





SHEET INDEX					
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G000	COVER	-	2/3/2025	CERTIFICATE OF APPROVAL	
G001	SHEET INDEX	-	2/3/2025	CERTIFICATE OF APPROVAL	

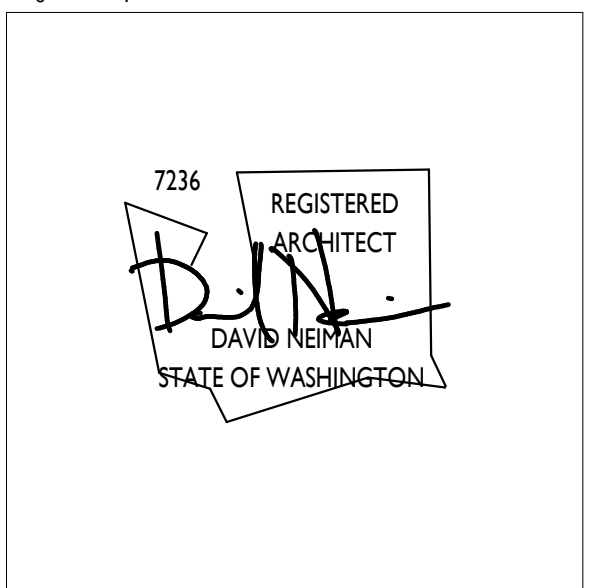
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A701	ENLARGED ELEVATIONS	-	2/3/2025	CERTIFICATE OF APPROVAL

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APPROVAL

TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE

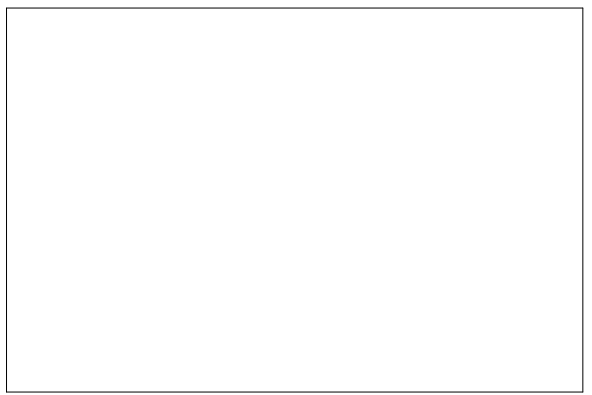
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SEATTLE, WA 98134

Designer's Stamp



No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL

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Sheet Title

SHEET INDEX

Date FEBRUARY 3, 2025  
Sheet Number

G001

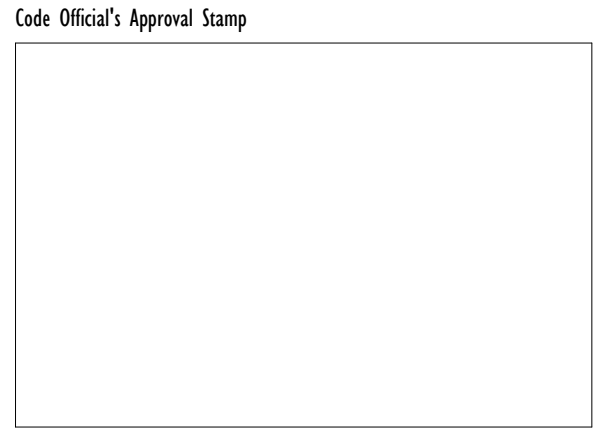






LAND USE CODE ANALYSIS		
SEATTLE MUNICIPAL CODE (SMC) TITLE 23		
CODE SECTION	REQUIREMENT	COMMENT
23.49.011 FLOOR AREA RATIO	BASE FAR: 3.0 MAX FAR: 7.0	NO MODIFICATION TO EXISTING FLOOR AREA IS PROPOSED
23.49.019 PARKING QUANTITY, LOCATION, AND ACCESS REQUIREMENTS	NO PARKING, EITHER LONG-TERM OR SHORT-TERM, IS REQUIRED FOR USES ON LOTS IN DOWNTOWN ZONES, EXCEPT AS FOLLOWS:  A. IN THE INTERNATIONAL DISTRICT MIXED AND INTERNATIONAL DISTRICT RESIDENTIAL ZONES, PARKING REQUIREMENTS FOR RESTAURANTS, MOTION PICTURE THEATERS, AND OTHER ENTERTAINMENT USES ARE AS PRESCRIBED BY SECTION 23.66.342.  B. IN THE INTERNATIONAL DISTRICT MIXED AND INTERNATIONAL DISTRICT RESIDENTIAL ZONES, THE DIRECTOR OF THE DEPARTMENT OF NEIGHBORHOODS, UPON THE RECOMMENDATION OF THE INTERNATIONAL DISTRICT SPECIAL REVIEW DISTRICT BOARD, MAY WAIVE OR REDUCE REQUIRED PARKING ACCORDING TO THE PROVISIONS OF SECTION 23.66.342, PARKING AND ACCESS.  C. BICYCLE PARKING IS REQUIRED AS SPECIFIED IN SUBSECTION 23.54.015.K.	NO VEHICLE PARKING REQUIRED; NO VEHICLE PARKING PROVIDED.  VEHICLE PARKING LOCATED ON SOUTH SIDE OF LOT IS TO BE CONSIDERED A SEPARATE USE AND IS NOT INTENDED TO SERVE THE SELF-STORAGE FACILITY.
23.54.015 REQUIRED PARKING	K. BICYCLE PARKING. THE MINIMUM NUMBER OF PARKING SPACES FOR BICYCLES REQUIRED FOR SPECIFIED USES IS SET FORTH IN TABLE D FOR 23.54.015. [...] IN THE CASE OF A USE NOT SHOWN ON TABLE D FOR 23.54.015, ONE BICYCLE PARKING SPACE PER 10,000 GROSS SQUARE FEET OF EITHER SHORT- OR LONG-TERM BICYCLE PARKING IS REQUIRED.	
23.58B AFFORDABLE HOUSING IMPACT MITIGATION PROGRAM FOR COMMERCIAL DEVELOPMENT	020.B. APPLICABILITY. EXCEPT AS PROVIDED ACCORDING TO SUBSECTION 23.58B.020.C, THIS CHAPTER 23.58B SHALL APPLY TO DEVELOPMENT THAT INCLUDES MORE THAN 4,000 SQUARE FEET OF GROSS FLOOR AREA IN COMMERCIAL USE THROUGH ONE OF THE FOLLOWING:  1. CONSTRUCTION OF A NEW STRUCTURE; 2. CONSTRUCTION OF AN ADDITION; OR 3. CHANGE OF USE FROM RESIDENTIAL USE TO COMMERCIAL USE.	MHA DOES NOT APPLY.  PROPOSED PROJECT DOES NOT INCLUDE CONSTRUCTION OF A NEW STRUCTURE OR ADDITION. NO EXISTING RESIDENTIAL USES.
23.66.320 PERMITTED USES	ALL USES SHALL BE PERMITTED OUTRIGHT EXCEPT THOSE SPECIFICALLY PROHIBITED BY SECTION 23.66.322 AND THOSE SUBJECT TO SPECIAL REVIEW UNDER SECTION 23.66.324.	CHANGE OF USE FROM OFFICE TO SELF-STORAGE IS PROPOSED FOR LEVELS 1...
23.66.322 PROHIBITED USES	SELF-STORAGE NOT A PROHIBITED USE	
23.66.324 USES SUBJECT TO SPECIAL REVIEW	SELF-STORAGE NOT SUBJECT TO SPECIAL REVIEW	
23.66.326 STREET LEVEL USES	PROJECT IS NOT LOCATED WITHIN RETAIL CORE PER MAP B, STREET LEVEL USES NOT REGULATED DEARBORN IS CLASS II PEDESTRIAN STREET PER MAP B	
23.66.326 USES ABOVE STREET LEVEL	PROJECT IS NOT LOCATED WITHIN RETAIL CORE PER MAP B, USES ABOVE STREET LEVEL NOT REGULATED DEARBORN IS CLASS II PEDESTRIAN STREET PER MAP B	
23.66.332 HEIGHT AND ROOFTOP FEATURES	NO CHANGE TO STRUCTURE HEIGHT OR ROOFTOP FEATURES IS PROPOSED	
23.66.336 EXTERIOR BUILDING FINISHES	EXTERIOR BUILDING DESIGN OUTSIDE THE ASIAN DESIGN CHARACTER DISTRICT. OUTSIDE THE ASIAN DESIGN CHARACTER DISTRICT, EARTHEN COLORS AND MASONRY CONSTRUCTION WITH NONMETALLIC SURFACES ARE PREFERRED.	SEE COLORED ELEVATIONS ON A620 SERIES SHEETS
23.66.338 SIGNS	G.1. THE TYPES OF SIGNS THAT MAY BE APPROVED ARE BANNERS AND FLAGS, PROJECTING AND NON-PROJECTING SIGNS INTEGRATED INTO THE BUILDING FAÇADE, MARQUEE, AWNING AND WINDOW SIGNS.	SEE ELEVATIONS ON A610 SERIES SHEETS FOR PROPOSED SIGNAGE EXTENTS

BICYCLE PARKING					
SMC 23.54.015 TABLE D					
THE MINIMUM NUMBER OF PARKING SPACES FOR BICYCLES REQUIRED FOR SPECIFIED USES IS SET FORTH IN TABLE D FOR 23.54.015. THE MINIMUM REQUIREMENTS ARE BASED UPON GROSS FLOOR AREA OF THE USE IN A STRUCTURE MINUS GROSS FLOOR AREA IN PARKING USES, OR THE SQUARE FOOTAGE OF THE USE WHEN LOCATED OUTSIDE OF AN ENCLOSED STRUCTURE, OR AS OTHERWISE SPECIFIED.					
BICYCLE PARKING REQUIRED	PROVIDED	LONG TERM	REQUIRED	SHORT TERM	REQUIRED
A.6 SALES AND SERVICES, GENERAL	61,012 SF	NONE	N/A	1 PER 10,000 SF	6.10
TOTAL			0		7
BICYCLE PARKING PROVIDED			0		7
			COMPLIES		COMPLIES



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Sheet Title

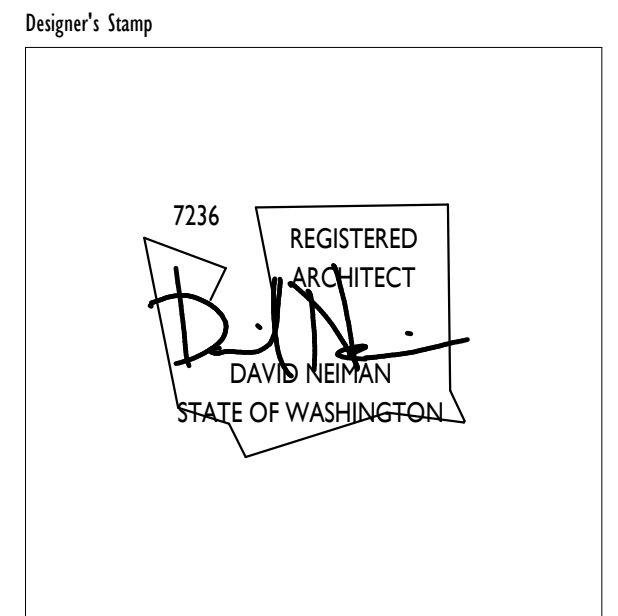
CODE COMPLIANCE - LAND USE  
CODE ANALYSIS

Date: FEBRUARY 3, 2025  
Sheet Number

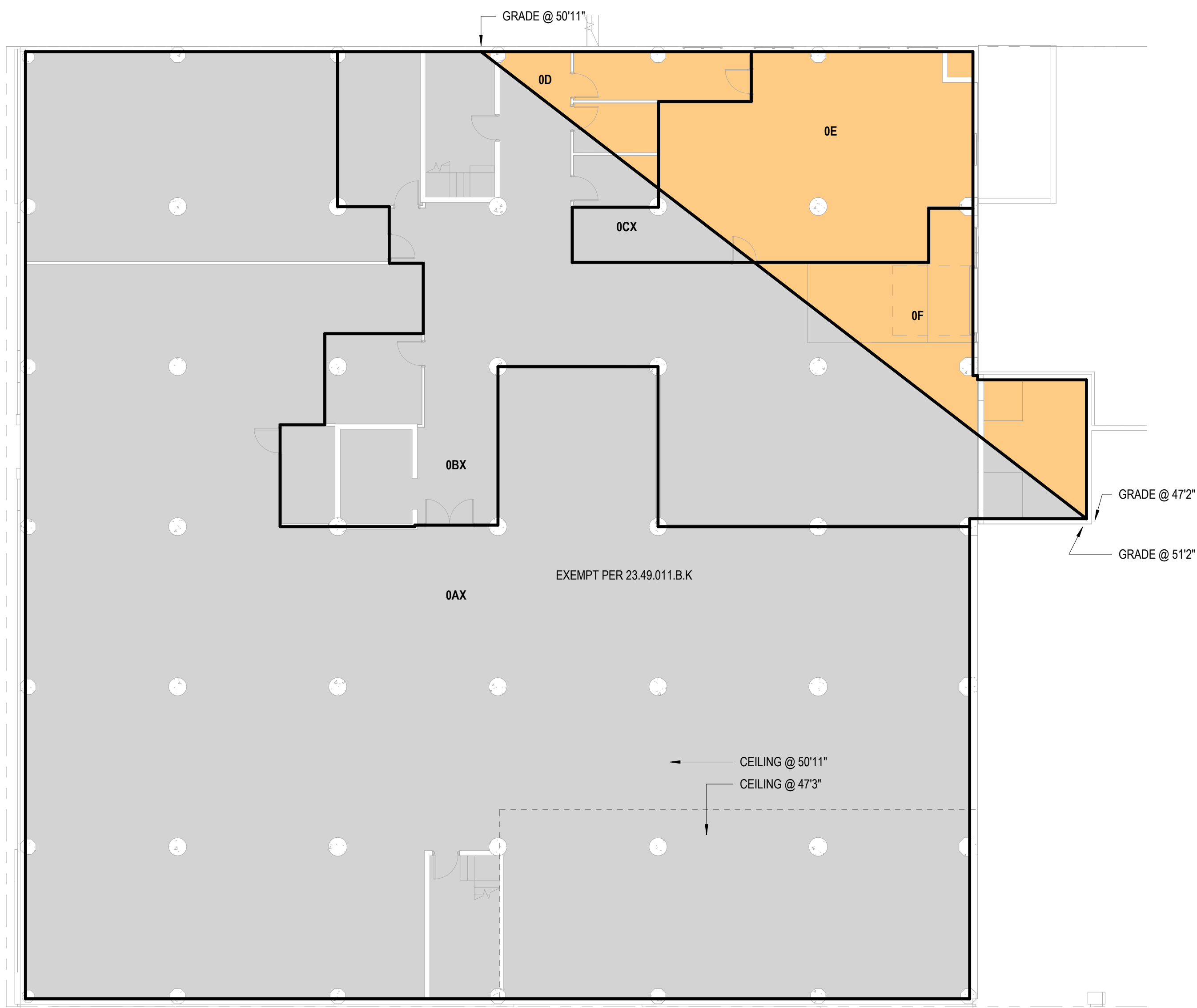
A110



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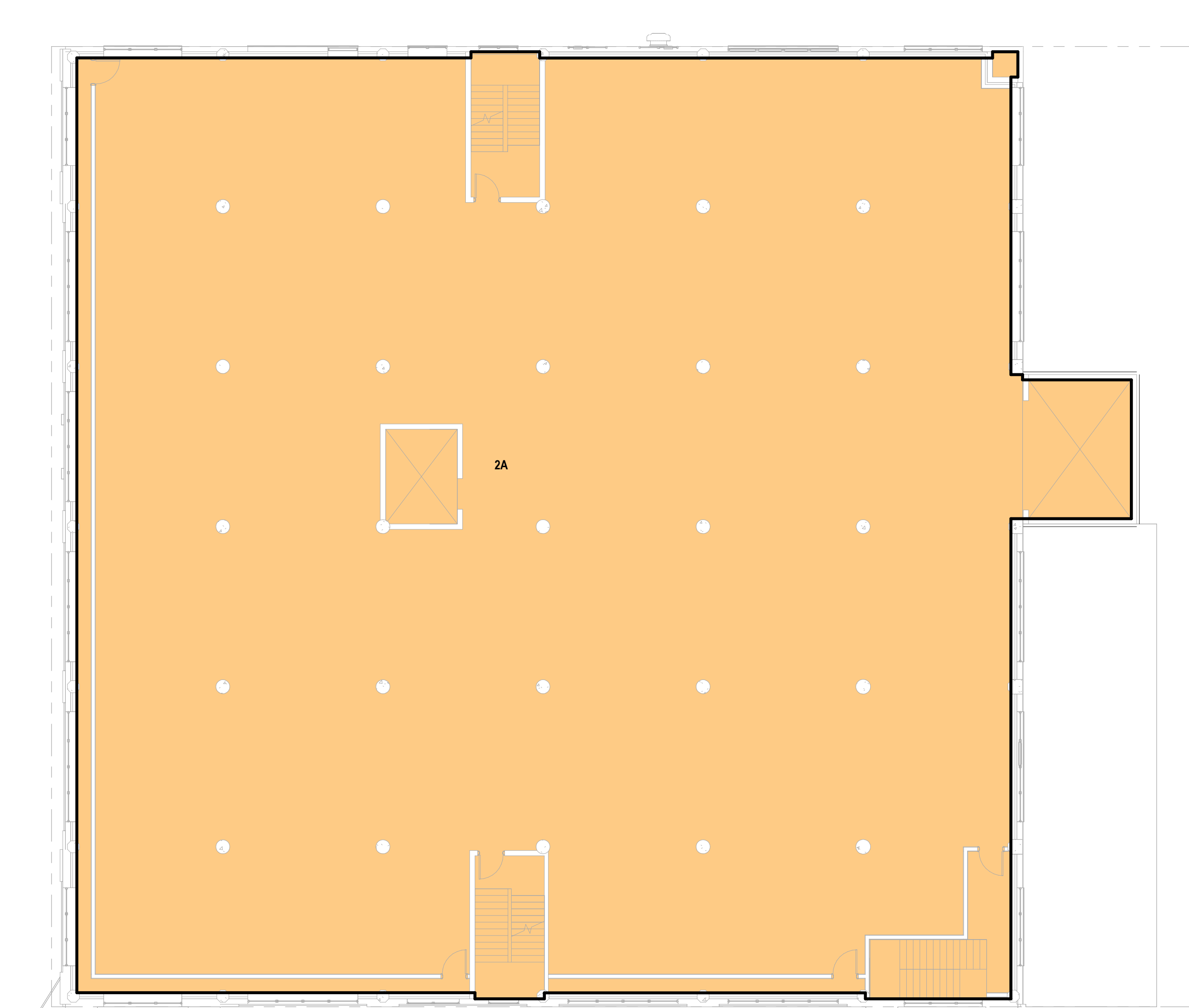
No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL



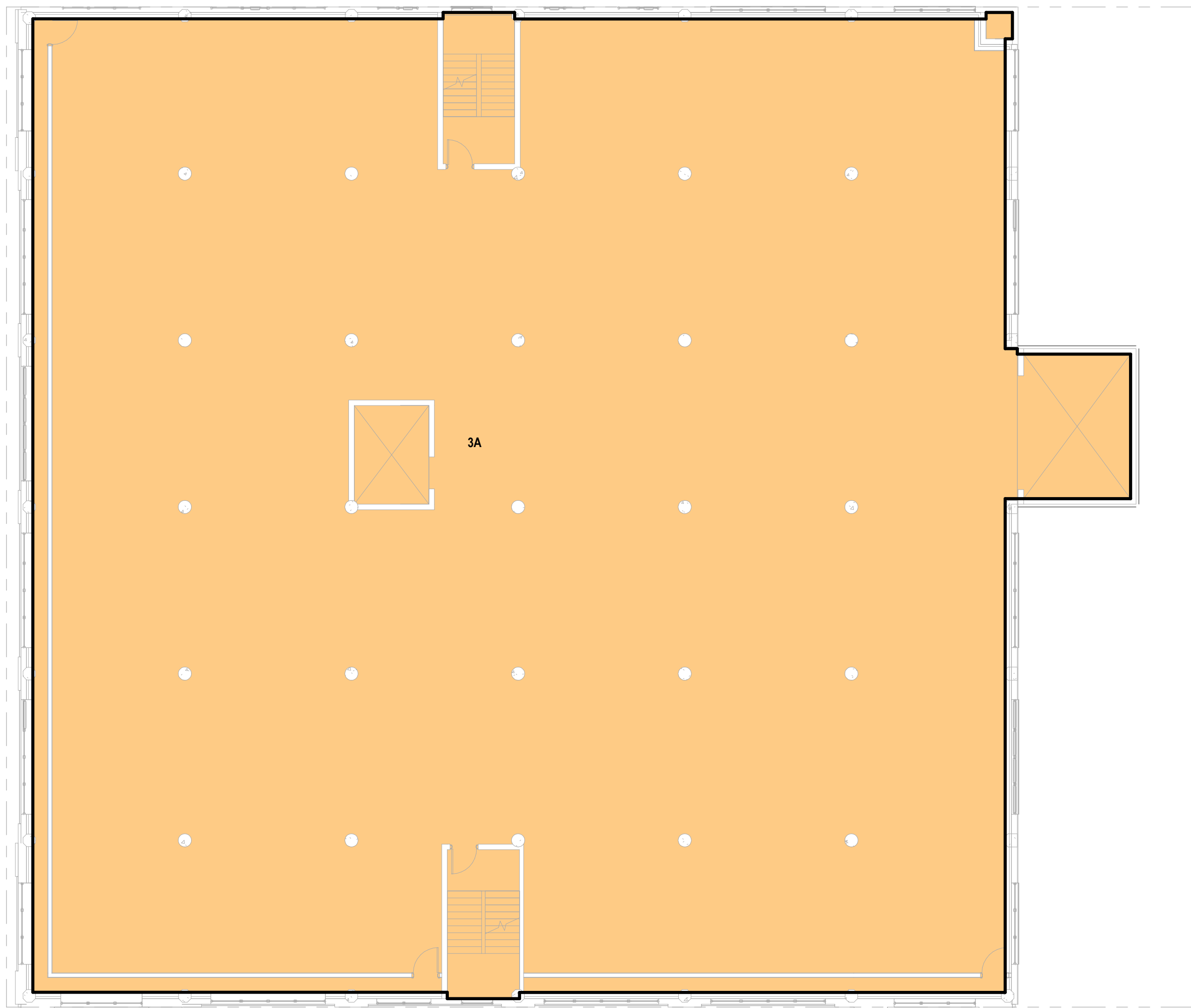
5 LEVEL 0  
3/32" = 1'-0"



1 LEVEL 1  
3/32" = 1'-0"



2 LEVEL 2  
3/32" = 1'-0"



3 LEVEL 3  
3/32" = 1'-0"

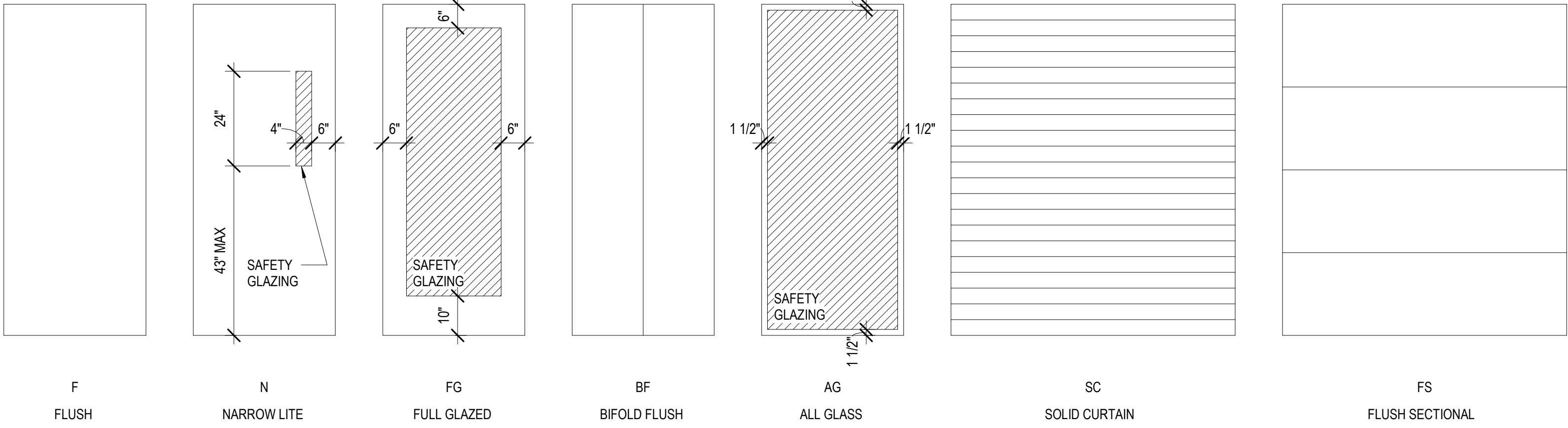


DOOR MATERIALS AND FINISHES

AL	ALUMINUM
GALV	GALVANIZED
HM	HOLLOW METAL
HWD	HOLLOW WOOD
PT	PAINT
STL	STEEL
VY	VINYL
WD	SOLID WOOD

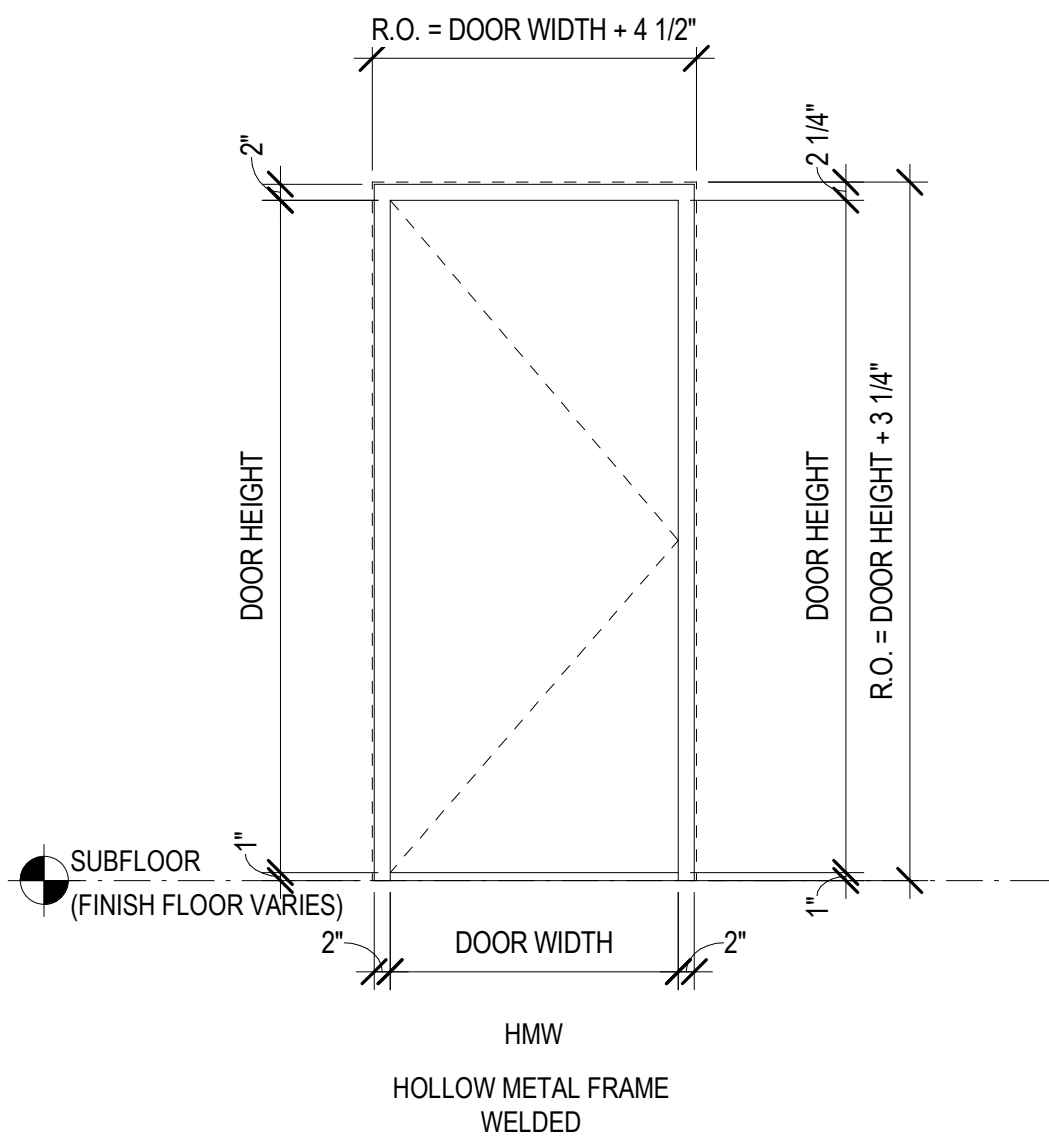
INTERIOR DOOR SCHEDULE														
NUMBER	NOMINAL DOOR SIZE		ROUGH OPENING		OPERATION	PANEL			FRAME			FIRE RATING	COMMENTS	HARDWARE
	WIDTH	HEIGHT	WIDTH	HEIGHT		TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH			
LEVEL 0.7														
103	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
104	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
105	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
LEVEL 1														
1D1	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
1D1A	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
LEVEL 2														
2D1	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
2D1A	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
2D2	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
2S3	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	45 MIN		
LEVEL 3														
3D1	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
3D1A	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
3D2	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
LEVEL 4														
4D1	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
4D1A	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		
4D2	3'-0"	6'-8"	3'-4 1/2"	6'-11 1/4"	SINGLE SWING	F	HM	PT	HMW	HM	PT	NONE		

DOOR PANEL TYPES



DOOR FRAME TYPES

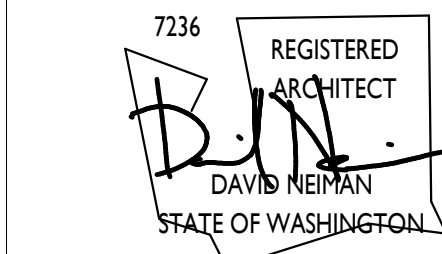
SEE SCHEDULE FOR ACTUAL METHOD OF OPERATION.



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Sheet Title

DOOR SCHEDULE

Date

FEBRUARY 3, 2025

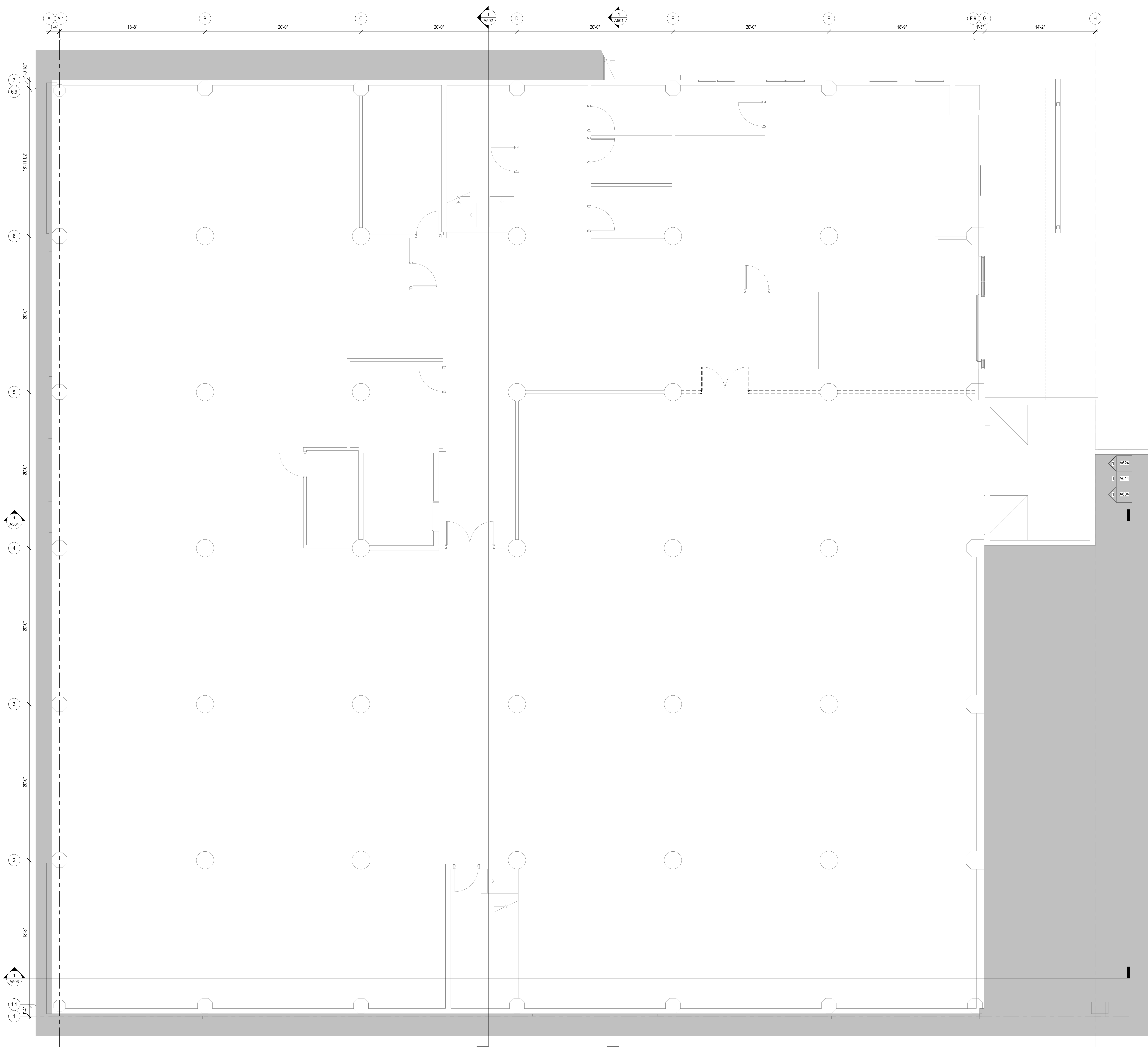
Sheet Number

A200



GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS FOR NEW WORK ARE GIVEN TO FACE OF WALL FRAMING, CENTERLINE OF FIXTURE, OR ROUGH OPENING OF WINDOWS AND DOORS.
- EXISTING WALLS ARE DRAWN AT THICKNESS OF THE ROUGH FRAMING ELEMENTS THAT APPEAR TO BE ALIGNED. ARE ALIGNED.
- WHERE ASSEMBLIES MEET WITH DISSIMILAR LAYERS OF FINISH, ADD A LAYER OF WALL BOARD TO PROVIDE A CONTINUOUS SURFACE.
- PRIOR TO INSTALLATION OF SWITCHES, JUNCTION BOXES AND DEVICES, CONTRACTOR IS TO MARK THE LOCATIONS ON ROUGH FRAMING AND REVIEW LOCATIONS WITH THE ARCHITECT AND OWNER.
- A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS, SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION.
- ALL EXISTING EXTERIOR FURRING WALLS AND OTHER ELEMENTS OF THE BUILDING'S THERMAL ENVELOPE TO REMAIN.
- LAYOUT OF SELF-STORAGE FACILITY IS NOTIONAL AND INTENDED TO GIVE A GENERAL SENSE OF HOW THE BUILDING'S INTERIOR LAYOUT MIGHT BE CONFIGURED. ACTUAL LAYOUT WILL BE DETERMINED BY SELF-STORAGE FACILITY OPERATOR.
- ALL INTERIOR PARTITIONS TO BE PAINTED P.T.1 ON BOTH SIDES UNLESS NOTED OTHERWISE.
- EXISTING PARTITIONS, FINISHES, CASEWORK, EQUIPMENT, AND FURNITURE TO BE REMOVED. FULL SCOPE OF EXISTING TENANT IMPROVEMENTS TO BE REMOVED NOT DEPICTED.
- EXISTING MEPP ELEMENTS TO BE RETAINED, RECONFIGURED, AND REUSED TO THE MAXIMUM EXTENT FEASIBLE.

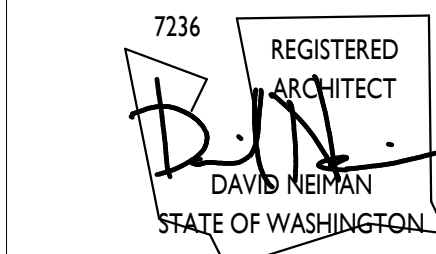


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Sheet Title

DENOLITION PLAN - LEVEL 0

Date  
Sheet Number

FEBRUARY 3, 2025

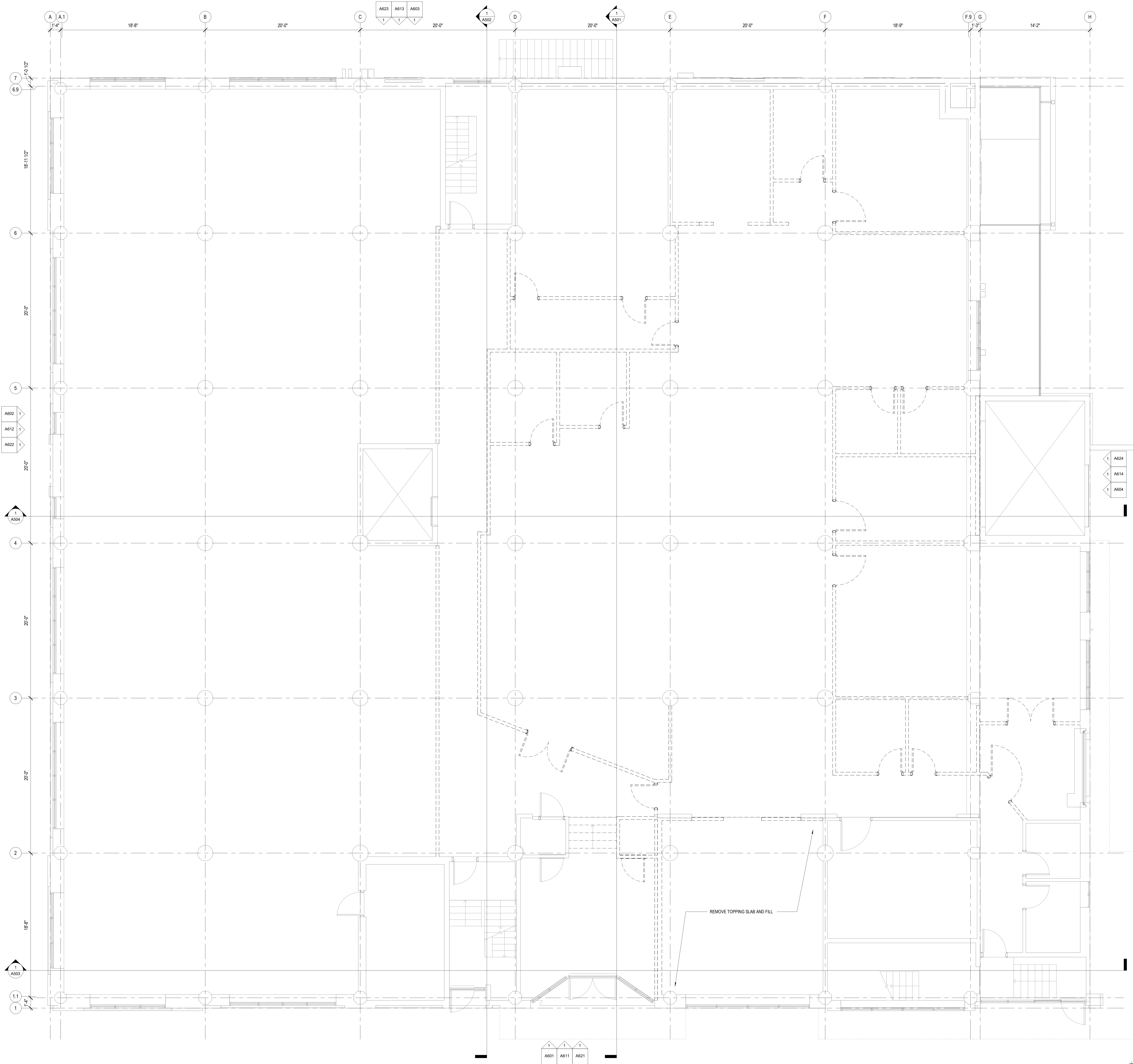
A300

1 LEVEL 0 DEMOLITION PLAN  
1/8" = 1'-0"



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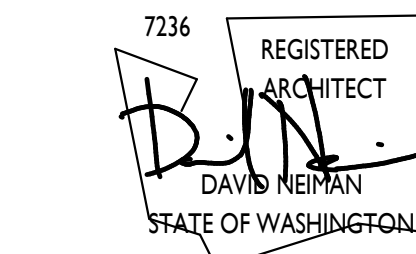


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RDA BUILDING SELF-STORAGE

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SEATTLE, WA 98134

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Code Official's Approval Stamp

Project Number: 7946035-CK, DOWH-COA-01480

Sheet Title

DENOLITION PLAN - LEVEL 1

Date

FEBRUARY 3, 2025

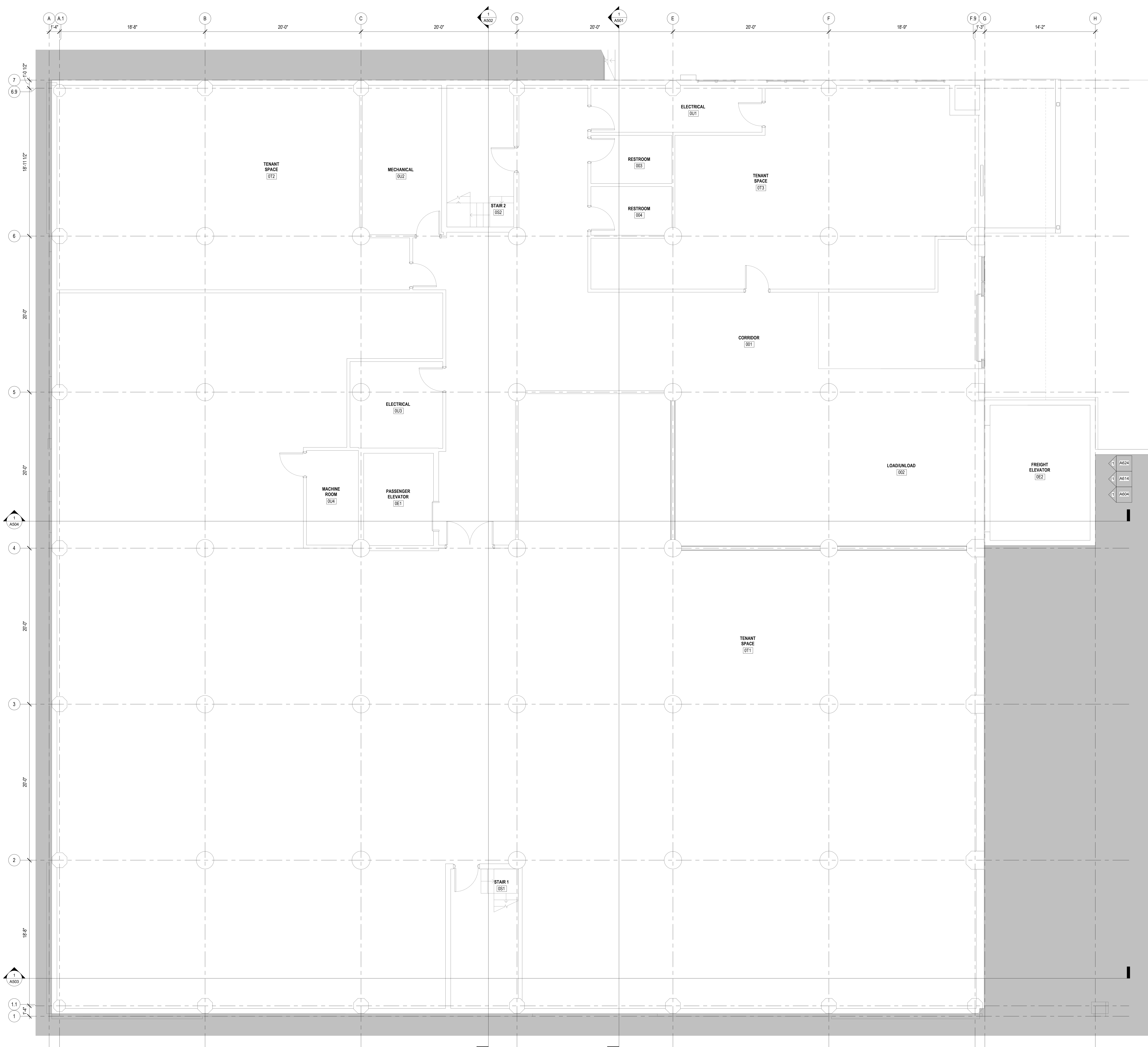
Sheet Number

A301



GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS FOR NEW WORK ARE GIVEN TO FACE OF WALL, FRAMING, CENTERLINE OF FIXTURE, OR ROUGH OPENING OF WINDOWS AND DOORS.
- EXISTING WALLS ARE DRAWN AT THICKNESS OF THE ROUGH FRAMING ELEMENTS THAT APPEAR TO BE ALIGNED. ARE ALIGNED.
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- ALL INTERIOR PARTITIONS TO BE PAINTED PTF-1 ON BOTH SIDES UNLESS NOTED OTHERWISE.
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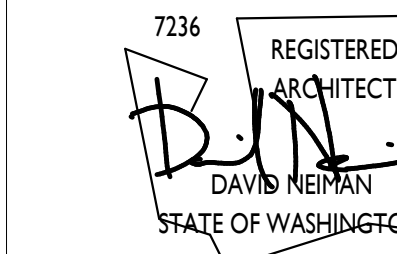


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No. Date Revision  
1 2/3/2025 1

2/3/2025 CERTIFICATE OF APPROVAL

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Sheet Title

FLOOR PLAN - LEVEL 0

Date

FEBRUARY 3, 2025

Sheet Number

A310



## GENERAL NOTES

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- LAYOUT OF SELF-STORAGE FACILITY IS NOTIONAL AND INTENDED TO GIVE A GENERAL SENSE OF HOW THE BUILDING'S INTERIOR LAYOUT MIGHT BE CONFIGURED. ACTUAL LAYOUT WILL BE DETERMINED BY SELF-STORAGE FACILITY OPERATOR.
- ALL INTERIOR PARTITIONS TO BE PAINTED PT-1 ON BOTH SIDES UNLESS NOTED OTHERWISE.
- EXISTING PARTITIONS, FINISHES, CASEWORK, EQUIPMENT, AND FURNITURE TO BE REMOVED. FULL SCOPE OF EXISTING TENANT IMPROVEMENTS TO BE REMOVED NOT DEPICTED.
- EXISTING MEPP ELEMENTS TO BE RETAINED, RECONFIGURED, AND REUSED TO THE MAXIMUM EXTENT FEASIBLE.



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7236 REGISTERED ARCHITECT  
DAVID NEIMAN  
STATE OF WASHINGTON

No. Date Revision  
1 2/3/2025 1 CERTIFICATE OF APPROVAL

Code Official's Approval Stamp

Project Numbers: 7948035-CK, DOWH-004-01480

Sheet Title  
FLOOR PLAN - LEVEL 1

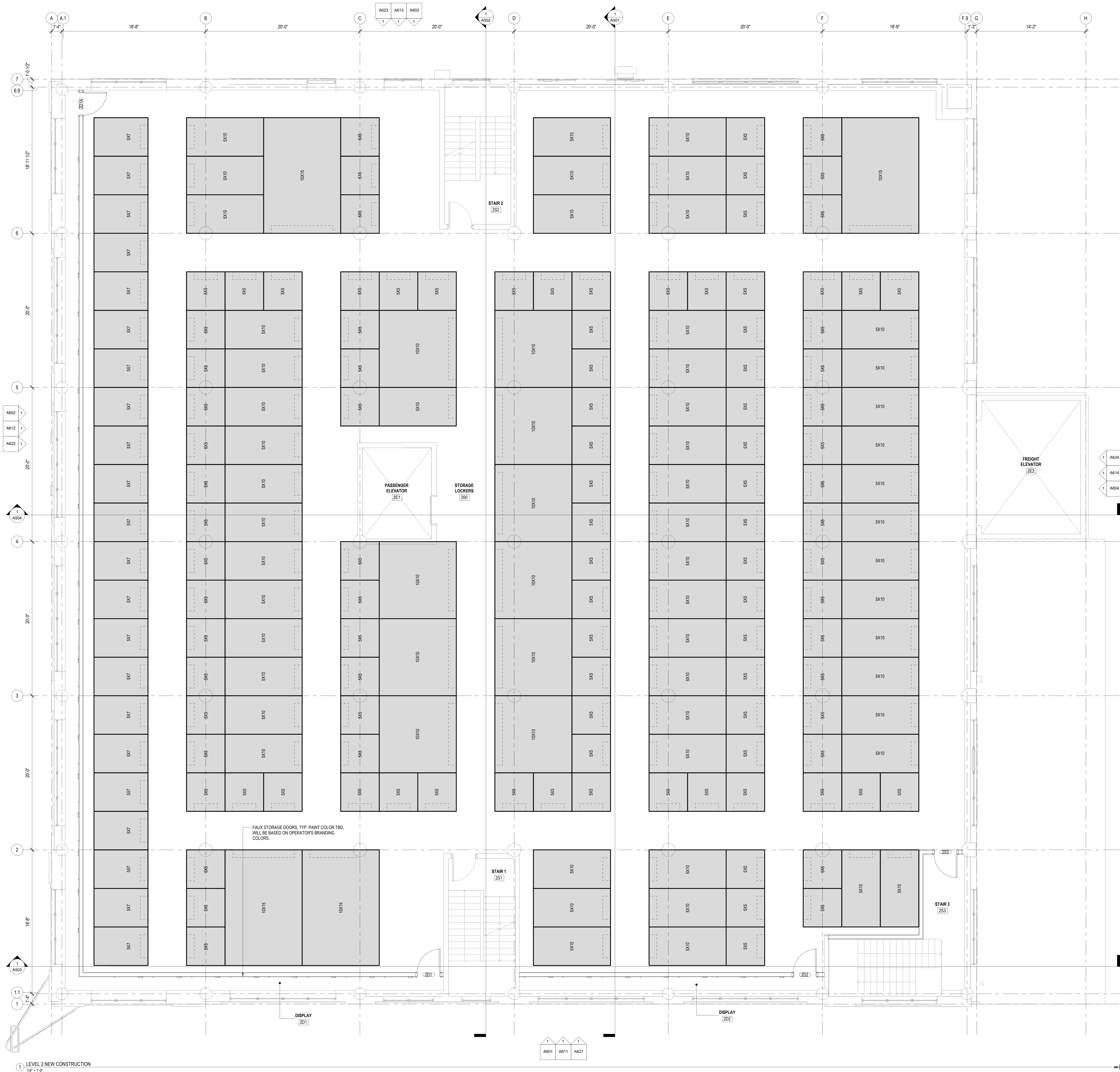
Date  
February 3, 2025

Sheet Number  
A311

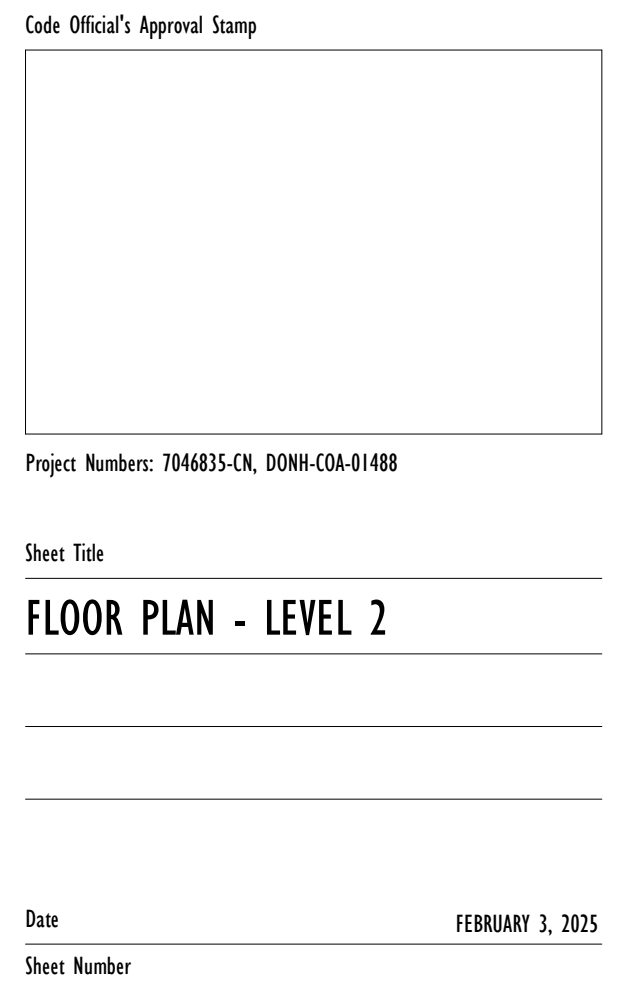
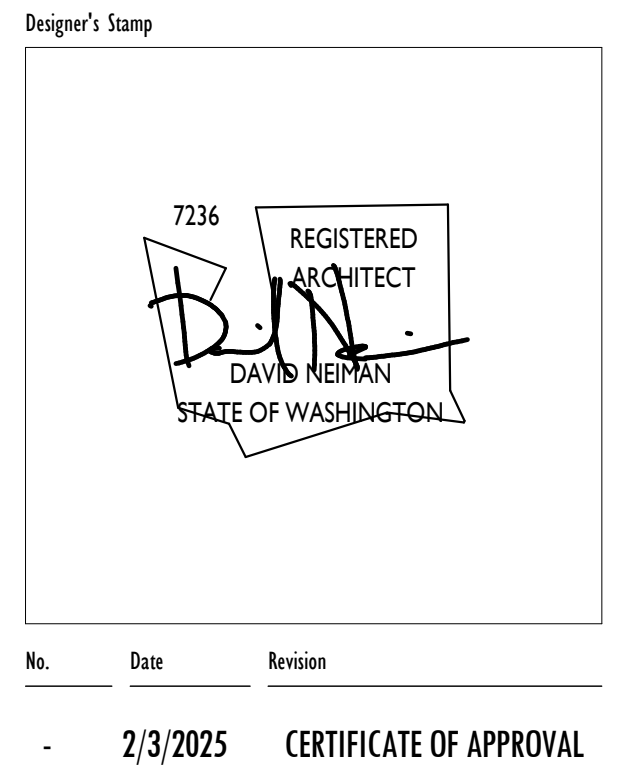


GENERAL NOTES

- DO NOT SCALE DRAWINGS. DIMENSIONS FOR NEW WORK ARE GIVEN TO FACE OF WALL FRAMING, CENTERLINE OF FIXTURE, OR ROUGH OPENING OF WINDOWS AND DOORS.
- EXISTING WALLS ARE DRAWN AT THICKNESS OF THE ROUGH FRAMING ELEMENTS THAT APPEAR TO BE ALIGNED. ARE ALIGNED.
- WHERE ASSEMBLIES MEET WITH DISSIMILAR LAYERS OF FINISH, ADD A LAYER OF WALL BOARD TO PROVIDE A CONTINUOUS SURFACE.
- PRIOR TO INSTALLATION OF SWITCHES, JUNCTION BOXES AND DEVICES, CONTRACTOR IS TO MARK THE LOCATIONS ON ROUGH FRAMING AND REVIEW LOCATIONS WITH THE ARCHITECT AND OWNER.
- A WRITTEN REPORT OF THE AIR LEAKAGE TEST RESULTS, SHALL BE SIGNED BY THE TESTING PARTY AND PROVIDED TO THE BUILDING INSPECTOR, PRIOR TO CALL FOR FINAL INSPECTION.
- ALL EXISTING EXTERIOR FURRING WALLS AND OTHER ELEMENTS OF THE BUILDING'S THERMAL ENVELOPE TO REMAIN.
- LAYOUT OF SELF-STORAGE FACILITY IS NOTIONAL AND INTENDED TO GIVE A GENERAL SENSE OF HOW THE BUILDING'S INTERIOR LAYOUT MIGHT BE CONFIGURED. ACTUAL LAYOUT WILL BE DETERMINED BY SELF-STORAGE FACILITY OPERATOR.
- ALL INTERIOR PARTITIONS TO BE PAINTED PTF-1 ON BOTH SIDES UNLESS NOTED OTHERWISE.
- EXISTING PARTITIONS, FINISHES, CASEWORK, EQUIPMENT, AND FURNITURE TO BE REMOVED. FULL SCOPE OF EXISTING TENANT IMPROVEMENTS TO BE REMOVED NOT DEPICTED.
- EXISTING MEPP ELEMENTS TO BE RETAINED, RECONFIGURED, AND REUSED TO THE MAXIMUM EXTENT FEASIBLE.



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RDA BUILDING SELF-STORAGE  
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Sheet Title  
FLOOR PLAN - LEVEL 2

Date  
Sheet Number

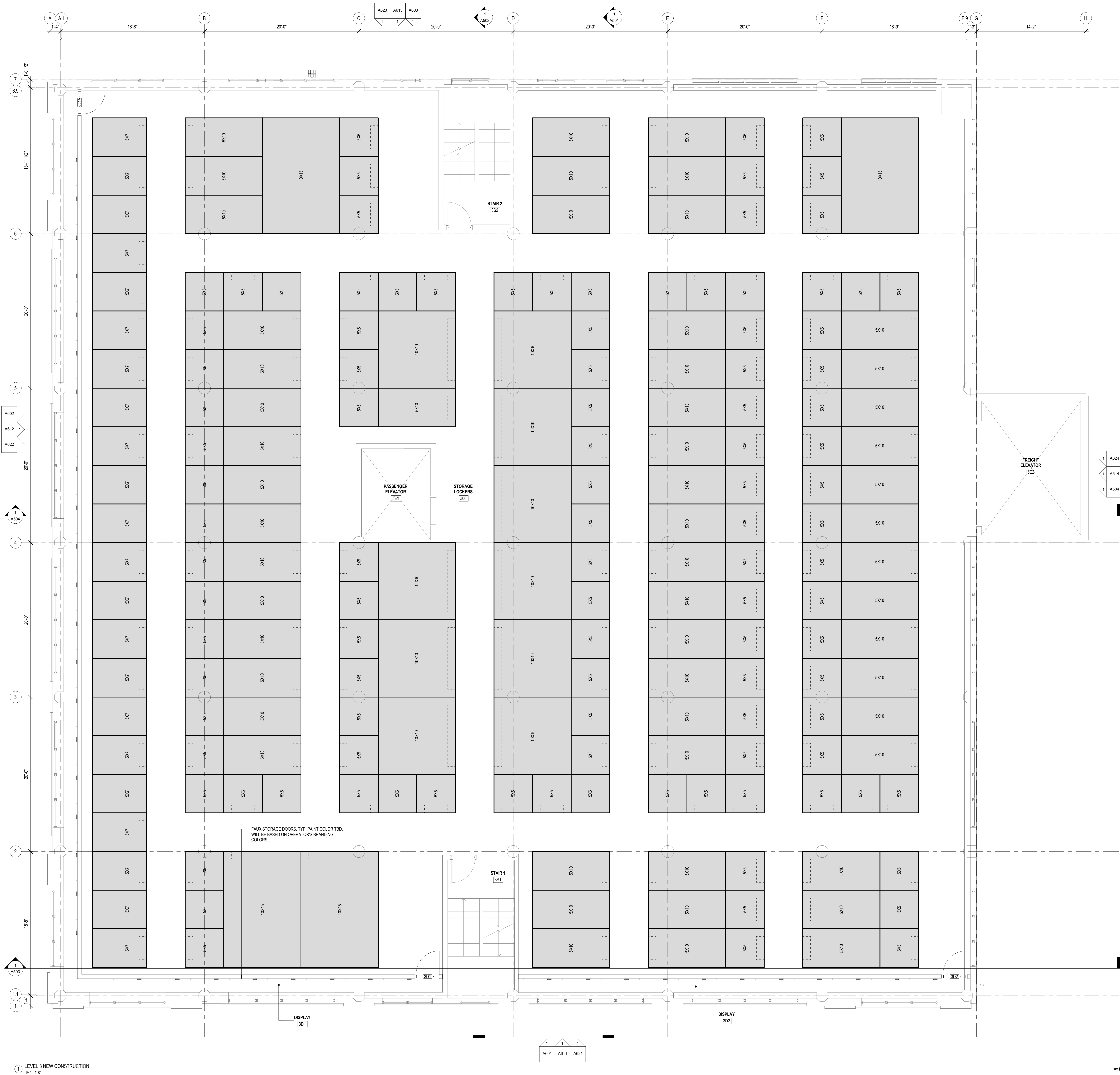
FEBRUARY 3, 2025

A312



GENERAL NOTES

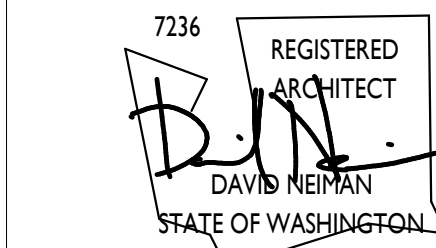
- DO NOT SCALE DRAWINGS. DIMENSIONS FOR NEW WORK ARE GIVEN TO FACE OF WALL, FRAMING, CENTERLINE OF FIXTURE, OR ROUGH OPENING OF WINDOWS AND DOORS.
- EXISTING WALLS ARE DRAWN AT THICKNESS OF THE ROUGH FRAMING.
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No. Date Revision  
1 2/3/2025 CERTIFICATE OF APPROVAL

Code Official's Approval Stamp

Project Number: 7946035-CK, DOWH-COA-01488

Sheet Title

FLOOR PLAN - LEVEL 3

Date

FEBRUARY 3, 2025

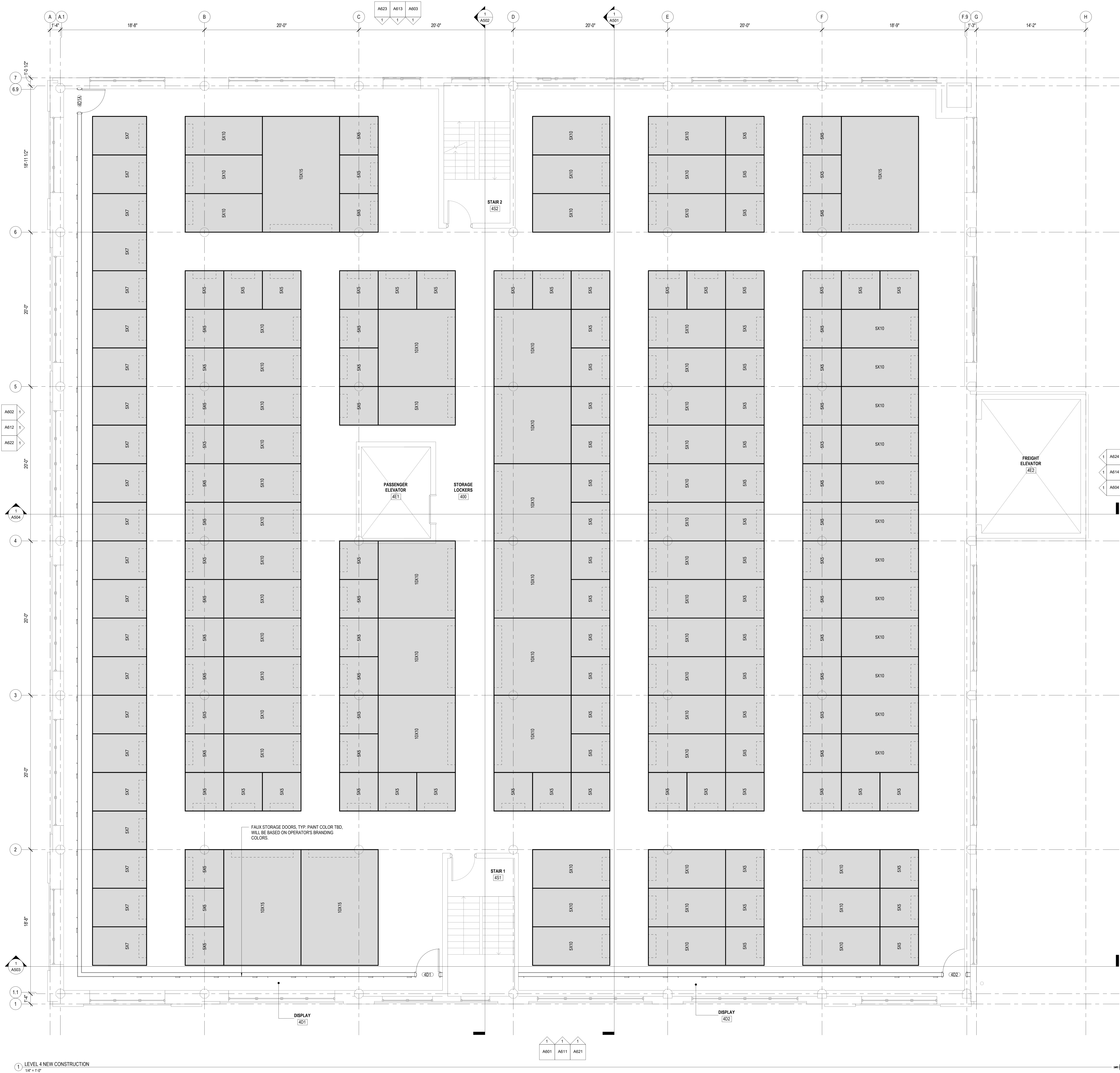
Sheet Number

A313

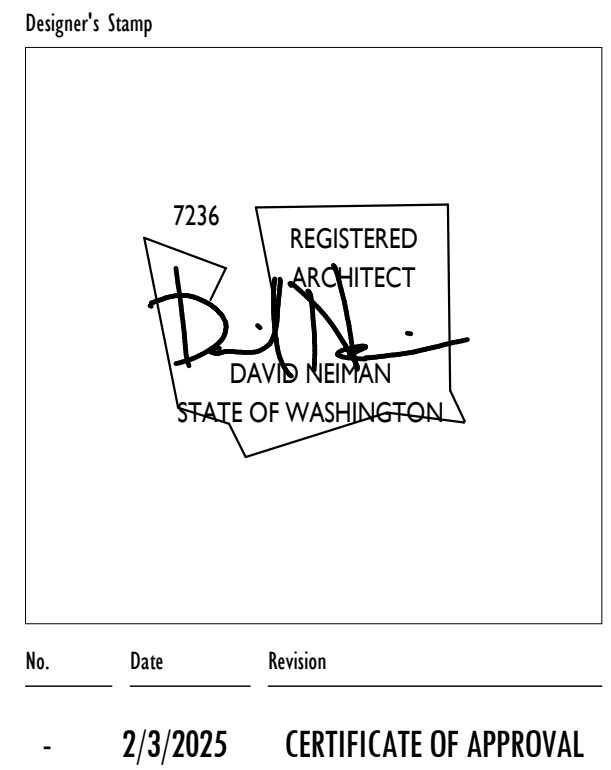


GENERAL NOTES

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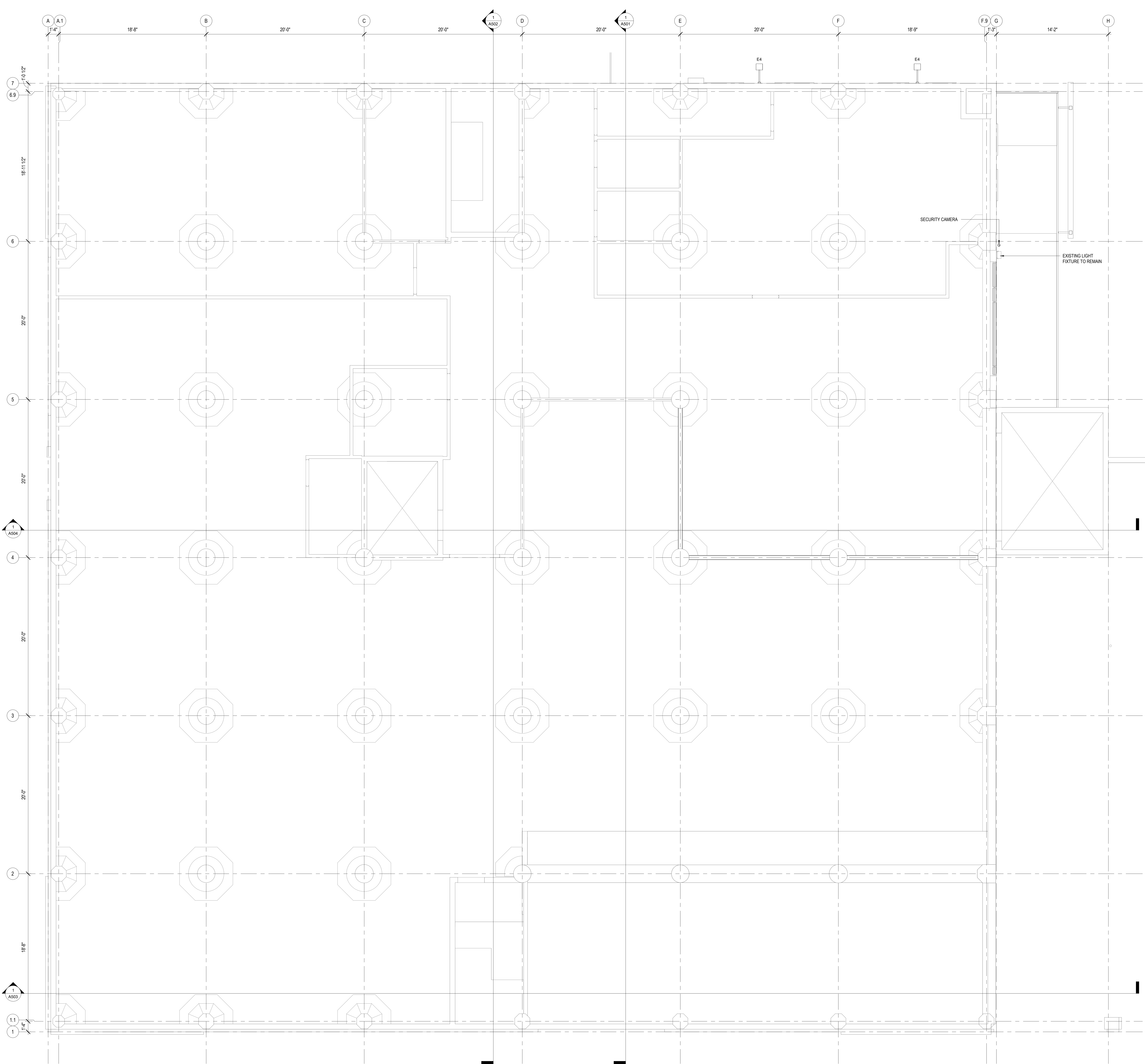


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LUMINAIRE SCHEDULE		
TYPE	QTY	MODEL
E1	12	LIGMAN LEEDS 2 (LLEE-30001-5.5W-W-W40-01-120)
E2	8	LIGMAN ODESSA 1 (UOD-80001-21W-W-W40-01-120)
E3	4	LIGMAN VERTER 1 (UVK-30001-21W-W-W40-01-120)
E4	4	LIGMAN VERTER 7 (UVK-30011-21W-EW-W40-01-120)
E5	4	RAB GN3 (GN-3-LED-13-N-AC11-W)
L1A	13	FINELITE HP2 (HP-2-SM-WW-D-V-840-K-SW-120-SC-FC-10-C4-FE-SW)
L1B	55	FINELITE HP2 (HP-2-P-WW-D-V-840-K-SW-120-SC-FC-10-C4-FE-SW)
L1C	7	FINELITE HP2 (HP-2-ID-S-90-400K-120-FA-SC-C4-OB0)
L2	4	BRILUCK GX35 (GX35-35LM-39K-90-350-120V-ELV-P-WW)
L3	11	FINELITE HPR (HPR-LED-A-2x2-DCO-S-8-120-C1)



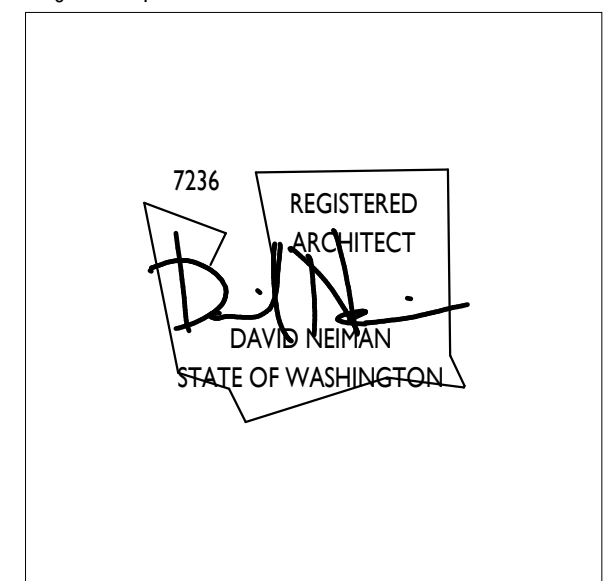
1 LEVEL 0 CEILING PLAN  
1/8" = 1'-0"

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RDA BUILDING SELF-STORAGE

800 MAYNARD AVE S  
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No. Date Revision

2/3/2025 CERTIFICATE OF APPROVAL

Code Official's Approval Stamp



Project Numbers: 7946035-CN, DOWH-COA-01480

Sheet Title

REFLECTED CEILING PLAN - LEVEL

0

Date

FEBRUARY 3, 2025

Sheet Number

A400

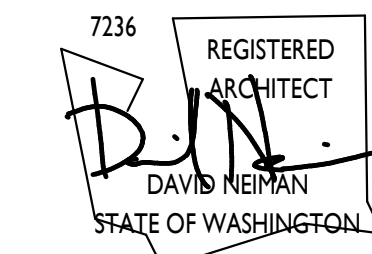


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No.	Date	Revision
1	2/3/2025	CERTIFICATE OF APPROVAL

Code Official's Approval Stamp

Project Number: 7946035-CK, DOWH-COA-01488

Sheet Title

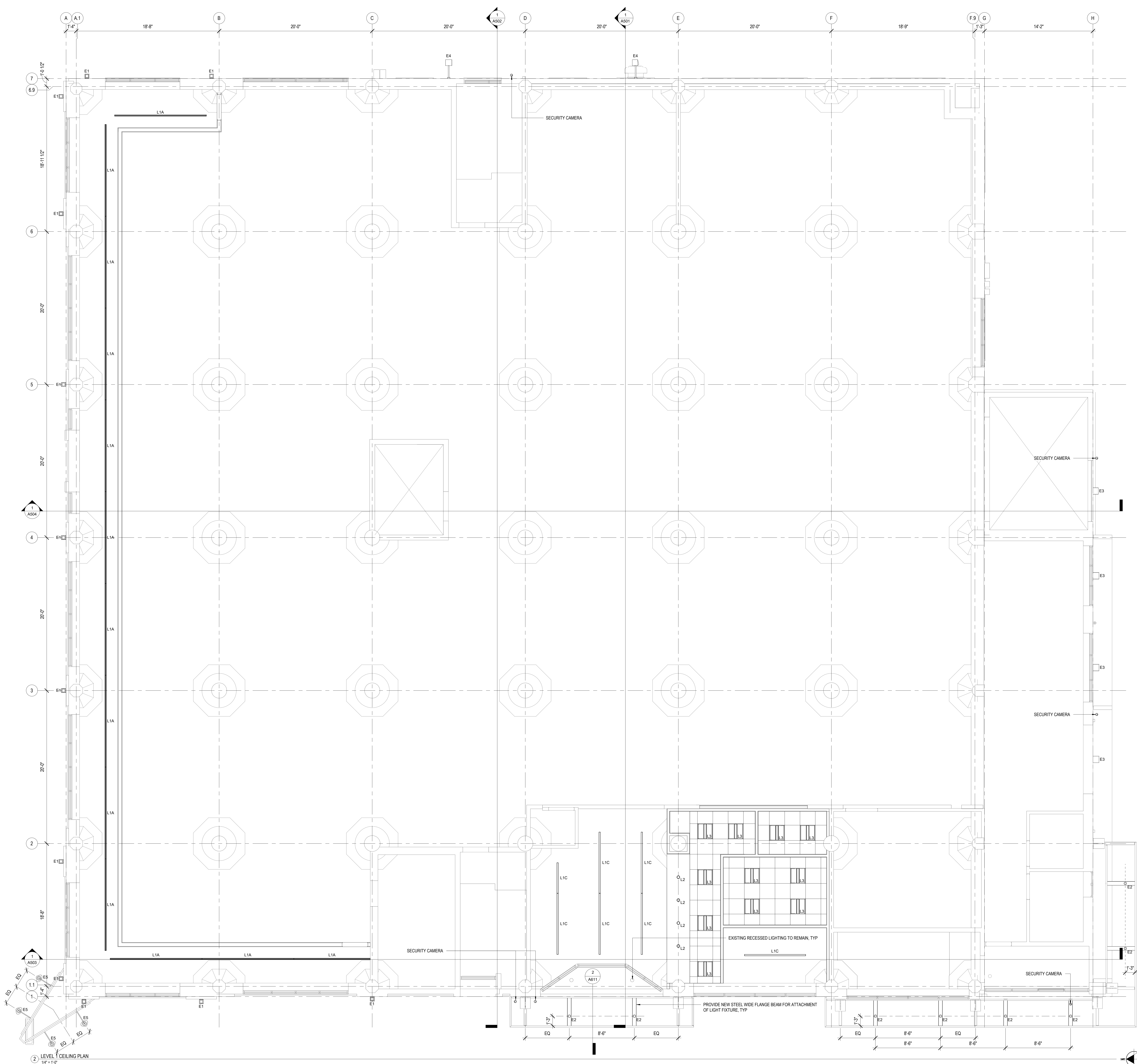
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Date

Sheet Number

FEBRUARY 3, 2025

A401



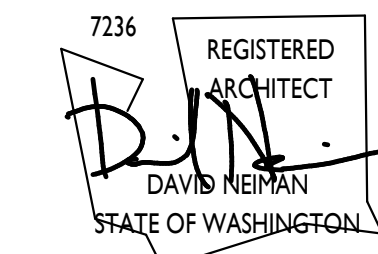


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No.	Date	Revision
1	2/3/2025	CERTIFICATE OF APPROVAL

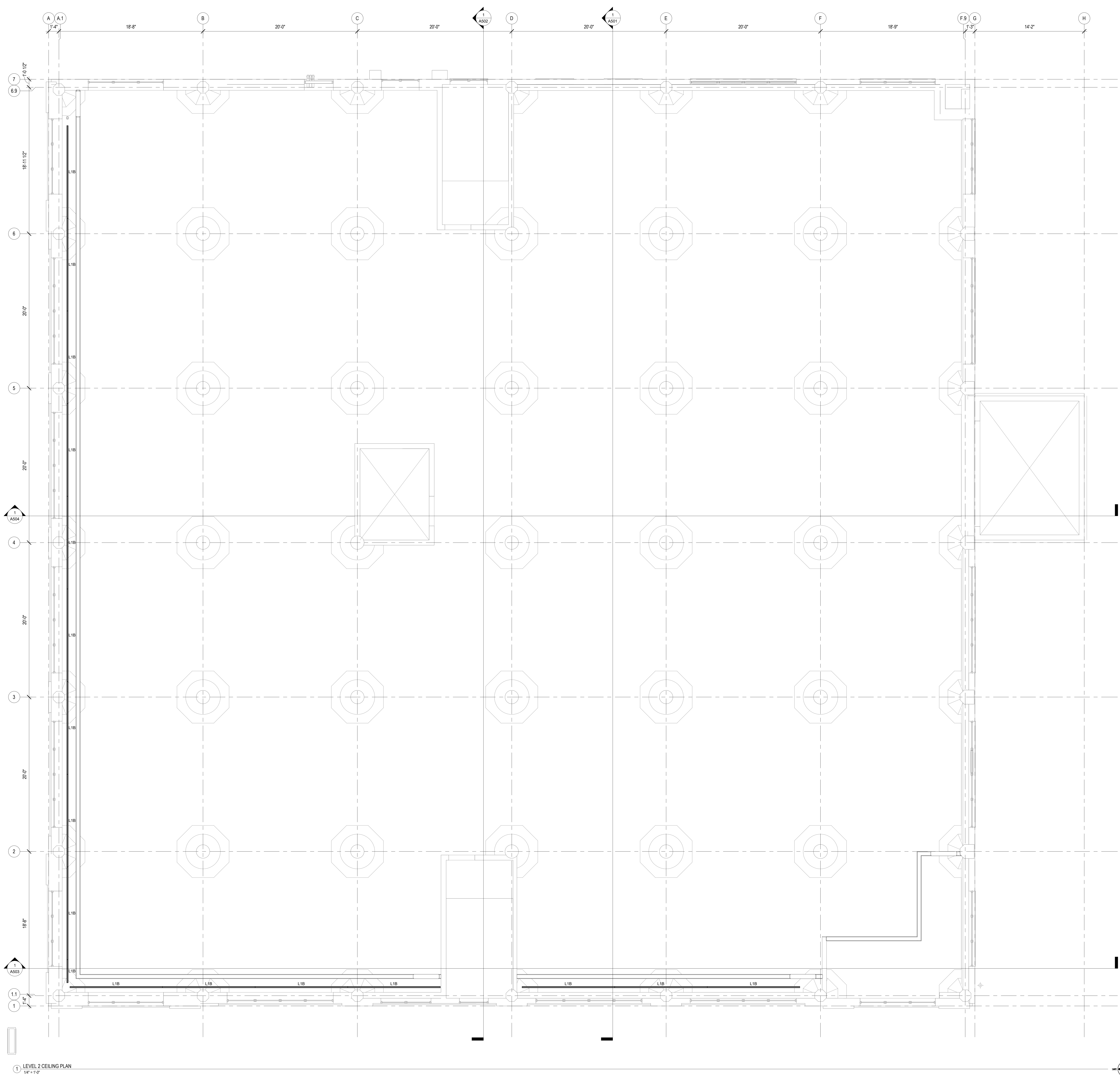
Code Official's Approval Stamp

Project Number: 794803-CK, DOWH-COA-01488

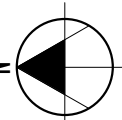
Sheet Title

REFLECTED CEILING PLAN - LEVEL  
2

Date: FEBRUARY 3, 2025  
Sheet Number



1 LEVEL 2 CEILING PLAN  
1/8" = 1'-0"



A402

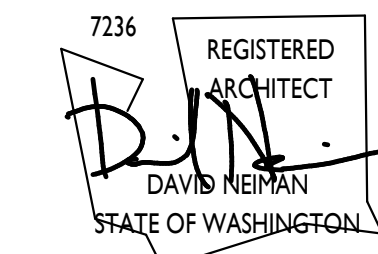


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No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL

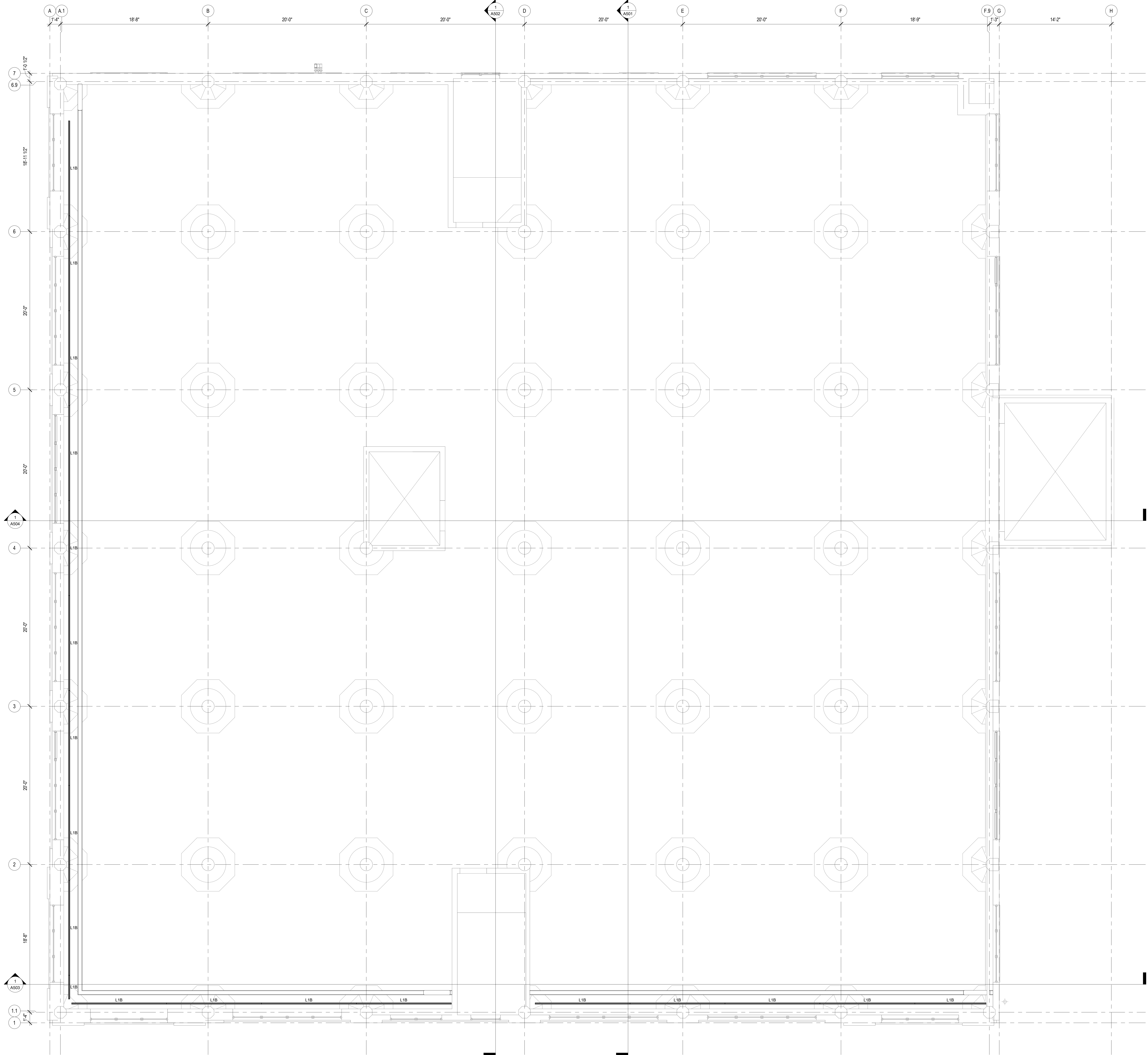
Code Official's Approval Stamp

Project Number: 7948035-CK, DOWH-COA-01488

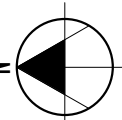
Sheet Title

REFLECTED CEILING PLAN - LEVEL  
3

Date: FEBRUARY 3, 2025  
Sheet Number



1 LEVEL 3 CEILING PLAN  
1/8" = 1'-0"



A403



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RDA BUILDING SELF-STORAGE

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No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL

Code Official's Approval Stamp



Project Number: 794803-CK, DOWH-CK-01480

Sheet Title

REFLECTED CEILING PLAN - LEVEL

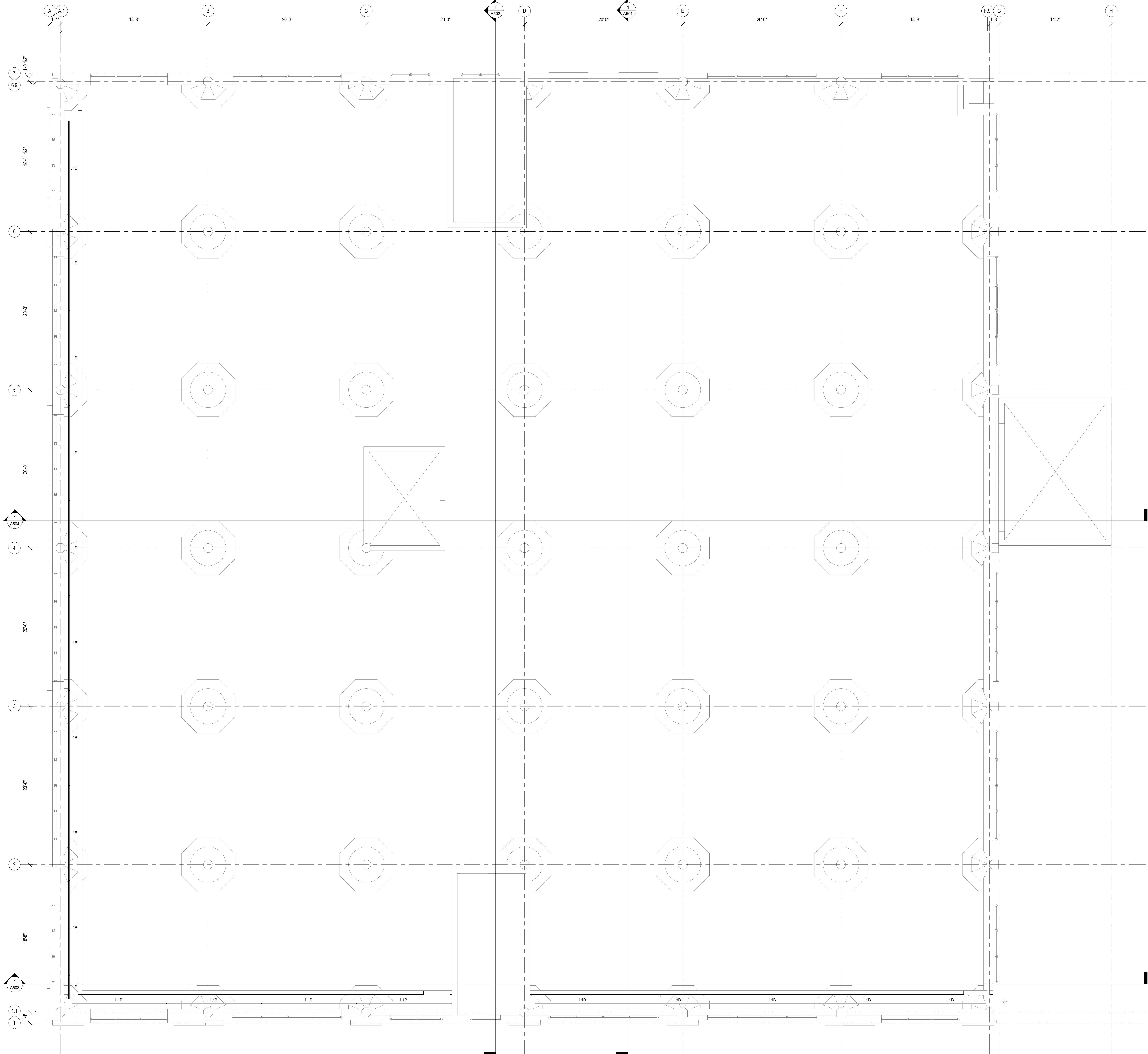
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Date

Sheet Number

FEBRUARY 3, 2025

A404



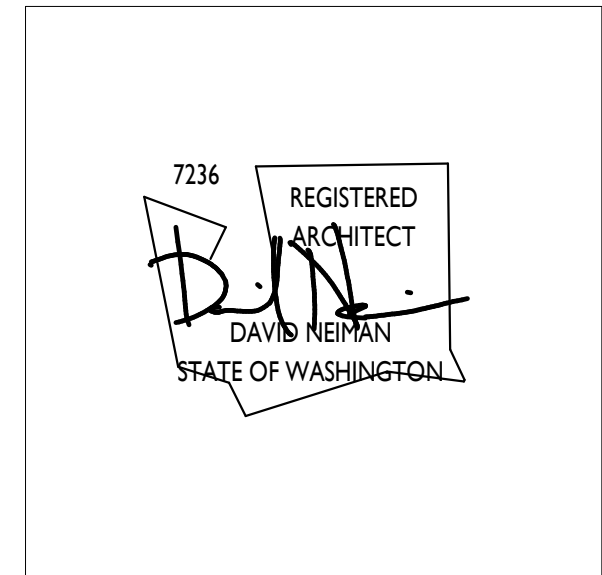
1 LEVEL 4 CEILING PLAN  
1/8" = 1'-0"



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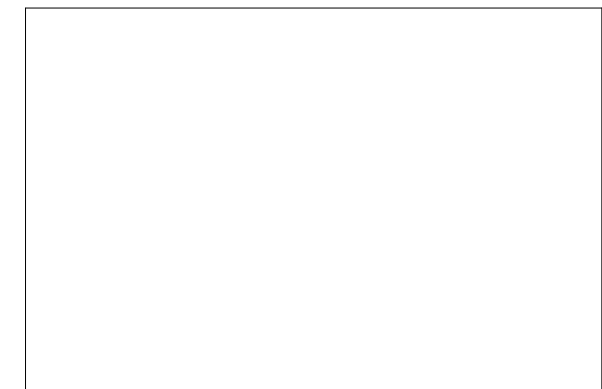
TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE  
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No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL

Code Official's Approval Stamp



Project Number: 7948035-CK, DOWH-CK-01488

Sheet Title

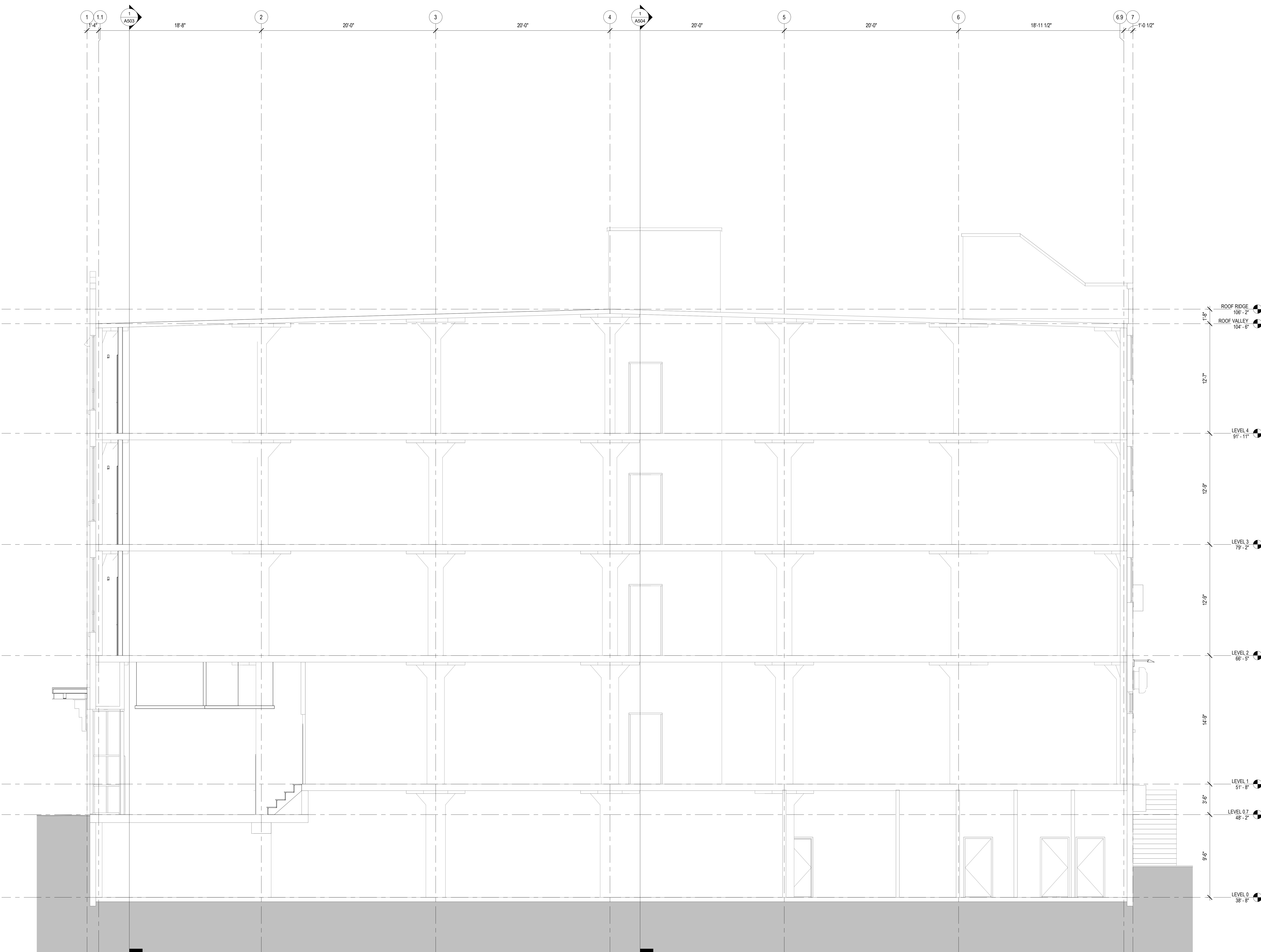
SECTION

Date

FEBRUARY 3, 2025

Sheet Number

A501



1 EAST/WEST SECTION @ LOBBY  
1/4" = 1'-0"



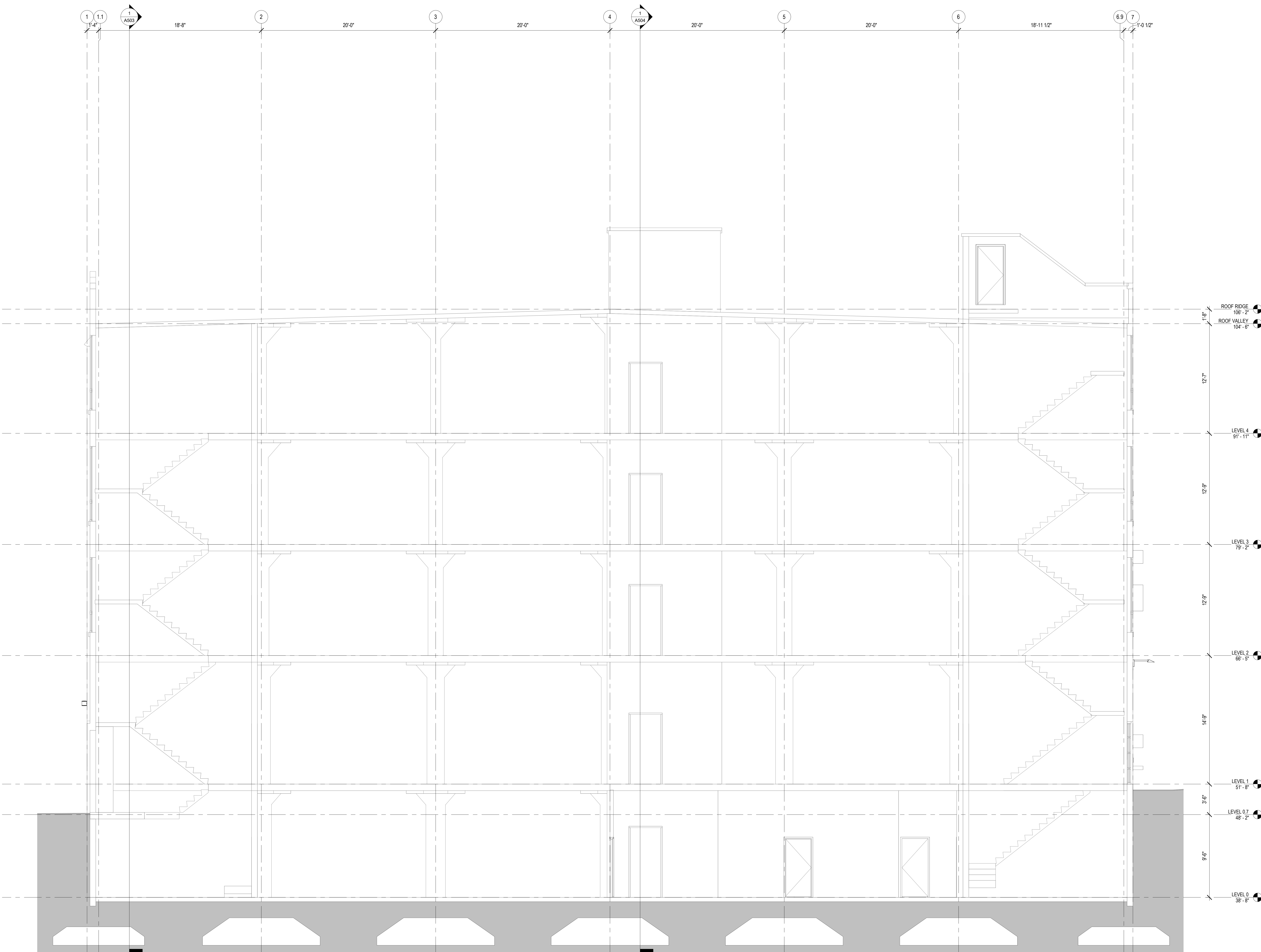
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APPROVAL

TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE  
800 MAYNARD AVE S  
SEATTLE, WA 98134

Designer's Stamp

7236 REGISTERED ARCHITECT  
DAVID NEIMAN  
STATE OF WASHINGTON

No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL



1 EAST/WEST SECTION @ STAIR  
1/4" = 1'-0"

Code Official's Approval Stamp

Project Number: 7948035-CK, DOWH-CK-01488

Sheet Title

SECTION

Date

Sheet Number

FEBRUARY 3, 2025

A502

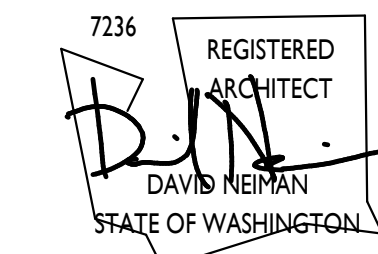


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APPROVAL

TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE

800 MAYNARD AVE S  
SEATTLE, WA 98134

Designer's Stamp



No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL

Code Official's Approval Stamp

Project Number: 7948035-CK, DOWH-CK-01488

Sheet Title

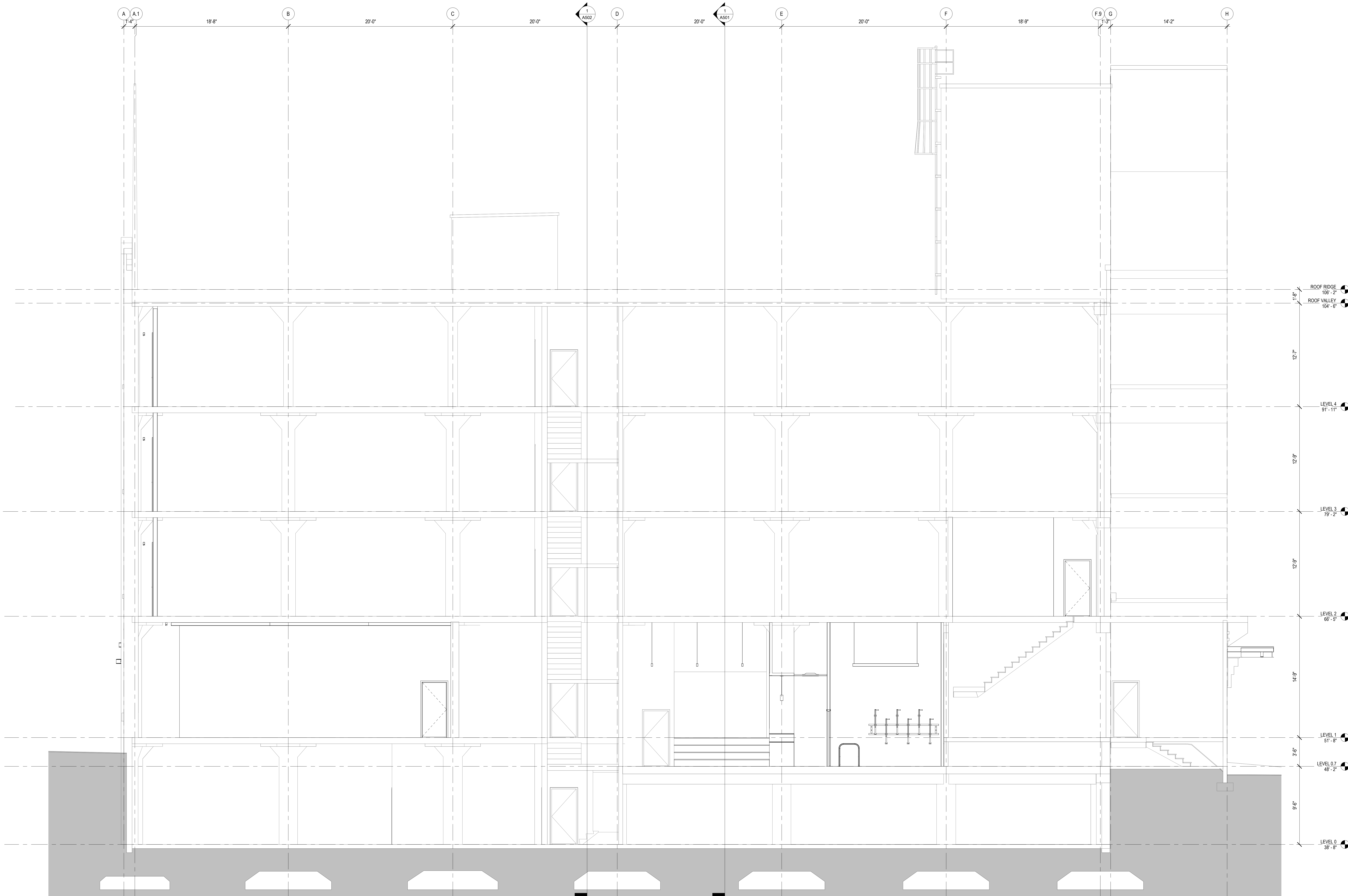
SECTION

Date

FEBRUARY 3, 2025

Sheet Number

A503



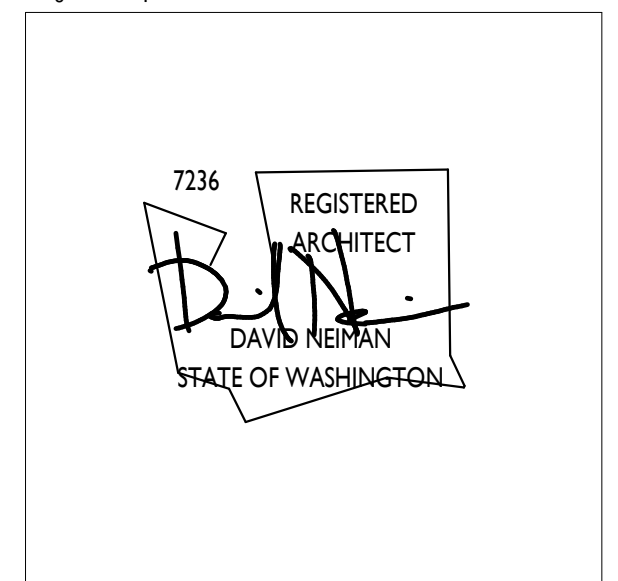
1 NORTH/SOUTH SECTION @ LOBBY  
1/4" = 1'-0"



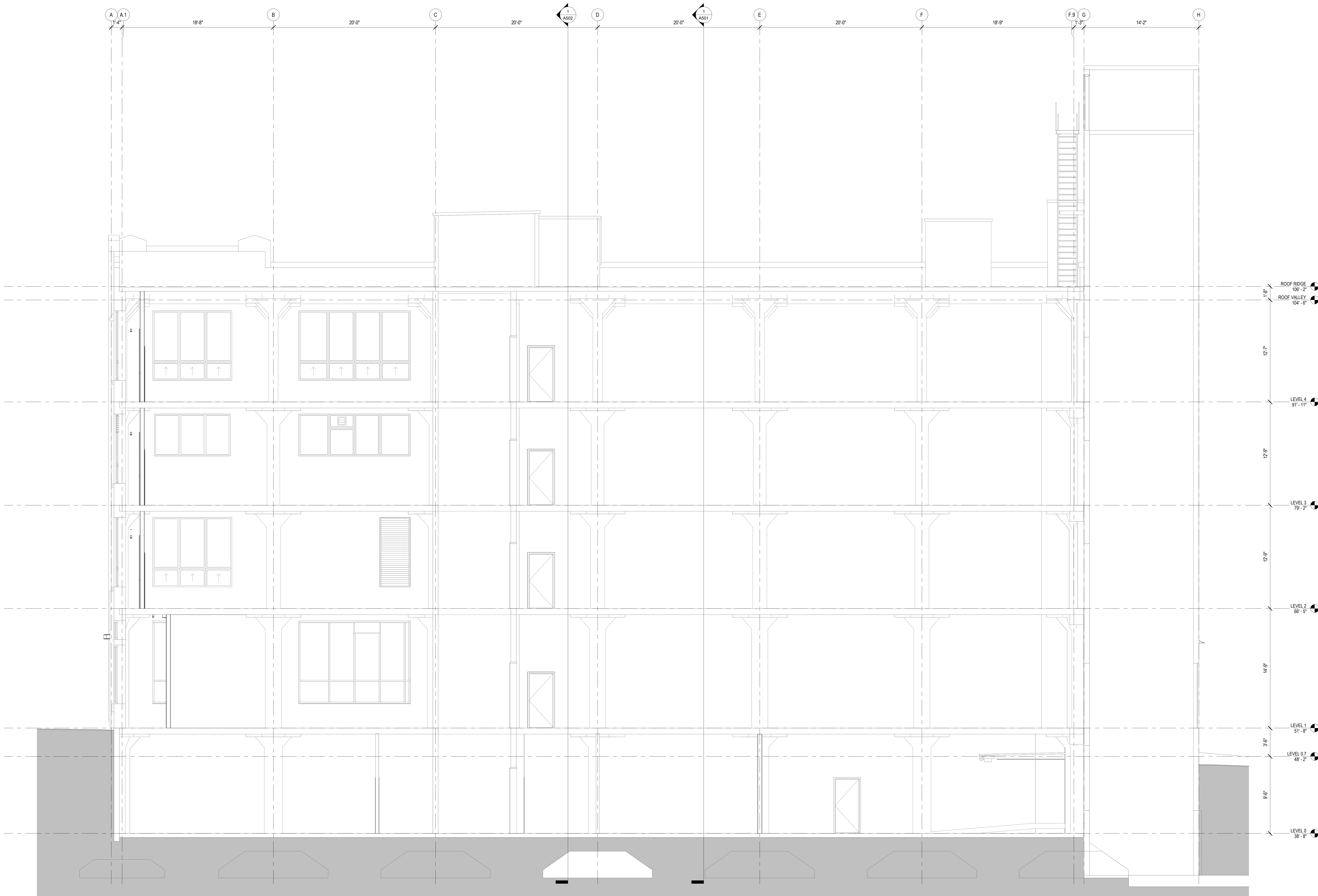
CERTIFICATE OF  
APPROVAL

TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE  
800 MAYNARD AVE S  
SEATTLE, WA 98134

Designer's Stamp

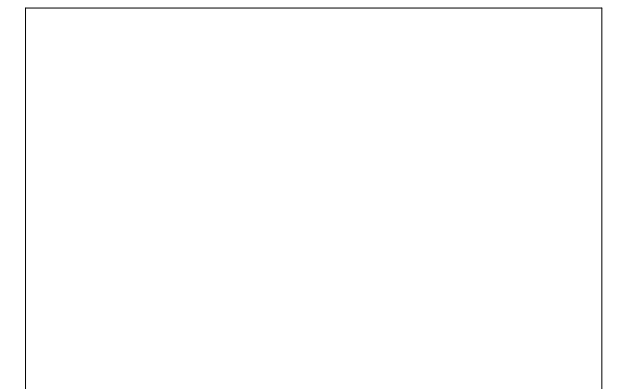


No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL



1 NORTH/SOUTH SECTION @ ELEVATORS  
1/4" = 1'-0"

Code Official's Approval Stamp



Project Number: 794803-CK, DOWH-CK-01488

Sheet Title

SECTION

Date

FEBRUARY 3, 2025

Sheet Number

A504



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RDA BUILDING SELF-STORAGE  
800 MAYNARD AVE S  
SEATTLE, WA 98134

Designer's Stamp

7236 REGISTERED ARCHITECT  
DAVID NEIMAN  
STATE OF WASHINGTON

No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL



1 WEST ELEVATION - DEMOLITION  
1/4\" = 1'-0"

DEMOLITION NOTES

- WHERE LIGHT FIXTURE IS INDICATED AS DEMOLISHED, ALSO REMOVE ASSOCIATED SURFACE MOUNTED JUNCTION BOX, SURFACE MOUNTED CONDUIT, AND MOUNTING STRUTS. PATCH HOLES IN CONCRETE LEFT BY ANCHORS.

GENERAL NOTES

- NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.
- EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
- SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
- SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
- SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

Code Official's Approval Stamp

Project Number: 794803-CK, DOWH-CK-01488

Sheet Title  
DEMOLITION ELEVATION - WEST

Date: FEBRUARY 3, 2025  
Sheet Number

A601

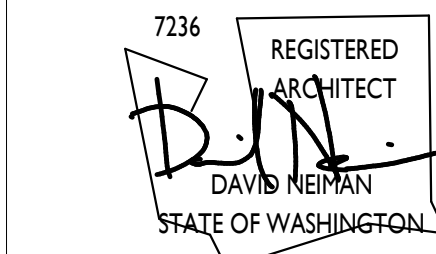


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APPROVAL

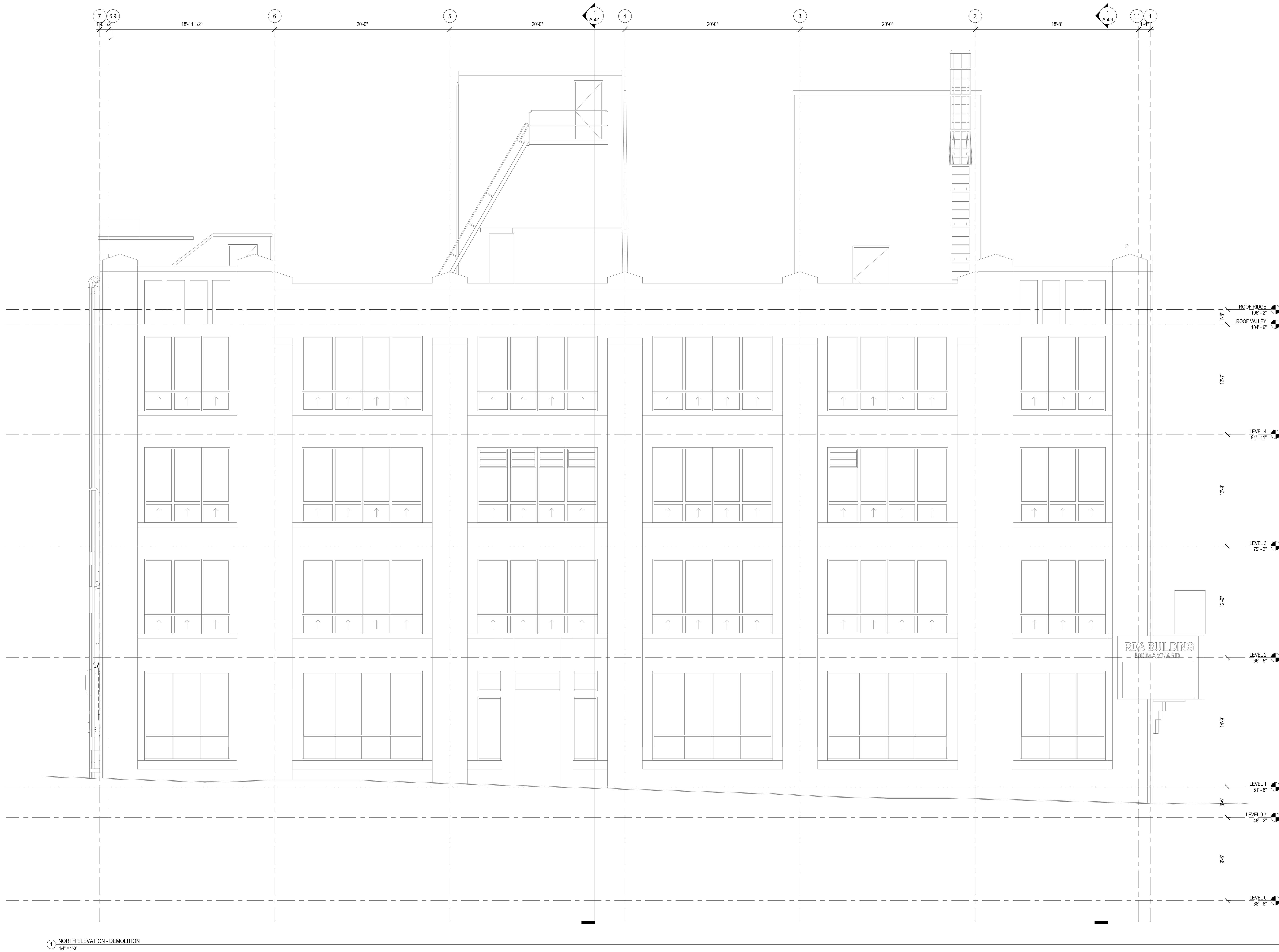
TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE

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SEATTLE, WA 98134

Designer's Stamp



No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL



1 NORTH ELEVATION - DEMOLITION  
1/4" = 1'-0"

DEMOLITION NOTES

- WHERE LIGHT FIXTURE IS INDICATED AS DEMOLISHED, ALSO REMOVE ASSOCIATED SURFACE MOUNTED JUNCTION BOX, SURFACE MOUNTED CONDUIT, AND MOUNTING STRUTS. PATCH HOLES IN CONCRETE LEFT BY ANCHORS.

GENERAL NOTES

- NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.
- EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
- SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
- SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
- SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

Code Official's Approval Stamp

Project Number: 794803-CK, DOWH-CK-01488

Sheet Title

DEMOLITION ELEVATION - NORTH

Date

FEBRUARY 3, 2025

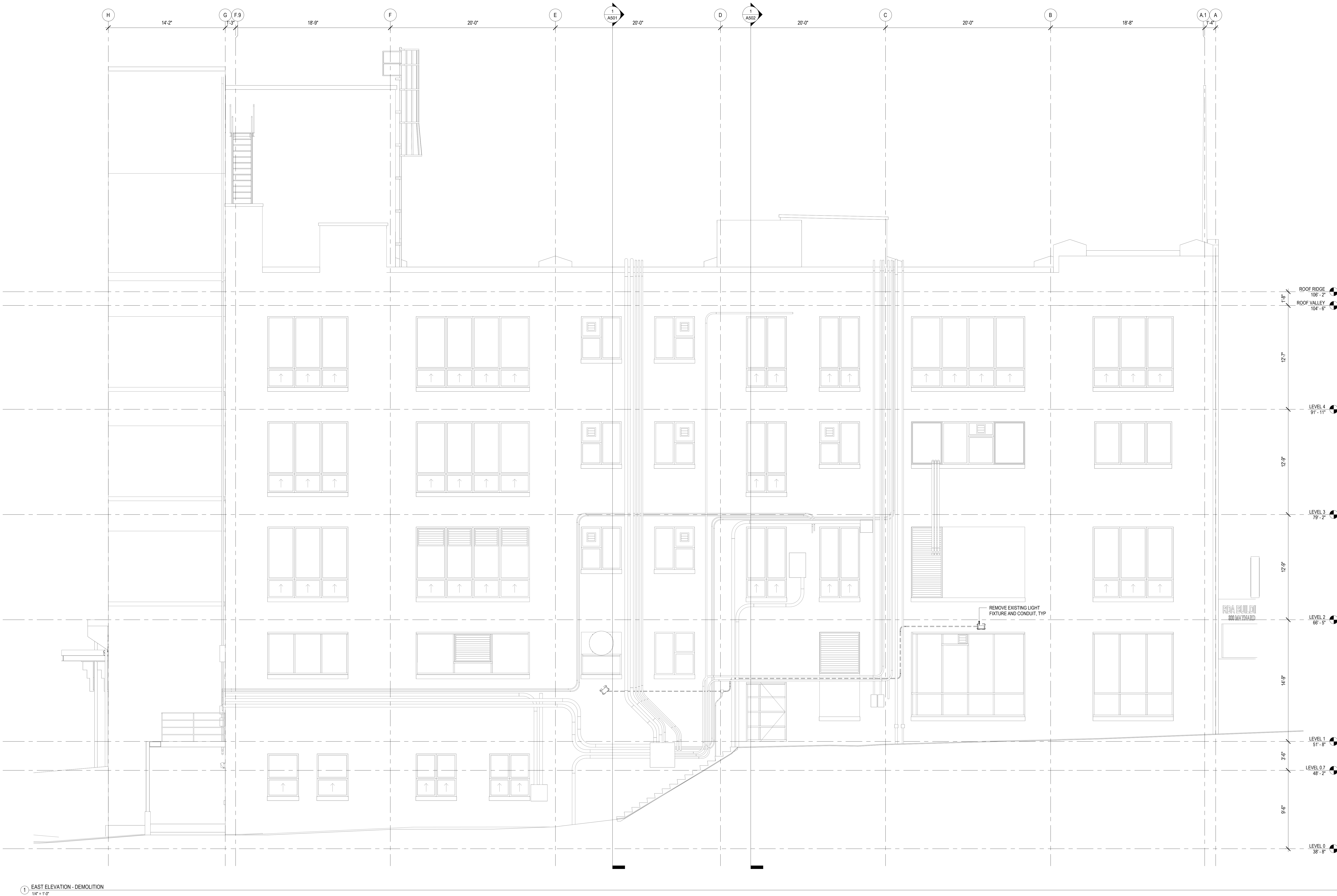
Sheet Number

A602



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APPROVAL  
TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE  
800 MAYNARD AVE S  
SEATTLE, WA 98134

Designer's Stamp		
<div>7236 REGISTERED ARCHITECT D.N. NEIMAN DAVID NEIMAN STATE OF WASHINGTON</div>		
No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL

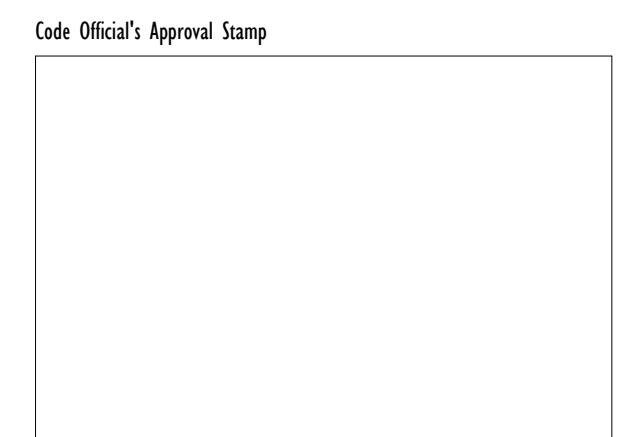


DEMOLITION NOTES

- WHERE LIGHT FIXTURE IS INDICATED AS DEMOLISHED, ALSO REMOVE ASSOCIATED SURFACE MOUNTED JUNCTION BOX, SURFACE MOUNTED CONDUIT, AND MOUNTING STRUTS. PATCH HOLES IN CONCRETE LEFT BY ANCHORS.

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- SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
- SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
- SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.



Project Numbers: 7946035-CK, D096-CK-01488

Sheet Title

DEMOLITION ELEVATION - EAST

Date: FEBRUARY 3, 2025  
Sheet Number

A603

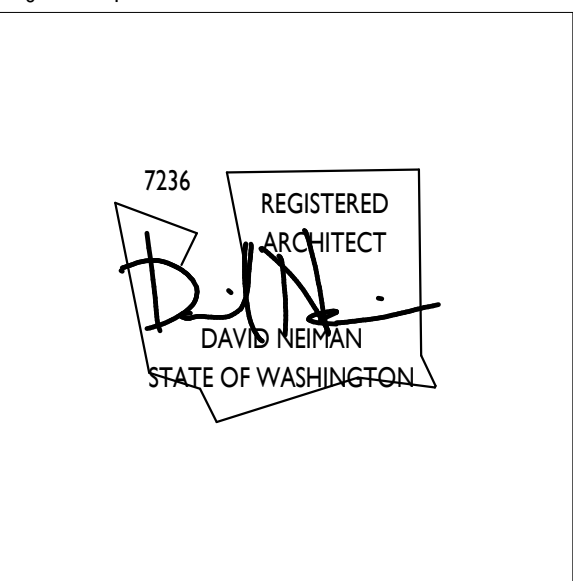


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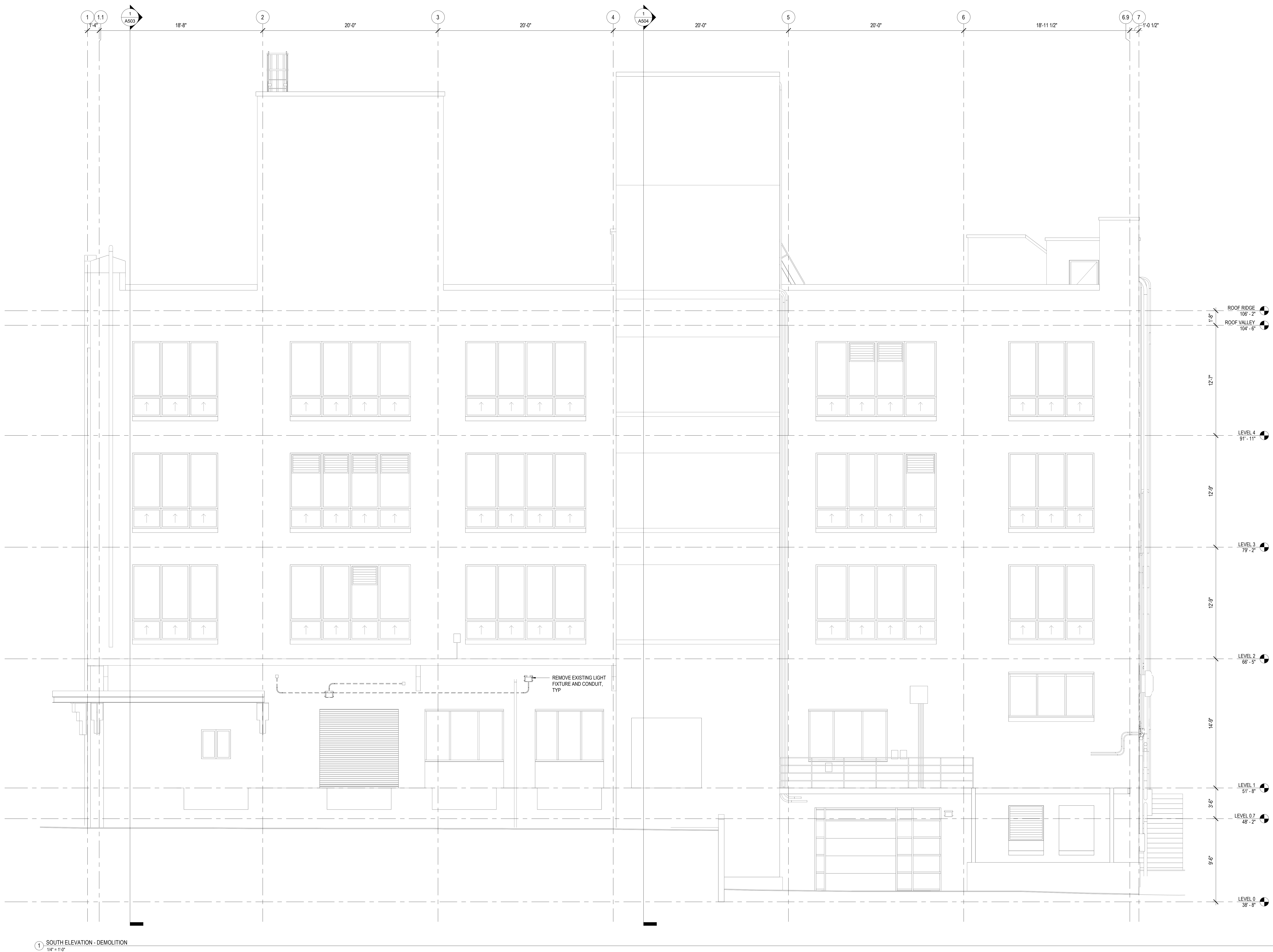
TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE

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No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL



1 SOUTH ELEVATION - DEMOLITION  
1/4" = 1'-0"

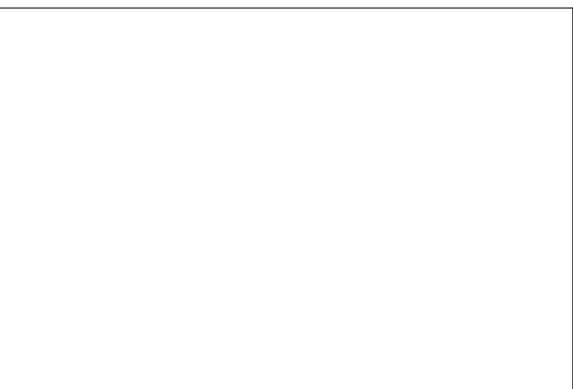
DEMOLITION NOTES

- WHERE LIGHT FIXTURE IS INDICATED AS DEMOLISHED, ALSO REMOVE ASSOCIATED SURFACE MOUNTED JUNCTION BOX, SURFACE MOUNTED CONDUIT, AND MOUNTING STRUTS. PATCH HOLES IN CONCRETE LEFT BY ANCHORS.

GENERAL NOTES

- NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.
- EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
- SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
- SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
- SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

Code Official's Approval Stamp



Project Number: 7948035-CK, DOWH-CK-04-01480

Sheet Title

DEMOLITION ELEVATION - SOUTH

Date

FEBRUARY 3, 2025

Sheet Number

A604

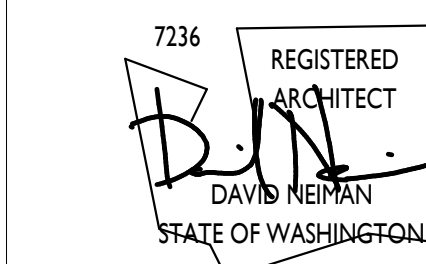


CERTIFICATE OF  
APPROVAL

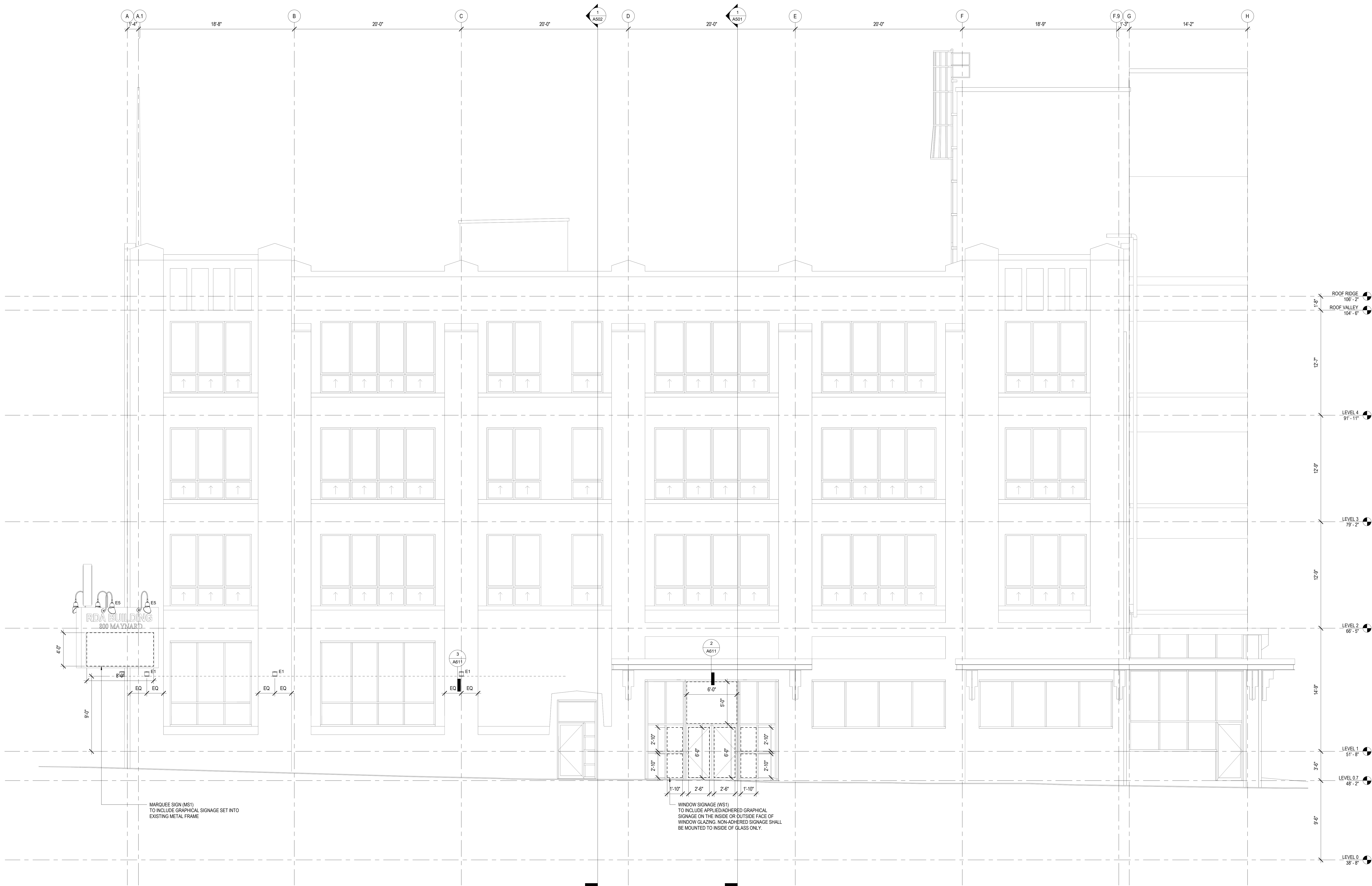
TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE

800 MAYNARD AVE S  
SEATTLE, WA 98134

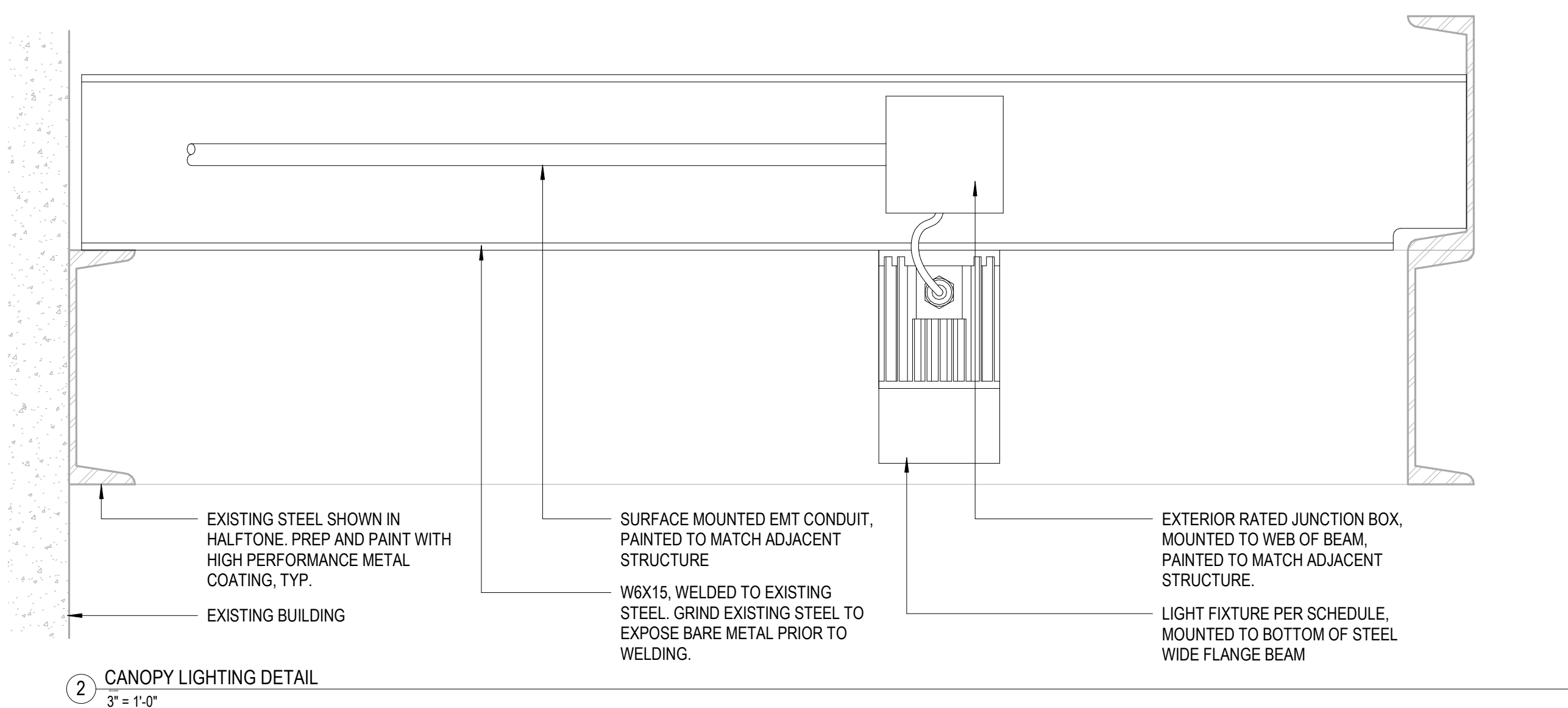
Designer's Stamp



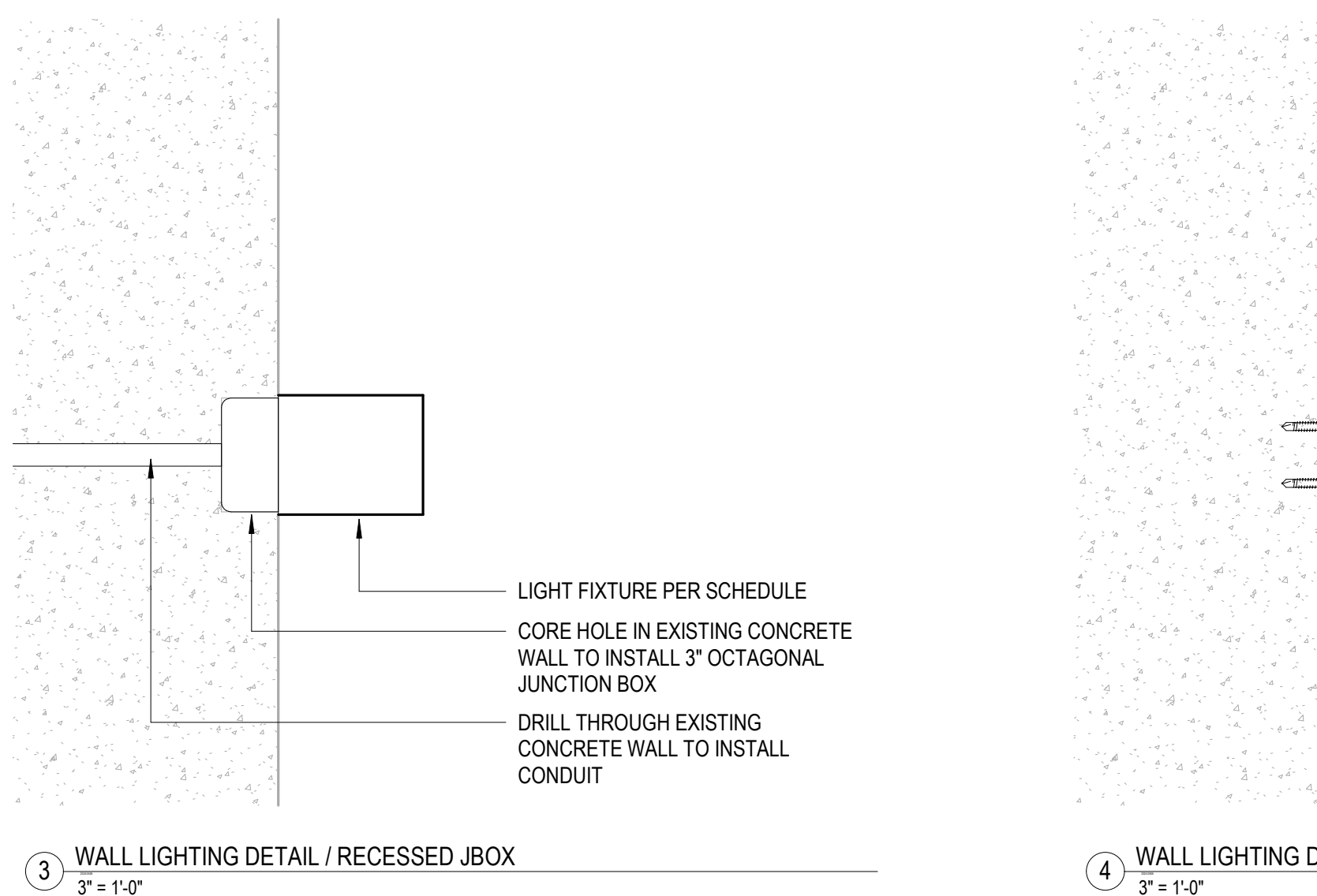
No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL



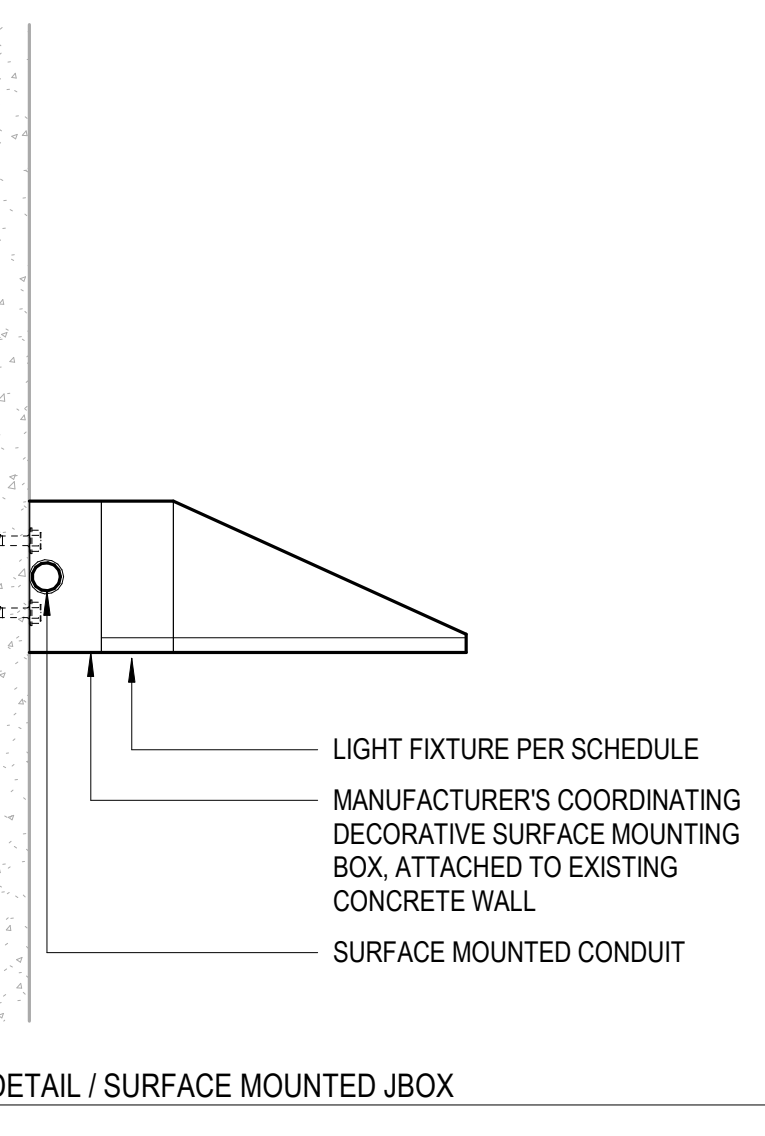
1 WEST ELEVATION  
1/4" = 1'-0"



2 CANOPY LIGHTING DETAIL  
3/4" = 1'-0"



3 WALL LIGHTING DETAIL / RECESSED JBOX  
3/4" = 1'-0"



4 WALL LIGHTING DETAIL / SURFACE MOUNTED JBOX  
3/4" = 1'-0"

LIGHTING AND SIGNAGE NOTES

- LOCATIONS OF POSSIBLE SIGNAGE SHOWN DASHED. SPECIFIC SIGNAGE DESIGNS ARE NOT PROPOSED FOR THESE AREAS. TYPE OF SIGNAGE THAT COULD BE INSTALLED IS DESCRIBED IN GENERAL TERMS.
- SEE A400 FOR LUMINAIRE SCHEDULE.
- ALL WALL MOUNTED LIGHTING DIMENSIONED IN ELEVATION. SEE REFLECTED CEILING PLANS FOR DIMENSIONS FOR LOCATING CEILING AND CANOPY MOUNTED LIGHTING.
- PROVIDE MANUFACTURER'S COORDINATING DECORATIVE SURFACE MOUNTING BOX IN LIEU OF JUNCTION BOX FOR ALL EXTERIOR WALL MOUNTED FIXTURES.

GENERAL NOTES

- NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.
- EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTATIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
- SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
- SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
- SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

Code Official's Approval Stamp

Project Numbers: 7948035-CK, D094-004-01488

Sheet Title

ELEVATION - WEST

Date

FEBRUARY 3, 2025

Sheet Number

A611



CERTIFICATE OF  
APPROVAL

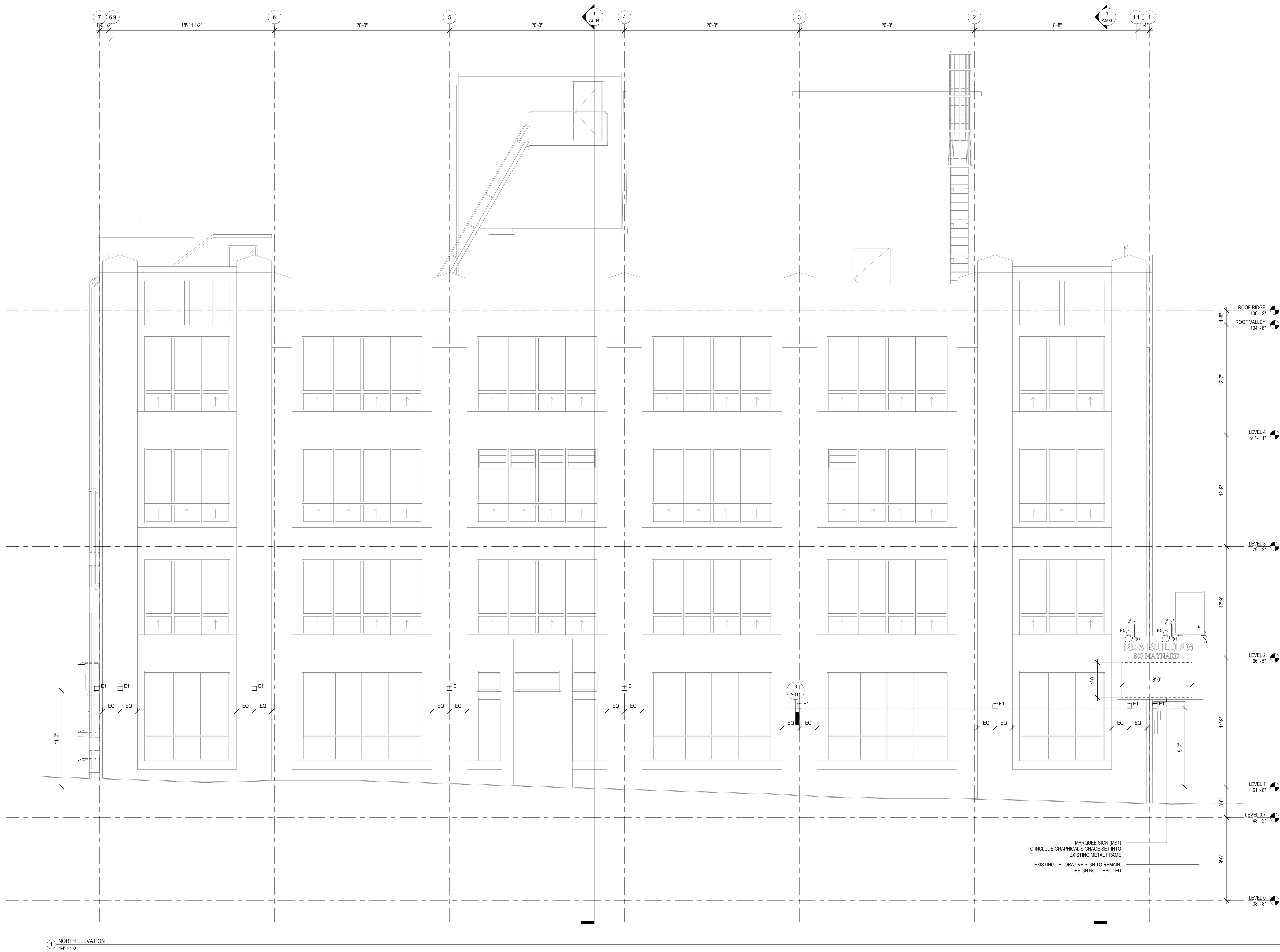
TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE

800 MAYNARD AVE S  
SEATTLE, WA 98134

Designer's Stamp



No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL



1 NORTH ELEVATION  
1/4" = 1'-0"

LIGHTING AND SIGNAGE NOTES

- LOCATIONS OF POSSIBLE SIGNAGE SHOWN DASHED. SPECIFIC SIGNAGE DESIGNS ARE NOT PROPOSED FOR THESE AREAS. TYPE OF SIGNAGE THAT COULD BE INSTALLED IS DESCRIBED IN GENERAL TERMS.
- SEE A400 FOR LUMINAIRE SCHEDULE.
- ALL WALL MOUNTED LIGHTING DIMENSIONED IN ELEVATION. SEE REFLECTED CEILING PLANS FOR DIMENSIONS FOR LOCATING CEILING AND CANOPY MOUNTED LIGHTING.
- PROVIDE MANUFACTURER'S COORDINATING DECORATIVE SURFACE MOUNTING BOX IN LIEU OF JUNCTION BOX FOR ALL EXTERIOR WALL MOUNTED FIXTURES.

GENERAL NOTES

- NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.
- EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
- SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
- SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
- SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

Code Official's Approval Stamp



Project Numbers: 7948035-CK, D09H-COA-01488

Sheet Title

ELEVATION - NORTH

Date

FEBRUARY 3, 2025

Sheet Number

A612

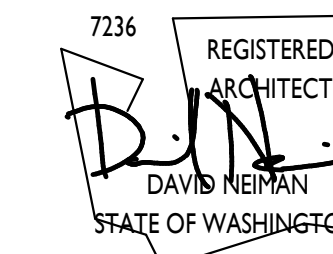


CERTIFICATE OF  
APPROVAL

TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE

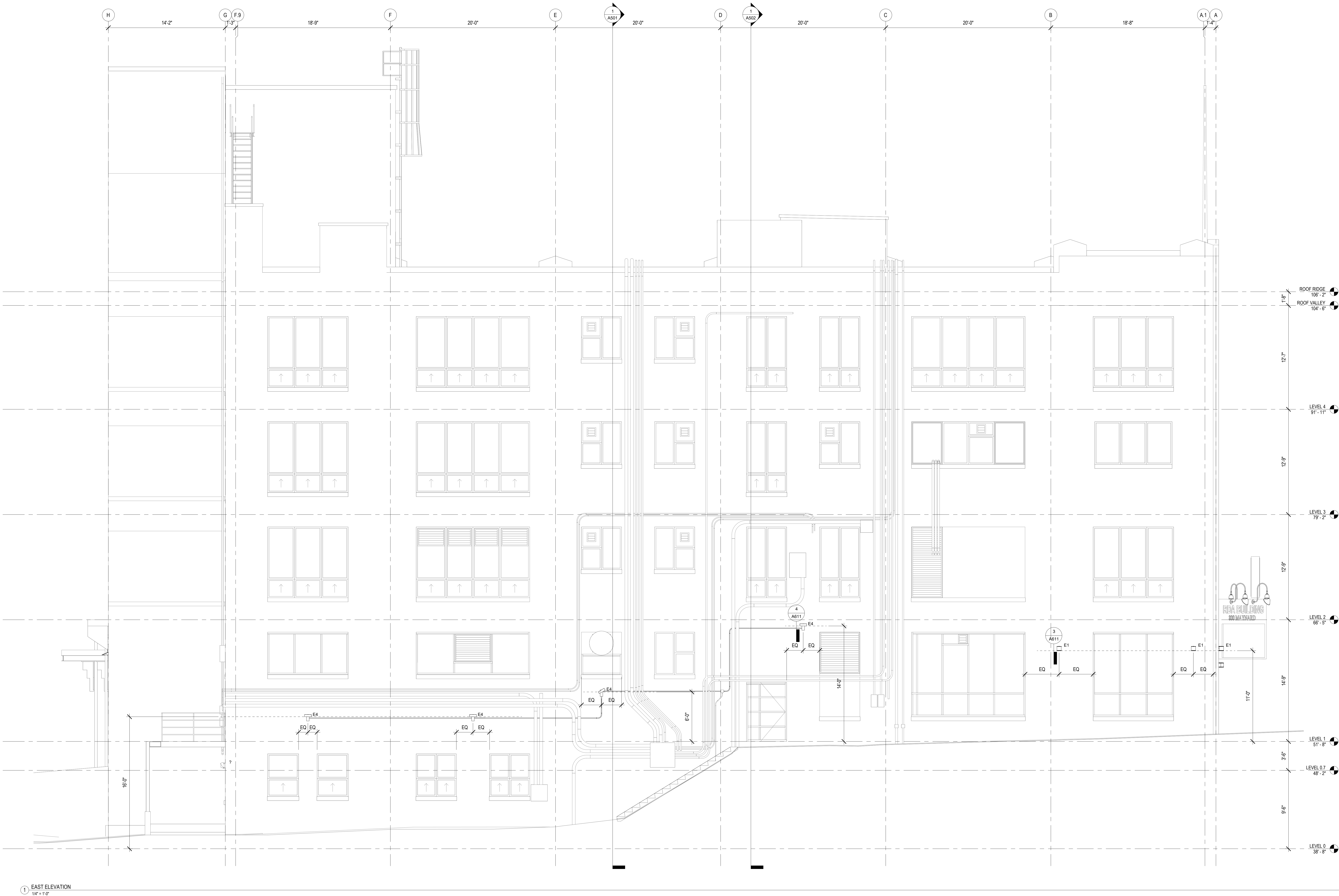
800 MAYNARD AVE S  
SEATTLE, WA 98134

Designer's Stamp



No. Date Revision

2/3/2025 CERTIFICATE OF APPROVAL



LIGHTING AND SIGNAGE NOTES

- LOCATIONS OF POSSIBLE SIGNAGE SHOWN DASHED. SPECIFIC SIGNAGE DESIGNS ARE NOT PROPOSED FOR THESE AREAS. TYPE OF SIGNAGE THAT COULD BE INSTALLED IS DESCRIBED IN GENERAL TERMS.
- SEE A400 FOR LUMINAIRE SCHEDULE.
- ALL WALL MOUNTED LIGHTING DIMENSIONED IN ELEVATION. SEE REFLECTED CEILING PLANS FOR DIMENSIONS FOR LOCATING CEILING AND CANOPY MOUNTED LIGHTING.
- PROVIDE MANUFACTURER'S COORDINATING DECORATIVE SURFACE MOUNTING BOX IN LIEU OF JUNCTION BOX FOR ALL EXTERIOR WALL MOUNTED FIXTURES.

GENERAL NOTES

- NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.
- EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
- SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
- SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
- SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

Code Official's Approval Stamp

Project Numbers: 7948035-CK, DOWH-CKA-01488

Sheet Title

ELEVATION - EAST

Date

Sheet Number

FEBRUARY 3, 2025

A613

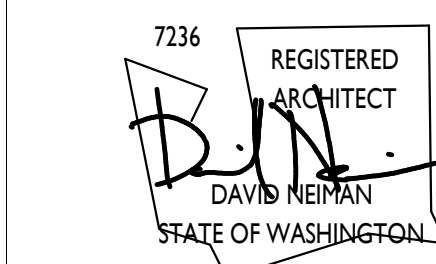


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APPROVAL

TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE

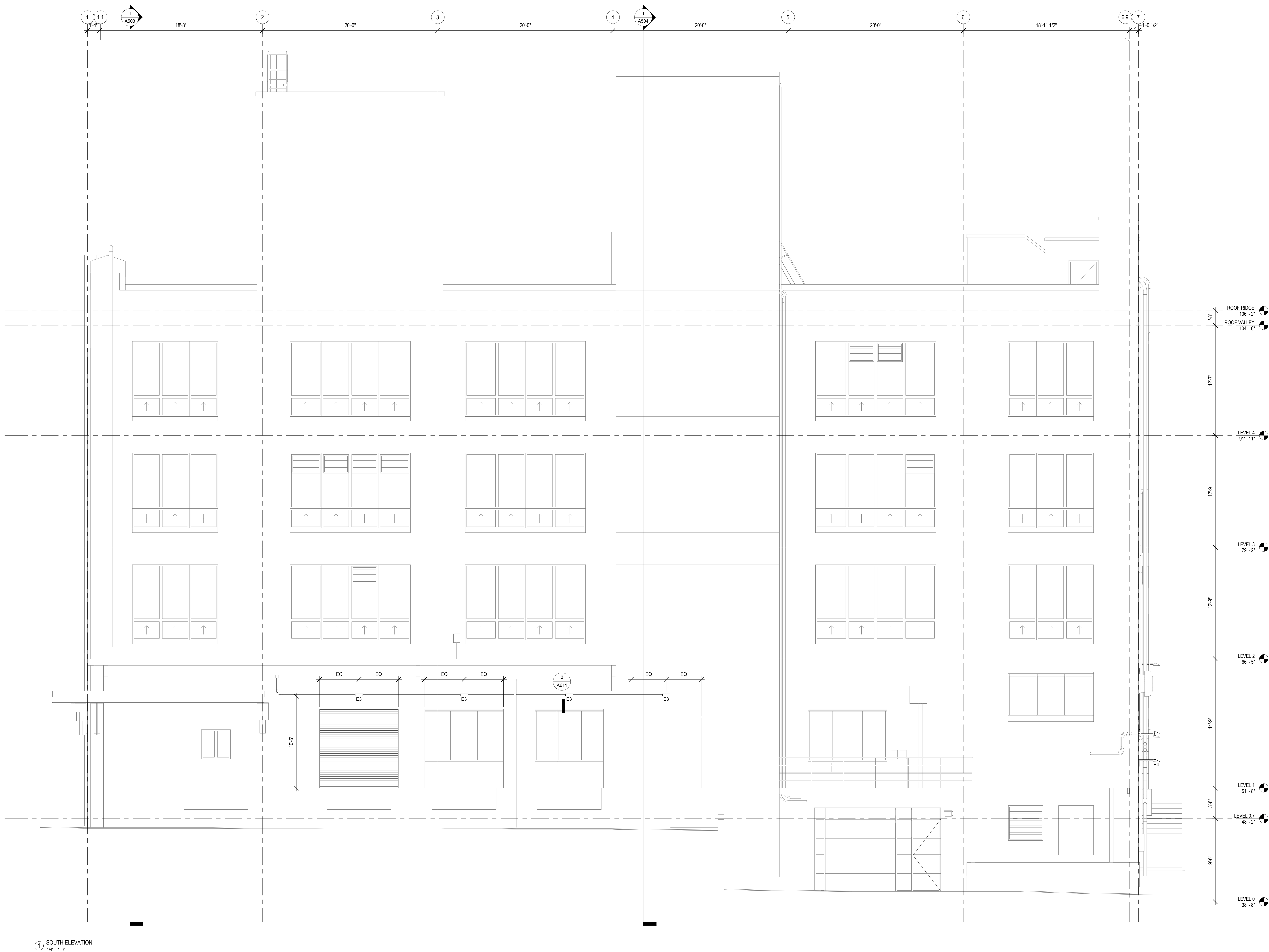
800 MAYNARD AVE S  
SEATTLE, WA 98134

Designer's Stamp



No. Date Revision

2/3/2025 CERTIFICATE OF APPROVAL



1 SOUTH ELEVATION  
1/4" = 1'-0"

LIGHTING AND SIGNAGE NOTES

- LOCATIONS OF POSSIBLE SIGNAGE SHOWN DASHED. SPECIFIC SIGNAGE DESIGNS ARE NOT PROPOSED FOR THESE AREAS. TYPE OF SIGNAGE THAT COULD BE INSTALLED IS DESCRIBED IN GENERAL TERMS.
- SEE A400 FOR LUMINAIRE SCHEDULE.
- ALL WALL MOUNTED LIGHTING DIMENSIONED IN ELEVATION. SEE REFLECTED CEILING PLANS FOR DIMENSIONS FOR LOCATING CEILING AND CANOPY MOUNTED LIGHTING.
- PROVIDE MANUFACTURER'S COORDINATING DECORATIVE SURFACE MOUNTING BOX IN LIEU OF JUNCTION BOX FOR ALL EXTERIOR WALL MOUNTED FIXTURES.

GENERAL NOTES

- NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.
- EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTATIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
- SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
- SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
- SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

Code Official's Approval Stamp

Project Number: 7948035-CK, DOWH-CK-04-01488

Sheet Title

ELEVATION - SOUTH

Date

FEBRUARY 3, 2025

Sheet Number

A614

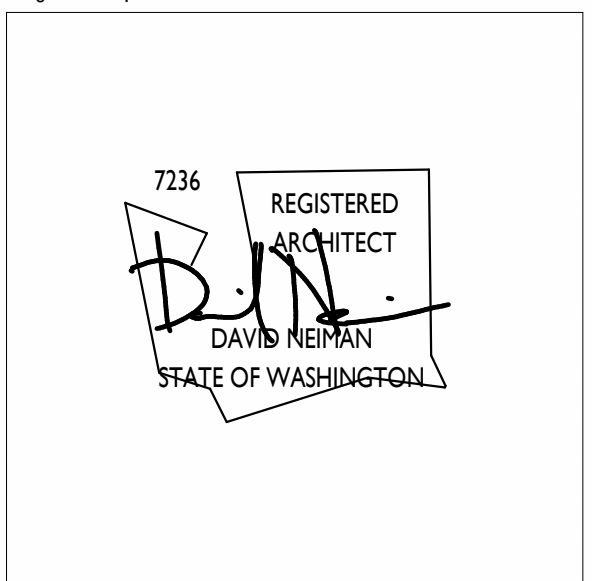


CERTIFICATE OF  
APPROVAL

TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE

800 MAYNARD AVE S  
SEATTLE, WA 98134

Designer's Stamp



No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL



1 WEST ELEVATION - COLORED  
1/4" = 1'-0"

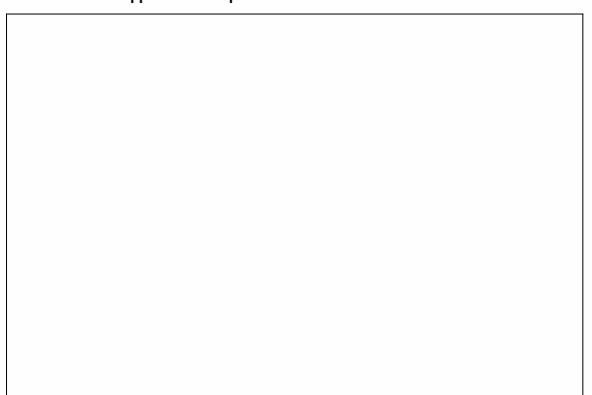
KEYNOTES	
KEY	NOTE
9.00.01	DO NOT PAINT VINYL WINDOW
9.02.01	STANDPIPE AND SUPPORTS TO BE PAINTED PT-2, DO NOT PAINT VALVES
9.02.02	METAL LADDER TO BE PAINTED PT-2
9.03.01	PARAPET COPING TO BE PAINTED PT-3
9.03.02	BORDER OF DECORATIVE FACADE RECESS TO BE PAINTED PT-3
9.03.03	SLAB EDGE AND METAL DRAIN EDGE TO BE PAINTED PT-3
9.03.04	STOREFRONT MULLIONS AND ENTRY DOOR FRAMES TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.05	SIGNAGE LETTERING TO BE PAINTED PT-3
9.03.06	FLAGPOLE TO BE PAINTED PT-3
9.04.01	WELDED STEEL CANOPY (INCLUDING NEW WIDE FLANGE BEAMS, CONDUITS, AND JUNCTION BOXES) TO BE PAINTED PT-4
9.04.02	MARQUEE SIGN BODY TO BE PAINTED PT-4

MATERIAL LEGEND	
	PT-2 COLOR: BENJAMIN MOORE IRON MOUNTAIN 2134-30
	PT-3 COLOR: BENJAMIN MOORE BLACK BEAUTY 2128-10
	PT-4 COLOR: BENJAMIN MOORE SHY CHERRY 2007-20

PAINTING NOTES	
1.	ALL EXTERIOR CONCRETE SURFACES TO BE PAINTED PT-2 UNLESS NOTED OTHERWISE. EXCEPTIONS: INSIDE FACES OF PARAPETS

GENERAL NOTES	
1.	NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.
2.	EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
3.	SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
4.	SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
5.	SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

Code Official's Approval Stamp



Project Numbers: 7948035-CK, D096-C04-01488

Sheet Title

COLORED ELEVATION - WEST

Date

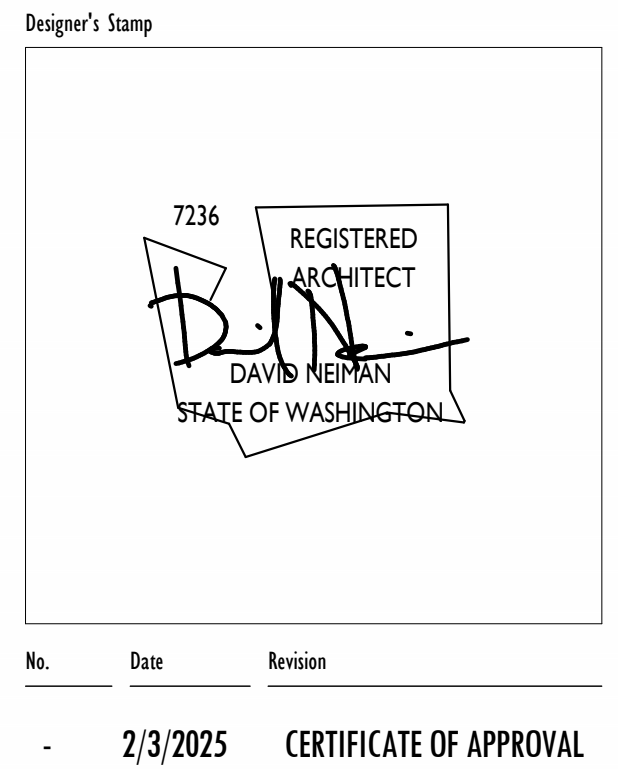
FEBRUARY 3, 2025

Sheet Number

A621



CERTIFICATE OF  
APPROVAL  
TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE  
800 MAYNARD AVE S  
SEATTLE, WA 98134



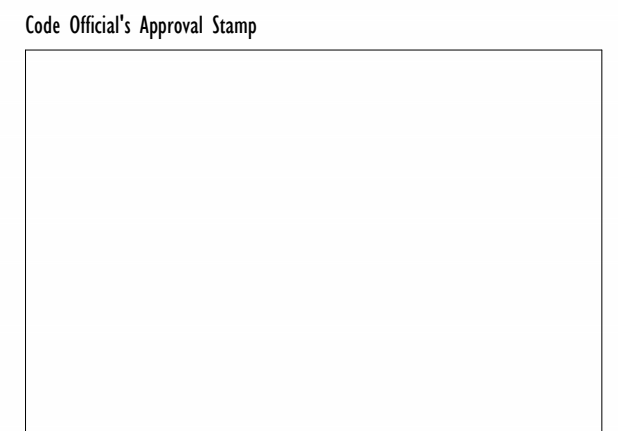
1 NORTH ELEVATION - COLORED  
1/4" = 1'-0"

KEYNOTES	
KEY	NOTE
9.00.01	DO NOT PAINT VINYL WINDOW
9.02.02	DO NOT PAINT LOUVER
9.02.02	METAL LADDER TO BE PAINTED PT-2
9.02.03	DOOR AND FRAME TO BE PAINTED PT-2 (EXTERIOR SIDE ONLY)
9.03.01	PARAPET COPING TO BE PAINTED PT-3
9.03.02	BORDER OF DECORATIVE FACADE RECESS TO BE PAINTED PT-3
9.03.03	SLAB EDGE AND METAL DRIP EDGE TO BE PAINTED PT-3
9.03.04	STOREFRONT MULLIONS AND ENTRY DOOR FRAMES TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.05	SIGNAGE LETTERING TO BE PAINTED PT-3
9.03.06	FLAGPOLE TO BE PAINTED PT-3
9.04.02	MARQUEE SIGN BODY TO BE PAINTED PT-4

MATERIAL LEGEND	
	PT-2 COLOR: BENJAMIN MOORE IRON MOUNTAIN 2134-30
	PT-3 COLOR: BENJAMIN MOORE BLACK BEAUTY 2128-10
	PT-4 COLOR: BENJAMIN MOORE SHY CHERRY 2007-20

PAINTING NOTES	
1.	ALL EXTERIOR CONCRETE SURFACES TO BE PAINTED PT-2 UNLESS NOTED OTHERWISE. EXCEPTIONS: INSIDE FACES OF PARAPETS

GENERAL NOTES	
1.	NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.
2.	EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
3.	SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
4.	SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
5.	SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.



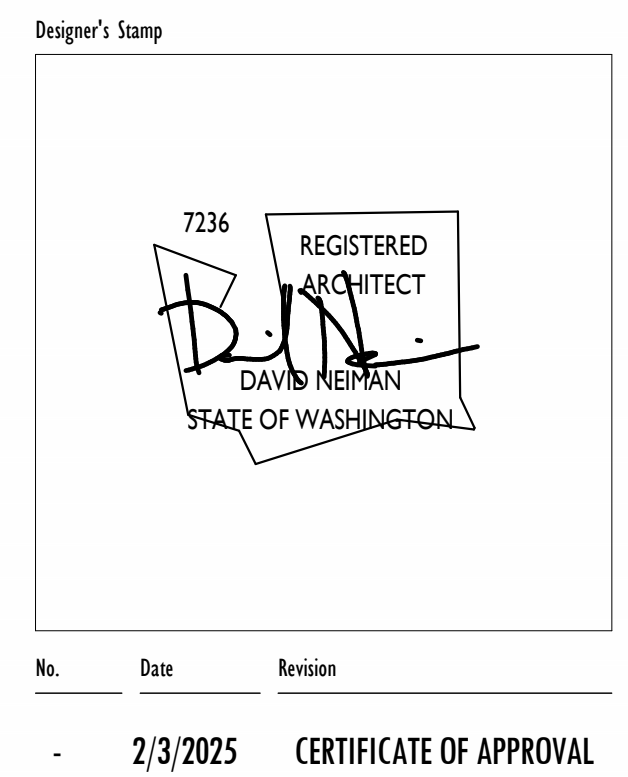
Sheet Title  
COLORED ELEVATION - NORTH

Date  
Sheet Number

FEBRUARY 3, 2025  
A622



CERTIFICATE OF  
APPROVAL  
TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE  
800 MAYNARD AVE S  
SEATTLE, WA 98134



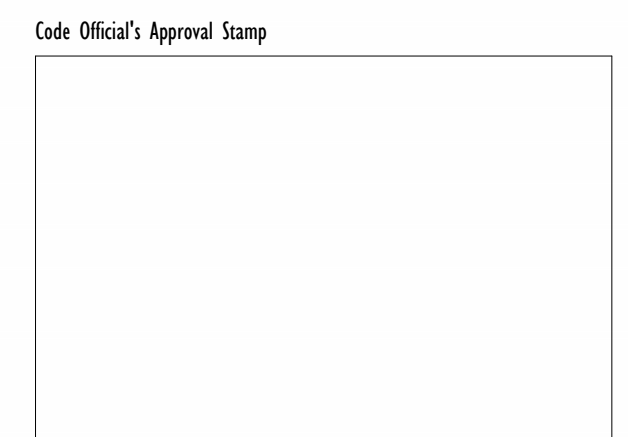
1 EAST ELEVATION - COLORED  
1/4" = 1'-0"

KEYNOTES	
KEY	NOTE
9.00.01	DO NOT PAINT VINYL WINDOW
9.00.02	DO NOT PAINT UPBLAST FAN
9.00.03	METAL LADDER TO BE PAINTED PT-2
9.02.04	LOUVER TO BE PAINTED PT-2 (EXTERIOR SIDE ONLY)
9.02.05	PIPING TO BE PAINTED PT-2
9.02.06	CONDUIT AND ASSOCIATE ELECTRICAL BOXES TO BE PAINTED PT-2
9.03.01	PARAPET COPING TO BE PAINTED PT-3
9.03.03	SLAB EDGE AND METAL DRIP EDGE TO BE PAINTED PT-3
9.03.04	STOREFRONT MILLIONS AND ENTRY DOOR FRAMES TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.06	FLAGPOLE TO BE PAINTED PT-3
9.03.07	STEEL STRUCTURE TO BE PAINTED PT-3
9.03.08	GUARD RAIL BALUSTERS AND RAILS TO BE PAINTED PT-3
9.03.12	LOUVER TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)

MATERIAL LEGEND	
	PT-2 COLOR: BENJAMIN MOORE IRON MOUNTAIN 2134-30
	PT-3 COLOR: BENJAMIN MOORE BLACK BEAUTY 2128-10
	PT-4 COLOR: BENJAMIN MOORE SHY CHERRY 2007-20

PAINTING NOTES	
1.	ALL EXTERIOR CONCRETE SURFACES TO BE PAINTED PT-2 UNLESS NOTED OTHERWISE. EXCEPTIONS: INSIDE FACES OF PARAPETS

GENERAL NOTES	
1.	NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.
2.	EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
3.	SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
4.	SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
5.	SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.



Sheet Title  
COLORED ELEVATION - EAST

Date: FEBRUARY 3, 2025  
Sheet Number

A623



**CERTIFICATE OF  
APPROVAL**

**TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE**

**800 MAYNARD AVE S  
SEATTLE, WA 98134**

Designer's Stamp

7236

REGISTERED  
ARCHITECT

**D.N.**

DAVID NORMAN

STATE OF WASHINGTON

No.	Date	Revision
-	2/3/2005	CERTIFICATE OF APPROVAL



1 SOUTH ELEVATION - COLORED  
1/4" = 1'-0"

KEYNOTES	
KEY	NOTE
9.00.01	DO NOT PAINT VINYL WINDOW
9.00.01	DO NOT PAINT LOUVER
9.00.01	STANDPIPE AND SUPPORTS TO BE PAINTED PT.2. DO NOT PAINT VALVES
9.00.02	METAL LADEER TO BE PAINTED PT-2
9.00.04	LOUVER TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.00.05	PIPING TO BE PAINTED PT-2
9.02.06	CONDUIT AND ASSOCIATE ELECTRICAL BOXES TO BE PAINTED PT-3
9.03.01	PARAPET COPING TO BE PAINTED PT-3
9.03.02	SLAB EDGE AND METAL DRIP EDGE TO BE PAINTED PT-3
9.03.04	STOPEPOST METAL AND ENTRY DOOR FRAMES TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.07	STEEL STRUCTURE TO BE PAINTED PT-3
9.03.08	GUARD RAIL BALUSTERS AND RAILS TO BE PAINTED PT-3
9.03.09	SECTIONAL DOOR TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.10	FREIGHT ELEVATOR DOOR TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.11	COILING DOOR TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.03.13	VINYL WINDOW TO BE PAINTED PT-3 (EXTERIOR SIDE ONLY)
9.04.01	PAINTED STEEL COLUMN, BRACKET, AND ENTRY DOOR FRAME BEAMS, CONDUITS, AND JUNCTION BOXES TO BE PAINTED PT-4

## MATERIAL LEGEND

PT-2  
COLOR: BENJAMIN MOORE IRON MOUNTAIN 2128-30

PT-3  
COLOR: BENJAMIN MOORE BLACK BEAUTY 2128-10

PT-4  
COLOR: BENJAMIN MOORE SHY CHERRY 2007-20

## PAINTING NOTES

1. ALL EXTERIOR CONCRETE SURFACES TO BE PAINTED PT-2 UNLESS NOTED OTHERWISE. EXCEPTIONS: INSIDE FACES OF PARAPETS

### GENERAL NOTES

1. NO CHANGES PROPOSED TO BUILDING THERMAL ENVELOPE.
2. EXISTING EXTERIOR MECHANICAL EQUIPMENT AND CELLULAR EQUIPMENT NOT SHOWN. EXISTING WALL MOUNTED CONDUIT SHOWN NOTIONALLY IN ORDER TO CONVEY ARCHITECTURAL IMPACT OF THESE ELEMENTS.
3. SEE A600 SERIES DEMOLITION ELEVATIONS FOR EXTENTS OF DEMOLITION SCOPE.
4. SEE A610 SERIES ELEVATIONS FOR LIGHTING AND SIGNAGE LOCATIONS.
5. SEE A620 SERIES COLORED ELEVATIONS FOR EXTERIOR PAINTING SCOPE.

Code Official's Approval Stamp

Sheet Title

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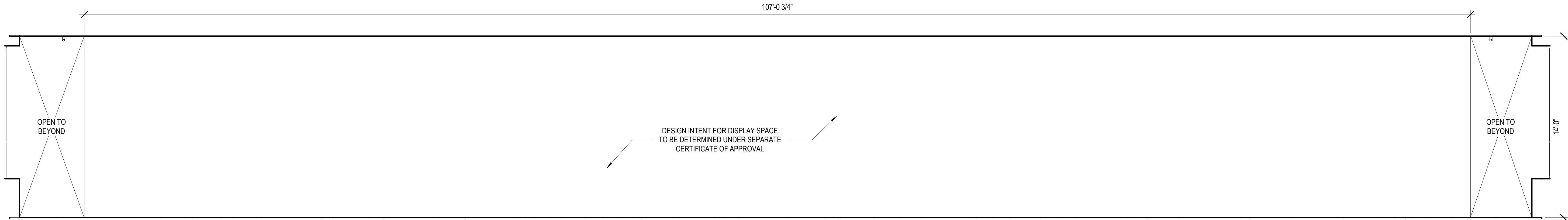
COLORED ELEVATION - SOUTH

Date FEBRUARY 3, 2025

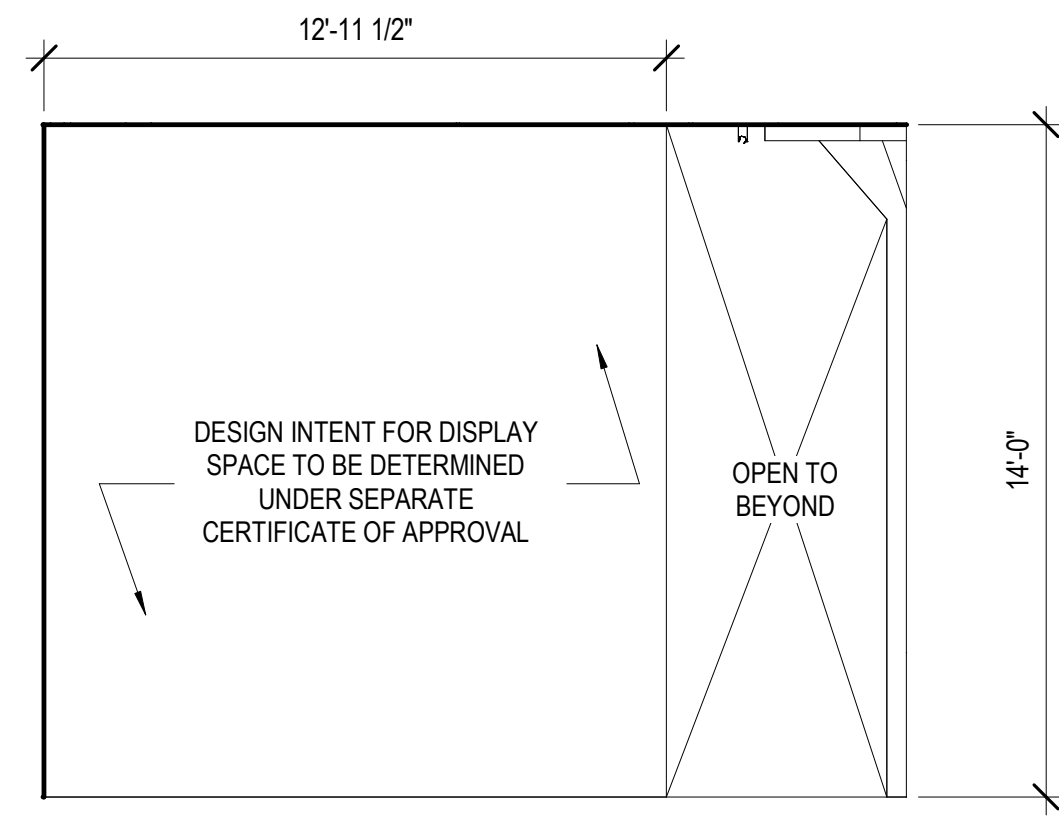
Sheet Number

A624

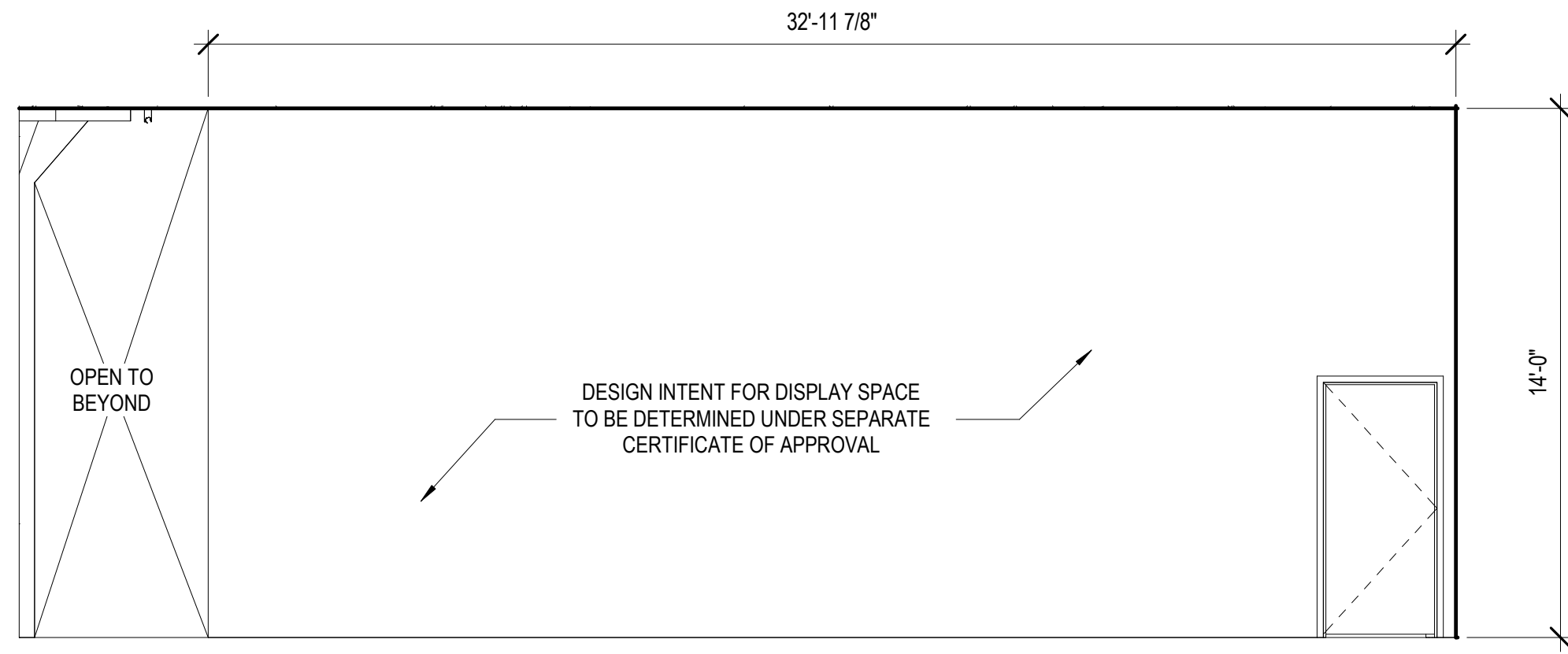




1 DISPLAY SPACE - LOOKING SOUTH  
1/4" = 1'-0"



2 DISPLAY SPACE LOOKING WEST  
1/4" = 1'-0"

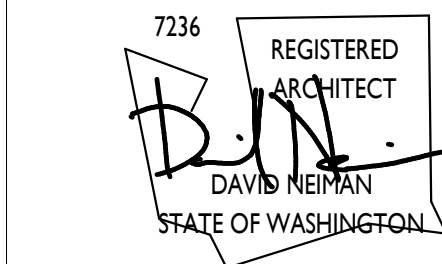


3 DISPLAY SPACE - LOOKING EAST  
1/4" = 1'-0"

**CERTIFICATE OF  
APPROVAL**

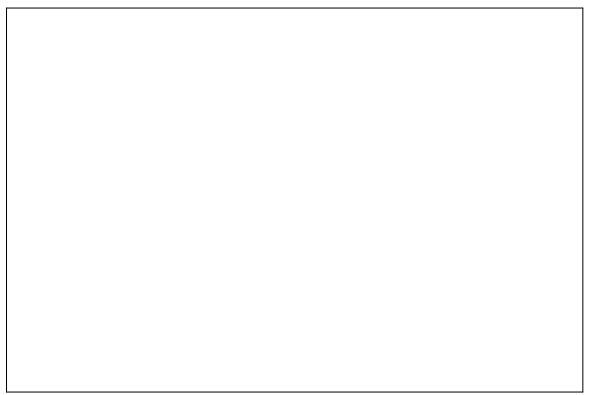
**TOURBINEAU REAL ESTATE  
RDA BUILDING SELF-STORAGE**  
800 MAYNARD AVE S  
SEATTLE, WA 98134

Designer's Stamp



No.	Date	Revision
-	2/3/2025	CERTIFICATE OF APPROVAL

Code Official's Approval Stamp



Project Numbers: 7946035-CK, DOWH-CK-01480

Sheet Title

**ENLARGED ELEVATIONS**

Date

FEBRUARY 3, 2025

Sheet Number

**A701**