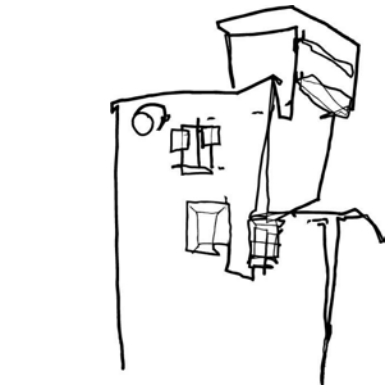


PREVIOUSLY INSTALLED SIGN BOARD  
AND BUSINESS SIGNAGE



NEW BUSINESS SIGNAGE ON EXISTING  
SIGN BOARD



SWOOSE STUDIO  
16044 33RD AVE NE  
LAKE FOREST PARK, WA

Project #: 2405 Drawn By: AF



ROAM BAR

5105 BALLARD AVE NW  
SEATTLE, WA 98107

DofN CoFA APPLICATION

ISSUE DATE: 2024.10.28  
ISSUE DESCRIPTION: DEPT. OF NEIGHBORHOOD CoFA

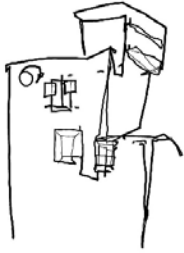
SHEET TITLE  
DofN SURVEY OF  
EXIST'G CONDITIONS

SHEET NUMBER

G005

SHEET DIMENSIONS: 22X34





## LETTER OF TRANSMITTAL

Date: November 24, 2024  
Project: Roam Bar, 5105 Ballard Ave. NW, Seattle WA  
To: Minh Chau Le, Department of Neighborhoods Board Coordinator  
From: Swoose Studio, LLC  
Re: DOHH-COA-01496, CORRECTION 1

Dear Minh Chau Le,

Please find the summary for corrections listed and responses below.

1. All visible changes associated with the new business require Landmark District Approval. Visible changes are features in the right of way, on the storefront, on the building exterior, and in the first three feet of the business interior. If there are any more new features besides the sign, please include them in the application or plan on submitting an application for them later, prior to making the changes.

The following items visible in the photos have not received Landmark District Approval: the outdoor dining structure, the weatherproofing material on the structure, the signs on the dining area railing. If you seek to keep these items, please add them to the current application by providing scale drawings, color and material details, and construction details (for the structure).

RESPONSE: The outdoor seating area was approved by the Ballard Avenue Landmark District Board in 2008, I have attached the 2008 recommendation in the permit resubmittal. The signs on the railing are not needed and are removed, and therefore not part of this application.

2. Provide the dimensions of the sign, and the dimensions of the new lettering.

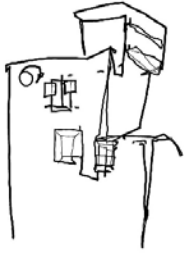
RESPONSE: The sign is 18" tall x 29" wide, made of Hemlock 1x that has been charred in character with Shou Sugi Ban wood burning technique and finished with a warm semigloss polyurethane. It is framed by black painted steel, and the letters are red painted steel. Attached in this correction submittal is a technical fabrication drawing for the lettering which has dimensions.

3. Provide photos taken from further back so more of the storefront and building can be seen, for context.

RESPONSE: Please see photos attached with this correction submittal.

4. Provide details about the wood background; is it new or is it from the previous sign? If it's new, what is the materials and the finish? What is the material for the Roam lettering? Is the Roam lettering on both sides of the sign?

RESPONSE: The framing of the sign is from the previous sign, but the wood infill and Roam signage graphic is new. It's 1x Hemlock burned in the Shou Sugi Ban technique, with a warm semigloss polyurethane finish. The letters are laser cut from 1/8" steel plate and painted red, and the Roam lettering exists on both sides of the sign. Please see photos uploaded with this round of corrections.



## LETTER OF TRANSMITTAL

Date: December 5, 2024  
Project: Roam Bar, 5105 Ballard Ave. NW, Seattle WA  
To: Minh Chau Le, Department of Neighborhoods Board Coordinator  
From: Swoose Studio, LLC  
Re: DOHH-COA-01496, CORRECTION 2

Dear Minh Chau Le,

It is understood through our communications regarding Department of Neighborhoods Certificate of Approval application DOHH-COA-01496 that a retroactive application for the patio structure that was previously approved by the board in 2008 by the Department of Neighborhoods (see uploaded approval letter) and permitted in 2013 with Seattle Department of Construction and Inspections (see uploaded permit set for permit #6381543) is required.

Please see uploaded photo documentation for the existing structure, noted documenting the materials for construction, as per request in the correspondence attached in this upload. This ten page document contains photos of both interior and exterior of the structure with detail shots of the structure.

Please feel free to reach out if you have any questions or concerns.

Thank you,

A handwritten signature in black ink, appearing to read 'Alex Fraser'.

Alex Fraser, Swoose Studio  
p. 208.691.6148  
e. [afraser@swoosestudio.com](mailto:afraser@swoosestudio.com)



CURRENT PATIO STRUCTURE, SEE SHEET A2.0 OF 2013 APPROVED PLAN SET, PERMIT # 6381543-CN

1. CANVAS AWNING COVERING
2. GLULAM BEAM, SEALED W/ CLEAR POLYURETHANE
3. STRUCTURAL HSS STEEL POST, RAW
4. PRE-2013 CONSTRUCTION, STEEL RAILING STRUCTURE W/ CEDAR RAIL CAP, SEALED W/CLEAR POLYURETHANE.
5. BLADE FIN SIGN BOARD, BLACK STEEL FRAME W/ SHOU SUGI BAN WOOD INFILL AND RED STEEL LETTERING
6. BLACK CANVAS & CLEAR PLASTIC WEATHER SCREENING



**SWOOSE STUDIO**  
16044 33RD AVE NE  
LAKE FOREST PARK, WA  
208.691.6148

**ROAM BAR**  
5105 BALLARD AVE NW  
SEATTLE, WA 98107

## DoN CofA RETROACTIVE APPLICATION

CURRENT PHOTOS OF AS BUILT CONDITIONS PER PERMIT 6381543-CN

PROJECT #: 2405

ISSUE DATE: 2024.12.05



CURRENT PATIO STRUCTURE, SEE SHEET S3 OF 2013 APPROVED PLAN SET,  
PERMIT # 6381543-CN

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4. STRUCTURAL HSS STEEL POST, RAW
5. BLACK CANVAS & CLEAR PLASTIC WEATHER SCREENING



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208.691.6148

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SEATTLE, WA 98107

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208.691.6148

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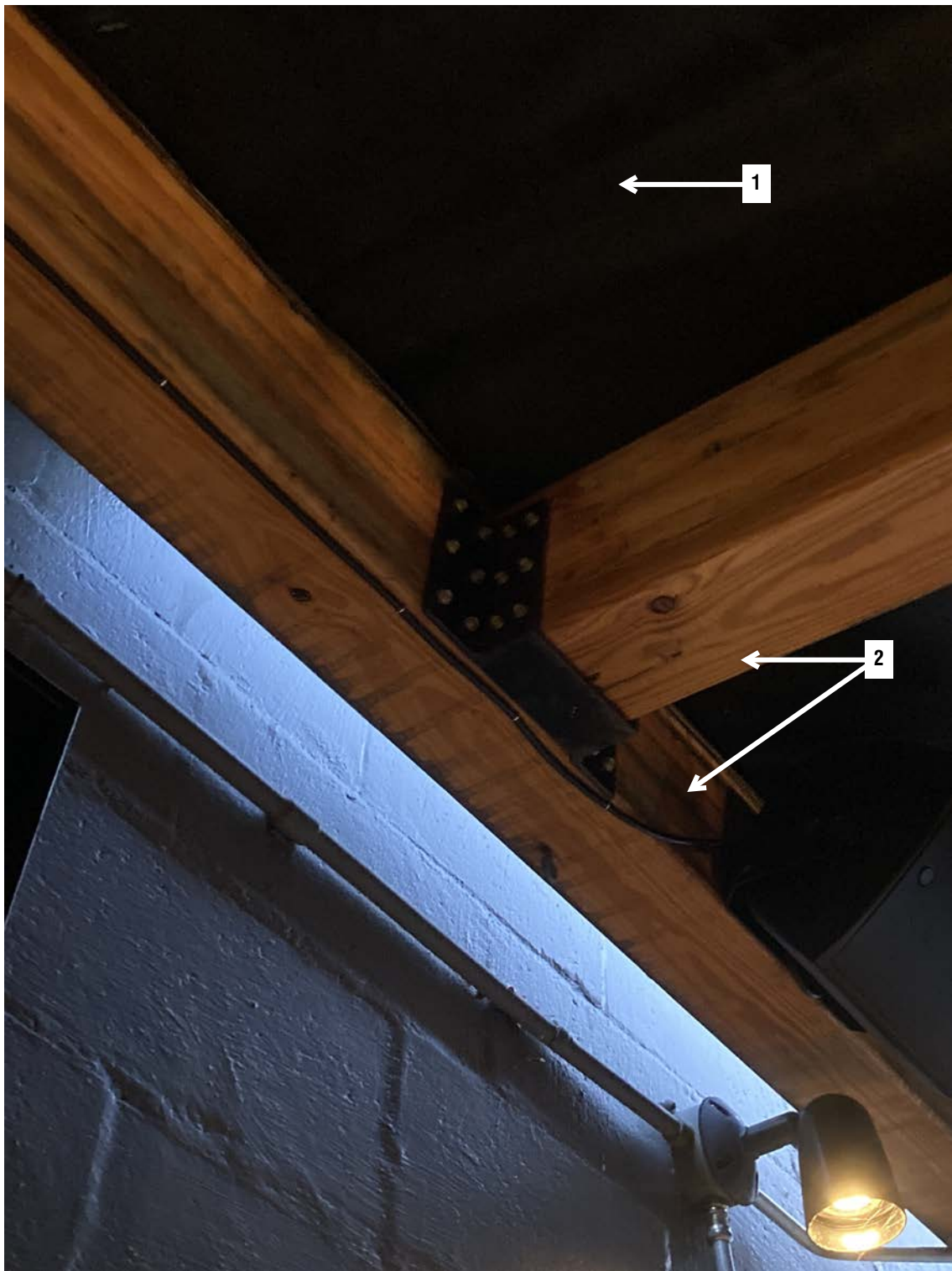
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ISSUE DATE: 2024.12.05





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2. GLULAM BEAM, SEALED W/ CLEAR POLYURETHANE



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LAKE FOREST PARK, WA  
208.691.6148

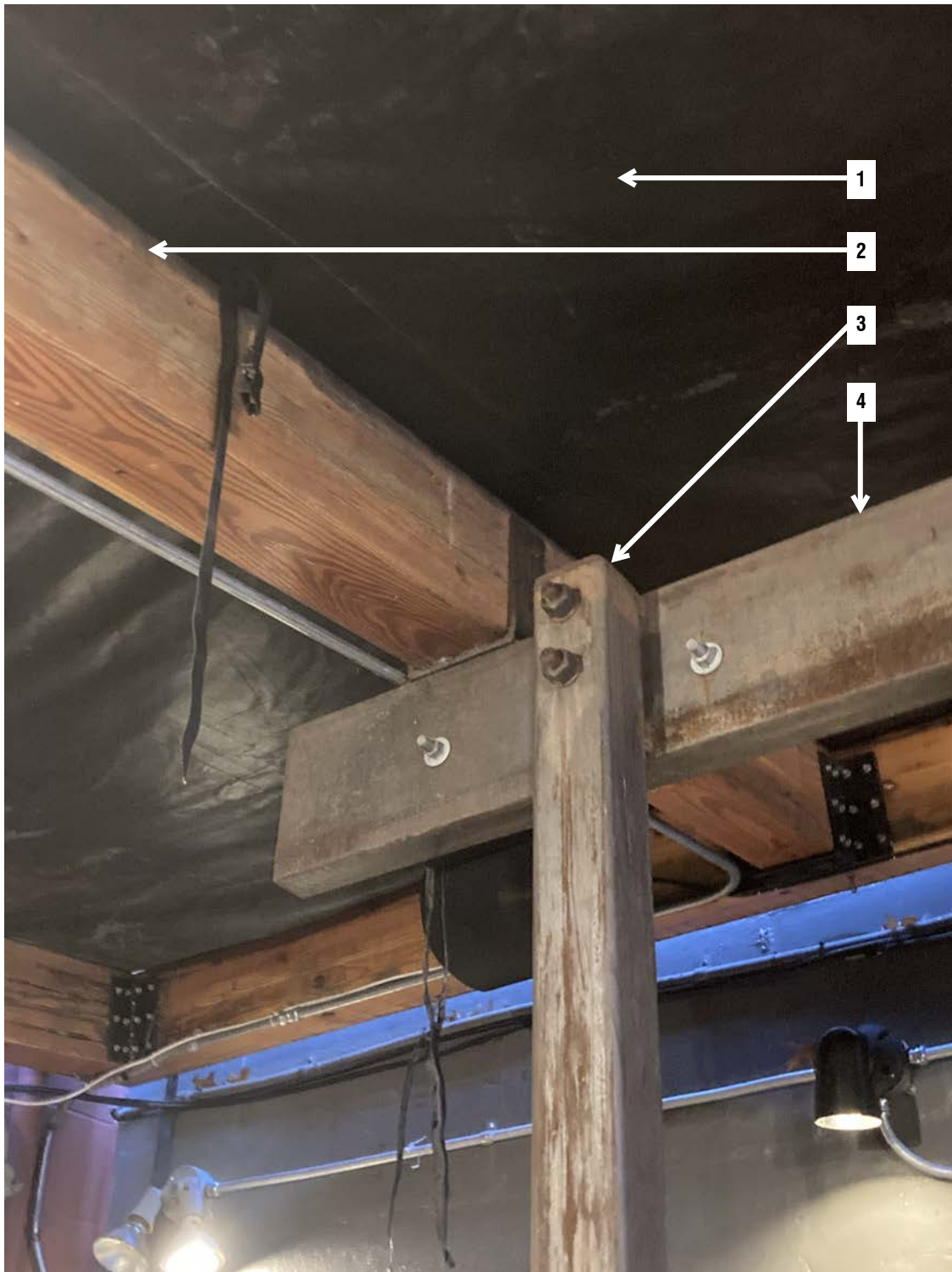
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6. BLACK CANVAS & CLEAR PLASTIC WEATHER SCREENING



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## PATIO RAILING

1. STEEL RAILING STRUCTURE W/ CEDAR RAIL CAP, SEALED W/CLEAR POLYURETHANE.



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208.691.6148

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CURRENT PATIO STRUCTURE, SEE SHEET A2.0 OF 2013 APPROVED PLAN SET, PERMIT # 6381543-CN

1. STRUCTURAL HSS STEEL POST, RAW
2. COLUMN BASE DETAIL, CONCRETE



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LAKE FOREST PARK, WA  
208.691.6148

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PROJECT #: 2405

ISSUE DATE: 2024.12.05

4212 Russell Road Suite M  
Mukilteo, WA 98275  
800-513-5416 | [terrene.biz](http://terrene.biz)

**TO:** Trent Brooks  
**FROM:** ERIC  
**DATE:** 9.4.2023  
**CUST. PO:** ---  
**COMPANY:** Roam  
**DRAWN BY:** EJ  
**MATERIAL:** CRS  
**THICKNESS:** 16GA  
**QUANTITY:** As Shown  
**SCALE:** NOT TO SCALE  
**UNITS:** INCHES  
**FINISH:** ---

**DWG TITLE:**  
Roam Letters  
**DWG NO:** 68923

**FIRST ARTICLE / DRAWING  
SPEC. CONFIRMATION**

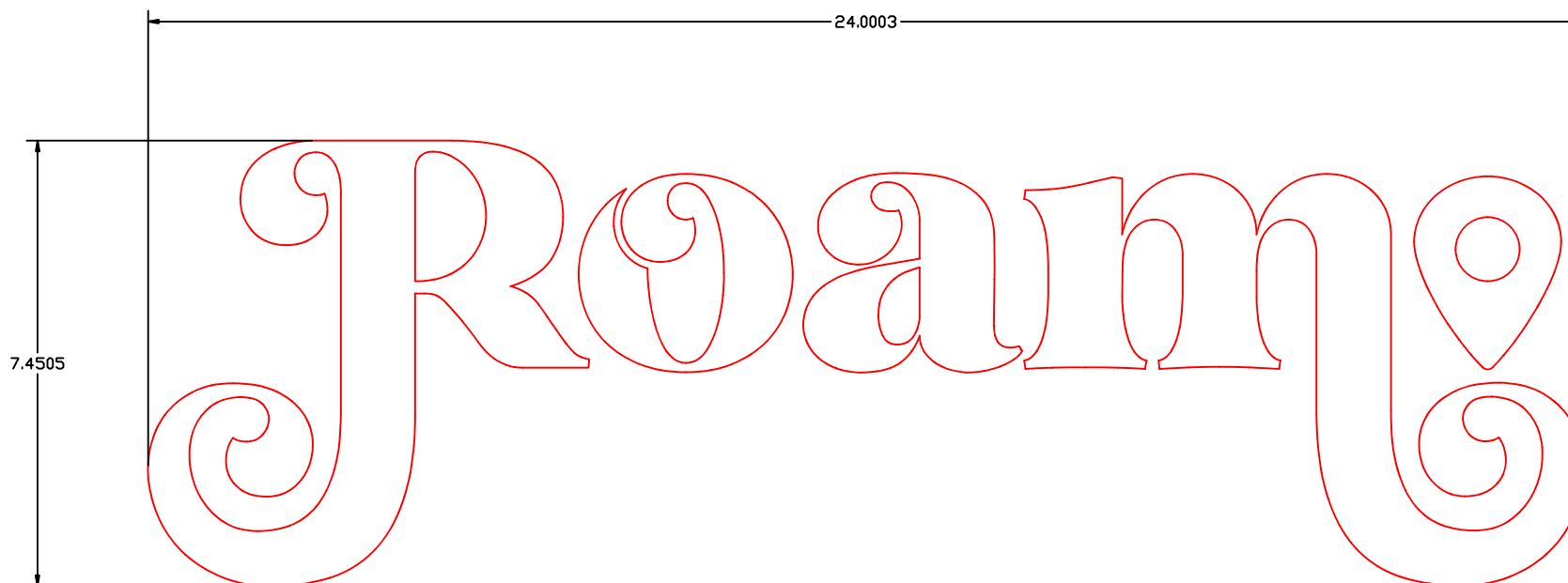
**PLEASE REVIEW  
FOR ACCURACY**

and email  
changes or approval to:

[approval@terrene.biz](mailto:approval@terrene.biz)

SIGNATURE DATE

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Roam°



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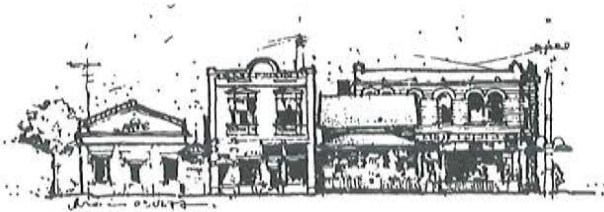
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ISSUE DATE: 2024.12.05



The City of Seattle

## Ballard Avenue Landmark District Board

Mailing Address: PO Box 94649 Seattle WA 98124-4649  
Street Address: 700 5th Ave Suite 1700

DATE: October 3, 2008

BLD 54/08

### CERTIFICATE OF APPROVAL

Applicant: Dan Murphy  
Business: Ballard Loft  
Business Address: 5105 Ballard Ave NW

RECEIVED

9  
AUG 16 2013

PKJB ARCHITECTURAL GROUP

At its October 2, 2008 meeting, the Ballard Avenue Landmark District Board recommended approval of the following application:

Install awning over outdoor seating area.

(This action is categorically exempt from SEPA by the provisions of WAC 197-11-800.)

I concur with the Board's recommendation and hereby issue this Certificate of Approval pursuant to Ballard Avenue Landmark District SMC 25.16. It is the applicant's responsibility to obtain all other permits and comply with other City or County regulations. *To obtain a sign permit, call Kent Hunnicutt at the Seattle Department of Planning & Development, (206) 684-8419. To obtain a street use permit, call Angela Steel at the Seattle Department of Transportation, (206) 684-5967.*

Stella Chao, Director  
Department of Neighborhoods

By:   
Heather McAuliffe  
Board Coordinator  
(206) 684-0229

cc: Diane Sugimura, DPD  
Cheryl Mosteller, DPD  
David Medina, Building Owner



Awning - 16 x 30 ft

SPECIAL DISTRICT AND LANDMARK REVIEW	
PROPERTY OR DISTRICT	BLO
CHANGE OF USE	LOG # BLD 54/08
ST. USE	DATE 10/3/08
<input checked="" type="checkbox"/> EXT. DESIGN	STAFF H. M. AULIHO
INT. DESIGN	PHONE 684-0229
COMMENTS ON PAGES: 1 of 1	

NEW POLE

new pole

- AWNING TO BE LIGHT BROWN, CLOTH.
- TO BE ATTACHED TO A CABLE
- TWO NEW SUPPORT POLES
- ROLL UP INTO DUMPSTER



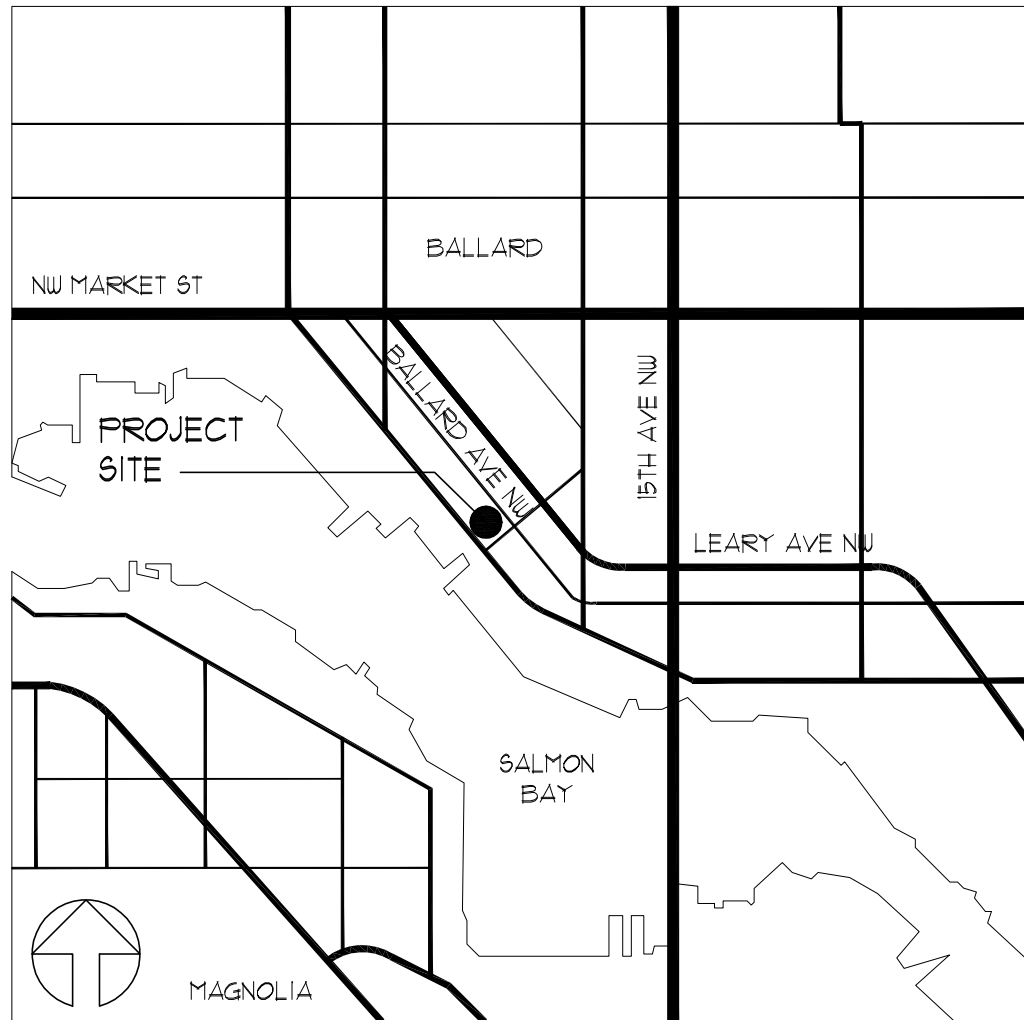
# THE BALLARD LOFT - PATIO AWNING ADDITION

# SEATTLE, WASHINGTON

## GENERAL NOTES

1. THE APPROVED PLANS SHALL NOT BE CHANGED OR ALTERED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL. THE APPROVED PLANS ARE REQUIRED TO BE ON THE JOB SITE.
2. CONTRACTOR SHALL VERIFY AND CHECK ALL CONDITIONS AND DIMENSIONS AT THE BUILDING. REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
3. IF ANY ERRORS, OMISSIONS OR INCONSISTENCIES APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE OWNER OR ARCHITECT IN WRITING OF SUCH OMISSIONS, ERRORS, OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK, OR ACCEPT FULL RESPONSIBILITY FOR COSTS TO RECTIFY SAME.
4. TYPICAL DETAILS OR BUILDING STANDARDS SHALL APPLY WHERE NO SPECIFIC DETAILS ARE GIVEN.
5. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, ELEVATIONS, SECTIONS AND DETAILS.
6. FIRE EXTINGUISHERS SHALL BE PROVIDED PER NFPA #10, OR REQUIREMENTS OF LOCAL FIRE OFFICIALS.
7. ALL 'OR EQUALS' TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.
8. BIDDER DESIGN WORK TO BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
9. PENETRATIONS IN WALL, REQUIRING PROTECTED OPENINGS ARE TO BE FIRE STOPPED.
10. THE MEANS OF EGRESS INCLUDING THE EXIST DISCHARGE SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING IS OCCUPIED PER IBC 1006.1 ELECTRICAL DESIGN BUILD CONTRACTOR SHALL COMPLY AND SHALL SUBMIT A DEFERRED SUBMITTAL MEETING ALL REQUIREMENTS.
11. THE BUILDING SHALL BE EQUIPPED WITH EMERGENCY LIGHTING AND IN THE EVENT OF A POWER FAILURE SHALL AUTOMATICALLY ILLUMINATE THE AREA OF THE EXIT DISCHARGE IMMEDIATELY ADJACENT TO THE DISCHARGE DOORS PER IBC 1006.3 ELECTRICAL DESIGN BUILD CONTRACTOR SHALL COMPLY AND SHALL SUBMIT A DEFERRED SUBMITTAL MEETING ALL REQUIREMENTS.
12. PROVIDE 30 MINUTE OF EMERGENCY LIGHTING AT ALL EXTERIOR DOORS VIA SEPARATE BATTERY OR UNIT EQUIPMENT.
13. THE MEANS OF EGRESS INCLUDING THE EXIT DISCHARGE SHALL BE ILLUMINATED TO MINIMUM 1 FOOT-CANDLE AT ALL TIMES THE SPACE IS OCCUPIED BY PREMISES ELECTRICAL SUPPLY. IN EVENT OF A POWER FAILURE THE LIGHTS SHALL OPERATE FOR A MINIMUM OF 90 MINUTES.

## VICINITY MAP



## PROJECT SCOPE

INSTALLATION OF NEW TRELLIS/AWNING AT AN EXISTING BAR WITH EXISTING OUTDOOR PATIO SEATING AREA. AWNING IS SUPPORTED BY (6) STEEL POSTS WITH METAL CHANNEL BEAMS. WIRE CABLE TIES ARE USED TO FASTEN FABRIC AWNING TO TRELLIS. EXTERIOR WORK ONLY THIS PERMIT.

## LEGAL DESCRIPTION

GILMAN PARK ADD FLAT 10 FLAT LOT 6

## SITE & BUILDING INFO.

TAXPAYER -	DANIEL MURPHY C/O THE BALLARD LOFT 5105 BALLARD AVE. NW SEATTLE, WA 98107
TAX PARCEL NUMBER -	2167102330
PROJECT ADDRESS -	5105 BALLARD AVE. NW SEATTLE, WA 98107
GOVERNING BUILDING CODE -	2012 SEATTLE BUILDING CODE
GOVERNING ZONING CODE -	CITY OF SEATTLE MUNICIPAL CODE
SITE STATISTICS	
ZONE -	C1-65
SITE AREA -	5,000 SQ. EXISTING UNCHANGED
URBAN VILLAGE OVERLAY -	BALLARD AVE LANDMARK DISTRICT
(PRIOR APPROVAL GRANTED FOR AWNING WORK)	
ECA ZONES -	N/A
ALLOWABLE LOT COVERAGE -	100% EXISTING
BUILDING STATISTICS	
ALLOWABLE HEIGHT -	65'
ACTUAL HEIGHT -	21' EXISTING
NEW AWNING HEIGHT -	10'-6" MAXIMUM HEIGHT
CONSTRUCTION TYPE -	V-B, EXISTING
OCCUPANCY TYPE -	A-2, EXISTING

## BUILDING AREAS

CURRENT TENANT 'A' BUILDING AREA	1150 SF 1ST FLOOR 1320 SF 2ND FLOOR 3070 SF TOTAL BUILDING AREA
CURRENT TENANT 'B' AREA BUILDING:	1695 SF (NO CHANGE)
PARKING:	3070 SF - 1500 SF = 1570 SF 1570 SF / 250 SF/STALL = 6.28 STALLS WAIVE 6.28 STALLS PER SEATTLE LAND USE ORDINANCE 122311 SECTION 23.54.015.G
AREA OF WORK:	571 SF (EXTERIOR PATIO AREA)

## OCCUPANT LOADS

PER 2012 SEATTLE BUILDING CODE

EXISTING RESTAURANT/BAR A-2 = 119 OCCUPANTS  
= 2 EXITS REQUIRED  
= 2 EXITS PROVIDED

EXISTING PATIO AREA A-2 = 24 OCCUPANTS  
= 1 EXIT REQUIRED  
= 1 EXIT PROVIDED

NOTE: NO CHANGE IN EXISTING OCCUPANT LOAD

## PLUMBING FIXTURES

N/A - NO CHANGE IN OCCUPANCY

## ENERGY CODE REQ.

PROJECT IS AN EXTERIOR SPACE, AND IS NOT CONDITIONED, ENERGY CODE N/A

## STANDARD SYMBOLS

	BUILDING SECTION
	WALL SECTION
	DETAIL
	INTERIOR FINISH WALL ELEVATIONS
	GRID LINES - COLUMN
ROOMNAME 101	ROOM NAME AND NUMBER
	FIRE EXTINGUISHER SEE SPECIFICATIONS
	REVISION TAG
	DOOR TAG
	ILLUMINATED EXIT SIGN ARROW INDICATES DIRECTION
	ILLUMINATED EXIT SIGN WITH EGRESS PATH LIGHTING WITH BATTERY BACKUP SYSTEM
	EGRESS PATH LIGHTING ON BATTERY BACKUP SYSTEM

## PROJECT TEAM

<b>TENANT:</b> THE BALLARD LOFT 5105 BALLARD AVE NW SEATTLE, WA 98107 206.420.2131 CONTACT: DANIEL MURPHY	<b>ARCHITECT:</b> PKJB ARCHITECTURAL GROUP, P.S. 115 SOUTH MAIN STREET, SUITE 410 SEATTLE, WA 98104 206.624.3210 CONTACT: ROBERT KROESE, AIA
<b>STRUCTURAL ENGINEER:</b> PSM ENGINEERS 2200 SIXTH AVE, SUITE 601 SEATTLE, WA 98121 (206) 622-6480 CONTACT: DAVID STUBBS	

## DRAWING INDEX

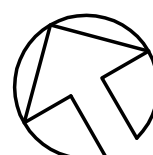
**ARCHITECTURAL SITE**  
SD1.0 COVER SHEET - SITE PLAN

**ARCHITECTURAL**  
A1.0 AWNING PLAN  
A2.0 ELEVATION AND DETAILS

**STRUCTURAL**  
S1 GENERAL NOTES AND SPECIAL INSPECTIONS  
S2 FOUNDATION AND FRAMING PLAN  
S3 SECTIONS AND DETAILS



City of Seattle  
Department of Planning and  
Development  
Issued for Permit



## SITE PLAN

SCALE: 1/16" = 1'-0"

THE CITY OF SEATTLE  
DEPARTMENT OF PLANNING AND DEVELOPMENT  
APPROVED  
Subject to Errors and Omissions  
1/2/2014 Cheryl Burwell

THE BALLARD LOFT  
OUTDOOR AWNING ADDITION  
5105 BALLARD AVENUE NW  
SEATTLE, WA 98107

5719  
REGISTERED  
ARCHITECT  
ROBERT A. KROESE  
STATE OF WASHINGTON

DRAWN  
VF - RK  
CHECKED  
RK  
DATE  
10/02/2013  
SCALE  
AS NOTED  
JOB NUMBER  
13051.00

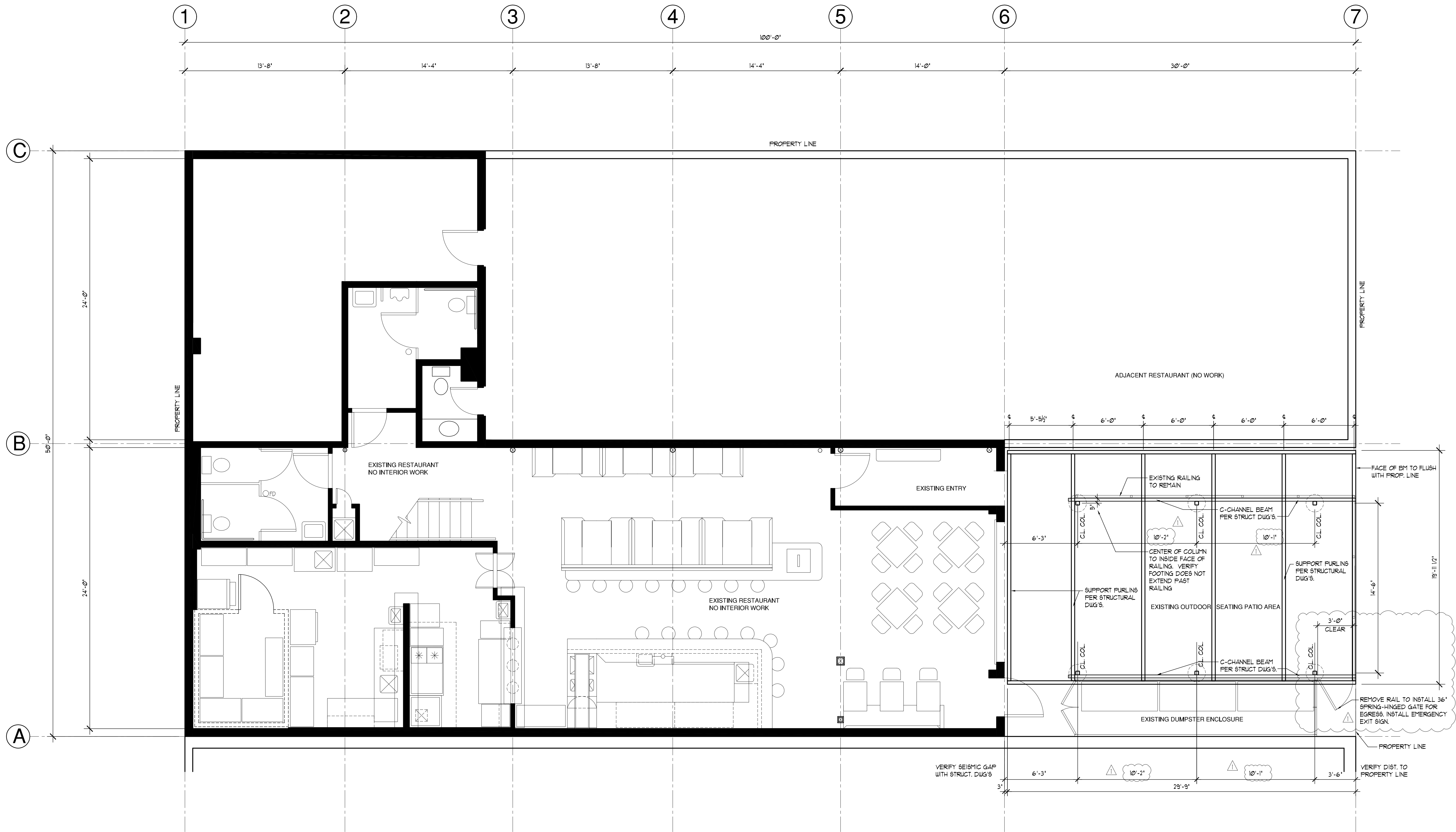
SD1.0

COVER SHEET - SITE PLAN

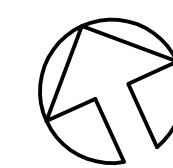
pkjb  
architectural group, p.s.  
115 SOUTH MAIN STREET #410  
SEATTLE, WA 98104  
(206) 624-3210 FAX 624-3640

09/03/13 PROJECT START DATE  
09/12/13 SUBMITTED FOR TENANT APPROVAL  
10/02/13 TENANT REVISIONS  
10/03/13 SUBMITTED FOR BUILDING PERMIT AND BID  
BUILDING DEPARTMENT CORRECTIONS  
CONSTRUCTION DRAWINGS  
REVISION  
REVISION  
REVISION





City of Seattle  
Department of Planning and  
Development  
Issued for Permit



## FRAMING PLAN

SCALE: 1/4" = 1'-0"

THE CITY OF SEATTLE  
DEPARTMENT OF PLANNING AND DEVELOPMENT  
APPROVED  
Subject to Errors and Omissions  
1/2/2014 Cheryl Burwell

p|k|j|b  
architectural group, p.s.  
118 SOUTH MAIN STREET #410  
SEATTLE, WA 98104  
(206) 464-3210 FAX 206-464-3645

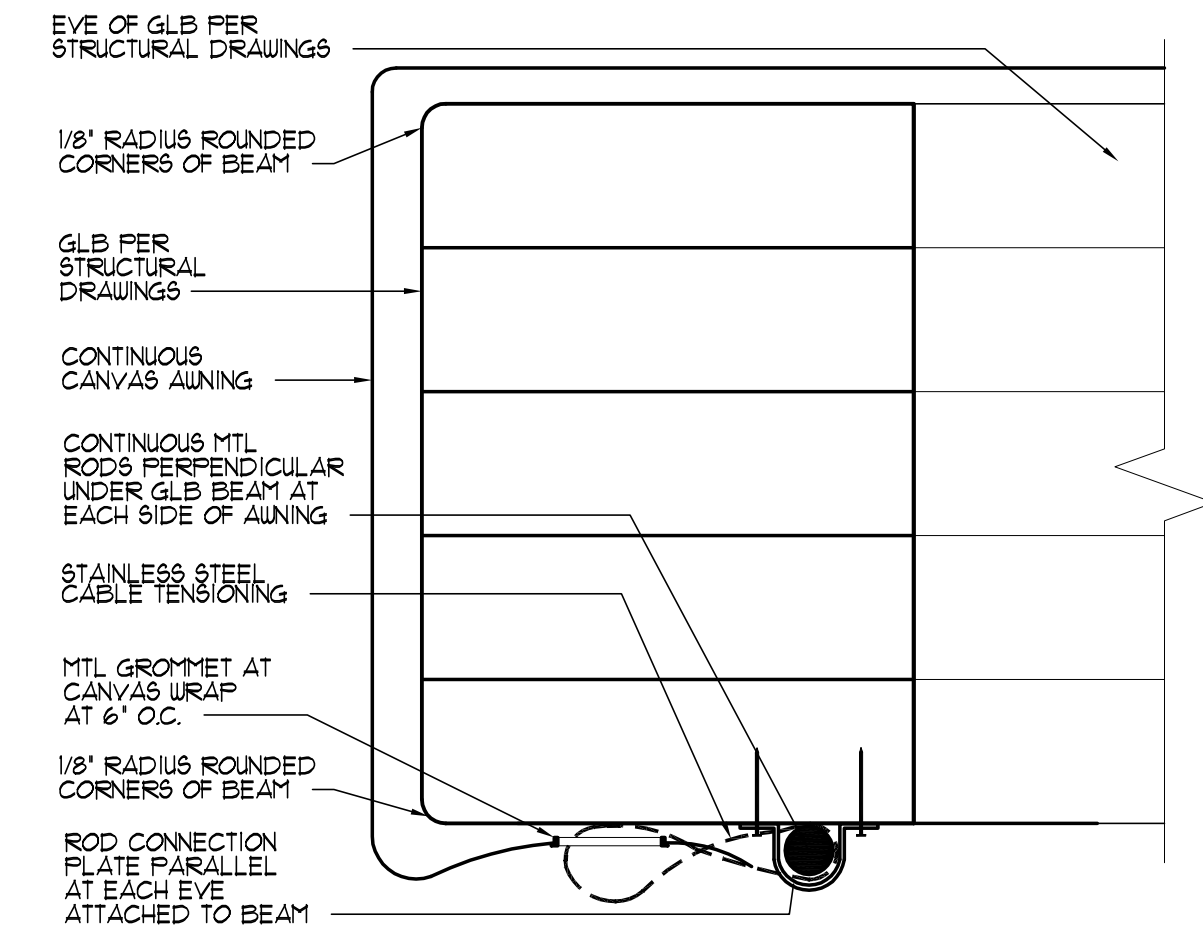
THE BALLARD LOFT  
OUTDOOR AWNING ADDITION  
5105 BALLARD AVENUE NW  
SEATTLE, WA 98107

5719  
REGISTERED  
ARCHITECT  
ROBERT A. KROESE  
STATE OF WASHINGTON

DRAWN  
VF - RK  
CHECKED  
RK  
DATE  
12/19/2013  
SCALE  
AS NOTED  
JOB NUMBER  
13051.00

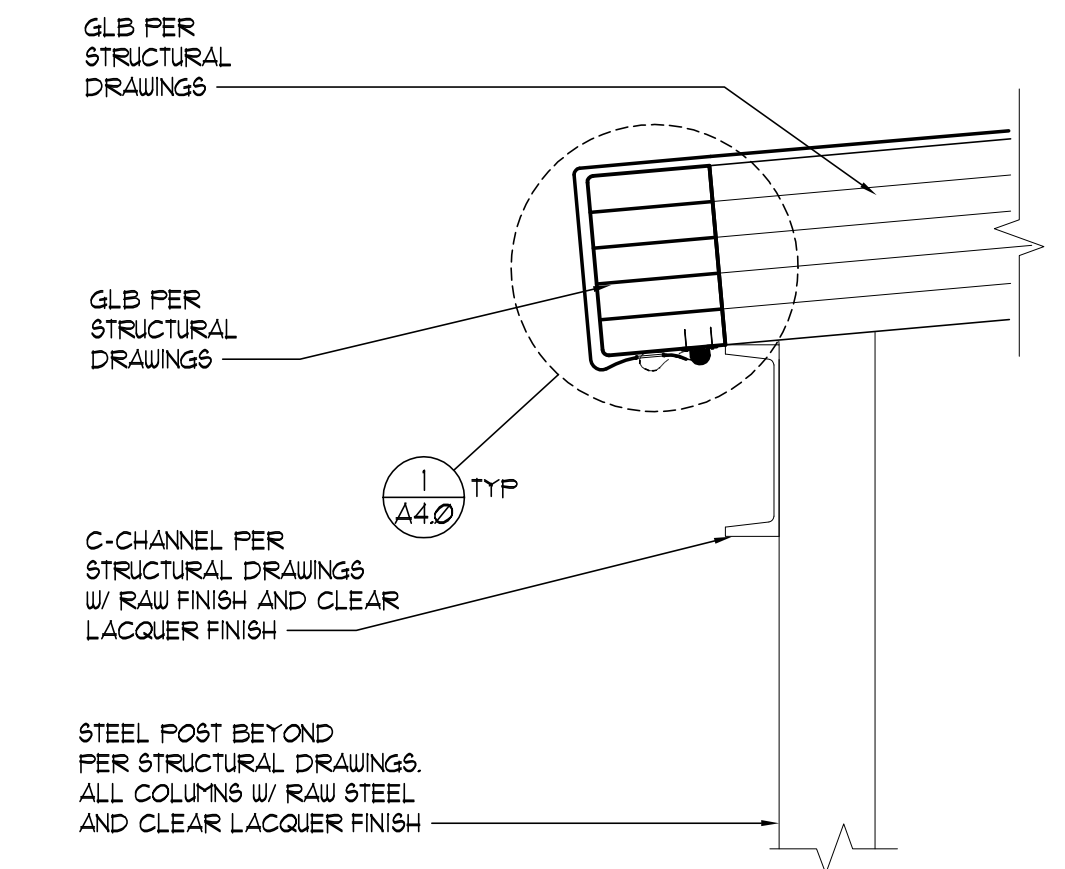
A1.0  
AWNING PLAN

09/03/13 PROJECT START DATE  
09/12/13 SUBMITTED FOR TENANT APPROVAL  
10/03/13 TENANT REVISIONS  
10/03/13 SUBMITTED FOR BUILDING PERMIT AND BID  
12/19/13 BUILDING DEPARTMENT CORRECTIONS  
CONSTRUCTION DRAWINGS  
REVISION  
REVISION  
REVISION



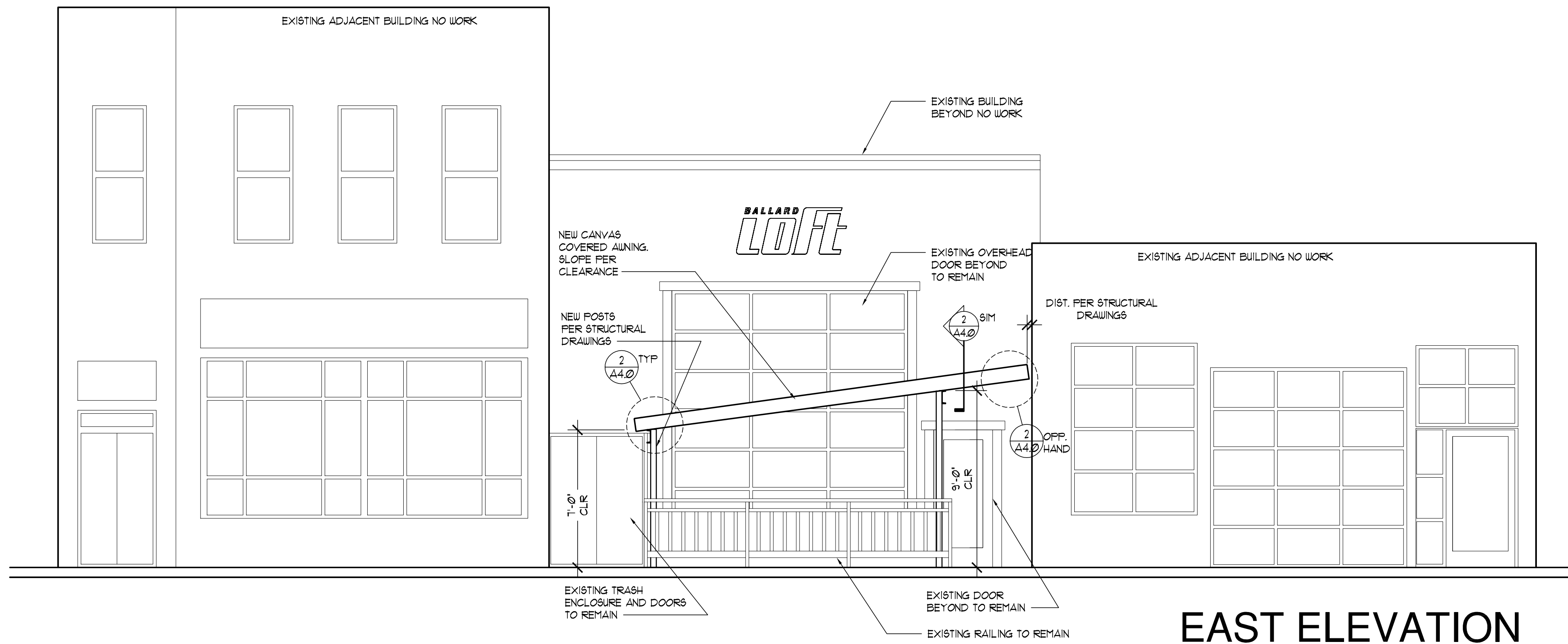
## 1 CANVAS CONNECTION

6" = 1'-0"



## 2 WRAPPED ROOF CANVAS

1-1/2" = 1'-0"



## EAST ELEVATION

SCALE: 1/4" = 1'-0"



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1/2/2014 **Cheryl Burwell**

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(206) 624-3210 FAX 624-3245

**THE BALLARD LOFT**  
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10/02/2013  
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**A2.0**  
ELEVATION AND DETAILS



GENERAL NOTES

THE FOLLOWING NOTES APPLY EXCEPT WHERE SHOWN OTHERWISE

CODE: INTERNATIONAL BUILDING CODE IBC (2009)

STRUCTURAL LOADS

ROOF SNOW LOADS: GROUND SNOW LOAD, Pg = 20PSF  
ROOF SNOW LOAD, Pf = 25PSF  
SNOW EXPOSURE FACTOR, Ce = 1.0  
SNOW LOAD IMPORTANCE FACTOR, Is = 1.0  
THERMAL FACTOR, Ct = 1.0

WIND LOADS: BASIC WIND SPEED, V3s = 90MPH  
WIND IMPORTANCE FACTOR, Iw = 1.00  
WIND EXPOSURE: 'B'  
Kzt= 1.0

EARTHQUAKE LOADS: SEISMIC OCCUPANCY CATEGORY: II  
SEISMIC IMPORTANCE FACTOR, IE = 1.00  
MAPPED ACCELERATIONS, Ss = 1.3 S1 = 0.45  
SITE CLASS = D  
DESIGN ACCELERATIONS, Sds = 0.87 SD1 = 0.46  
SEISMIC DESIGN CATEGORY: D  
BASIC SEISMIC FORCE RESISTING SYSTEM: CANTILEVER COLUMNS  
DESIGN BASE SHEAR, V = 1.71 KIPS (ASD)  
SEISMIC RESPONSE COEFFICIENT, Ds = 0.57 (ASD)  
RESPONSE MODIFICATION FACTOR, R = 1.25  
ANALYSIS PROCEDURE USED: STATIC LATERAL LOAD PROCEDURE

SHOP DRAWINGS

SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED, AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

FOUNDATIONS

MAXIMUM SOIL PRESSURE 1500 PSF. EXTERIOR FOOTINGS SHALL BEAR 1'-6" (MINIMUM) BELOW FINISH GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC, SURFACE SOILS AND SHALL BE LOWERED IF SUITABLE SOIL IS NOT FOUND AT ELEVATIONS SHOWN ON DRAWINGS. BACKFILL TO BE THOROUGHLY COMPACTED PER SPECIFICATIONS. PROVIDE 2 #5 (MINIMUM) CONTINUOUS BOTTOM OF ALL WALLS AND FOOTINGS.

CONCRETE

	MAX WATER/CEMENT RATIO			REMARKS
	F'C	NON-AIR-ENT	AIR-ENT	
FOOTINGS	2500	0.65	0.54	MINIMUM SACKS/C.Y. 5 - 1/2"

\* CAN BE REDUCED 1/2 SACK/CUBIC YARD IF NOT EXPOSED TO WEATHER.

REINFORCING STEEL

ASTM A615 GRADE 60, REINFORCING STEEL DETAILS SHALL BE PREPARED BY AN EXPERIENCED DETAILER AND CONFORM TO STANDARD PRACTICE OUTLINED IN ACI REPORT 315. FIELD WELDING OR TACK WELDING OF REINFORCING BARS IS PROHIBITED, EXCEPT AS APPROVED BY THE ENGINEER. ANY REINFORCING TO BE WELDED TO BE ASTM A706, WELDABLE GRADE. WHEN APPROVED, WELDING OF REINFORCING BARS TO BE PER AWS D1.4. MECHANICAL SPLICE DEVICES, IF REQUIRED, SHALL BE ICC APPROVED AND SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. REINFORCING BARS SHALL BE LAP SPLICED FOR TENSION UNLESS NOTED OTHERWISE ON THE DRAWINGS.

LAP FOUNDATION REINFORCING 32 DIAMETERS. OTHER LAP LENGTHS PER DRAWINGS.

NOTE: REINFORCING STEEL NOT SPECIFICALLY SHOWN SHALL BE ASSUMED TYPICAL AS SIMILAR SECTIONS AND DETAILS WHERE REINFORCING IS SHOWN.

CONCRETE COVER OF REINFORCING

3"	CONCRETE POURED AGAINST EARTH.
2"	FORMED CONCRETE WITH EARTH BACKFILL.
1 - 1/2"	BEAMS AND COLUMNS (STIRRUPS, TIES), OUTSIDE FACE OF WALLS EXPOSED TO WEATHER, SLABS ON MOISTURE BARRIER.

ANCHORAGE TO HARDENED CONCRETE

WHERE EXPANSION ANCHORS ARE SPECIFIED, USE "HILTI KWIK BOLT TZ" (REFERENCE ICC REPORT ESR-1917).  
WHERE EPOXY ANCHORS ARE SPECIFIED, USE "HILTI HIT-RE 500-SD" OR "SIMPSON SET-XP" (REFERENCE ICC REPORT ESR-2322 AND ESR-2508). WHERE SCREW ANCHORS ARE SPECIFIED, USE "SIMPSON TITEN HD" (REFERENCE ICC REPORT ESR-2713). "HILTI HIT-RE 500", "HILTI HY-150", AND "SIMPSON SET" MAY NOT BE USED, UNLESS SPECIFICALLY PRE-APPROVED BY THE STRUCTURAL ENGINEER. USE ASTM A193 GRADE B7 THREADED ROD, UNLESS OTHERWISE NOTED. HOLES MUST BE CLEANED OF DUST AND DEBRIS AND BE FREE OF STANDING WATER WHEN EPOXY IS INSTALLED. SPECIAL INSPECTION OF EPOXY ANCHORS IS REQUIRED. DO NOT CUT ANY REINFORCING BARS TO INSTALL ANCHORS. DEFECTIVE HOLES SHALL BE FILLED SOLID WITH EPOXY.

FOR ANY SUBSTITUTIONS TO THE ABOVE, THE CONTRACTOR SHALL SUBMIT TO THE STRUCTURAL ENGINEER MANUFACTURER'S LITERATURE DESCRIBING THE ANCHORS AND LISTING ICC APPROVED ALLOWABLE SHEAR AND TENSION VALUES.

WOOD CONNECTORS

BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH MALLEABLE IRON WASHERS EXCEPT ON STEEL BEAM NAILERS USE CUT WASHERS. NAILERS TO STEEL BEAMS SHALL BE ATTACHED WITH 5/8" BOLTS AT 3'-0" O.C. STAGGERED.

NAILS SHALL CONFORM TO REQUIREMENTS OF ASTM F 1667 AND HAVE A MINIMUM BENDING STRENGTH OF 90 KSI FOR SHANK DIAMETERS BETWEEN .142" AND .177". ALL WOOD-TO-WOOD NAILING SHALL BE PER IBC TABLE 2304.9.1. IF PLANS AND DETAILS SPECIFY 8d, 10d OR 16d NAILS, THEY SHALL HAVE THE FOLLOWING PROPERTIES:

8d = 0.131" DIA x 2 1/2"  
10d = 0.148" DIA x 3"  
16d = 0.162" DIA x 3 1/2"

ALL SUBSTITUTIONS SHALL HAVE THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD PRIOR TO USE.

LIGHT GAUGE METAL FRAMING CONNECTORS AND THEIR REQUIRED FASTENERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, OR APPROVED EQUAL.

STRUCTURAL GLUED-LAMINATED LUMBER

SHALL BE FABRICATED TO THE REQUIREMENTS OF PRODUCT STANDARD PSS6. LUMBER SHALL BE VISUALLY GRADED WESTERN SPECIES, COMBINATION 24F-V4 FOR SIMPLE BEAMS, 24F-V8 FOR CANTILEVER BEAMS, COMBINATION 2 FOR COLUMNS, AND COMBINATION 5 FOR TRUSS MEMBERS PER 2005 NDS SUPPLEMENT, TABLE 5A (BEAMS) AND 5B (COLUMNS). LAMINATED MEMBERS TO BE ATC CERTIFIED. USE WATERPROOF GLUE.

STRUCTURAL STEEL

WIDE FLANGE SHAPES TO BE ASTM A992, Fy=50 KSI.  
CHANNELS, ANGLES, AND PLATES TO BE ASTM A36, Fy=36 KSI.  
PIPE COLUMNS TO BE ASTM A53, GRADE B, Fy=35 KSI.  
HSS STRUCTURAL TUBE TO BE ASTM A500, GRADE B, Fy=46 KSI.

ALL STEEL EXCEPT STEEL EMBEDDED IN CONCRETE SHALL BE GIVEN ONE SHOP COAT OF APPROVED PAINT.  
WELDS TO BE 3/16" MINIMUM CONTINUOUS FILLET, BY CERTIFIED WELDERS USING E70XX ELECTRODES.  
ALL WELDING SHALL BE PERFORMED IN STRICT ADHERENCE TO A WRITTEN WELDING PROCEDURE SPECIFICATION (WPS) PER AWS D1.1. ALL WELDING PARAMETERS SHALL BE WITHIN THE ELECTRODE MANUFACTURER'S RECOMMENDATIONS. WELDING PROCEDURES SHALL BE SUBMITTED TO THE OWNER'S TESTING AGENCY FOR REVIEW BEFORE STARTING FABRICATION OR ERECTIONS. COPIES OF THE WPS SHALL BE ON SITE AND AVAILABLE TO ALL WELDERS AND THE SPECIAL INSPECTOR.

STEEL TO STEEL BOLTED CONNECTIONS ARE SHOWN TO BE BEARING-TYPE CONNECTIONS USING A325 BOLTS WITH THREADS INCLUDED IN THE SHEAR PLANE. HOLE SIZE SHALL BE IN ACCORDANCE WITH AISC SPECIFICATION FOR BEARING CONNECTION AND BOLTS SHALL BE TIGHTENED TO SNUG-TIGHT CONDITION. WHERE BOLTS ARE NOTED A325SC, CONNECTIONS SHALL BE FRICTION-TYPE CONNECTIONS WITH BOLTS TENSIONED AND USING APPROPRIATE HARDENED STEEL WASHERS AS REQUIRED BY AISC STANDARDS.

WHERE NOT SPECIFICALLY SHOWN BY DETAIL, CONNECTIONS SHALL BE BOLTED FRAME BEAM CONNECTIONS PER AISC STANDARDS. DURING ERECTION, STRUCTURAL STEEL SHALL BE SECURED FROM COLLAPSING WITH TEMPORARY BRACING.

SUBMIT SHOP DRAWINGS PREPARED BY AN EXPERIENCED DETAILER FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS TO BE COMPLETE, SHOWING ALL WELDS AND MATERIAL GRADES. PROVIDE A PLAN LOCATION OR DETAIL REFERENCE FOR EACH SHOP DRAWING. FOR MINOR STEEL-TO-STEEL CONNECTIONS OF 12" AND SMALLER STEEL MEMBERS: IF AN EXPLICIT CONNECTION IS NOT SHOWN ON THE STRUCTURAL DRAWINGS, DETAILER IS TO PROPOSE A CONNECTION SIMILAR TO THE CONNECTIONS ON THE DRAWINGS OR PER AISC STANDARD CONNECTIONS. ON THE SHOP DRAWING, CLOUD THE CONNECTION AND STATE "VERIFY." SHOP DRAWINGS NOT MEETING THESE CONDITIONS WILL BE REJECTED. REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS FOR DESIGN INTENT ONLY, AND DOES NOT INCLUDE VERIFICATION OF DIMENSIONS AND QUANTITIES. VERIFICATION OF DIMENSIONS AND QUANTITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

STEEL FABRICATORS AND DETAILERS: BASE BID TO INCLUDE STEEL DETAILER AND FABRICATOR TIME AND COSTS FOR ROUTINE CONSTRUCTION QUESTIONS. ROUTINE CONSTRUCTION QUESTIONS INCLUDE DIMENSIONAL QUESTIONS AND MINOR FRAMING QUESTIONS. ROUTINE CONSTRUCTION QUESTIONS ARE PART OF THE NORMAL CONSTRUCTION PROCESS, AND ARE TO BE INCLUDED IN THE BASE BID.

SCOPE OF STRUCTURAL ENGINEERING SERVICES

THE STRUCTURAL ENGINEER HAS PERFORMED THE STRUCTURAL DESIGN AND PREPARED THE STRUCTURAL WORKING DRAWINGS FOR THIS PROJECT. THE CONSTRUCTION MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE STRUCTURAL DRAWINGS. ANY DEVIATION FROM THE DRAWINGS MUST BE APPROVED IN WRITING BY THE STRUCTURAL ENGINEER. ERRORS AND/OR OMISSIONS FOUND ON THE STRUCTURAL DRAWINGS MUST BE BROUGHT TO THE STRUCTURAL ENGINEER'S ATTENTION IMMEDIATELY.

ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. PRIMARY STRUCTURAL ELEMENTS ARE DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS. ANY DISCREPANCIES, CONTRADICTIONS, OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK OR FABRICATION OF THE ITEM(S) IN QUESTION.

THE STRUCTURAL ENGINEER IS RESPONSIBLE FOR THE DESIGN OF THE PRIMARY STRUCTURAL SYSTEM, EXCEPT FOR ANY COMPONENTS NOTED ABOVE. RESPONSIBILITY FOR ANY SECONDARY STRUCTURAL AND NON-STRUCTURAL SYSTEMS NOT SHOWN ON THE STRUCTURAL PLANS RESTS WITH SOMEONE OTHER THAN THE STRUCTURAL ENGINEER.

THE STRUCTURE SHOWN ON THESE DRAWINGS IS STRUCTURALLY SOUND ONLY IN ITS COMPLETED FORM. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO STABILIZE THE BUILDING DURING CONSTRUCTION.

THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR, AND WILL NOT HAVE CONTROL OF, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE CONSTRUCTION WORK, NOR WILL HE BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE CONSTRUCTION WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

FIELD MEASUREMENTS AND THE VERIFICATION OF FIELD DIMENSIONS ARE NOT PART OF THE STRUCTURAL ENGINEER'S RESPONSIBILITY. THE CONTRACTOR MUST CHECK ALL (ASSUMED) EXISTING CONDITIONS SHOWN ON THESE DRAWINGS FOR ACCURACY AND NOTIFY THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES.

OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS OR THE INADVERTENT MISLABELING OF DETAILS OF WORK WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INADVERTENT MISLABELED DETAILS OF THE WORK BUT THEY SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SPECIAL INSPECTIONS

SPECIAL INSPECTIONS - GENERAL

SPECIAL INSPECTOR PROVIDE SPECIAL INSPECTIONS WITH THE TYPE AND FREQUENCY NOTED BELOW. SPECIAL INSPECTOR TO PROVIDE REPORTS WEEKLY TO:

- THE OWNER
- THE ARCHITECT
- THE STRUCTURAL ENGINEER
- THE CONTRACTOR

STRUCTURAL TESTING - GENERAL

TESTING AGENCY TO PROVIDE REPORTS OF THE TYPES BELOW. TESTING AGENCY TO DISTRIBUTE REPORTS TO:

- THE OWNER
- THE ARCHITECT
- THE STRUCTURAL ENGINEER
- THE CONTRACTOR

SPECIAL INSPECTIONS - CONCRETE CONSTRUCTION

ELEMENT: REINFORCING STEEL  
PERIOD: PERIODIC INSPECTION PRIOR TO POURING OF CONCRETE. SPECIAL INSPECTOR TO VERIFY REINFORCING SIZE/LOCATION.

ELEMENT: WELDING OF REINFORCING STEEL  
PERIOD: CONTINUOUS SPECIAL INSPECTION.

SPECIAL INSPECTIONS - STRUCTURAL STEEL CONSTRUCTION

ELEMENT: WELDING PROCEDURE  
PERIOD: ALL WELDING SHALL BE PERFORMED IN STRICT ADHERENCE TO A WRITTEN WELDING PROCEDURE PER AWS D1.1. THE WELDING PROCEDURE VARIABLES SHALL BE WITHIN THE PARAMETERS ESTABLISHED BY THE FILLER METAL MANUFACTURER. THE VARIABLES INCLUDE THE AMPERAGE, VOLTAGE, TRAVEL SPEED, AND SHIELDING GAS FLOW RATE. SUBMIT WELDING PROCEDURE FOR APPROVAL PRIOR TO BEGINNING WORK. A COPY OF THE WELDING PROCEDURE SHALL BE KEPT AT THE JOBSITE.

ELEMENT: WELDER CERTIFICATION  
PERIOD: SPECIAL INSPECTOR TO VERIFY WELDER QUALIFICATIONS FOR TYPE OF WELDS AND WELDING POSITIONS PRIOR TO WORK

ELEMENT: WELDING MATERIALS  
PERIOD: SPECIAL INSPECTOR TO VERIFY MATERIALS MEET THE WELDING PROCEDURE PRIOR TO WORK

ELEMENT: SHOP WELDING  
PERIOD: SPECIAL INSPECTIONS ARE NOT REQUIRED WHERE THE FABRICATOR IS REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION. APPROVAL SHALL BE BASED UPON REVIEW OF THE FABRICATOR'S WRITTEN PROCEDURAL AND QUALITY CONTROL MANUALS AND PERIODIC AUDITING OF FABRICATION PRACTICES BY AN APPROVED SPECIAL INSPECTION AGENCY. AT COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.



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09/03/13	PROJECT START DATE
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----	REVISION
----	REVISION

PSM

PSM CONSULTING ENGINEERS, INC.  
2200 SIXTH AVENUE, SUITE 601  
SEATTLE, WA 98101  
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www.psm-engineers.com

THE LOFT AWNING  
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5105 BALLARD AVENUE NW  
SEATTLE, WA 98107

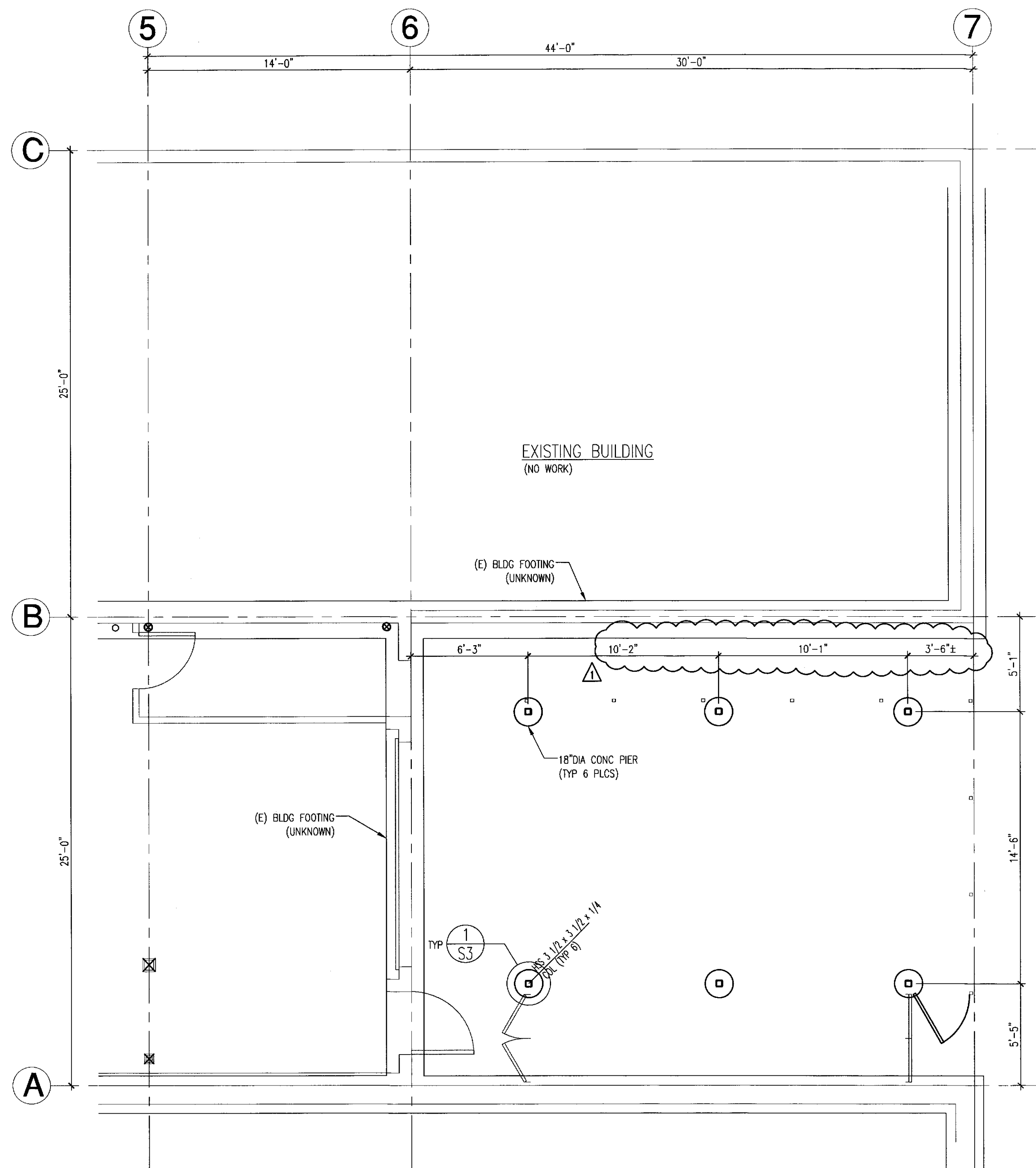
GENERAL  
NOTES AND  
SPECIAL  
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DRAWN
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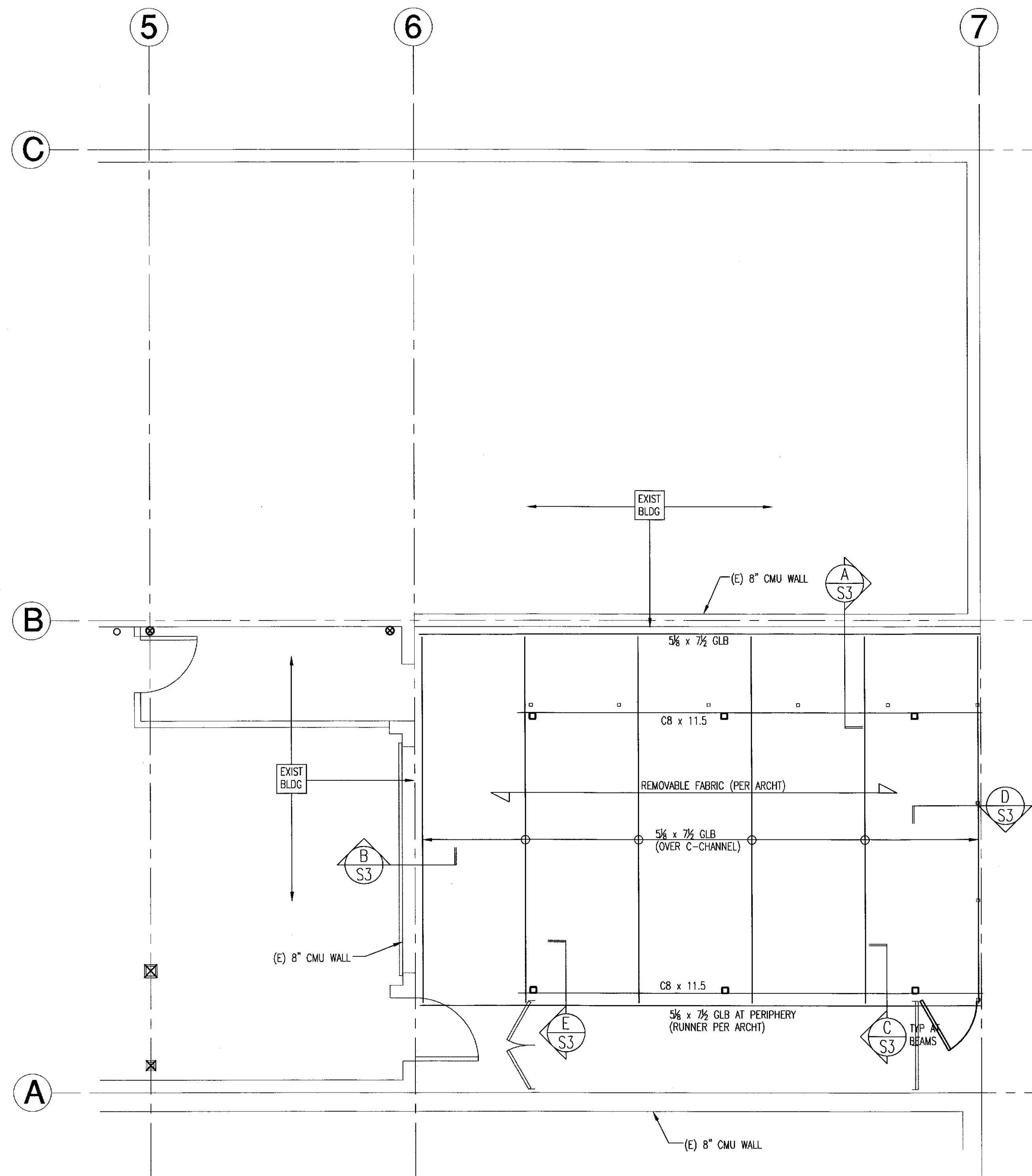
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S1



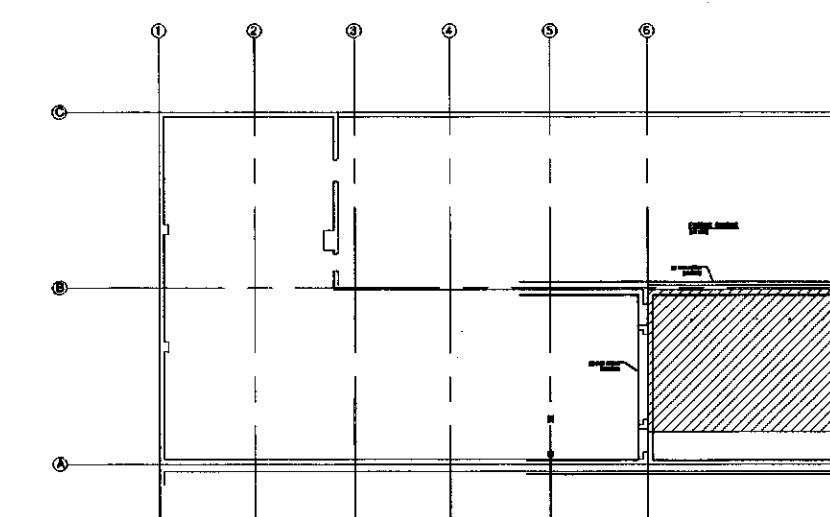


**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"




**FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

- NOTES:**
- COORDINATE DIMENSIONS WITH ARCHITECTURAL PLANS.
  - SEE S1 FOR GENERAL NOTES AND SPECIAL INSPECTIONS.



**KEY PLAN**

 **City of Seattle**  
Department of Planning and  
Development  
Issued for Permit

THE CITY OF SEATTLE  
DEPARTMENT OF PLANNING AND DEVELOPMENT  
APPROVED  
Subject to Errors and Omissions  
1/2/2014 **Cheryl Burwell**



**FOUNDATION  
AND FRAMING  
PLAN**

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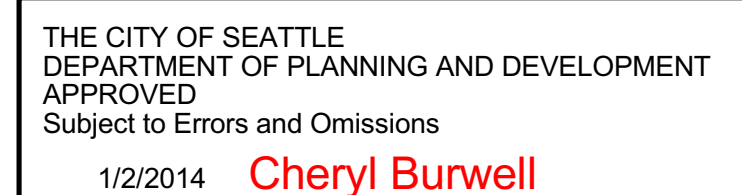
**S2**

**PSM**  
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2200 SIXTH AVENUE, SUITE 401  
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# ROAM BAR

PROJECT DESCRIPTION: EXISTING BUILDING, NO PLAN CHANGES.  
CHANGE OF USE APPLICATION ONLY. EXISTING  
USE CLASSIFIED C.2, PROPOSED USE C.3

## PROJECT TEAM


TENANT: ROAM BAR  
5105 BALLARD AVE NW  
SEATTLE, WA  
PH: (360) 919-4812  
CONTACT: NICOLE HEALY  
NICOLE@ROAMBARSEATTLE.COM

ARCHITECT: SWOOSE STUDIO  
16044 33RD AVE NE  
LAKE FOREST PARK, WA  
PH: (208) 691-6148  
CONTACT: ALEX FRASER  
AFRASER@SWOOSESTUDIO.COM


## SHEET INDEX

GENERAL PROJECT INFO  
G000 PROJECT INFORMATION  
G001 NOTES, ABBREVIATIONS, AND SYMBOLS  
G002 CODE ANALYSIS  
G003 CODE ANALYSIS  
G005 DofN SURVEY OF EXIST'G CONDITIONS

PARCEL DATA			
Parcel	276770-2330	Jurisdiction	SEATTLE
Name	5105 LLC	Levy Code	0013
Site Address	5105 BALLARD AVE NW 98107	Property Type	C
Geo Area	19-10	Plat Block / Building Number	70
Spec Area		Plat Lot / Unit Number	6
Property Name	LOFT & BALLARD PIZZA	Quarter-Section-Township-Range	SE-11-25-3
Legal Description			
GILMAN PARK ADD Plat Block: 70 Plat Lot: 6			

LAND DATA			
			
Highest & Best Use As If Vacant	MANUFACTURING	Percentage Unusable	
Highest & Best Use As Improved	PRESENT USE	Unbuildable	NO
Present Use	Retail Store	Restrictive Size Shape	NO
Land SqFt	5,000	Zoning	C1-65
Acres	0.11	Water	WATER DISTRICT
		Sewer/Septic	PUBLIC
		Road Access	PUBLIC
		Parking	ADEQUATE
		Street Surface	PAVED
Views			
Rainier		Waterfront	
Territorial		Waterfront Location	
Olympics		Waterfront Footage	0
Cascades		Lot Depth Factor	0
Seattle Skyline		Waterfront Bank	
Puget Sound		Tide/Shore	
Lake Washington		Waterfront Restricted Access	
Lake Sammamish		Waterfront Access Rights	NO
Lake/River/Creek		Poor Quality	NO
Other View		Proximity Influence	NO
Designations			
Historic Site		Nuisances	
Current Use	(none)	Topography	
Nbr Bldg Sites		Traffic Noise	
Adjacent to Golf Fairway	NO	Airport Noise	
Adjacent to Greenbelt	NO	Power Lines	NO
Other Designation	NO	Other Nuisances	NO
Deed Restrictions	NO	Problems	
Development Rights Purchased	NO	Water Problems	NO
Easements	NO	Transportation Concurrence	NO
Native Growth Protection Easement	NO	Other Problems	
DNR Lease	NO	Environmental	
		Environmental	NO

BUILDING

 Click the camera to see more pictures.

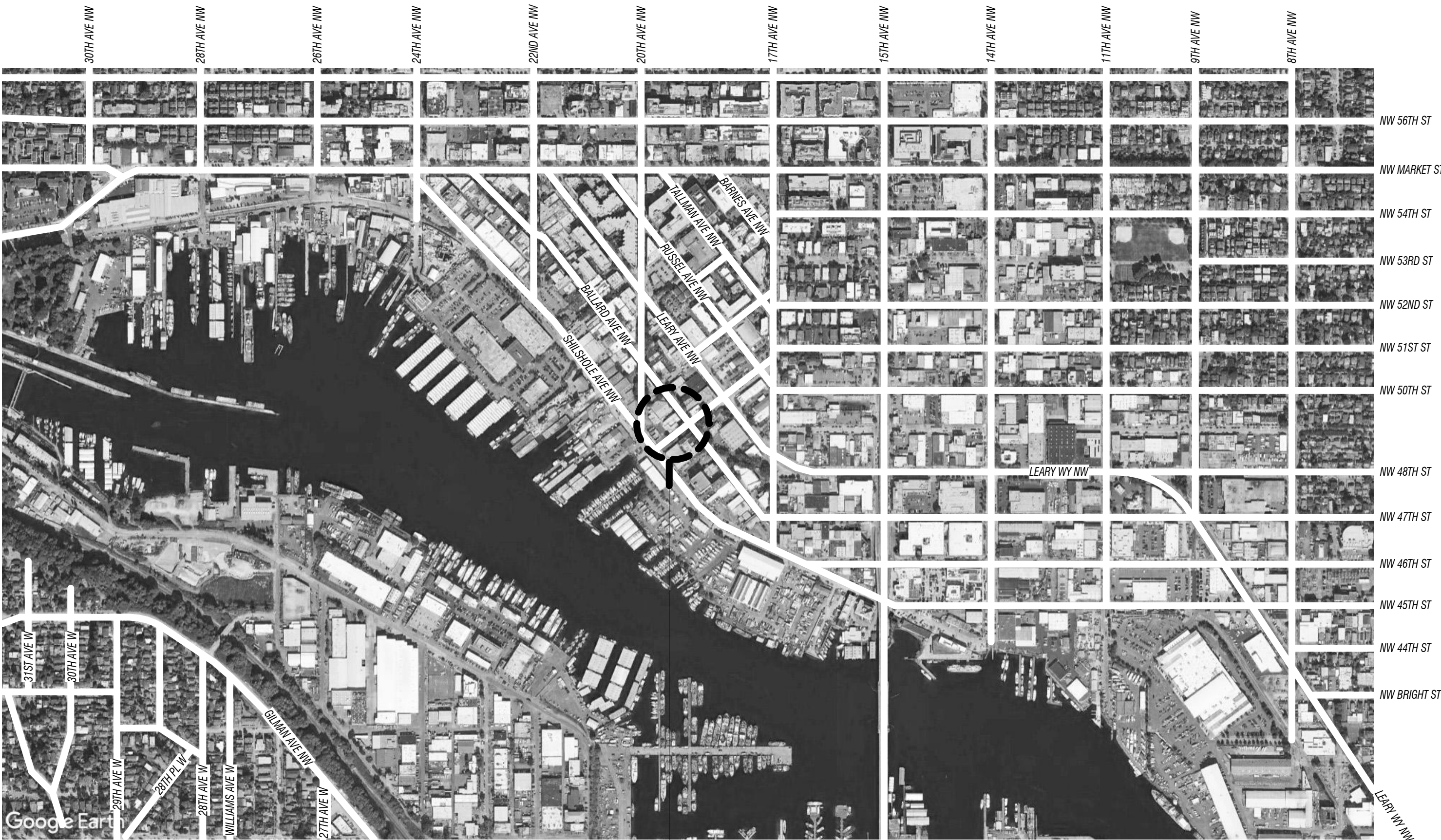
Picture of Building 1

Building Number	1
Building Description	RESTAURANT ( LOFT )
Number Of Buildings Aggregated	1
Predominant Use	RESTAURANT, TABLE SERVICE (350)
Shape	Rect or Slight Irreg
Construction Class	MASONRY
Building Quality	AVERAGE
Stories	1
Building Gross Sq Ft	3,000
Building Net Sq Ft	3,000
Year Built	1900
Eff. Year	1980
Percentage Complete	100
Heating System	ELECTRIC
Sprinklers	Yes
Elevators	
1 2	

Section(s) Of Building Number: 1								
Section Number	Section Use	Description	Stories	Height	Floor Number	Gross Sq Ft	Net Sq Ft	
2	RESTAURANT, TABLE SERVICE (350)	2007 addition	1	10	0	1,250	1,250	
1	RESTAURANT, TABLE SERVICE (350)		1	10		1,750	1,750	

Accessory

Accessory Type	Picture	Description	Qty	Unit Of Measure	Size	Grade	Eff Yr	% Value	Date Valued
Canopies		Outdoor Patio Restaurant Area		Square Feet	600	LOW COST	2017		



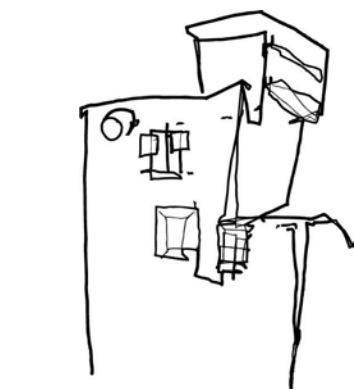
## VICINITY MAP

## SITE



## PROPERTY LOCATION

## PROPERTY



## SWOOSE STUDIO

16044 33RD AVE NE  
LAKE FOREST PARK, WA

Project #-: 2405

Drawn By: AF



## ROAM BAR

5105 BALLARD AVE NW  
SEATTLE, WA 98107

## DofN CoTA APPLICATION

ISSUE DATE: 2024.10.28  
ISSUE DESCRIPTION: DEPT. OF NEIGHBORHOOD CoTA

SHEET TITLE

## PROJECT INFORMATION

SHEET NUMBER

# G000

SHEET DIMENSIONS: 22X34



ABBREVIATIONS

#	NUMBER			OPNG	OPENING
@	AT	FOIO	FURNISHED BY OWNER	OPP	OPPOSITE
¢	CENTERLINE		INSTALLED BY OWNER	ORD	OVERFLOW ROOF DRAIN
AB	ANCHOR BOLT	FOM	FACE OF MASONRY	OVHD	OVERHEAD
ABS	ACRYLONITRILE BUTADIENE	FOS	FACE OF STUDS	PBD	PARTICLE BOARD
		FPHB	FROST-PROOF HOSE BIBB	PCP	PORTLAND CEMENT PLASTER
AD	AREA DRAIN	FP	FIREPLACE	PERF	PERFORATED
ADA	AMERICANS WITH DISABILITIES ACT	FRMG	FRAMING	PERIM	PERIMETER
		FRT	FIRE RETARDANT TREATED	PERM	PERMANENT
ADD'L	ADDITIONAL	FT	"FOOT, FEET"	PERP	PERPENDICULAR
ADJ	ADJUSTABLE	FTG	FOOTING	PH	PHASE
AFF	ABOVE FINISH FLOOR	FURN	FURNITURE	PL	PROPERTY LINE
AP	ACCESS PANEL	GA	GAGE	PLAM	PLASTIC LAMINATE
APPROX	APPROXIMATE	GAL	GALLON	PLWD	PLYWOOD
ARCH	ARCHITECT (URAL)	GALV	"GALVANIZED, GALVANIC"	PRCST	PRECAST
ASPH	ASPHALT	GB	GRAB BAR	PREFAB	PREFABRICATED
ASTM	AMERICAN SOCIETY FO TESTING MATERIALS	GC	GENERAL CONTRACTOR	PRELIM	PRELIMINARY
		GEN	GENERAL	PRKG	PARKING
A/V	AUDIO / VISUAL	GL	GLASS	PROJ	PROJECT
AWI	ARCHITECTURAL WOODWORKING INSTITUTE	GLU LAM	GLUED LAMINATED WOOD	PROP	PROPERTY
		GOV'T	GOVERNMENT	PSF	POUNDS PER SQUARE FOOT
BD	BOARD	GSM	GALVANIZED SHEET METAL	PSI	POUNDS PER SQUARE INCH
BITUM	BITUMINOUS	GWB	GYPSPUM WALL BOARD	PSL	PARALLEL STRAND LUMBER
BLDG	BUILDING	HB	HOSE BIBB	PTD	PAINTED
BLKG	BLOCKING	HC	HOLLOW CORE	PT	"POST-TENSIONED, PRESSURE TREATED"
BM	BEAM	HDR	HEADER		PARTITION
B.M.	BENCHMARK	HDW	HARDWARE	PTN	PARTITION
BO	BOTTOM OF	HDWD	HARDWOOD	PVA	POLYVINYL ACRYLIC
BOF	BOTTOM OF FOOTING	HDWR	HARDWARE	PVC	POLYVINYL CHLORIDE
BR	BEDROOM	HLDN	HOLDDOWN	PVG	PAVING
BSMT	BASEMENT	HM	HOLLOW METAL	QT	QUARRY TILE
Btu	BRITISH THERMAL UNIT	HO	HOLD OPEN	QTY	QUANTITY
CAB	CABINET	HORIZ	HORIZONTAL	R	"RADIUS, RISER"
CB	CATCH BASIN	HR	HOUR	RCP	REFLECTED CEILING PLAN
C.C.	CENTER TO CENTER	HSS	HOLLOW STRUCTURAL	RD	"ROOF DRAIN, ROAD"
CFM	CUBIC FEET PER MINUTE		SECTION	REC	RECESSED
CFOI	CONTRACTOR FURNISHED; OWNER INSTALLED	HT	HEIGHT	REF	"REFER (ENCE), REFRIGERATOR"
		HTG	HEATING		"REINFORCE (D), (ING)"
CH	CHANNEL	HVAC	"HEATING, VENTILATION, AND AIR CONDITIONING"	REINF	REQUIRED
CI	CAST IRON		AIR CONDITIONING"	REQ'D	RESILIENT
CIP	CAST-IN-PLACE	HWH	HOT WATER HEATER	RESIL	"REVISION (S), REVISED"
CL	CENTERLINE	ID	INSIDE DIAMETER	REV	"ROOF HATCH, RIGHT HAND"
CLG	CEILING	IE	INVERT ELEVATION	RH	RIGHT HAND REVERSE
CLR	CLEAR	IN	INCH (S)	RHR	ROOM
CMU	CONCRETE MASONRY UNIT	INCL	INCLUDING (ED)	RM	ROUGH OPENING
CO	CLEAN OUT	INFO	INFORMATION	RO	RIGHT OF WAY
COL	COLUMN	INSUL	INSULATION	ROW	REVOLUTIONS PER MINUTE
CONC	CONCRETE	INT	INTERIOR	RPM	RIGHT
CONT	CONTINUOUS	INV	INVERT	RT	RAINWATER LEADER
COORD	COORDINATE	JST	JOIST (S)	RWL	SOUTH
CSMT	CASEMENT	KIT	KITCHEN	S	SELF-ADHERED MEMBRANE
CT	CERAMIC TILE	KW	KILOWATT	SAM	SOLID CORE
CU. FT.	CUBIC FOOT	L	LENGTH	SC	SCHEDULE
CU. YD.	CUBIC YARD	LAM	LAMINATE(D), LIQUID	SCHED	STORM DRAIN
D	"DRYER, DEEP"		APPLIED MEMBRAN	SD	SQUARE FOOT (FEET)
DBL	DOUBLE	LAV	LAVATORY	SF	SHEET
DEMO	"DEMOLISH, DEMOLITION"	LB (S)	POUND (S)	SHT	SIMILAR
DEPT	DEPARTMENT	LF	LINEAL FOOT/FEET	SIM	STANDPIPE
DET	DETAIL	LH	LEFT HAND	SP	SPECIFICATION
ø or DIA	DIAMETER	LHR	LEFT HAND REVERSE	SPEC	SQUARE
dB	DECIBEL	LOC	LOCATION	SQ	SQUARE INCH
DIM	DIMENSION	LR	LIVING ROOM	SQ IN	"SANITARY SEWER, STANDING SEAM"
DIV	DIVISION	LSL	LAMINATED STRAND LUMBER	SS	STAINLESS STEEL
DN	DOWN	LT	LIGHT		SOUND TRANSMISSION
DP	DAMPPROOFING	LVL	LAMINATED VENEER LUMBER	SST	CLASS
DR	"DINING ROOM, DOOR"	MAG	MAGNET(IC)	STD	STANDARD
DS	DOWNSPOUT	MATL	MATERIAL	STL	STEEL
DT	DRAINTILE	MAX	MAXIMUM	STOR	STORAGE
DW	DISHWASHER	MBR	MASTER BEDROOM	TOS	TOP OF CONCRETE
DWG	DRAWING	MC	MEDICINE CABINET	TOS	TOP OF STEEL
(E)	EXISTING	MECH	MECHANICAL	TOW	TOP OF WALL
E	EAST	MEMB	MEMBRANE	TV	TELEVISION
EA	EACH	MEP	MECHANICAL, ELECTRICAL,	TYP	TYPICAL
EL	ELEVATION			UBC	UNIFORM BUILDING CODE
ELEC	ELECTRIC (AL)	MEZZ	MEZZANINE	UNFN	UNFINISHED
ELEV	ELEVATOR	MFD	MANUFACTURED	UNO	UNLESS NOTED OTHERWISE
ENCL	ENCLOSE (URE)	MFR	MANUFACTURER	UTIL	UTILITY
EQ	EQUAL	MIN	"MINIMUM, MINUTE"	VERT	VERTICAL
EQUIP	EQUIPMENT	MIRR	MIRROR	VIF	VERIFY IN FIELD
ESMT	EASEMENT	MISC	MISCELLANEOUS	V	VOLT
EST	ESTIMATE (D)	MO	MASONRY OPENING	W	"WEST, WIDTH, WASHER"
EXH	EXHAUST	MTD	MOUNTED	W/D	WITH
EXIST.	EXISTING	MTL	METAL	W/O	WITHOUT
EXP	EXPANSION	MULL	MULLION	WC	WATER CLOSET
EXT	EXTERIOR	MULT	MULTIPLE	WD	"WOOD, WOOD DOOR"
FAM	FLUID APPLIED MEMBRANE	(N)	NEW	WDW	WINDOW
FD	FLOOR DRAIN	NA	NOT APPLICABLE	WRB	WEATHER RESISTIVE BARRIER
FDN	FOUNDATION	NG	NATURAL GAS		
FE	FIRE EXTINGUISHER	NIC	NOT IN CONTRACT		
FF	FINISHED FLOOR	NO.	NUMBER		
FIN	FINISH (ED)	NOM	NOMINAL		
FL	FLASHING	N	NORTH		
FLR	FLOOR	NTS	NOT TO SCALE		
FM	FACTORY MANUAL	OA	OVERALL		
FOC	FACE OF CONCRETE	OC	ON CENTER		
FOF	FACE OF FINISH	OD	"OUTSIDE DIAMETER, DIMENSION"		
FOIC	FURNISHED BY OWNER				
	INSTALLED BY CONTRACTOR	OFF	OFFICE		
		OPP HAND	OPPOSITE HAND		

GENERAL NOTES

1. GENERAL:

- 1.A THE CONTRACTOR SHALL BE GOVERNED BY ALL CONDITIONS AS INDICATED IN THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS.
- 1.B THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY IN THE AREA OF WORK IN ACCORDANCE WITH ALL APPLICABLE SAFETY CODES.
- 1.C THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR INJURY OR DEATH TO PERSONS OR FOR DAMAGE TO PROPERTY CAUSED BY NEGLIGENCE OF CONTRACTOR, HIS AGENT, EMPLOYEES OR SUBCONTRACTORS.
- 1.D EACH CONTRACTOR/SUBCONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ADJACENT WORK AND IS RESPONSIBLE FOR THE REPAIR OF SAID DAMAGE AT THEIR OWN EXPENSE.
- 1.E THE CONTRACTOR SHALL REPORT ERRORS AND OMISSIONS TO THE ARCHITECT IMMEDIATELY IN WRITING. DO NOT VARY OR MODIFY THE WORK SHOWN EXCEPT UPON WRITTEN INSTRUCTIONS OF THE ARCHITECT.
- 1.F THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WALL BLOCKING AS REQUIRED FOR ALL WALL AND CEILING MOUNTED ITEMS. COORDINATE WITH THE ARCHITECT AND/OR OWNER LOCATION OF ALL MOUNTED ITEMS WHICH ARE N.I.C.
- 1.G ALL CONSTRUCTION SHALL BE STABILIZED AGAINST LATERAL MOVEMENT IN ACCORDANCE WITH REQUIREMENTS OF THE LATEST ADOPTED EDITION OF THE I.B.C. IN THE LOCAL JURISDICTION AND IN STRICT ACCORDANCE WITH THE STRUCTURAL DETAILS OF THIS SET OF DRAWINGS.
- 1.H ALL WORK SHALL BE INSTALLED TRUE, PLUM, SQUARE, LEVEL AND IN PROPER ALIGNMENT.
- 1.I OFFSET STUDS WHERE REQUIRED SO THAT FINISH WALL SURFACES WILL BE FLUSH.
- 1.J MECHANICAL, ELECTRICAL, VERTICAL TRANSPORTATION, & SPRINKLER WORK CONDUCTED UNDER SEPARATE PERMIT & NOT PART OF THIS CONTRACT.
- 1.H INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S SPECIFICATION.
- 1.I CONTRACTOR SHALL GUARANTEE ALL WORK AGAINST FAULT OF ANY MATERIAL OR WORKMANSHIP FOR PERIOD OF ONE YEAR AFTER COMPLETION AND ACCEPTANCE. FAULTY WORK SHALL BE REPLACED OR REPAIRED AS REQUIRED AT CONTRACTOR'S EXPENSE.
- 1.J ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE 2018 I.R.C., THE GOVERNING ENERGY CODE AND MECHANICAL CODE WITHIN THE JURISDICTION OF THE PROJECT. IN CASE OF CONFLICT WHERE METHODS OR STANDARDS OF INSTALLATION OR MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE ORDINANCES SHALL GOVERN. NOTIFY THE ARCHITECT OF ANY CONFLICT.
- 1.K IMPORTANT: IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH AND EVERY SUBTRADE TO ENSURE EVERY ASPECT OF THIS WORK IS IN COMPLIANCE WITH THE PREVAILING CODES.

2. CODES:

- 2.A ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE 2018 I.R.C., THE GOVERNING ENERGY CODE AND MECHANICAL CODE WITHIN THE JURISDICTION OF THE PROJECT. IN CASE OF CONFLICT WHERE METHODS OR STANDARDS OF INSTALLATION OR MATERIALS SPECIFIED DO NOT EQUAL OR EXCEED THE REQUIREMENTS OF THE LAWS OR ORDINANCES, THE ORDINANCES SHALL GOVERN. NOTIFY THE ARCHITECT OF ANY CONFLICT.
- 2.B IMPORTANT: IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND EACH AND EVERY SUBTRADE TO ENSURE EVERY ASPECT OF THIS WORK IS IN COMPLIANCE WITH THE PREVAILING CODES.

3. DRAWINGS:

- 3.A THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT. AUTHORIZED REPRODUCTION MUST BEAR THE NAME OF THE FIRM.
- 3.B IN CASE OF DISCREPANCY OR AMBIGUITY, CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH ANY WORK.
- 3.C DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED ONLY SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT.
- 3.D CONTRACTOR SHALL FURNISH SHOP DRAWINGS FOR THE ARCHITECT'S APPROVAL PRIOR TO MANUFACTURE OF ANY CABINET WORK, MILLWORK AND ANY OTHER SPECIAL ITEMS REQUIRING CUSTOM SHOP FABRICATED WORK.

DRAWINGS CONT'D:

- 3.E DRAWINGS INCLUDE ABBREVIATIONS WHICH ARE IN COMMON USE. THE LIST OF ABBREVIATIONS PROVIDED IS NOT INTENDED TO BE COMPLETE OR REPRESENTATIVE OF CONDITIONS OR MATERIALS SPECIFICALLY USED ON THE PROJECT. THE ARCHITECT WILL DEFINE THE INTENT OF ANY DEFINITION OR TERM IN QUESTION.

4. SUPPLEMENTARY DRAWINGS AND SPECIFICATIONS:

- 4.A STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND FIRE PROTECTION DRAWINGS ARE SUPPLEMENTARY TO THESE DRAWINGS. THE CONTRACTOR SHALL COORDINATE THE WORK OF EACH CONSULTING ENGINEER WITH THESE DRAWINGS OR SPECIFICATIONS AND SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES WITH A WRITTEN REQUEST FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THESE CONTRACT DOCUMENTS SHALL BE CORRECTED SOLELY AT THE EXPENSE OF THE CONTRACTOR.

5. DIMENSIONS:

- 5.A DO NOT SCALE THESE DRAWINGS. ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS ADVERSELY AFFECTING THE DESIGN PRIOR TO PROCEEDING WITH THE ITEM OF WORK AFFECTED.
- 5.B DIMENSIONS ON THE PLANS ARE TO FACE OF STRUCTURE, UNLESS OTHERWISE NOTED.

6. COORDINATION:

- 6.A THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND COORDINATION OF THE WORK OF ALL TRADES TO ASSURE COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS.

7. FIRE PROTECTION:

- 7.A FIRE PROTECTION CONTRACTORS SHALL PROVIDE FIRE PROTECTION DRAWINGS REQUIRED BY GOVERNING AUTHORITY. DRAWINGS SHOULD BE SUBMITTED TO THE ARCHITECT FOR REVIEW.

- 7.B PROVIDE FIRE PROTECTION AT ALL PENETRATIONS OF FIRE RATED ELEMENTS REQUIRED BY THE FIRE OFFICIAL.

8. ELECTRICAL NOTES:

- 8.A THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING COMPLIANCE WITH ALL CODES AND OBTAINING ALL NECESSARY PERMITS.
- 8.B ALL DEVIATIONS FROM DIMENSIONED LOCATIONS MUST BE APPROVED BY THE ARCHITECT.
- 8.C THE ELECTRICAL CONTRACTOR SHALL VERIFY THE LOCATION OF EACH CORE DRILL WITH THE EXISTING STRUCTURE, PIPING, CONDUIT, ETC. AND SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- 8.D ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS SHOULD BE CALLED TO THE ATTENTION OF THE ARCHITECT.
- 8.E ALL NEW ELECTRICAL/TELEPHONE OUTLETS ARE TO BE MOUNTED VERTICALLY AT 15" AFF UNLESS NOTED. ALL WALL MOUNTED RECEPTACLES LOCATED IN CASEWORK ARE TO BE MOUNTED HORIZONTALLY UNLESS OTHERWISE NOTED.
- 8.F SPECIAL HEIGHTS ARE NOTED ADJACENT TO THE OUTLET.

9. MECHANICAL NOTES:

- 9.A EXCEPT AS PROVIDED BY ARCHITECT IN THE CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL DESIGN, RPEARE NECESSARY PLANS, PROVIDE SIZING OF ALL HVAC EQUIUPMENT AND CALCULATIONS, HAVE PLANS CHECKED, AND OBTAIN BUILDING PERMITS FOR THE HVAC SYSTEMS.
- 9.B ALL HVAC SYSTEMS ARE TO COMPLY WITH ALL APPLICABLE CODES, AND ARE NOT PART OF THIS CONTRACT.
- 9.C THE CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL EQUIUPMENT WITH MECHANICAL DRAWINGS AS WELL AS SHOP DRAWINGS BEFORE PROCEEDING WITH WORK.

10. FINISH NOTES:

- 10.A ALL FINISH MATERIAL COLORS SHALL MATCH ARCHITECT'S CONTROL SAMPLES AND REQUIRE THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

SYMBOL LEGEND

1. GRIDLINE REFERENCE
2. NORTH SYMBOL
3. BUILDING ELEVATION SYMBOL  
DRAWING NUMBER  
SHEET NUMBER
4. BUILDING SECTION SYMBOL  
DRAWING NUMBER  
SHEET NUMBER
5. WALL SECTION SYMBOL  
DRAWING NUMBER  
SHEET NUMBER
6. DETAIL REFERENCE SYMBOL  
DRAWING NUMBER  
SHEET NUMBER
7. INTERIOR ELEVATION SYMBOL  
DRAWING NUMBER  
SHEET NUMBER

8. TOP OF WALL ELEVATION SYMBOL
9. SPOT ELEVATION SYMBOL
9. CEILING HEIGHT SYMBOL
10. MATCHLINE SYMBOL  
DRAWING # / SHEET #
11. ROOM TAG SYMBOL
12. DOOR TAG SYMBOL
13. WINDOW TAG SYMBOL
14. ASSEMBLY TAG SYMBOL
15. REVISION REFERENCE SYMBOL
16. EXISTING CONSTRUCTION
17. DEMOLISH
18. NEW CONSTRUCTION

MATERIAL LEGEND

1. EARTH
2. FREE DRAINING FILL
3. SAND, GROUT
4. CONCRETE
5. BRICK
6. CONCRETE MASONRY UNITS
7. STONE
8. ALUMINIUM


9. STEEL, OTHER METALS
10. WOOD BLOCKING OR SHIM
11. WOOD FRAMING, CONTINUOUS
12. PLYWOOD
13. FINISHED WOOD
14. BATT INSULATION
15. RIGID INSULATION
16. SPRAY FOAM INSULATION

GENERAL SITE NOTES

1. BUILDING PLACEMENT AND ALL DEVELOPMENT COMPONENTS WITHIN THE BOUNDS OF THE OWNER'S PROEPRTY SHALL COMPLY WITH ALL LOCAL JURISDICTIONAL DEVELOPMENT STANDARDS AND REQUIREMENTS.
2. THIS SITE PLAN SHALL BE COORDINATED WITH THE OWNER AND ARCHITECT.
3. IT WILL BE THE OWNER'S RESPONSIBILITY TO DEFINE THE LANDSCAPING PLAN POST CONSTRUCTION
4. ALL GRADING AND DRAINAGE TO PROMOTE SURFACE WATER TO DRAIN AWAY FROM ALL BUILDINGS AND INFILTRATED NATURALLY TO RECHARGE THE GROUND
5. NEW CONTOUR LINES DRAWN ARE APPROXIMATE AND WILL BE VERIFIED DURING CONSTRUCTION TO ENSURE WATER DRAINS AWAY FROM BUILDING AND MINIMAL CHANGES ARE MADE TO EXISTING TOPOGRAPHY
6. GRADE WILL BE BALANCED ON SITE TO THE MAXIMUM EXTENT POSSIBLE WITH NO FILL TO BE BROUGHT IN AND CUT TO BE REDISTRIBUTED ON SITE.
7. POTABLE WATER PROVIDED TO THE HOUSE FROM EXISTING WATER SERVICE AT NORTHWEST CORNER OF THE PROPERTY, VIA WATERLINE TO NORTHEAST SIDE OF THE BUILDING

PERMITTING


1. A SEPARATE ELECTRICAL PERMIT IS REQUIRED AND IS THE CONTRACTOR'S RESPONSIBILITY
2. DEFERRED SUBMITTAL, IF APPLICABLE, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL



**SWOOSE STUDIO**  
16044 33RD AVE NE  
LAKE FOREST PARK, WA

Project #: 2405      Drawn By: AF

12463 REGISTERED ARCHITECT



ALEXANDER J. FRASER  
STATE OF WASHINGTON

**ROAM BAR**  
5105 BALLARD AVE NW  
SEATTLE, WA 98107

**DofN CoIA APPLICATION**

ISSUE DATE 2024.10.28	ISSUE DESCRIPTION DEPT. OF NEIGHBORHOOD CoIA
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SHEET NUMBER

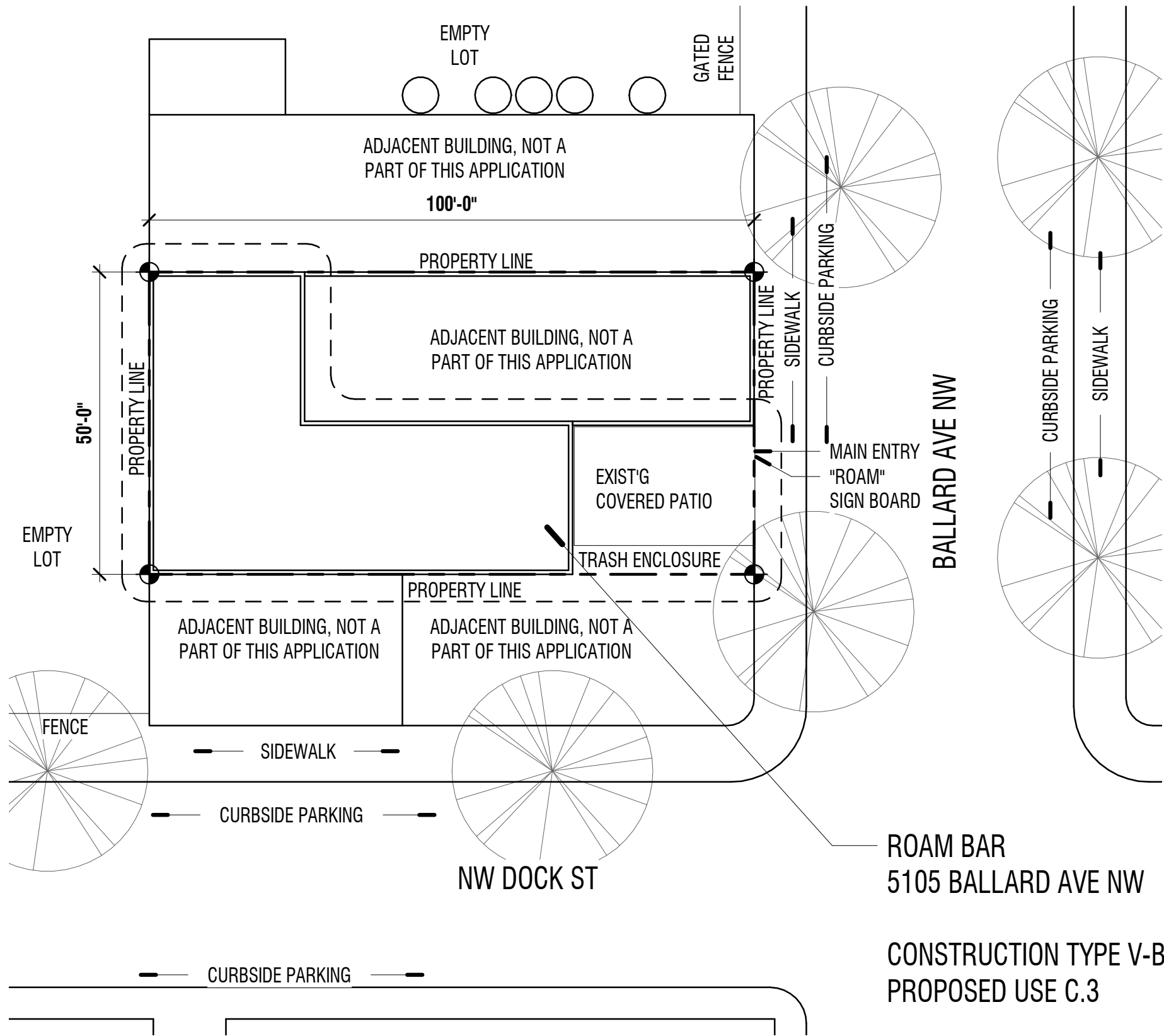
**NOTES, ABBREVIATIONS, AND SYMBOLS**

SHEET NUMBER

**G001**

SHEET DIMENSIONS: 22X34





## 1 SITE PLAN

SCALE: 1" = 20'-0"

## BLDG STATS

TENANT:	ROAM BAR
PROJECT ADDRESS:	5105 BALLARD AVE NW SEATTLE, WA
TAX PARCEL NUMBER:	2767702330
LEGAL DESCRIPTION:	GILMAN PARK ADD, PLAT BLOCK 70, PLAT LOT 6
ZONE:	C1-65
HISTORIC DISTRICT:	BALLARD AVENUE LANDMARK DISTRICT
BUILDING TYPE:	V-B, SPRINKLERED
EXISTING USE & OCCUPANCY:	"A-2", C.2 EATING & DRINKING ESTABLISHMENT
PROPOSED USE & OCCUPANCY:	"A-2", C.3 ENTERTAINMENT, ADULT CABARET
SITE AREA:	5,000 SF (NO CHANGE)
BUILDING AREA:	3,070 SF TOTAL

## BUILDING CODE

PER 2018 SEATTLE BUILDING CODE

### EXITING AND EGRESS @ EXISTING RESTAURANT & BAR AREAS

USE	AREA	FACTOR	OCCUPANT LOAD
"A-2" LOWER BAR & RESTAURANT	759 SF	15SF/OCCP	50.6
"A-2" LOFT	954 SF	15SF/OCCP	63.6
"A-2" KITCHEN	401 SF	200SF/OCCP	2.0
"A-2" SERVING AREAS	261 SF	200SF/OCCP	1.3
"A-2" STORAGE	315 SF	300SF/OCCP	1.1
TOTAL:			118.6
REQ'D EXITS:			2
EXITS PROVIDED:			2

### EXITING AND EGRESS @ PATIO AREA

USE	AREA	FACTOR	OCCUPANT LOAD
"A-2" PATIO	466 SF	15SF/OCCP	31.1
TOTAL:			31.1
REQ'D EXITS:			1
EXITS PROVIDED:			1

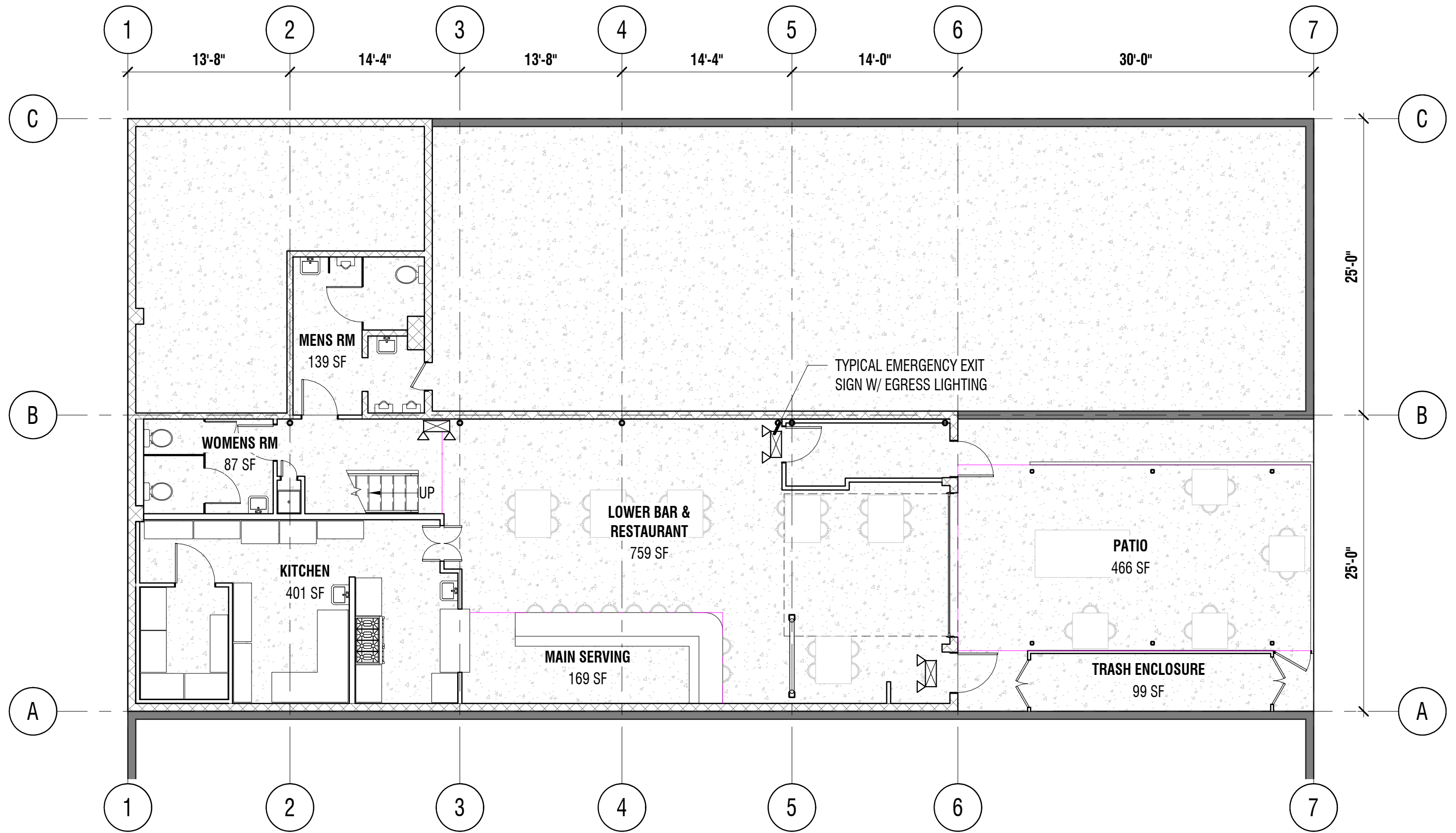
### PLUMBING FIXTURES

USE, DEMOGRAPHIC	OCCUPANT LOAD	FACTOR	REQ'D FIXTURES
"A-2", MALE	74.9	1WC/40 OCCP	1.8 WC's
"A-2", MALE	74.9	1LAV/75 OCCP	1 LAV

\*1 EXIST'G WC & 3 EXIST'G URINALS PROVIDED  
\*2 EXIST'G LAV's PROVIDED

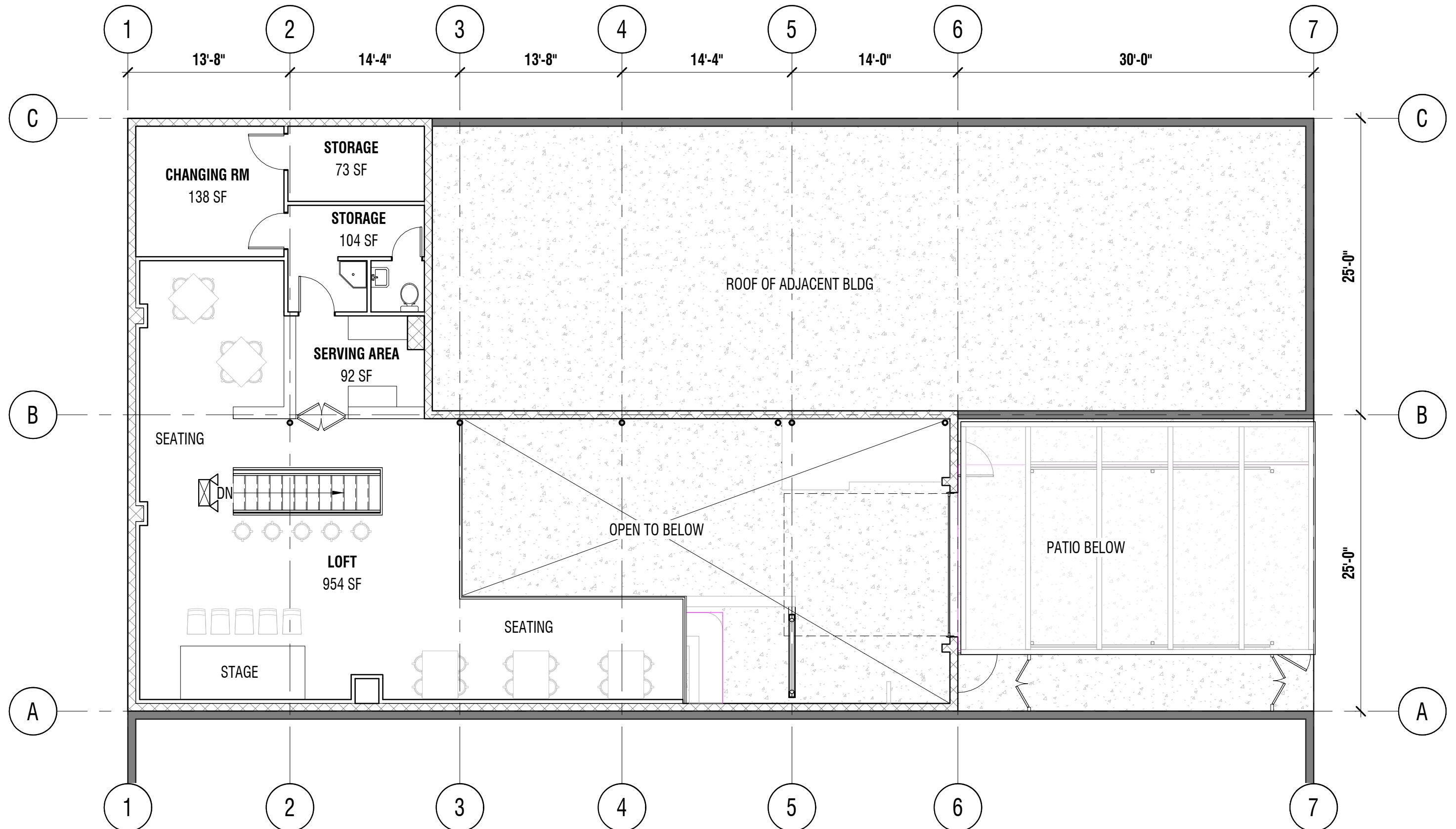
USE, DEMOGRAPHIC	OCCUPANT LOAD	FACTOR	REQ'D FIXTURES
"A-2", FEMALE	74.9	1WC/40 OCCP	1.8 WC's
"A-2", FEMALE	74.9	1LAV/75 OCCP	1 LAV

\*2 EXIST'G WC's PROVIDED  
\*1 EXIST'G LAV PROVIDED



## 2 FIRST FLOOR

SCALE: 1/8" = 1'-0"



## 3 SECOND FLOOR

SCALE: 1/8" = 1'-0"

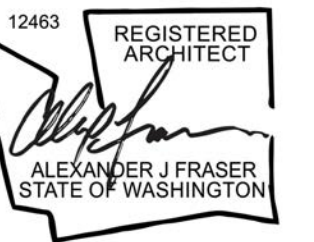


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ROAM BAR

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DofN CoTA APPLICATION

ISSUE DATE

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ISSUE DESCRIPTION

DEPT. OF NEIGHBORHOOD CoTA

SHEET TITLE

CODE ANALYSIS

SHEET NUMBER

G002

SHEET DIMENSIONS: 22X34