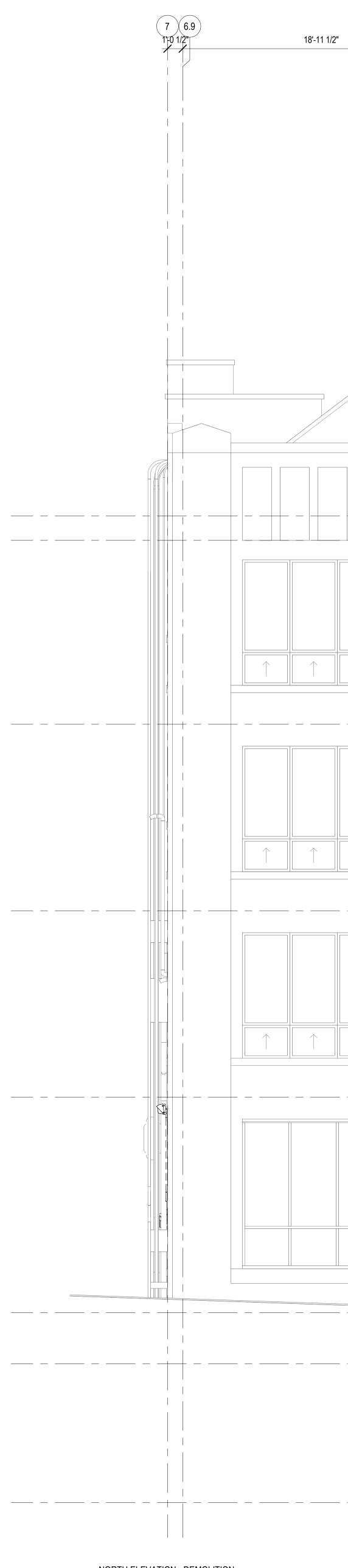


DEMOLITION ELEVATION - WEST

A601

Date Sheet Number





1) NORTH ELEVATION - DEMOLITION 1/4" = 1'-0"

2"	5	20'-0"	5	20'-0"	1 A504 4



DEMOLITION NOTES

1. WHERE LIGHT FIXTURE IS INDICATED AS DEMOLISHED, ALSO REMOVE ASSOCIATED

SURFACE MOUNTED JUNCTION BOX, SURFACE MOUNTED CONDUIT, AND MOUNTING STRUTS. PATCH HOLES IN CONCRETE LEFT BY ANCHORS.

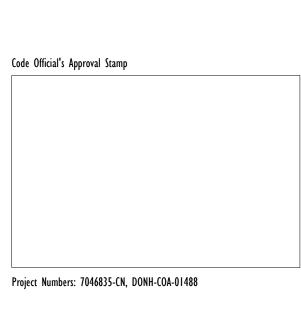
GENERAL NOTES

1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.

2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.

3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.

4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS. 5. SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.



DEMOLITION ELEVATION - NORTH

A602

Date Sheet Number

Sheet Title



CERTIFICATE OF APPROVAL TOURBINEAU REAL ESTATE RDA BUILDING SELF-STORAGE 800 MAYNARD AVE S SEATTLE, WA 98134

ARCHITECTURE FOR THE NORTHWEST

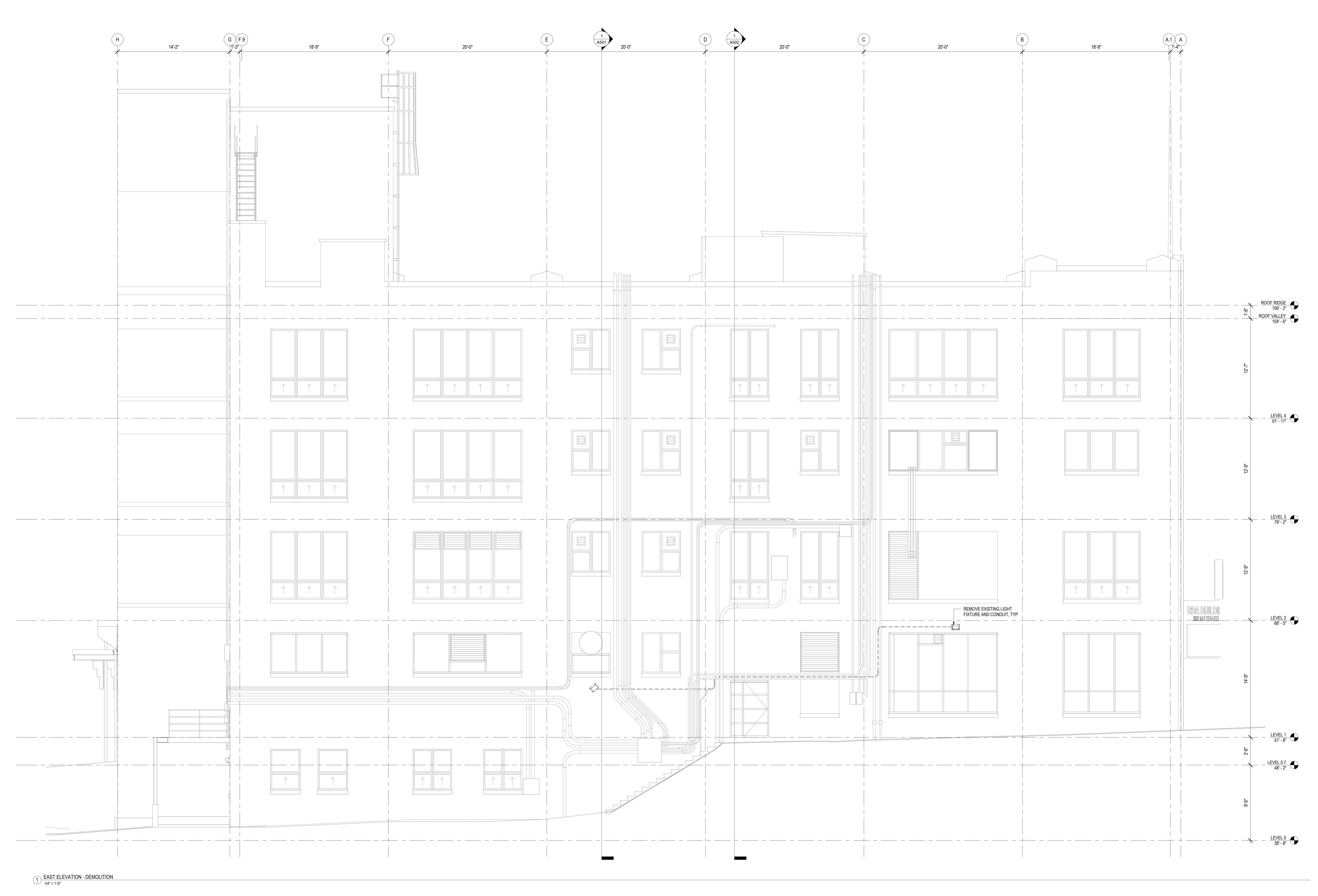
1435 34th Avenue

Seattle, WA 98122

206.760.5550

www.neimantaber.com





DEMOLITION NOTES

1. WHERE LIGHT FIXTURE IS INDICATED AS DEMOLISHED, ALSO REMOVE ASSOCIATED SURFACE MOUNTED JUNCTION BOX, SURFACE MOUNTED CONDUIT, AND MOUNTING STRUTS. PATCH HOLES IN CONCRETE LEFT BY ANCHORS.

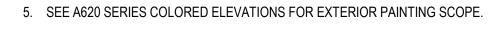
GENERAL NOTES

1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.

2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.

3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.

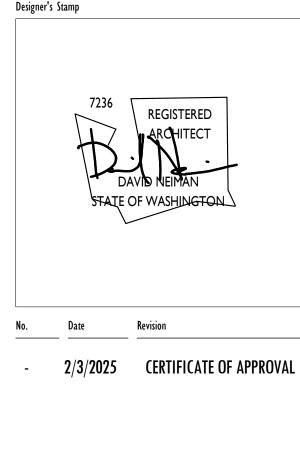
4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.



ode Offic	cial's Appro	oval Stamp		

DEMOLITION ELEVATION - EAST

A603



CERTIFICATE OF

APPROVAL

TOURBINEAU REAL ESTATE

RDA BUILDING SELF-STORAGE

800 MAYNARD AVE S SEATTLE, WA 98134

ARCHITECTURE FOR THE NORTHWEST

1435 34th Avenue

Seattle, WA 98122

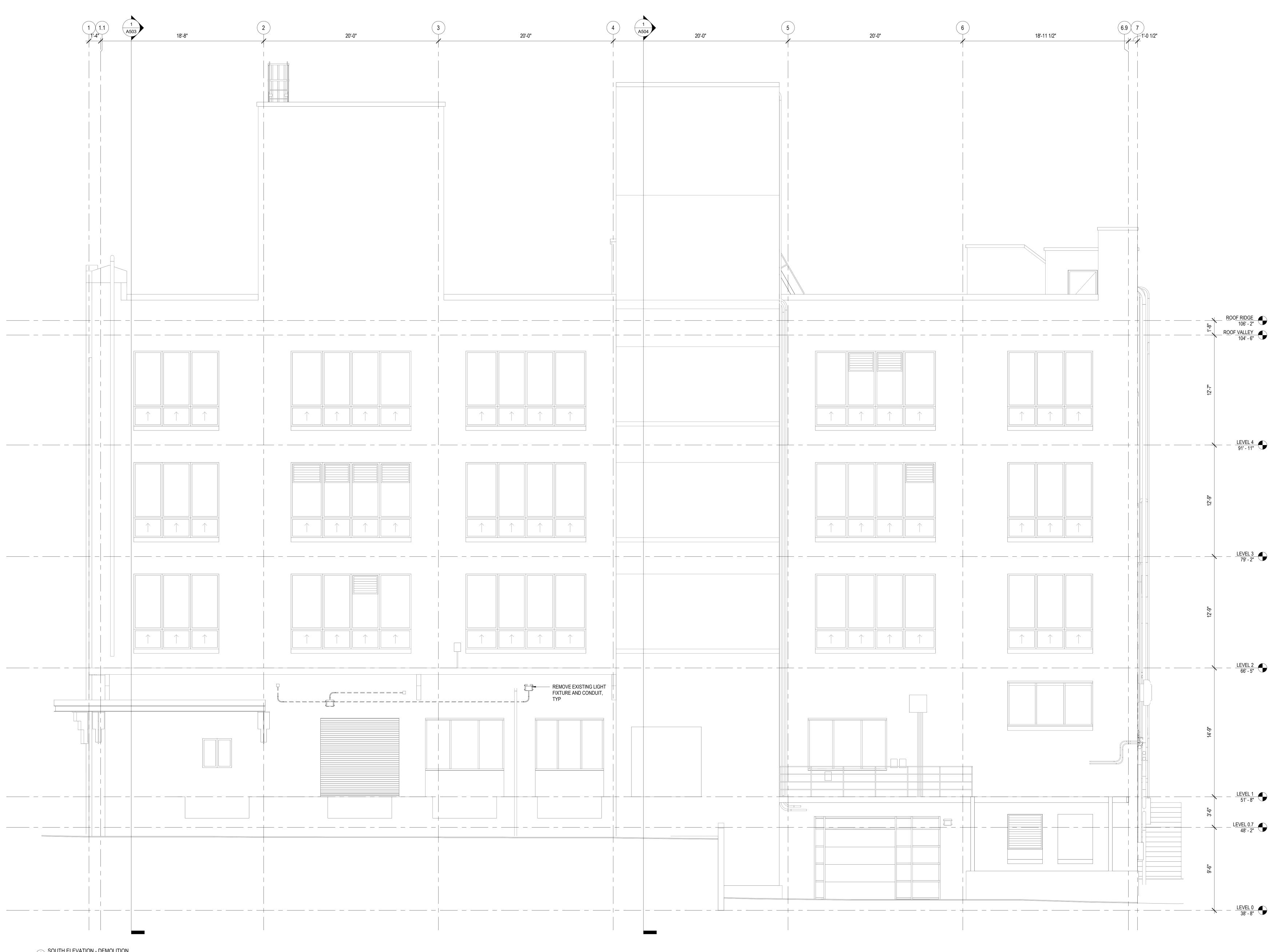
206.760.5550

www.neimantaber.com

Sheet Number

Sheet Title

Date



1) SOUTH ELEVATION - DEMOLITION 1/4" = 1'-0"

DEMOLITION NOTES

1. WHERE LIGHT FIXTURE IS INDICATED AS DEMOLISHED, ALSO REMOVE ASSOCIATED SURFACE MOUNTED JUNCTION BOX, SURFACE MOUNTED CONDUIT, AND MOUNTING STRUTS. PATCH HOLES IN CONCRETE LEFT BY ANCHORS.

GENERAL NOTES

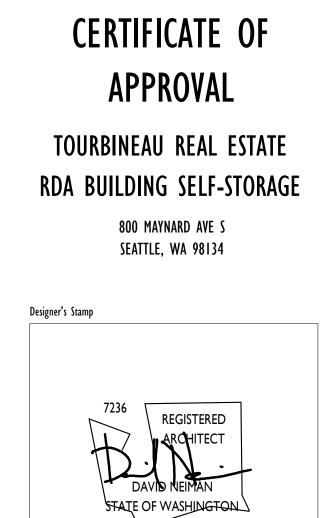
1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.

2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.

3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE. 4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.

5. SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.





No. Date Revision

- 2/3/2025 CERTIFICATE OF APPROVAL

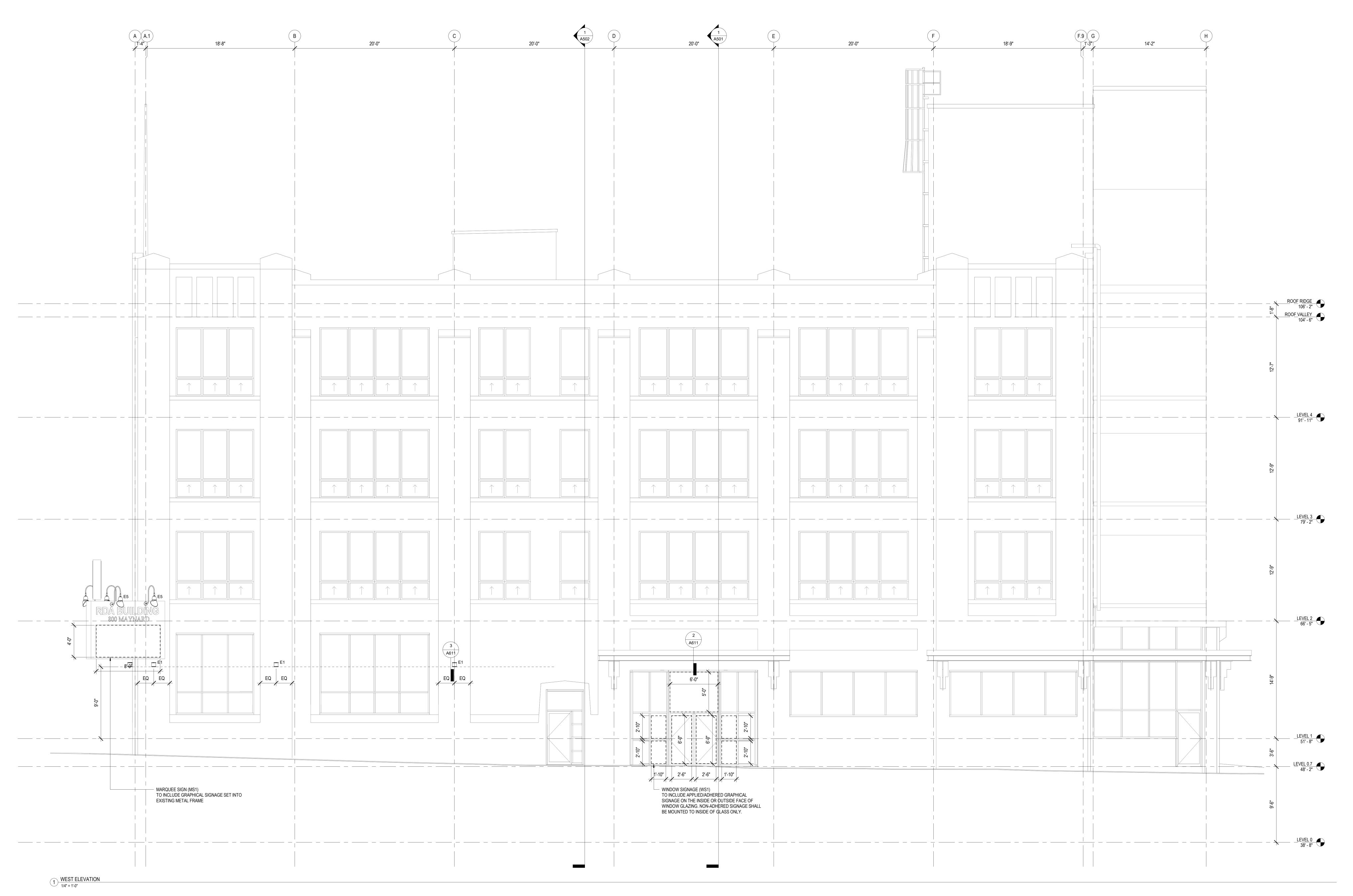
Code Official's Approval Stamp Project Numbers: 7046835-CN, DONH-COA-01488

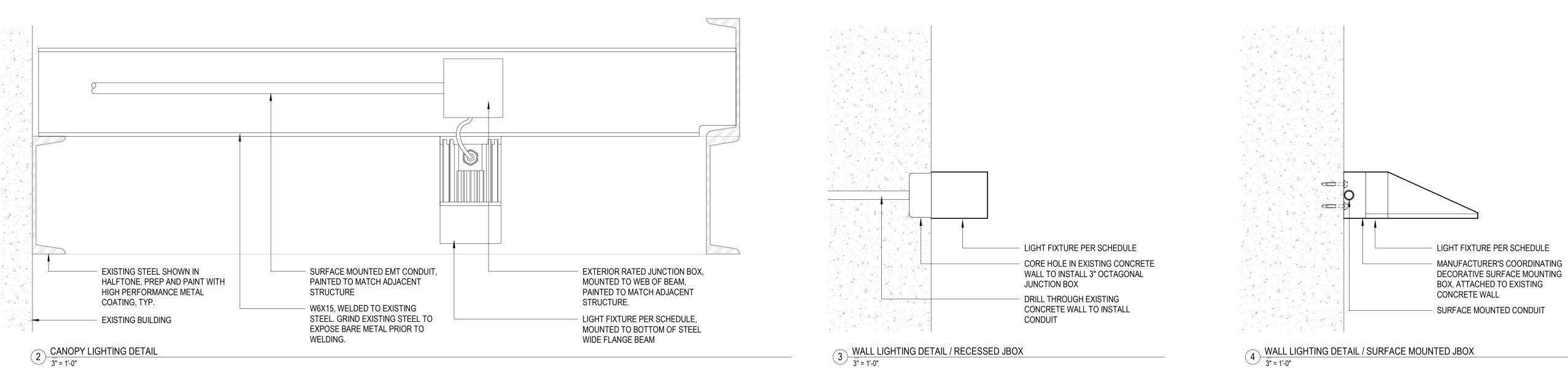
DEMOLITION ELEVATION - SOUTH

Date Sheet Number

Sheet Title







LIGHTING AND SIGNAGE NOTES

2. SEE A400 FOR LUMINAIRE SCHEDULE.

- LOCATIONS OF POSSIBLE SIGNAGE SHOWN DASHED. SPECIFIC SIGNAGE DESIGNS ARE NOT PROPOSED FOR THESE AREAS, TYPE OF SIGNAGE THAT COULD BE INSTALLED IS DESCRIBED IN GENERAL TERMS.
- ALL WALL MOUNTED LIGHTING DIMENSIONED IN ELEVATION. SEE REFLECTED CEILING PLANS FOR DIMENSIONS FOR LOCATING CEILING AND CANOPY MOUNTED LIGHTING.
- 4. PROVIDE MANUFACTURER'S COORDINATING DECORATIVE SURFACE MOUNTING BOX IN LIEU OF JUNCTION BOX FOR ALL EXTERIOR WALL MOUNTED FIXTURES.

APPROVAL TOURBINEAU REAL ESTATE RDA BUILDING SELF-STORAGE 800 MAYNARD AVE S SEATTLE, WA 98134

CERTIFICATE OF

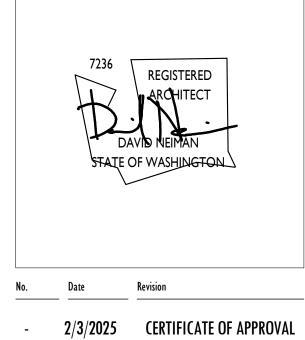
NEIMAN TABER ARCHITECTURE FOR THE NORTHWEST

1435 34th Avenue

Seattle, WA 98122

206.760.5550

www.neimantaber.com



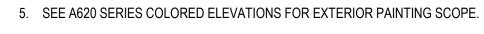
GENERAL NOTES

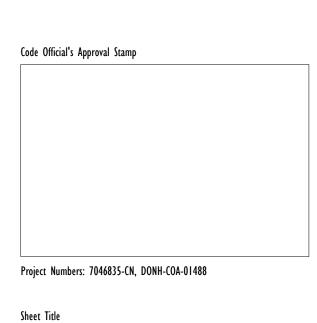
1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.

2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO

CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
 SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.

SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.



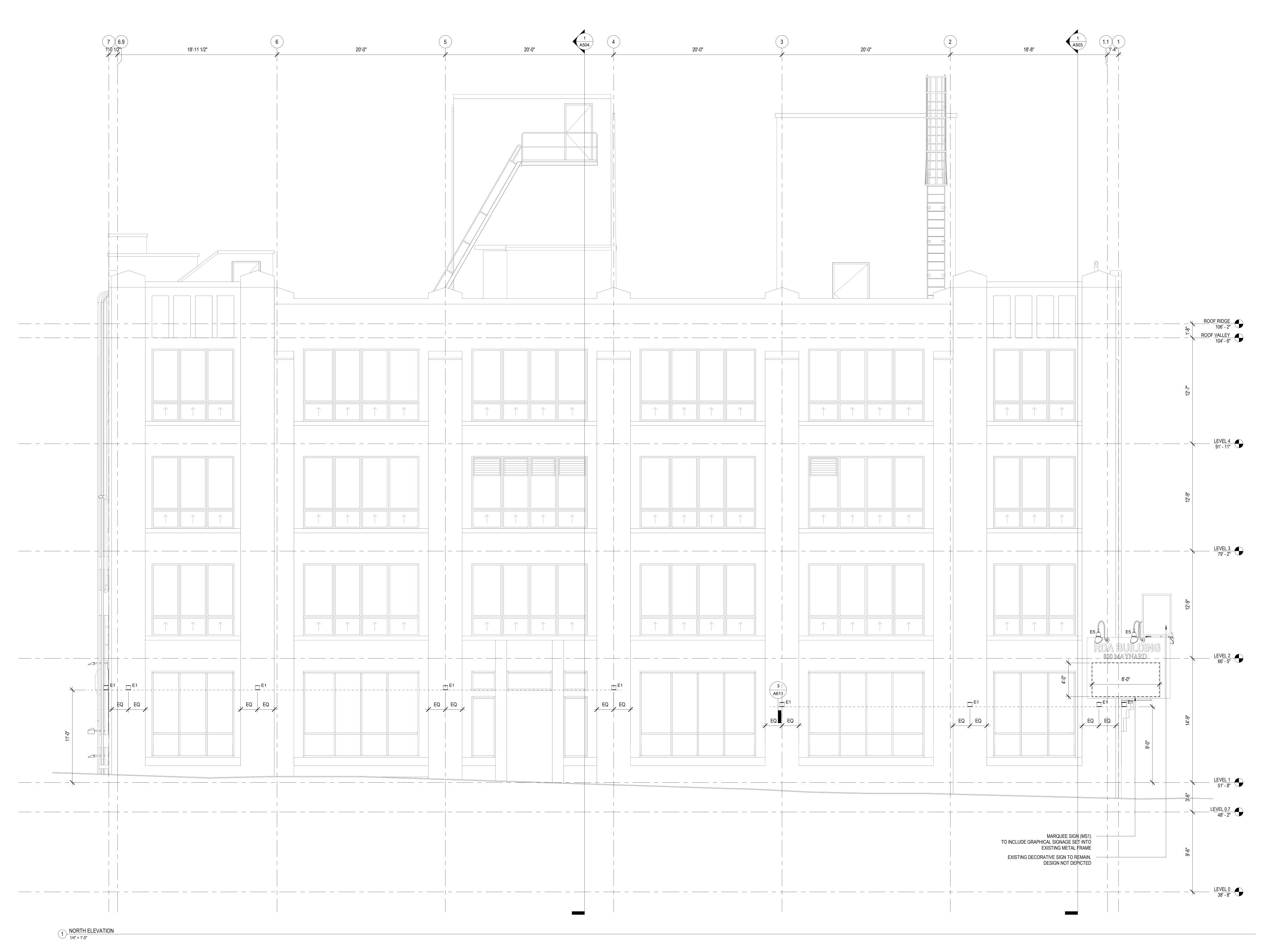


A6

ELEVATION - WEST

Date

Sheet Number



LIGHTING AND SIGNAGE NOTES

- 1. LOCATIONS OF POSSIBLE SIGNAGE SHOWN DASHED. SPECIFIC SIGNAGE DESIGNS ARE NOT PROPOSED FOR THESE AREAS, TYPE OF SIGNAGE THAT COULD BE INSTALLED IS DESCRIBED IN GENERAL TERMS. 2. SEE A400 FOR LUMINAIRE SCHEDULE.
- 3. ALL WALL MOUNTED LIGHTING DIMENSIONED IN ELEVATION. SEE REFLECTED CEILING PLANS FOR DIMENSIONS FOR LOCATING CEILING AND CANOPY MOUNTED LIGHTING.
- 4. PROVIDE MANUFACTURER'S COORDINATING DECORATIVE SURFACE MOUNTING BOX IN LIEU OF JUNCTION BOX FOR ALL EXTERIOR WALL MOUNTED FIXTURES.

GENERAL NOTES

1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.

2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.

3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE. 4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.

5. SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

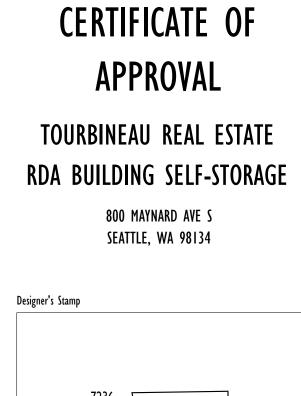
ELEVATION - NORTH

Sheet Title

Date

Sheet Number

FEBRUARY 3, 2025

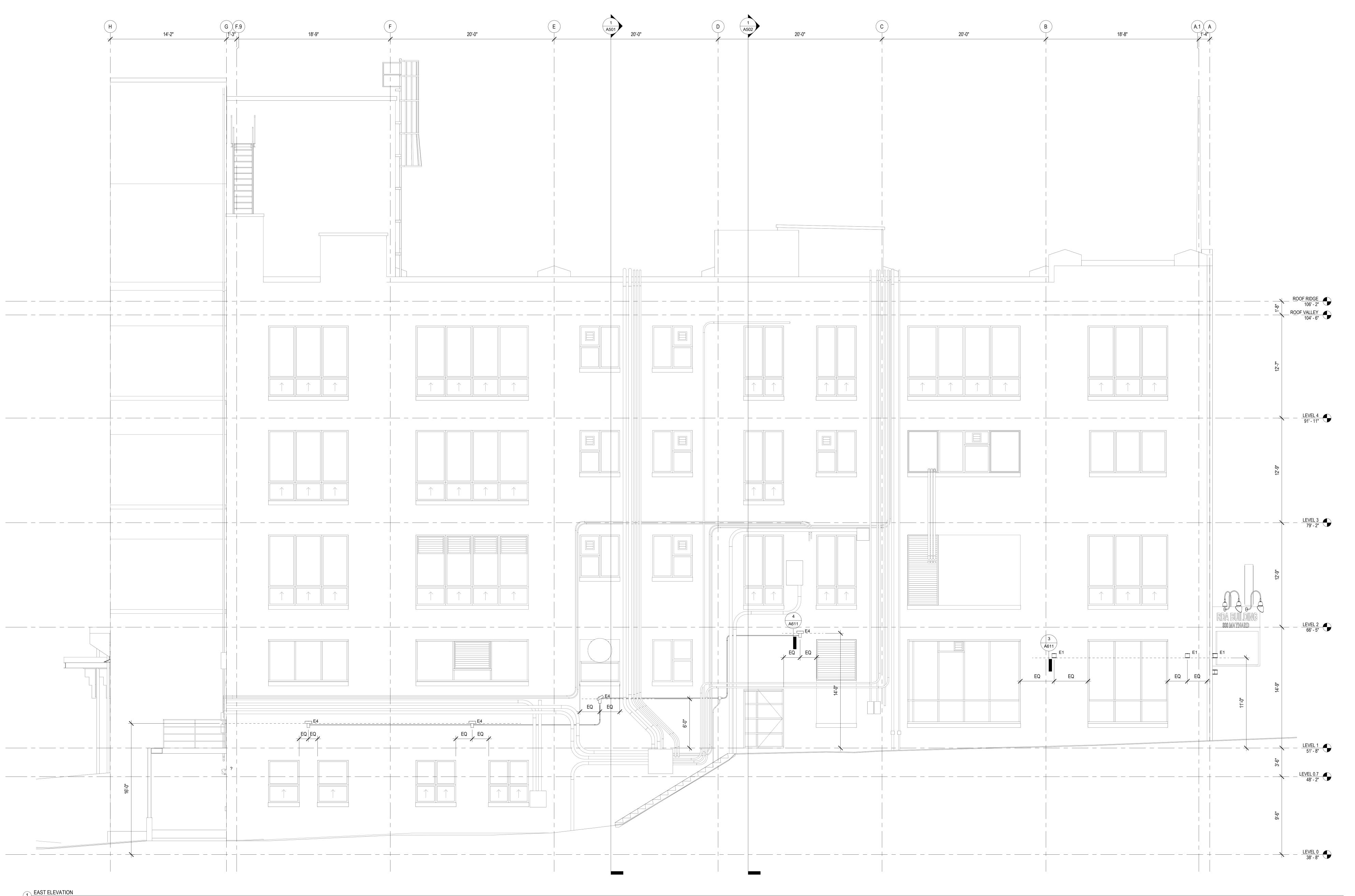




A61[^]



ARCHITECTURE FOR THE NORTHWEST 1435 34th Avenue Seattle, WA 98122 www.neimantaber.com 206.760.5550



1 <u>EAST ELEVATION</u> 1/4" = 1'-0"

LIGHTING AND SIGNAGE NOTES

- 1. LOCATIONS OF POSSIBLE SIGNAGE SHOWN DASHED. SPECIFIC SIGNAGE DESIGNS ARE NOT PROPOSED FOR THESE AREAS, TYPE OF SIGNAGE THAT COULD BE INSTALLED IS DESCRIBED IN GENERAL TERMS. 2. SEE A400 FOR LUMINAIRE SCHEDULE.
- ALL WALL MOUNTED LIGHTING DIMENSIONED IN ELEVATION. SEE REFLECTED CEILING PLANS FOR DIMENSIONS FOR LOCATING CEILING AND CANOPY MOUNTED LIGHTING.
- 4. PROVIDE MANUFACTURER'S COORDINATING DECORATIVE SURFACE MOUNTING BOX IN LIEU OF JUNCTION BOX FOR ALL EXTERIOR WALL MOUNTED FIXTURES.

APPROVAL TOURBINEAU REAL ESTATE RDA BUILDING SELF-STORAGE 800 MAYNARD AVE S SEATTLE, WA 98134 Designer's Stamp

CERTIFICATE OF

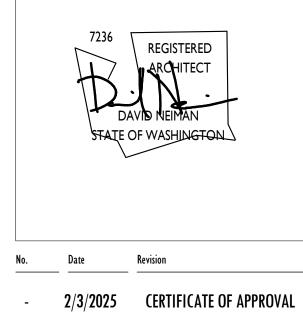
ARCHITECTURE FOR THE NORTHWEST

1435 34th Avenue

Seattle, WA 98122

206.760.5550

www.neimantaber.com



GENERAL NOTES

1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.

2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO

CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS. 3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.

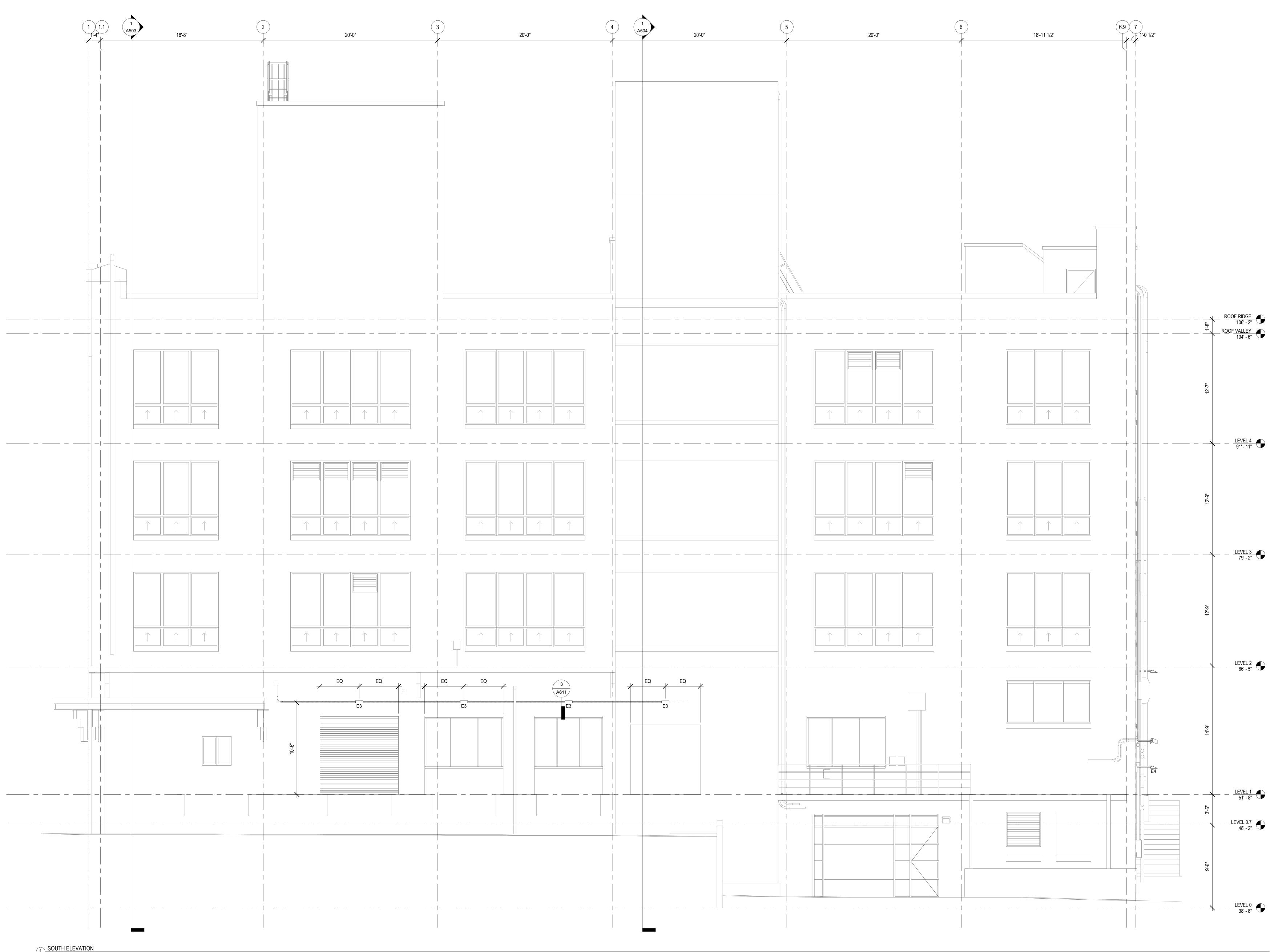
4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS. 5. SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

ELEVATION - EAST

FEBRUARY 3, 2025

Sheet Number **A6**

Date



1) SOUTH ELEVATION 1/4" = 1'-0"

LIGHTING AND SIGNAGE NOTES

- 1. LOCATIONS OF POSSIBLE SIGNAGE SHOWN DASHED. SPECIFIC SIGNAGE DESIGNS ARE NOT PROPOSED FOR THESE AREAS, TYPE OF SIGNAGE THAT COULD BE INSTALLED IS DESCRIBED IN GENERAL TERMS. 2. SEE A400 FOR LUMINAIRE SCHEDULE.
- ALL WALL MOUNTED LIGHTING DIMENSIONED IN ELEVATION. SEE REFLECTED CEILING PLANS FOR DIMENSIONS FOR LOCATING CEILING AND CANOPY MOUNTED LIGHTING.
- 4. PROVIDE MANUFACTURER'S COORDINATING DECORATIVE SURFACE MOUNTING BOX IN LIEU OF JUNCTION BOX FOR ALL EXTERIOR WALL MOUNTED FIXTURES.

GENERAL NOTES

1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.

2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.

3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE. 4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.

5. SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

A614

ELEVATION - SOUTH

Sheet Title

Date

Sheet Number

Designer's Stamp 7236 REGISTERED ARCHITECT

CERTIFICATE OF

APPROVAL

TOURBINEAU REAL ESTATE

RDA BUILDING SELF-STORAGE

800 MAYNARD AVE S SEATTLE, WA 98134

ARCHITECTURE FOR THE NORTHWEST

1435 34th Avenue

Seattle, WA 98122

206.760.5550

www.neimantaber.com

No. Date Revision

- 2/3/2025 CERTIFICATE OF APPROVAL



	KEYNOTES							
KEY	NOTE							
9.00.01	DO NOT PAINT VINYL WINDOW							
9.02.01	STANDPIPE AND SUPPORTS TO BE PAINTED PT-2, DO NOT PAINT VALVES							
9.02.02	METAL LADDER TO BE PAINTED PT-2							
9.03.01	PAREPET COPING TO BE PAINTED PT-3							
9.03.02	BORDER OF DECORATIVE FACADE RECESS TO BE PAINTED PT-3							
9.03.03	SLAB EDGE AND METAL DRIP EDGE TO BE PAINTED PT-3							
9.03.04	STOREFRONT MULLIONS AND ENTRY DOOR FRAMES TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)							
9.03.05	SIGNAGE LETTERING TO BE PAINTED PT-3							
9.03.06	FLAGPOLE TO BE PAINTED PT-3							
9.04.01	WELDED STEEL CANOPY (INCLUDING NEW WIDE FLANGE BEAMS, CONDUITS, AND JUNCTION BOXES) TO BE PAINTED PT-4							
9.04.02	MARQUEE SIGN BODY TO BE PAINTED PT-4							

MATERIAL LEGEND

COLOR: BENJAMIN MOORE IRON MOUNTAIN 2134-30

PT-3 COLOR: BENJAMIN MOORE BLACK BEAUTY 2128-10

PAINTING NOTES

ALL EXTERIOR CONCRETE SURFACES TO BE PAINTED PT-2 UNLESS NOTED OTHERWISE. EXCEPTIONS: INSIDE FACES OF PARAPETS

PT-4 COLOR: BENJAMIN MOORE SHY CHERRY 2007-20

PT-2

GENERAL NOTES

1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.

2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO

CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS. 3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.

4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.

5.	SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOP



NEIMAN TABER ARCHITECTURE FOR THE NORTHWEST

1435 34th Avenue Seattle, WA 98122

206.760.5550

www.neimantaber.com

CERTIFICATE OF

APPROVAL

TOURBINEAU REAL ESTATE

RDA BUILDING SELF-STORAGE

800 MAYNARD AVE S SEATTLE, WA 98134

7236 REGISTERED ARCHITECT

- 2/3/2025 CERTIFICATE OF APPROVAL

No. Date Revision

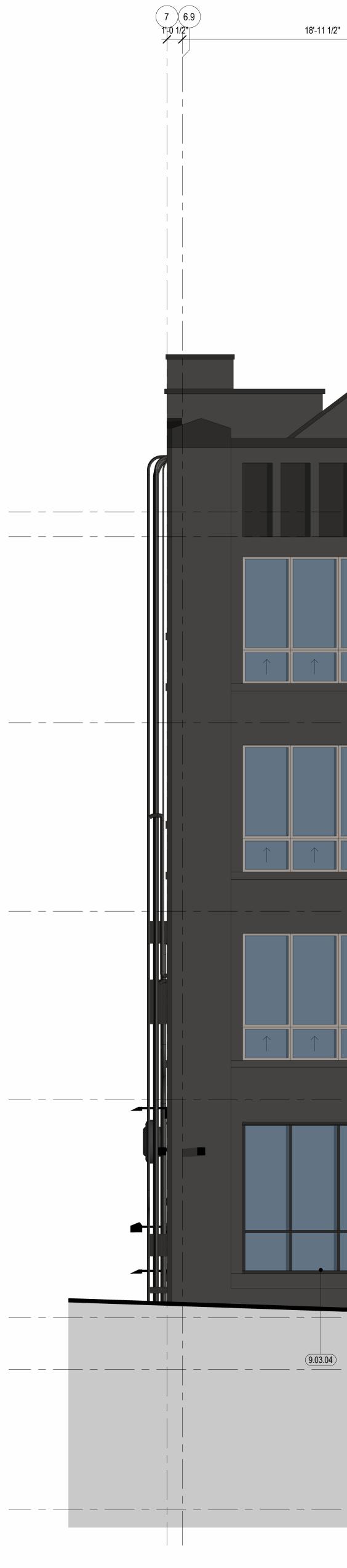
Designer's Stamp

Sheet Title **COLORED ELEVATION - WEST**



Date

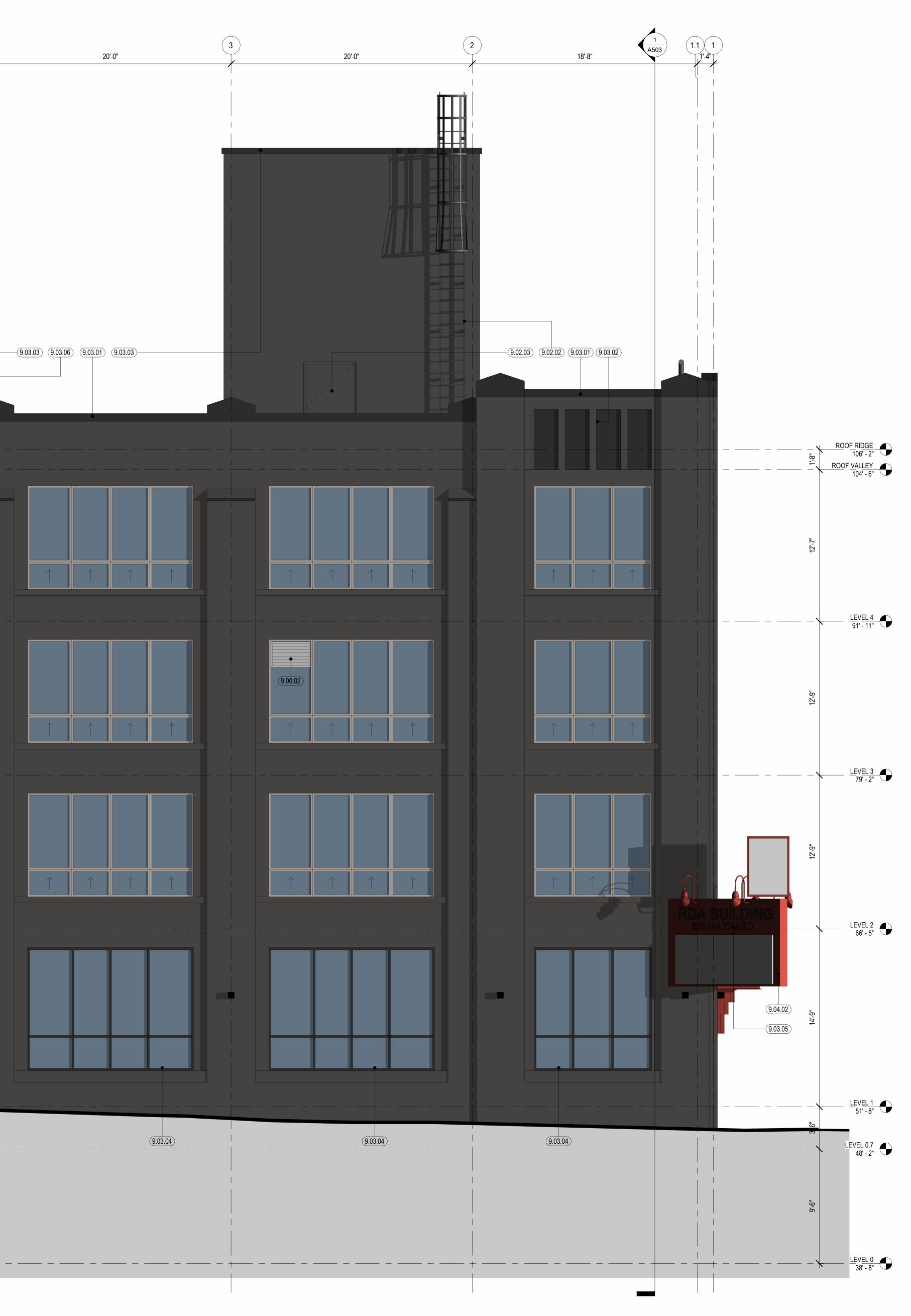
Sheet Number



1) NORTH ELEVATION - COLORED 1/4" = 1'-0"

	20'-0"	5	20'-0"	1 (A504) (4)
	9.03.03 9.02.03 9.03.01 9.00.01 TYP			
				9.00.02) TYP
	9.03.04	(9.03.04)		9.03.04
-				

	KEYNOTES
KEY	NOTE
9.00.01	DO NOT PAINT VINYL WINDOW
9.00.02	DO NOT PAINT LOUVER
9.02.02	METAL LADDER TO BE PAINTED PT-2
9.02.03	DOOR AND FRAME TO BE PAINTED PT-2 (EXTERIOR SIDE ONLY)
9.03.01	PAREPET COPING TO BE PAINTED PT-3
9.03.02	BORDER OF DECORATIVE FACADE RECESS TO BE PAINTED PT-3
9.03.03	SLAB EDGE AND METAL DRIP EDGE TO BE PAINTED PT-3
9.03.04	STOREFRONT MULLIONS AND ENTRY DOOR FRAMES TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.05	SIGNAGE LETTERING TO BE PAINTED PT-3
9.03.06	FLAGPOLE TO BE PAINTED PT-3
9.04.02	MARQUEE SIGN BODY TO BE PAINTED PT-4



MATERIAL LEGEND

COLOR: BENJAMIN MOORE IRON MOUNTAIN 2134-30

PT-3

PT-2

COLOR: BENJAMIN MOORE BLACK BEAUTY 2128-10

PAINTING NOTES

ALL EXTERIOR CONCRETE SURFACES TO BE PAINTED PT-2 UNLESS NOTED OTHERWISE. EXCEPTIONS: INSIDE FACES OF PARAPETS

PT-4 COLOR: BENJAMIN MOORE SHY CHERRY 2007-20

3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE. 4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.

GENERAL NOTES

1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.

2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.

5. SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

Approval Stamp		

COLORED ELEVATION - NORTH

Date Sheet Number

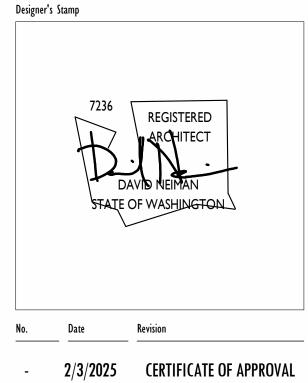
Sheet Title



NEIMAN TABER ARCHITECTURE FOR THE NORTHWEST

1435 34th Avenue Seattle, WA 98122 www.neimantaber.com 206.760.5550

800 MAYNARD AVE S SEATTLE, WA 98134







1 EAST ELEVATION - COLORED 1/4" = 1'-0"

	KEYNOTES
KEY	NOTE
9.00.01	DO NOT PAINT VINYL WINDOW
9.00.02	DO NOT PAINT LOUVER
9.00.03	DO NOT PAINT UPBLAST FAN
9.02.02	METAL LADDER TO BE PAINTED PT-2
9.02.04	LOUVER TO BE PAINTED PT-2 (EXTERIOR SIDE ONLY)
9.02.05	PIPING TO BE PAINTED PT-2
9.02.06	CONDUIT AND ASSOCIATE ELECTRICAL BOXES TO BE PAINTED PT-2
9.03.01	PAREPET COPING TO BE PAINTED PT-3
9.03.03	SLAB EDGE AND METAL DRIP EDGE TO BE PAINTED PT-3
9.03.04	STOREFRONT MULLIONS AND ENTRY DOOR FRAMES TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.06	FLAGPOLE TO BE PAINTED PT-3
9.03.07	STEEL STRUCTURE TO BE PAINTED PT-3
9.03.08	GUARD RAIL BALUSTERS AND RAILS TO BE PAINTED PT-3
9.03.12	LOUVER TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)

1 A502 20'-0"	С)	20'-0"	B	18'-8"
					(9.00.01) TYP
		a. Q			
				_ <u>+</u> _ <u> </u>	
9.03.04	<u>(9.02.06)</u> <u>(9.02.04)</u> <u>(9.02.04)</u>	9.02.04 9.02.05 9.03	3.12 (9.03.04)	 	9.03.04

MATERIAL LEGEND

COLOR: BENJAMIN MOORE IRON MOUNTAIN 2134-30

PT-2

PT-3 COLOR: BENJAMIN MOORE BLACK BEAUTY 2128-10

PAINTING NOTES

ALL EXTERIOR CONCRETE SURFACES TO BE PAINTED PT-2 UNLESS NOTED OTHERWISE. EXCEPTIONS: INSIDE FACES OF PARAPETS

PT-4 COLOR: BENJAMIN MOORE SHY CHERRY 2007-20



NEIMAN TABER ARCHITECTURE FOR THE NORTHWEST 1435 34th Avenue Seattle, WA 98122 www.neimantaber.com 206.760.5550



A.1 A

CERTIFICATE OF APPROVAL TOURBINEAU REAL ESTATE RDA BUILDING SELF-STORAGE 800 MAYNARD AVE S SEATTLE, WA 98134 Designer's Stamp



GENERAL NOTES

1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.

2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.

3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE. 4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.

5. SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

Sheet Title **COLORED ELEVATION - EAST**

Date Sheet Number





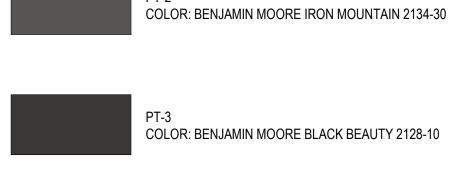
1) SOUTH ELEVATION - COLORED 1/4" = 1'-0"

2	20'-0"	3	20'-0"	4
9.02.02				
9.03.13	9.03.03	(9.03.04)	9.02.05	

	KEYNOTES
KEY	NOTE
9.00.01	DO NOT PAINT VINYI WINDOW
9.00.02	DO NOT PAINT LOUVER
9.02.01	STANDPIPE AND SUPPORTS TO BE PAINTED PT-2, DO NOT PAINT VALVES
9.02.02	METAL LADDER TO BE PAINTED PT-2
9.02.04	LOUVER TO BE PAINTED PT-2 (EXTERIOR SIDE ONLY)
9.02.05	PIPING TO BE PAINTED PT-2
9.02.06	CONDUIT AND ASSOCIATE ELECTRICAL BOXES TO BE PAINTED PT-2
9.03.01	PAREPET COPING TO BE PAINTED PT-3
9.03.03	SLAB EDGE AND METAL DRIP EDGE TO BE PAINTED PT-3
9.03.04	STOREFRONT MULLIONS AND ENTRY DOOR FRAMES TO BE PAINTED PT- (EXTERIOR SIDE ONLY)
9.03.07	STEEL STRUCTURE TO BE PAINTED PT-3
9.03.08	GUARD RAIL BALUSTERS AND RAILS TO BE PAINTED PT-3
9.03.09	SECTIONAL DOOR TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.10	FREIGHT ELEVATOR DOOR TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.11	COILING DOOR TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.13	VINYL WINDOW TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.04.01	WELDED STEEL CANOPY (INCLUDING NEW WIDE FLANGE BEAMS, CONDUITS, AND JUNCTION BOXES) TO BE PAINTED PT-4



MATERIAL LEGEND



PT-2

PT-3 COLOR: BENJAMIN MOORE BLACK BEAUTY 2128-10

PAINTING NOTES

ALL EXTERIOR CONCRETE SURFACES TO BE PAINTED PT-2 UNLESS NOTED OTHERWISE. EXCEPTIONS: INSIDE FACES OF PARAPETS

PT-4

COLOR: BENJAMIN MOORE SHY CHERRY 2007-20

GENERAL NOTES

1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE. 2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS. 3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.

4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS. 5. SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

	2/3/2025	CERTIFICATE OF APPROVAL
No.	Date	Revision
	1	REGISTERED ARCHITECT AVID NEIMAN OF WASHINGTON

CERTIFICATE OF

APPROVAL

TOURBINEAU REAL ESTATE

RDA BUILDING SELF-STORAGE

800 MAYNARD AVE S SEATTLE, WA 98134

NEIMAN TABER ARCHITECTURE FOR THE NORTHWEST

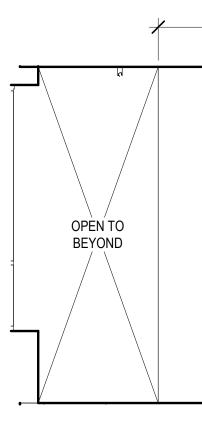
1435 34th Avenue Seattle, WA 98122 www.neimantaber.com 206.760.5550

Sheet Title COLORED ELEVATION - SOUTH

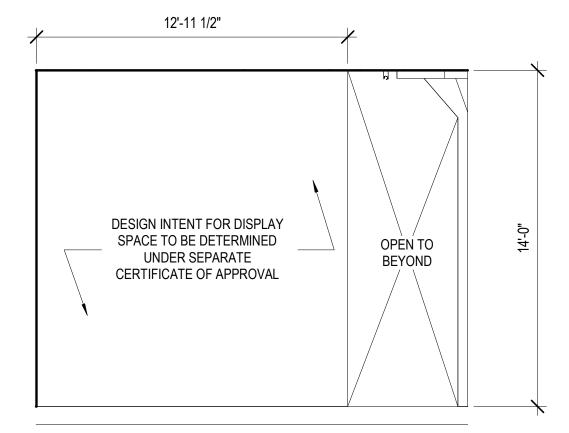
A624

Date Sheet Number

FULL SIZE SHEET: 36" X 48" (ANSI E) TITLEBLOCK: 202407 DATE PLOTTED: 2/3/2025 2:57:10 PM

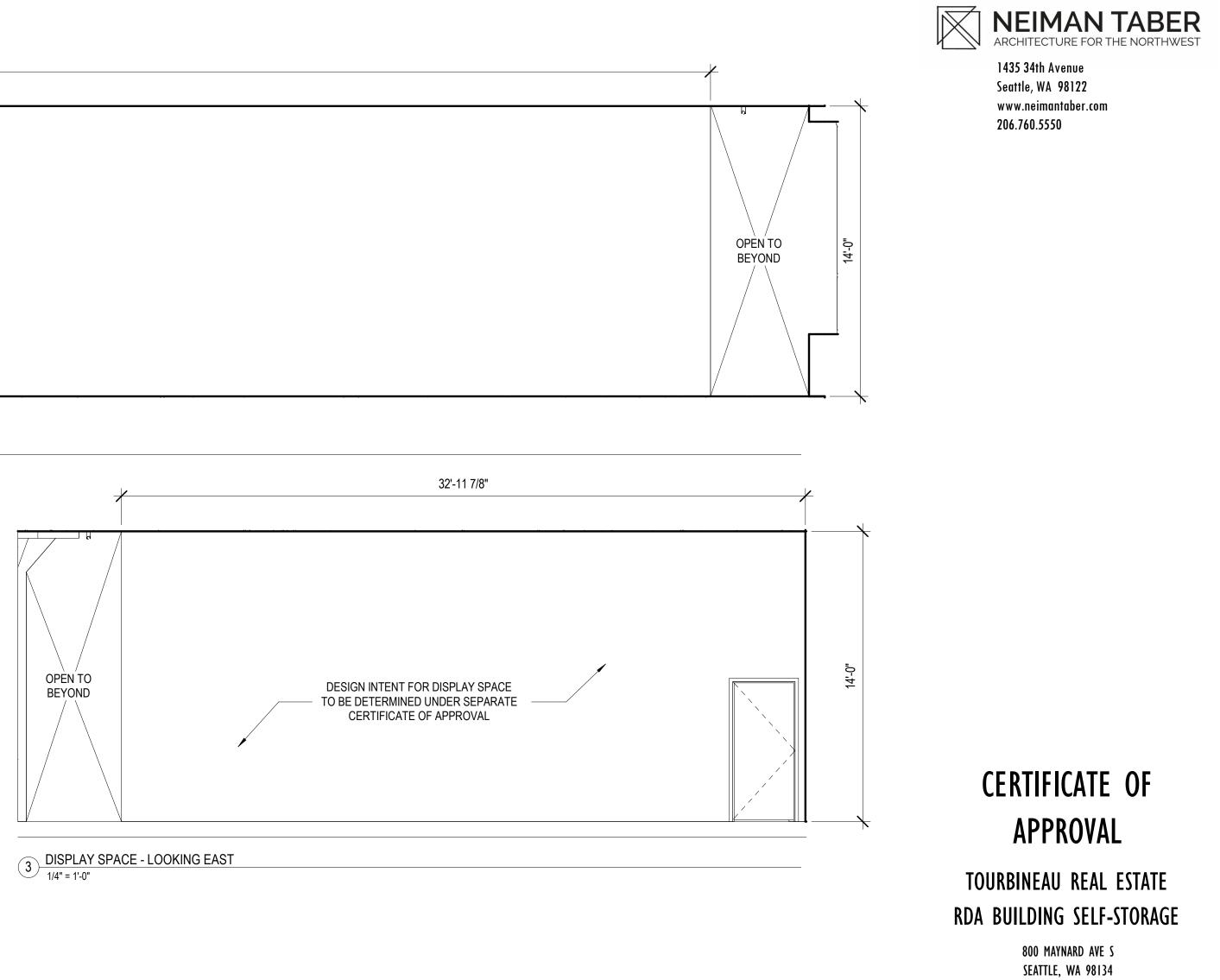


1 DISPLAY SPACE - LOOKING SOUTH 1/4" = 1'-0"



2 DISPLAY SPACE LOOKING WEST 1/4" = 1'-0"

DESIGN INTENT FOR DISPLAY SPACE — TO BE DETERMINED UNDER SEPARATE CERTIFICATE OF APPROVAL



DAVID NEIMAN STATE OF WASHINGTON		
	1	

Designer's Stamp

Code Official's Approval Stamp

Sheet Title ENLARGED ELEVATIONS

Date

Project Numbers: 7046835-CN, DONH-COA-01488



FEBRUARY 3, 2025
