

Overview

Micro-apartments / Microhousing / Congregate Housing

Brown Bag Lunch

April 18, 2013



City of Seattle
Department of Planning and Development

Micro-apartments / Microhousing / Congregate Housing

What Are They?

- Small living quarters sometimes grouped together within a dwelling unit
- Often with a shared kitchen
- Legal / allowed within current code - defined:
 - As a dwelling unit with up to 8 bedrooms and a shared kitchen
 - As a congregate residence, 9 or more bedrooms with shared kitchen and other facilities, in zones that allow multifamily
 - As small apartments (each includes bath & kitchen)
- Different varieties and formats
- An emerging housing trend in Seattle and other cities
- Difficult to classify/define under existing codes



Micro-apartments / Microhousing / Congregate Housing

How Many Are There?

- About 48 projects citywide since 2006
 - 30 in lowrise multifamily zones (LR)
 - 11 in midrise multifamily zones (MR)
 - 7 in commercial zones (C and NC)
- About 2,100 total micro-apartments / microhousing
- Contained within about 600 dwelling units
- ~9,800 dwelling units constructed citywide: 2010-2012



Micro-apartments / Microhousing / Congregate Housing

How Affordable Are They?

- Typically rent for between \$500 - \$700 / month
 - Rent / SF / Mo.: \$3.24*
 - Often includes utilities, some furnishings and internet
- Lease terms usually 3-6 months then month-to-month
- Workforce housing at 80% AMI, 1 bedroom: \$1,208
 - Rent / SF / Mo.: \$1.85**
- Popular with:
 - Students, people in transition, lower wage workers, part time residents

Microapartment Map



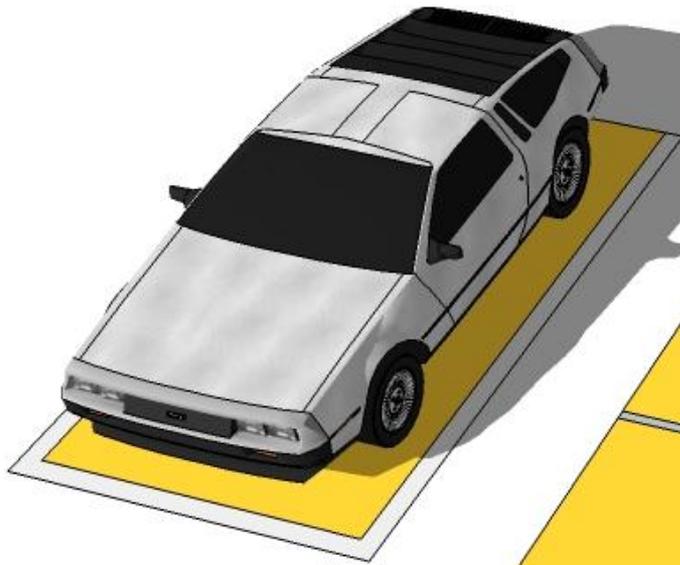
Where Are They?

- Urban Centers & Urban Villages (44 of 48)
- Capitol Hill: 18
- University District: 12
- Madison / Miller: 4
- Eastlake: 3
- 23rd / Union: 2
- W. Sea. Junction: 2
- Ballard: 1
- Wallingford: 1
- Roosevelt: 1

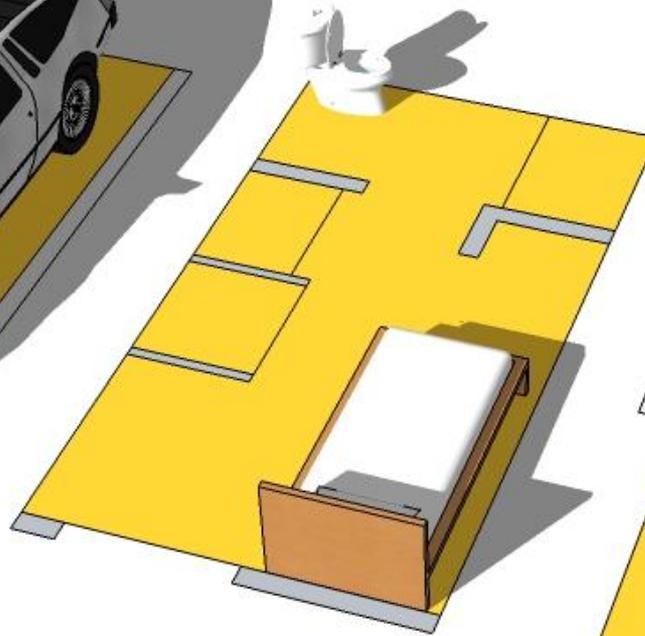


How Small Are They?

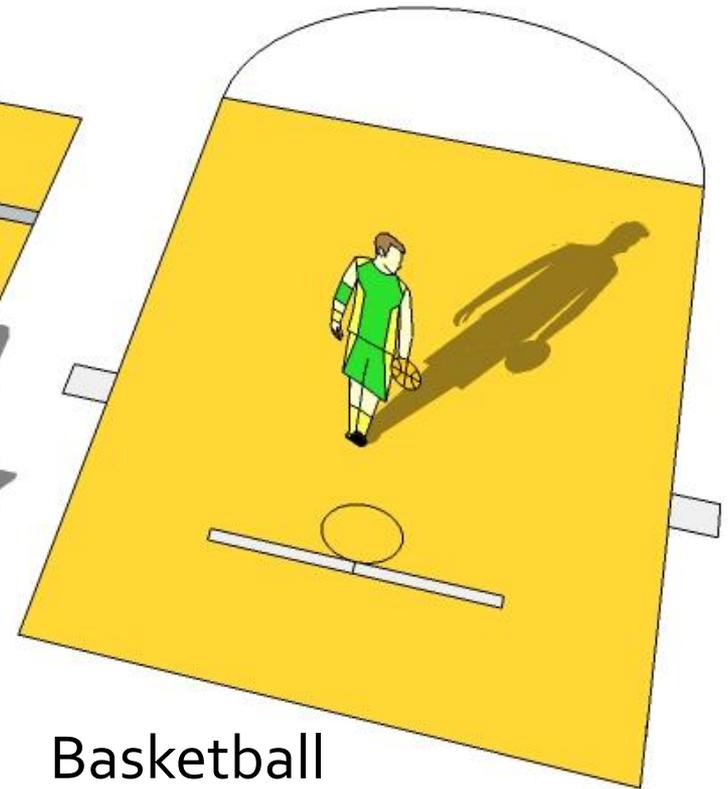
Typical Seattle micro-apartment = 150 – 200 sf



Medium Parking
Space = 128 sf



Micro-apartment
Example = 150 sf



Basketball
Court Lane = 180 sf





Example 1304 E. John St.

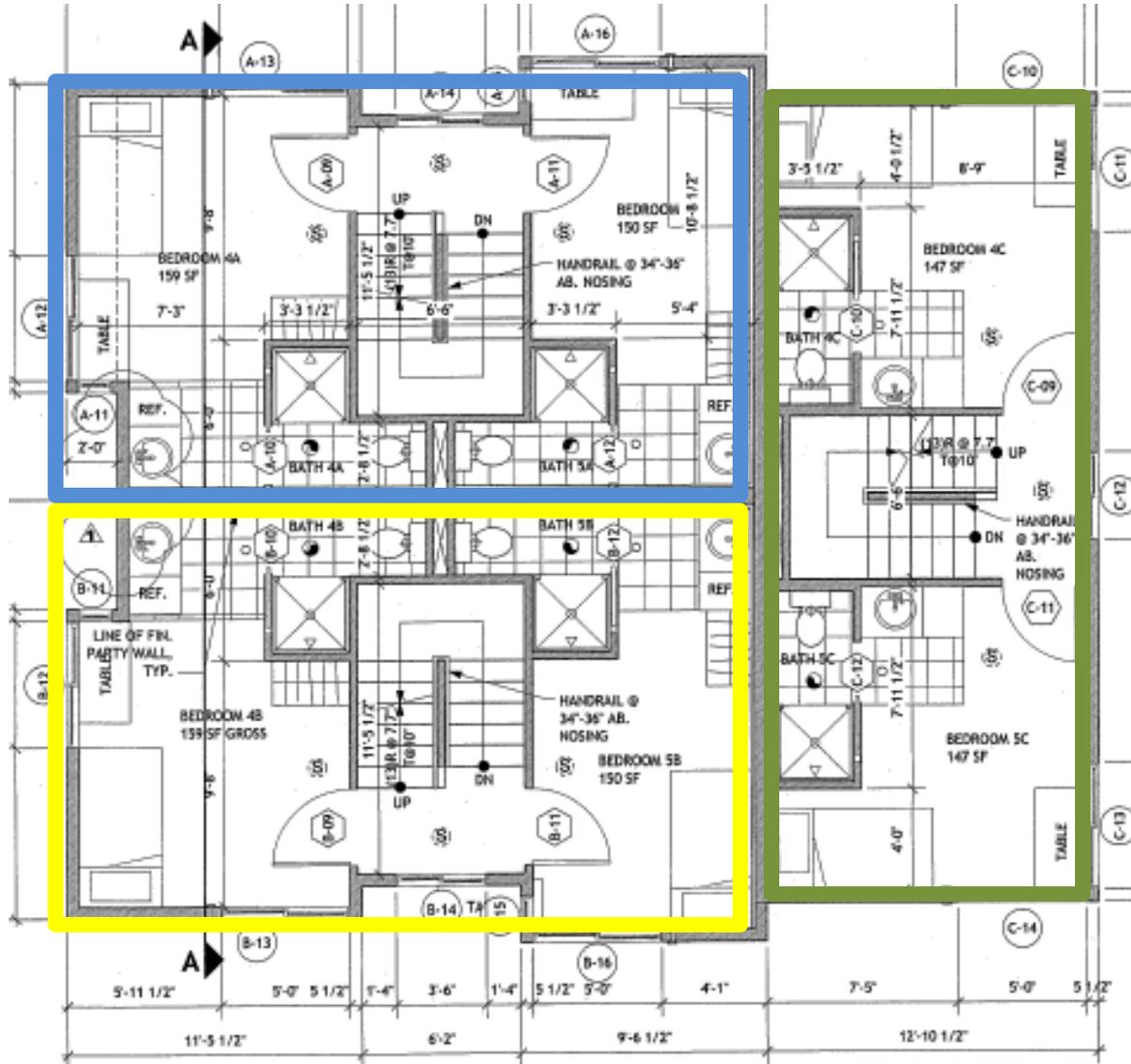
- Townhouse format
- LR₃ zone
- 8 Dwelling Units
- 56 “Micro-apartments”
- Total: 13,848 gsf
- No Design Review



Example

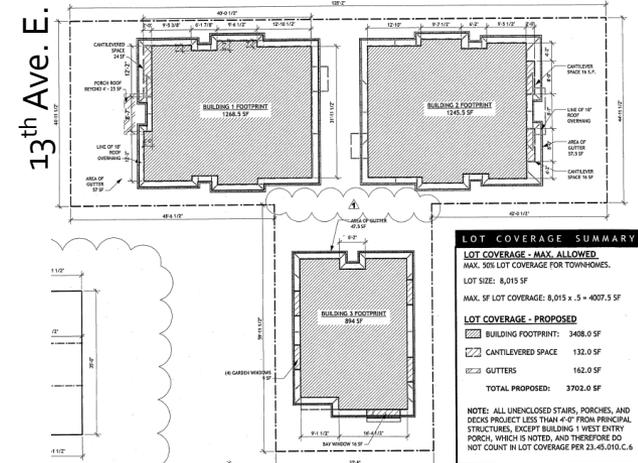
1304 E. John St.

- 135 - 150 sf rooms
- Shared kitchen ~150 sf



BUILDING 1

Note: colored outlines represent boundaries of individual dwelling units, which span multiple floors.



E. John St.



Neighborhood Context (time of construction) 1304 E. John St.



E. John St.



Example

1304 E. John St.

As individual dwelling units
vs. “micro-apartments” *

*DPD currently has no land use definition for micro-apartments and does not apply threshold standards to quantities of micro-apartments.

*Assumptions below are if the project entered the system today, with new OH Director’s rule and other current codes.

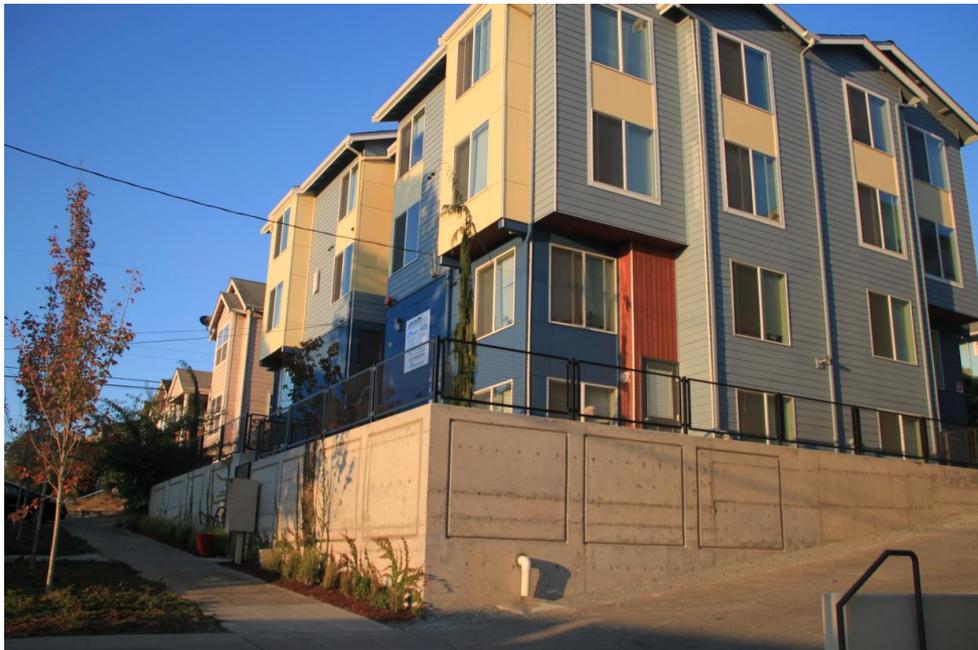
56 “Micro-apartments”

Within 8 Dwelling Units

- No design review
- No parking required
- Height / bulk / scale, design standards
- No SEPA review
- +8 units growth tracking
- Not eligible for MFTE

56 Dwelling Units

- Full design review
- No parking required
- Same Height / bulk / scale, design standards
- SEPA review required
- +56 units growth tracking
- Eligible for MFTE

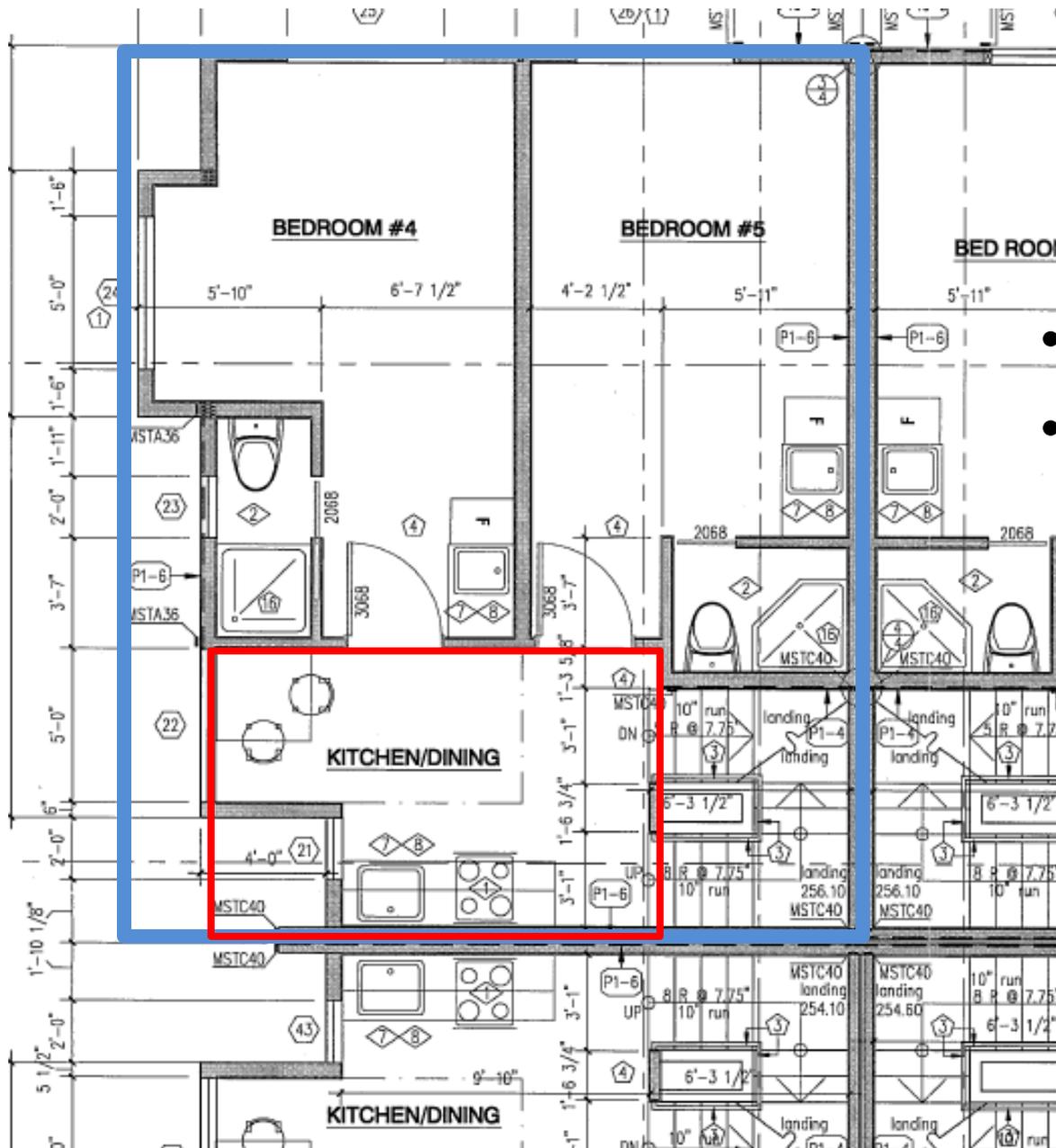


Example 310 17th Ave. S.

- Townhouse format
- LR₃ zone
- 4 Dwelling Units
- 32 “Micro-apartments”
- Total: 9,206 gsf
- 3 parking spaces
- No design review



Example 310 17th Ave. S.



- ~140 - 200 sf rooms
- Shared kitchen ~90 sf

Note: Blue outline indicates boundary of individual dwelling unit. Red outline indicates shared kitchen within the unit.



Neighborhood Context

310 17th Ave. S.



17th Ave. S.

S. Jackson St.

Example (In permitting process) 2820 Eastlake Ave. E.

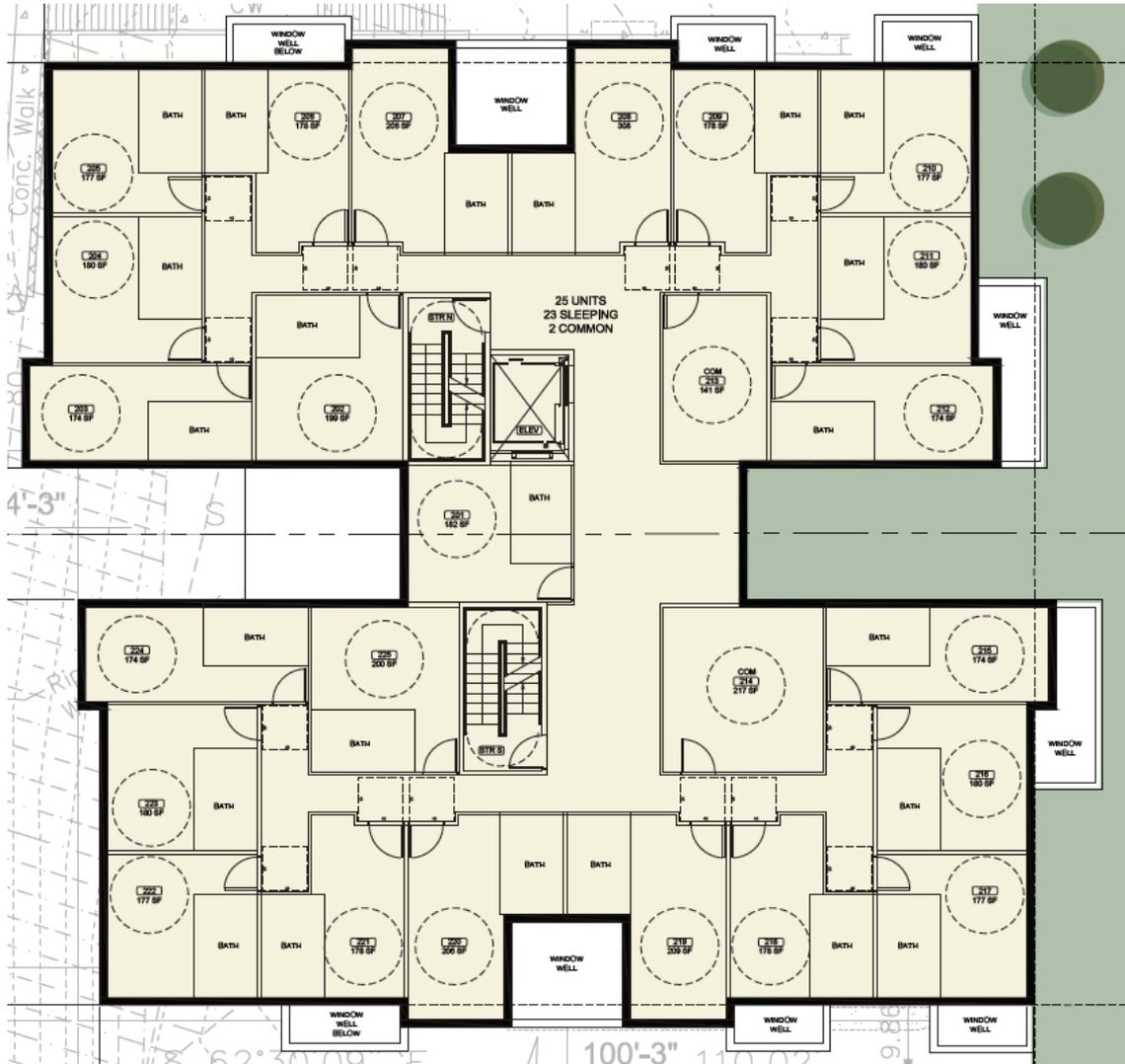


- Congregate housing format
- LR3 zone
- 115 Sleeping Rooms
- 22,000 gsf
- Design review
- SEPA review



Example

2820 Eastlake Ave. E.



- ~175 - 210 sf rooms
- Common rooms
~215 sf





Neighborhood Context

2820 Eastlake Ave. E.



Eastlake Ave. E. ↑



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Thank You

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