

SEATTLE CENTER ARENA



SCHEMATIC DESIGN
SEATTLE DESIGN COMMISSION

JUNE 2018



CAAICON

POPULOUS



SWIFT COMPANY

HADDAD|DRUGAN

SUSTAINABILITY

PROJECT PERFORMANCE & SUSTAINABILITY GOALS

- Project is targeting LEED-BD+C v.4 Certified.
- Energy performance of at least 3% over ASHRAE 90.1-2013 baseline is being targeted
- Reduce potable water use by at least 30% over baseline, with a goal of 40%
- Minimize potable water used for landscape irrigation
- Achieve WELL Building Standard Certification and create a showcase building that optimizes occupant health and wellbeing. Level of WELL Certification TBD.
- Provide commissioning in conjunction with the use of a high efficiency central utility plant to maximize arena energy efficiency.
- Current targeted total LEED Points = 44
 - 40 - 49 Points = Certified



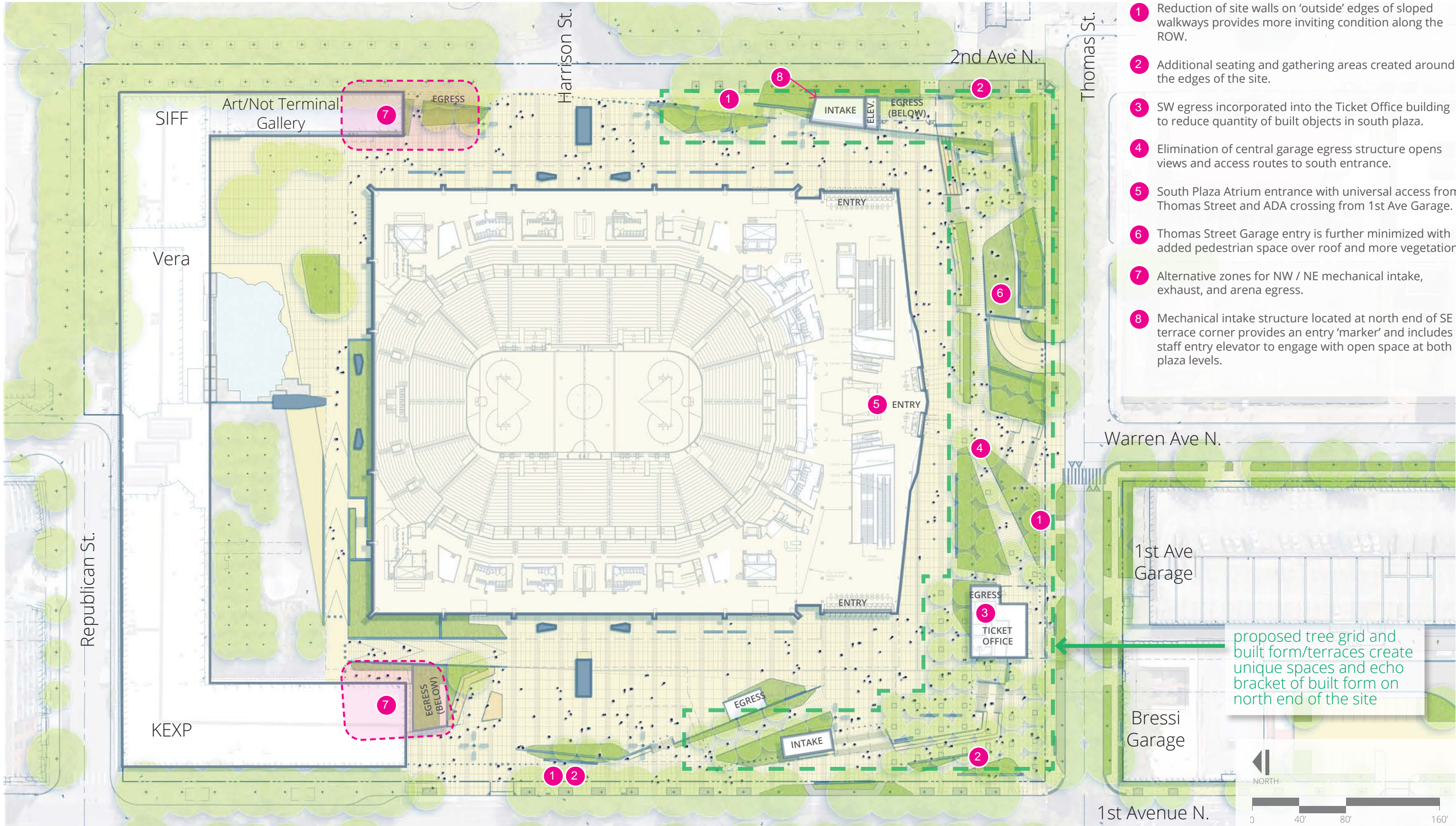
DEIS TRANSPORTATION MITIGATION

FROM DRAFT ENVIRONMENTAL IMPACT STATEMENT

- Construction Management Plan – parking, curb space management, bus stop / layover relocation, and safety impacts
- Revised Curbside Management MOA
- Off-site Parking Facility Reservation and Best Practices System
- Capital improvements near the Arena – such as crosswalks, bulb-outs, new signals, transit queue jumps, reconfiguration of 1st Ave N bike lane
- Event Transportation Management Plan (TMP)
- Event Demand Management Plan (DMP)

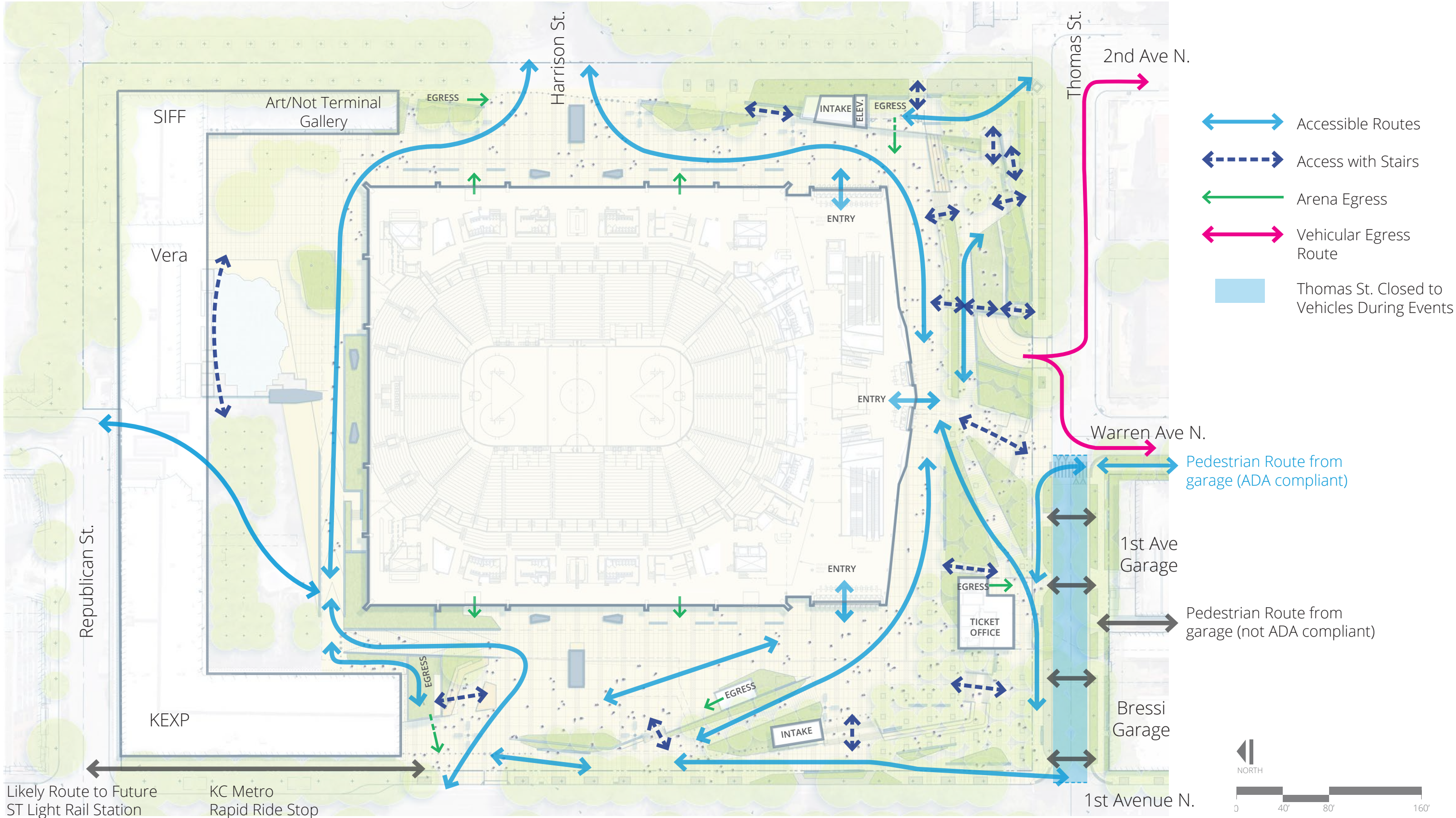
SCHEMATIC DESIGN SITE PLAN

PROPOSED SITE DESIGN



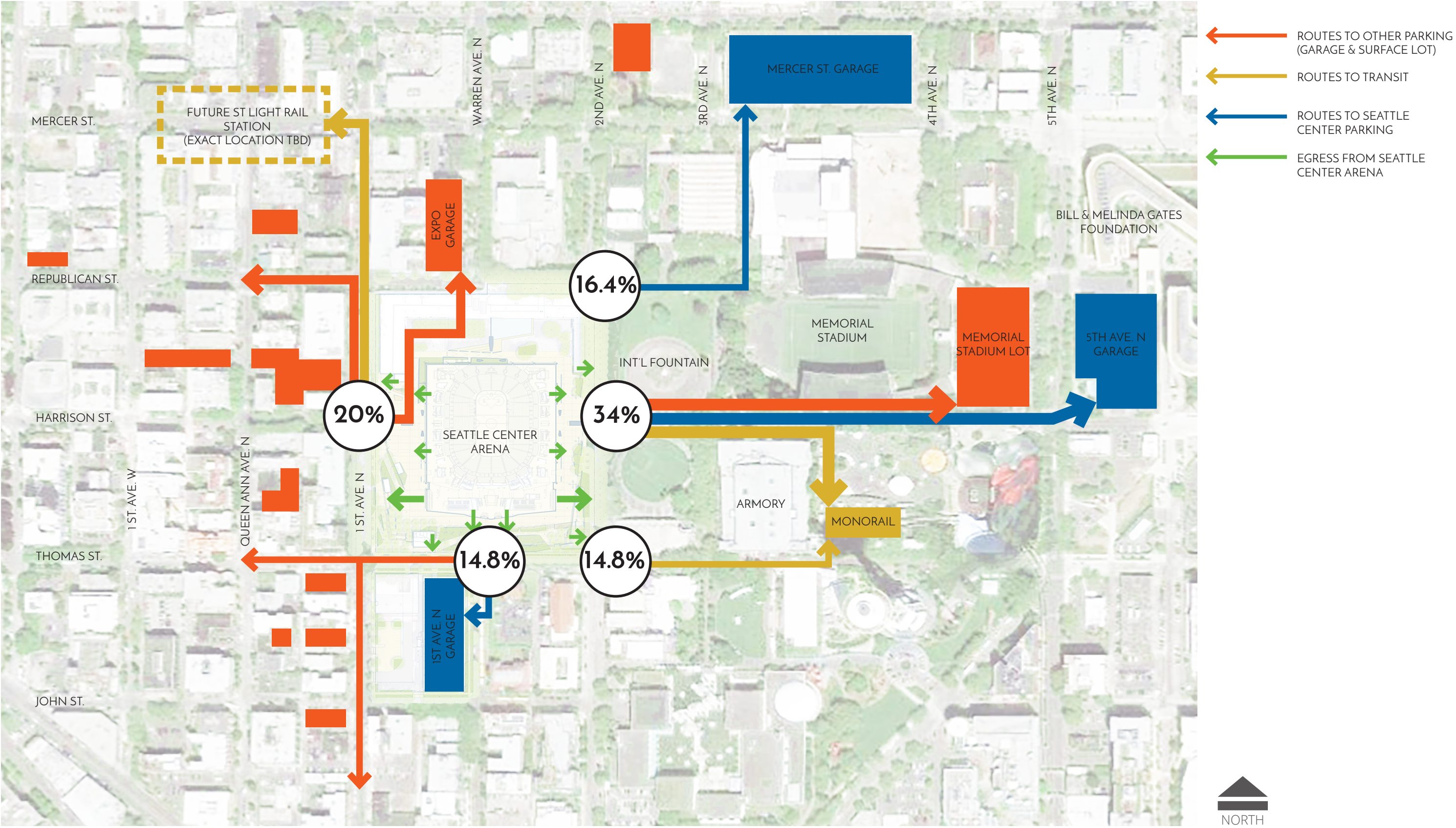
SITE DIAGRAMS

ACCESSIBLE ROUTES



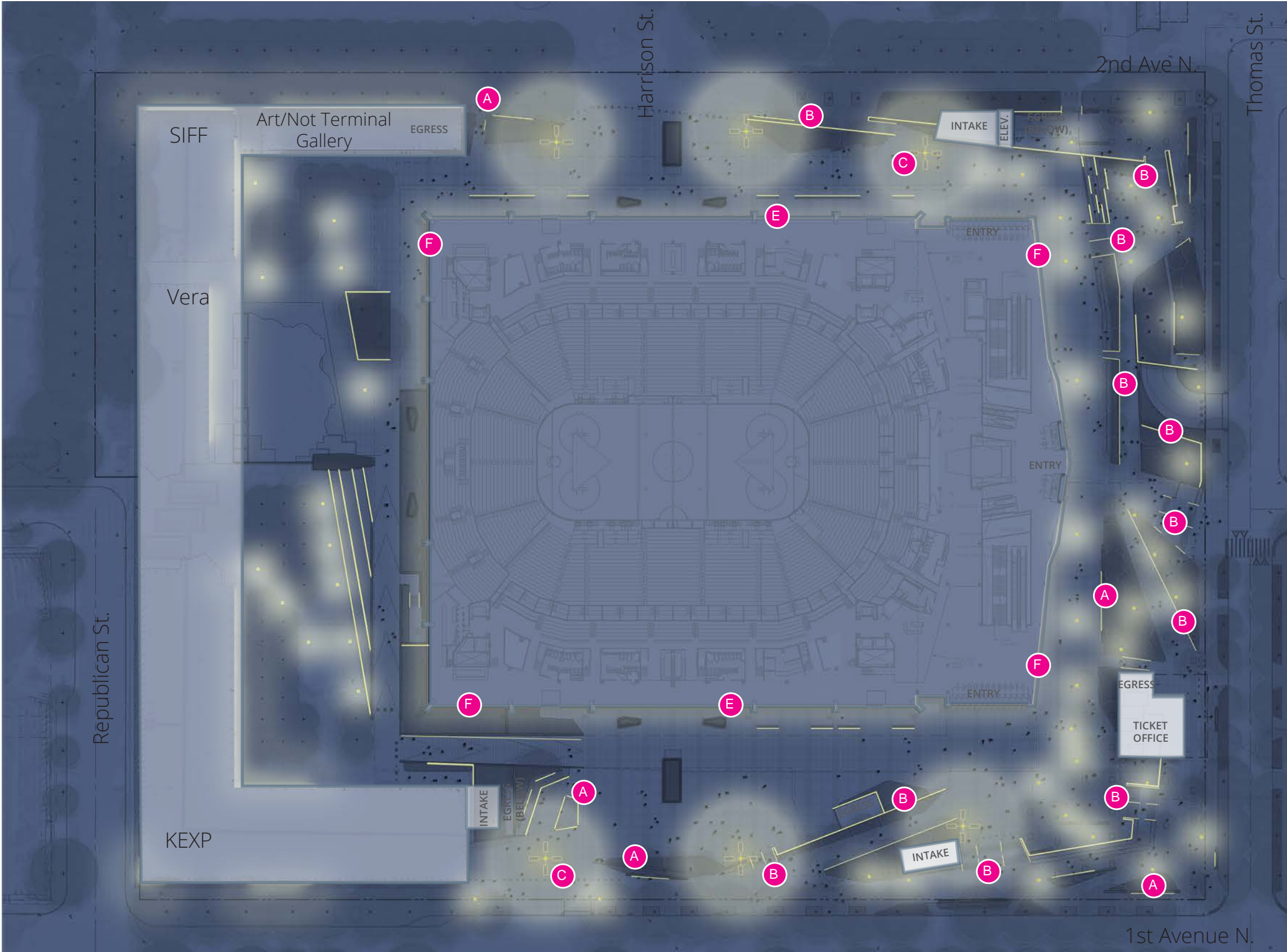
SITE DIAGRAMS

DISTRICT PEDESTRIAN ROUTES - EGRESS



SITE LIGHTING PLAN

PROPOSED SITE DESIGN



A Bench/wall lighting



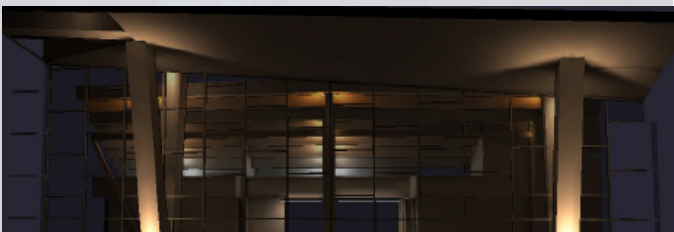
B Handrail/Guardrail lighting



C High pole lighting



D Pedestrian lighting



E Column lighting



F Facade projection



ART PLAN | VISION FOR ART AT SEATTLE CENTER ARENA

ART as **collective emotional experience with transformational power**

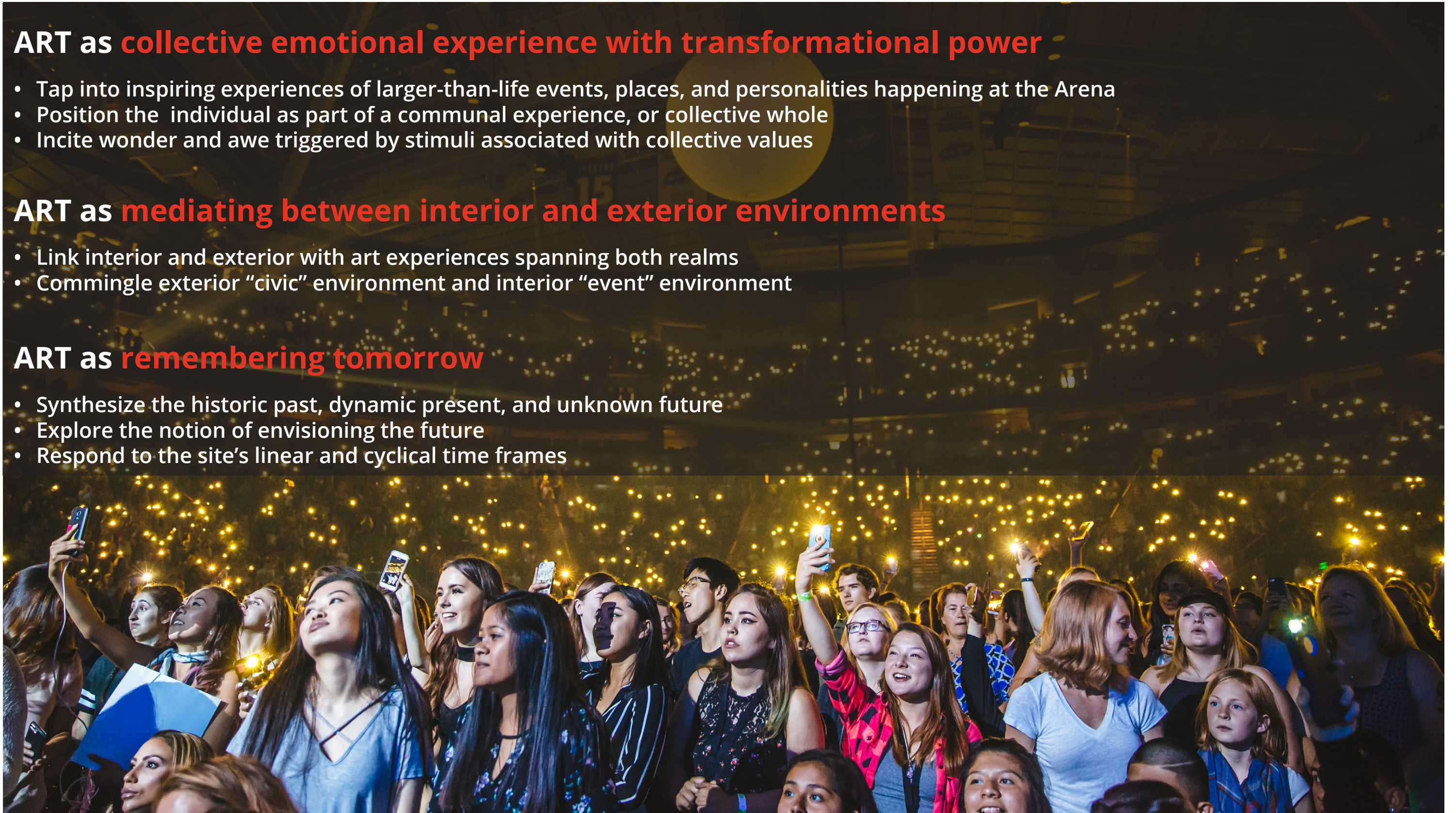
- Tap into inspiring experiences of larger-than-life events, places, and personalities happening at the Arena
- Position the individual as part of a communal experience, or collective whole
- Incite wonder and awe triggered by stimuli associated with collective values

ART as **mediating between interior and exterior environments**

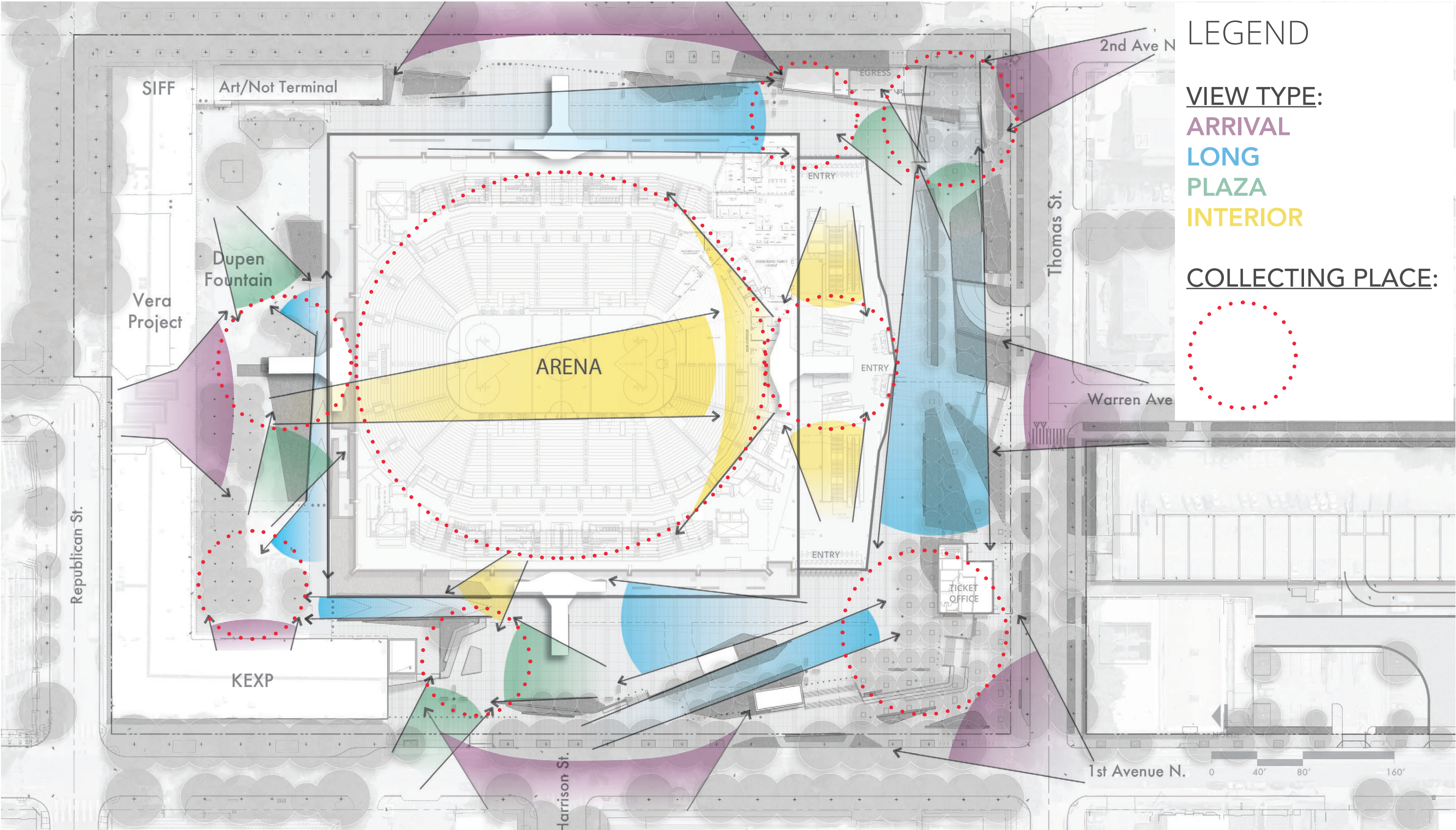
- Link interior and exterior with art experiences spanning both realms
- Commingle exterior “civic” environment and interior “event” environment

ART as **remembering tomorrow**

- Synthesize the historic past, dynamic present, and unknown future
- Explore the notion of envisioning the future
- Respond to the site’s linear and cyclical time frames

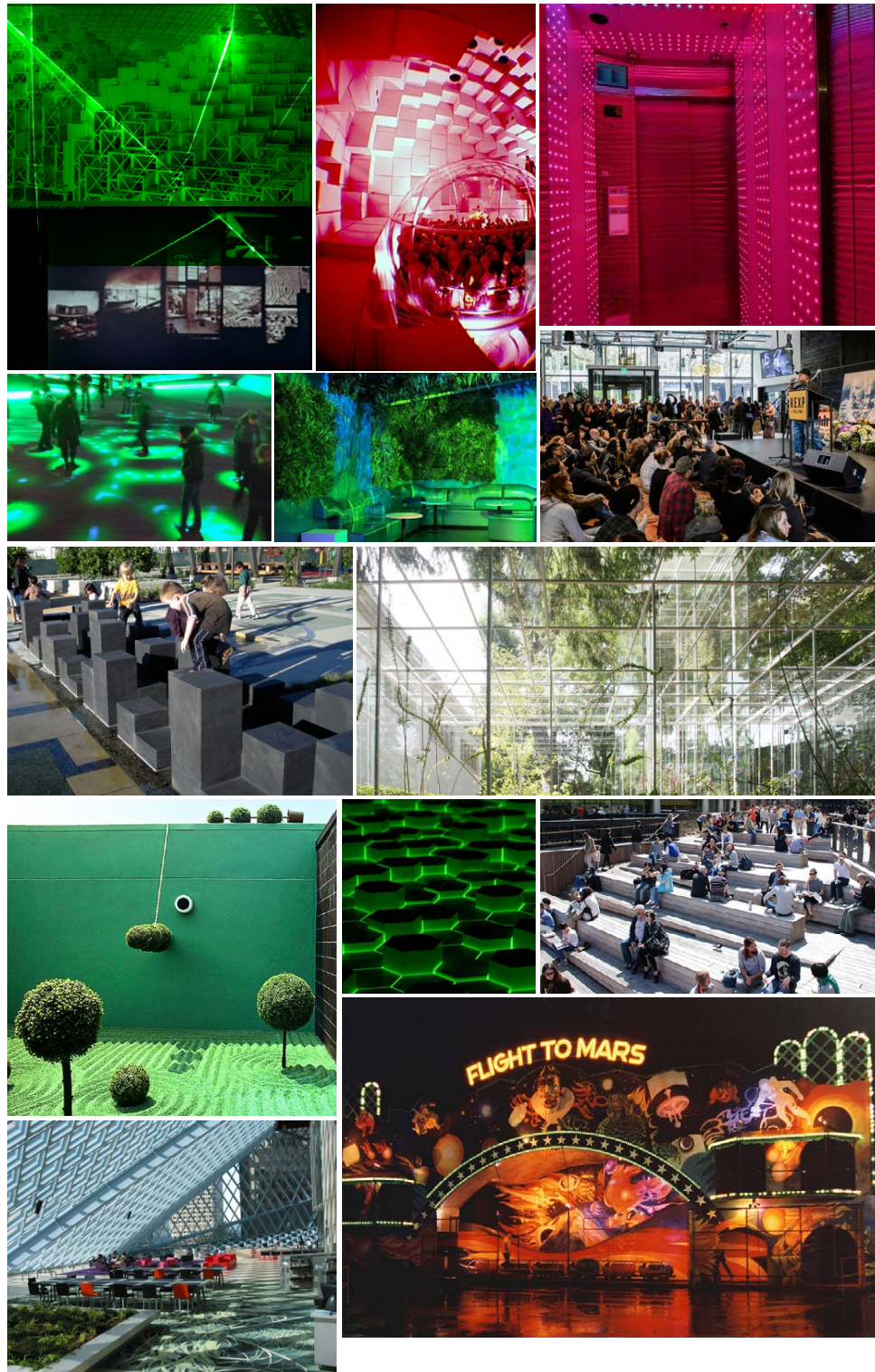


ART PLAN | VIEWS | COLLECTING

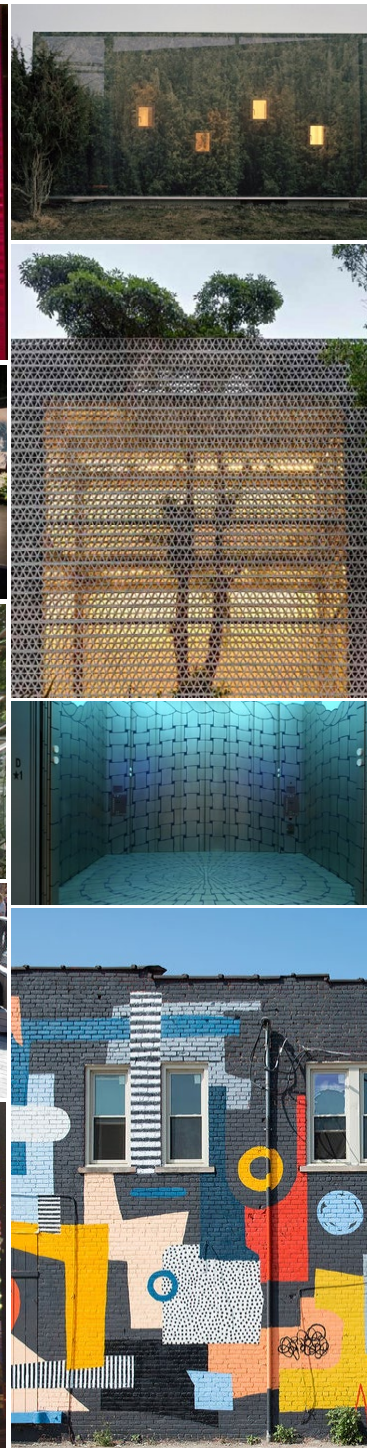


ART PLAN | INTEGRATED ART TYPOLOGIES

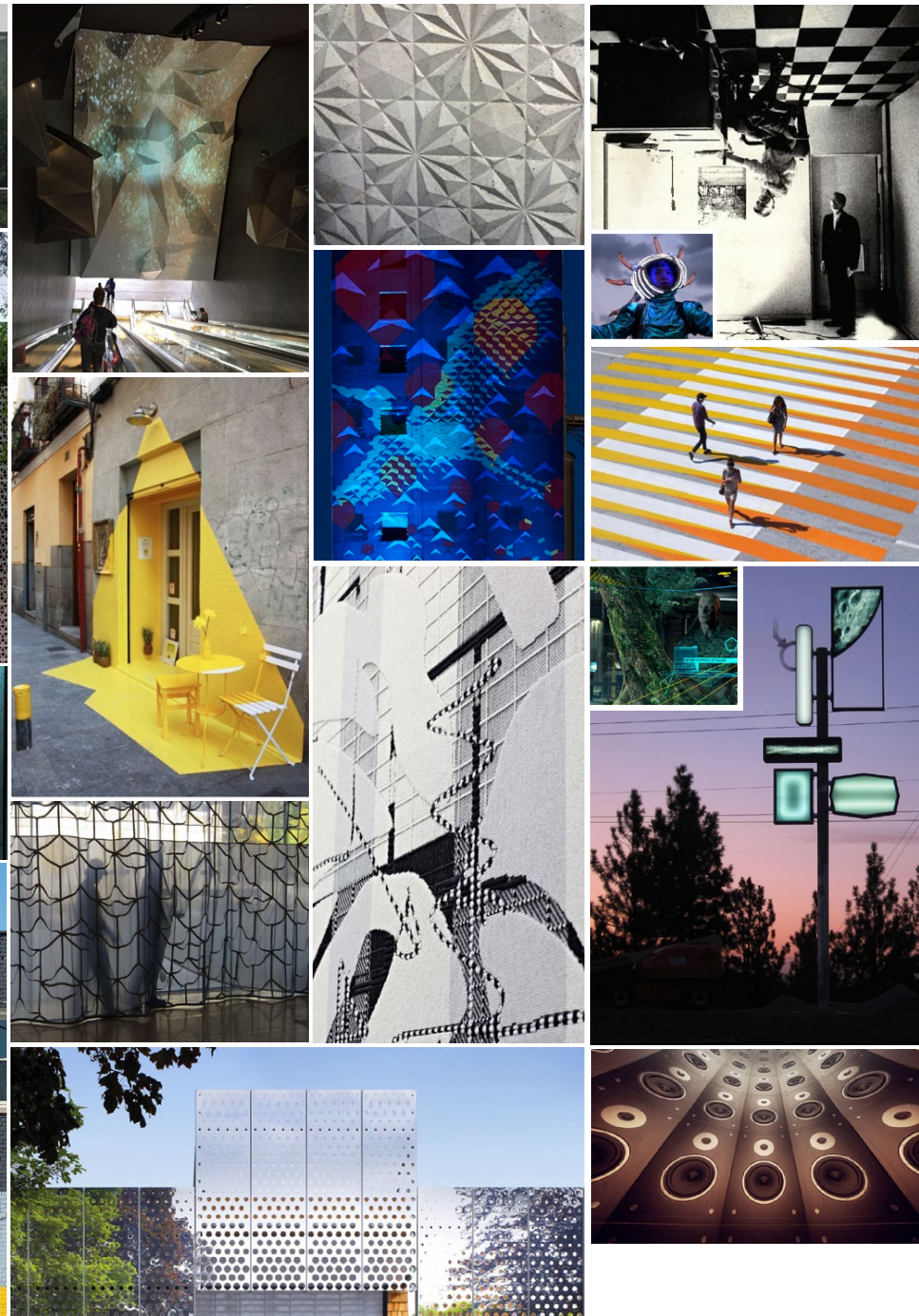
place



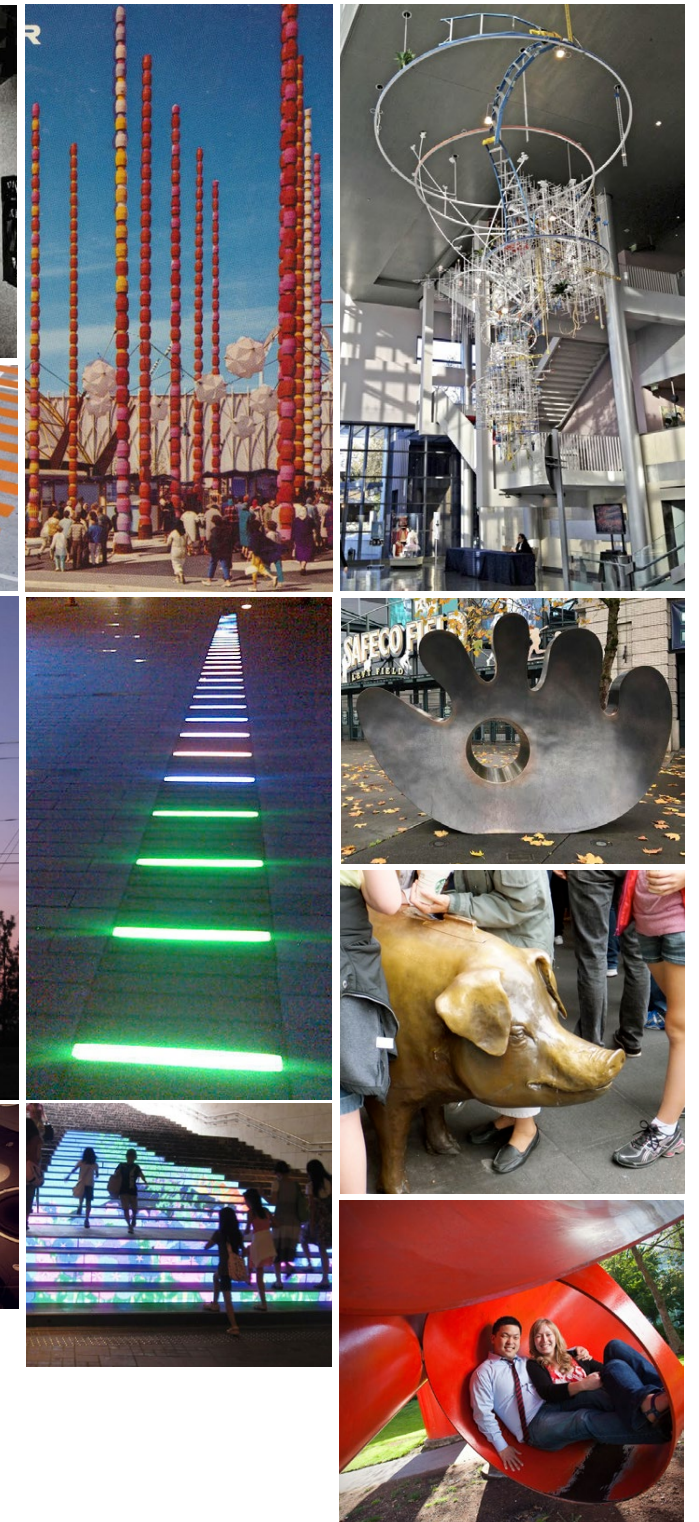
surface



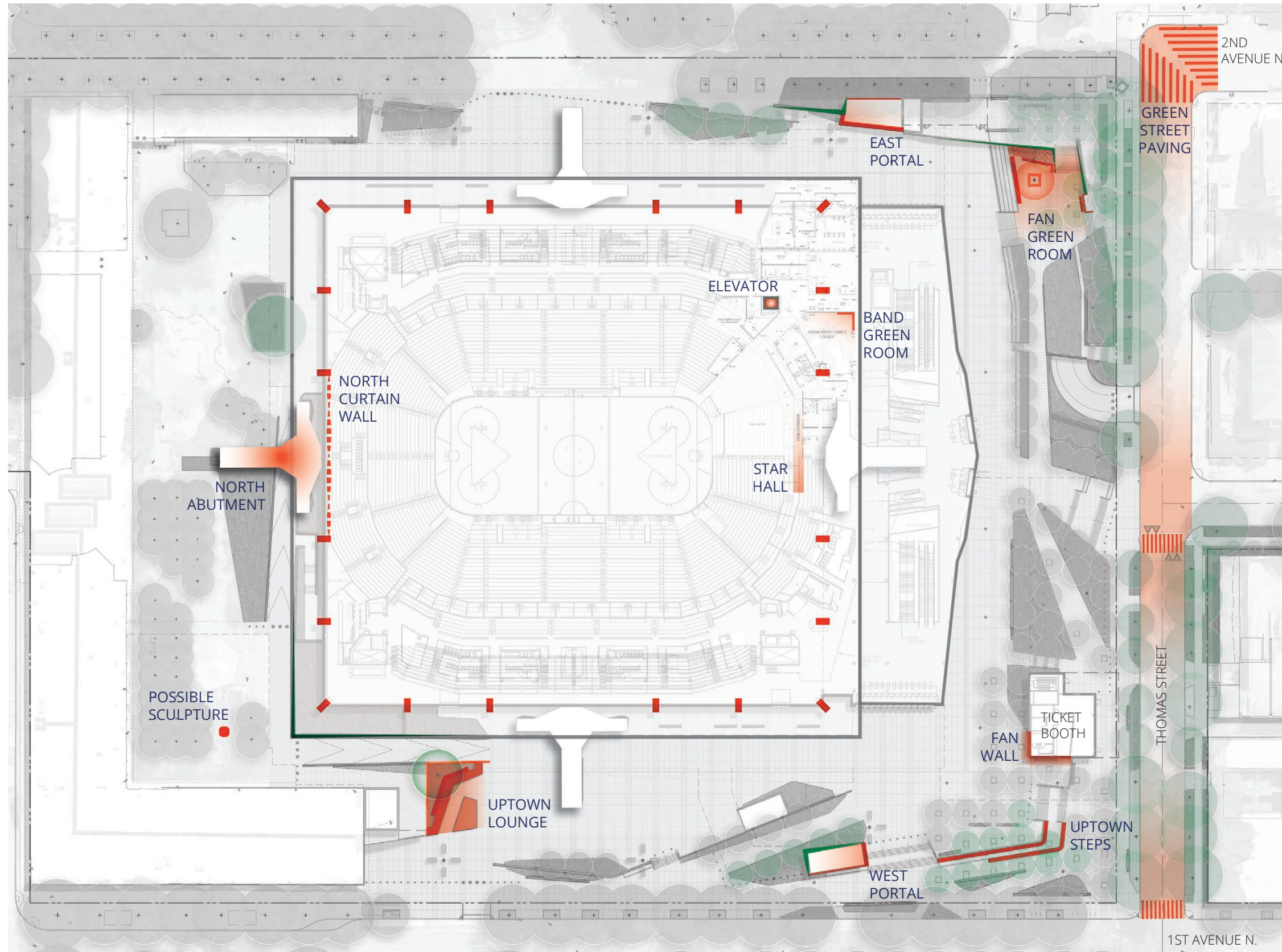
wayfinding



landmark



ART PLAN | INTEGRATED ART OPPORTUNITIES



ART LIGHTING

- Create RGB LED lighting schemes and programs for V-Columns, Roof, Trusses, North Abutment underside, and North Curtain Wall

THOMAS "GREEN STREET" PAVING:

- Enhance new paving treatments for the Thomas "Green" Street," with focal points at crosswalks on 2nd Avenue N., Warren Avenue, and 1st Avenue N.

GREEN ROOM:

- Collaborate with design team to develop unique wall, seating, lighting, paving, and planting treatments and overlays complementary to exterior "Fan Green Room" (primary site) and interior "Band Green Room" (secondary site) design framework

UPTOWN PLAZA:

- Collaborate with design team to develop unique wall, seating, lighting, paving, and planting treatments and overlays complementary to "Uptown Lounge" and "Uptown Steps" design framework

FAN WALL / STAR HALL:

- Develop wall surface treatments that incorporate interactivity with fans and stars

ARENA PORTALS:

- Develop wall surface treatments for the southeast and southwest intake structures to form portals

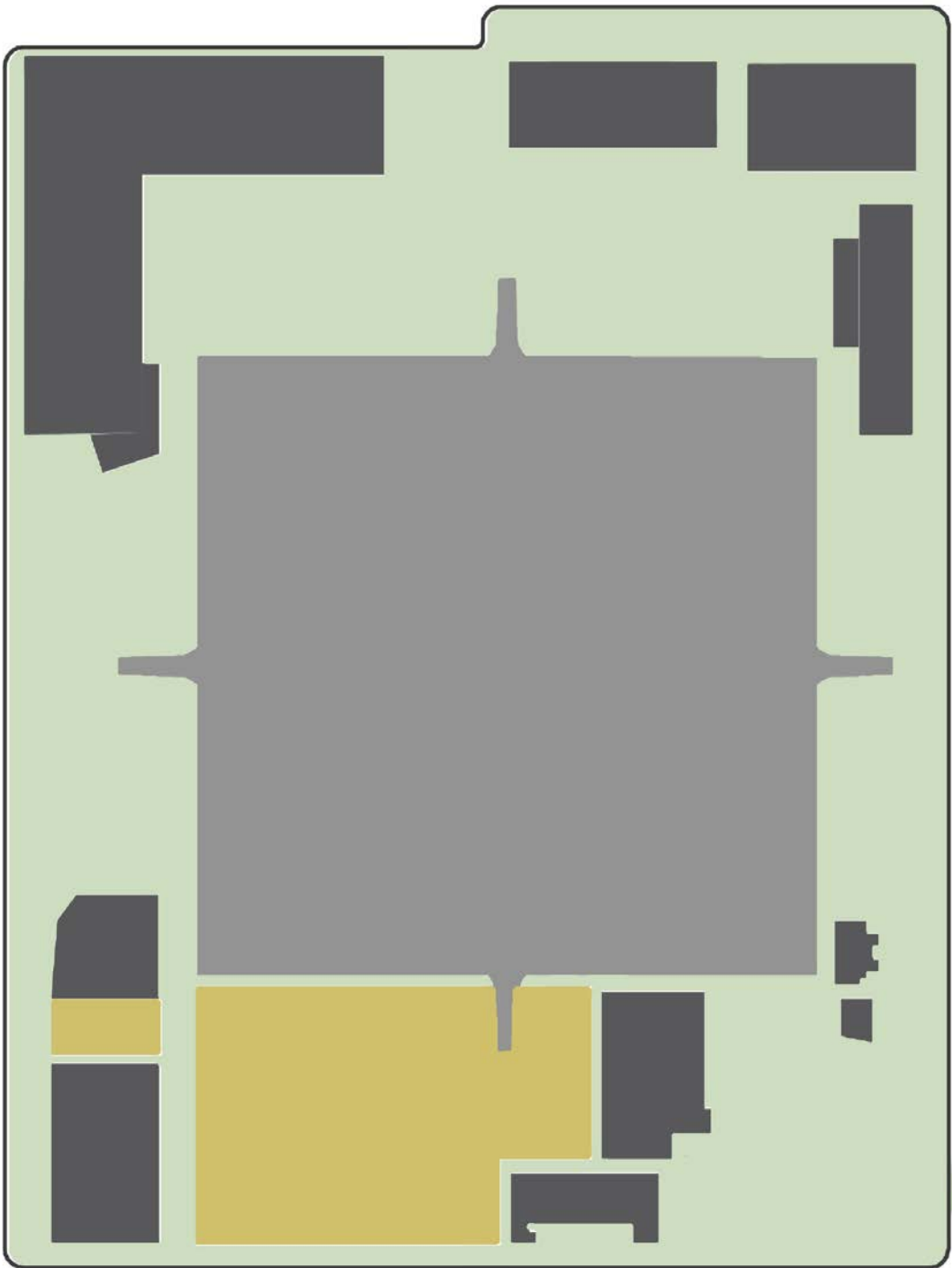
ELEVATOR EXPERIENCE:

- Develop unique lighting, audio, graphics, and media for the interiors of one or two elevators

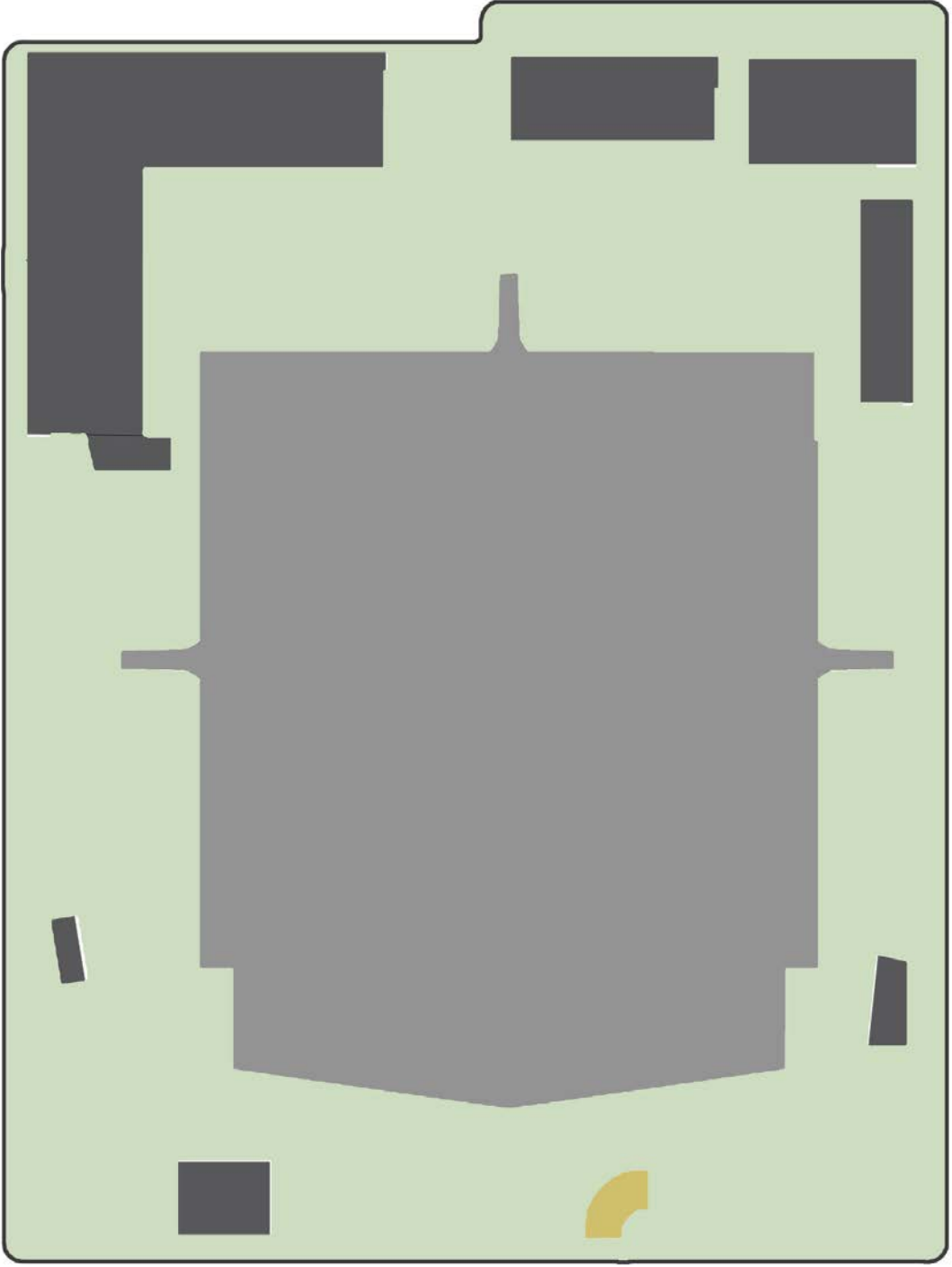
PUBLIC OPEN SPACE

EXISTING VS PROPOSED

- ARENA
- OPEN SPACE
- SERVICE AREAS
- SITE PROGRAMS



EXISTING



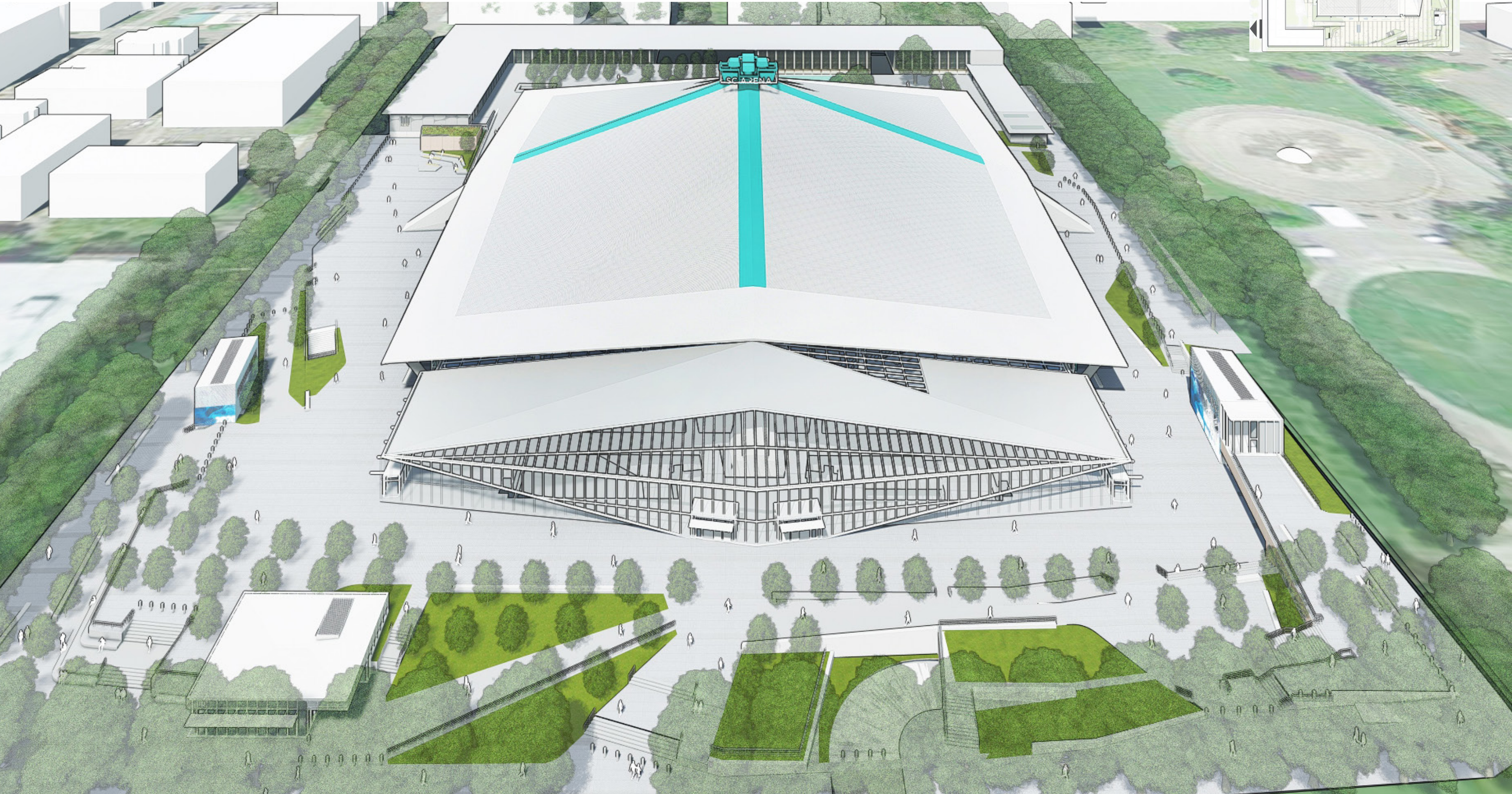
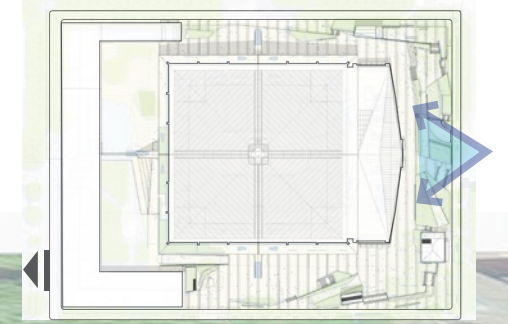
PROPOSED



SITE AERIAL

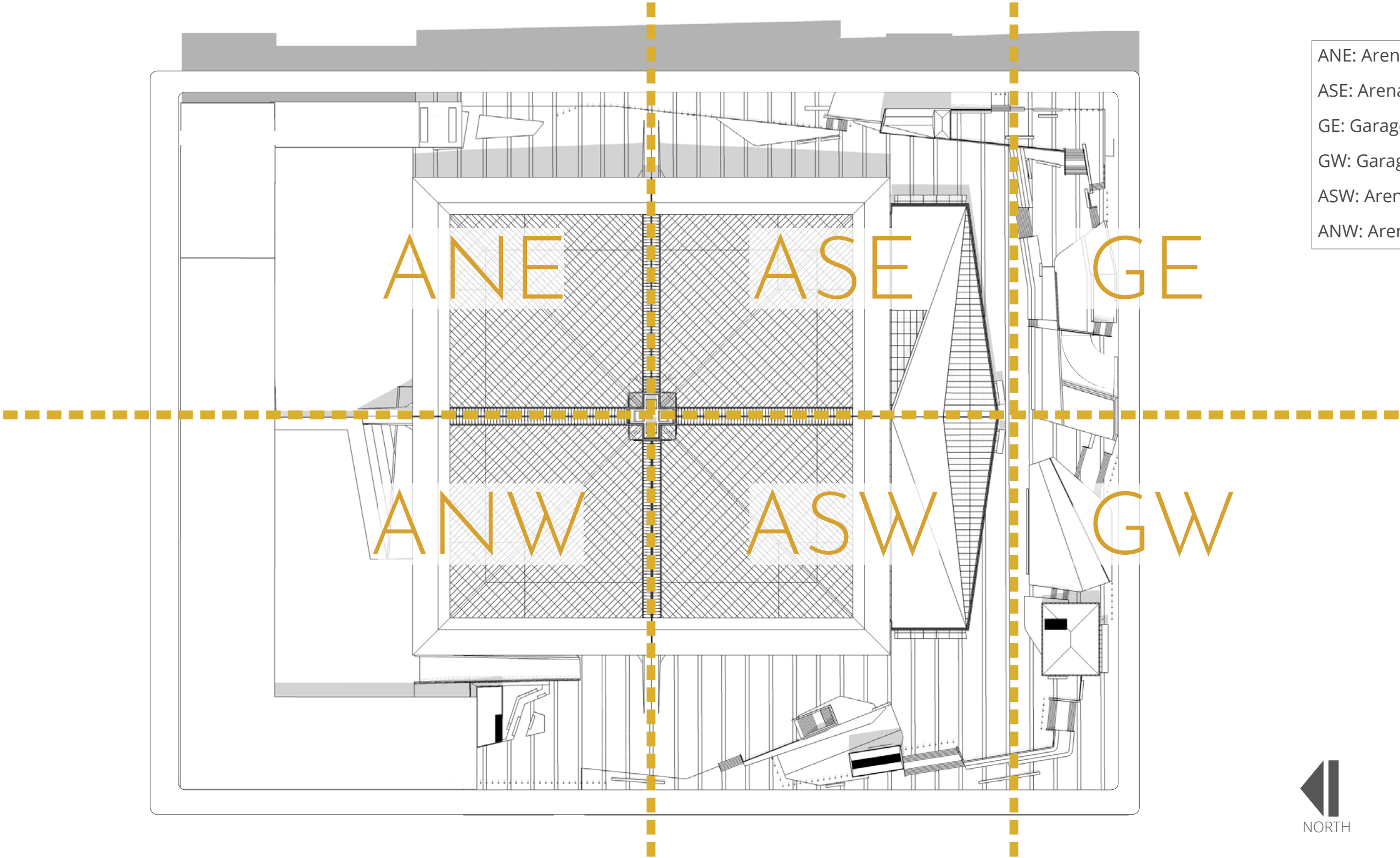
AERIAL OVERVIEW LOOKING NORTH

KEY PLAN



SITE DIAGRAM

EGRESS & MECHANICAL LAYOUT

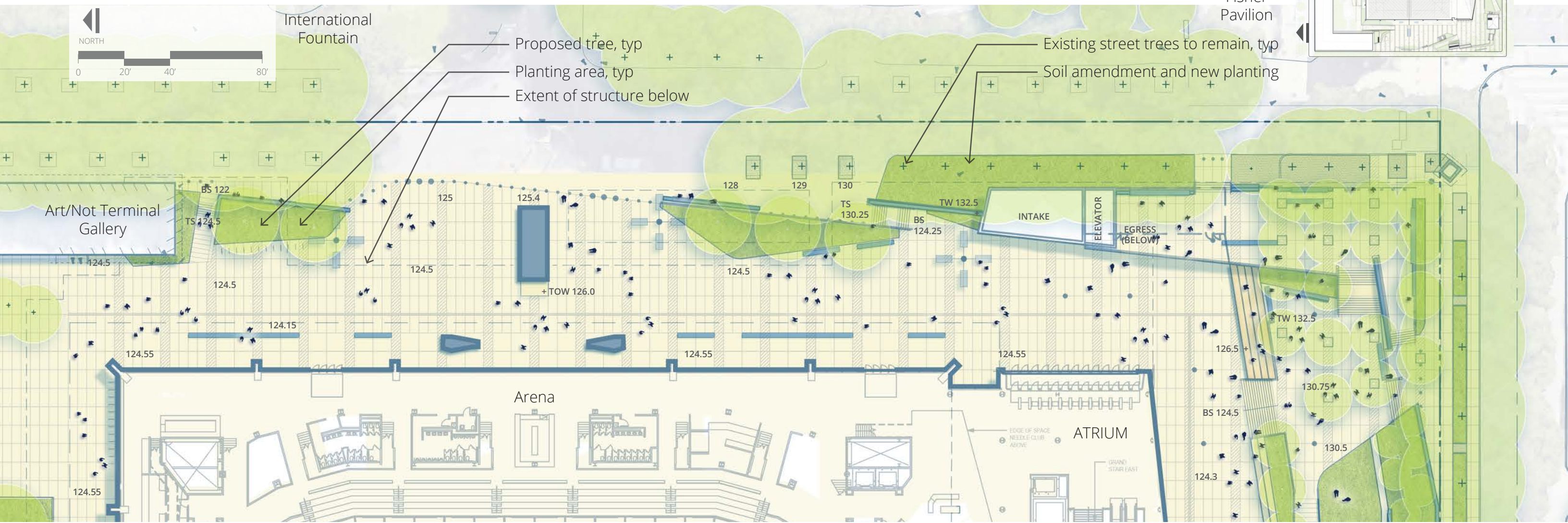


- ANE: Arena North East
- ASE: Arena South East
- GE: Garage East
- GW: Garage West
- ASW: Arena South West
- ANW: Arena North West



EAST PLAZA

ENLARGED SITE PLAN - PLANTING



TREES



Fagus sylvatica 'Rohanii'

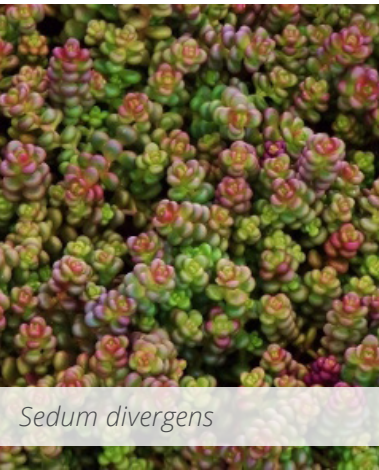


Acer rubrum 'Karpick'

STRUCTURAL



Cornus sericea 'Midwinter Fire'



Sedum divergens

SUPPORTING



Epimedium grandiflorum



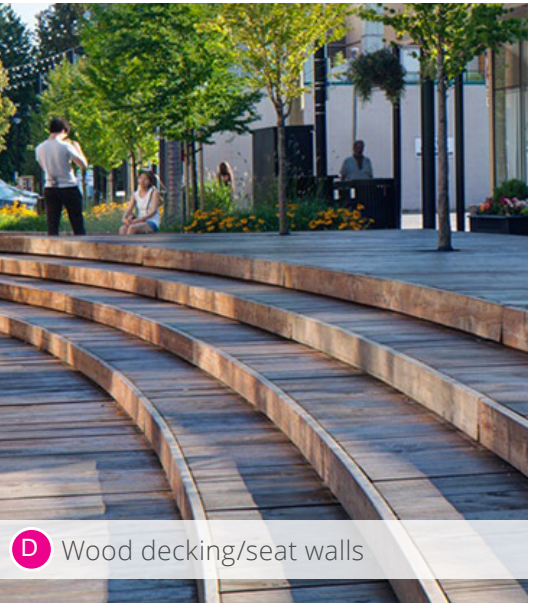
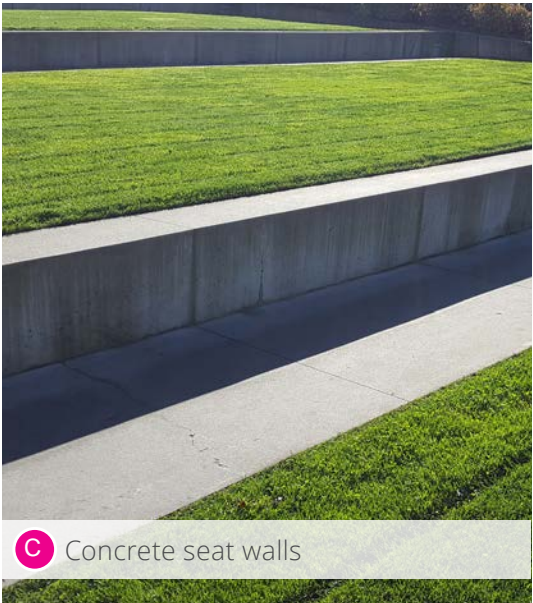
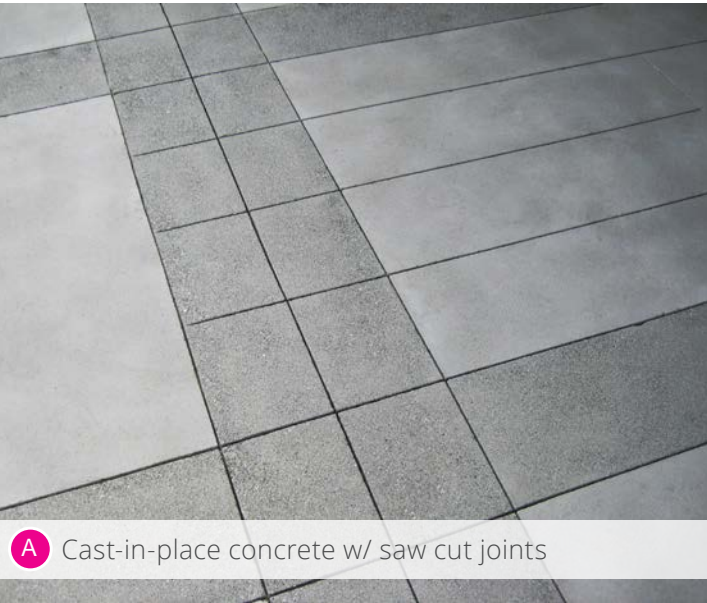
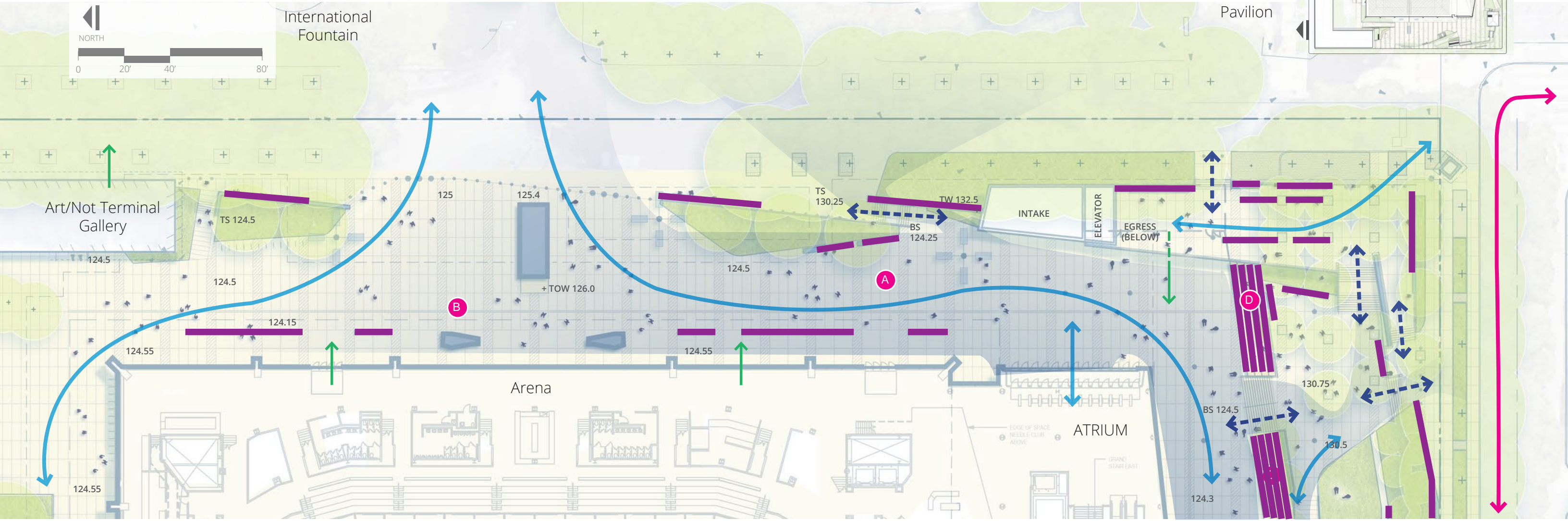
Fragaria chiloensis



Polystichum neolobatum

EAST PLAZA

ENLARGED SITE PLAN - CIRCULATION



- LEGEND:**
- Accessible Routes
 - Access with Stairs
 - Arena Egress
 - Vehicular Egress Route
 - Thomas St. Closed to Vehicles During Events
 - Access / Egress
 - Site Seating

EAST PLAZA

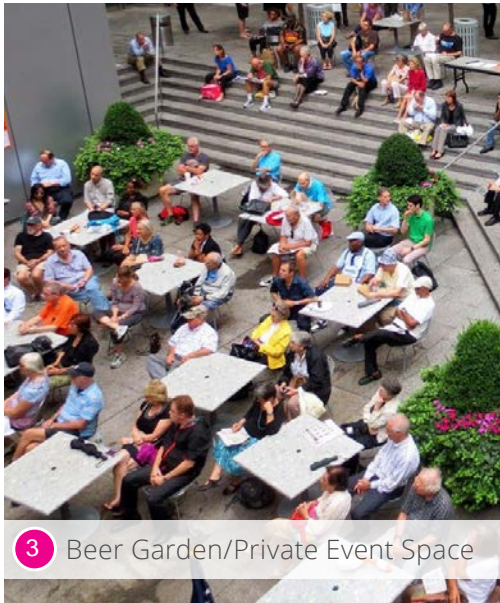
ENLARGED SITE PLAN - POTENTIAL PROGRAM OPPORTUNITIES



1 Existing SC Food Trucks/Vendors and Tables



2 Ball Hockey or Basketball - youth / 3-on-3 courts



3 Beer Garden/Private Event Space



4 Amphitheater Performance Space

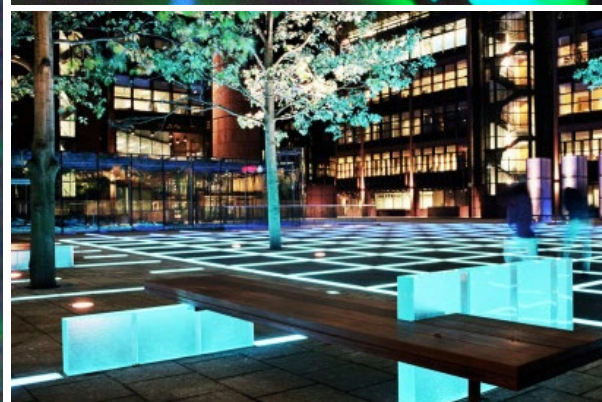
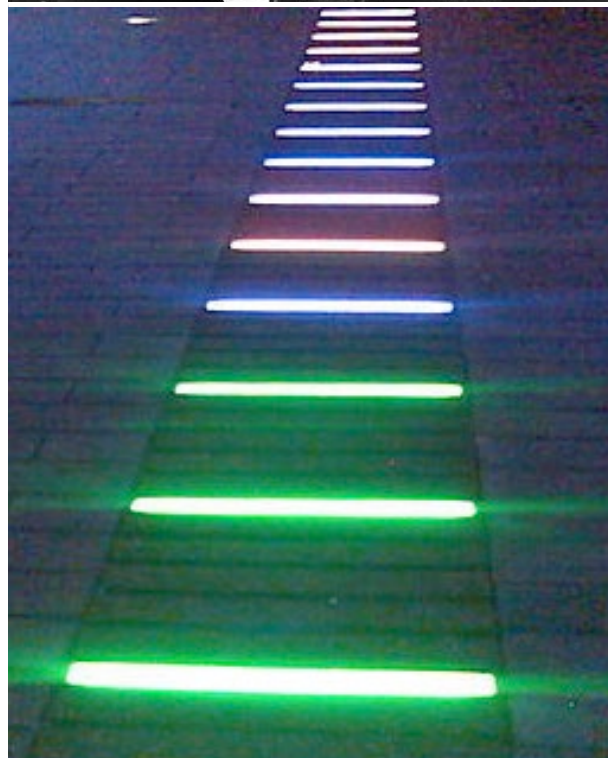
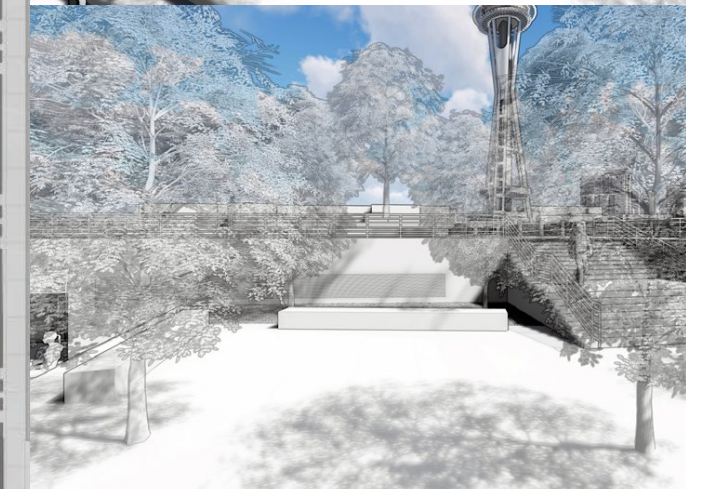
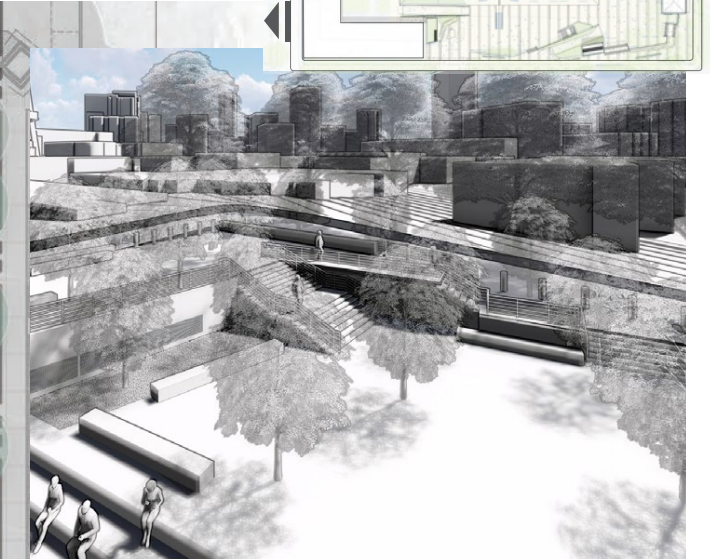
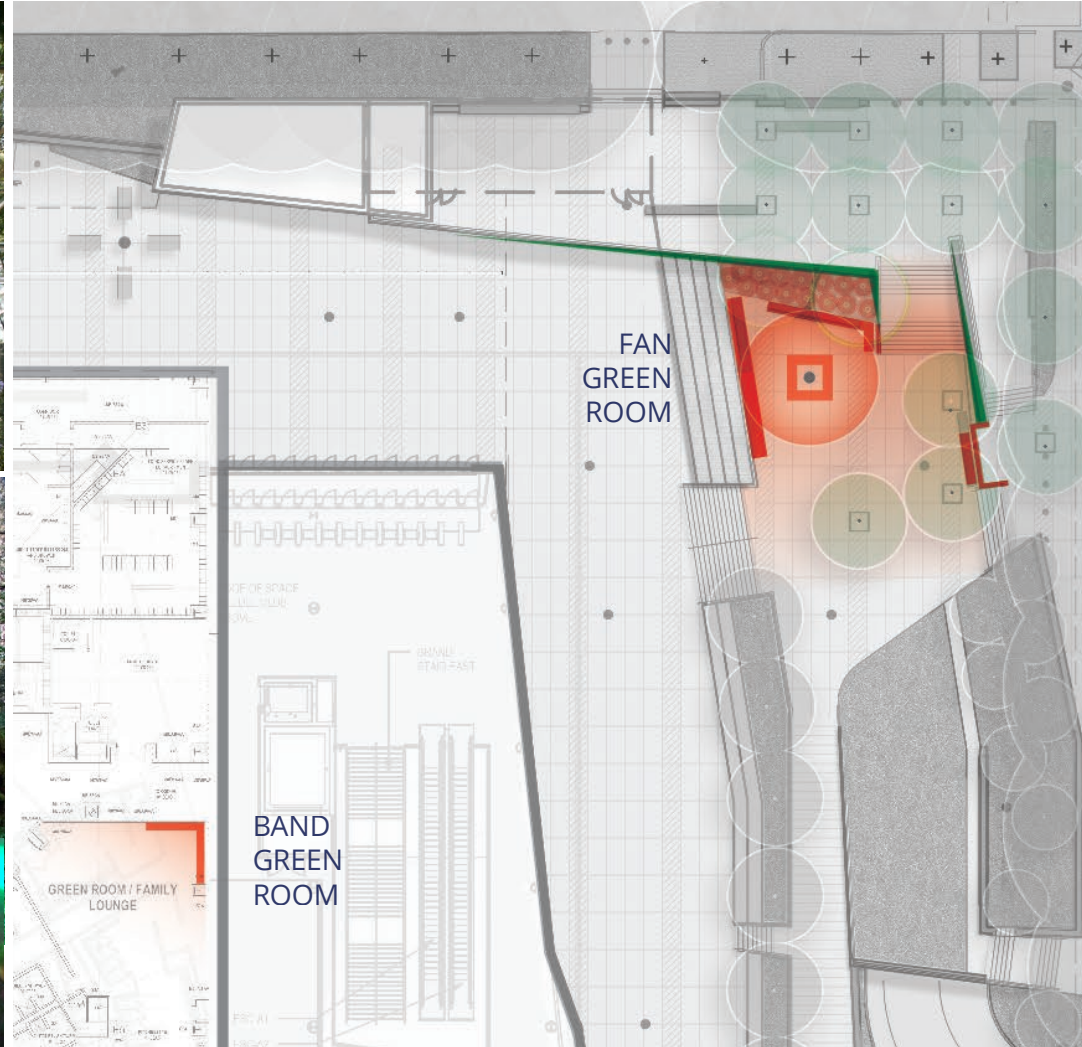
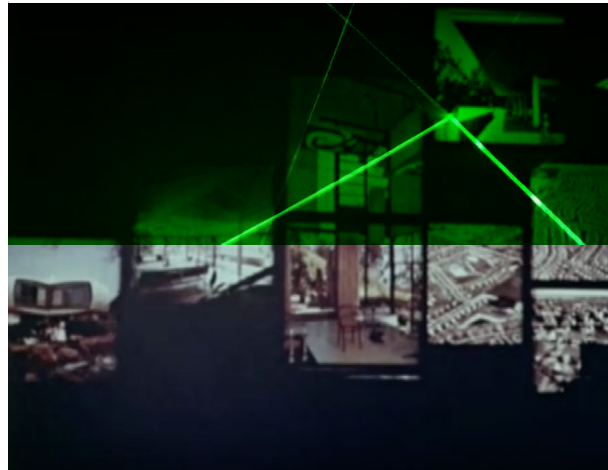
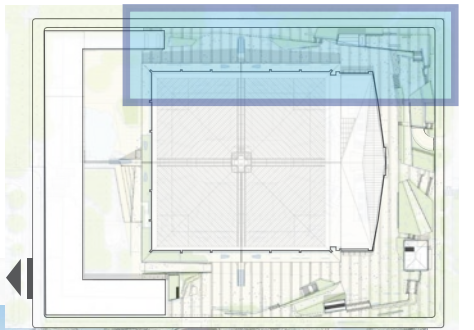


5 Informal Performance Space

ART PLAN | GREEN ROOM

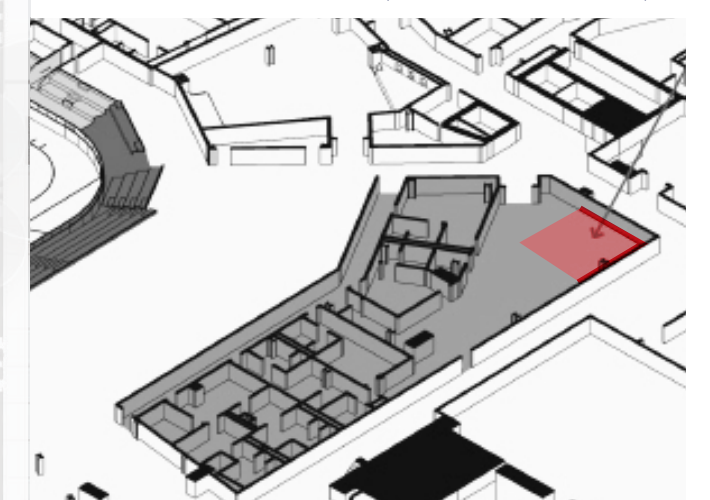
EAST PLAZA

KEY PLAN



- Hyperreal, theatrical version of Pacific Northwest environment
- Passive, lounge vibe
- Two sites: interior for performers and exterior for fans
- Draw connections between audience and performers Art overlay onto walls, seats, lighting, paving, and planting
- Gathering spaces for before and after events, and non-event days
- \$450,000 art funds, supplemental to plaza and interior budgets

FAN GREEN ROOM (EXTERIOR SITE)



BAND GREEN ROOM (INTERIOR SITE)

ANE | SITE ANALYSIS

CURRENT PHOTOGRAPHS

VIEW LOOKING WEST



VIEW LOOKING NORTHWEST



VIEW LOOKING NORTH AT SOUTH FACADE



VIEW LOOKING EAST AT WEST FACADE

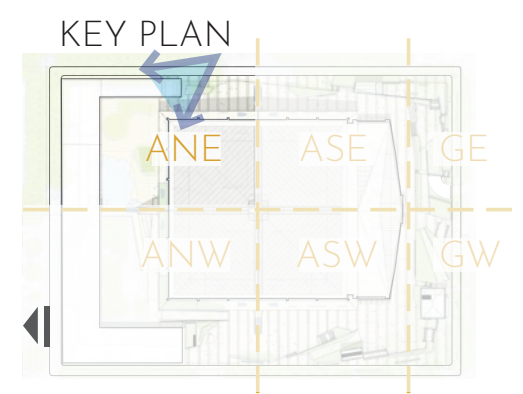


KEY PLAN



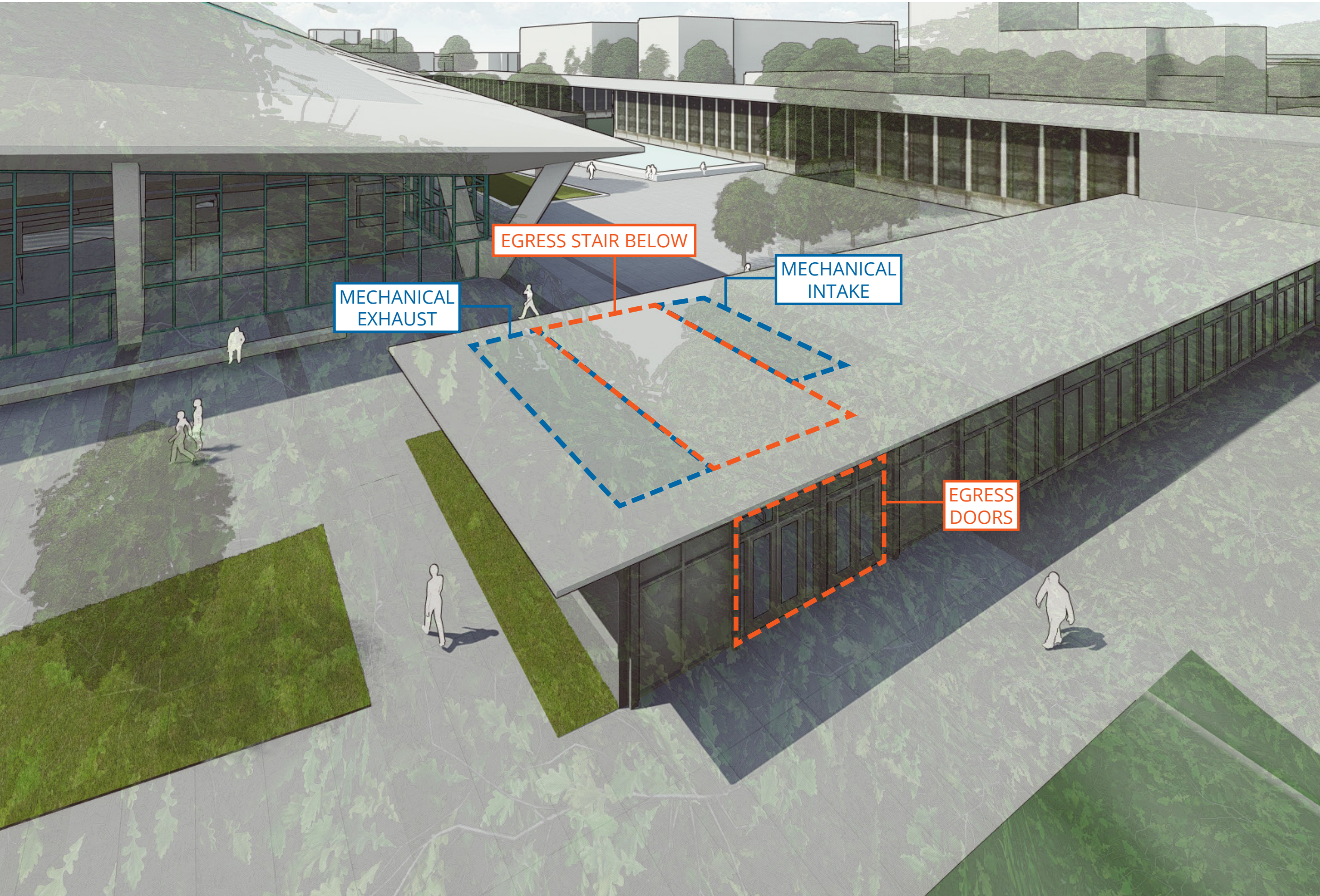
ANE | NORTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING NORTHWEST



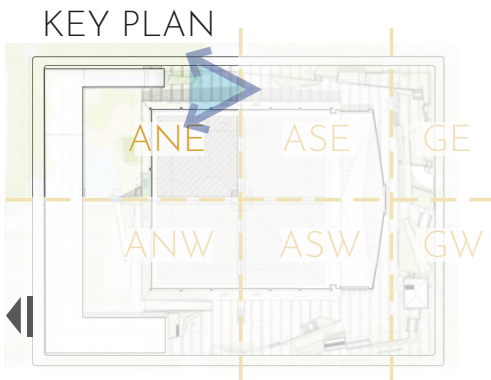
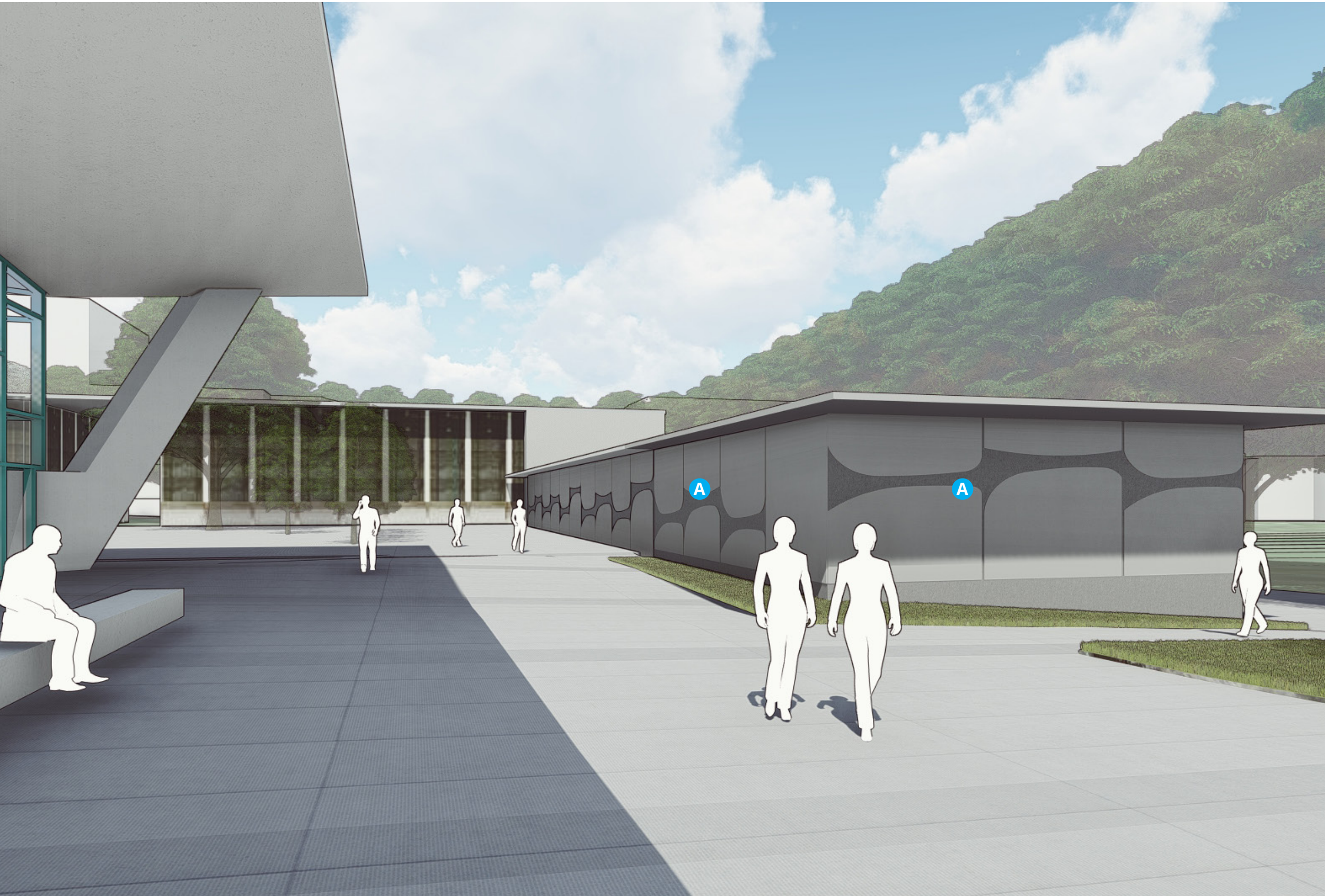
ANE DESCRIPTION:

- DECONSTRUCT 40' (4 BAYS) OF THE SOUTH END OF THE IFP
- BUILD NEW ARENA MECHANICAL INTAKE & EXHAUST TOWERS, AND ARENA EGRESS (TOTALS 40' OF NEW BUILDING FOOTPRINT)
- RECONSTRUCT 40' (4 BAYS) OF FAÇADE TO ENCLOSE NEW MECH/EGRESS, UTILIZING EXISTING THIRY PANELS (SOUTH AND WEST FAÇADES), AND STOREFRONT GLAZING & EGRESS DOORS (EAST FAÇADE)
- CONSTRUCT NEW ROOF SOFFIT TO FOLLOW DIMENSION & PROFILE OF EXISTING, BUT USING A CONTEMPORARY MATERIAL PALETTE



ANE | NORTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING NORTH



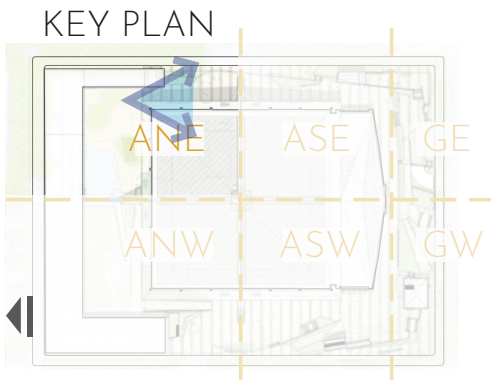
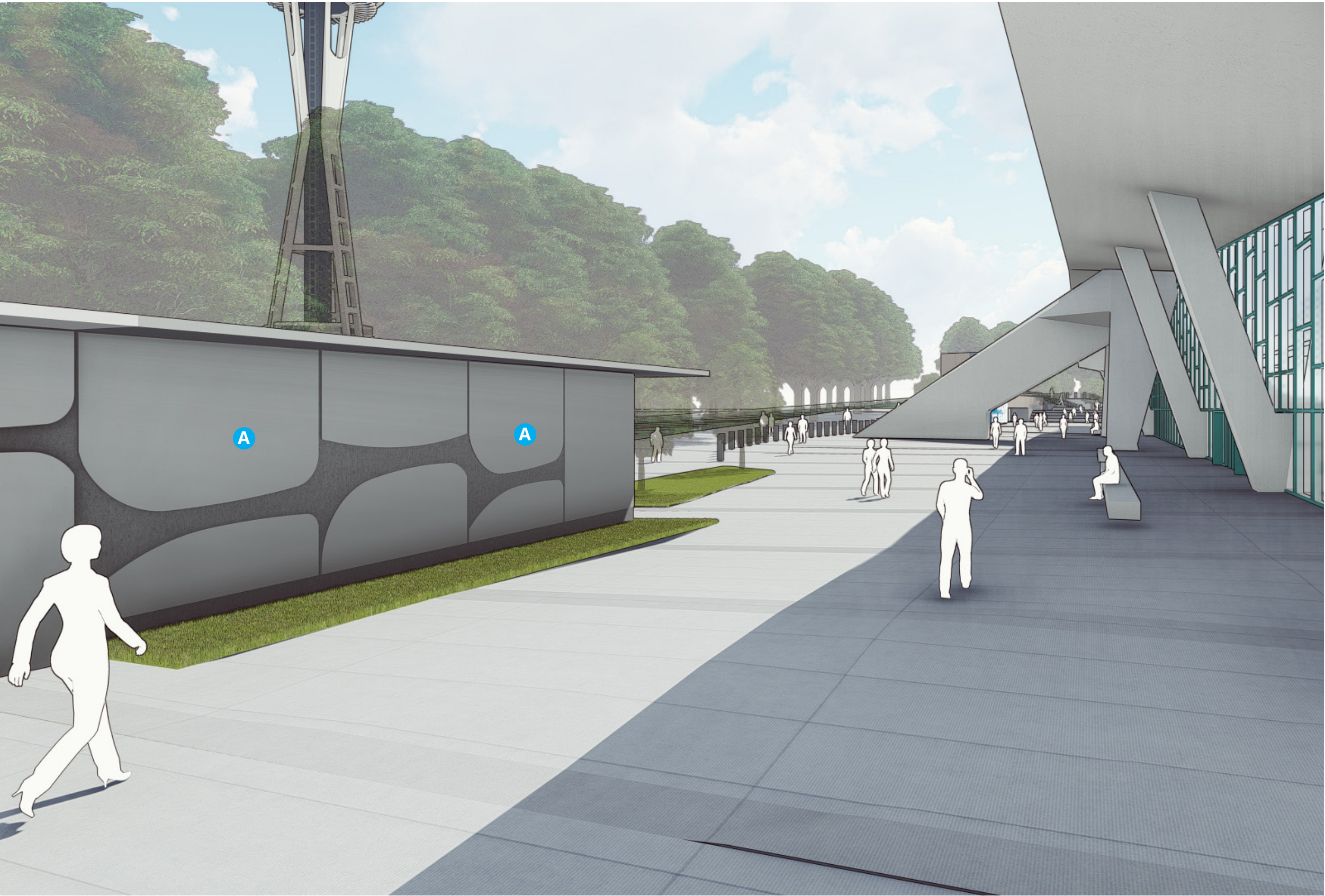
A THIRY PANELS



B STOREFRONT GLAZING

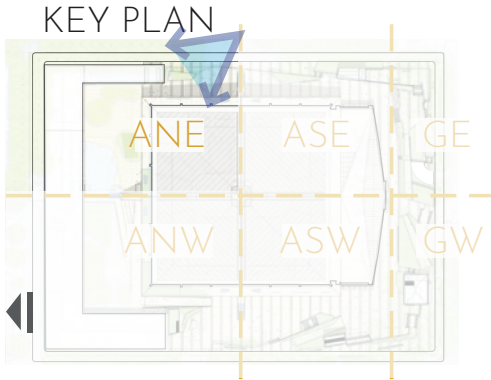
ANE | NORTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING SOUTHEAST



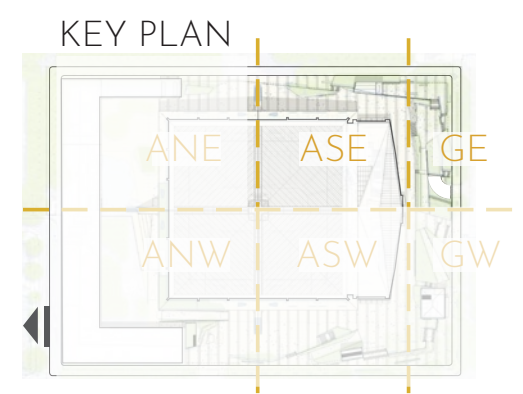
ANE | NORTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING WEST



GE & ASE | SOUTHEAST EGRESS & MECHANICAL

ARCHITECTURAL PRECEDENT



SEATTLE CENTER FISHER PAVILION

BUILDING HEIGHT:

- WHEN MEASURED FROM FISHER VIEWING DECK: 25'-0"
- WHEN MEASURED FROM 2ND AVE GRADE: 33'-6"

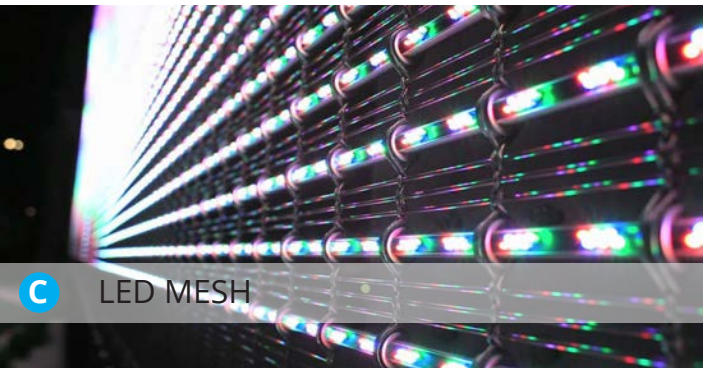
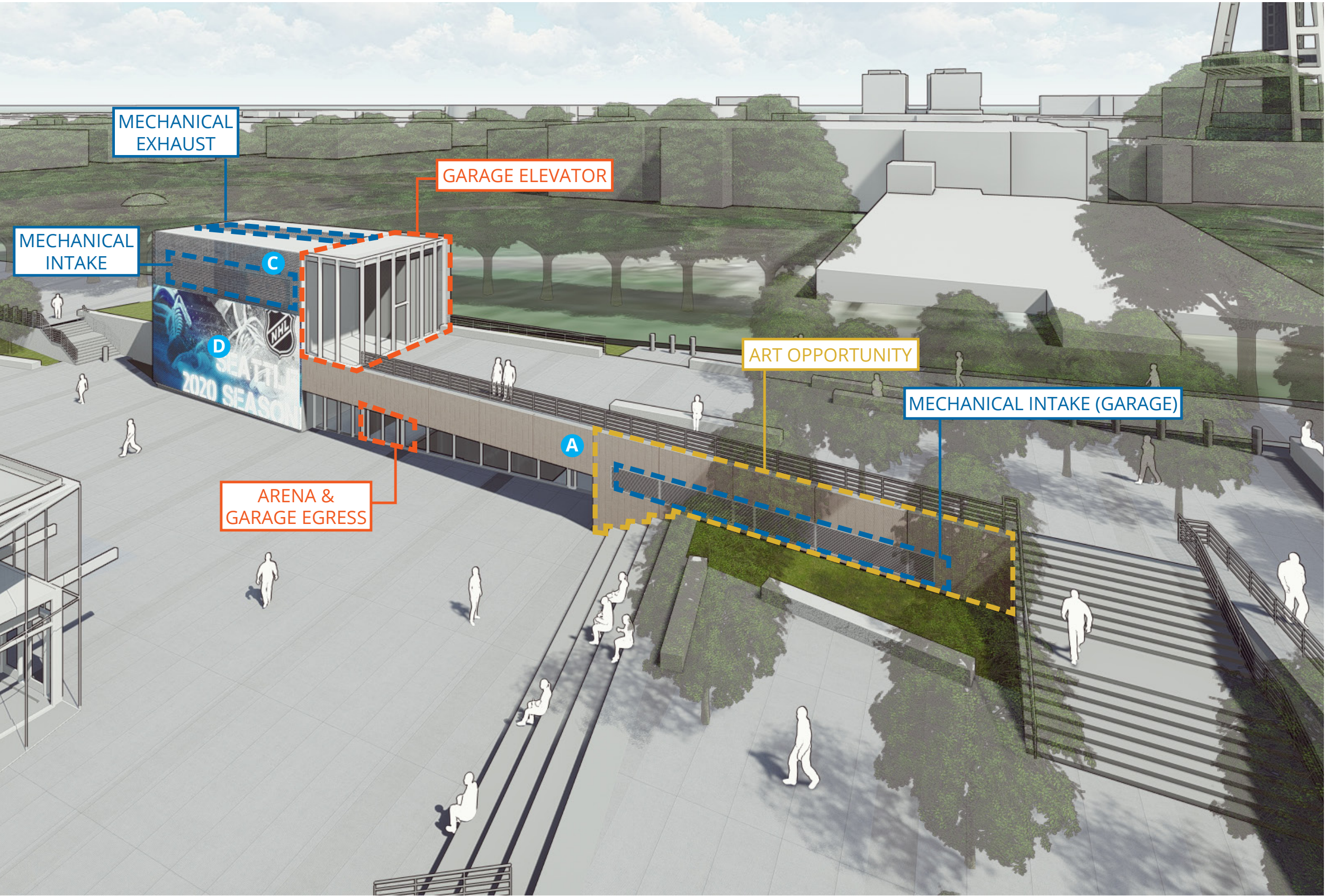
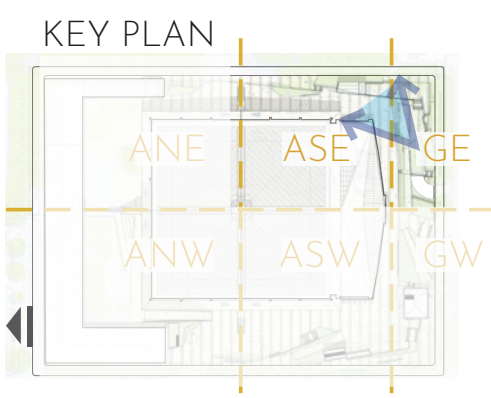
MATERIALS:

- EXPOSED CAST-IN-PLACE CONCRETE
- ALUMINUM & GLASS STOREFRONT SYSTEM
- PERFORATED, CORRUGATED PREFINISHED ARCHITECTURAL PANELS
- PAINTED STEEL LOUVERS
- ATTACHED PAINTED STEEL CANOPY FRAMING WITH ALUMINUM & GLASS ROOF



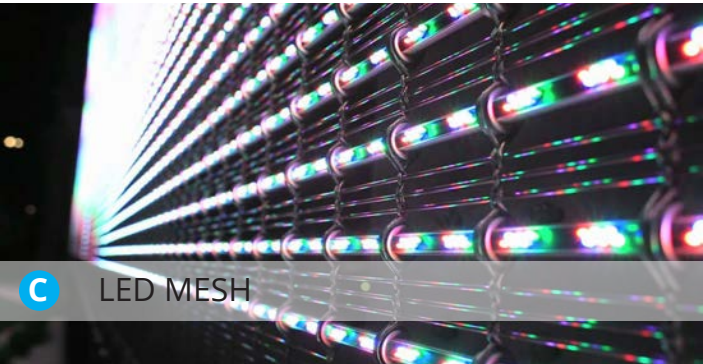
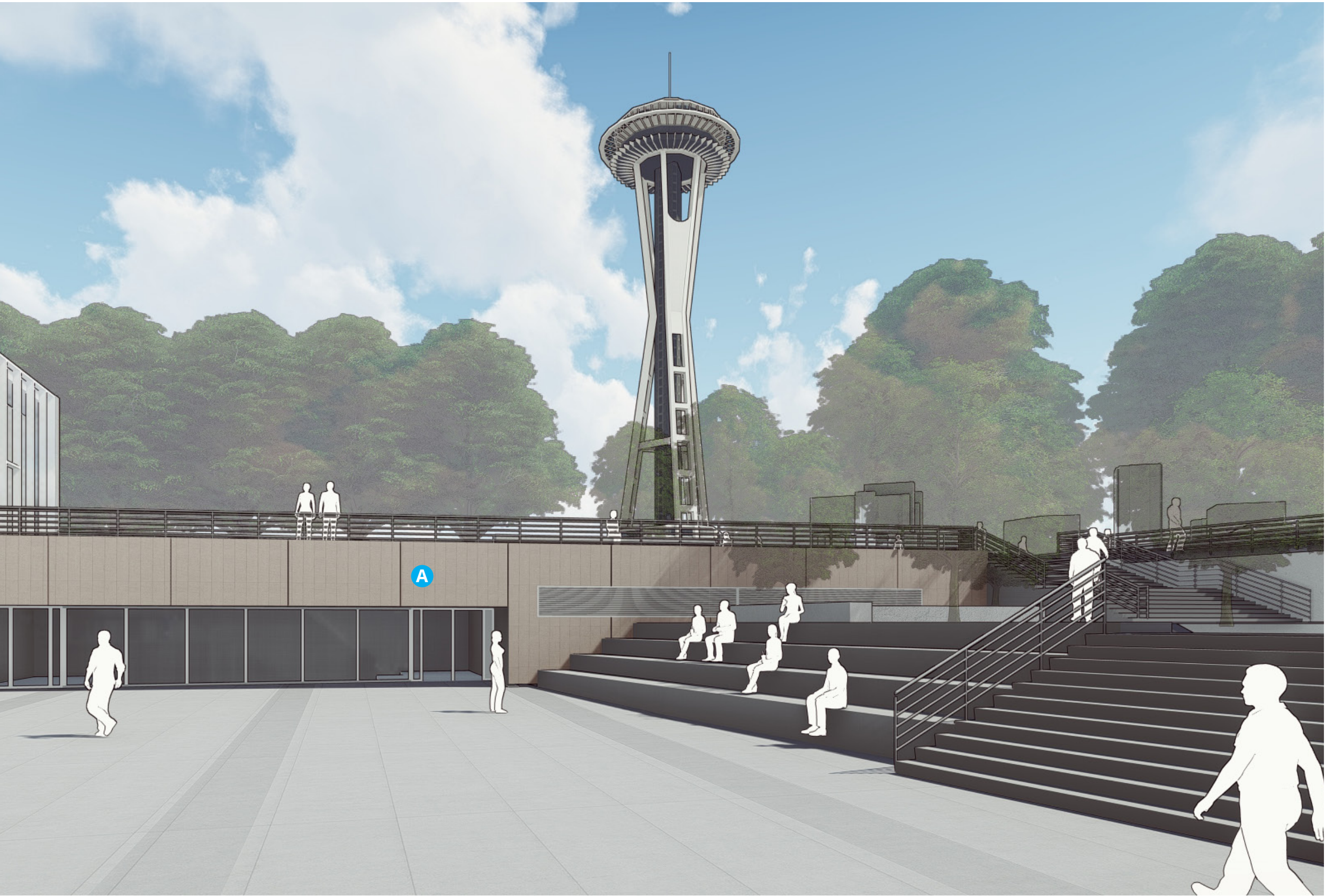
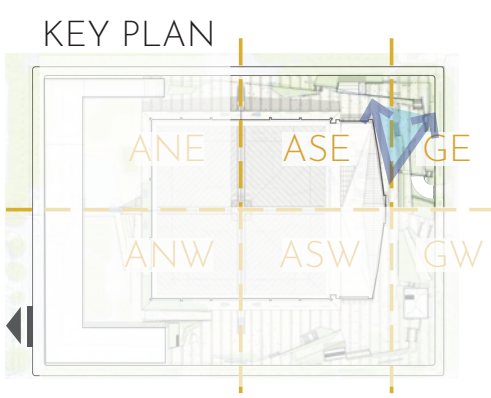
GE & ASE | SOUTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING EAST



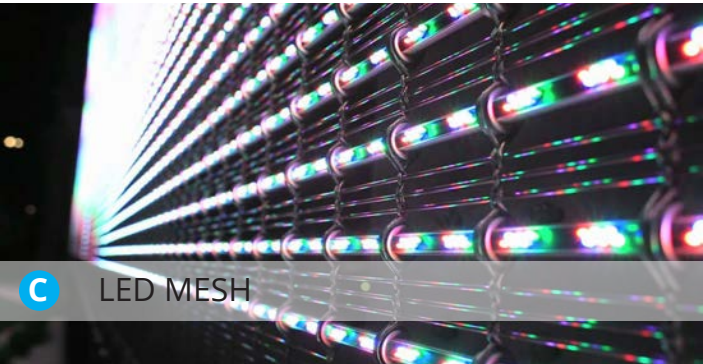
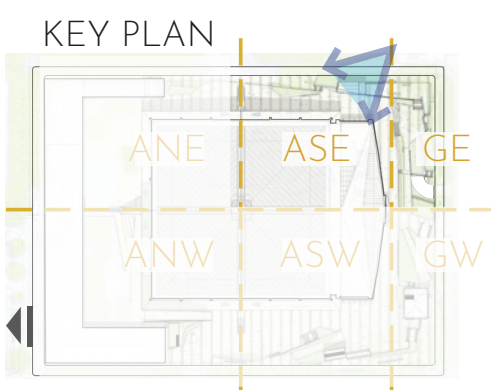
GE & ASE | SOUTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN VIEW LOOKING EAST



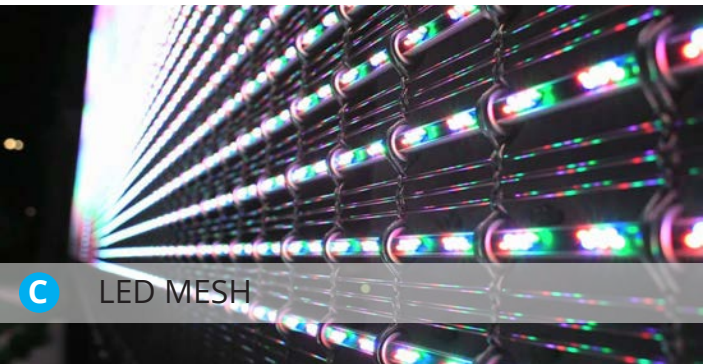
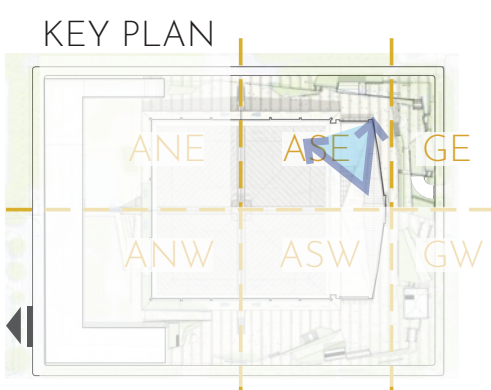
GE & ASE | SOUTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN VIEW LOOKING NORTH



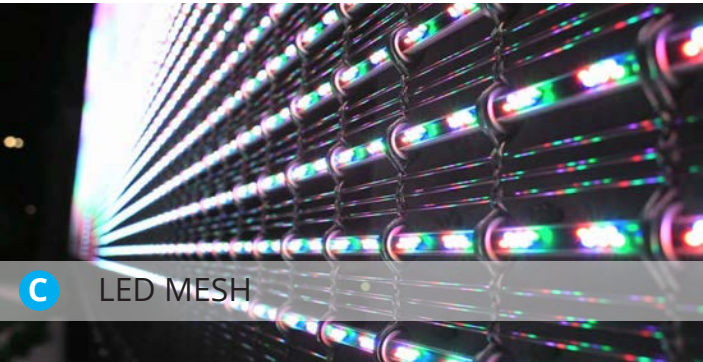
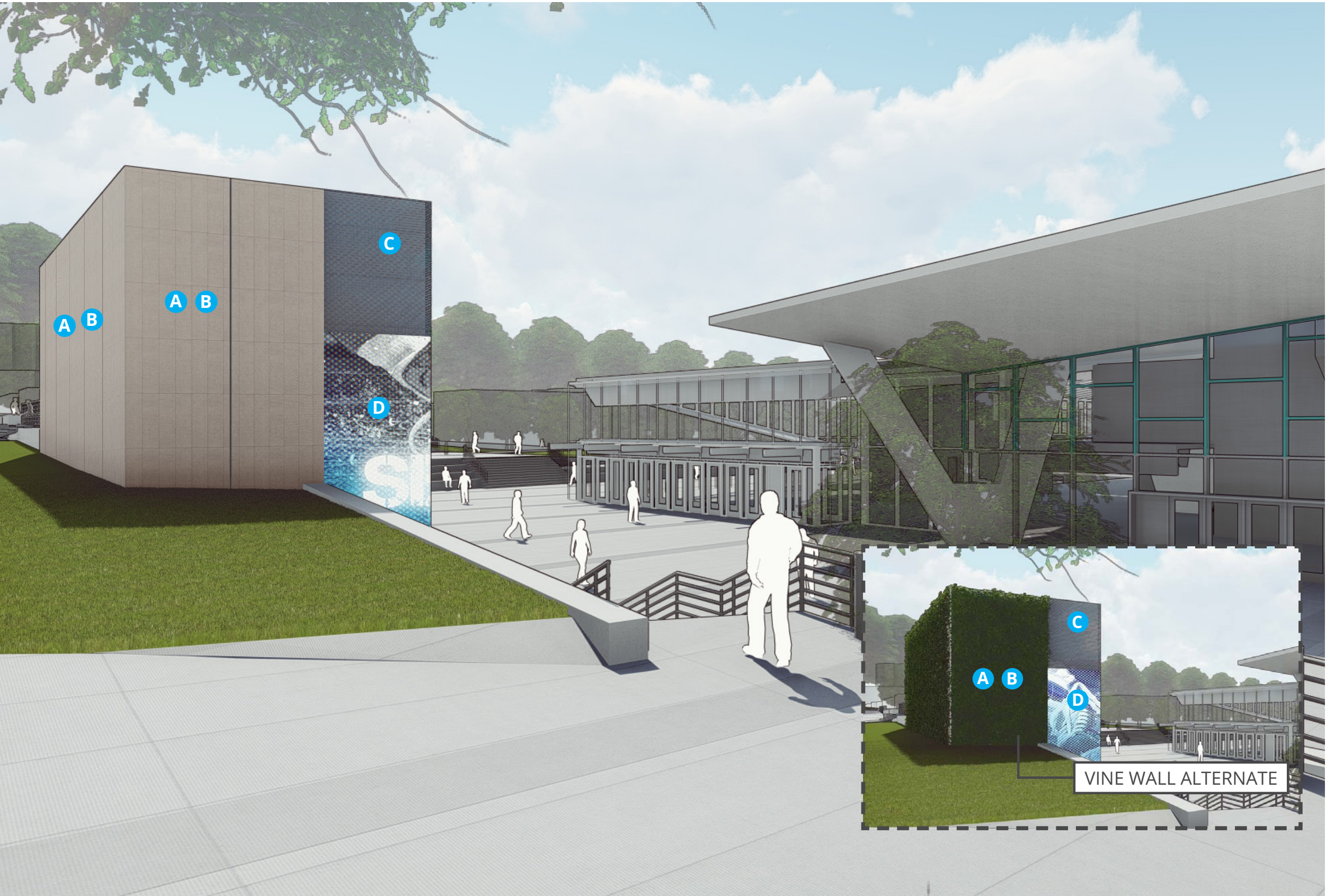
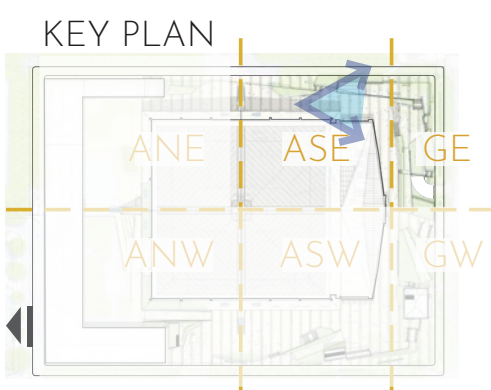
GE & ASE | SOUTHEAST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING NORTHEAST



GE & ASE | SOUTHEAST EGRESS & MECHANICAL

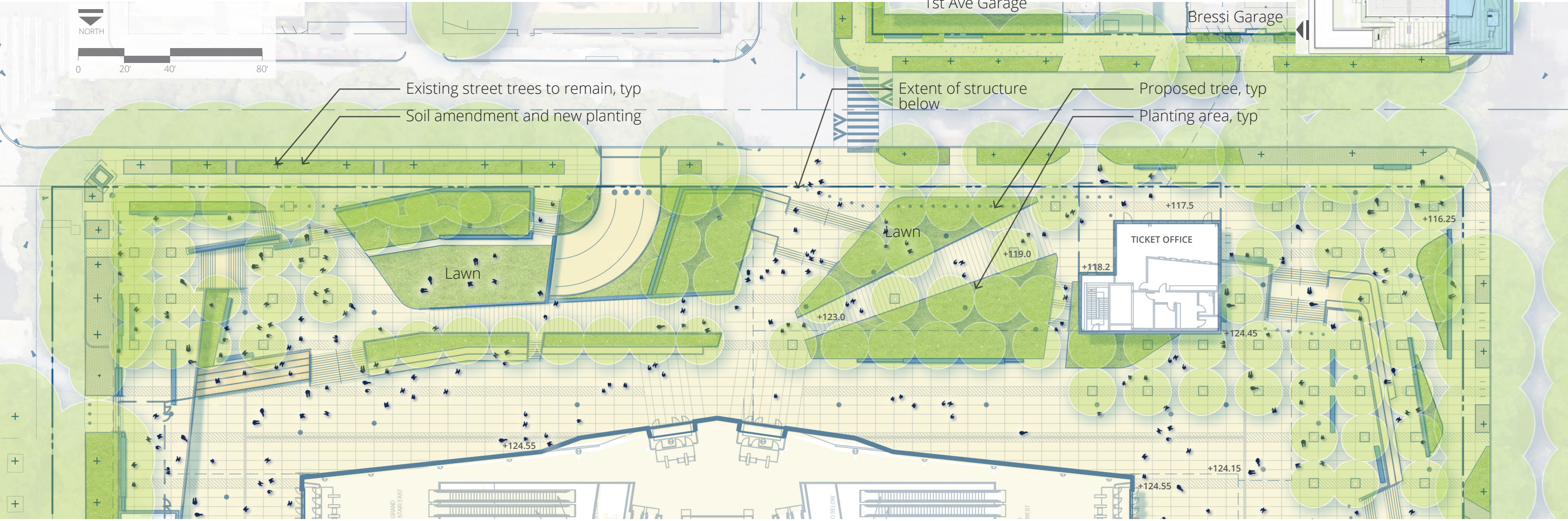
PROPOSED DESIGN - VIEW LOOKING SOUTH



SOUTH PLAZA

ENLARGED SITE PLAN - PLANTING

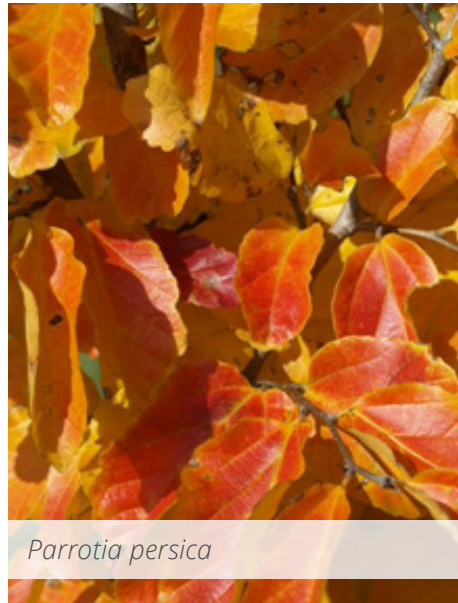
KEY PLAN



TREES



Acer griseum



Parrotia persica

STRUCTURAL



Parthenocissus tricuspidata



Lonicera pileata



Hydrangea quercifolia

SUPPORTING



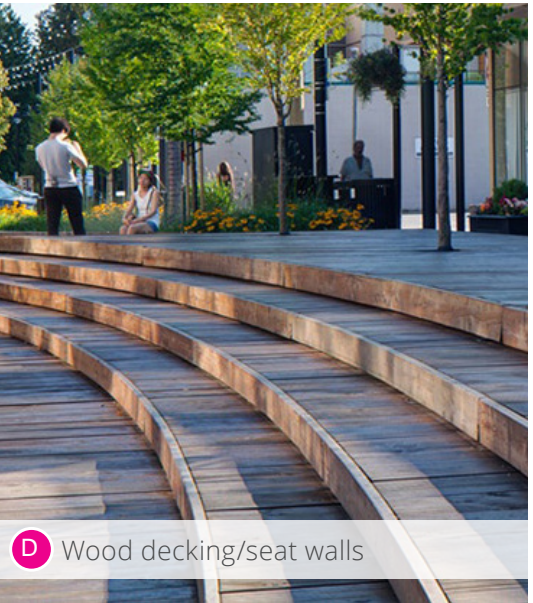
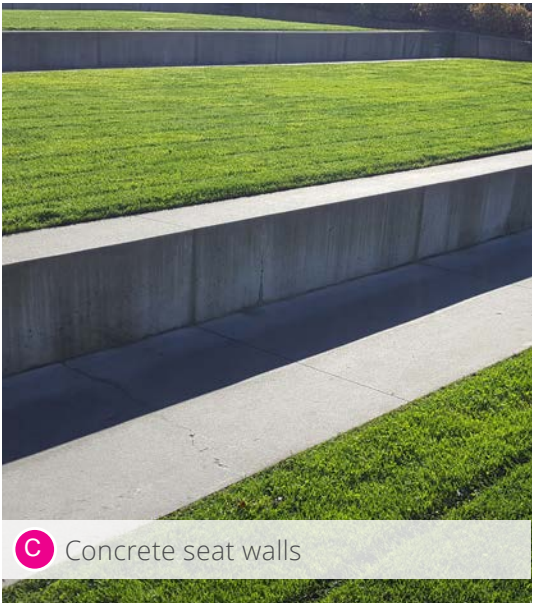
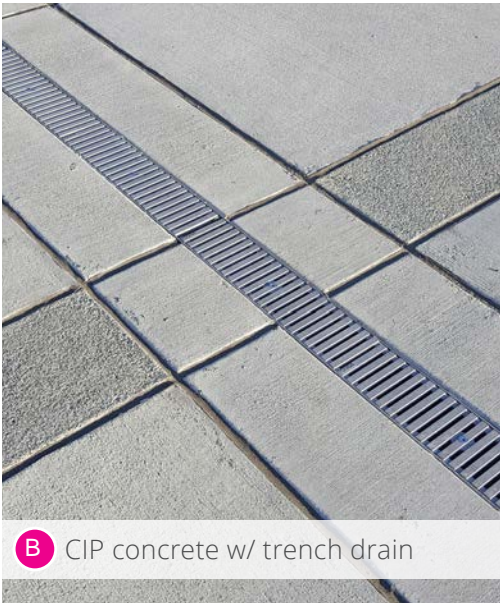
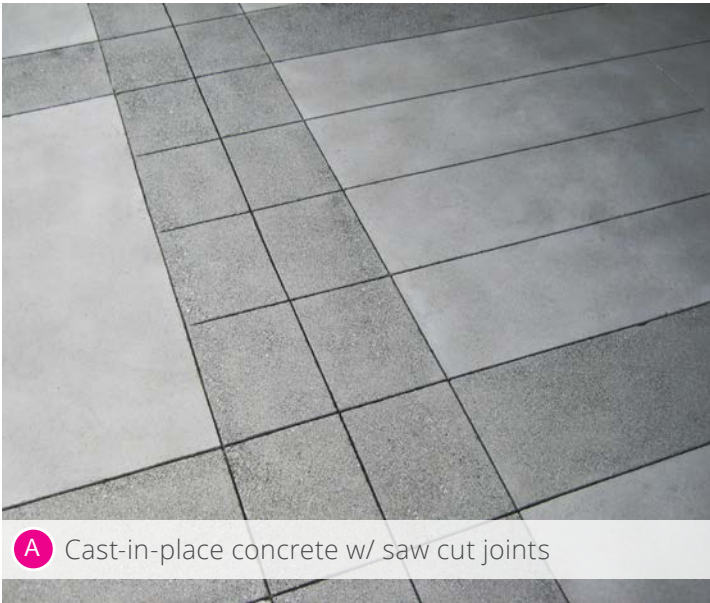
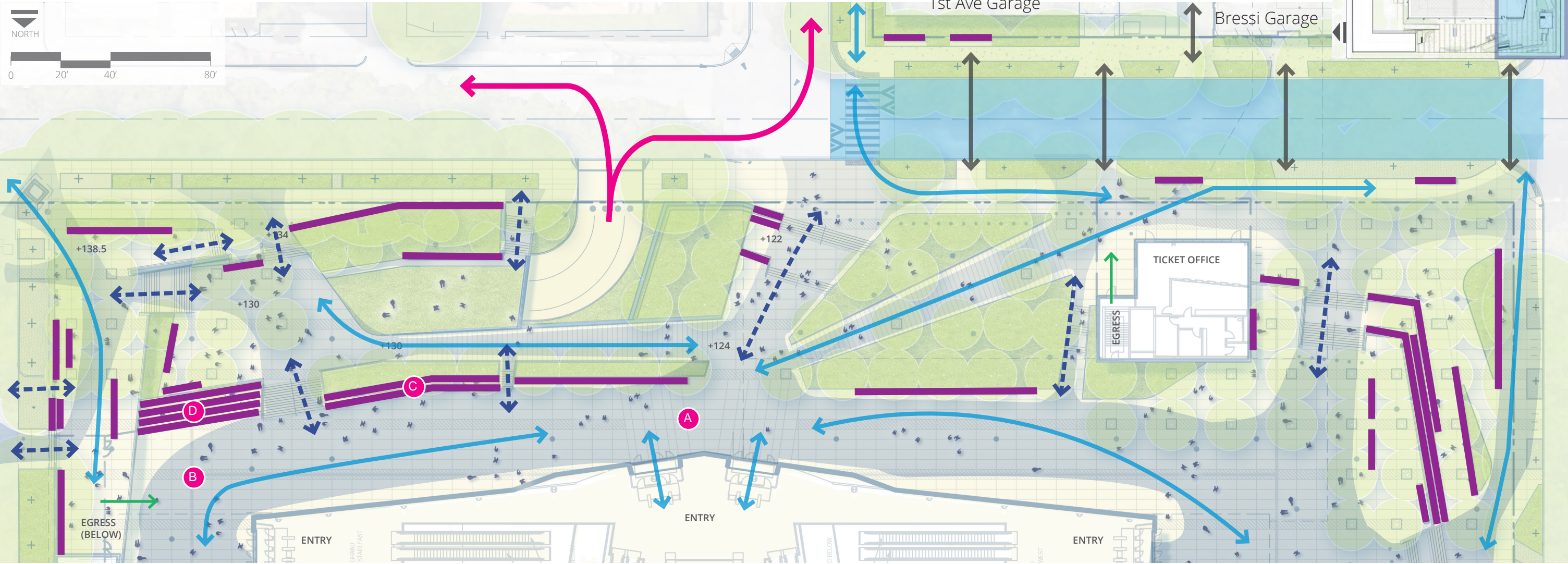
Dryopteris erythrosora



Blechnum spicant

SOUTH PLAZA

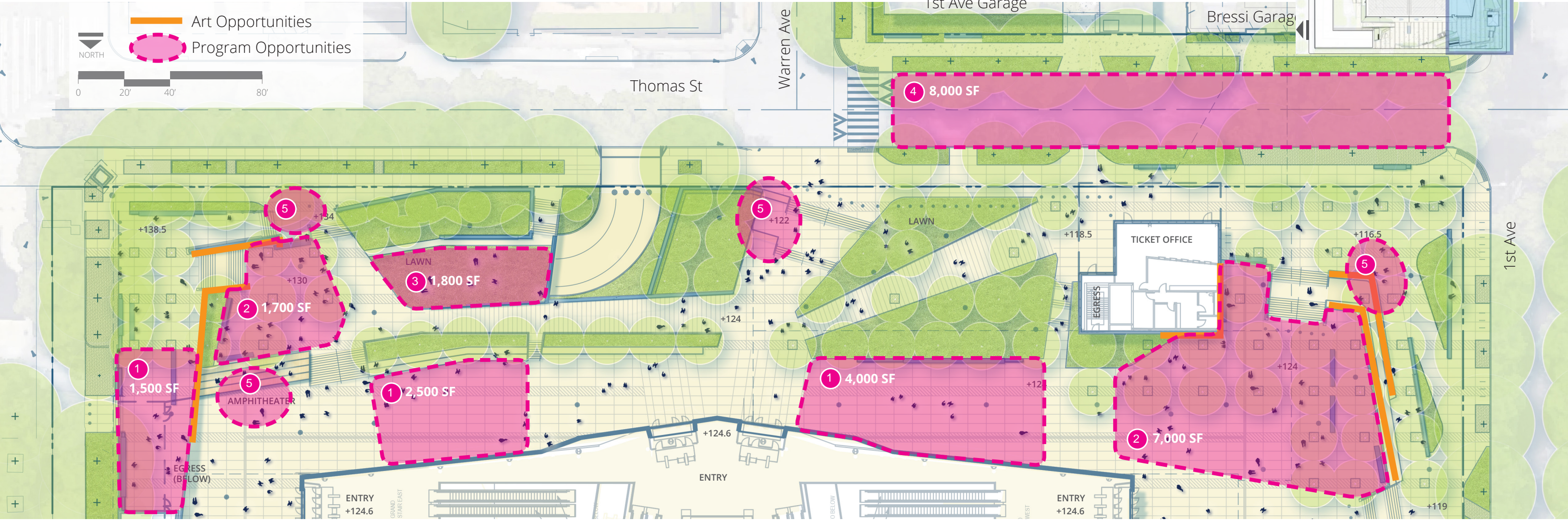
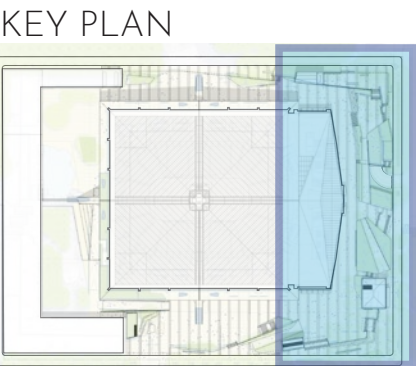
ENLARGED SITE PLAN - CIRCULATION



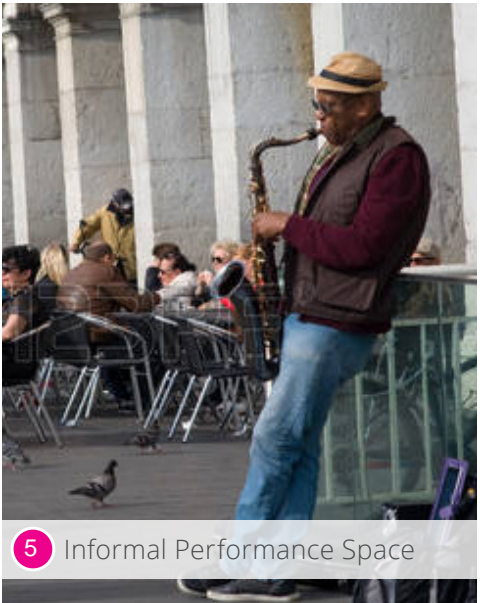
- LEGEND:**
- ↔ Accessible Routes
 - ↔ Access with Stairs
 - Arena Egress
 - ↔ Vehicular Egress Route
 - Thomas St. Closed to Vehicles During Events
 - Access / Egress
 - Site Seating

SOUTH PLAZA

ENLARGED SITE PLAN - POTENTIAL PROGRAM OPPORTUNITIES



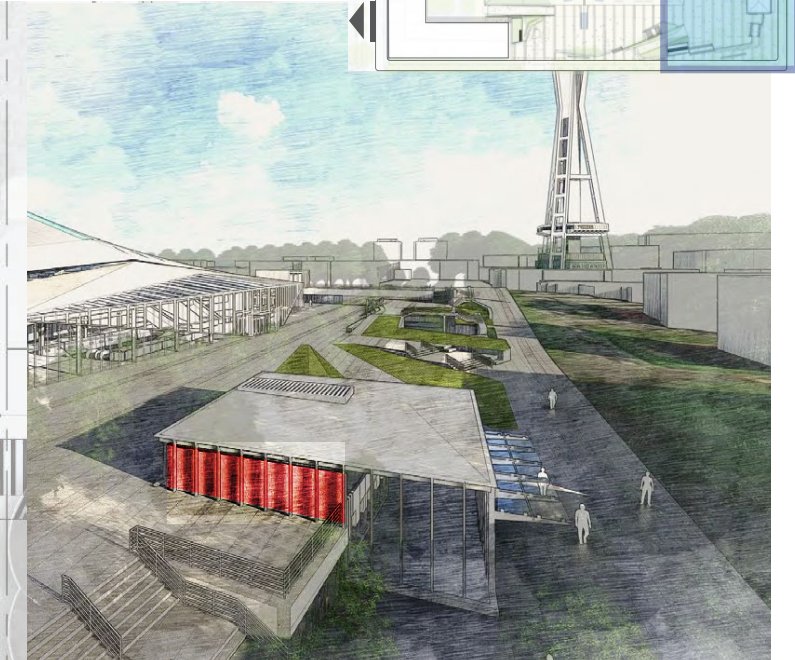
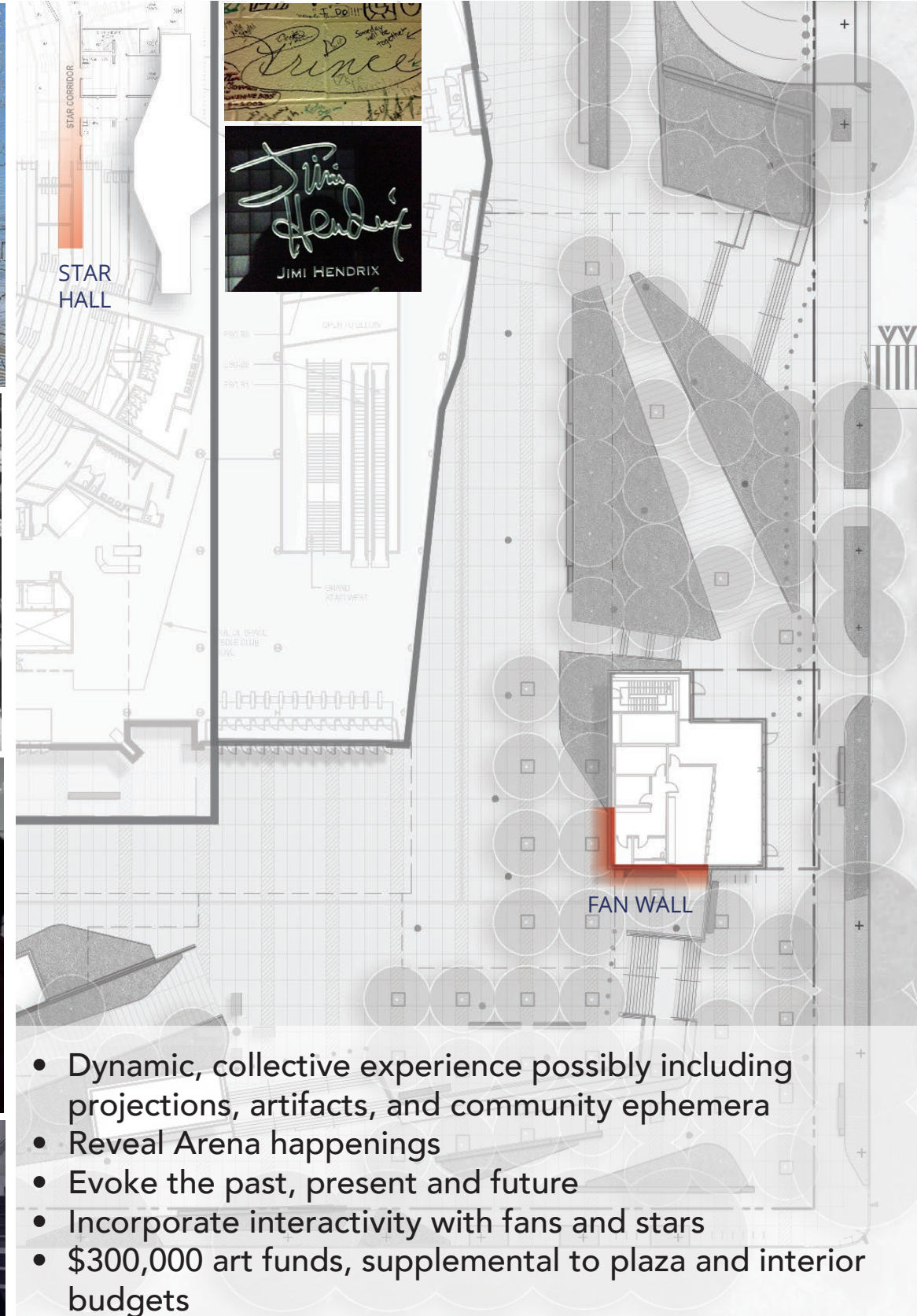
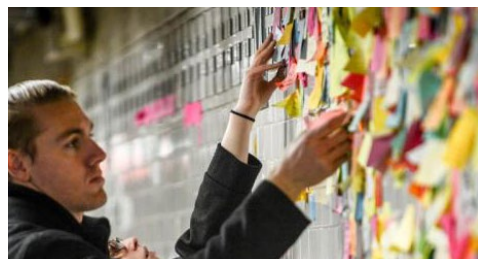
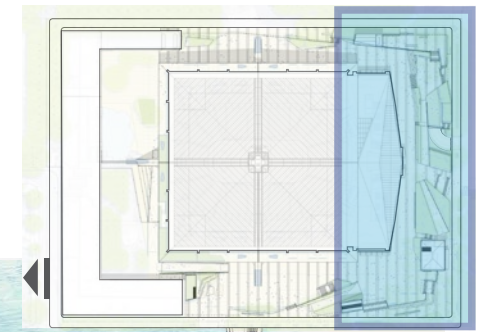
1 Ball Hockey or Basketball - youth / 3-on-3 courts



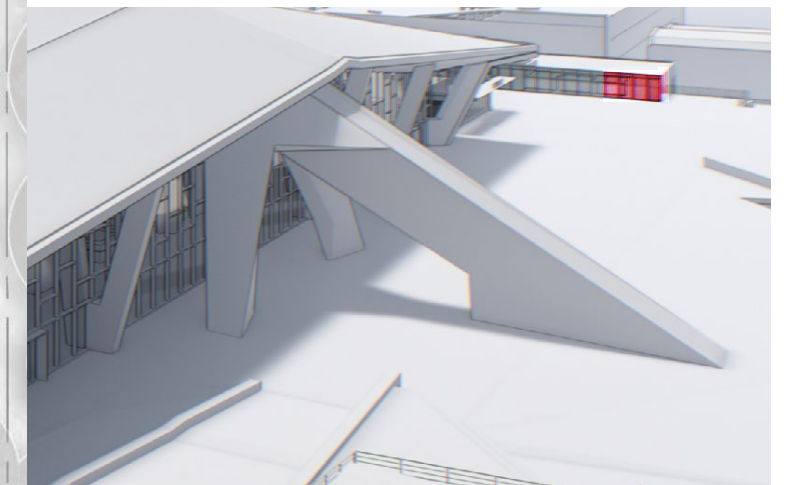
ART PLAN | FAN WALLS

SOUTH PLAZA

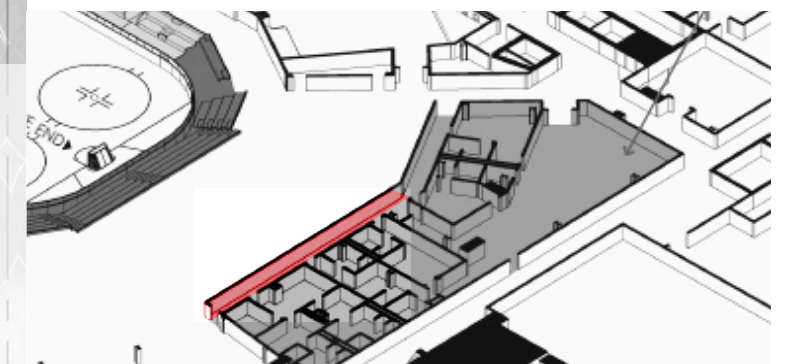
KEY PLAN



"FAN WALL" – WEST SIDE



"FAN WALL" – NORTH SIDE

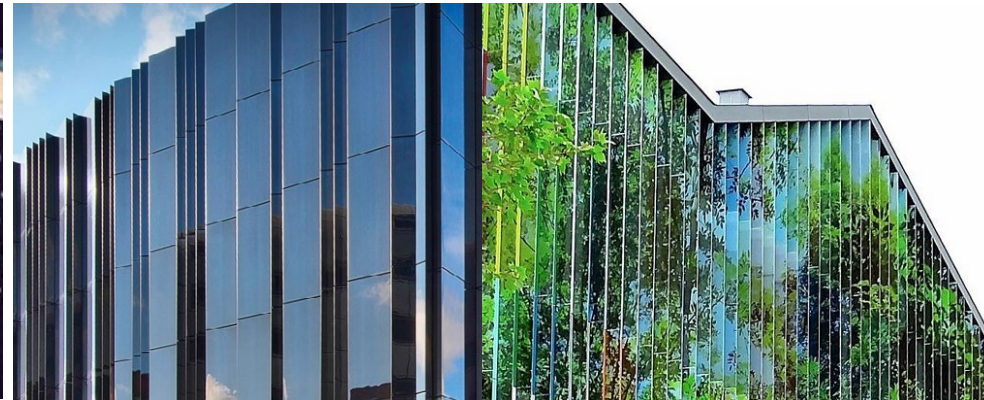
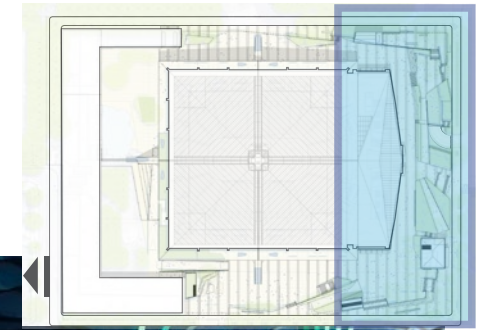


"STAR HALL" – EVENT LEVEL

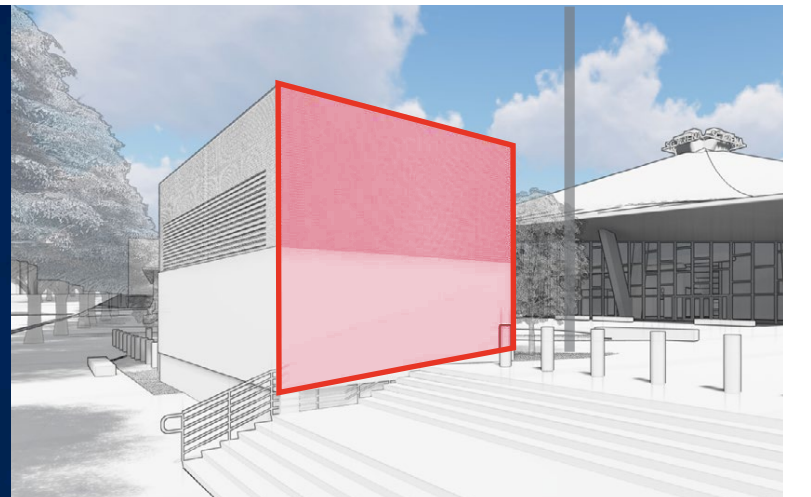
ART PLAN | ARENA PORTALS

SOUTH PLAZA

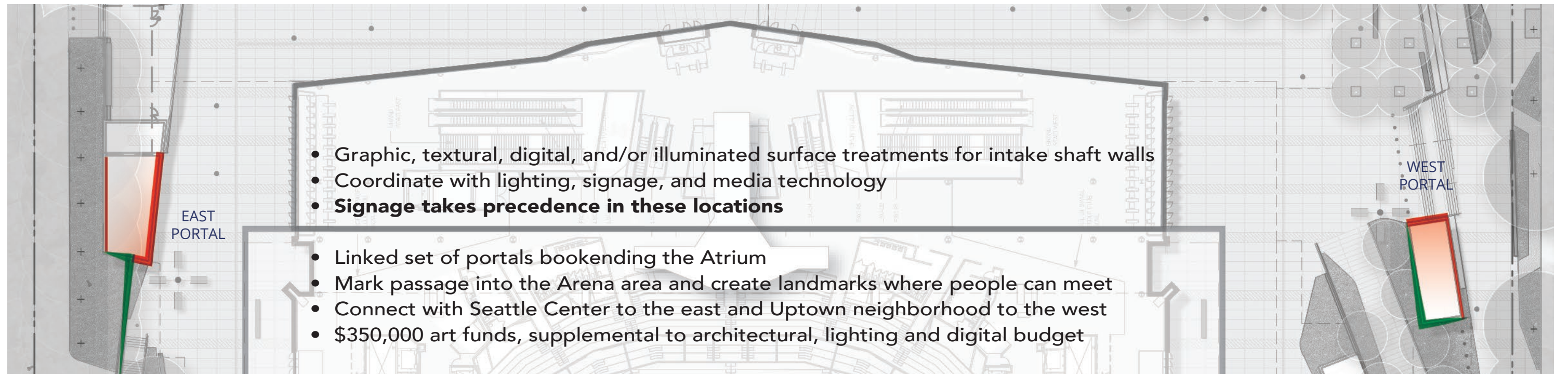
KEY PLAN



EAST PORTAL

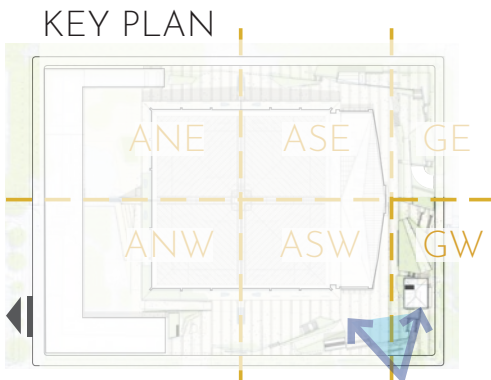
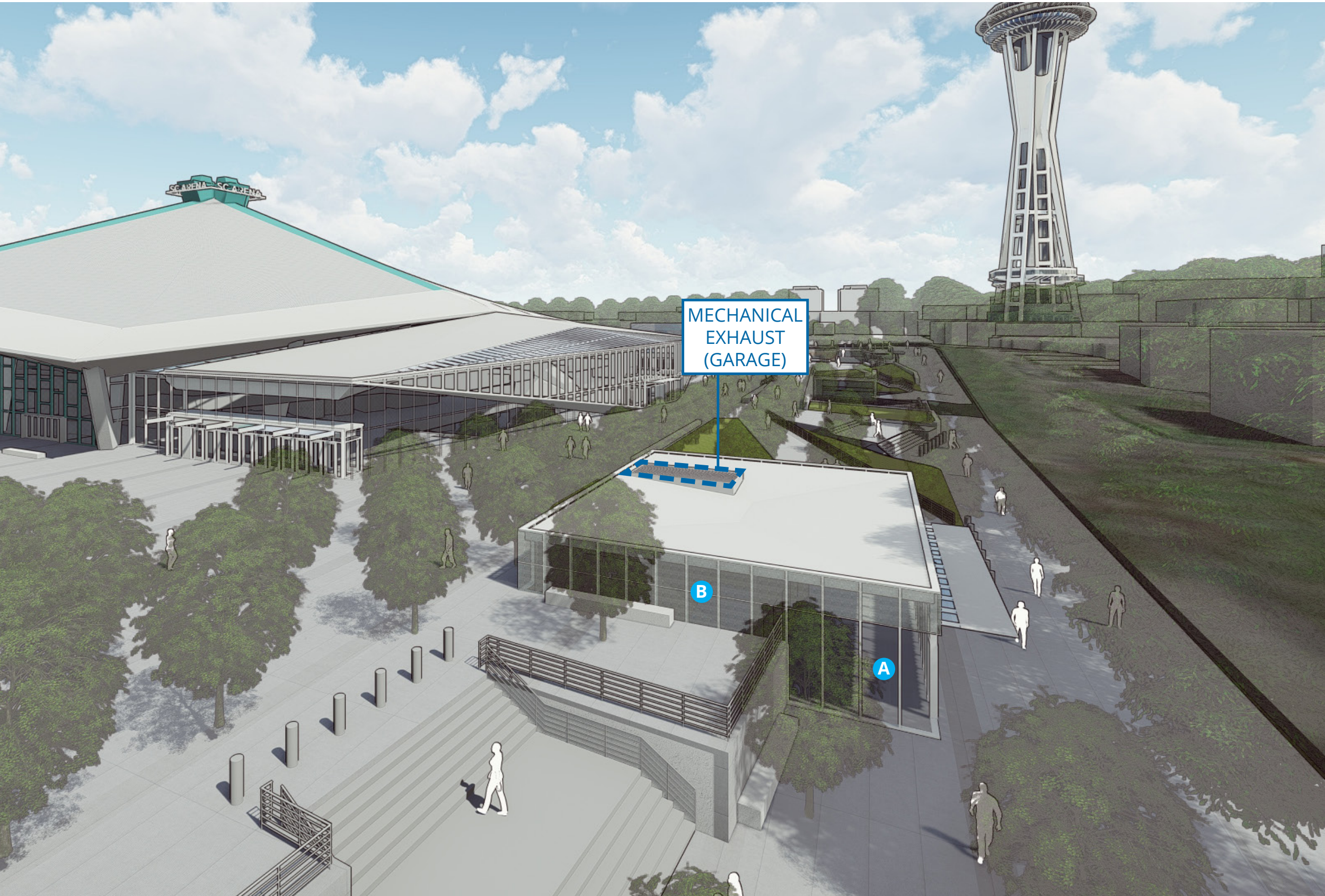


WEST PORTAL

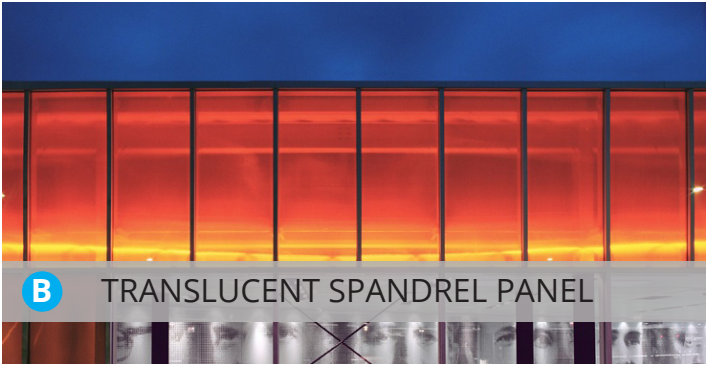


GW | SOUTH PLAZA

PROPOSED DESIGN - AERIAL VIEW LOOKING EAST



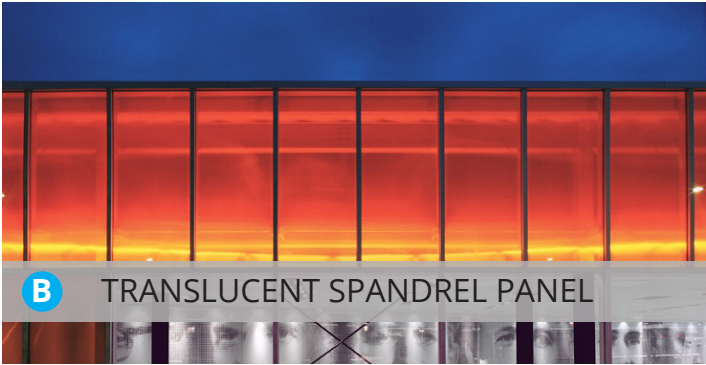
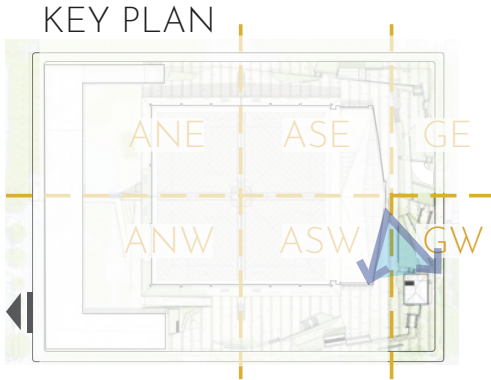
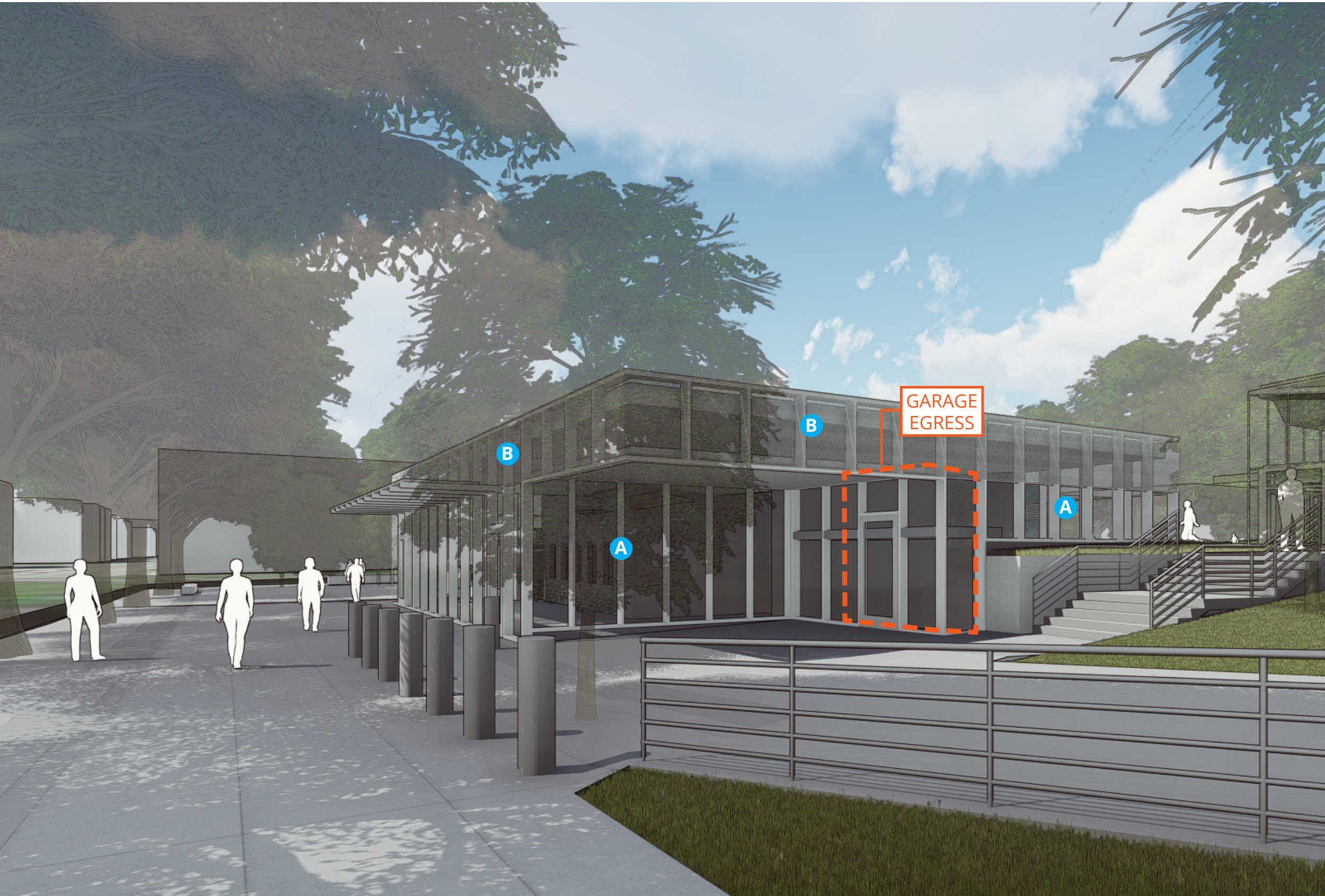
A STOREFRONT GLAZING



B TRANSLUCENT SPANDREL PANEL

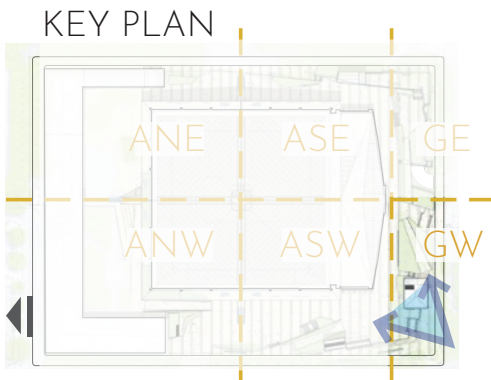
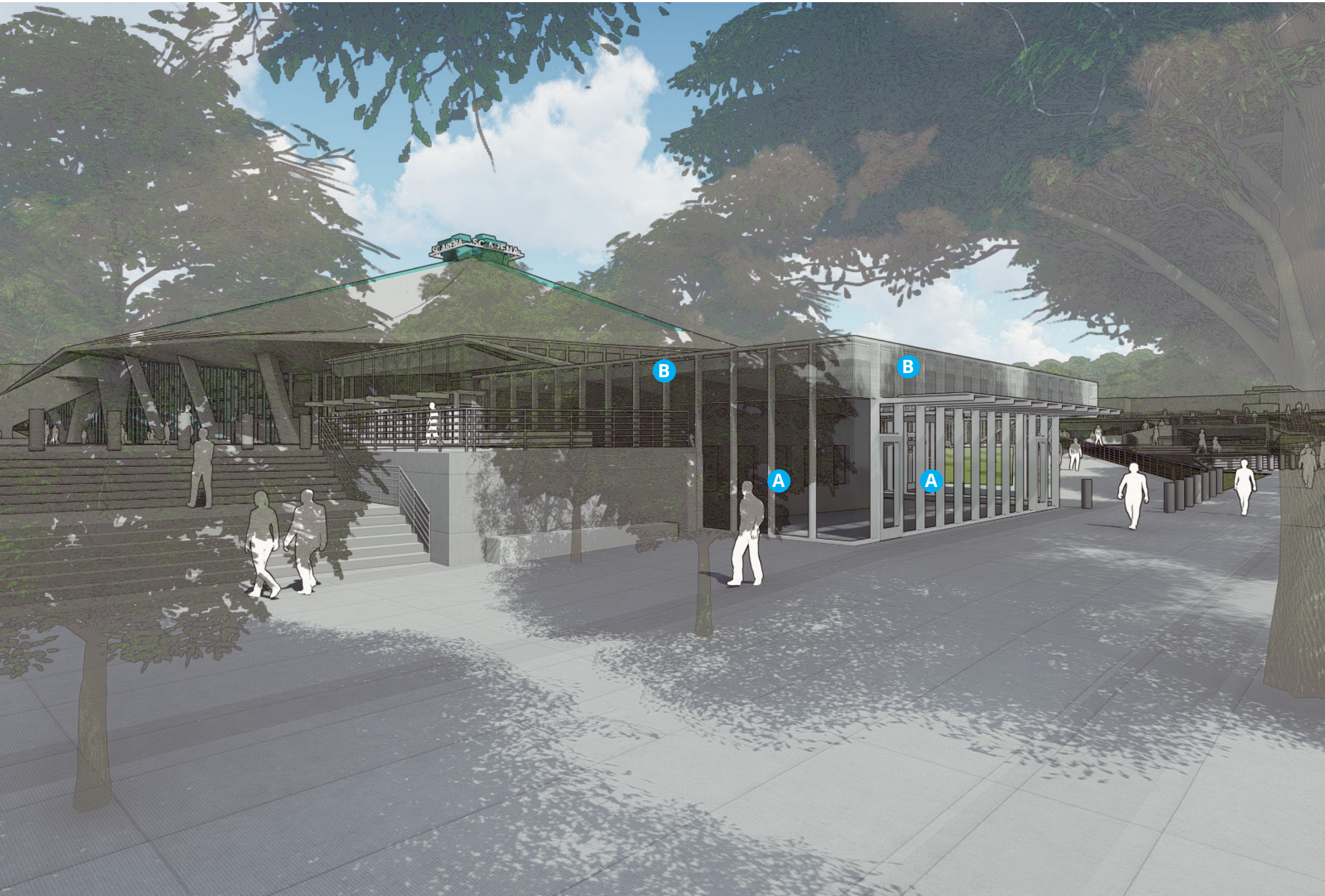
GW | SOUTH PLAZA

PROPOSED DESIGN - AERIAL VIEW LOOKING WEST

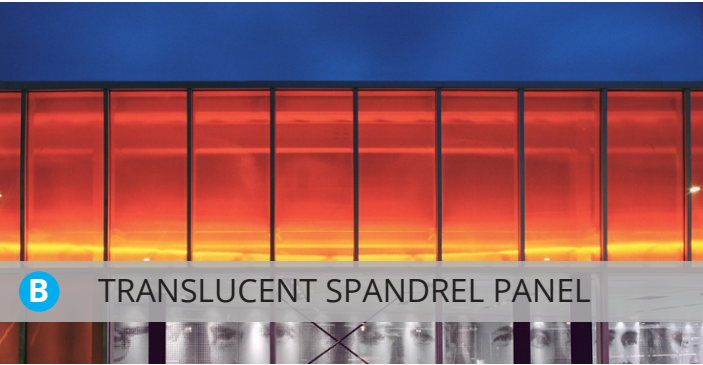


GW | SOUTH PLAZA

PROPOSED DESIGN - VIEW LOOKING NORTHEAST



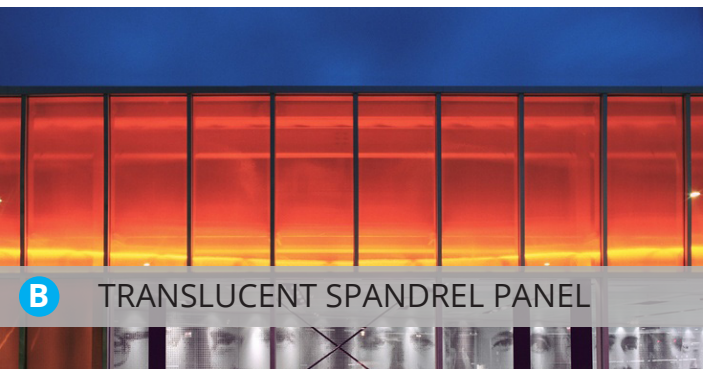
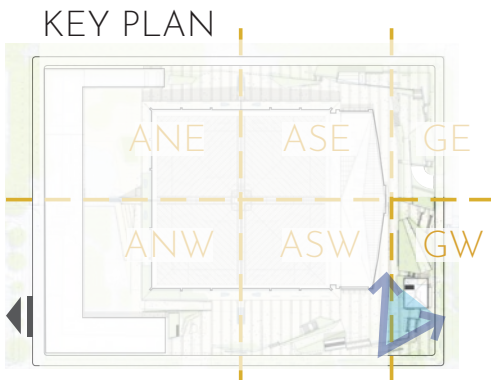
A STOREFRONT GLAZING



B TRANSLUCENT SPANDREL PANEL

GW | SOUTH PLAZA

PROPOSED DESIGN - VIEW LOOKING SOUTHEAST

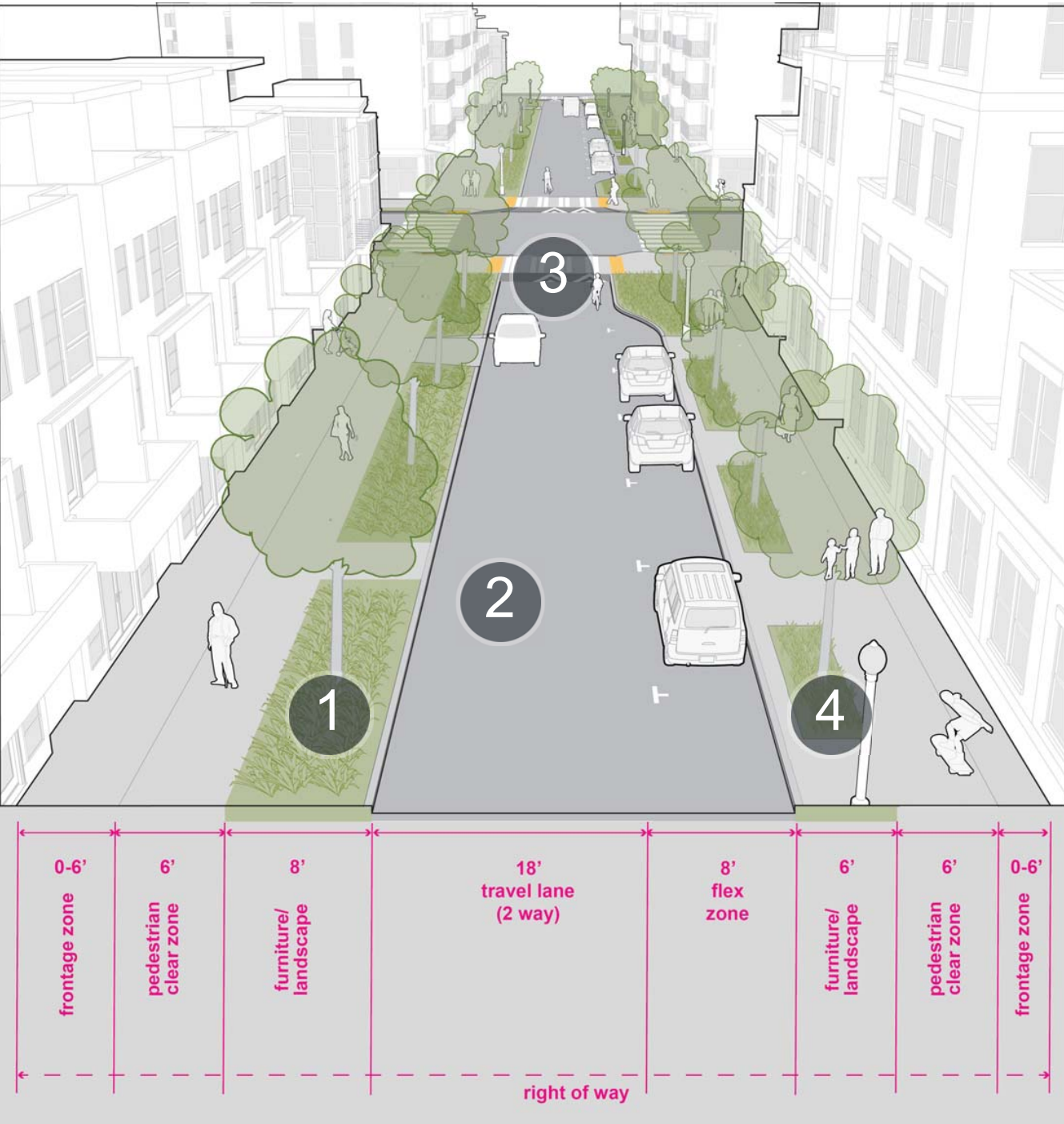


SITE DESIGN

THOMAS ST - STREETS ILLUSTRATED

2.10 URBAN VILLAGE NEIGHBORHOOD ACCESS

Urban Village Neighborhood Access Streets play a supporting role to Urban Village Main Streets by serving a variety of land uses, with more emphasis on residential uses and curbside uses that provide amenity and activation.



- 1 **3.3 Drainage**
GSI stands for Green Stormwater Infrastructure, such as a biofiltration swale. A biofiltration swale is an open, gently sloped, vegetated channel designed to treat stormwater. [Read More »](#)
- 2 **Festival Streets**
May function as a meeting ground for neighborhood events such as farmer's markets and festivals [Read More »](#)
- 3 **Intersection Treatments**
Curb bulbs make crossings safer by shortening the distance a Pedestrian must cross traffic. [Read More »](#)
- 4 **3.6 Street Trees**
Street trees require access to air and water, space for growth and must be located, installed and managed for compatibility with the built environment. [Read More »](#)

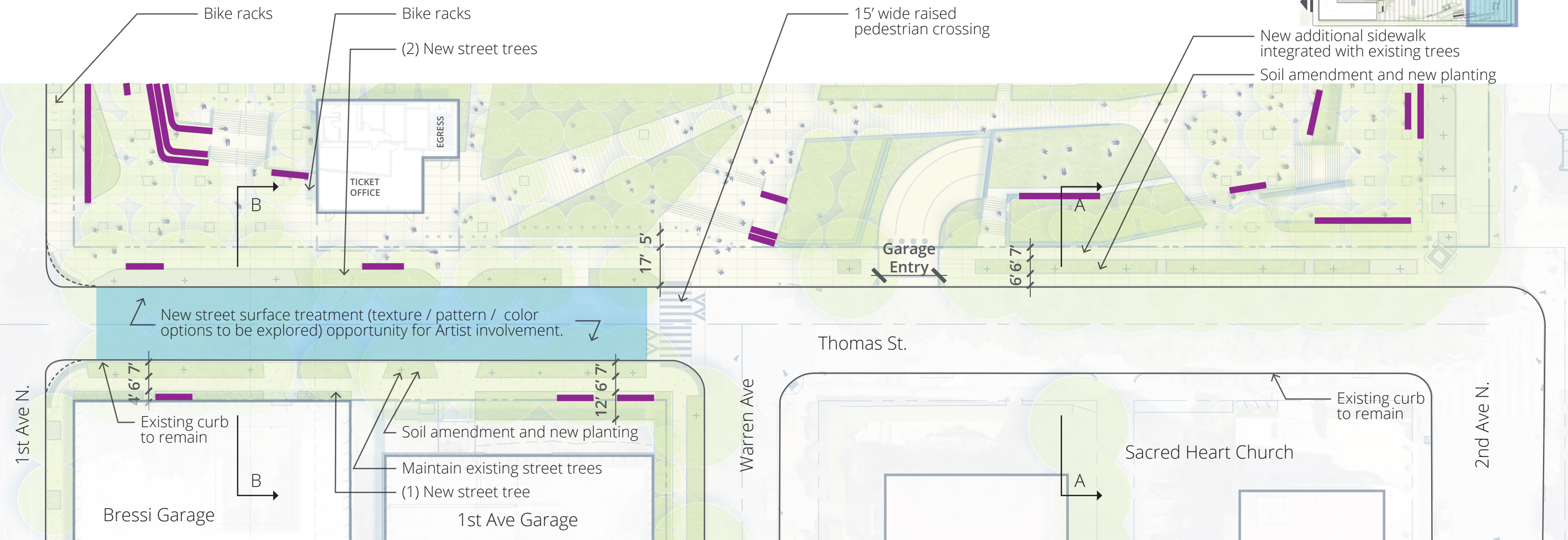
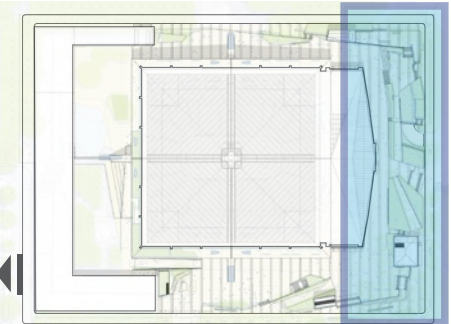
Thomas Street Type designation

Street Type	Urban Village Neighborhood Access
Arterial Classification	Not Designated
Street Name	THOMAS ST
ROW Width - Minimum	60
Existing ROW Width	66
ROW Net	6
Street Type Standards	More info
Curb Radii	20
Bicycle Master Plan	Neighborhood Greenway
Transit Master Plan	N/A
Freight Master Plan	N/A
Pedestrian Master Plan	Priority Investment Network
Over-legal Route	N/A
Urban Village P-Zone	N/A
Land Use Constraints	

SITE DIAGRAMS

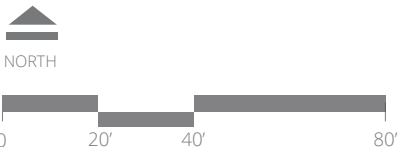
THOMAS ST. CONCEPT

KEY PLAN



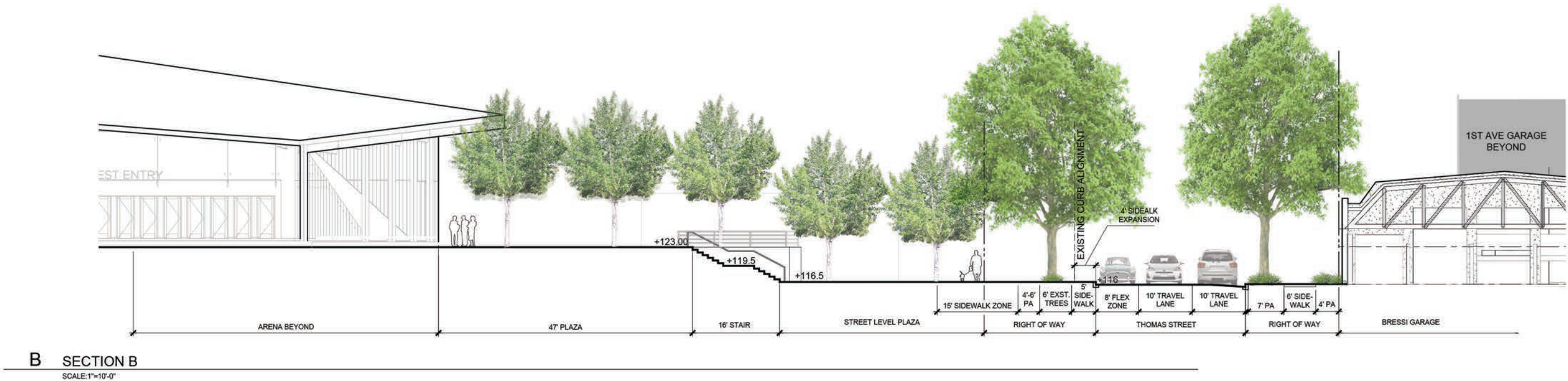
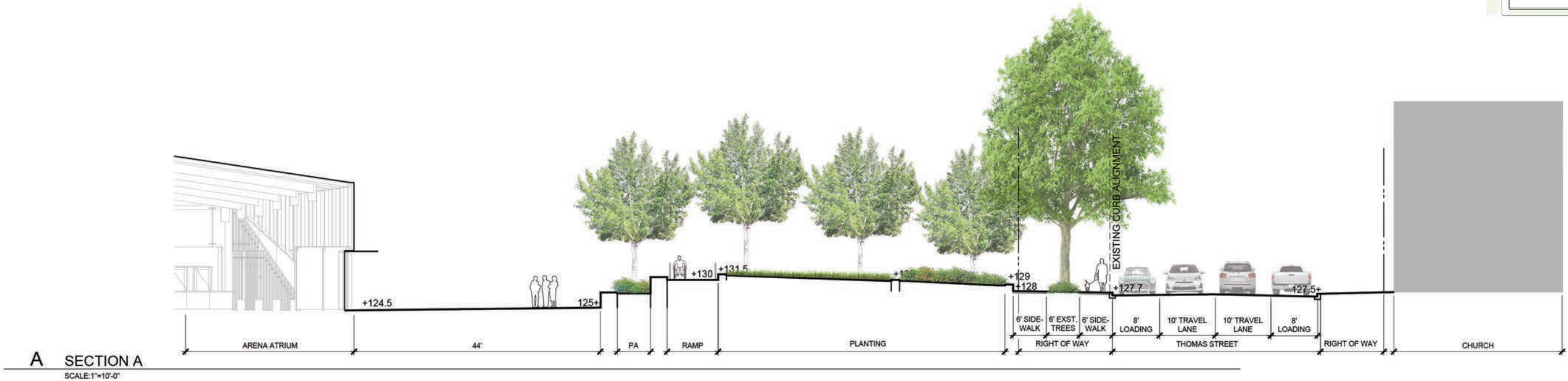
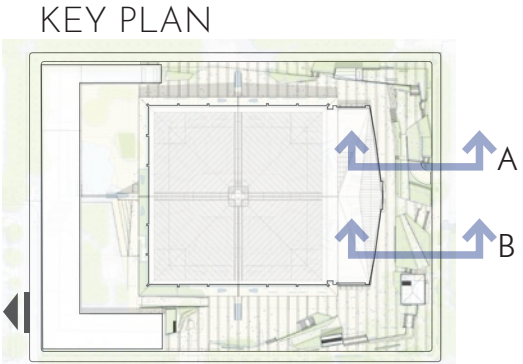
LEGEND:

- Accessible Routes
- Access with Stairs
- Arena Egress
- Vehicular Egress Route
- Thomas St. Closed to Vehicles During Events
- Site Seating



SITE DIAGRAMS

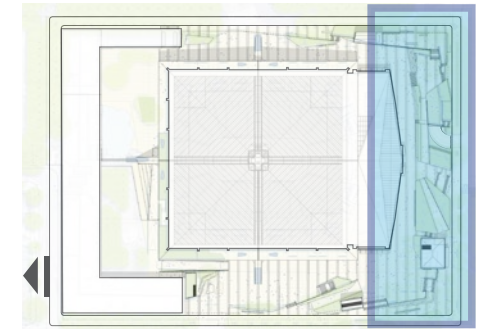
THOMAS ST. CONCEPT - SECTIONS



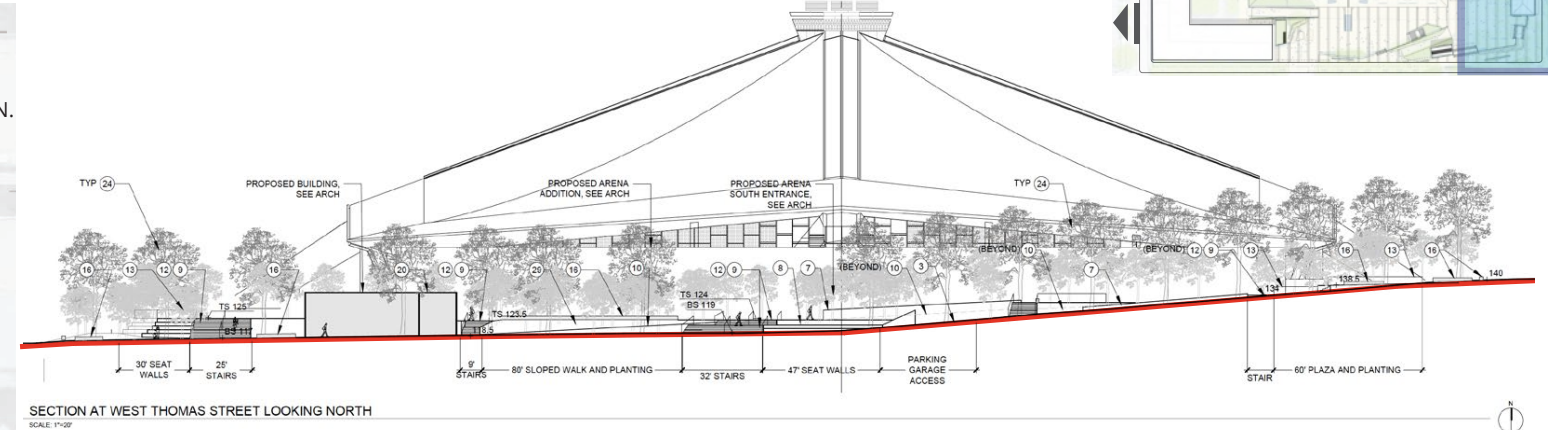
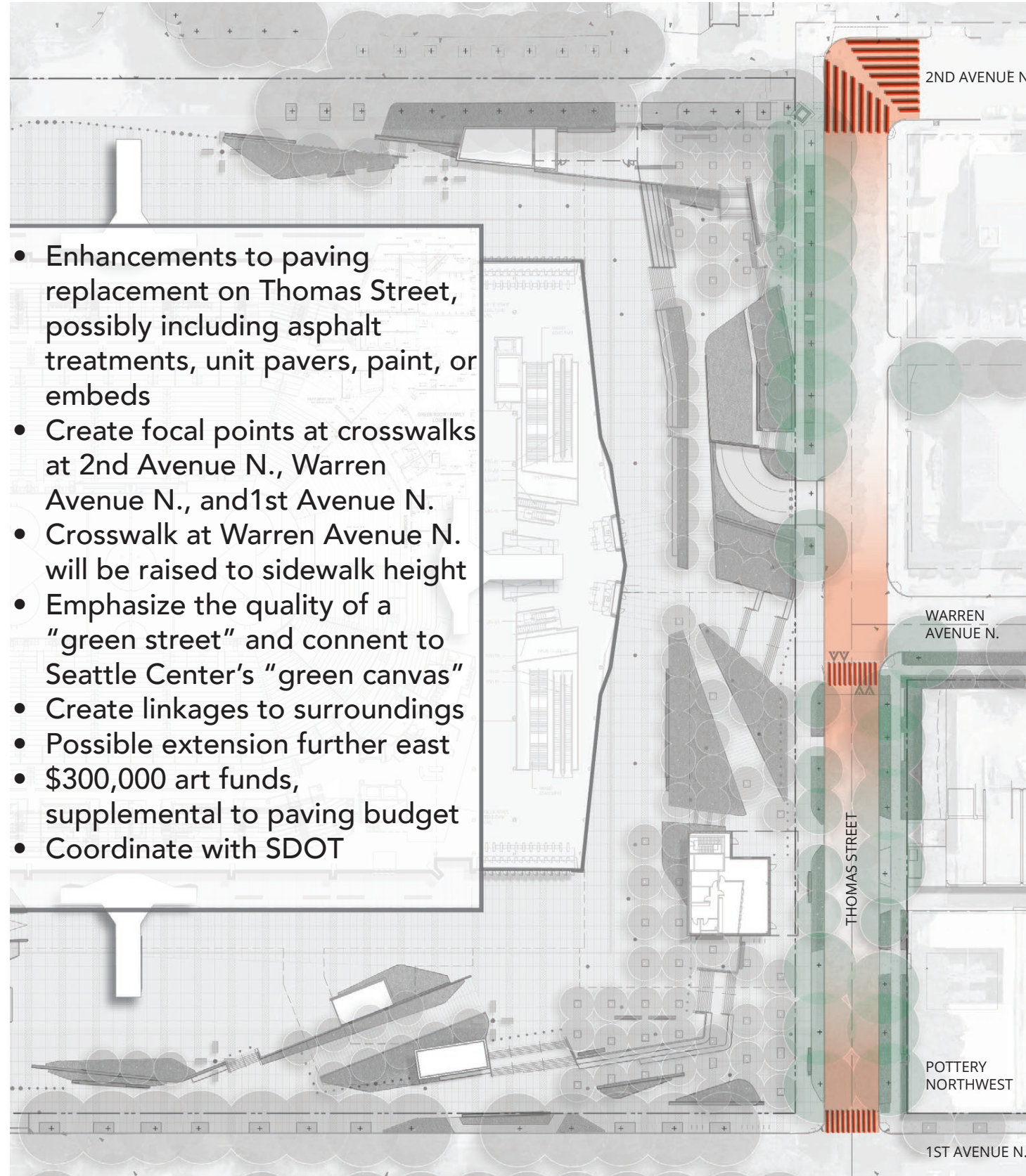
ART PLAN | CROSSWALKS & PAVING

THOMAS ST

KEY PLAN



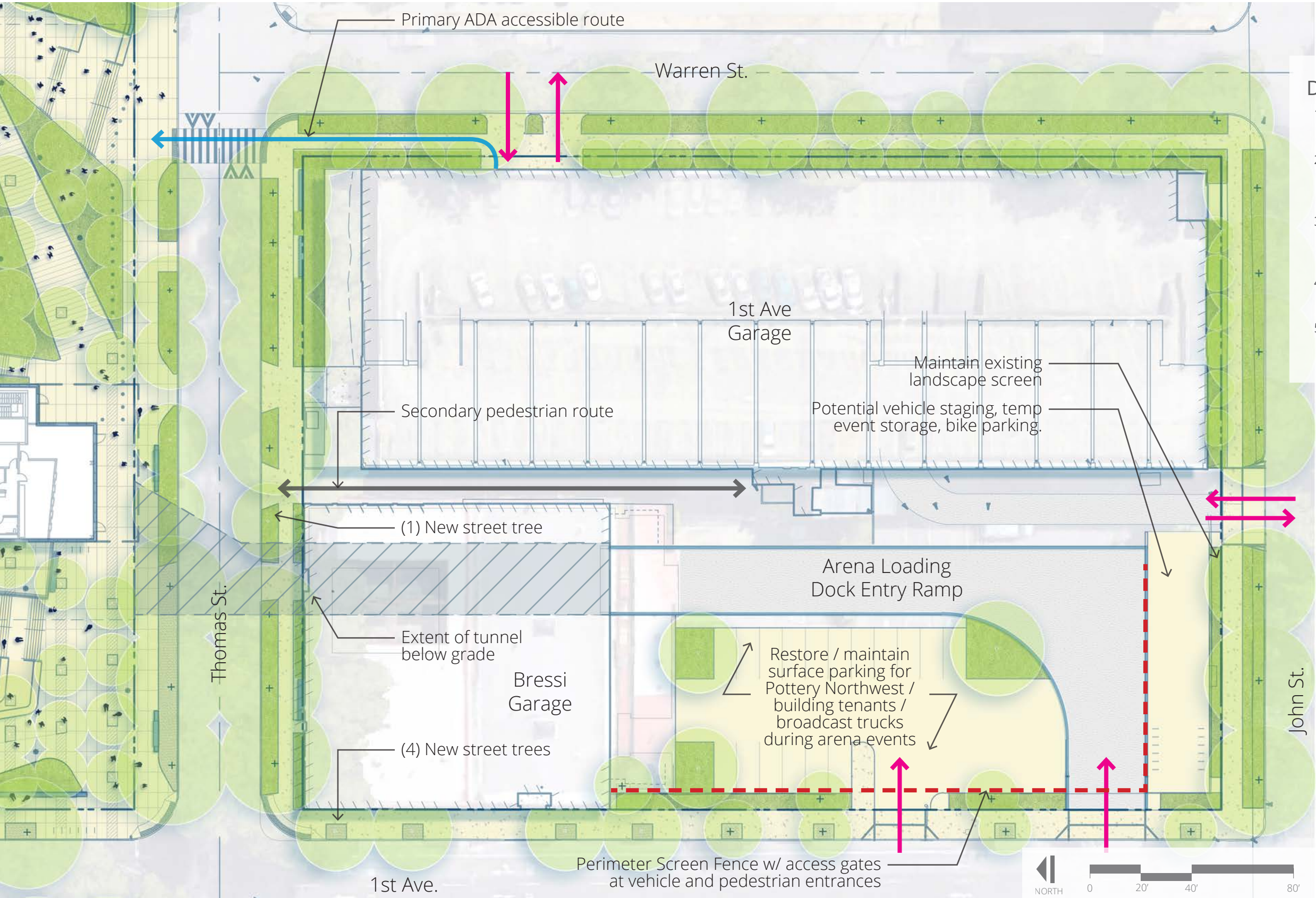
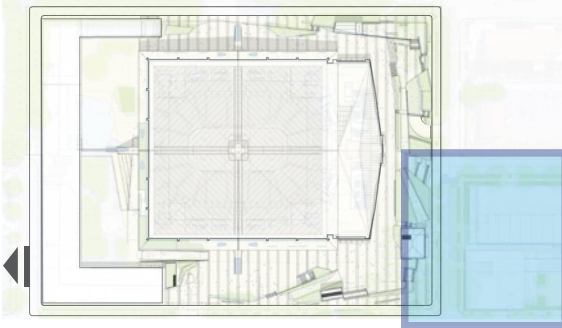
- Enhancements to paving replacement on Thomas Street, possibly including asphalt treatments, unit pavers, paint, or embeds
- Create focal points at crosswalks at 2nd Avenue N., Warren Avenue N., and 1st Avenue N.
- Crosswalk at Warren Avenue N. will be raised to sidewalk height
- Emphasize the quality of a "green street" and connent to Seattle Center's "green canvas"
- Create linkages to surroundings
- Possible extension further east
- \$300,000 art funds, supplemental to paving budget
- Coordinate with SDOT



SOUTH PARCEL

ENLARGED SITE PLAN

KEY PLAN



Design Assumptions:

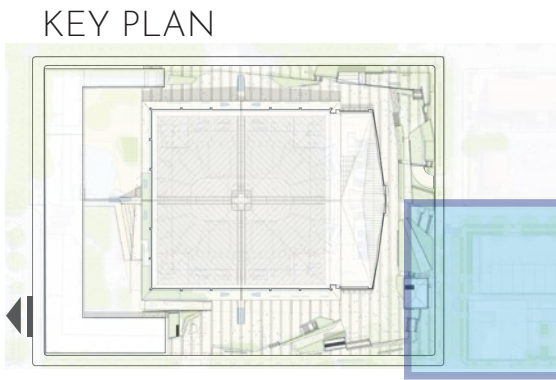
1. Extent of ROW improvements to be clarified through the SIP process as required by SDOT.
2. Site shall be improved as required by code to provide temporary conditions prior to further parcel development.
3. Planting on east facade illustrates potential improvements to satisfy City objective to replace site trees w/ a 2:1 ratio.
4. Assume the 1st Ave Garage shall be modified to provide vehicular entrances / exits that maintain function.
5. Driveways on Thomas Street will remain as physical access points into 1st Ave Garage, Bressi Garage, and former alley until future parcel design evolves. No regular vehicle access occurs - maintenance only.

LEGEND:

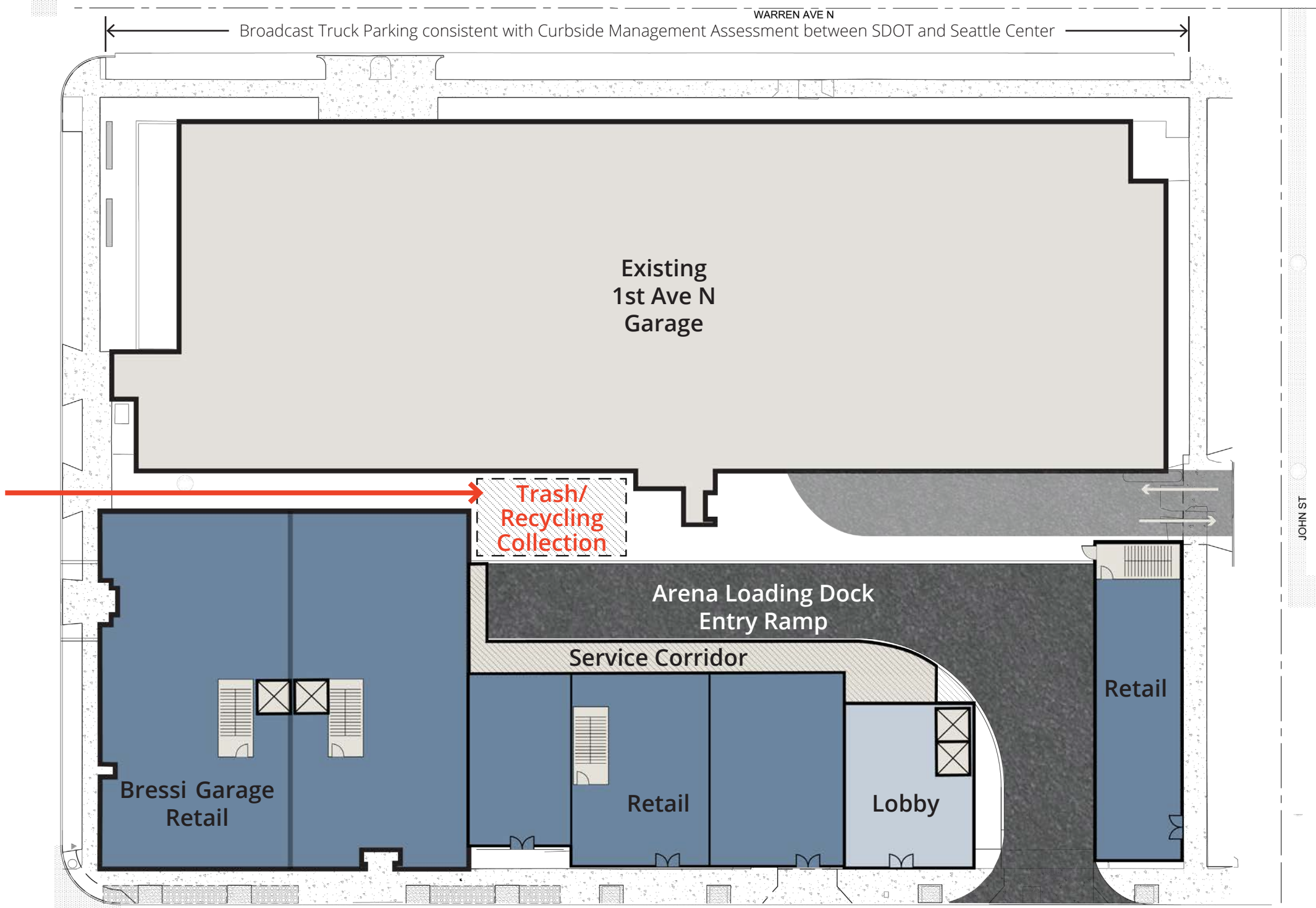
- Accessible Routes
- Access with Stairs
- Arena Egress
- Vehicular Egress Route
- Thomas St. Closed to Vehicles During Events
- Access / Egress
- Site Seating

SOUTH PARCEL

FUTURE DEVELOPMENT POTENTIAL - SITE PLAN, LEVEL 01



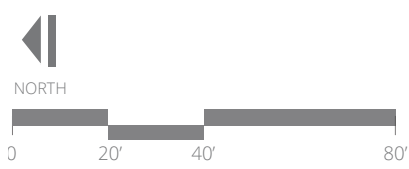
Trash/Recycling
Vehicle Access



The Seattle Center Century 21 Master Plan stated the following related to development around the Arena:

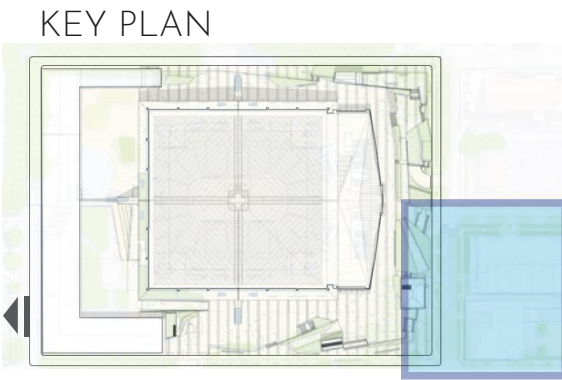
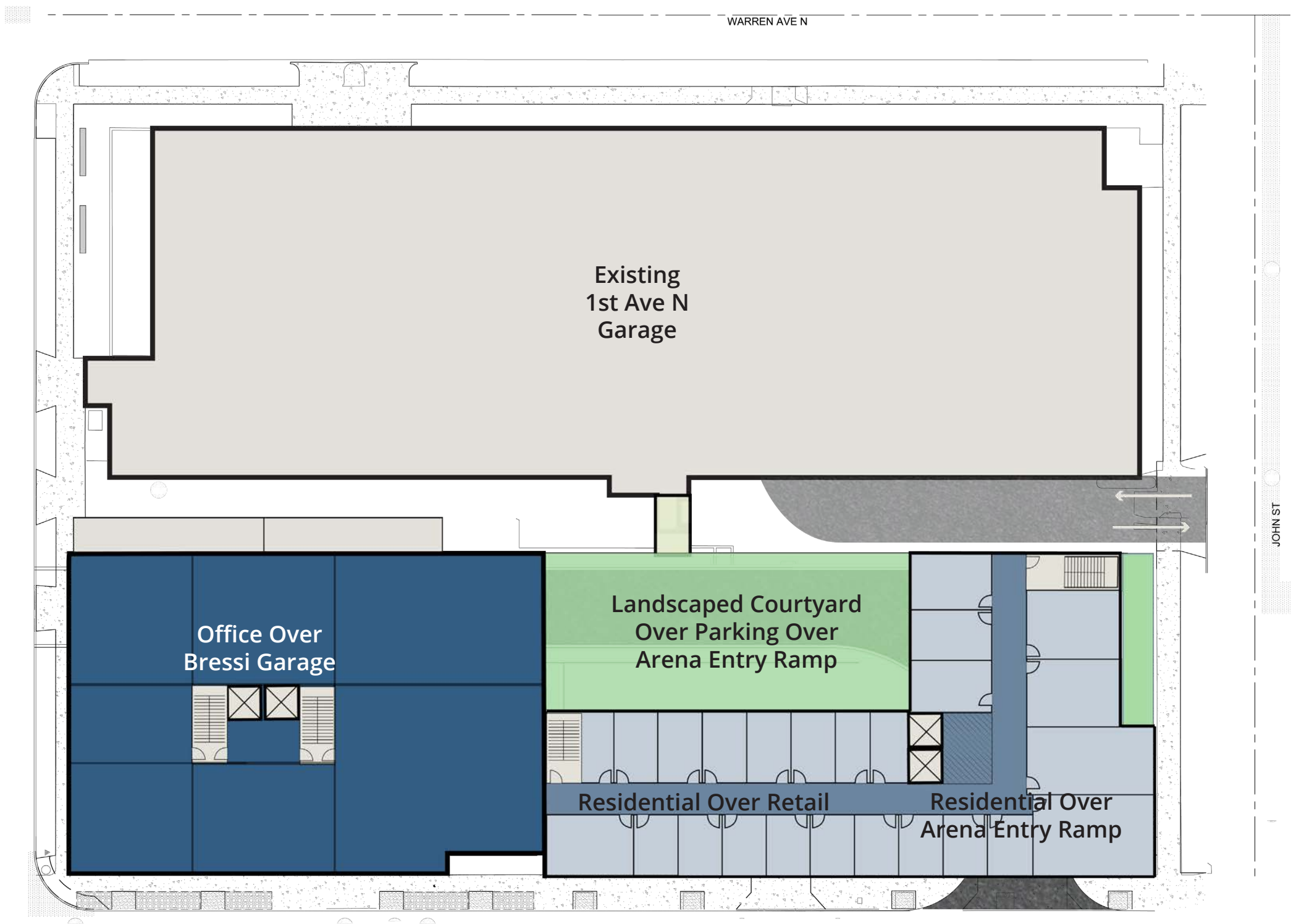
The area encircling Key Arena is ripe with development opportunities that could provide retail, residential and restaurant amenities as well as ongoing revenues for Seattle Center through public-private partnerships. (Page 29)

Conceptual Illustration
of Hypothetical
Development Only



SOUTH PARCEL

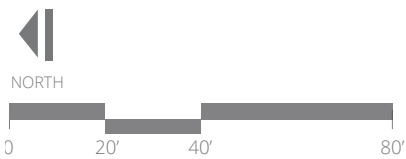
FUTURE DEVELOPMENT POTENTIAL - SITE PLAN, LEVEL 02



The Seattle Center Century 21 Master Plan stated the following related to development around the Arena:

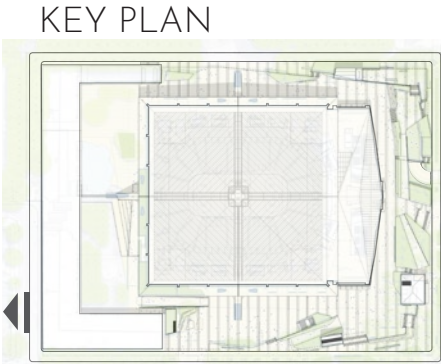
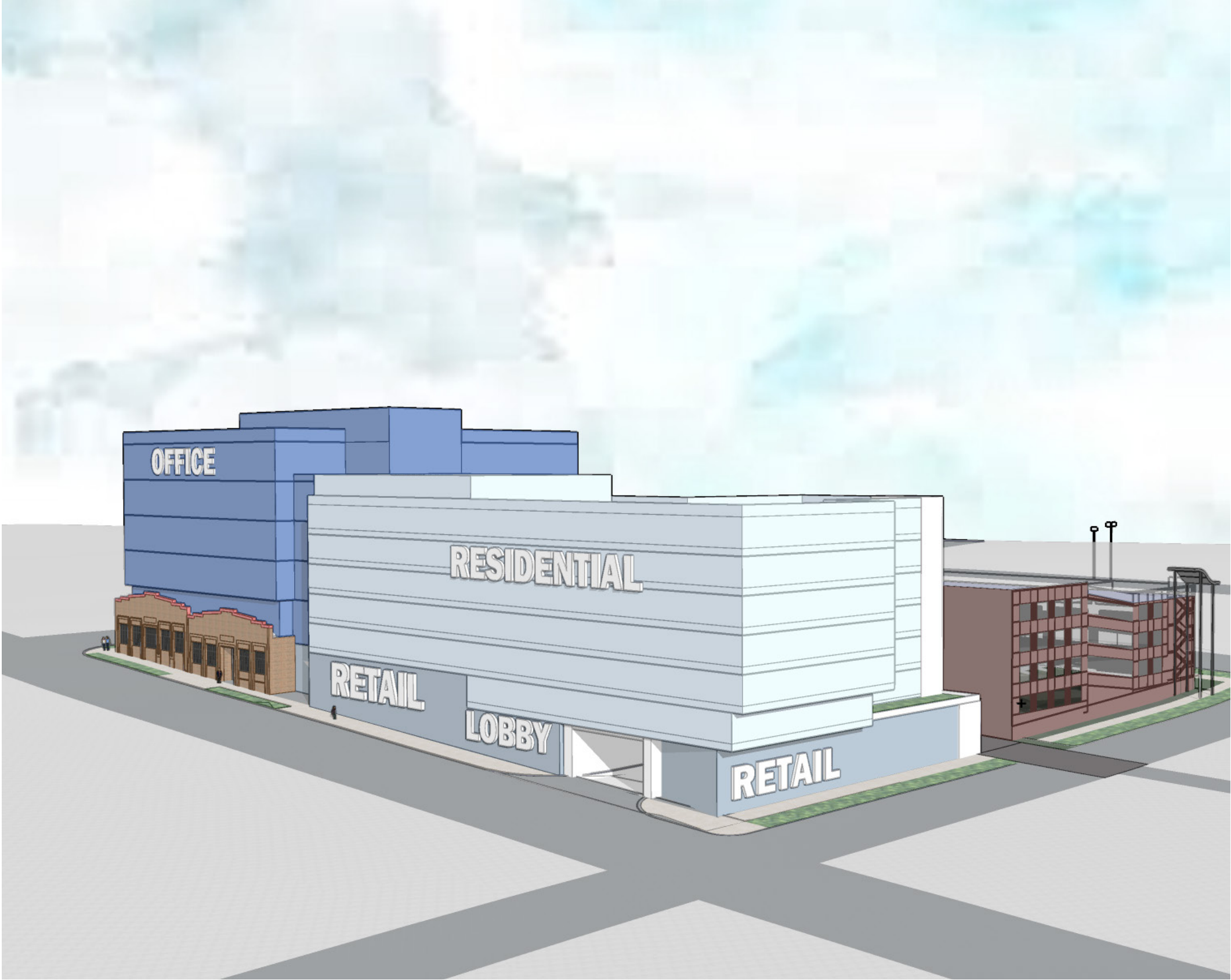
Like Center House and Memorial Stadium, the area encircling Key Arena is ripe for public-private partnerships. Here at the campus' perimeter, opportunities exist to provide new retail, residential, and restaurant developments that could generate ongoing revenues for Seattle Center and stimulate neighborhood business development with an emphasis on music, sports, art, and culture. Redevelopment of the site will likely be complex, as there are many integrated parts and uses, and may need to be implemented over multiple phases with funds from a mix of public and private sources. (Page 31)

Conceptual Illustration
of Hypothetical
Development Only



SOUTH PARCEL

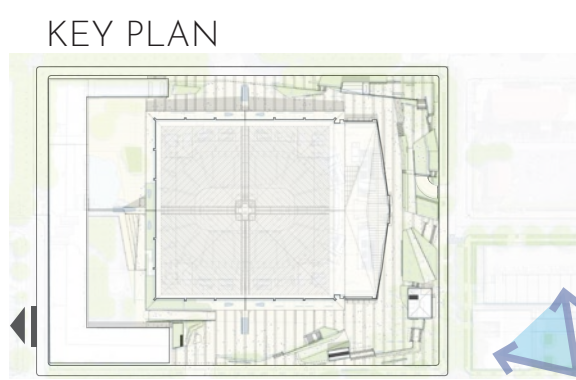
FUTURE DEVELOPMENT POTENTIAL - AXONOMETRIC DIAGRAM



Conceptual Illustration
of Hypothetical
Development Only

SOUTH PARCEL

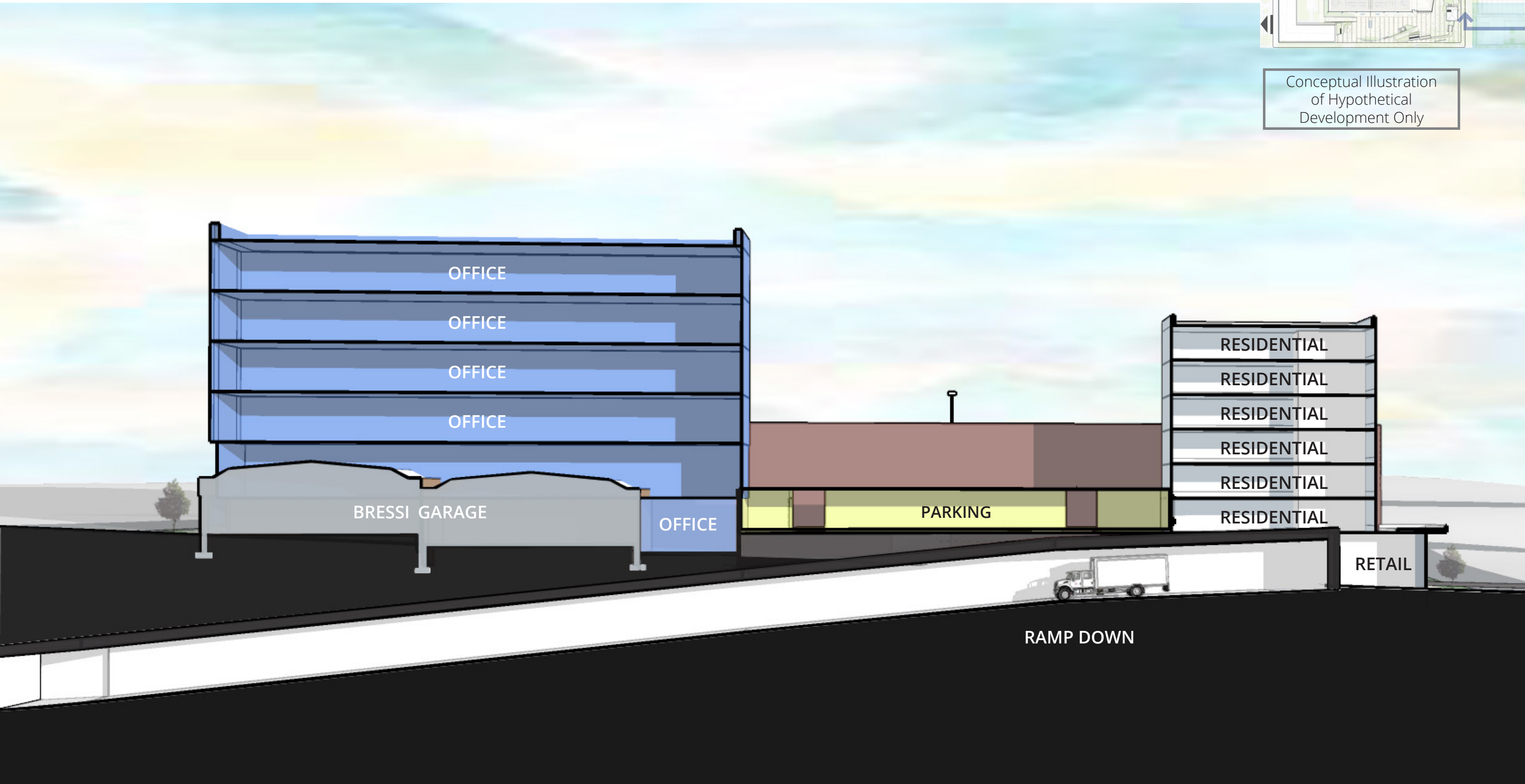
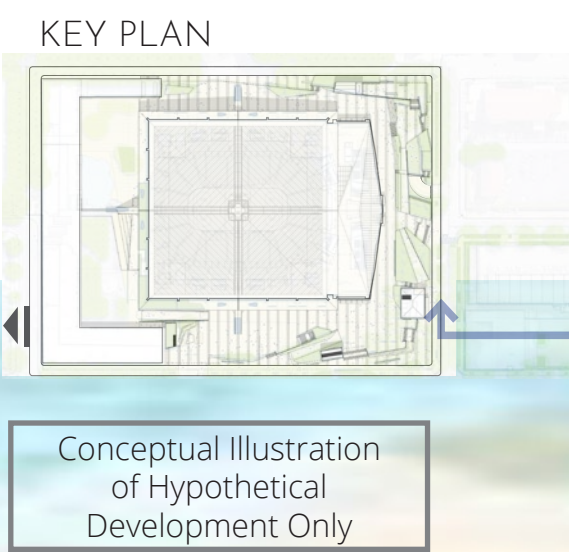
FUTURE DEVELOPMENT POTENTIAL - EXPLODED AXONOMETRIC DIAGRAM



Conceptual Illustration
of Hypothetical
Development Only

SOUTH PARCEL

FUTURE DEVELOPMENT POTENTIAL - SITE SECTION

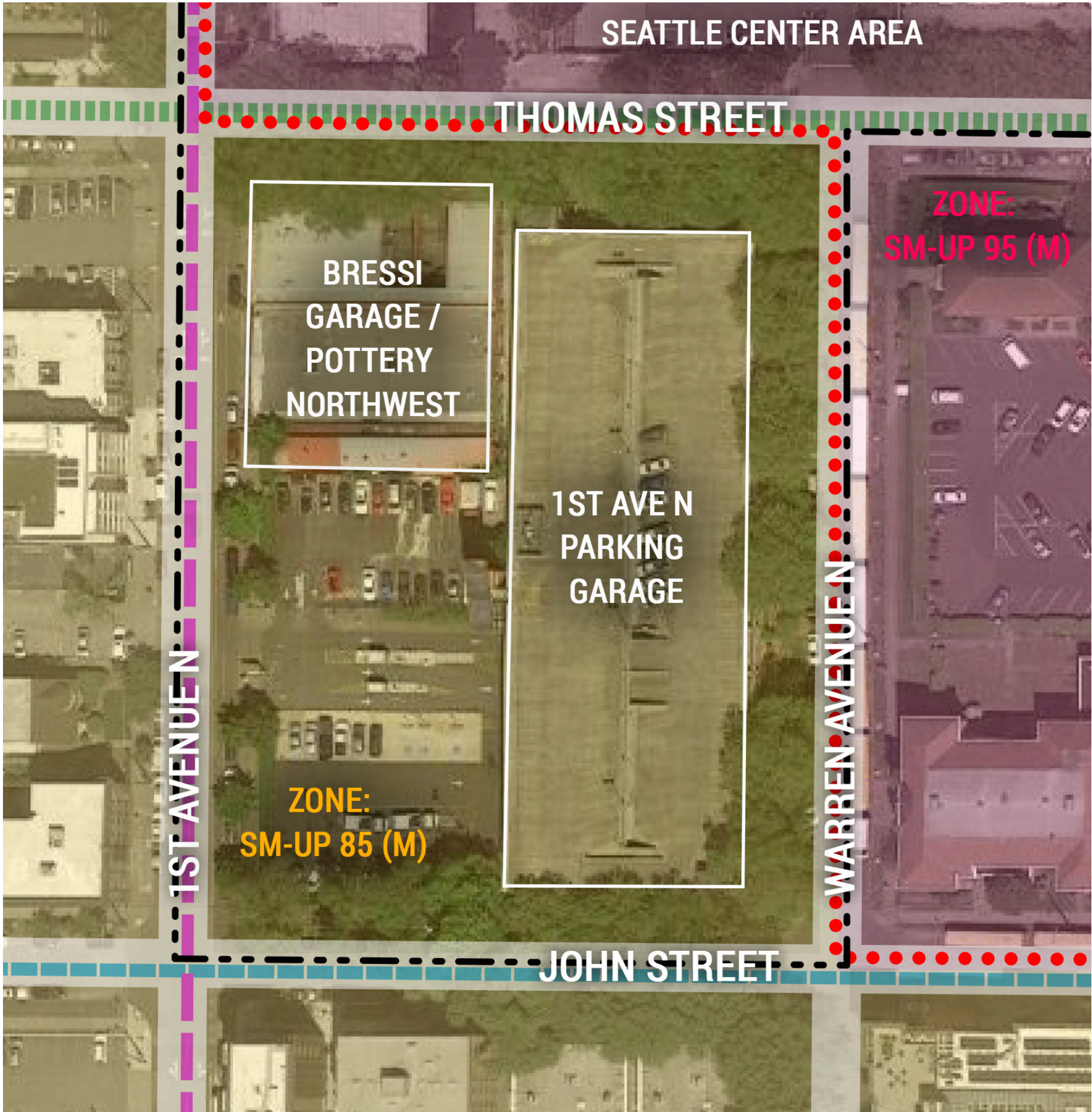
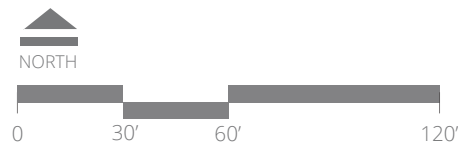


SOUTH PARCEL

FUTURE DEVELOPMENT POTENTIAL

- LEGEND:

 - ● ● ● ZONE BOUNDARY
 - — — — ARENA REDEVELOPMENT BOUNDARY
 - — — — SMC CLASSIFICATION: CLASS III PEDESTRIAN STREET
STREETS ILLUSTRATED CLASSIFICATION: URBAN VILLAGE MAIN STREET
 - — — — SMC CLASSIFICATION: CLASS III PEDESTRIAN STREET
STREETS ILLUSTRATED CLASSIFICATION: URBAN VILLAGE NEIGHBORHOOD ACCESS STREET
 - ||||| SMC CLASSIFICATION: GREEN STREET
STREETS ILLUSTRATED CLASSIFICATION: URBAN VILLAGE NEIGHBORHOOD ACCESS STREET



SOUTH PARCEL

FUTURE DEVELOPMENT POTENTIAL - LAND USE

LAND USE CODE REVIEW SUMMARY TABLE		
SMC Title 23 – Land Use Code		
https://library.municode.com/wa/seattle/codes/municipal_code?nodeId=TIT23LAUSCO		
REGULATION	PROPOSED	
	Phase I Development October 2020	Future Development Potential
Underlying Zone	SM-UP 85 Seattle Mixed-Uptown Urban Center Urban Village Overlay: Uptown (Urban Center)	
Historic Landmark on Site	Yes – Brezzi Garage / Pottery Northwest To be retained	
Design Review SMC Chapter 23.41 – Table A *Changes in effect in July 2018	Not Required Below threshold	Required - Over threshold More than 20 dwelling unit More than 12,000 sf of non-res'l GFA
Uses – Permitted Uses SMC 23.48.005	Existing uses permitted No prohibited use proposed	Retail, Commercial, Residential, Parking All proposed uses permitted outright
Floor Area Ratio (FAR) SMC 23.48.020 C – Minimum FAR: 2 Min. required: 2 x 46,078 sf = 96,156 sf GFA	Existing: 14,275 sf Less than required, but it is OK as Landmarks exempt	206,550 sf More than required →OK
Floor Area Ratio (FAR) SMC 23.48.720 – Maximum FAR Max. allowed: 5.25 x 46,078 sf = 241,910 sf GFA	Existing: 14,275 sf Less than allowed →OK	206,550 sf Less than allowed →OK
Structure Height - (Above avg. grade elevation) SMC 23.48.025 – 85 feet Allowed SMC 23.86.006 Measurement	About 25 feet	Less than 85 feet
Street Level Development Standards SMC 23.48.040 B.1. Transparency	N/A Existing Landmark	Future detailed design to comply
Street Level Development Standards SMC 23.48.040 B.2. Blank Facade	N/A Existing Landmark	Future detailed design to comply

SOUTH PARCEL

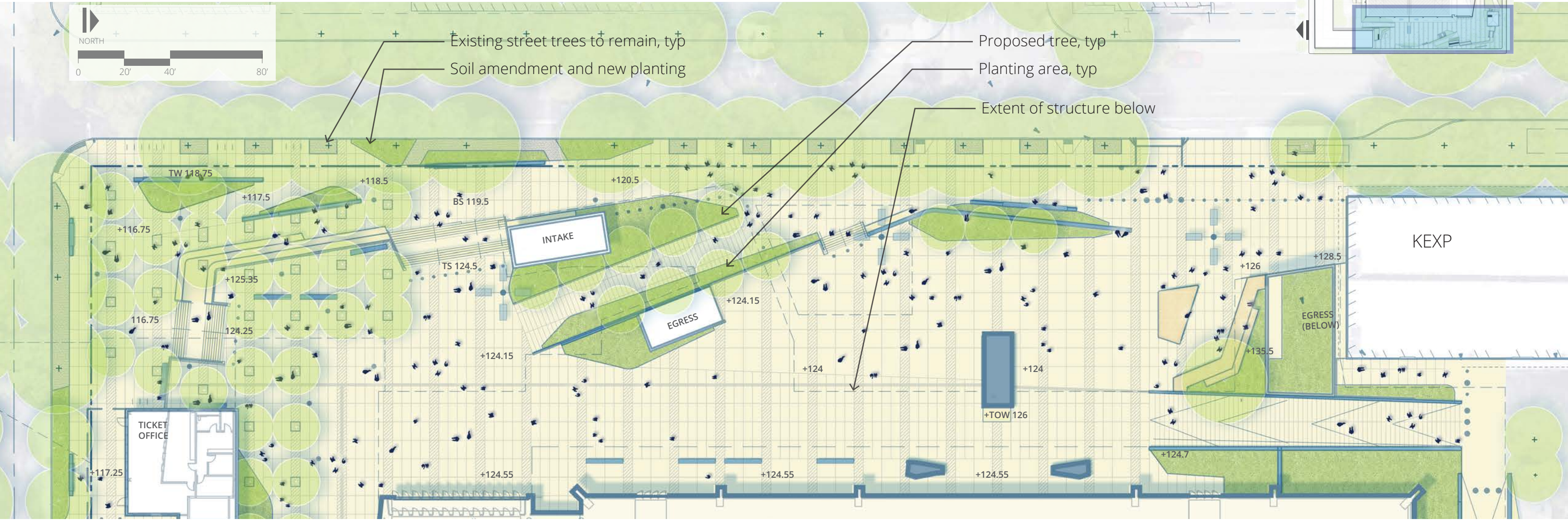
FUTURE DEVELOPMENT POTENTIAL - LAND USE

Street Level Development Standards SMC 23.48.040 C. Street level use	N/A Existing Landmark	Future detailed design to comply
Street Level Development in SM-UP zones 23.48.740 B. Required usable open space Min. 15% of lot area: 46,078 sf x .15 = 6,911 sf	N/A Existing Landmark	Future detailed design to comply
Street Level Development in SM-UP zones 23.48.750 B. Open space for office uses Min. 20 sf / 1,000 sf of GFA in office use	N/A – No office use	±100,000 sf x .02 = 2,000 sf Min. Future detailed design to comply
Amenity area for residential uses SMC 23.48.045 Required for 20+ dwelling units Quantity: Min. 5% of GFA in residential use	N/A – No residential use	±85,000 sf x .05 = 4,250 sf Min. Future detailed design to comply
Landscaping and screening standards SMC 23.48.055 Green factor min. 0.30 required Thresholds: 4 dwelling units, 4,000 sf non-residential use, 20 new parking stalls	N/A – thresholds not crossed	Future detailed design to comply
Maximum structure width and depth SMC 23.48.732 A. Max. width is 250 feet Applicable along 1 st Ave N	N/A Existing Landmark	Max. width: ~210 feet
Upper level setback SMC 23.48.735 A. For structure above 45 feet 10 feet average setback required along 1 st Ave N	N/A – Under 65 feet limit	Future detailed design to comply
Screening – parking (min. 3 feet tall) SMC 23.48.055 C.2 Surface parking area SMC 23.48.755 Applicable along 1 st Ave N At street: other uses. Above street: screening.	Proposed along 1 st Ave N & John St	Future detailed design to comply
Required parking in Uptown Urban Center SMC 23.48.780 B. Office: Maximum 1 stall/1,000 sf	N/A – No office use proposed	±100,000 sf x .001 = 100 Max. 25 proposed - OK
Parking location , access, and curb-cuts SMC 23.48.785 1. Max. 50% can be above grade 3. Accessory surface parking prohibited	No above street level proposed Accessory surface parking proposed	100% parking above street level No accessory surface parking proposed
Required Parking SMC 23.54.015 Non-Res'l: Table A Item II.J. No min. in urban center Residential: Table B Item II.L No min. in urban center	15 stalls proposed None required	50 stalls proposed None required

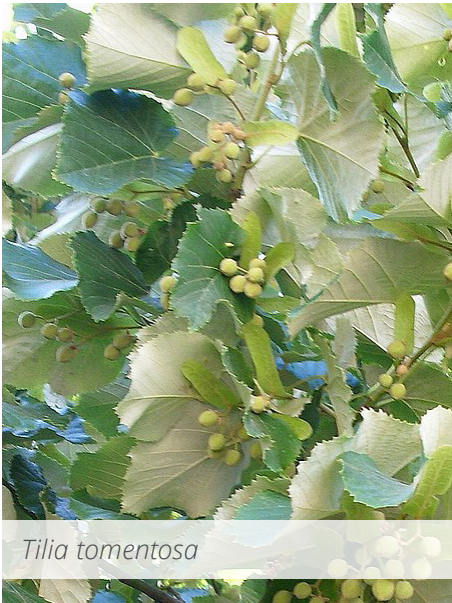
WEST PLAZA

ENLARGED SITE PLAN - PLANTING

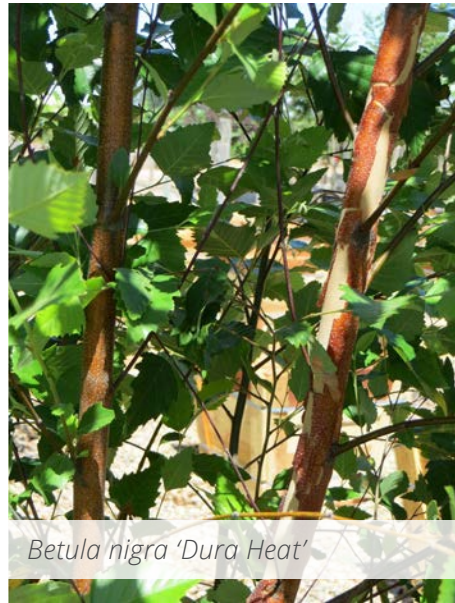
KEY PLAN



TREES



Tilia tomentosa



Betula nigra 'Dura Heat'

STRUCTURAL



Pleioblastus distichus



Taxus x media 'Densiflora'

SUPPORTING



Helleborus corsicus



Polystichum polyblepharum

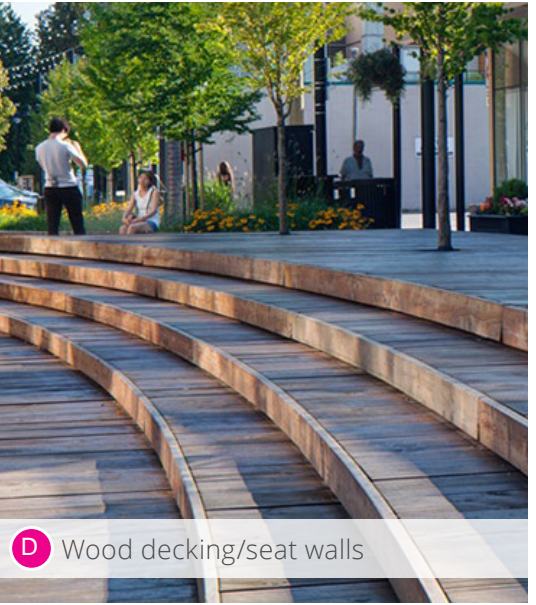
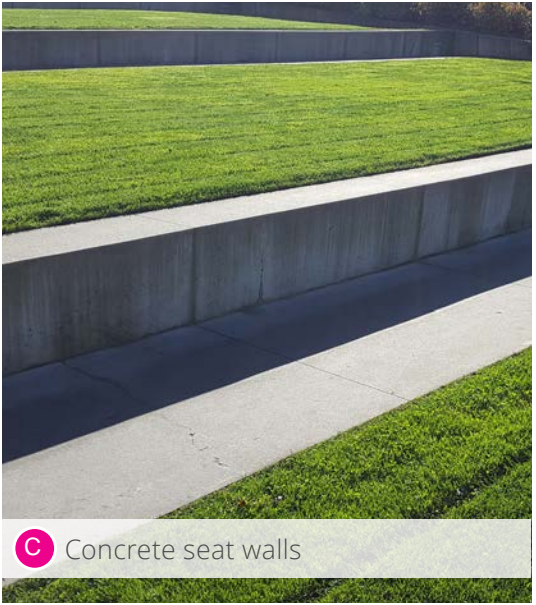
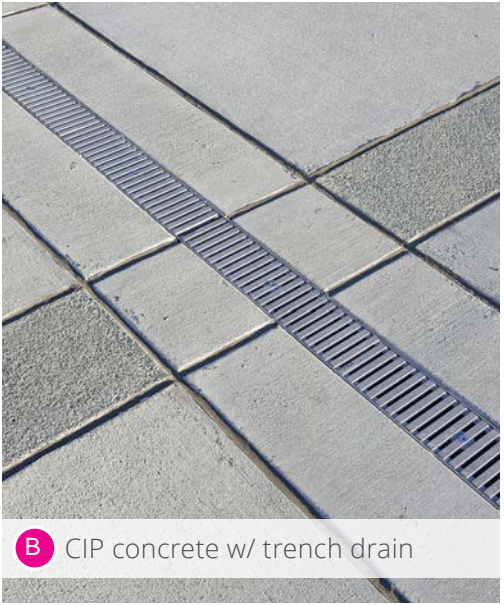
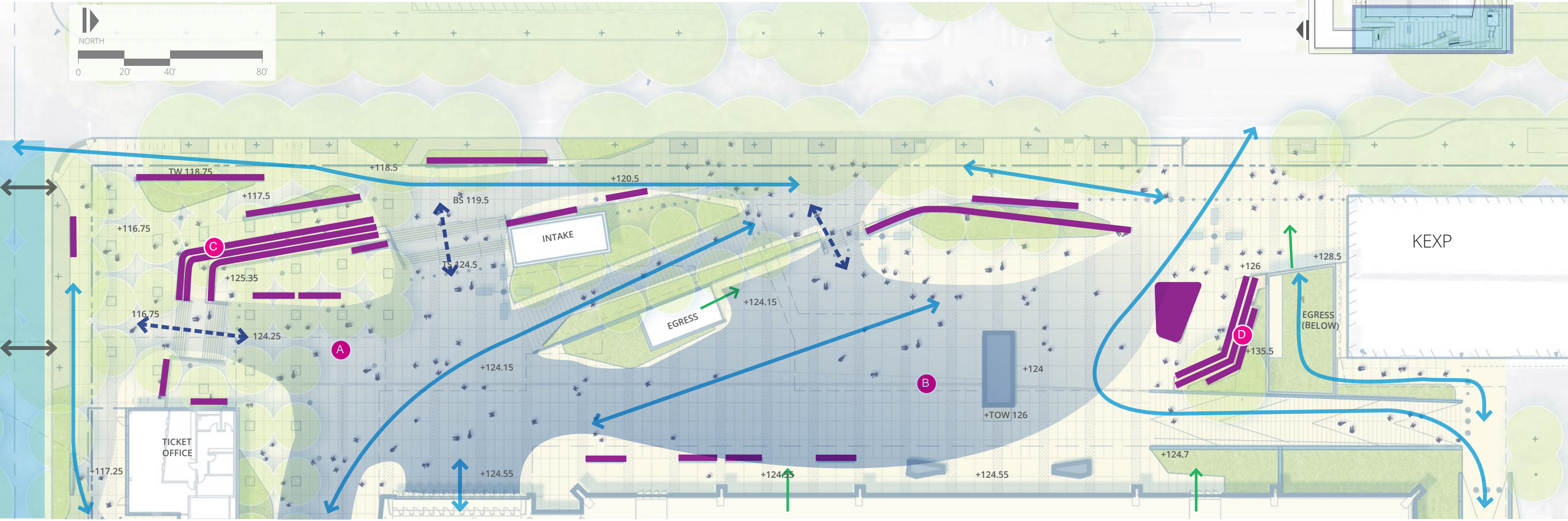


Mahonia nervosa

WEST PLAZA

ENLARGED SITE PLAN - CIRCULATION

KEY PLAN

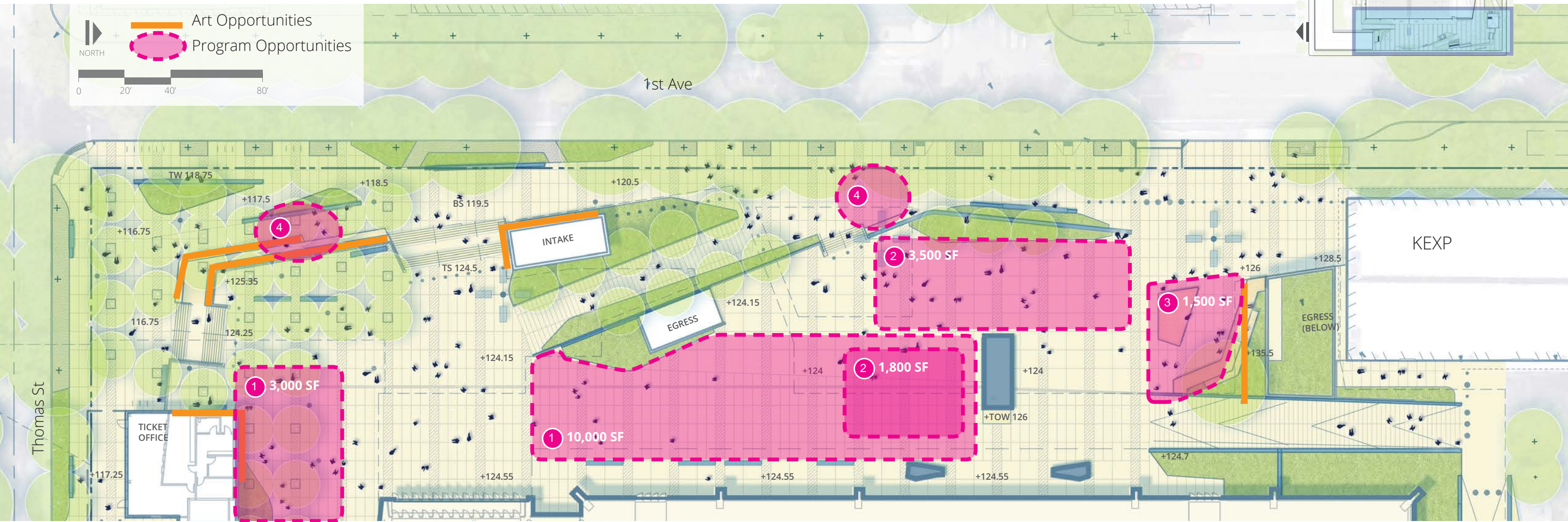


- LEGEND:**
- ↔ Accessible Routes
 - ⋯ Access with Stairs
 - Arena Egress
 - ↔ Vehicular Egress Route
 - Thomas St. Closed to Vehicles During Events
 - Access / Egress
 - Site Seating

WEST PLAZA

ENLARGED SITE PLAN - POTENTIAL PROGRAM OPPORTUNITIES

KEY PLAN



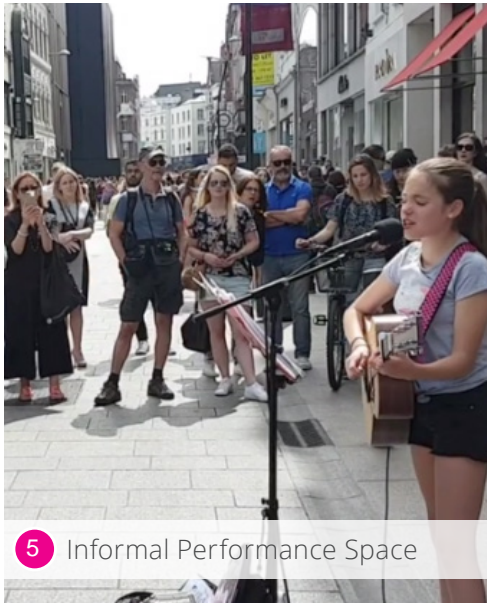
1 Public Market/Pop-up Shops



2 Ball Hockey or Basketball - youth / 3-on-3 courts



4 Amphitheater Performance Space

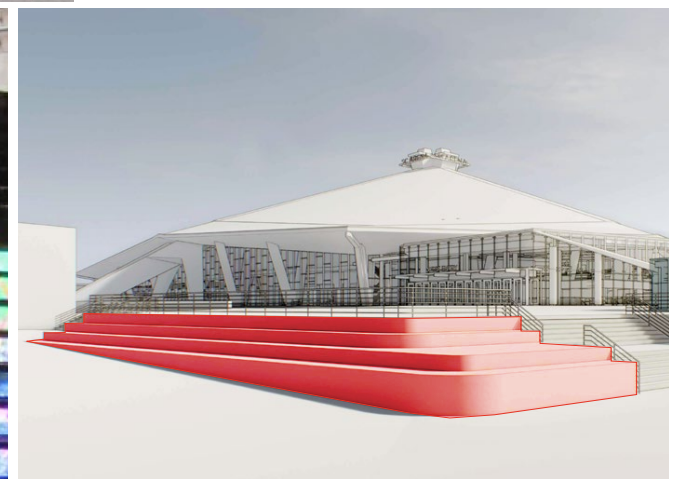
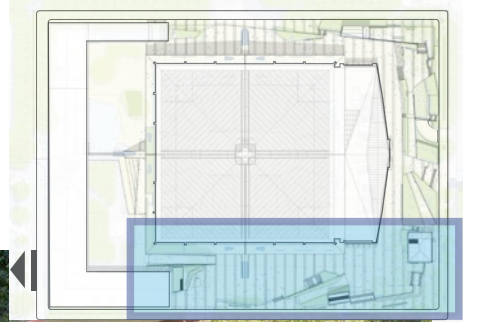


5 Informal Performance Space

ART PLAN | UPTOWN

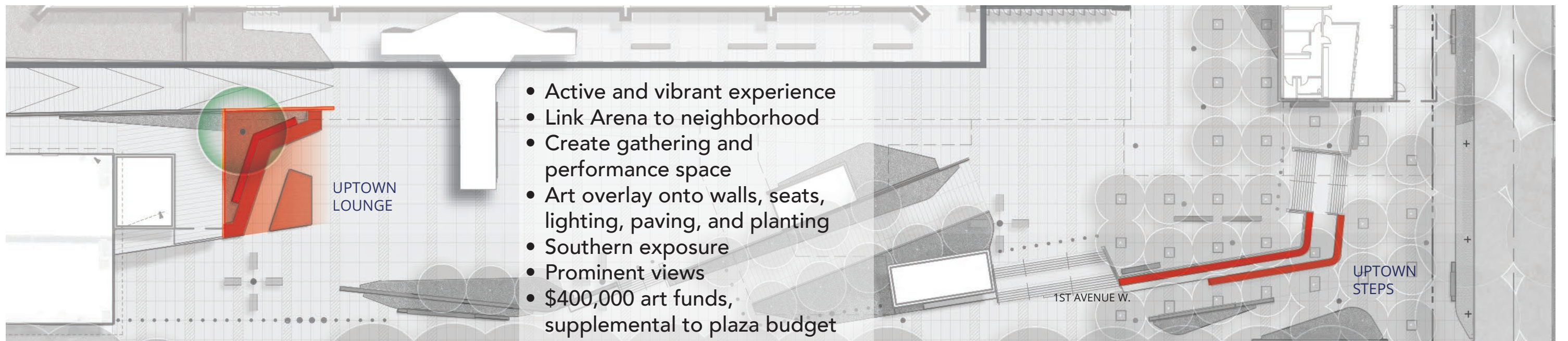
WEST PLAZA

KEY PLAN



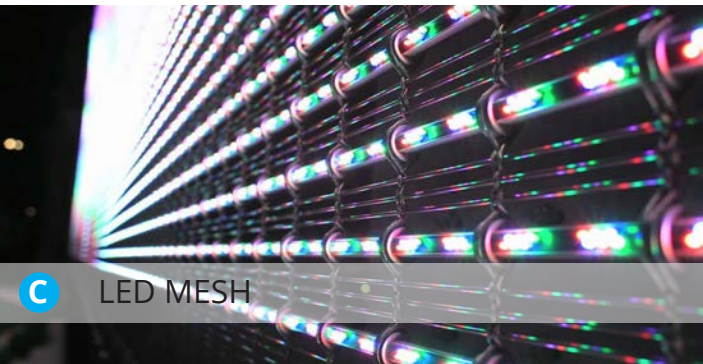
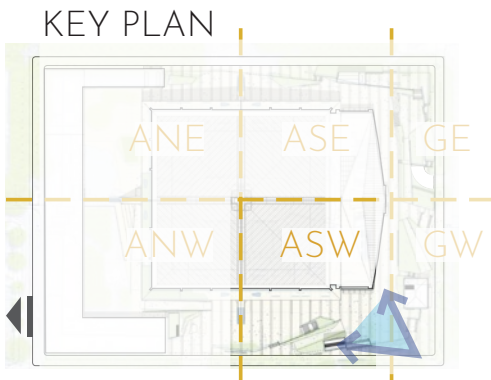
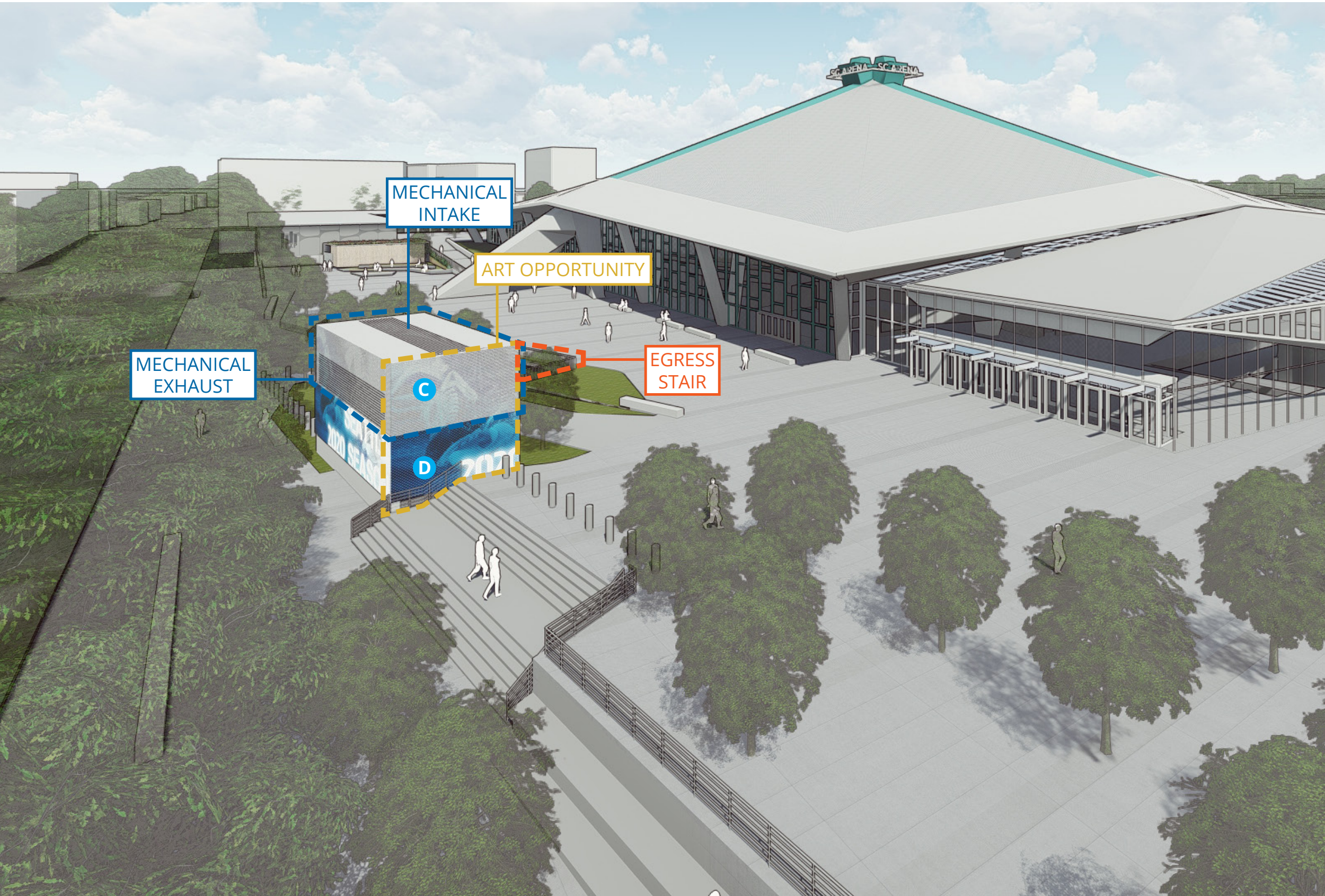
UPTOWN LOUNGE

UPTOWN STEPS



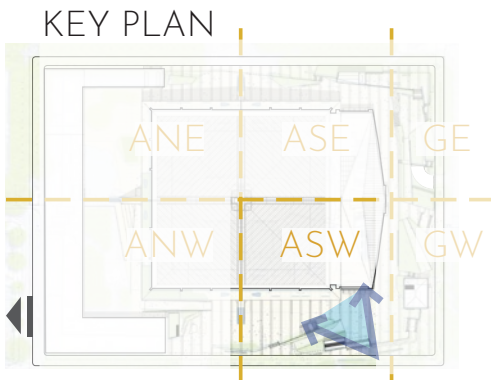
ASW | SOUTHWEST EGRESS & MECHANICAL

PROPOSED DESIGN - AERIAL VIEW LOOKING NORTH



ASW | SOUTHWEST EGRESS & MECHANICAL

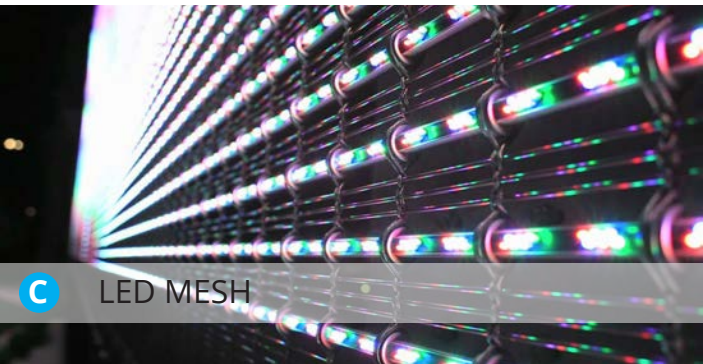
PROPOSED DESIGN - VIEW LOOKING NORTHEAST



A CONCRETE PANEL



B VINE WALL



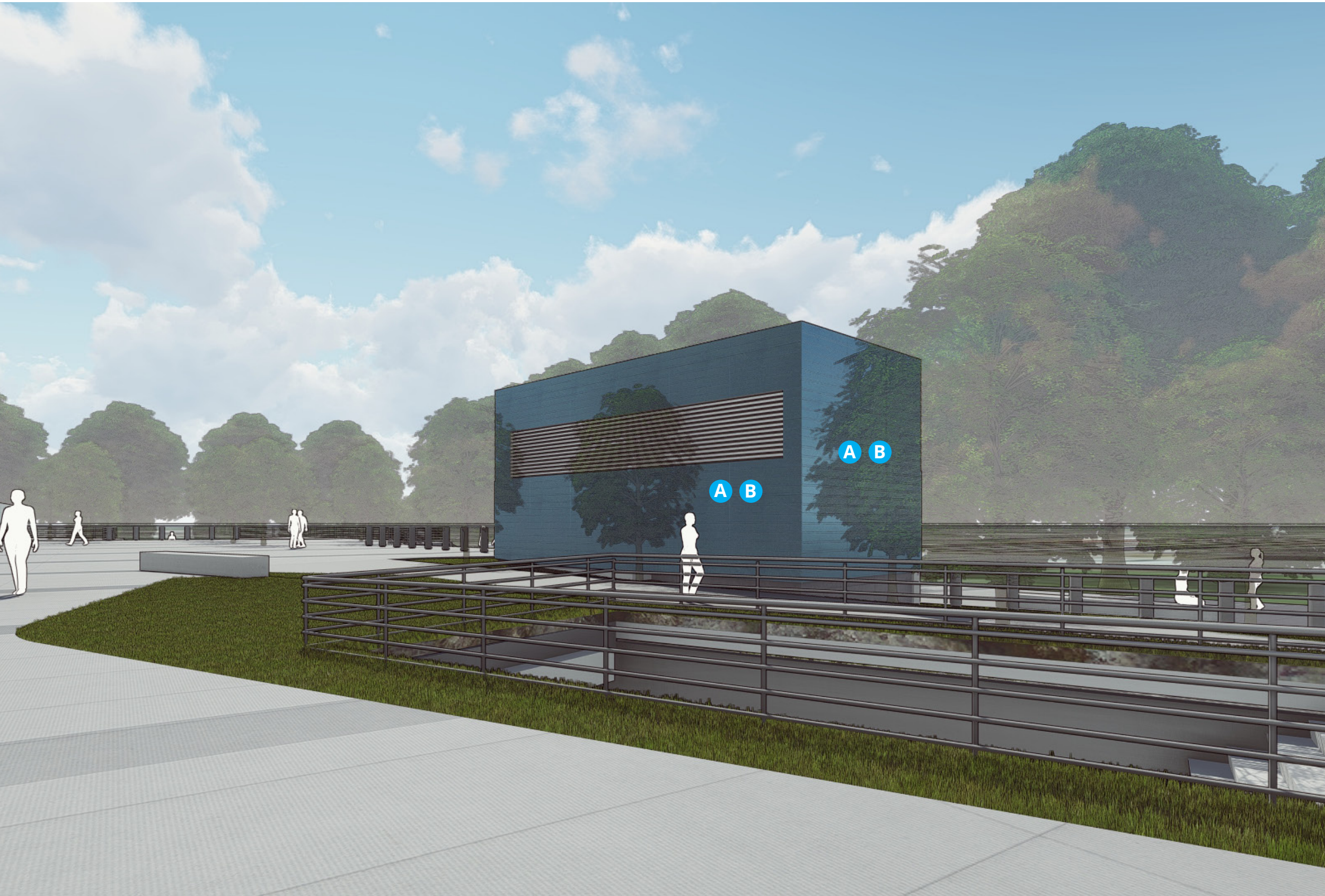
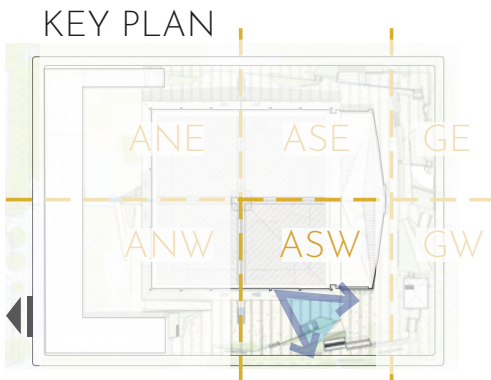
C LED MESH



D LED PANEL

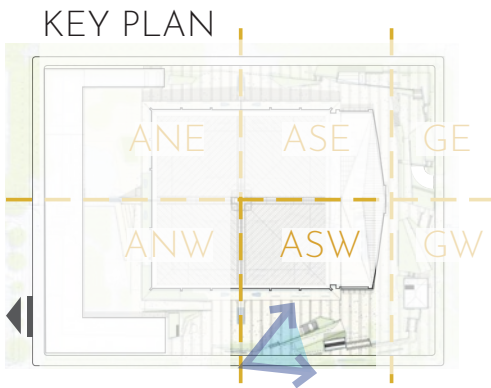
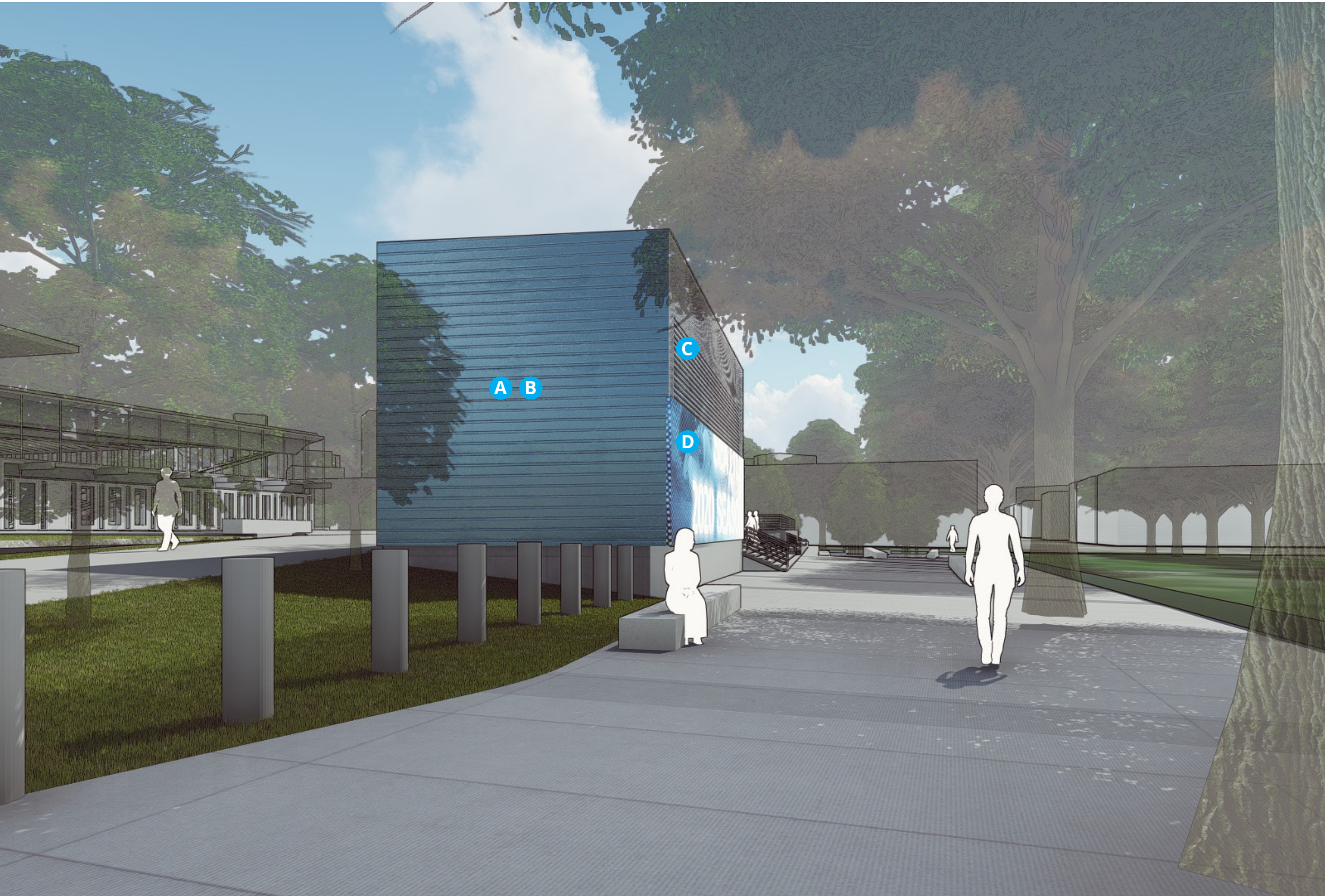
ASW | SOUTHWEST EGRESS & MECHANICAL

PROPOSED DESIGN - VIEW LOOKING SOUTHWEST

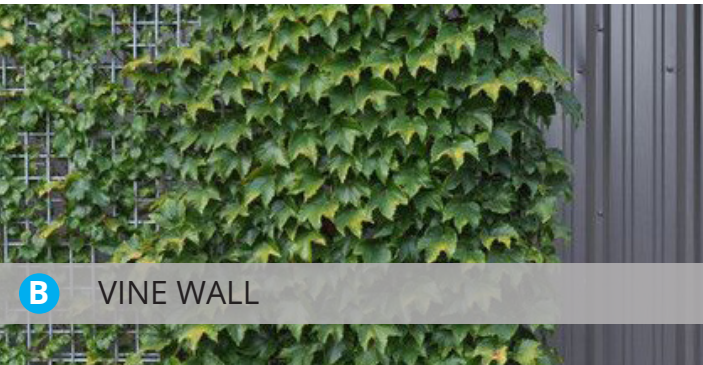


ASW | SOUTHWEST EGRESS & MECHANICAL

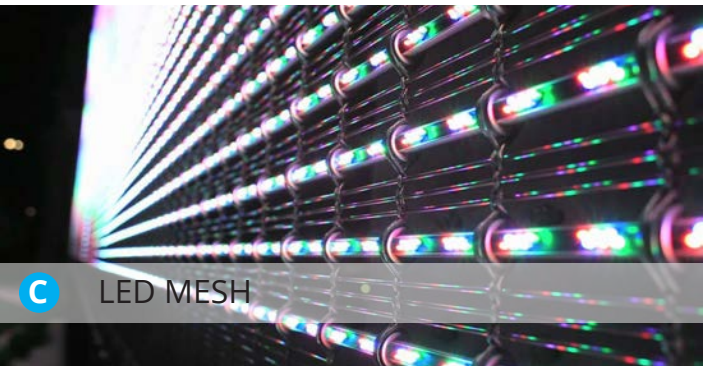
PROPOSED DESIGN - VIEW LOOKING SOUTHEAST



A METAL PANEL



B VINE WALL



C LED MESH



D LED PANEL

ANW | SITE ANALYSIS

CURRENT PHOTOGRAPHS

VIEW LOOKING NORTHEAST



Source: BOLA ARCHITECTURE + PLANNING

VIEW LOOKING SOUTHWEST



Source: BOLA ARCHITECTURE + PLANNING

VIEW LOOKING NORTH AT SOUTH FACADE



Source: BOLA ARCHITECTURE + PLANNING

VIEW LOOKING NORTH AT SOUTH FACADE EDGE



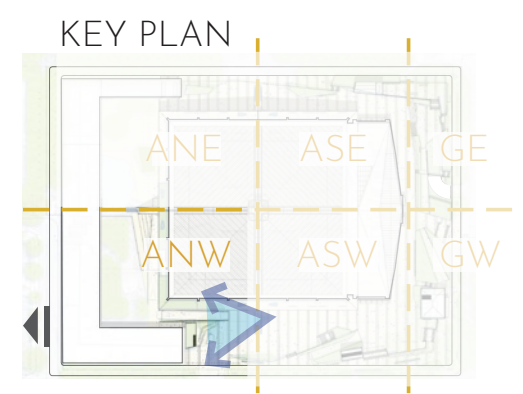
Source: BOLA ARCHITECTURE + PLANNING

KEY PLAN



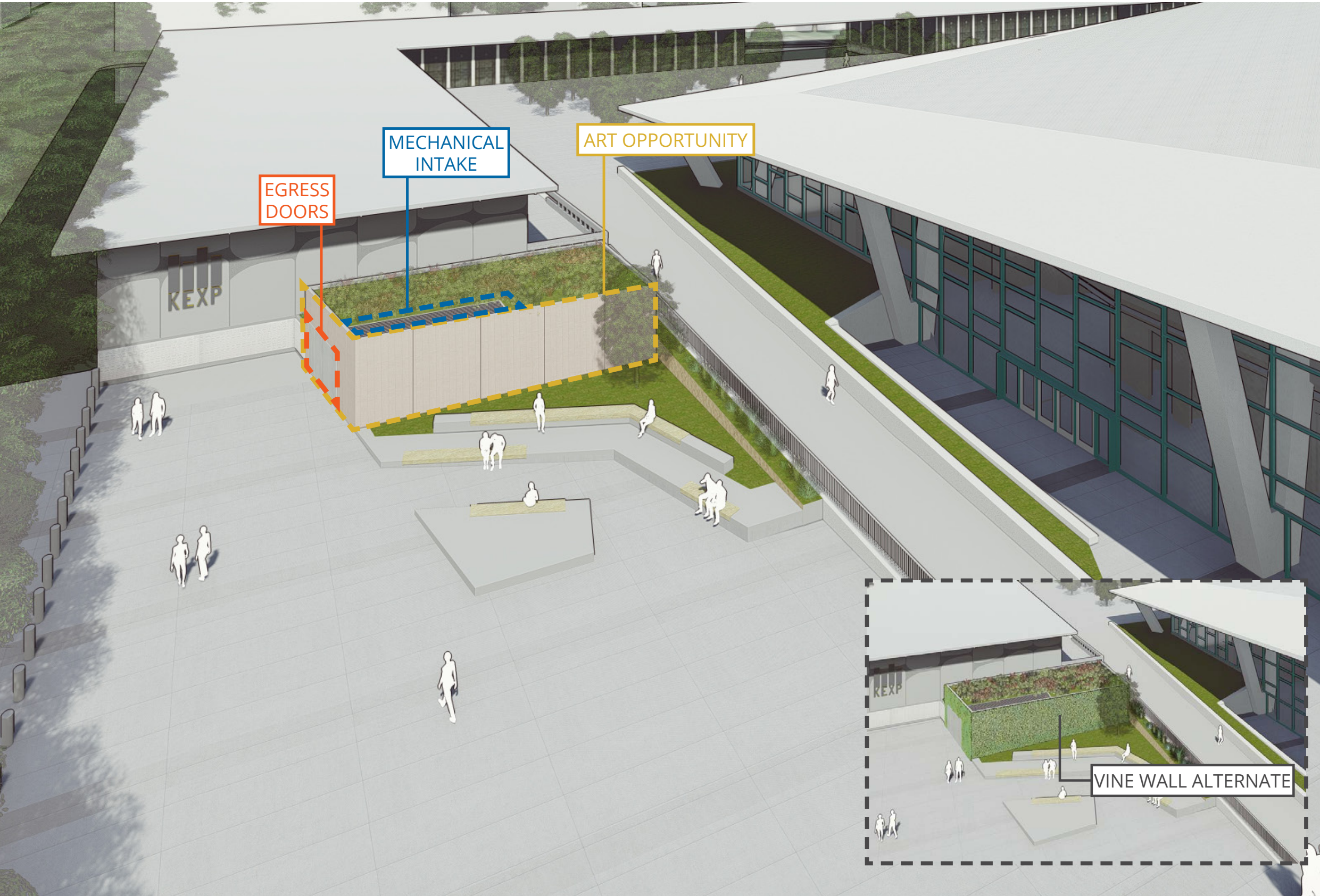
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION A - AERIAL VIEW LOOKING NORTH



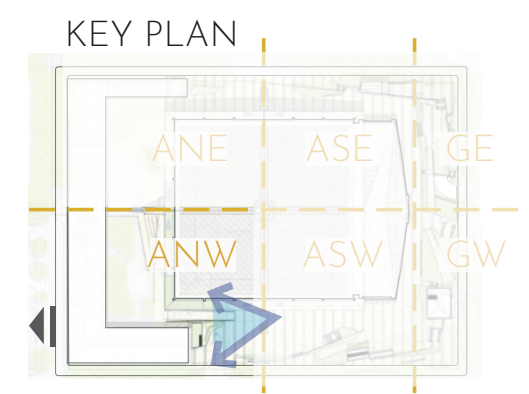
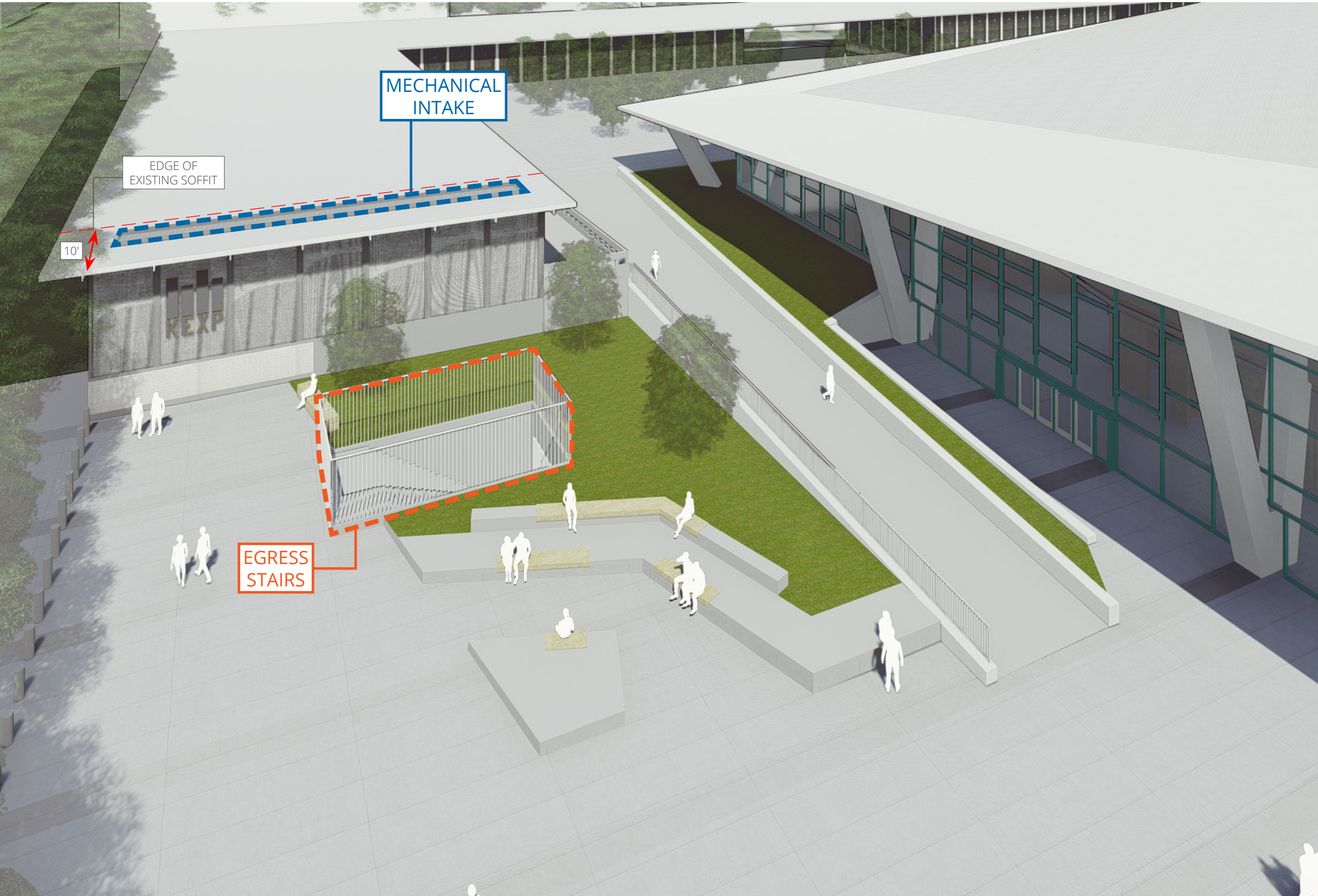
OPTION A DESCRIPTION:

- BUILD NEW ARENA MECHANICAL INTAKE TOWER AND EGRESS STAIR IMMEDIATELY SOUTH OF EXISTING NW ROOMS FAÇADE/FOOTING, MINIMIZE HEIGHT TO APPROX. 12' ABOVE ADJACENT PLAZA
- ENCLOSE NEW EGRESS/ MECHANICAL BUILDING WITH CONCRETE PANEL FAÇADE ON ALL SIDES (WITH ALTERNATE VINE OVERLAY), AND SEDUM ROOF
- RETAIN EXISTING KEXP DONOR TILES IN CURRENT LOCATION, EXPAND TO THE WEST FAÇADE OF NEW EGRESS/MECHANICAL BUILDING
- SOUTHERN MOST PORTION OF EXISTING ROOF MAY HAVE TO BE DECONSTRUCTED AND RECONSTRUCTED



ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION B - AERIAL VIEW LOOKING NORTH

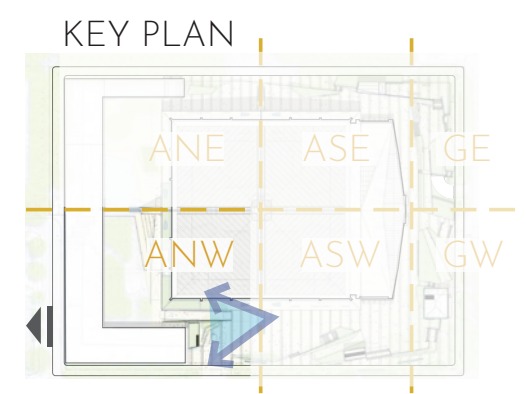
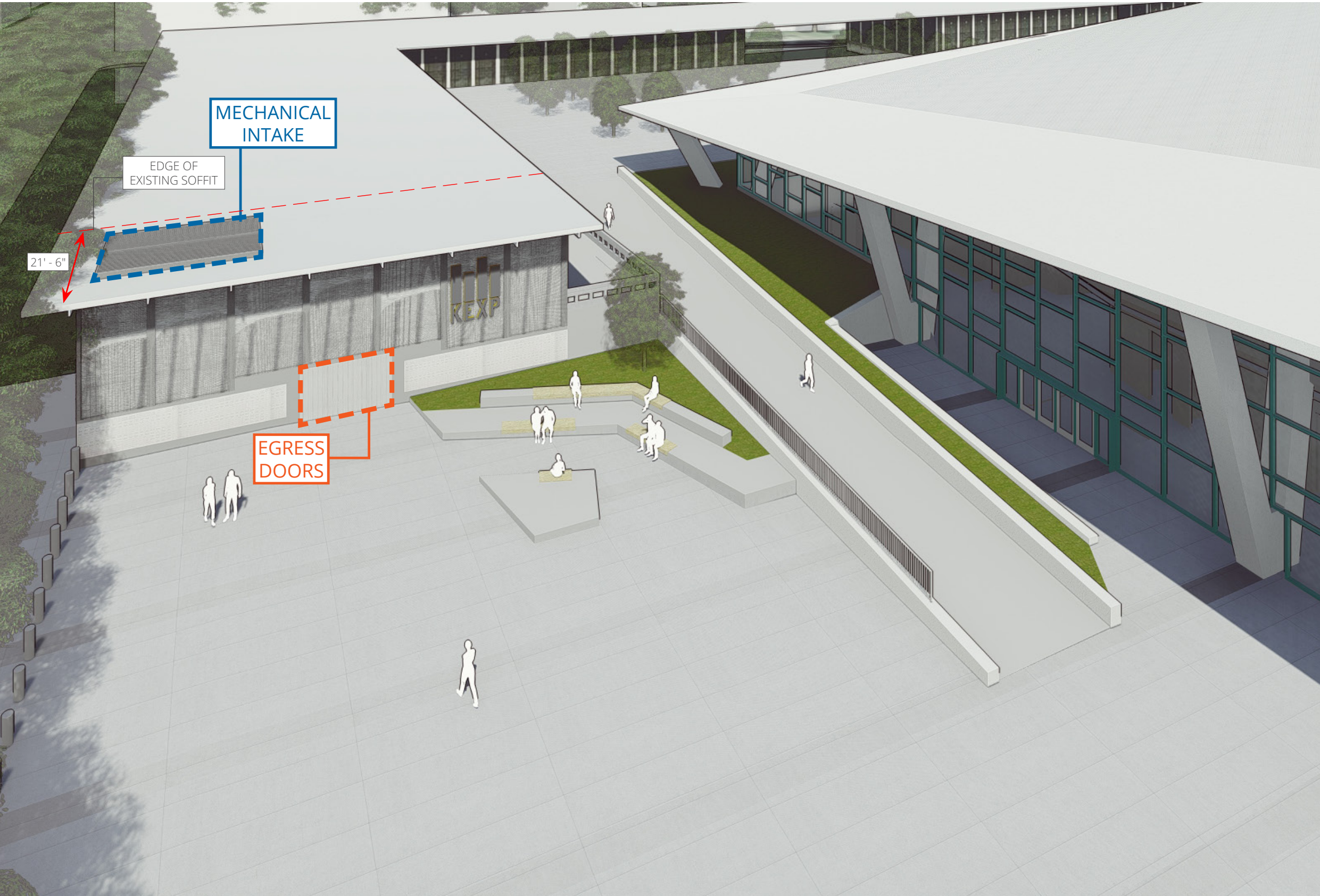


OPTION B DESCRIPTION:

- EXTEND THE NW ROOMS BUILDING 10' TO THE SOUTH TO ENCLOSE NEW ARENA MECHANICAL INTAKE TOWER
- EXISTING THIRY PANELS WOULD REMAIN IN PLACE BUT BE CONCEALED BY THE BUILDING EXTENSION
- ENCLOSE NEW 10' BUILDING EXTENSION WITH PERFORATED METAL PANEL RAINSCREEN SYSTEM (W, S, E, SIDES), AND CONSTRUCT NEW ROOF SOFFIT TO FOLLOW DIMENSION & PROFILE OF EXISTING, BUT USING A CONTEMPORARY MATERIAL PALETTE
- SHIFT EXISTING KEXP DONOR TILES TO FOUNDATION WALL OF NEW BUILDING EXTENSION
- CONSTRUCT NEW EGRESS STAIR IMMEDIATELY SOUTH OF NEW 10' NW ROOMS EXTENSION, ENCLOSING WITH SECURITY FENCE

ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION C - AERIAL VIEW LOOKING NORTH

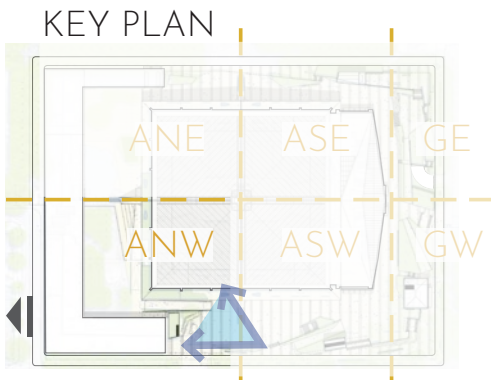


OPTION C DESCRIPTION:

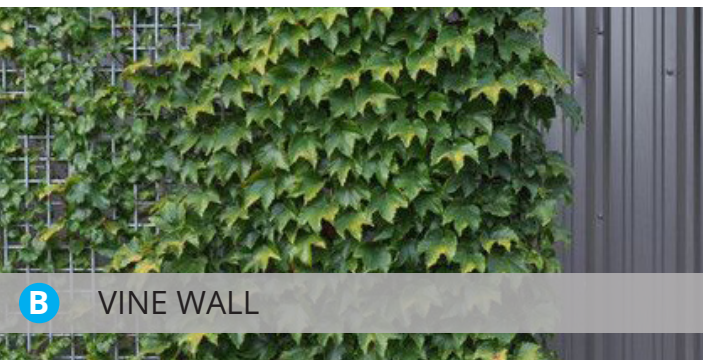
- EXTEND THE NW ROOMS BUILDING 21'-6" TO THE SOUTH TO ENCLOSE NEW ARENA MECHANICAL INTAKE TOWER
- EXISTING THIRY PANELS WOULD REMAIN IN PLACE BUT BE CONCEALED BY THE BUILDING EXTENSION
- ENCLOSE NEW 21'-6" BUILDING EXTENSION WITH PERFORATED METAL PANEL RAINSCREEN SYSTEM (W, S, E, SIDES), AND CONSTRUCT NEW ROOF SOFFIT TO FOLLOW DIMENSION & PROFILE OF EXISTING, BUT USING A CONTEMPORARY MATERIAL PALETTE
- SHIFT EXISTING KEXP DONOR TILES TO FOUNDATION WALL OF NEW BUILDING EXTENSION
- EGRESS DOORS LOCATED ON SOUTHERN SIDE OF 21'-6" EXTENSION

ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION A - VIEW LOOKING NORTHEAST



A CONCRETE PANEL



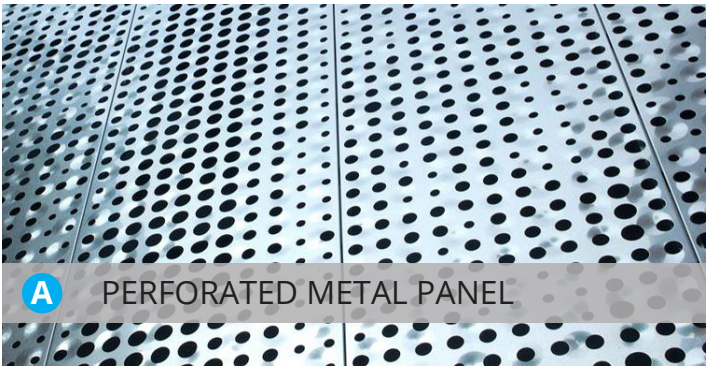
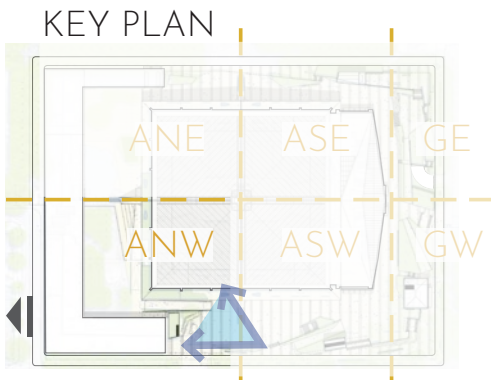
B VINE WALL



C SEDUM ROOF

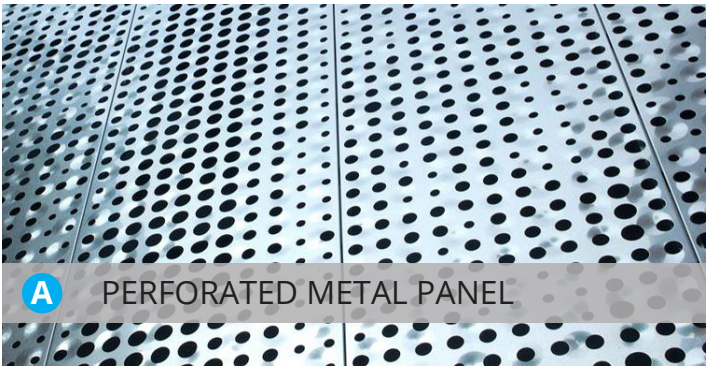
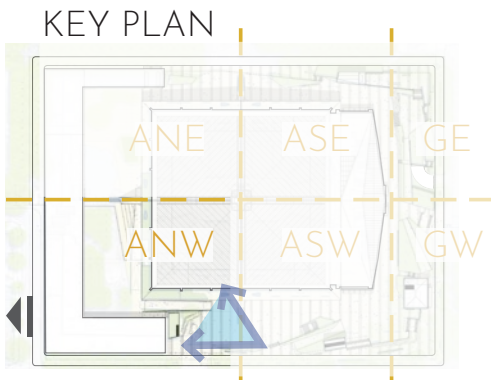
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION B - VIEW LOOKING NORTHEAST



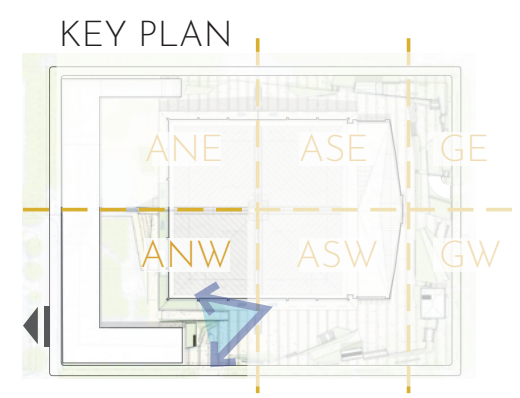
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION C - VIEW LOOKING NORTHEAST



ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION A - VIEW LOOKING NORTHWEST



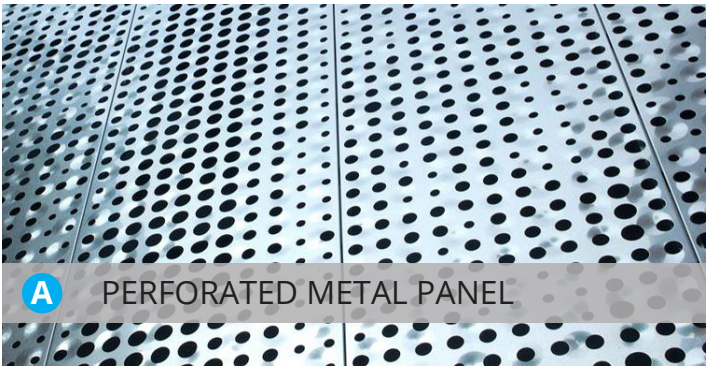
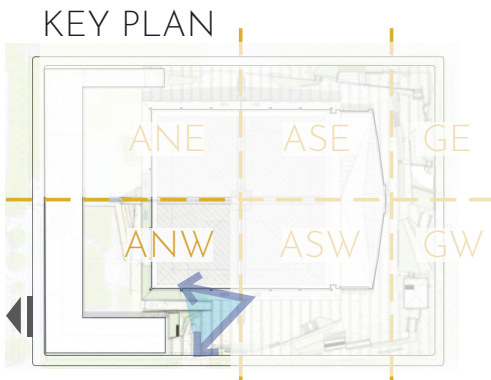
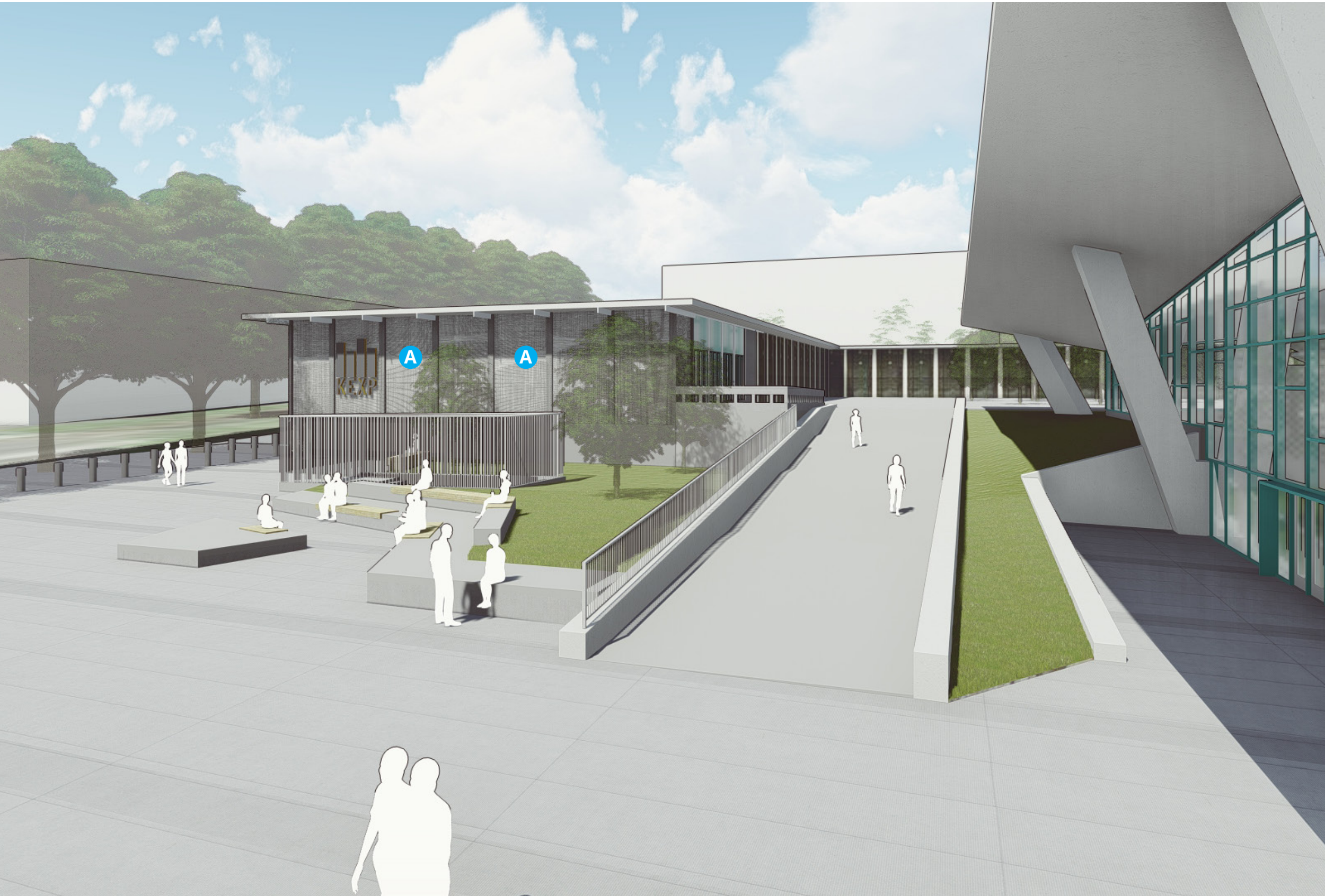
A CONCRETE PANEL

B VINE WALL

C SEDUM ROOF

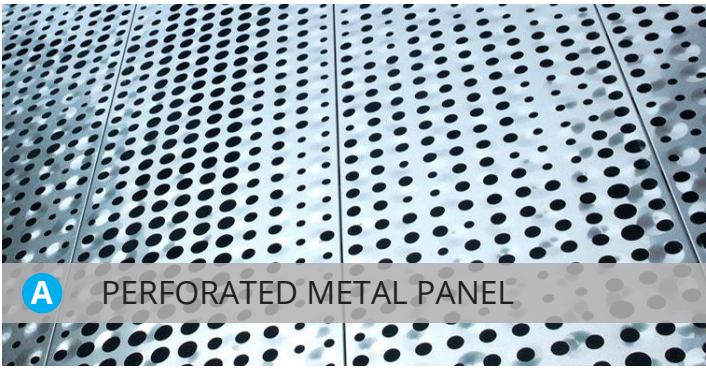
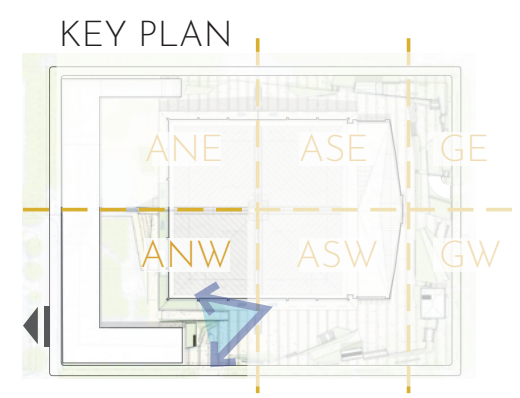
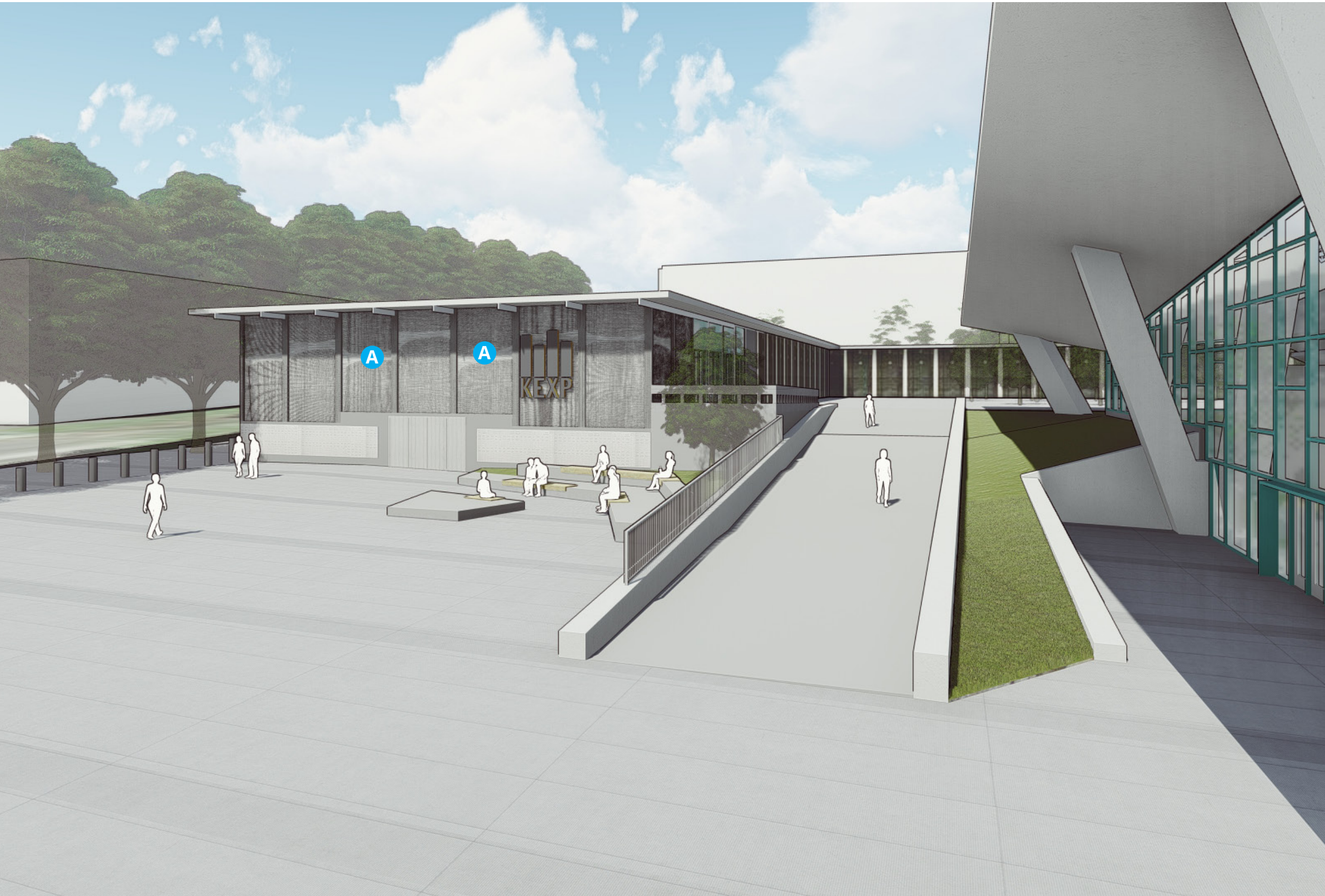
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION B - VIEW LOOKING NORTHWEST



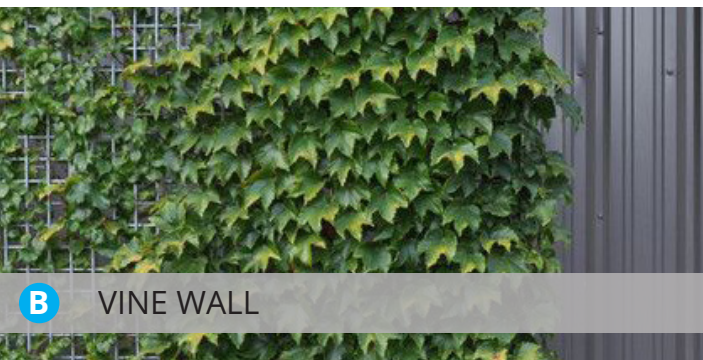
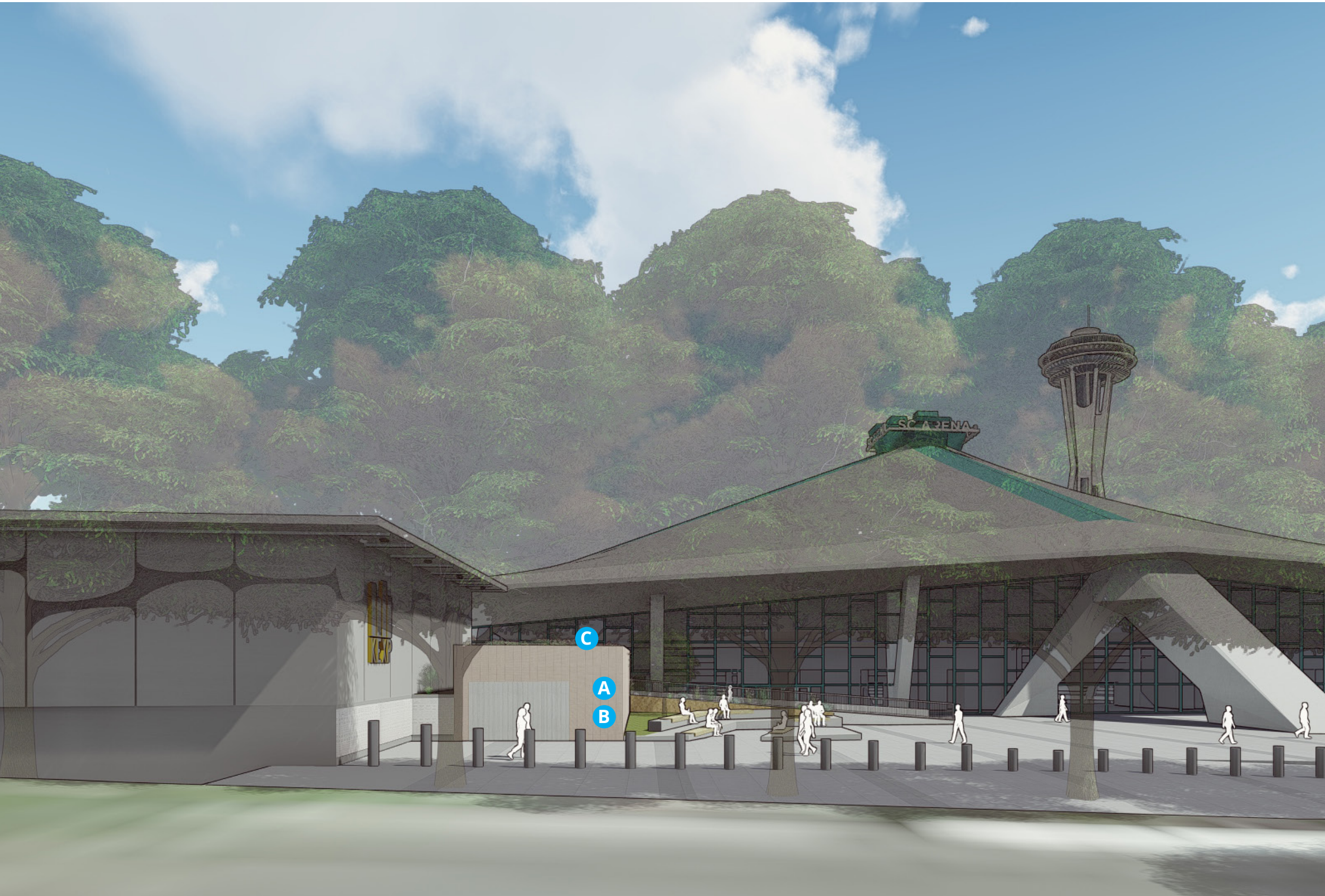
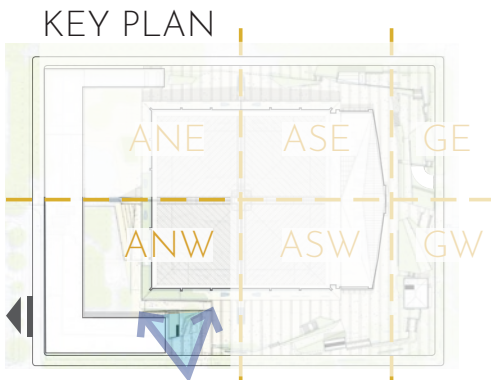
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION C - VIEW LOOKING NORTHWEST



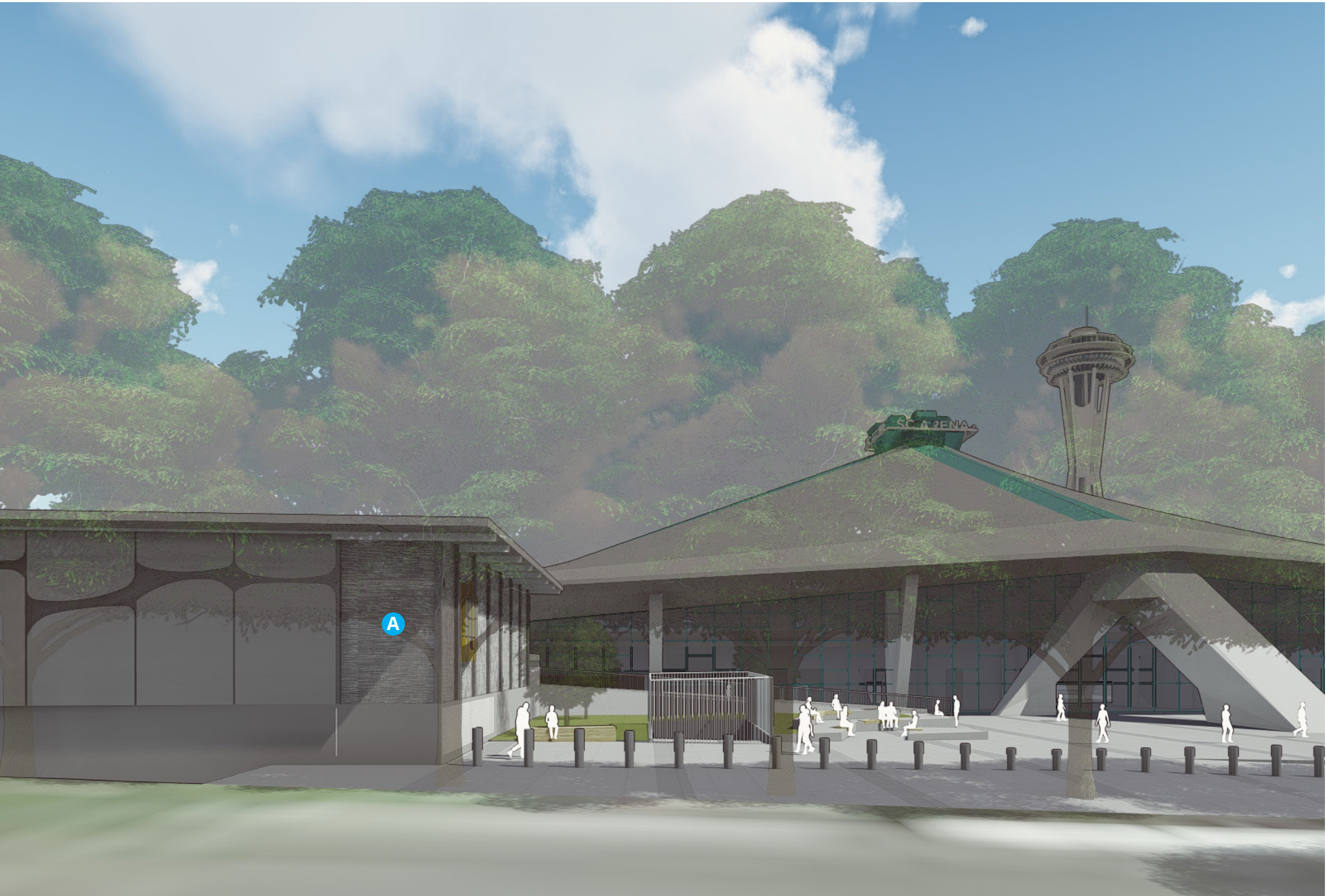
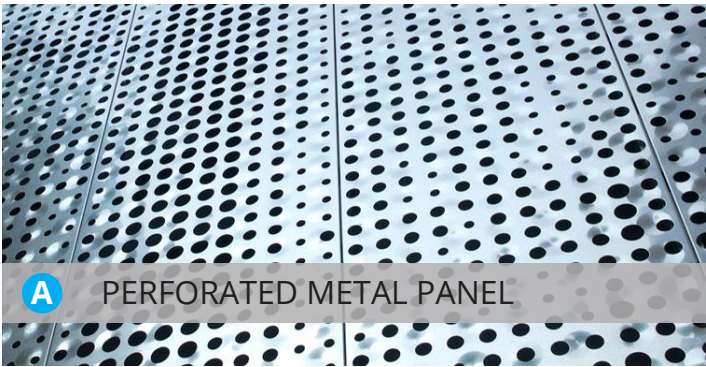
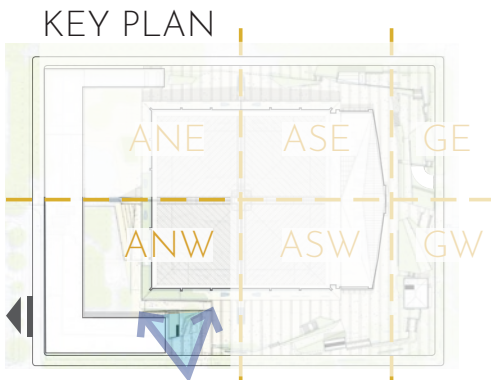
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION A - VIEW LOOKING EAST



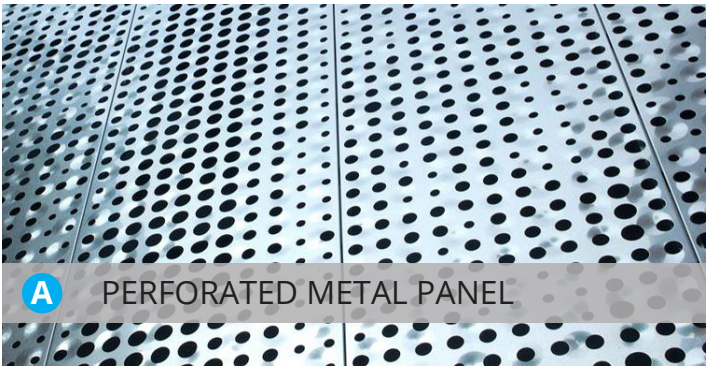
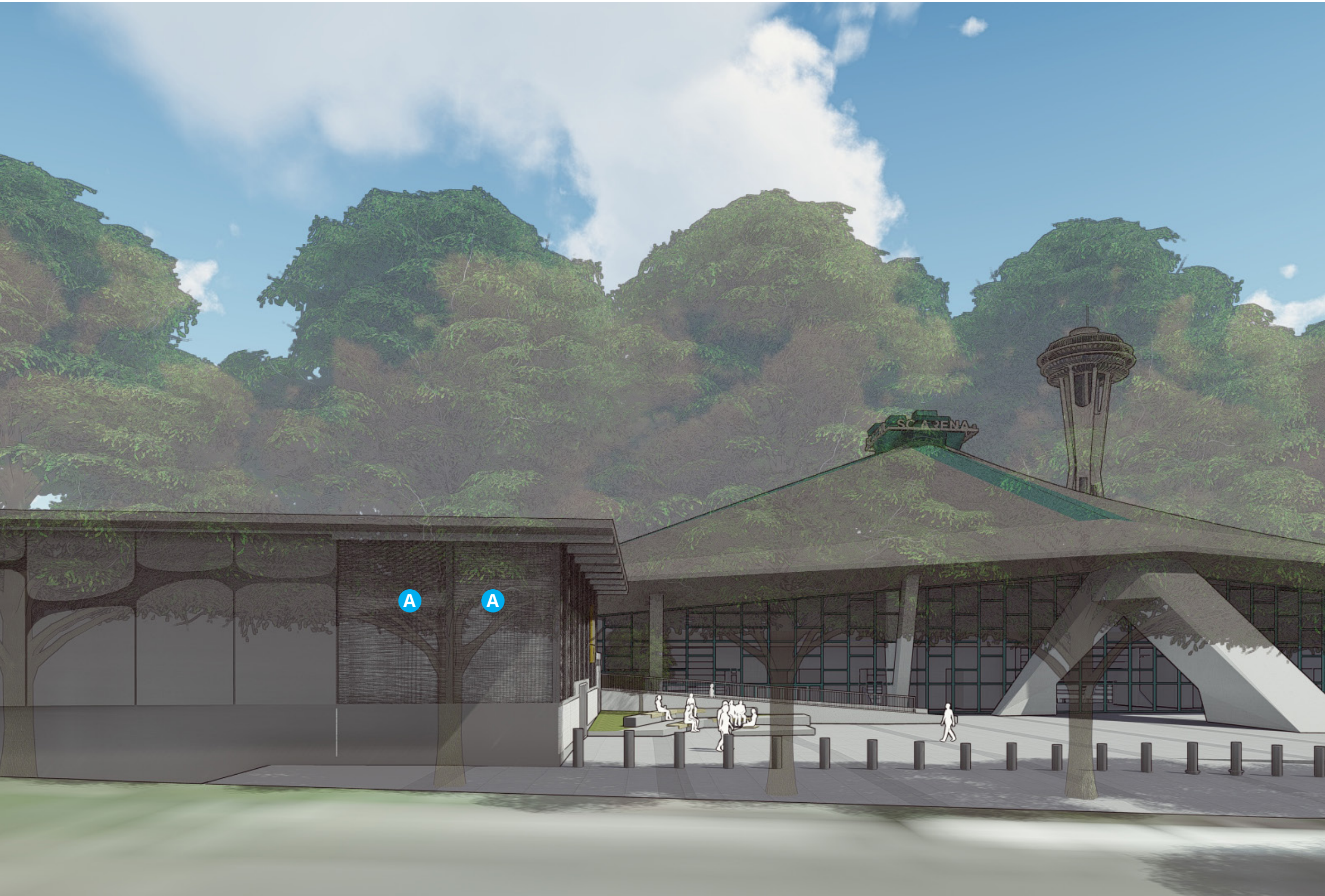
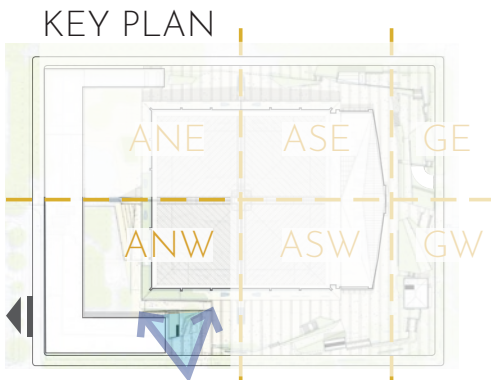
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION B - VIEW LOOKING EAST



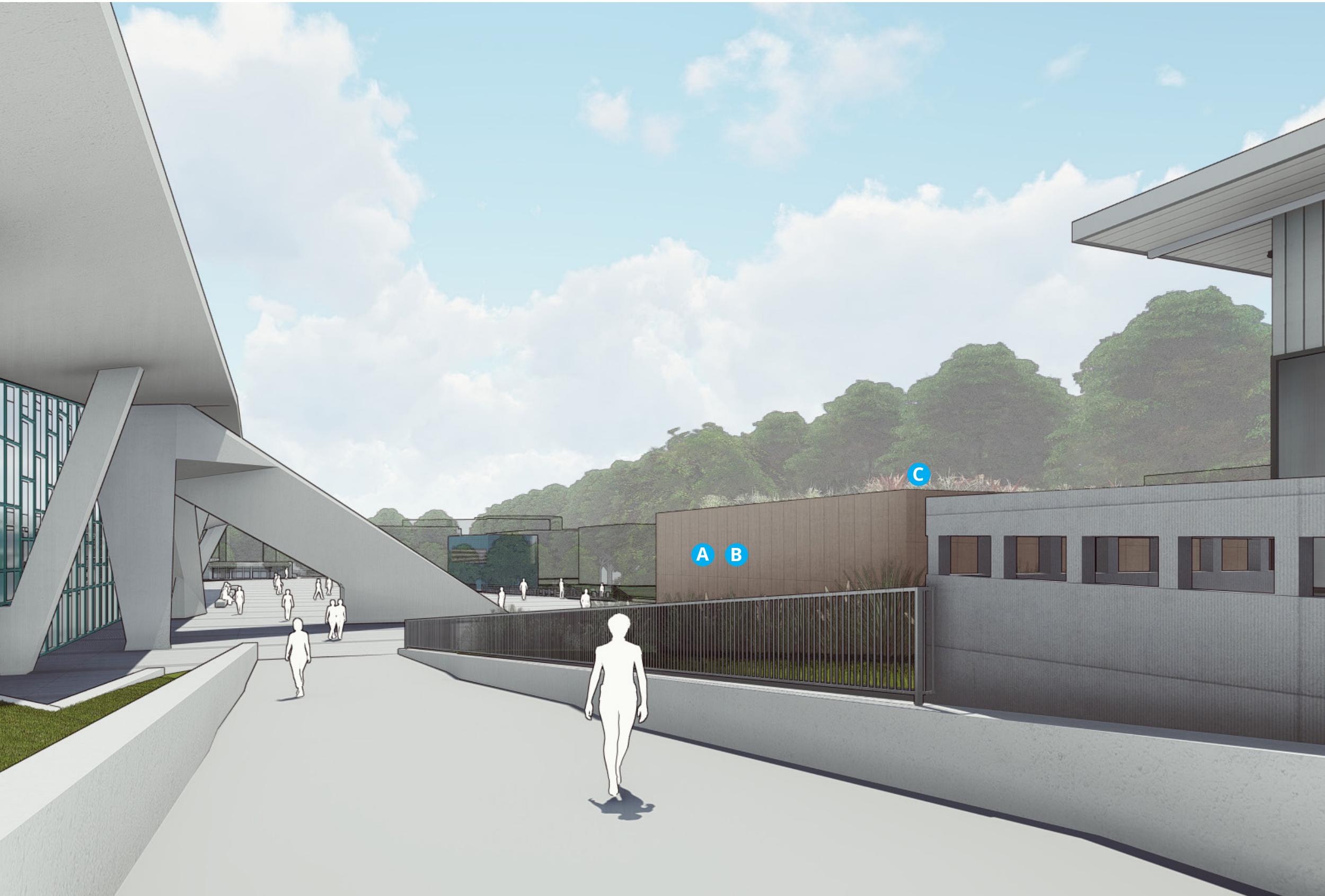
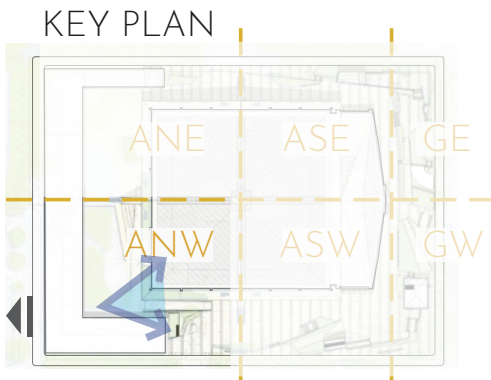
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION C - VIEW LOOKING EAST



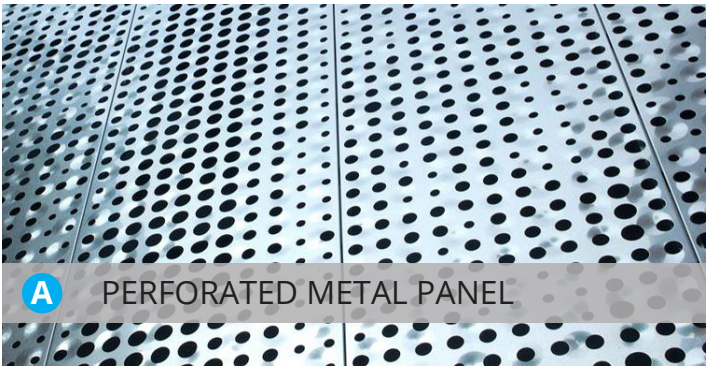
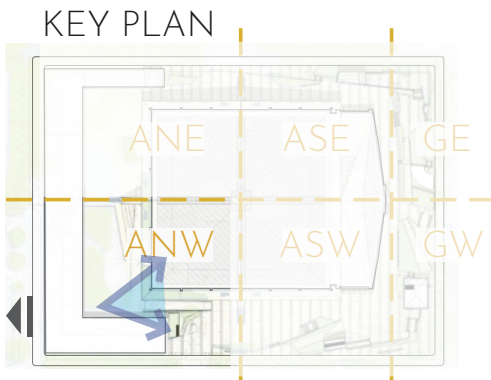
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION A - VIEW LOOKING SOUTH



ANW | NORTHWEST EGRESS & MECHANICAL

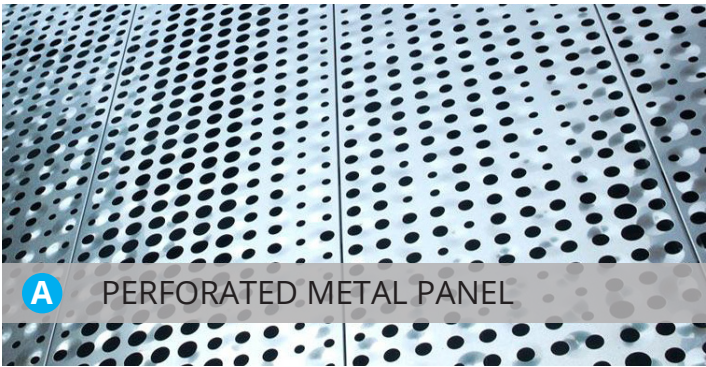
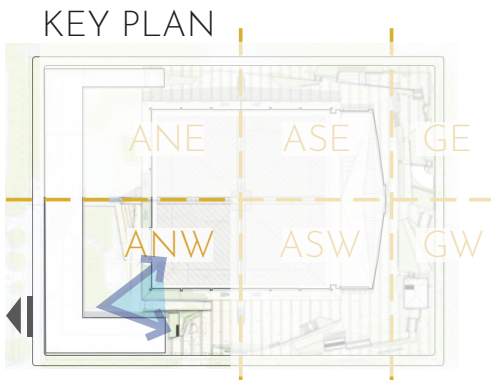
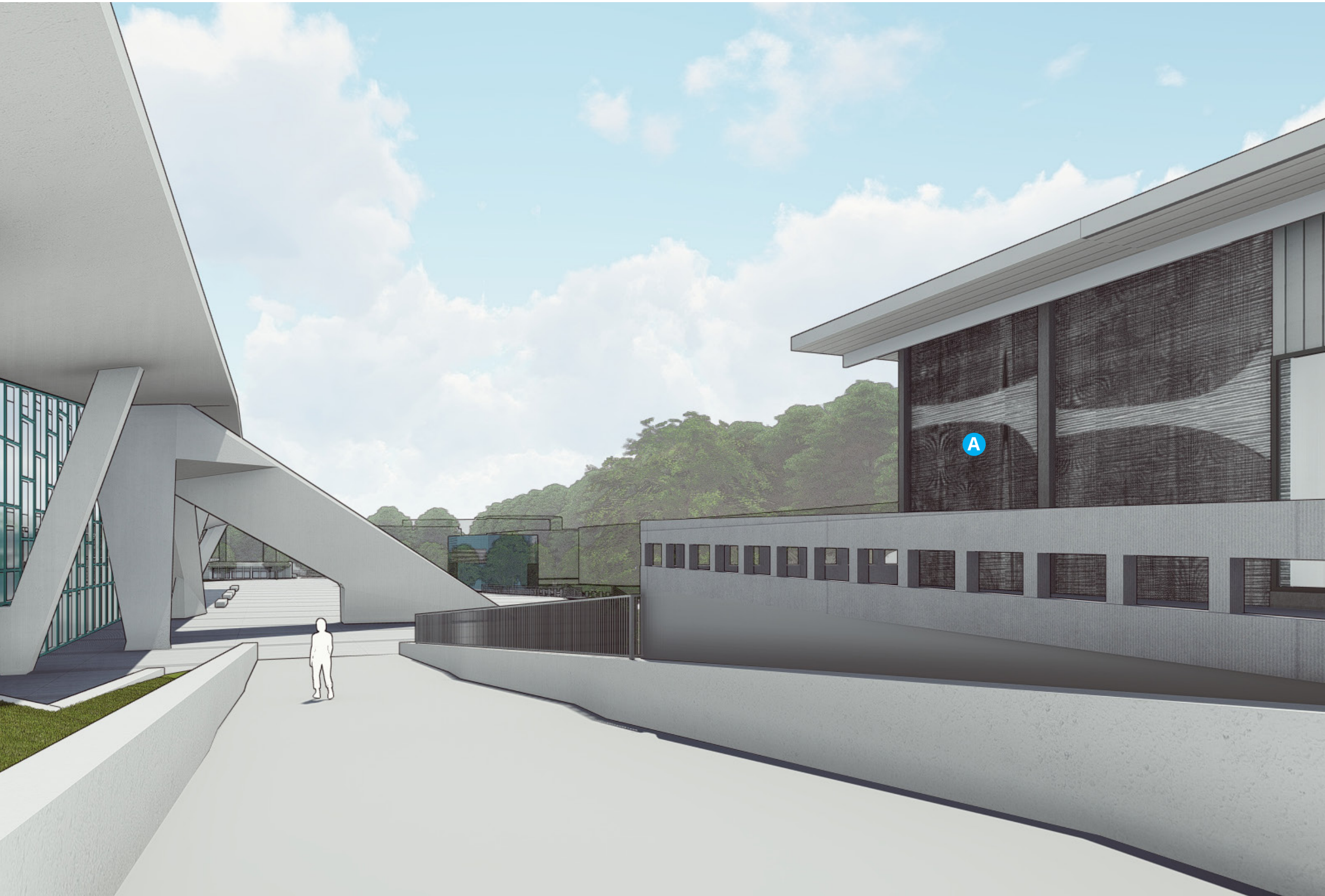
PROPOSED OPTION B - VIEW LOOKING SOUTH



A PERFORATED METAL PANEL

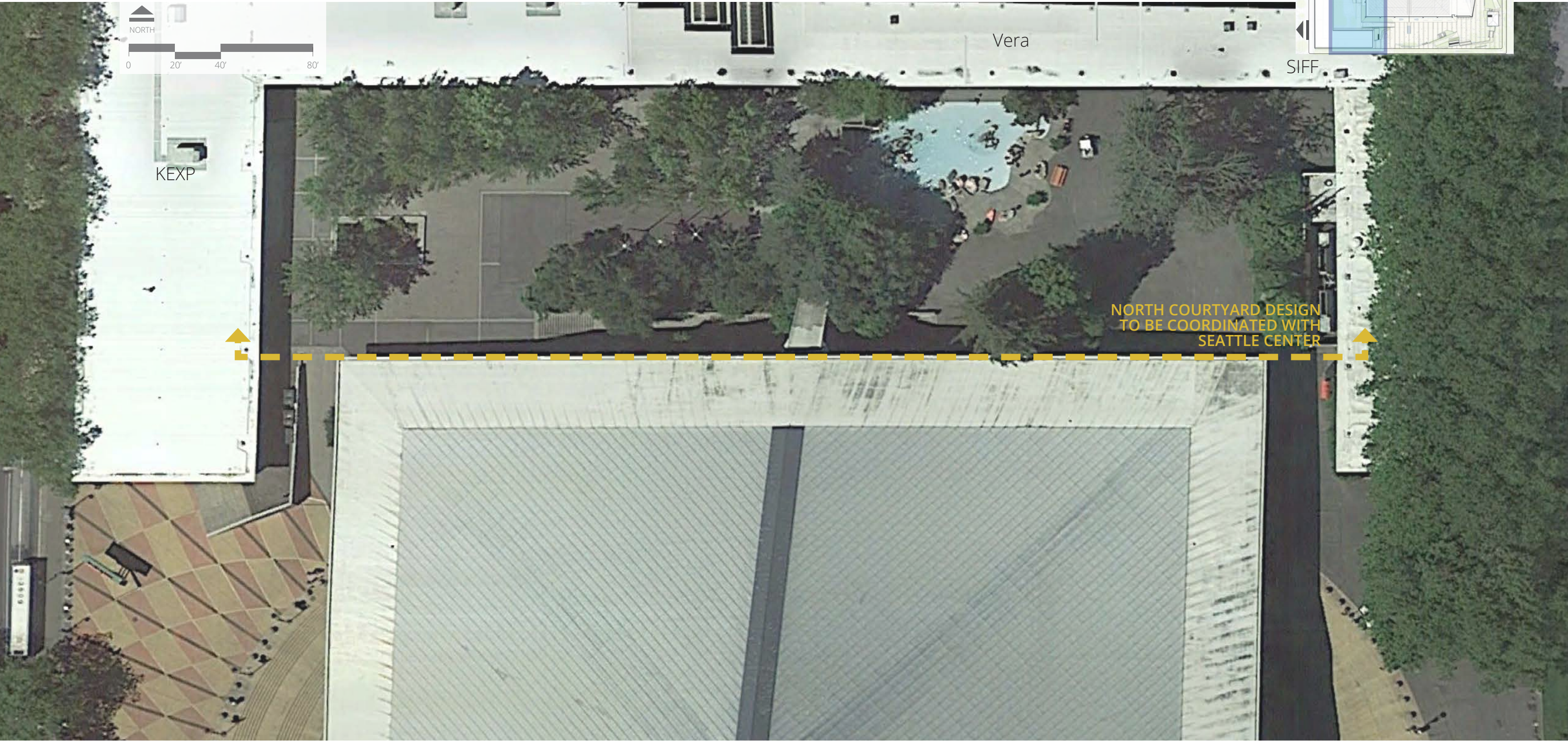
ANW | NORTHWEST EGRESS & MECHANICAL

PROPOSED OPTION C - VIEW LOOKING SOUTH

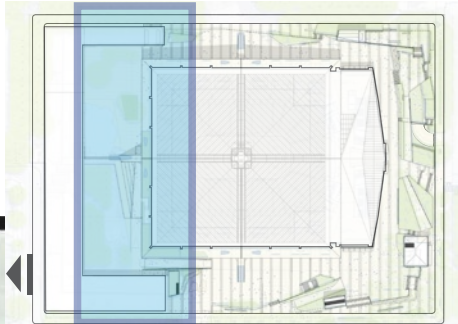


NORTH COURTYARD

CURRENT CONDITION - PLAN VIEW



KEY PLAN



Republican St.

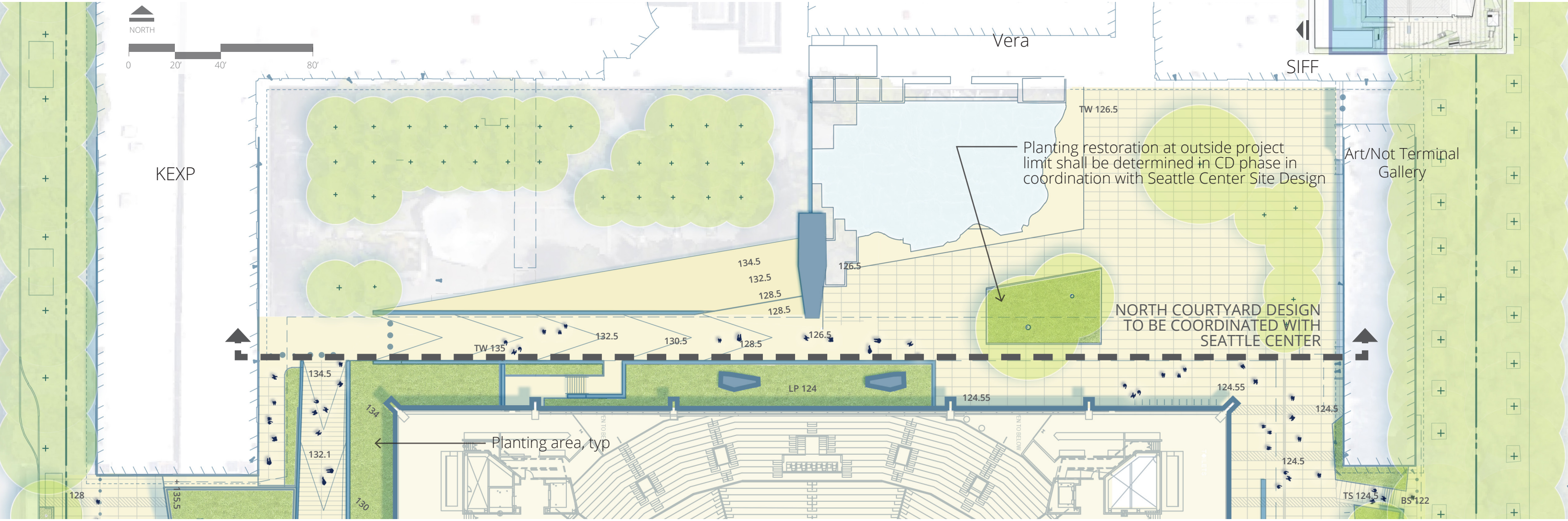
Vera

SIFF

NORTH COURTYARD DESIGN
TO BE COORDINATED WITH
SEATTLE CENTER

NORTH COURTYARD

ENLARGED SITE PLAN - PLANTING



TREES



STRUCTURAL

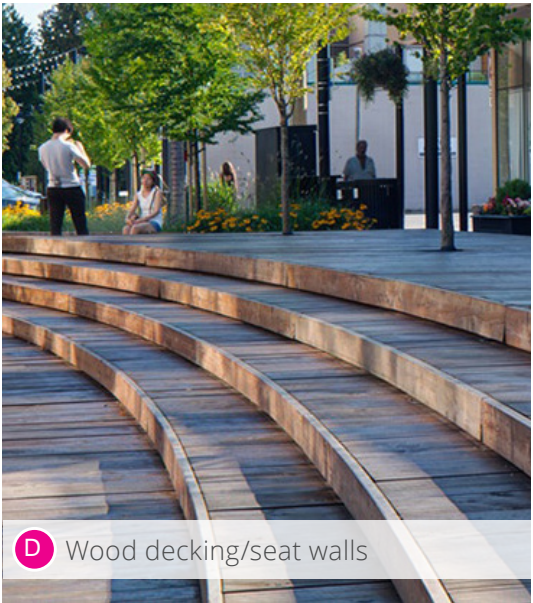
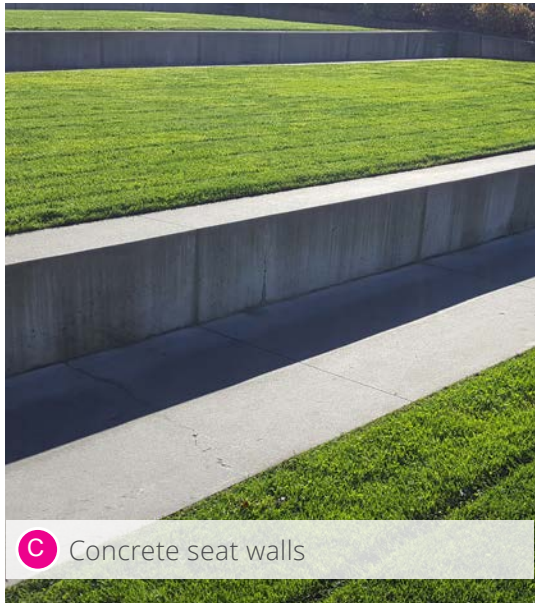
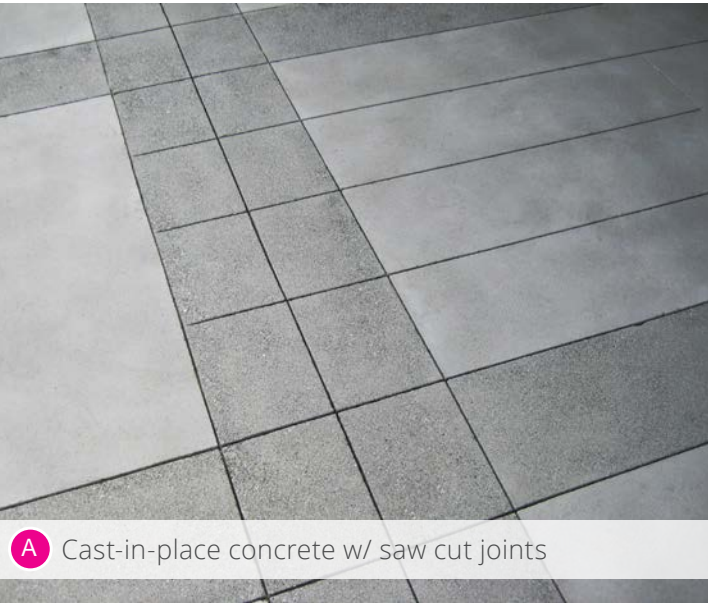
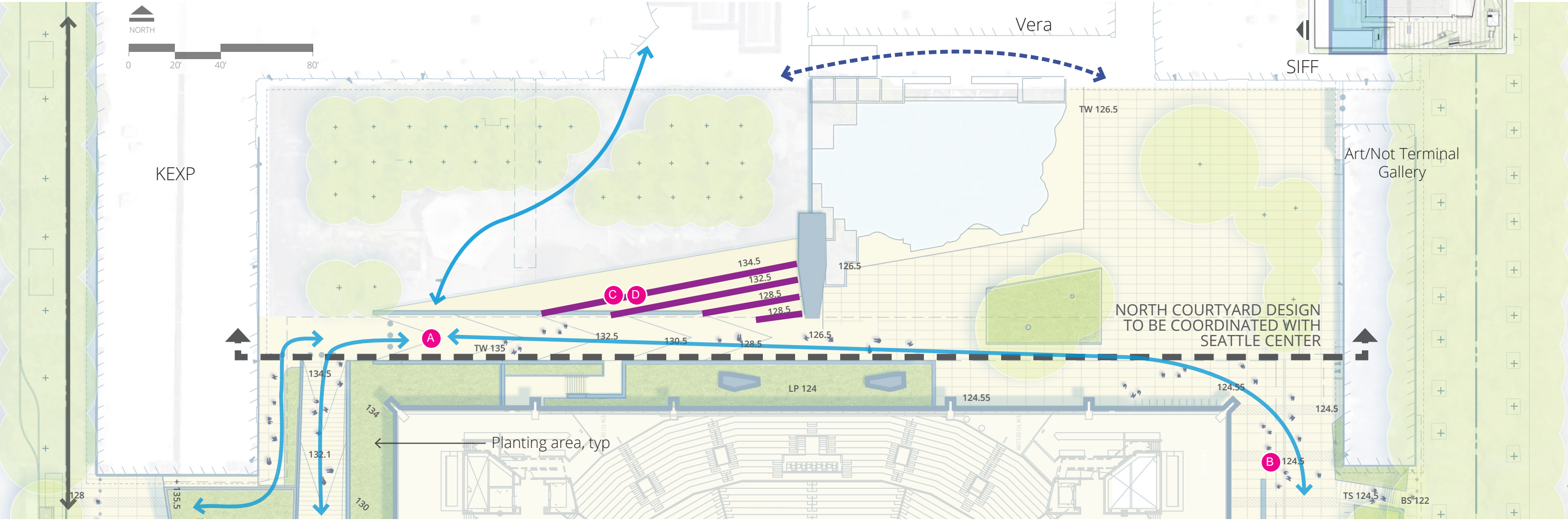


SUPPORTING



NORTH COURTYARD

ENLARGED SITE PLAN - CIRCULATION

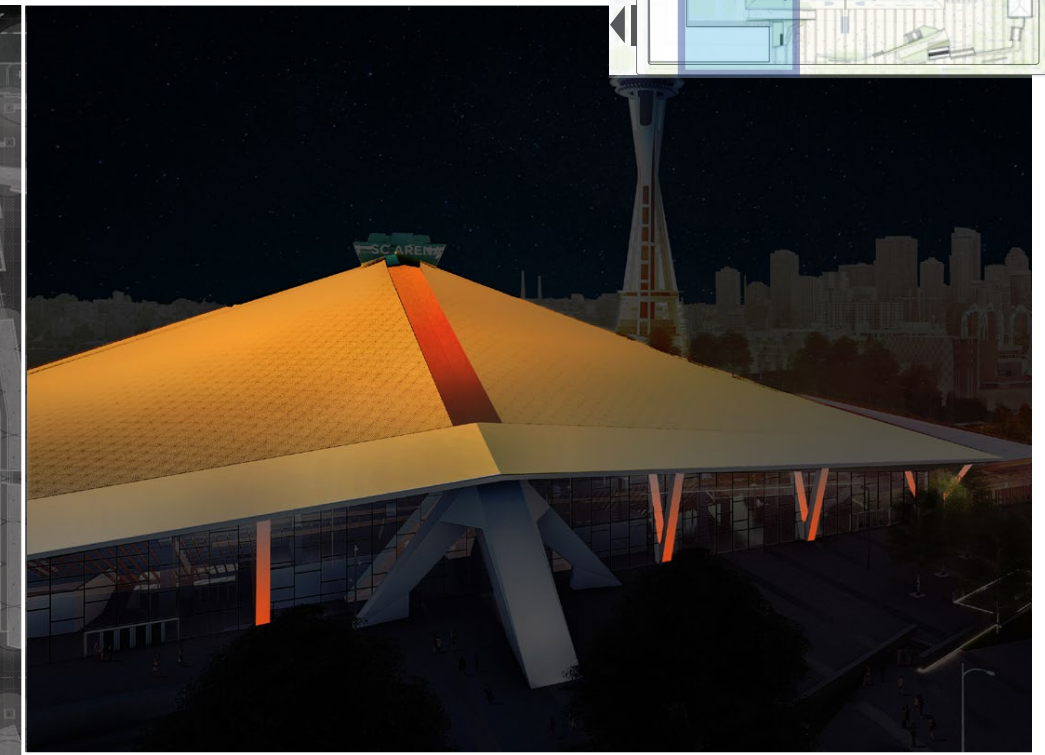
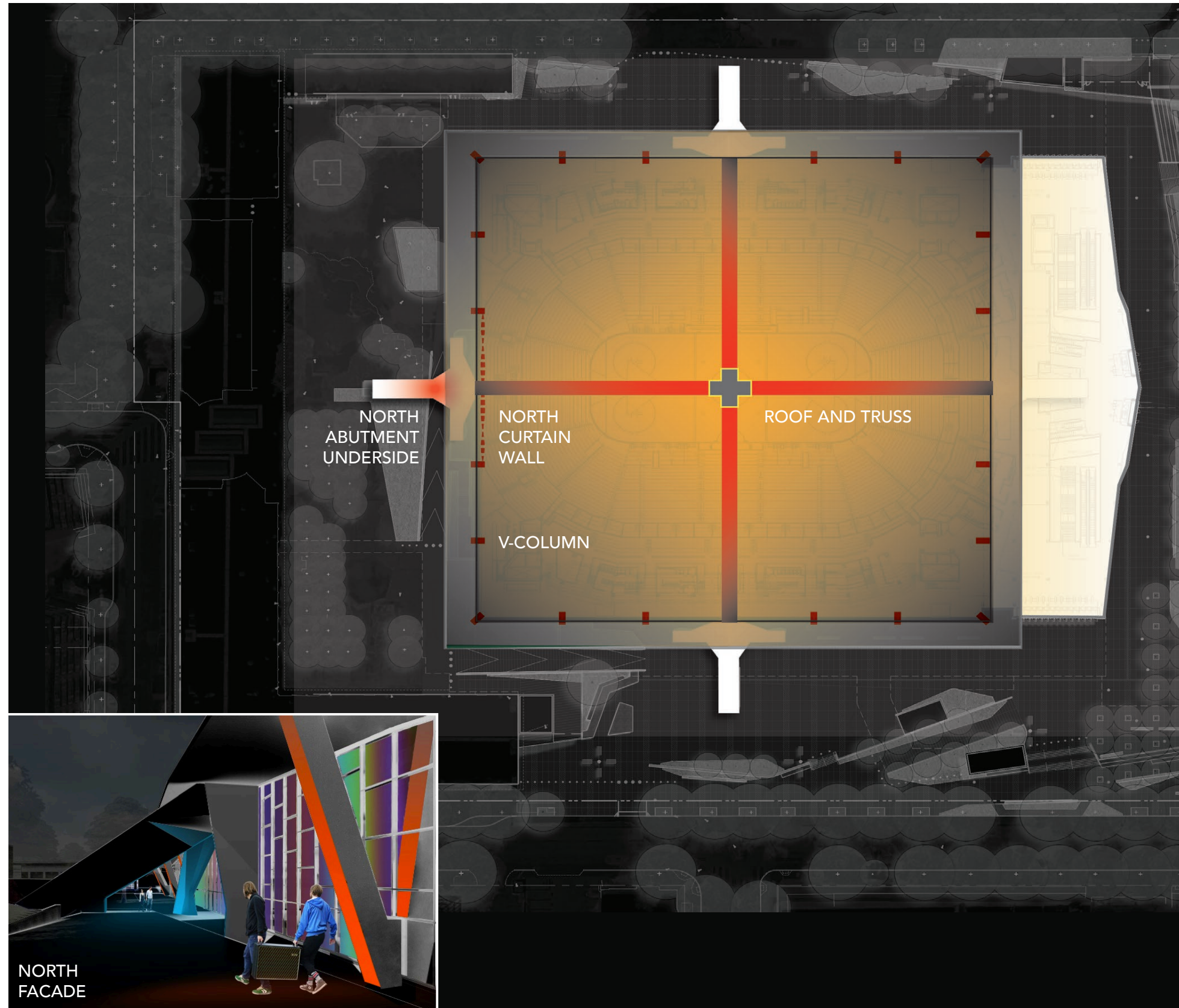
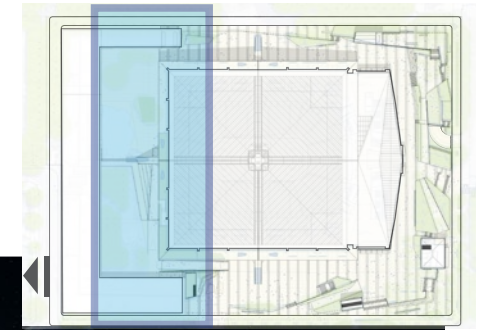


- LEGEND:**
- ↔ Accessible Routes
 - ↔ Access with Stairs
 - Arena Egress
 - ↔ Vehicular Egress Route
 - Thomas St. Closed to Vehicles During Events
 - Access / Egress
 - Site Seating

ART PLAN | LIGHTING - COLUMNS & CURTAIN WALL

NORTH COURTYARD

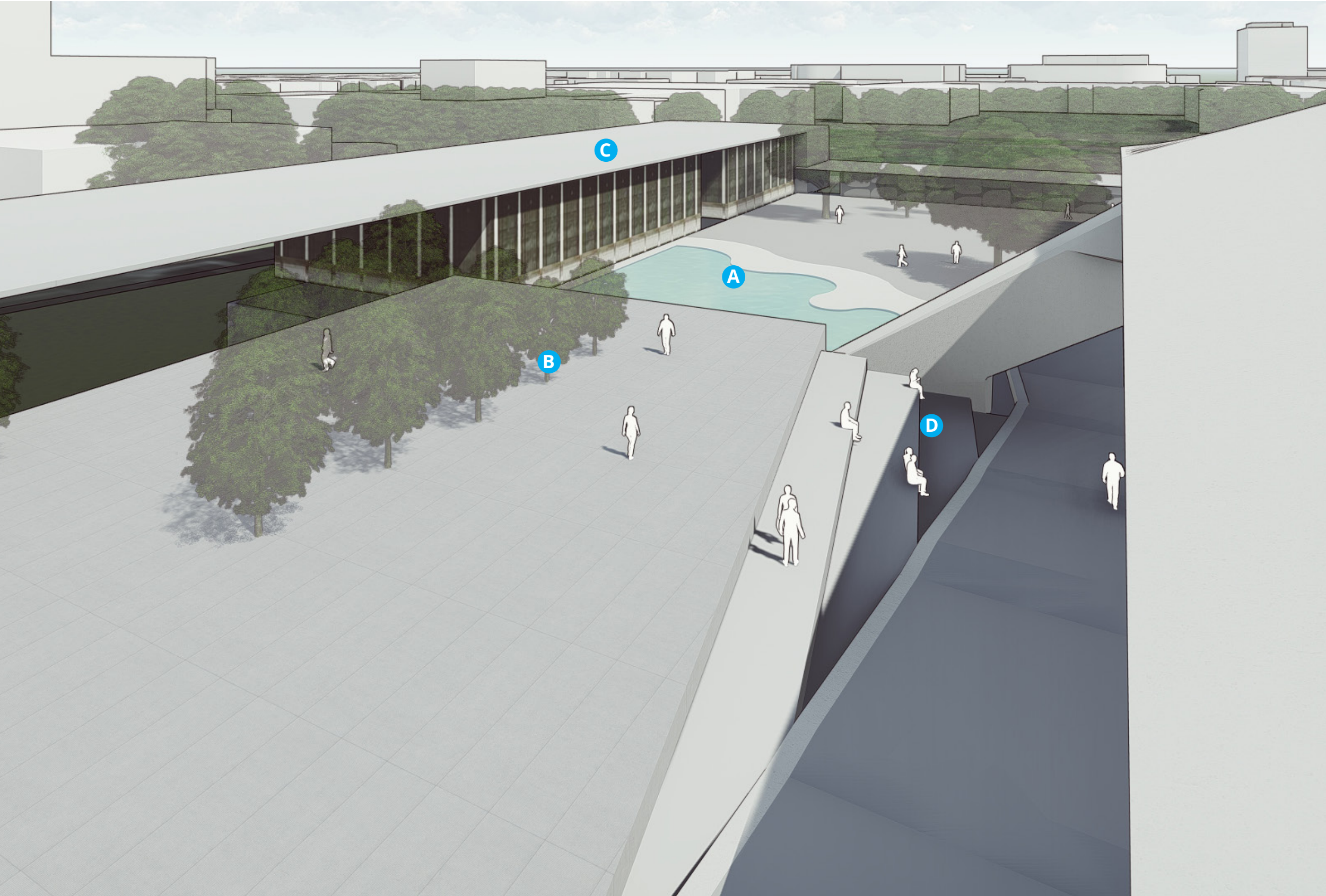
KEY PLAN



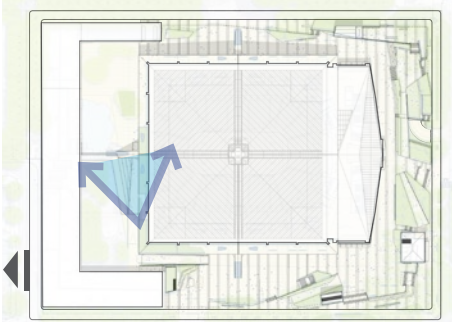
- Accentuate sculptural quality of architectural elements with dynamic RGB LED lighting
- Reserve four large buttresses for signage
- Indicate what is happening inside the Arena - such as a goal scored, or rhythm of music - with light
- Tie light programming to:
 - » Games
 - » Concerts
 - » Festivals
 - » Holidays
- Collaborate with project lighting designers to develop lighting systems integrated with site and building lighting strategies
- \$300,000 art funds, additional to lighting budget

NORTH COURTYARD

PROPOSED CONCEPT - AERIAL VIEW LOOKING NORTHEAST



KEY PLAN



A DUPEN FOUNTAIN



B TREE GROVE



C COLUMN ARCADE



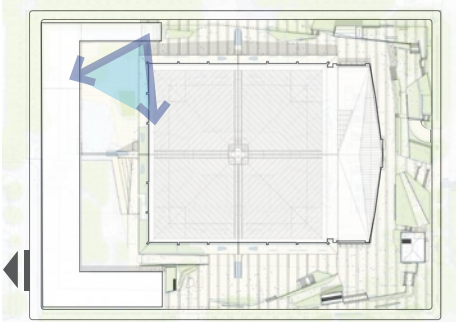
D TERRACE STEPS

NORTH COURTYARD

PROPOSED CONCEPT - AERIAL VIEW LOOKING NORTHWEST



KEY PLAN



A DUPEN FOUNTAIN



B TREE GROVE



C COLUMN ARCADE



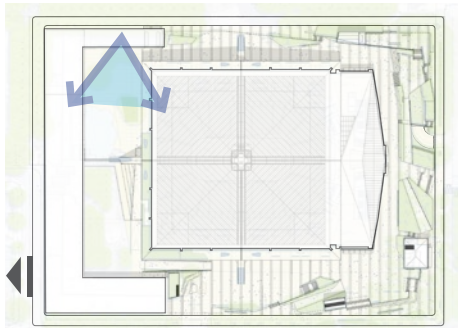
D TERRACE STEPS

NORTH COURTYARD

PROPOSED CONCEPT - VIEW LOOKING WEST



KEY PLAN



A DUPEN FOUNTAIN



B TREE GROVE



C COLUMN ARCADE

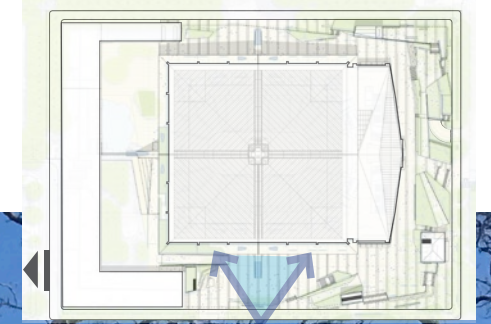


D TERRACE STEPS

SITE ARRIVAL POINTS - CURRENT CONDITIONS

WEST PLAZA & WEST ELEVATION FROM HARRISON ST

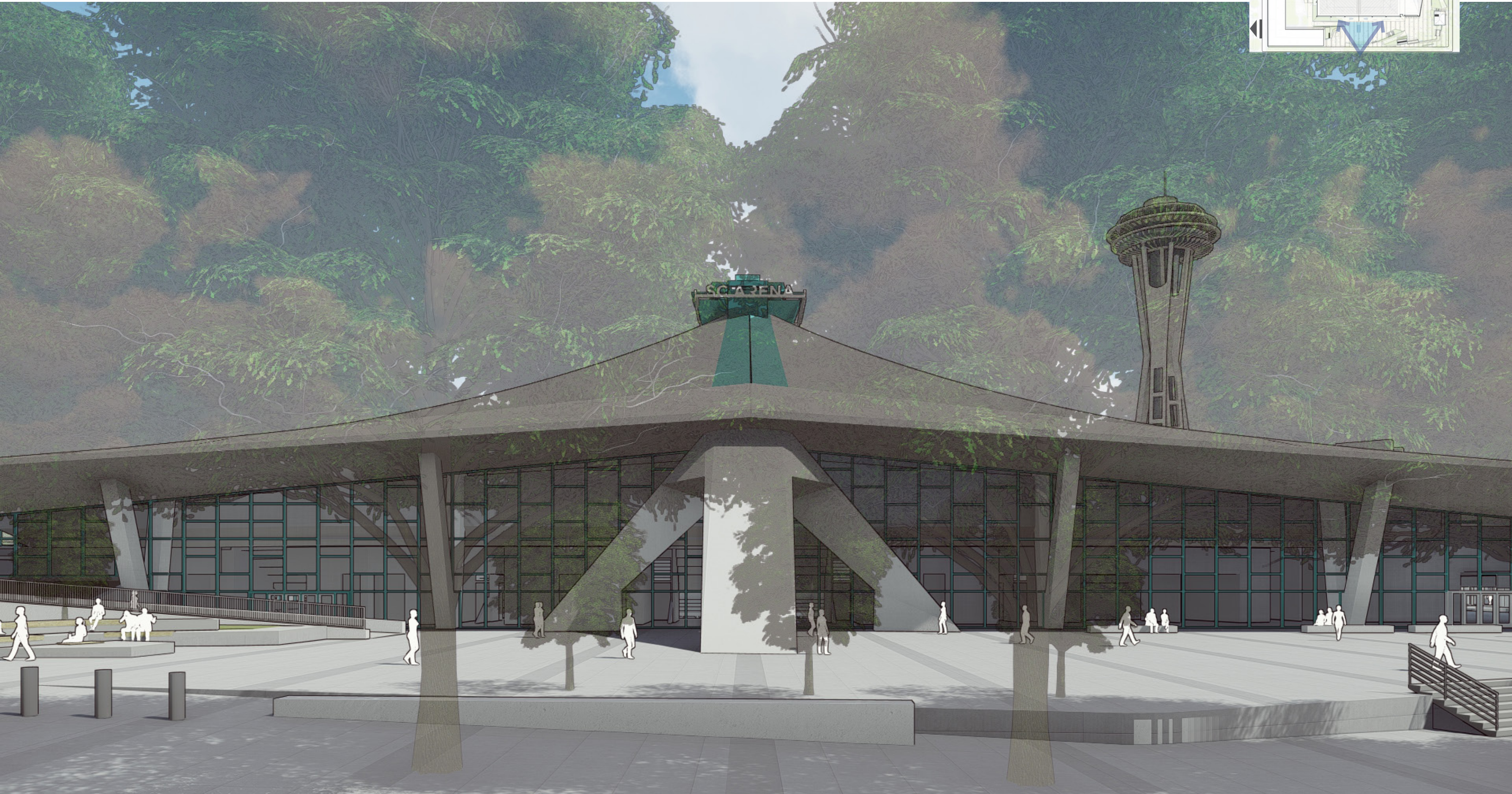
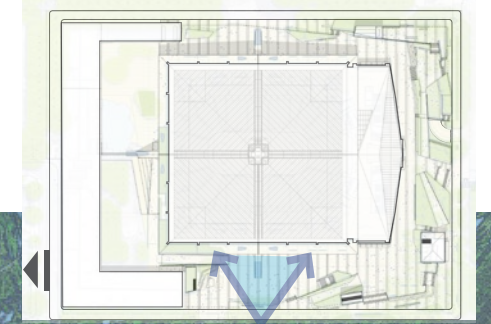
KEY PLAN



SITE ARRIVAL POINTS - FUTURE CONDITIONS

WEST PLAZA & WEST ELEVATION FROM HARRISON ST

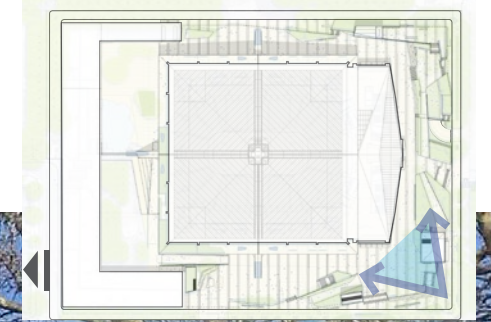
KEY PLAN



SITE ARRIVAL POINTS - CURRENT CONDITIONS

CORNER OF 1ST AVE N & THOMAS ST LOOKING NORTH

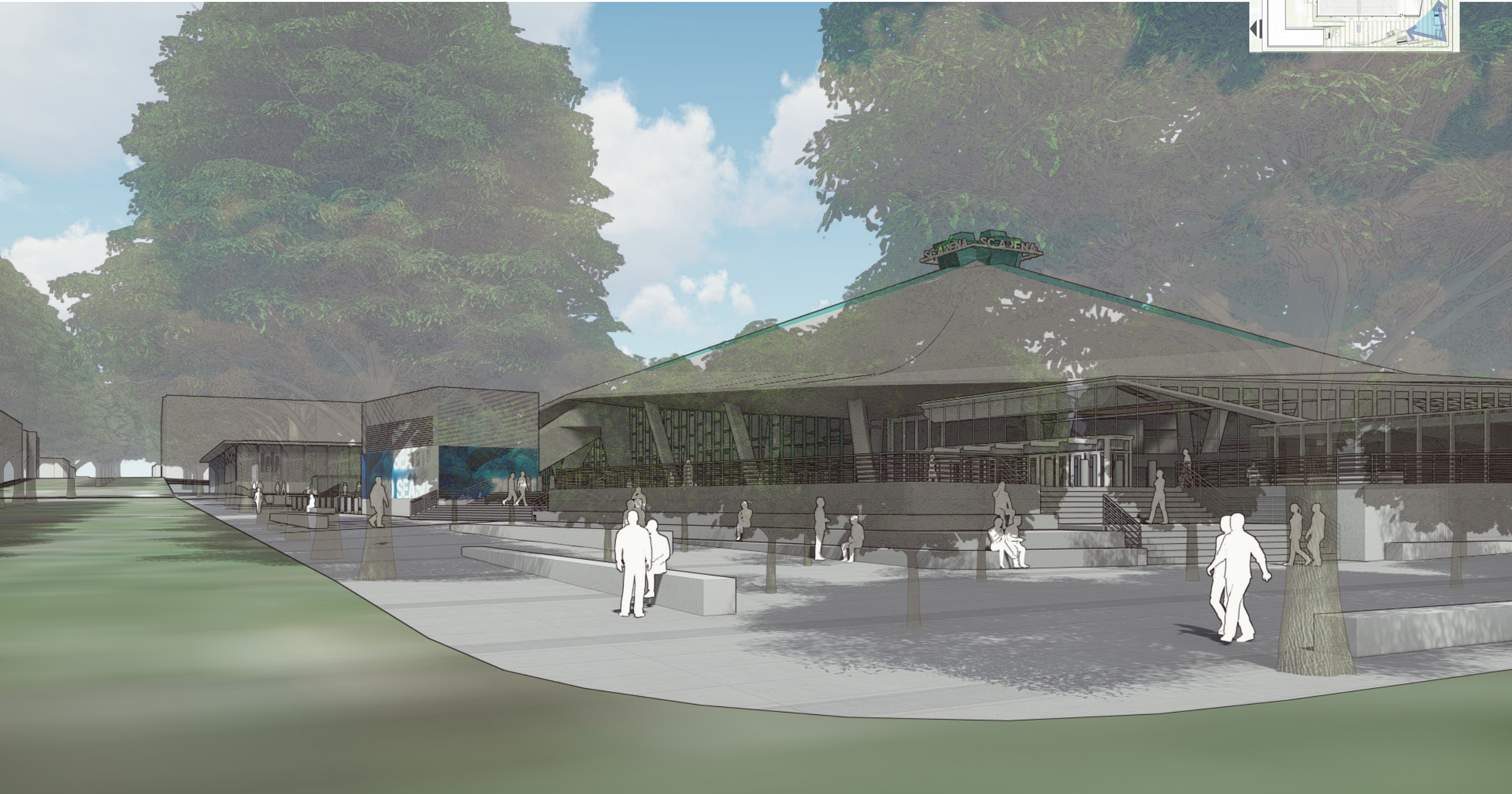
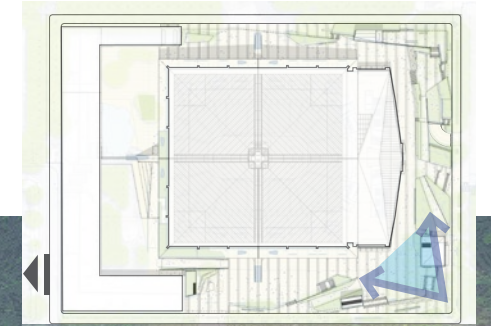
KEY PLAN



SITE ARRIVAL POINTS - FUTURE CONDITIONS

CORNER OF 1ST AVE N & THOMAS ST LOOKING NORTH

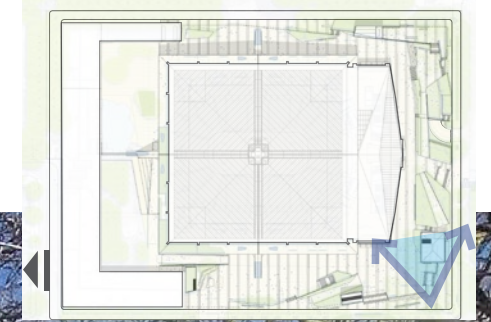
KEY PLAN



SITE ARRIVAL POINTS - CURRENT CONDITIONS

CORNER OF 1ST AVE N & THOMAS ST LOOKING EAST

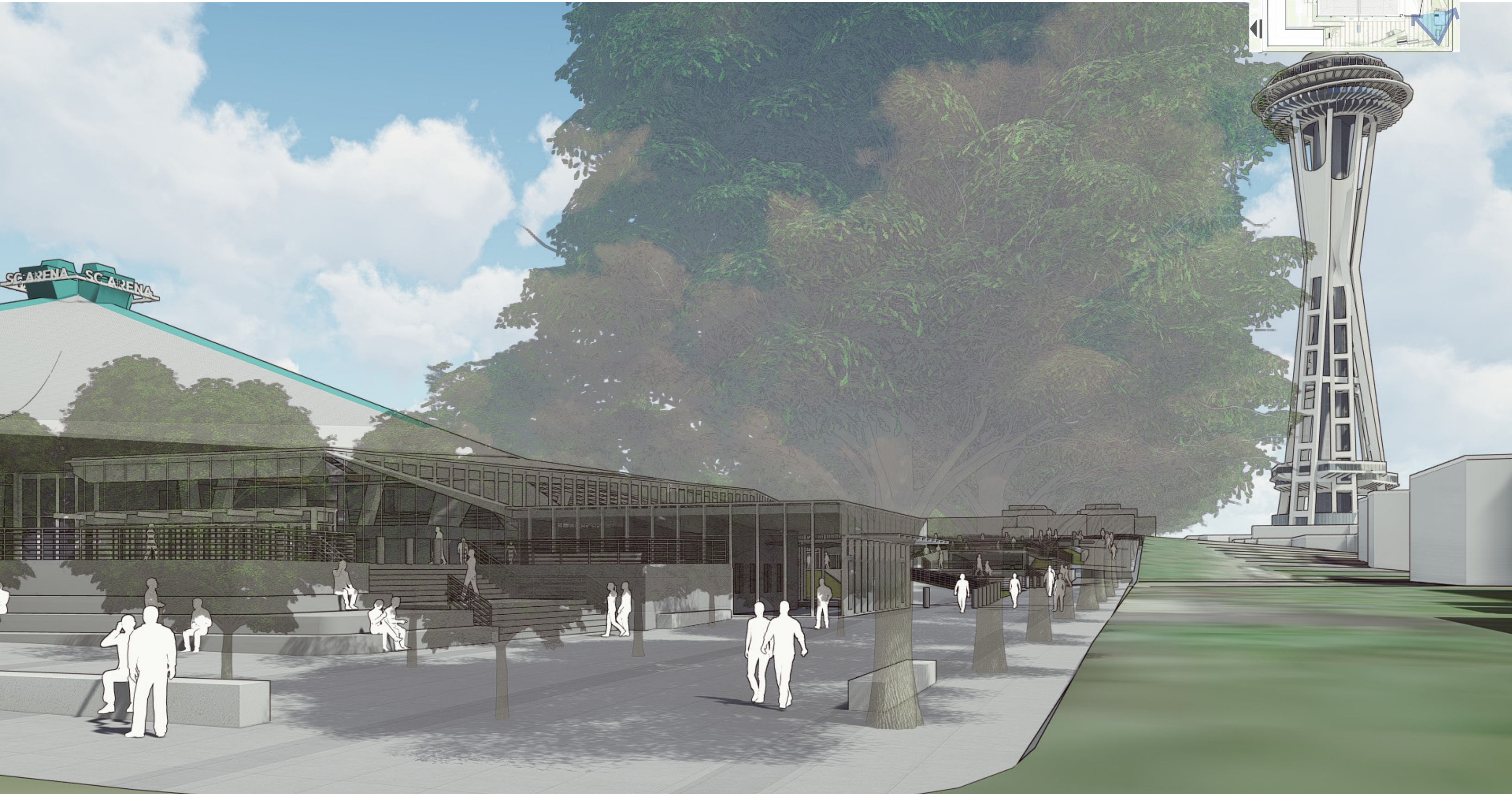
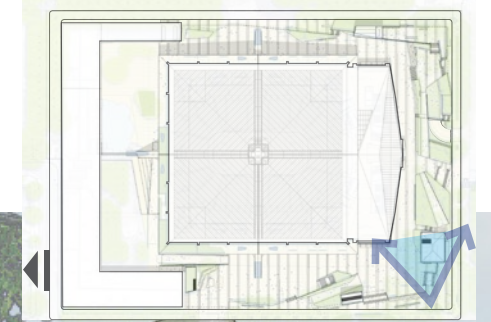
KEY PLAN



SITE ARRIVAL POINTS - FUTURE CONDITIONS

CORNER OF 1ST AVE N & THOMAS ST LOOKING EAST

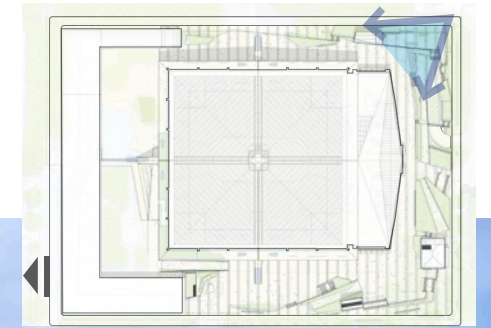
KEY PLAN



SITE ARRIVAL POINTS - CURRENT CONDITIONS

SOUTHEAST PLAZA FROM CORNER OF 2ND AVE N & THOMAS ST

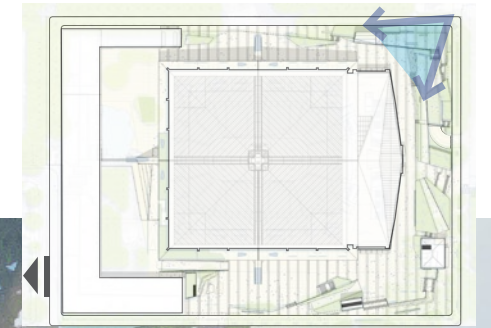
KEY PLAN



SITE ARRIVAL POINTS - FUTURE CONDITIONS

SOUTHEAST PLAZA FROM CORNER OF 2ND AVE N & THOMAS ST

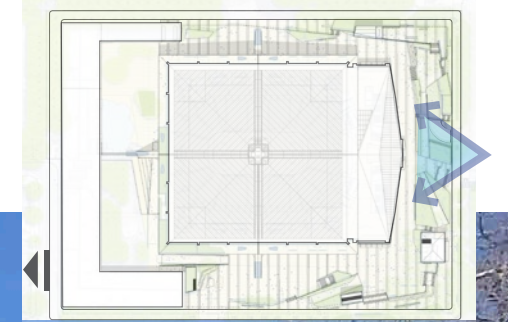
KEY PLAN



SITE ARRIVAL POINTS - CURRENT CONDITIONS

SOUTH PLAZA & SOUTH ELEVATION FROM WARREN AVE

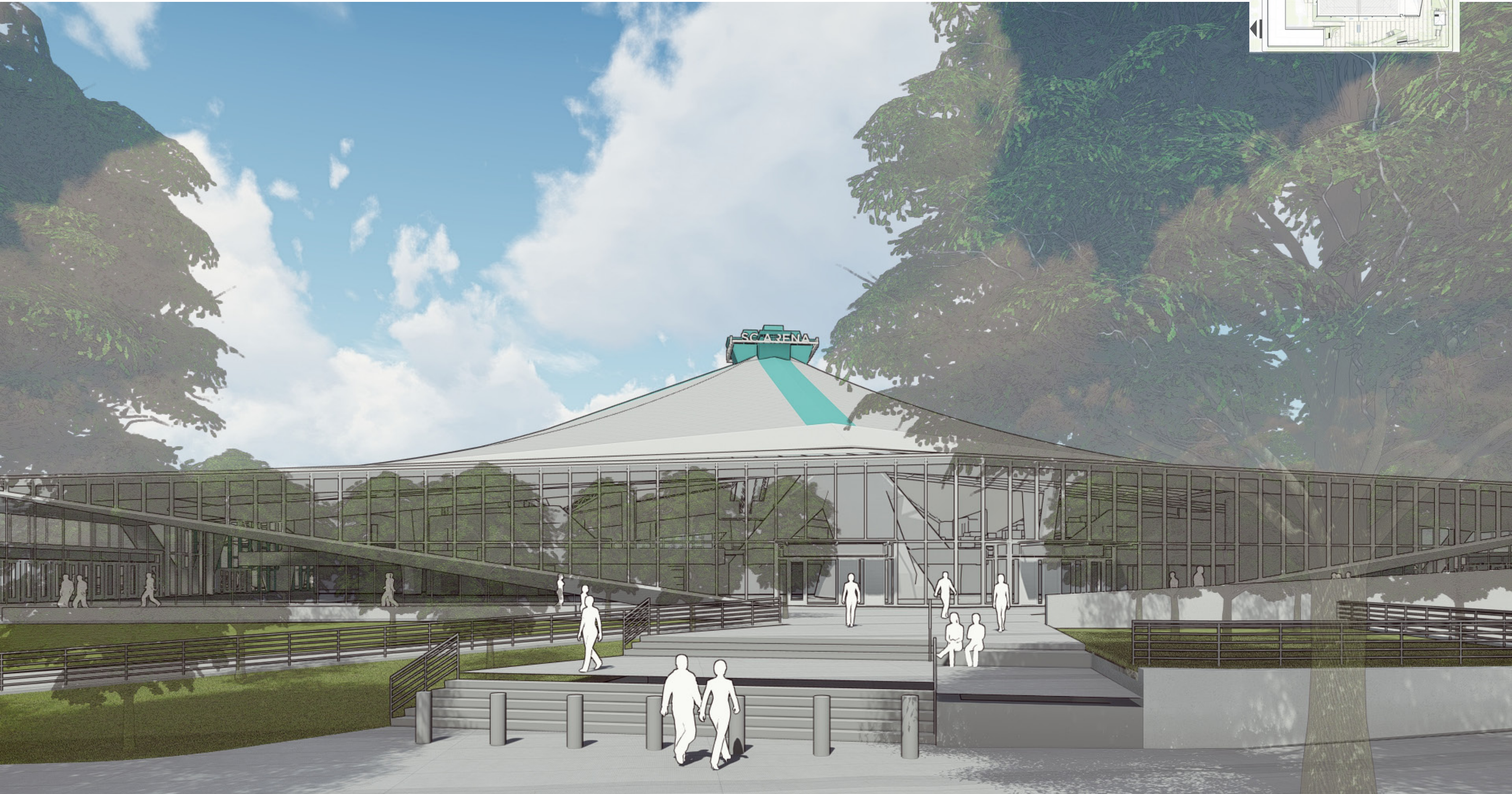
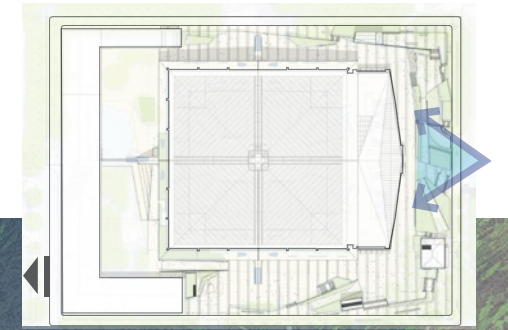
KEY PLAN



SITE ARRIVAL POINTS - FUTURE CONDITIONS

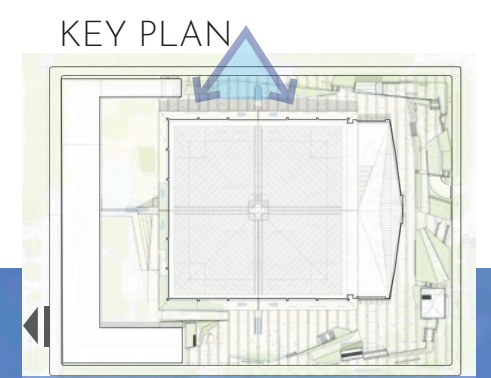
SOUTH PLAZA & SOUTH ELEVATION FROM WARREN AVE

KEY PLAN



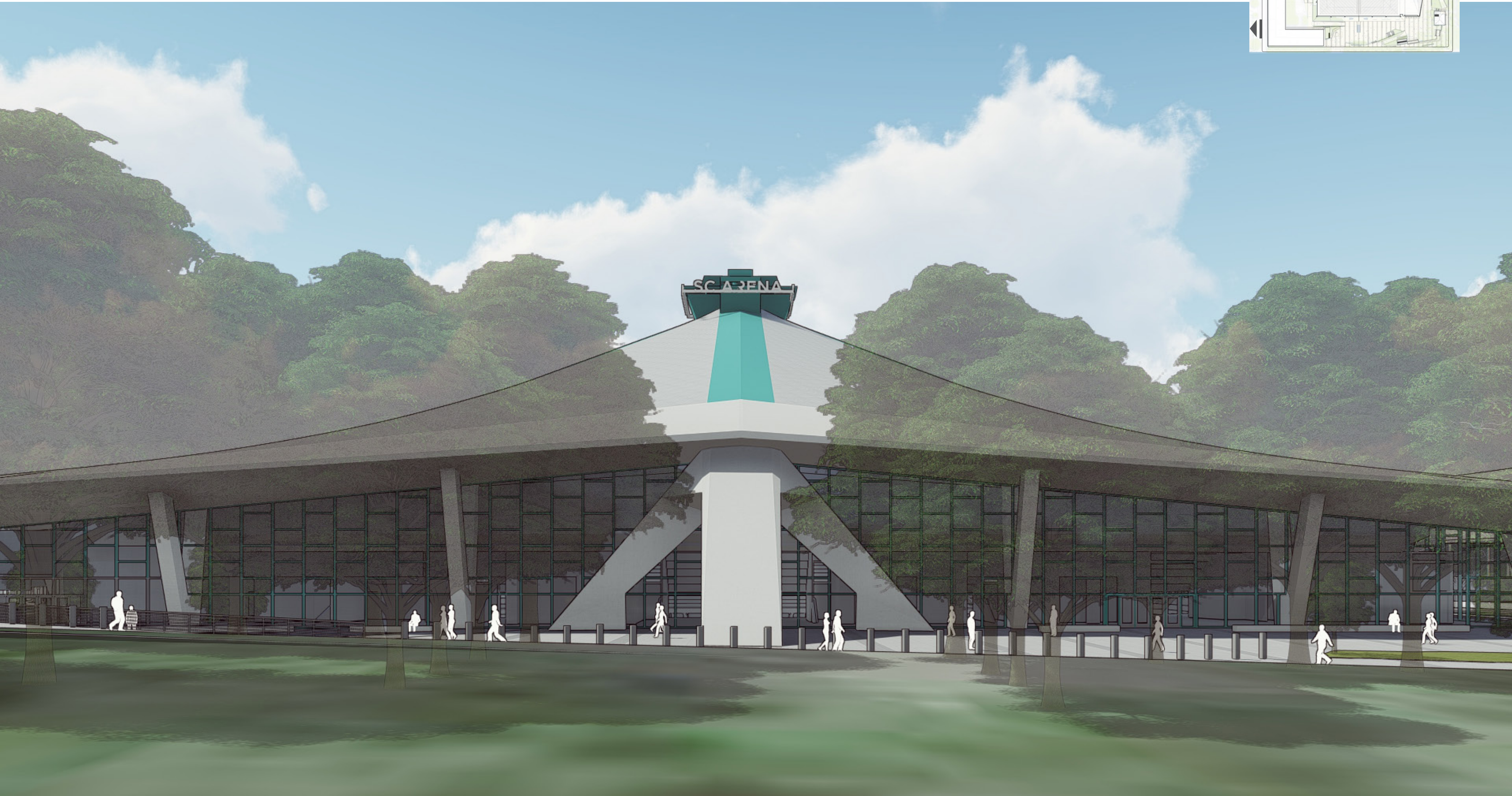
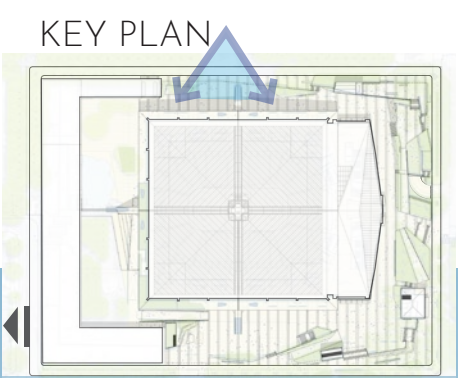
SITE ARRIVAL POINTS - CURRENT CONDITIONS

EAST PLAZA & EAST ELEVATION FROM INTERNATIONAL FOUNTAIN



SITE ARRIVAL POINTS - FUTURE CONDITIONS

EAST PLAZA & EAST ELEVATION FROM INTERNATIONAL FOUNTAIN





MOVING FORWARD

