

# Seattle Permits

— part of a multi-departmental City of Seattle series on getting a permit

## Plan Requirements and Supporting Documents for Single-Family and Two-Unit Dwellings

Updated July 28, 2022

This Tip summarizes our requirements for the plans and supporting documents that you submit with your permit for a single-family or two-family dwellings.

You are encouraged to read this Tip and other information listed below before you file an application. To obtain copies of our documents, visit our website at <http://www.seattle.gov/sdci/resources>.

### HELPFUL PUBLICATIONS

- Neighborhood Residential Zoning Chart
- **Tip 101**, [Getting a Single Family Building Permit from SDCI](#)
- **Tip 103**, [Site Plan Requirements](#)
- **Tip 103A**, [Site Plan Guidelines](#)
- **Tip 106**, [General Standards for Plans and Drawings](#)
- **Tip 220**, [Lot Coverage and Yard Standards in Neighborhood Residential Zones](#)
- **Tip 303A**, [Common Seattle Residential Code Requirements](#)
- **Tip 336**, [Sustainable Building and Reuse of Building Materials](#)
- **Tip 403**, [NFRC Fenestration Requirements, Seattle Energy Code](#)

### REQUIRED INFORMATION

The following types of information are required in order for us to consider permit applications for single-family and two-unit dwellings. If any required information is not included at your electronic intake appointment, we will not accept your application.

#### NEW CONSTRUCTION & ADDITIONS

- **A COMPLETE SET OF PLANS** including:
  - **Site Plan** with a complete legal description of the property including easements, side yard agreements, etc.
  - **Zoning Plans** including calculations for lot coverage, block front plan for front yard averaging if applicable (see figure 6), etc.
  - **Master Use Permit** that are associated with this project. If you need a MUP reference your project number on the plans and make sure that the application being filled matches the application currently in process.
  - **A Recorded Copy** of short plat, boundary line adjustment, subdivision, or other platting approval and our written approval report will facilitate the zoning/land use review, if the property boundary has been created or altered since 1974.
  - **Topographic Survey** with corner stakes and all property lines when:
    - Your building is within 2 feet of the maximum allowed height
    - You are required to provide grading plans for ECA sites.
    - Your site is located in a steep slope, potential landslide, or known landslide area. Topographic survey is not required if you apply for and are granted a modification to submittal requirements or are granted an exemption for simple projects.
  - **A Drainage and Wastewater Control plan** is required if your project has 750 square feet or more of new or replaced hard surface
  - **A Construction Stormwater Control and Soil Amendment plan** is required if your project has 750 square feet or more of new or replaced hard surface



- **Grading Plan** if your site is in an environmentally critical area or if your project otherwise requires a grading permit (see Grading Code)
  - **Foundation Plan**
  - **Floor Plans**
  - **Elevations** showing the existing and finished grade
  - **Typical** building or wall section
  - **Masonry** chimney section detail (if applicable)
  - **Construction** details
  - **Glazing and Opaque Door** schedule
- **REQUIRED DOCUMENTS/FORMS** shall be submitted to your project portal as separate PDF files. For a list of required forms see Tip 101, [Getting a Single Family Building Permit from SDCI](#).
- **Soil Report** if available or required as indicated by your site visit report
  - **Energy Calculations** if you are not using prescriptive compliance methods
  - **Heating Equipment Sizing Calculation Form**
  - **Structural Calculations** if available
  - **Simple or Pilot Infiltration Checklist** if required (see the Stormwater Code webpage for infiltration investigation requirements)
  - **On-Site Stormwater Management List Approach Calculator** for projects with more than 1,500 square feet or more of new or replaced hard surface, or more than 750 square feet if the parcel was created or reduced in size after January 1, 2016
  - **Memorandum of Drainage Control** for projects with more than 1,500 square feet or more of new or replaced hard surface, or more than 750 square feet if the parcel was created or reduced in size after January 1, 2016
  - **Bonds** in the amount of \$10,000 may be required in addition to other fees if this project involves a moved building

## ALTERATIONS

- **COMPLETE SET OF PLANS** including:
  - **Site Plan** with a complete legal description
  - **Master Use Permits** associated with this project. If you need a MUP reference your project number on the plans and make sure that the application being filled matches the application currently in process.

- **A Recorded Copy** of short plat, boundary line adjustment, subdivision or other platting approval and our written approval report will facilitate the zoning/land use review, if the property boundary has been created or altered since 1974
  - **Foundation Plan** with information showing the load tracing to the ground if you are making structural changes
  - **Floor Plans**
  - **Elevations** if you are proposing changes to the building envelope or window location or sizing
  - **Typical Building or Wall Section** based upon the scope of the work to be performed
  - **Masonry** chimney section detail (if applicable)
  - **Details** showing how changes integrate into the existing structure
  - **Framing Plan** if you are proposing new framing or a change in the structural system
  - **Glazing and Opaque Door** schedule if replacing doors and/or windows
- **REQUIRED DOCUMENTS/FORMS** shall be submitted to your project portal as separate PDF files. For a list of required forms see Tip 101, [Getting a Single Family Building Permit from SDCI](#).
- **Structural Calculations** if available and you are proposing structural changes
  - **Soils Report** may be required if there is ground disturbance in an ECA
  - **Salvage Assessment** for projects involving demolition that have either an area of work greater than 750 square feet or a project value greater than \$75,000

## INFORMATION REQUIRED FOR SPECIFIC TYPES OF PLANS

- **ALL PLANS:**
  - Must demonstrate compliance with the Seattle Residential Code
  - Must be to scale and fully dimensioned
  - Must have matching scale and be consistent with other drawings
  - Must have minimum 1/8" lettering
  - Must show structural notes including design loads
  - Must include a full set of architectural and structural drawings that clearly shows the proposed construction

## EXAMPLES OF REQUIRED INFORMATION ON DRAWINGS SHEETS

### SITE PLAN (Figure 1):

- Per Tip 103, [Site Plan Requirements](#)

### FOUNDATION PLAN (Figures 2 and 3):

- For all new foundations
- For existing foundations where you are adding additional floor space or roof area over or adjacent to the existing foundations
- Including dimensions of all foundation walls, footings, and under-floor vents or access openings
- Including location and size of all posts and beams; and the intended use of the space above or within foundation walls (e.g., basement, crawl space, garage, recreation room)
- For a remodel of an existing building, show all changes to existing structural elements (e.g., joists, bearing walls)
- Indicate concrete mix by number of sacks and allowed design stress

### FLOOR PLAN (Figures 2 and 3):

- Identify all walls (existing, new, and to be removed) steps, doorways, windows, and sky lights
- Specify how each room will be used
- Show the width and height of all window and doorway openings
- Indicate exhaust fan locations and cubic feet per minute (cfm)
- Indicate the location of all furnaces, heaters and heat pumps
- Identify the proposed change of use for any area within the structure (e.g., office to bedroom, unfinished basement to bedrooms)
- Fully dimension, to scale, all rooms and areas shown on your plan

### FRAMING PLAN (Figures 2 and 3):

- Identify the size, grade, lumber species, spacing, and direction of floor and ceiling joists and rafters
- Show all supporting walls, beams, and columns
- Show how the existing framing will be connected to new proposed framing

### STRUCTURAL WALL SECTION (Figure 4):

- Must show an entire cross-section through a typical wall from foundation to the roof
- Identify the location of the cross-section on the floor plan
- **MATERIALS** must be specified as to size, spacing and type. You need to specify:
  - **Insulation** — type, location and “R” value of all wall, floor, slab and ceiling insulation
  - **Foundation** — size and type of materials to be used, including foundation dimensions, sill plate material and size, size and spacing of anchor bolts, size and location of reinforcing bars, height of backfill against foundation walls, height of foundation wall above grade, and footing depth below grade
  - **Wall section** — size and spacing of metal/wood studs, thickness and type of sheathing, weather-proofing and siding material
  - **Flooring** — size and type of sub-floor underlayment and flooring material and the size, species, spacing, and direction of floor joists and beams
  - **Ceiling** — ceiling height and ceiling material and the size, species, spacing, and direction of all ceiling supporting elements
  - **Roofing** — roof sheathing, weatherproofing, roofing materials to be used and the size, species, spacing, and direction of the roof’s structural elements; also show dimensioned roof overhangs, including gutters; specify roof pitch

### BUILDING ELEVATIONS (Figure 5):

- Elevations with dimensions showing all exterior faces of the building
- All doors, windows, and exterior materials must be shown, including the size of all doors and windows and the type of windows (e.g., slider, casement, fixed)
- Each elevation labeled to show which face of the building it represents (north, south, etc.)
- The elevation of all floors, top plate, top of the roof, existing grade and finished grade must be shown

### PARTIAL BLOCK FRONT PLAN (Figure 6)

### GLAZING AND OPAQUE DOOR SCHEDULE (Figure 7):

- The glazing and opaque door schedule must include vertical and overhead glazing (windows, sliding, and swinging glass doors, and glazed roll-up doors, plas-

tic panels, clerestories, glass block, skylights, etc.) as well as all opaque doors

- The glazing and opaque door schedules must include the product type, size, number of each type, the U-factor, and whether the U-factor is NFRC-certified or default. (If you are using an above-code glazing product in a "Total UA Alternative" calculation (Section R402.1.4) or a "Simulated Performance Alternative" calculation (Section R405), provide the NFRC Certified Products Directory. If you use a default, the schedule must include a description of the key energy-efficiency features that are necessary to achieve that default U-factor indicating whether the glazing product is fixed or operable, frame material type, thermal break description, number of glazing layers, emissivity of low-e coatings, gap width, gas fill, spacer type, etc.)
- The glazing schedule must include the manufacturer and model number for all products regardless of U-factor

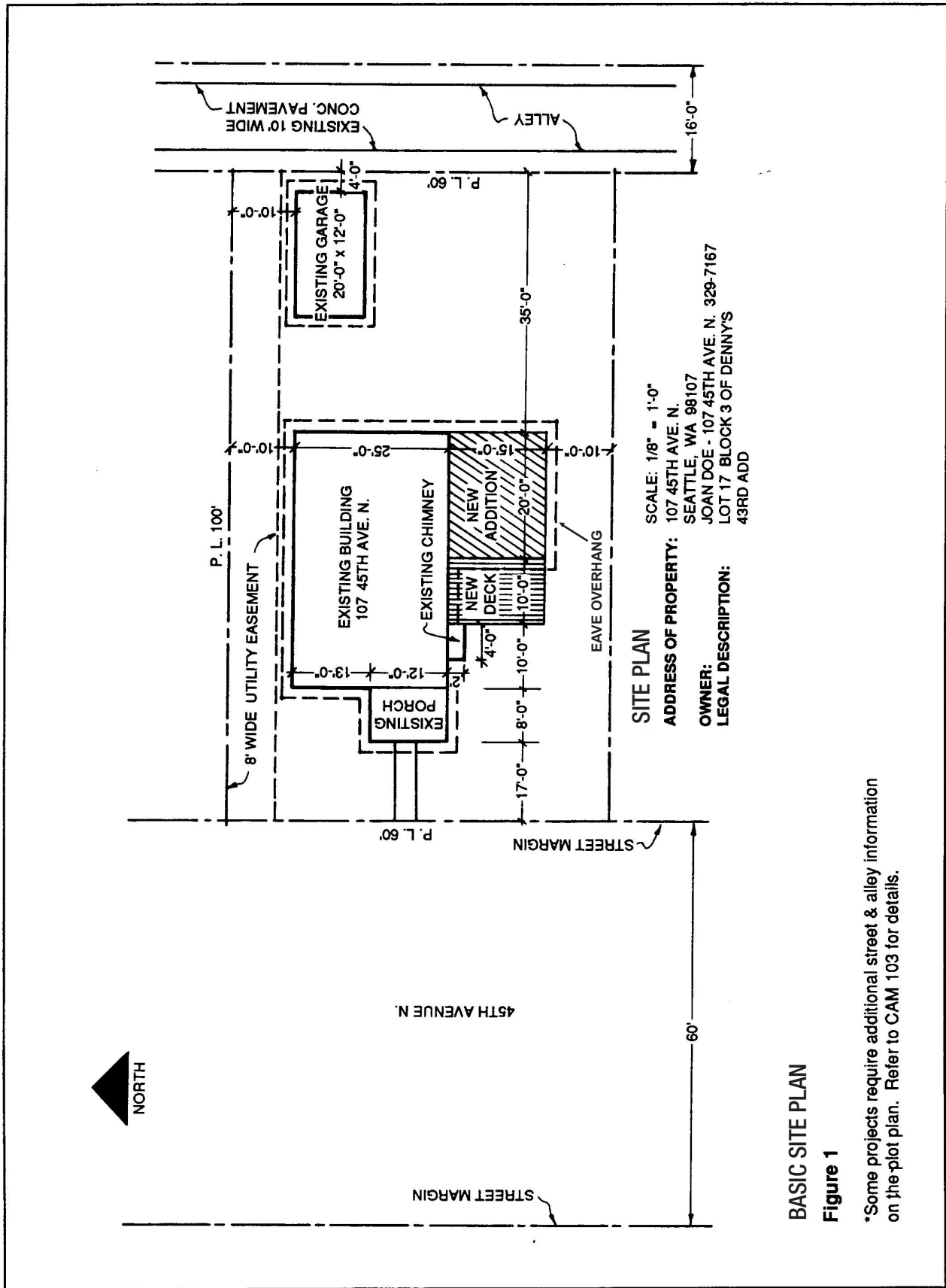
## QUESTIONS

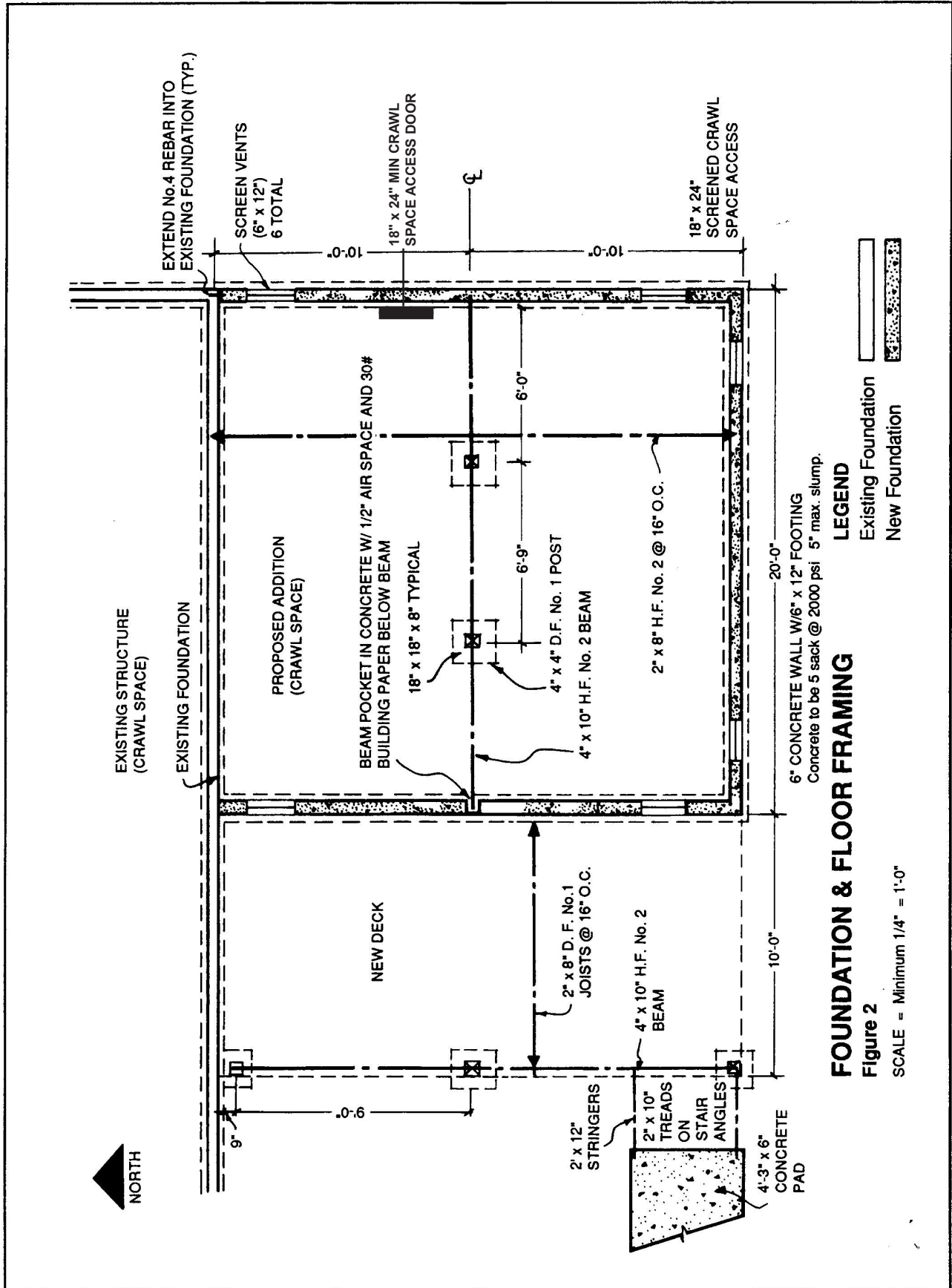
If you have specific questions about plan requirements and/or your responsibilities as an applicant, please submit questions online via our [Submit a Request webpage](#) or contact a permit specialist in our [Applicant Services Center](#).

- ***Please note that the drawings included in this Tip are for illustrative purposes only.***
- ***Specific design details and measurements will, of course, vary among projects.***
- ***On all plans include a legend to differentiate new elements from existing elements.***

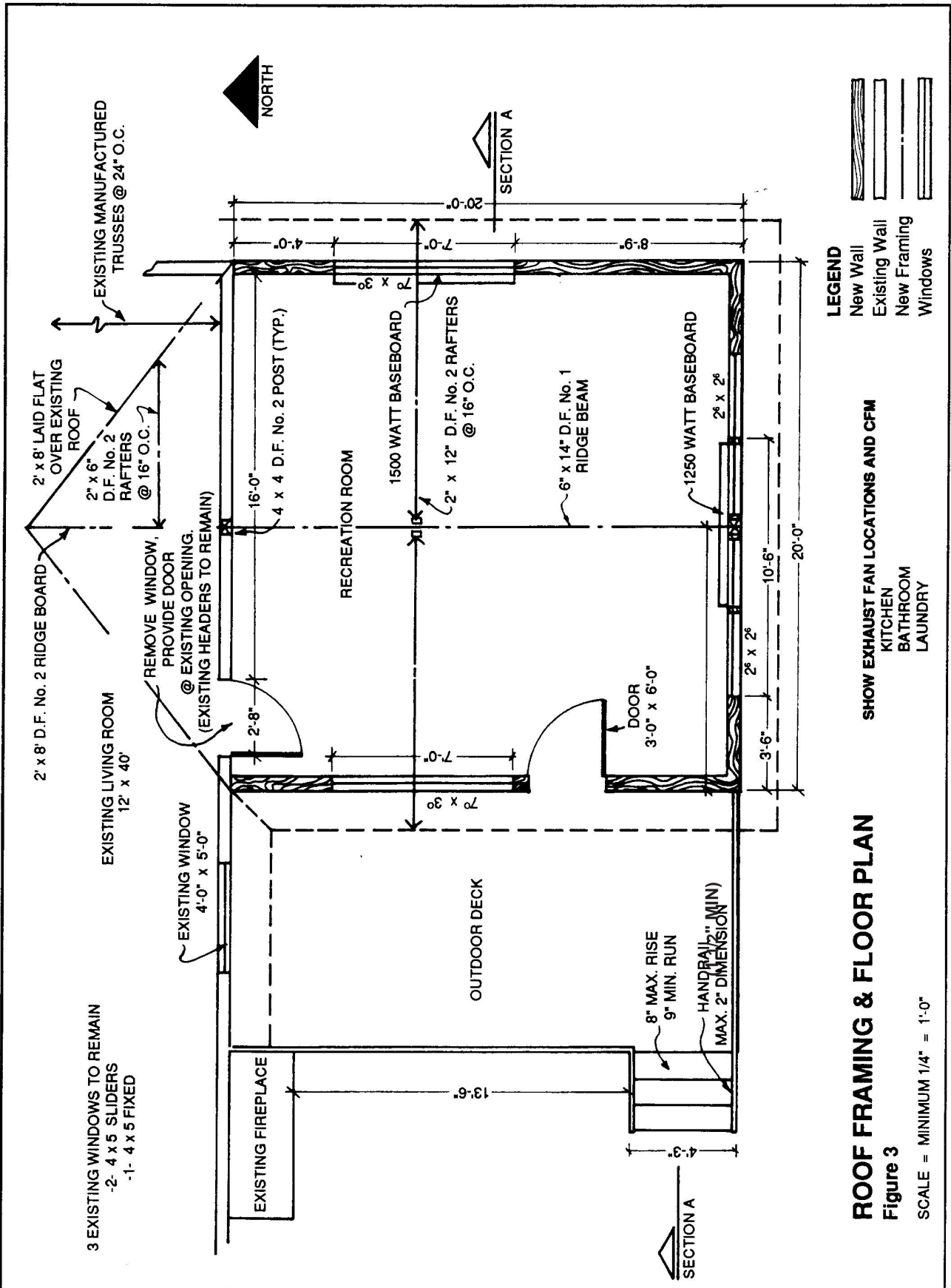
## Access to Information

Links to many of our documents mentioned in this Tip are available on our website at [www.seattle.gov/sdci](http://www.seattle.gov/sdci).



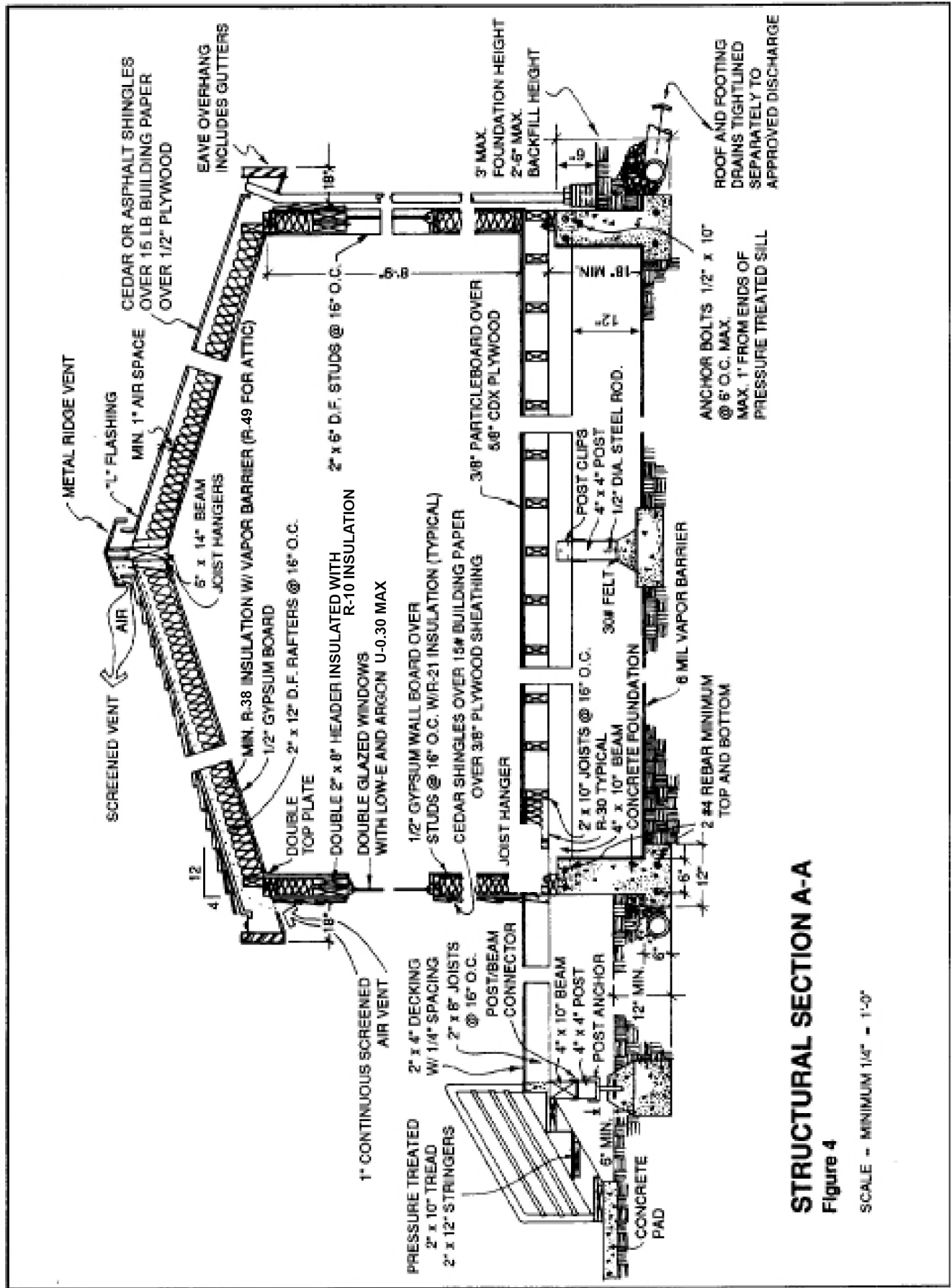


**LEGAL DISCLAIMER:** This Tip should not be used as a substitute for codes and regulations. The applicant is responsible for compliance with all code and rule requirements, whether or not described in this Tip.



**ROOF FRAMING & FLOOR PLAN**  
 Figure 3  
 SCALE = MINIMUM 1/4" = 1'-0"

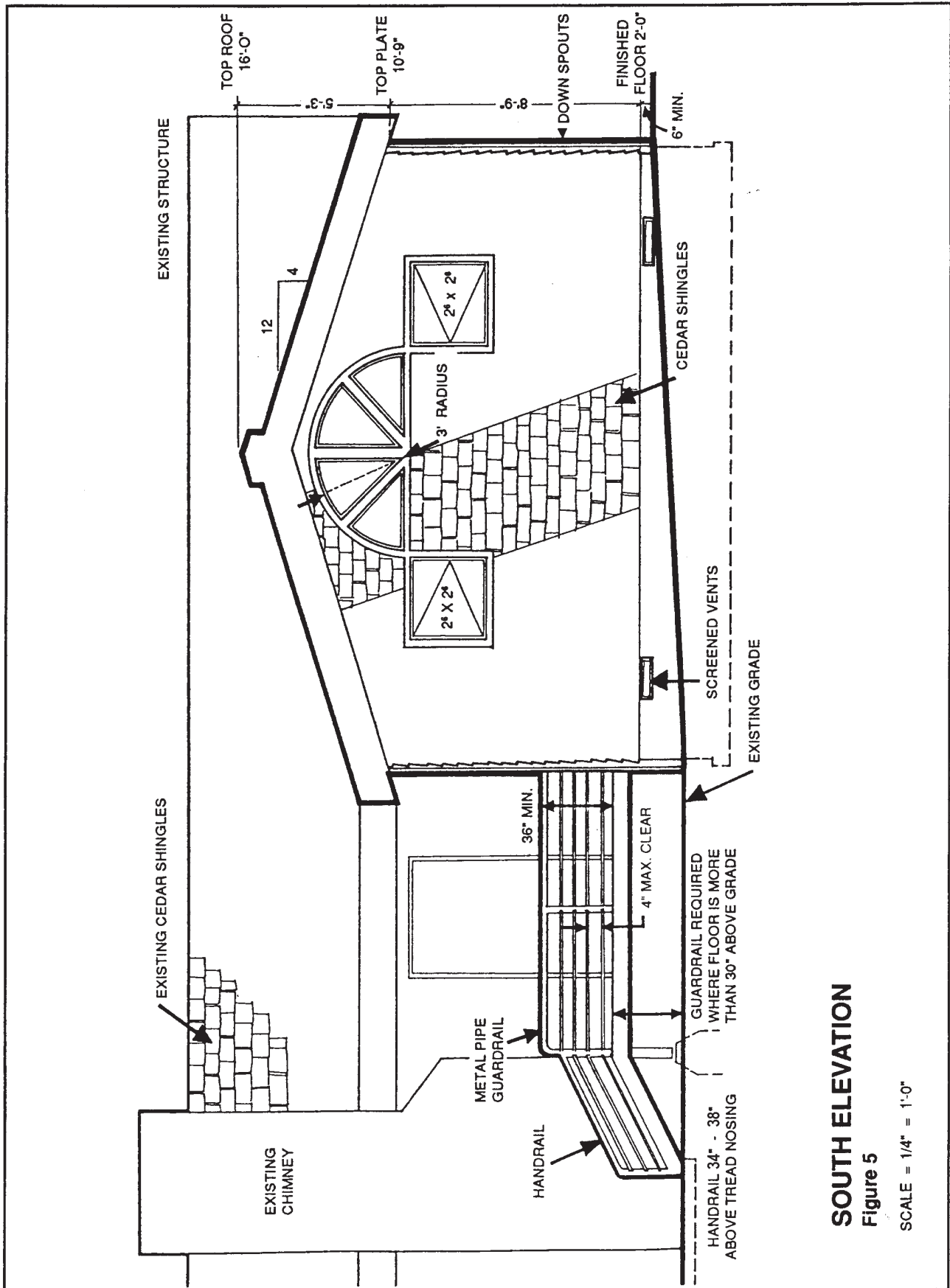
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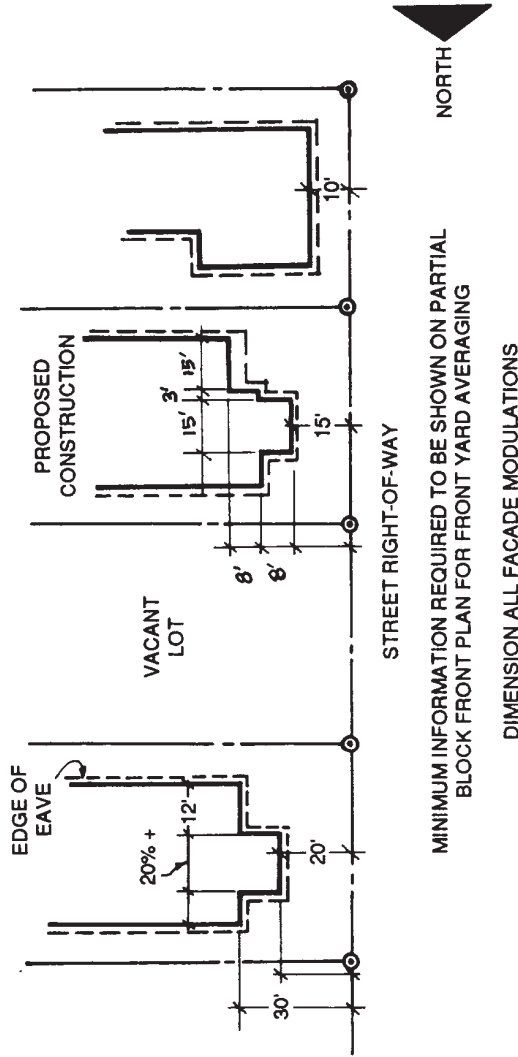


**STRUCTURAL SECTION A-A**  
**Figure 4**

SCALE - MINIMUM 1/4" = 1'-0"







MINIMUM INFORMATION REQUIRED TO BE SHOWN ON PARTIAL  
BLOCK FRONT PLAN FOR FRONT YARD AVERAGING

DIMENSION ALL FACADE MODULATIONS

**PARTIAL BLOCK FRONT PLAN**  
Figure 6

(Sample)  
GLAZING AND OPAQUE DOOR SCHEDULE: SINGLE-FAMILY RESIDENTIAL SPACE

<b>GLAZING (VERTICAL)</b>										
Fenestration Number	Plan Page	Manufacturer/Model No. and Special Features	Product Type	Size W x H	Area (sq.ft.)	No.	Total VGA	U-factor	NFRC-CPD No. or Default Table	VFA x U =
SLW-1	A-3,4	Best Energy/123: triple w/low-E & argon	slid. win.	3'0" x 5'0"	15.0	x 4	= 60	0.42	BEN-L-6-00037-00007	25.2
SLW-2	A-3,4	Best Energy/123: triple w/low-E & argon	slid. win.	4'0" x 6'0"	24.0	x 2	= 48	0.60	BEN-L-6-00037-00007	28.8
PIC-1	A-3	Best Energy/253: triple w/low-E & argon	fixed. win.	5'0" x 6'0"	30.0	x 2	= 60	0.34	BEN-L-4-00054-00011	12.6
GAR-1	A-3	Greenhouse: vinyl, dbl w/low-E, argon, 0.5" gap	garden win.	3'0" x 4'0"	12.0	x 1	= 12		Default Table 10-6A	17.6
SLD-1	A-3,4	Best Energy/433: triple w/low-E & argon	lid. door	6'0" x 6'8"	40.0	x 1	= 40		BEN-L-9-00012-00004	10.0
<b>Total VGA =</b>							<b>220</b>		<b>Total VGA x U =</b>	<b>65.1</b>
<b>Area-Weighted Average Vertical Glazing U-factor = (Total VGA x U) / (Total VGA) = 0.296</b>										
<b>GLAZING (OVERHEAD)</b>										
Skylight Number	Plan Page	Manufacturer/Model No. and Special Features	Product Type	Size W x H	Area (sq.ft.)	No.	Total OGA	U-factor	NFRC-CPD No. or Default	SKA x U =
SKY-1	A-5	Sky Systems/57: triple w/low-E	skylight	2'0" x 4'0"	8.0	x 2	= 16	0.44	SKY-D-2-00004-00005	7.0
SKY-2	A-5	Dome/101: alum.clad wood, triple	skylight	2'0" x 2'0"	4.0	x 1	= 4	0.67	Default Table 10-6E	2.7
<b>Total OGA =</b>							<b>20</b>		<b>Total OGA x U =</b>	<b>9.7</b>
<b>Area-Weighted Average Overhead Glazing U-factor = (Total OGA x U) / (Total OGA) = 0.486</b>										
<b>OPAQUE DOOR</b>										
Number	Plan Page	Manufacturer/Model No. and Special Features	Product Type	Size W x H	Area (sq. ft.)	No.	Total ODA	U-factor	NFRC-CPD No. or Default	ODA x U =
INS-1	A-3	Insuldoor/VIZ: insul. fiberglass w/ wood frame	swing door	3'0" x 6'8"	20.0	x 2	= 40.0	0.15	Default Table A107.1(3)	6.0
WD-2	A-3	Utilidoor/26: insul. steel w/wood edge & frame	swing door	2'-8" x 6'-8"	17.8	x 1	= 17.8	0.16	Default Table A107.1(4)	2.8
<b>Total ODA =</b>							<b>57.8</b>		<b>Total ODA x U =</b>	<b>8.8</b>
<b>Area-Weighted Average Opaque Door U-factor = (Total OGA x U) / (Total OGA) = 0.153</b>										