



City of Seattle

Department of Planning & Development
D. M. Sugimura, Director

EARLY DESIGN GUIDANCE OF THE GREATER QUEEN ANNE/MAGNOLIA DESIGN REVIEW BOARD

Project Number: 3010207

Address: 1919 Queen Anne Ave. N.

Applicant: Joe Geivett, Emerald Bay Equity

Date of Meeting: Wednesday, May 19, 2010

Board Members Present: John Rose (Chair)
David Delfs
Mark Garrell
Jill Kurfirst

Board Members Absent: Lipika Mukerji

DPD Staff Present: Lisa Rutzick

SITE & VICINITY

Site Zone: NC2 P-40'

Nearby Zones: (North) NC2-40'
(South) NC2P-40'
(East) NC2P-40'
(West) SF 5000

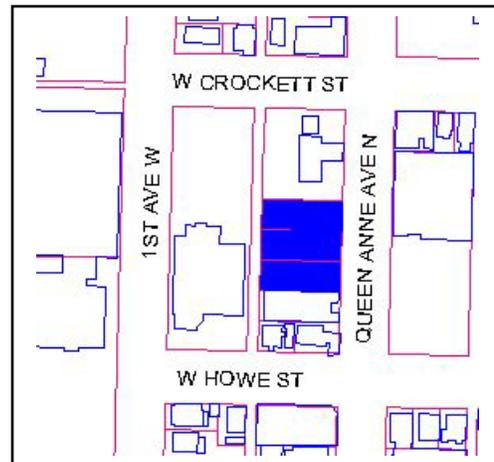
Lot: 16,348 Sq. Ft.

Current Development: Small Scale Commercial with a surface parking lot.

Access: The site may be accessed via Queen Anne Ave. N. to the east and an improved alley to the west.

Surrounding Development: This area transitions to single family zoning and development to the west and commercial development along Queen Anne Ave. N. to the north, south and east. Recent development along Queen Anne Avenue include mixed-use with retail and residential components.

ECAs: There are no mapped environmentally critical areas on site. The site is relatively flat, with a slight slope down from east to west.



Neighborhood Character: Queen Anne Avenue is a designated pedestrian street and lies within the area subject to the Queen Anne Neighborhood-Specific Guidelines.

PROJECT DESCRIPTION

The proposal is for a 4-story structure containing 57 apartments over 8,180 sq. ft. of ground level retail space. Parking for 63 vehicles to be provided below grade. Existing structures to be demolished. (This is a revised project, formerly under MUP #3006531).

DESIGN PRESENTATION

Three alternative design schemes were presented. All of the schemes show vehicular access from the alley and a residential entrance on the north end of the east façade (facing Queen Anne Avenue). The first two schemes satisfy the Code minimum and would not require departures. The third and applicant's preferred scheme would require a departure from the alley setback.

The first scheme (Option A) showed a code compliant design that does not take advantage of the three-foot height incentive provided by the Queen Anne Neighborhood Guidelines. The tripartite east façade has a central section indented without any balconies to create three building modules to break down the scale of the building mass in response to the smaller scale development along the Avenue.

The second scheme (Option B) showed the central section projecting forward of the two ends, making the central section more dominant. This alternative included bay windows and balconies.

The third and applicant preferred scheme (Option C) used the approved design from the previously approved MUP as a starting point with the central section recessed to create public space at ground level. The first three floors were capped with a parapet railing and the uppermost level setback.

PUBLIC COMMENT

One member of the public attended this Early Design Review meeting. The following comments, issues and concerns were raised:

- Stated that the existing trees on the site should be preserved.

PRIORITIES & BOARD RECOMMENDATIONS

After visiting the site, considering the analysis of the site and context provided by the proponents, and hearing public comment, the Design Review Board members provided the

following siting and design guidance. The Board identified the Citywide Design Guidelines & Neighborhood specific guidelines (as applicable) of highest priority for this project.

A. Site Planning

A-2 STREETScape COMPATIBILITY

The siting of buildings should acknowledge and reinforce the existing spatial characteristics of the right-of-way.

Queen Anne Supplemental Guidance:

- a. Architectural Diversity:** Buildings that reflect a diversity of architectural shapes, sizes, styles and themes are considered positive attributes of the Queen Anne neighborhood.
- b. Older and Historic Buildings:** Existing, older buildings are valued by the community and they should be preserved or modified for reuse, when possible. New structures should respect and be designed to complement historical buildings and sites (See Historical Building and Site Survey prepared by Mimi Sheridan).
- c. Wider Sidewalks:** Compatibility with the desired streetscape can be enhanced by increasing the width of the sidewalk to 15' – 16', in order to relieve congestion (see related guideline in Pedestrian Environment, D-1, Pedestrian Open Spaces and Entrances).
- d. Ground Level Residential:** The community values existing ground level residential uses that add variety to the appearance and use of commercial corridor.
- e. Streetscape Improvement:** Streetscape design with new development should enhance the pedestrian environment in Upper Queen Anne according to a consistent high quality overall strategy. Priority locations for major streetscape upgrades are at Galer and Queen Anne Avenue N.E.; Boston Street one block east of Queen Anne Avenue; Queen Anne Avenue and McGraw Street; and Crocket Street and Queen Anne Avenue. In general streetscape improvements should include consistent fixtures for pedestrian-scaled street lamps; hanging planters; benches and bike bollards. A consistent compact deciduous street tree is preferred. Addition of curb bulbs at intersections of Queen Anne Avenue are encouraged. Developers may elect to take specific guidance on streetscape treatments from the Picture Perfect Queen Anne Streetscape Master Plan prepared by the community to identify specific preferences for street treatments. However, adherence to the streetscape master plan is voluntary.

At the EDG meeting, the Board was pleased with the proposed plaza area, shown in scheme C, near the main entrance to create an inviting, open space. The Board also appreciated the proposed tripartite division of the east elevation, although the Board encouraged a redesign of the sections to be less symmetrical. The Board would like to see further development of a scheme that examined the asymmetry of the east elevation and achieves three bays within the middle module.

A-4 HUMAN ACTIVITY

New development should be sited and designed to encourage pedestrian activity on street.

Queen Anne Supplemental Guidance:

a. Outdoor Dining: Outdoor eating and drinking opportunities are encouraged along street-level building facades.

b. Individualized Storefronts: A diversity of scale and appearance of storefronts contributes to the success and vitality of the business district. The community encourages opportunities for individual retail businesses to personalize or modify their storefronts. Such modifications could include awning or canopy design, sign design, window design and street-level building surface materials.

At the EDG meeting, the Board noted that the windows at the upper floors of the east elevation should face the plaza, including the walls that run east-west, so that there are views to and from the plaza to the units above, creating a more lively sense of active space. The Board also agreed that the storefront windows should be more visible to the street and not recessed or hidden behind columns. The Board also noted its support for placing balconies on the middle section of the building if they are part of the architectural massing and integrated into the building design.

B. Height, Bulk & Scale

B-1 HEIGHT, BULK AND SCALE

Provide sensitive transition to nearby, less intensive zones.

Queen Anne Supplemental Guidance:

The primary community objective regarding the height, bulk and scale of buildings addressed by these guidelines is to minimize their impact upon the pedestrian experience and the adjacent single-family properties. Queen Anne neighborhood commercial areas are characterized by older, one- and two-story buildings, built on narrow 30- or 45-foot-wide lots. Many of these structures were further divided with storefronts as narrow as 15-foot-wide. Buildings that extend to fill the allowable zoning envelope often appear too massive. The community prefers smaller-scale structures that are less intrusive. Several development strategies meant to minimize the impact of large buildings and enhance the community's street-related experiences are preferred by the community.

a. Breaking up Building Mass: The height, bulk and scale of new buildings should reflect the architectural character and scale of the community.

- 1. Building mass should be broken into distinct but related sections that reflect the historic 30- and 45-foot-wide lot sizes. This can be achieved through changes in building height and setbacks, materials, coloring, and architectural detailing.**

Street-front facades are discouraged to extend beyond 60' without this architectural consideration. Although monolithic street façades are discouraged

on Queen Anne, simple structures that are well-fenestrated and are rich in detail at the ground level can achieve a building scale appropriate to the neighborhood. Many early, 20th-century building facades are relatively unmodulated but are successful because of their material composition and attention to architectural detail.

b. Preferred Strategies for Modulation: Several strategies for building modulation are preferred:

- 1. Bay windows, if consistent with the building's architectural vocabulary, are encouraged on street-facing façades. Preferably, bay windows should be no more than 14' wide.**
- 2. The use of balconies on the street front elevation of buildings is discouraged, although Juliet balconies often provide an acceptable façade enhancement and increase light and air into the building and onto the street. Balconies are encouraged on facades that face adjacent single-family properties in order to create a façade treatment more sensitive to the single-family neighbors.**
- 3. Using a variety of modulation methods helps avoid monotony along the street frontage.**

c. Top Floor Setback: To increase natural light on the street, reduce the apparent height of new buildings and preserve the feel of smaller-scale commercial buildings, the community would consider supporting a departure for additional building height of 3 feet for projects that step back the top floor of the structure a minimum of 6 feet from the street side façade(s).

d. Setbacks where Commercial abuts Residential: When possible, building heights should be reduced and setbacks increased where commercial uses abut residential uses. However, the community strongly supports wider sidewalks and pedestrian open spaces along public streets. In order to help a development provide these features, the community would likely support development flexibility by granting departures, as appropriate.

At the EDG meeting, the Board supported designing the upper two levels to appear as light as possible, including stepping them back to minimize their presence. The Board agreed that the lower three floors should have greater emphasis and relate directly to the streetscape and scale. The raised cornice and integrated railing between the third and fourth floor emphasize the horizontal lines and three story volume that de-emphasizes the upper two floors. The Board also supported creation of a usable open space behind this railing, within the setback area.

The Board notes that if the alley setback is not met, then the design should make efforts to be sensitive to the single family residential zone across the alley, even though it is currently developed with a large community swimming pool, surface parking lot and intervening park lawn. The Board agrees that the alley façade should be addressed as part of the overall building design and not ignored as an invisible part of the project. The ground level of the alley

elevation, in particular, should screen the dumpsters. Also, shadow impacts from the proposed structure on the lawn area should be examined.

C. Architectural Elements

C-2 ARCHITECTURAL CONSISTENCY

Building design elements, details and massing should create a well-proportioned and unified building form and architectural concept.

At the EDG meeting, the Board agreed that the vertical lines should be de-emphasized to appear less heavy and dominant. The Board also stated a preference for the ten-foot wide bays (versus the twelve-foot bays). The Board agreed that there were positive elements from the previously approved MUP that should continue as part of the current design, such as massing modules, materials and details. The Board encouraged more traditional, small-scale details that will create a simple architectural statement.

The Board agreed that a setback at the ground level would be beneficial to the pedestrian-friendly nature of Queen Anne Avenue by increasing the sidewalk width and allowing space for the retail use to spill out onto the pedestrian realm. The Board enthusiastically supports using this space to utilize Green Factor features such as art that catches rainwater run-off.

C-4 EXTERIOR FINISH MATERIALS

Building exteriors should be constructed of durable and maintainable materials that are attractive even when viewed up close. Materials that have texture, pattern, or lend themselves to a high quality of detailing are encouraged.

Queen Anne Supplemental Guidance:

a. Building for the Long Term: New buildings should be designed and built as high-quality, long-term additions to the neighborhood with design and materials appropriate to Queen Anne.

b. Cladding Materials: High-quality cladding materials, such as brick and terra cotta, tile, natural and cast stone are suitable for the planning area. Although primary attention to material quality should be paid to the streetscape façade, quality materials are also desirable on alley facing facades.

- **Brick is the most common surface treatment in Queen Anne’s commercial areas and is strongly encouraged.**
- **The use of applied foam ornamentation and EIFS (Exterior Insulation & Finish System) is highly discouraged, especially on ground-level locations.**
- **Materials that are subject to fading and discoloration should also be avoided.**

c. Ground-floor Façade Materials: Finish materials on ground-floor facades adjacent to pedestrian open space and sidewalk areas should exhibit quality and refined architectural detailing.

- Cast stone, tile or brick that reflects architectural features on existing buildings is strongly encouraged.
- Large storefront windows should be composed of quality materials.
- The use of concrete as an exterior material along ground-floor facades is discouraged, unless well detailed and crafted.
- Absorbent or matte-finish materials that make cleaning or removing graffiti difficult are discouraged.

d. **Colors:** Colors should be applied sensitively and should be considered in terms of their relationship to neighboring buildings.

e. **Renewable Materials:** When possible, use renewable building materials acquired from regional producers and manufacturers.

The Board would like to see a material palette of brick and other kinds of masonry that is desirable to the community. The Board acknowledges that the narrow site has only 45 feet of frontage along Queen Anne Avenue. Thus, the Board agrees that the treatment of this east façade is critical and will be scrutinized for a design that integrates high quality materials and architectural detailing that includes simple, elegant features along the building façade. The pedestrian level, in particular, should seek to engage the passers-by. The Board feels that the architecture of this building should strive to be a special asset to the community.

The Board agreed that the design should use high quality, functional and attractive windows, as well as other high quality materials throughout the building. The Board requires a color and materials board to be presented at the Final Design Review meeting.

D. Pedestrian Environment

D-1 PEDESTRIAN OPEN SPACES AND ENTRANCES

Convenient and attractive access to the building' entry should be provided. To ensure comfort and security, entry areas should be sufficiently lighted and entry areas should be protected from weather. Opportunities for creating lively, pedestrian-oriented open space should be considered.

Queen Anne Supplemental Guidance:

Sidewalks along Queen Anne Avenue are typically too narrow to support a viable pedestrian environment. Sidewalks become congested, outdoor seating and other pedestrian amenities are difficult to accommodate and people, their dogs, strollers, and bicycles damage in-ground plantings. Wider sidewalks are viewed as being vital to creating a vibrant pedestrian environment.

a. **Building Setbacks for Wider Sidewalks:** Where possible, buildings should be set back 3 to 4 feet from property lines abutting public sidewalks to provide increased sidewalk width (at least 15' – 16', including walkway and amenity strip) along Queen Anne Avenue.

- b. Creating Pedestrian Open Space: Courtyards and other pedestrian open spaces that accommodate outdoor eating, serve as public gathering areas, or provide greenery along the streetscape are especially encouraged. Such areas should be sited, if possible, to allow sunlight to penetrate.**
- c. Recessed Retail Entry Areas: Retail entries that are recessed and designed to encourage and enhance pedestrian movement and activity are preferred. The scale of retail entries should be commensurate with the façade.**
- d. Avoiding Dark, Unusable Spaces: The spaces created by recessed storefronts, facade modulation or building setbacks at ground-level should not darken retail areas and should be large enough to be usable by pedestrians or to provide opportunities for uses such as outdoor café seating or flower shop displays.**
- e. Pedestrian Weather Protection: Some pedestrian weather protection, in the form of canopies and awnings over sidewalks, is desirable. However, the community values open air and sunlight, so long; unbroken stretches of overhead protection are discouraged. Structures longer than the traditional 45-foot wide buildings characteristic of Queen Anne should avoid continuous and uniform awnings or canopies. Pedestrian weather protection that provides for sunlight at the street level, through either clear glass or retractable systems, should be considered. (See related guideline in Architectural Elements and Materials, C-2, Individualized Storefronts)**
- f. Operable Storefront Windows: Storefront windows that open the interior space to the sidewalk are encouraged to provide outdoor eating and drinking opportunities.**
- g. Retail Use and Open Space at Sidewalk Level: Retail uses adjacent to sidewalks should be located at sidewalk level. Below grade entries are discouraged. Setbacks and plazas should be at sidewalk level, although outdoor dining plazas or terraces elevated above the sidewalk level are acceptable if they are wheelchair accessible.**
- h. Pedestrian Amenities and Street Furniture: New development should be encouraged to integrate pedestrian amenities including, but not limited to street trees, pedestrian lighting, benches on street corners, trash receptacles, consolidated newspaper racks, public art, and bike racks in order to maintain and strengthen pedestrian activity. (See also guideline A-2 Streetscape Compatibility)**
- j. Bus Waiting Facilities in Buildings: Incorporate facilities for transit riders within building facades at bus stops. This could include covered waiting areas with benches, landscaping and lighting. (See related guideline in Pedestrian Environment, D-7, Bus Bulbs)**
- k. Residential Entries: Residential entries should be clearly pronounced and set back from the street. On side streets, stoops with elevated entries and open spaces are encouraged.**

The Board noted that for safety reasons, the residential entrance should not be too recessed and should be differentiated with a unique canopy or other distinguishing feature.

D-2 BLANK WALLS

Buildings should avoid large blank walls facing the street, especially near sidewalks. Where blank walls are unavoidable, they should receive design treatment to increase pedestrian comfort and interest.

D-9 COMMERCIAL SIGNAGE

Signs should add interest to the street front environment and should be appropriate for the scale and character desired in the area.

Queen Anne Supplemental Guidance:

a. **Pedestrian-oriented Signs:** Pedestrian-oriented signs, such as blade signs mounted perpendicular to pedestrian sidewalks on storefronts or on the underside of rain canopies, architecturally integrated signs and small, unique signs (such as signs made of natural materials like painted wood, carvings, metal or etched glass) are encouraged. Directional lighting for signs is also encouraged.

b. **Signs to Avoid:** Backlit signs, digitally animated signs and illuminated letters that are typically auto-oriented rather than pedestrian-oriented are discouraged.

D-10 COMMERCIAL LIGHTING

Appropriate levels of lighting should be provided in order to promote visual interest and a sense of security for people in commercial districts during evening hours.

Queen Anne Supplemental Guidance:

a. **Preferred Pedestrian Lighting:** The following modes of pedestrian lighting are preferred:

- Pedestrian-scale street lighting, such as 19-foot-high pole fixtures
- Exterior wall sconces on the front of buildings
- Down lighting under rain canopies
- Display window lighting that casts soft light on sidewalks

b. **Pedestrian lighting considerations:**

- Pedestrian lighting should be coordinated with tree plantings so that pedestrian areas will be well-lighted beneath trees as they mature, as well as beneath storefront canopies.
- Fixtures should include shielding to prevent glare into single-family homes and residential units on floors above the sidewalk level.
- Recessed entryways should be lit with wall sconces or other down-lighting fixtures.
- Bollard light fixtures are discouraged.

D-11 COMMERCIAL TRANSPARENCY

Commercial storefronts should be transparent allowing for a direct visual connection between pedestrians on the sidewalk and the activities occurring on the interior of the building. Blank walls should be avoided.

Given the project's location along the commercial spine of upper Queen Anne, the Board strongly emphasized that the design should reinforce and enhance pedestrian and sidewalk activity along Queen Anne Avenue North. The Board supported plans to improve the right-of-way along Queen Anne Avenue with street trees, landscaping, lighting, seating, textures, paving and other elements that contribute to a vibrant and interesting streetscape. Additionally, the Board would like to review a conceptual signage and lighting plan for the proposed building.

E. Landscaping

E-2 LANDSCAPING TO ENHANCE THE BUILDING AND/OR SITE

Landscaping, including living plant material, special pavements, trellises, screen walls, planters, site furniture and similar features should be appropriately incorporated into the design to enhance the project.

Queen Anne Supplemental Guidance:

a. Green Factor Focus on Ground-level Plantings: The Green Factor, a requirement of the Seattle Land Use Code, should be thoughtfully applied; a focus on ground-level plantings that enhance the pedestrian environment is strongly recommended.

b. Recommended Landscape Enhancements: The following landscape enhancements are encouraged:

- 1. Soften the building form by using wall-hung trellises, terraced landscaping, planted retaining walls, or include planted pergolas to shelter pathways and courtyards.**
- 2. Incorporate a planter wall or planter box as part of the architecture.**
- 3. Include a planted landscaped courtyard, entryway or fountain.**
- 4. Distinctively landscape open areas created by building modulation with in-ground plantings or large planters.**
- 5. Emphasize entries and corners with special plantings or planted containers in conjunction with decorative paving, sculpture and lighting.**

c. Evergreen Plantings: The use of mostly evergreen plants is strongly recommended for a year-round attractive landscape.

d. Quality Landscaping Materials: Lush landscape materials and the use of interesting details in paving, outdoor furniture, fountains and artwork are encouraged.

e. Recommended Plants: Plant selections should be tailored to the light conditions on the east and west sides of Queen Anne Avenue. Developers may elect to take guidance on plant selections from a plant list prepared by Picture Perfect Queen Anne to communicate specific community preferences.

f. Planted Containers: A variety of planted containers to mark business entries is encouraged to enhance the pedestrian environment.

The Board emphasized that the entry plaza area should be the central element of this building and the design of this space should endeavor to create a special, well detailed and well considered heart of the project. The Board will be interested in how the open spaces include

creative ways of achieving the Green Factor, public art opportunities and interesting landscaped and hardscaped spaces. The Board also encouraged the project to integrate guidelines from Picture Perfect Queen Anne.

DEVELOPMENT STANDARD DEPARTURES

The Board's recommendation on the requested departure(s) will be based upon the departure's potential to help the project better meet these design guideline priorities and achieve a better overall design than could be achieved without the departure(s). The Board's recommendation will be reserved until the final Board meeting.

At the time of the Early Design Guidance meeting, the following departure was requested:

- 1. Alley Setback. (SMC 23.47.014.B4):** The Code requires that the portions of the building above 13 feet are set back 15 feet from the center line of the alley because the site is across the alley from a residential zone. The existing alley is 16 feet wide, so the set back requirement would be seven feet east of the west property line. The applicant proposes a setback of eight feet for a portion of the building facing the alley.

The Board indicated possible support for such a departure provided that the area of encroachment is kept to a minimum, the rest if the elevation is modulated and treated as a fourth facade rather than as an alley façade that suffers from downgraded materials and a lack of aesthetic appeal.

BOARD DIRECTION

At the conclusion of the EDG meeting, the Board recommended the project should proceed to Master Use Permit application.