

# QUEEN ANNE TOWNHOMES FOR SHELTER HOMES

## 2120 9TH AVE W - STREAMLINED DESIGN REVIEW

3042130-EG  
7034837-CN

**ARCHITECT:**

**VANDERVORT ARCHITECTS**

CC: MARK WIERENGA

2000 FAIRVIEW AVE E, SUITE 103

SEATTLE, WA 98102

(206) 784-1614

**PROPERTY OWNER:**

**SHELTER HOMES**

CC: RON FROTON

2461 152ND AVE NE

REDMOND, WA 98052

**LANDSCAPE ARCHITECT:**

**ROOT OF DESIGN**

DEVIN AGEE

2020 MALTBY ROAD, STE 7, PMB 370

BOTHELL, WA 98021



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# 9TH AVE W TOWNHOMES

## DEVELOPMENT OBJECTIVES

### 01. PROJECT INFORMATION

#### PROJECT DESCRIPTION.

We are proposing six new townhouse dwellings with six accessory parking spaces in the West Queen Ann neighborhood of Seattle. This LR-1 zoned site sits above 9th Ave W, and is at the edge of a fairly steep slope, about 20' above the roadbed. The dwellings will be divided into two buildings - three units will front on the 9th Ave W right of way and three will be adjacent to the alley. We are proposing a large courtyard between the dwellings to enhance privacy and pedestrian interaction benefiting all dwellings.

### 02. SITE ANALYSIS

Auto parking will be provided at a rate of one parking stall per dwelling unit. The parking will be immediately adjacent to the alley and covered by the rear building.

Our goal is to enhance the existing built environment by providing high-quality ground related housing that meets the needs of many possible household types, while relating well to the existing neighborhood.

### 03. DESIGN STANDARDS

This project site is just north of address 2111 9th Ave W, which is a townhouse project, and just south of address 2126 9th Ave W, which is a site that will be developed alongside this project by the same development team. 2120 and 2126 9th Ave W are fully independent development projects.

### 04. ARCHITECTURAL CONCEPT

PROJECT #. 3042130-EG / 7034837-CN  
LOT AREA. 7,204 SF  
PROPOSED DWELLING TYPE. SIX TOWNHOUSE DWELLINGS - 3-BEDROOM UNITS  
RESIDENTIAL GFA PROPOSED: 9,973 SF

### 05. CODE ADJUSTMENTS

FLOOR AREA (FAR). ALLOWED: 9,973 SF  
PROPOSED: 9,333 SF  
BUILDING HEIGHT. 30' + 10' MAX. STAIR PENTHOUSE (3-STORY WITH ROOF DECKS)  
AUTO PARKING. SIX PARKING STALLS





COMMUNITY OUTREACH - SITE MEETING

A previously noticed site meeting was conducted on November 19th to invite the neighbors and allow for questions and comments. The meeting was held on the alley adjacent to the site (east side). The ownership / design team was represented at the site visit and questions were asked and answered. A full summary of the community outreach effort can be found in the project portal under project number 3042130-EG.

SITE MEETING DISCUSSION SUMMARY

Questions were asked about number the of proposed dwellings and about the proposed design. The project scope is stated in the meeting description as six dwelling units in two buildings. The project design was shared with the attendees.

Questions were asked about construction timing. The project team discussed an anticipated construction schedule and discussed the TRA0 process to protect existing tenants.

A question was asked about the ownership of the property. The project team clarified that the property was under contract to be purchased by Shelter Homes.

Questions were asked about tree removal. The project team responded that the number of removed trees was not yet known, but that the City’s tree ordinance will be followed.

There were questions about parking location and access. The project team shared that the parking will be accessed from the alley, and located under the east building.

Solid waste storage and pickup was a discussion topic. Neighbors were concerned about waste staging within the alley ROW. Respondents made clear that solid waste will have a designated on-site storage area, and that storage and staging will be reviewed by the city as part of the permit process.

Questions were asked about adjacent development. It was made clear to attendees that site to the north will also be redeveloped (address 2120 9th Ave W), but the ownership / design team was not aware of other development projects in the area.

Questions were asked about the owner’s experience building townhomes, what these dwellings will sell for and if any dwellings would be workforce housing. The project team shared that the owner (Shelter Homes) has a lot of experience building townhomes in Seattle, that these will be market rate dwellings and that the sale prices are not yet known.

Further questions about the project may be forwarded to Mark Wierenga of Vandervort Architects:  
206-784-1614 x3  
markw@vandervort.com

Tuesday, November 19<sup>th</sup> Site Meeting Photos



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PROPOSED SITE CONDITIONS  
SITE PLAN

01.  
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2126 9TH AVE W:

A FOUR-UNIT TOWNHOUSE PROJECT NORTH OF  
SUBJECT SITE. THIS PROJECT IS NOT FUNCTION-  
ALLY RELATED TO 2120 9TH AVE W.

02.  
SITE  
ANALYSIS

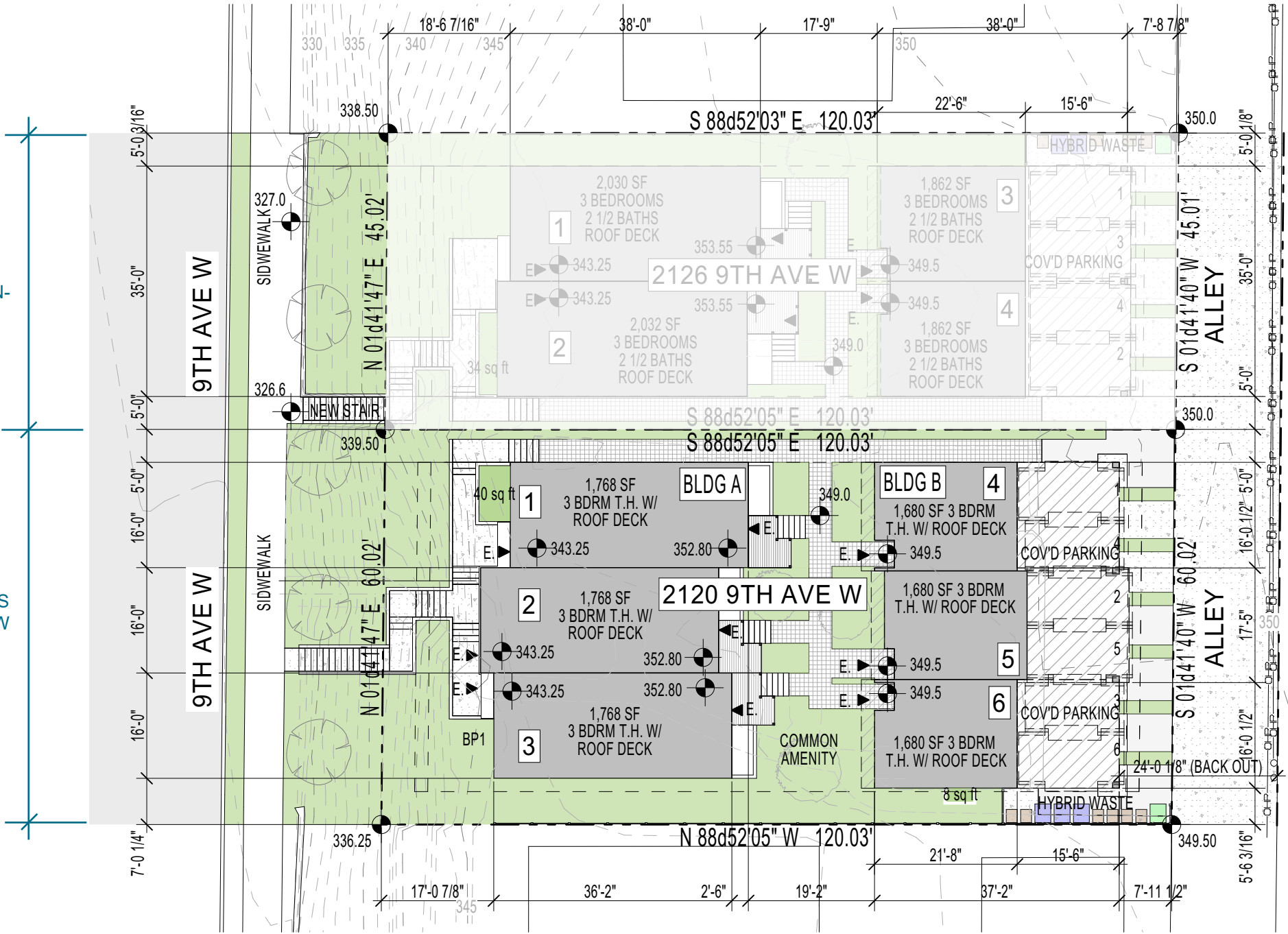
03.  
DESIGN  
STANDARDS

2120 9TH AVE W (SUBJECT SITE):

A SIX-UNIT TOWNHOUSE PROJECT SUBJECT TO  
STREAMLINED DESIGN REVIEW. THIS PROJECT IS  
NOT FUNCTIONALLY RELATED TO 2126 9TH AVE W

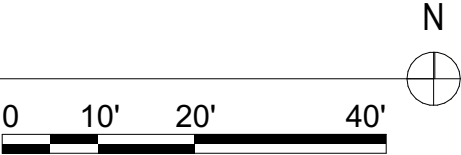
04.  
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PARCEL NUMBER: 701120-0455  
LEGAL DESCRIPTION: LOTS 13 AND 14,BLOCK 3, QUEEN ANNE SECOND ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGE 94, RECORDS OF KING COUNTY, WA.

2120 9TH AVE W





## 01. PROJECT INFORMATION

### 03. DESIGN STANDARDS

## 05. CODE ADJUSTMENTS





CONTEXT ANALYSIS  
SURROUNDING COMMUNITY

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VICINITY MAP  
LANDMARKS & TRANSPORTATION



1. MACRINA BAKERY



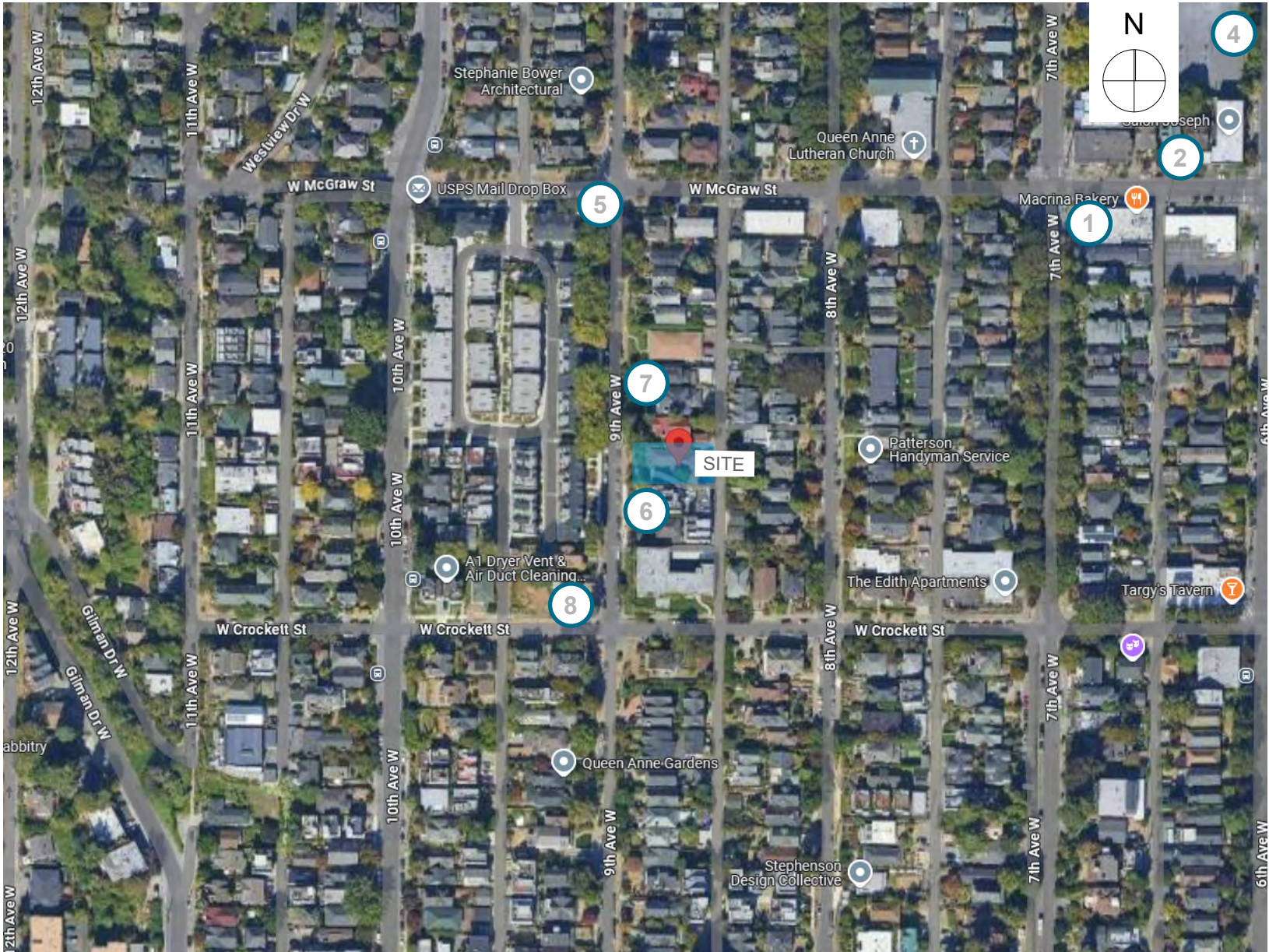
2. SALON JOSEPH



3. FIVE CORNERS



4. COE ELEMENTARY



VICINITY MAP



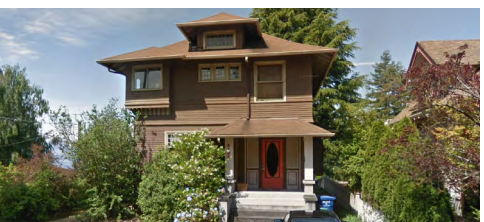
5. MCGRAW SQUARE THOWNHOMES



6. TOWNHOMES TO S. OF SITE



7. ADJACENT SITE TO N. ON 9TH



8. NEARBY HISTORIC HOMES

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SITE PHOTOS

01. PROJECT INFORMATION

02. SITE ANALYSIS

03. DESIGN STANDARDS

04. ARCHITECTURAL CONCEPT

05. CODE ADJUSTMENTS



1. SITE FROM 9TH AVE W



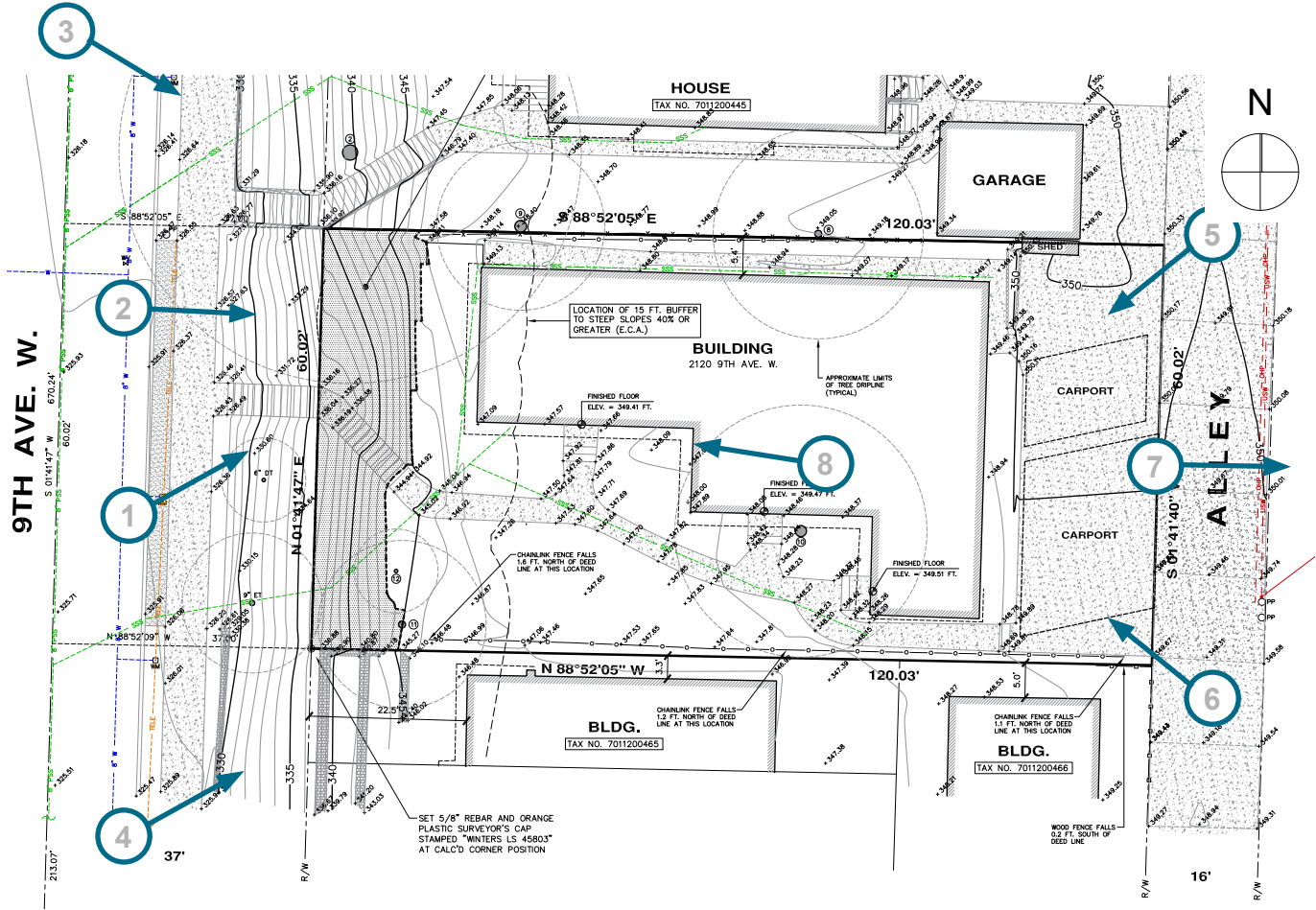
2. SITE FROM 9TH AVE W



3. ADJACENT SITE TO NORTH



4. ADJACENT SITE TO SOUTH



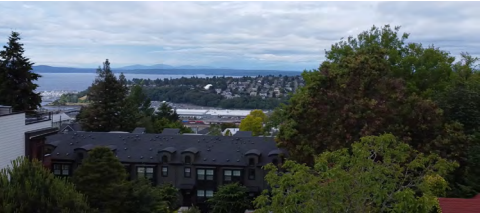
5. SITE FROM ALLEY (LOOKING S)



6. SITE FROM ALLEY (LOOKING N)



7. ALLEY OPOSITE SITE

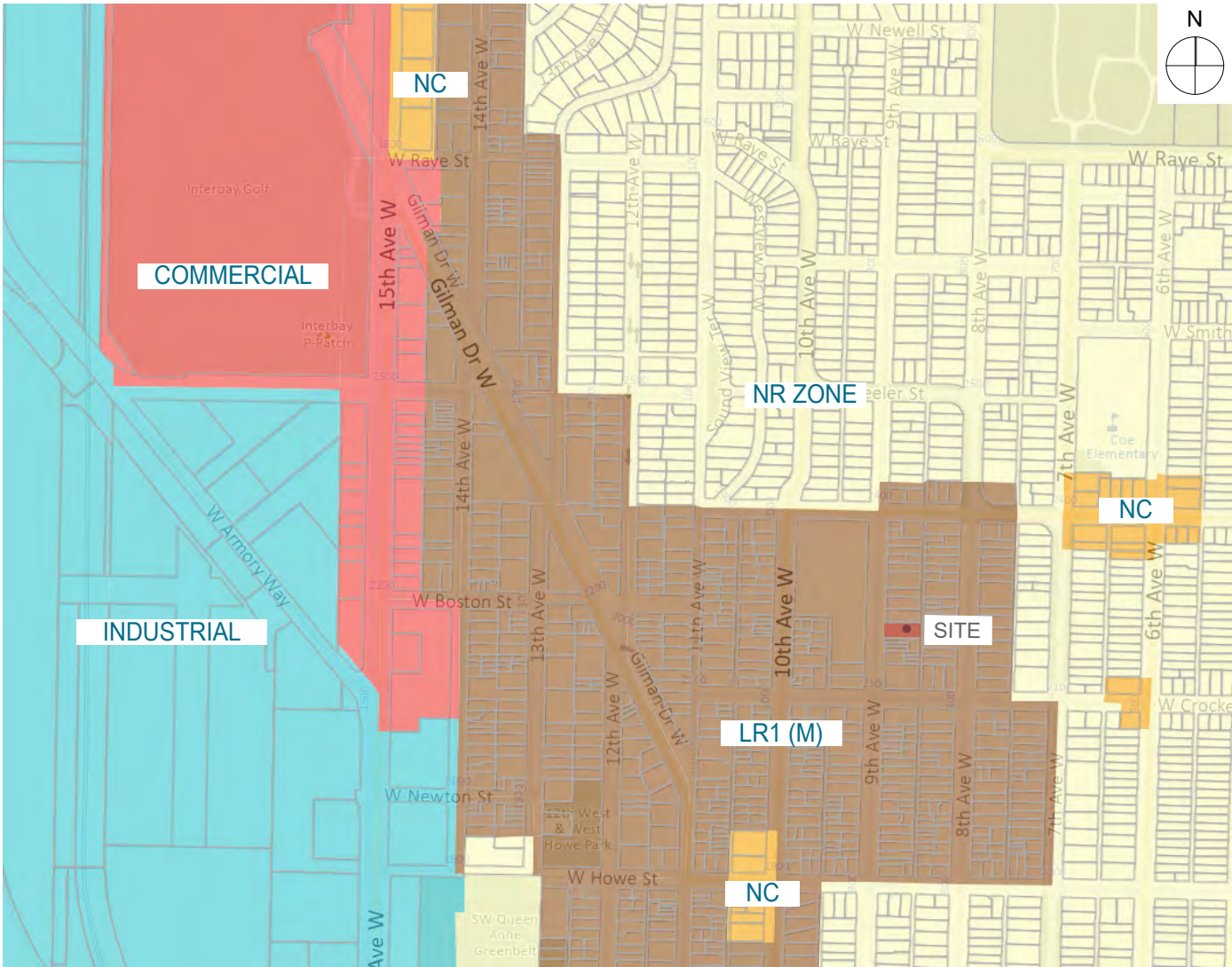


8. VIEW FROM FUTURE RF. DECKS

PHOTO KEY PLAN



ZONING MAP AND CODE SUMMARY



Lot Area Total:	7,204 SF
Zoning:	LR-1 (M) / NO URBAN VILLAGE OR URBAN CENTER OVERLAY
ECA:	STEEP SLOPE CREATED BY 9TH AVE W GRADING (EXEMPTION PREVIOUSLY GRANTED)
Residential Use:	6 TOWNHOUSE DWELLING UNITS
FAR:	FAR MULTIPLIER = 1.3 - 9,365 SF ALLOWED
HEIGHT:	30' BASE HEIGHT ALLOWED. +10' FOR STAIR PENTHOUSE. (3-STORY WITH ROOF DECKS).
SETBACKS:	TOWNHOUSE: 5' MIN/7' AVG. FRONT AND BACK. 5' MIN SIDES (5/7' IF FACADE OVER 40')
AUTO PARKING:	THREE REQUIRED AS PROJECT IS IN FREQUENT TRANSITE. 1 SPACE PER D.U. PROPOSED ALL DWELLINGS.
BICYCLE PARKING:	1 LONG-TERM SPACE REQUIRED PER D.U. NO SHORT-TERM SPACES REQUIRED.
AMENITY AREA:	25% OF LOT AREA MUST BE PROVIDED AS AMENITY AREA. HALF OF THIS MUST BE AMENITY AREA AT GROUND LEVEL.
GREEN FACTOR:	A GREEN FACTOR SCORE OF 0.6 IS REQUIRED FOR THIS SITE.

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CONTEXT ANALYSIS  
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STREET FRONTAGE OPPOSITE SITE



STREET FRONTAGE LOOKING AT SITE



CONTEXT ANALYSIS  
IMAGES OF NEARBY STRUCTURES

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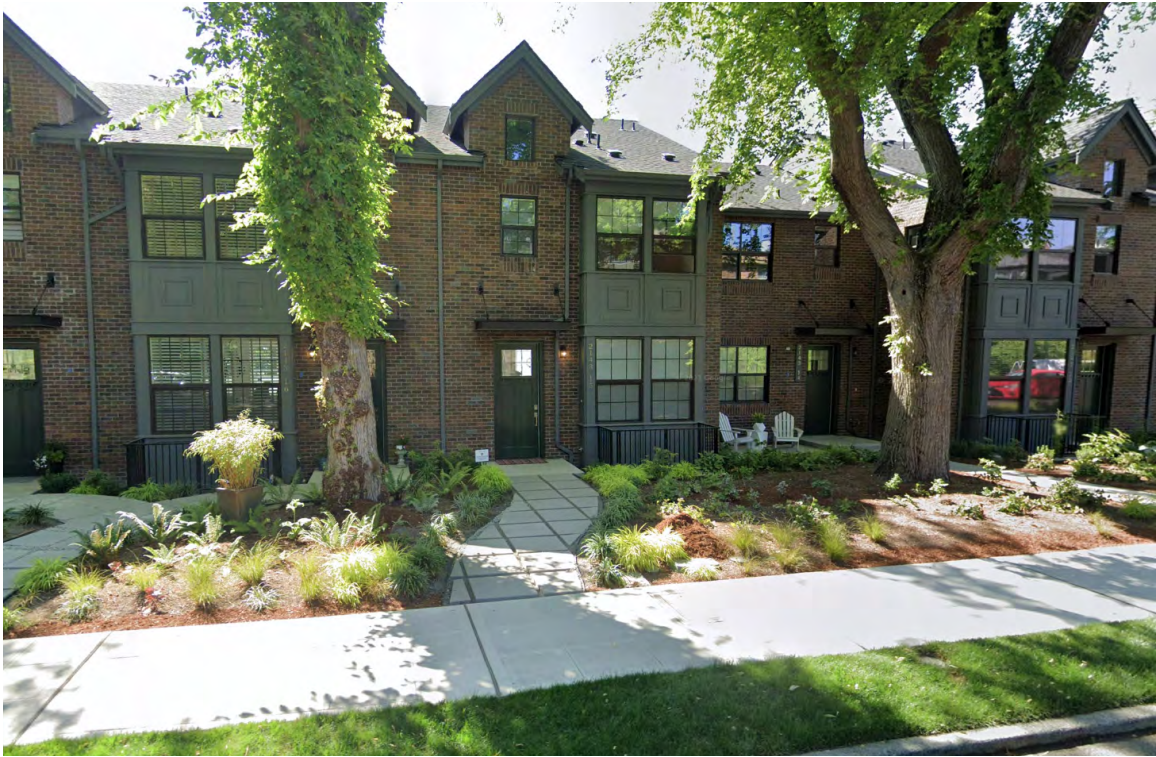
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MCGRW SQUARE TOWNHOMES AT THE SW CORNER OF 9TH AND MCGRW



MCGRW SQUARE TOWNHOMES ALONG 9TH



ADJACENT TOWNHOMES



HISTORIC HOME ON 9TH AND CROCK-



COE ELEMENTARY



MCGRW SQUARE AUTO COURT



## DESIGN STANDARDS COMPLIANCE

## 01. PROJECT INFORMATION

## CS1.C.1&2: Topography and Land Form

**Land Form and Elevation Changes:** This site has a significant elevation change from the street up to the level portion of the site. We are addressing this by siting the front building at grade and stepping the front building down into the site near the edge of the bank. In this way, the visible facade is reduced from the street, the steps required to navigate the slope are also reduced and the pathway is shifted in order to better experience the process of getting up to the site and building entries. Also, this stepping allows the back building to take advantage of roof deck views out to the Puget Sound.

## 02. SITE ANALYSIS

## CS2.A.1: LOCATION IN THE CITY & NEIGHBORHOOD

Sense of Place: We are taking many design queues from the neighborhood in which our project is set. Our design will share a lot of design elements with the McGraw Square townhomes project, including: Use of brick and other traditional claddings, detailed trims and cornices, bay-like elements and a rich color palette. The Coe elementary building is also a nice example of a traditional material palette and nicely detailed trims and forms. In particular, Coe Elementary uses brick as a one story base - a technique that we are showing at the back building. And the remaining cladding is a combination of tight lap siding with panelled bays, a concept that we are implimenting with our design.

### 03. DESIGN STANDARDS

## 04. ARCHITECTURAL CONCEPT

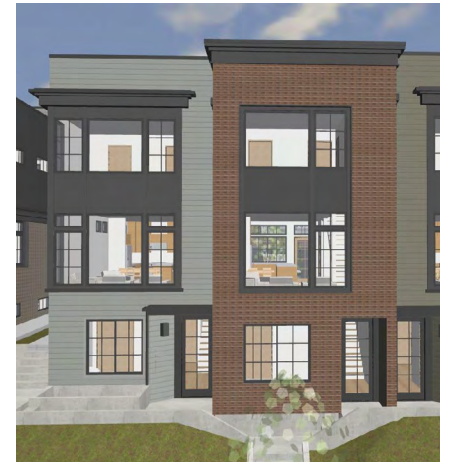
### CS3.A.1: Emphasizing Positive Neighborhood Attributes

Fitting Old and New Together: This neighborhood has a wide assortment of quality historic architecture as well as some very nice new construction. We intend to honor the historic nature of the existing housing stock by creating dwellings that are well proportioned, creating dwellings that are individually identifiable, by including trims and cornices with lots of depth and by including mullions and divided lines within and between our windows.

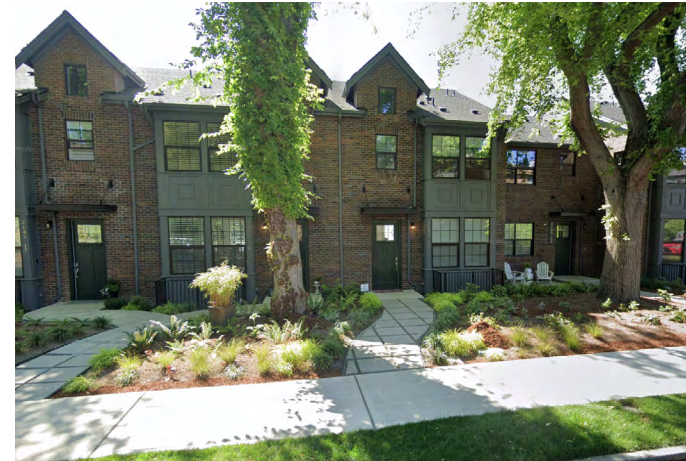
## 05. CODE ADJUSTMENTS



## SITE SECTION SHOWING STEPPING



## REDUCED FRONT FACADE



## EXISTING VINTAGE HOMES NEARBY



## SIMILAR BRICK AND OTHER MATERIALS



## HISTORIC HOUSING STOCK



## VARIETY OF MATERIALS, WINDOW CONFIGURATIONS

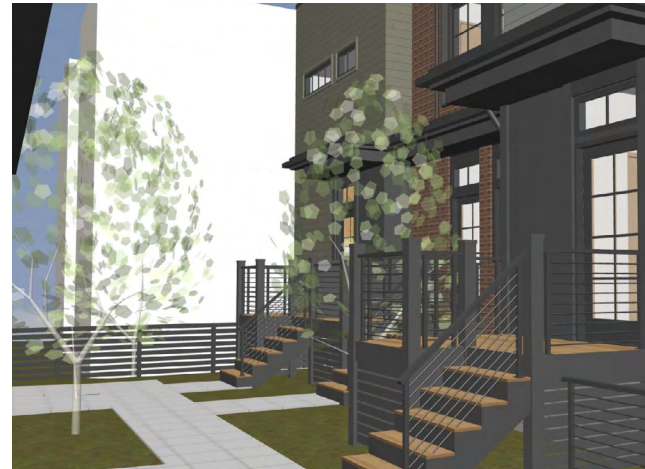




STEPS FROM SIDEWALK



ENSEMBLE OF ELEMENTS AT ENTRY DOORS



INTERIOR COURTYARD USES AND MASSING



SECONDARY ELEMENTS ENHANCE THE BUILDING FACADES



**PL3.A.2: Street Level Interaction**

Ensemble of Elements: Given the grade delta between the sidewalk and the front doors of these units, it is important to have legible entries and a clear expresion of individual dwellings. Thus the stair will be laid out in such a way as to appropriately negotiate the grade change in an interesting fashion and all entries will be visible from the sidewalk level. The entries themselves will have 8' tall doors with gridded glazing, there will be weather protection at each entry in the form of awnings, or floors above. Lighting and addressing elements will be added to provide convenience and decoration.

**DC2.A.1: Massing**

Site Characteristics and Uses: The buildings have been arranged to take advantage of the site by stepping with the hill, as mentioned previously. We have also created a large courtyard space between the dwellings that will function as the front entries for the back building, and as a back entrance for the front building. The front buildings will have a small entry deck to be used for cafe tables, grilling, etc. By routing all dwelling entries via this courtyard, we can activate the space between the buildings to encourage interaction among neighbors. Even within the courtyard space, the massing is arranged such that each individual townhouse dwelling is legible. Entry doors are protected with overhangs. The raised decks have detailed posts with caps and contemporary railings that space between the posts.

**DC2.C.1: Secondary Architectural Features**

Visual Depth and Interest: Even though the massing is fairly simple, we have enhanced the quality of these dwellings with multiple secondary features: Entries are always recessed in order to provide a clear point of interaction, window/door trims are substantial and varied, and cornices are used as a way to mark building tops and entries. The middle brick-faced dwellings have substantial 12" deep cornices that are designed with multiple steps. The end units have a cornice detail that accentuates groupings of windows on the west facades. Finally, a framed detail is introduced on the alley fa- cades that help accencuate the window groupings and to provide detail and shadow lines.

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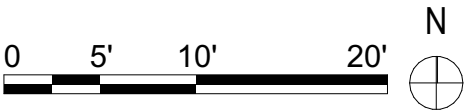
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WEST ELEVATION



EAST ELEVATION



MATERIAL LEGEND



THIN BRICK: "LAKE SHORE CLEAN BRICK"  
BY ENVIRONMENTAL STONWORKS



PAINTED PANEL / TRIM  
COLOR: SW 6991 / "BLACK MAGIC"



SMOOTH HARDI-LAP CLADDING 6" EXPOSURE  
COLOR: SW 9163 - "TIN LIZZIE"



SMOOTH HARDI-LAP CLADDING 6" EXPOSURE  
COLOR: SW 9524 - "CROOKED RIVER"



WINDOWS / GUTTERS / D.S.s  
COLOR: BLACK



ARCHITECTURAL CONCEPT  
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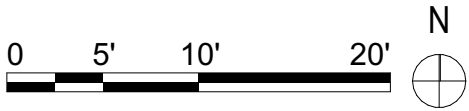
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SOUTH ELEVATION  
MATERIAL LEGEND



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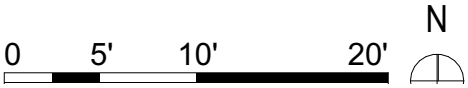
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NORTH ELEVATION



ARCHITECTURAL CONCEPT  
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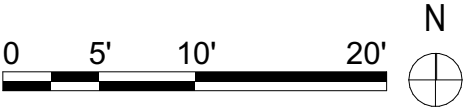
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WEST ELEVATION, UNITS 4-6



EAST ELEVATION, UNITS 1-3





ARCHITECTURAL CONCEPT  
FLOOR PLANS

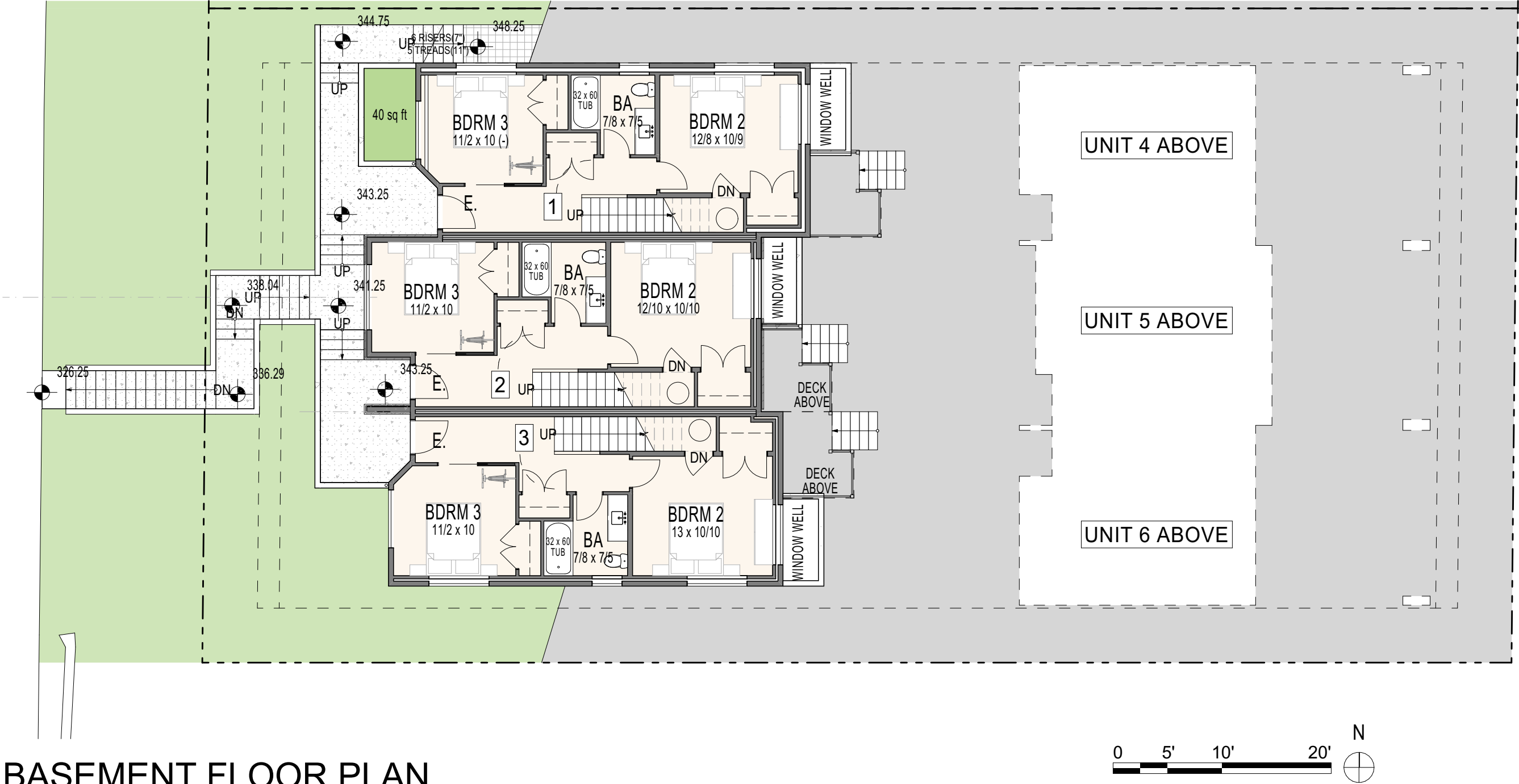
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BASEMENT FLOOR PLAN

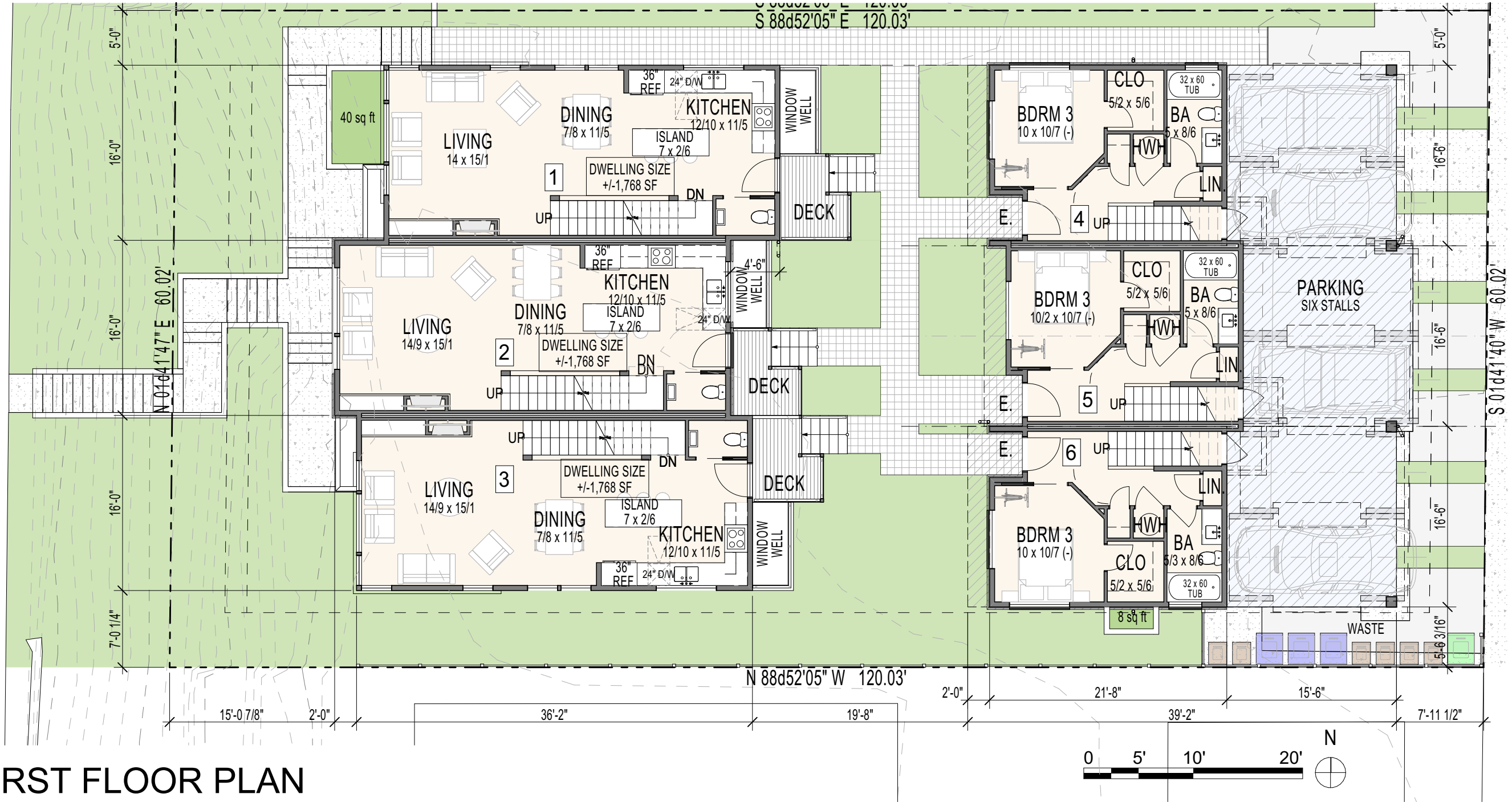
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FIRST FLOOR PLAN



ARCHITECTURAL CONCEPT  
FLOOR PLANS

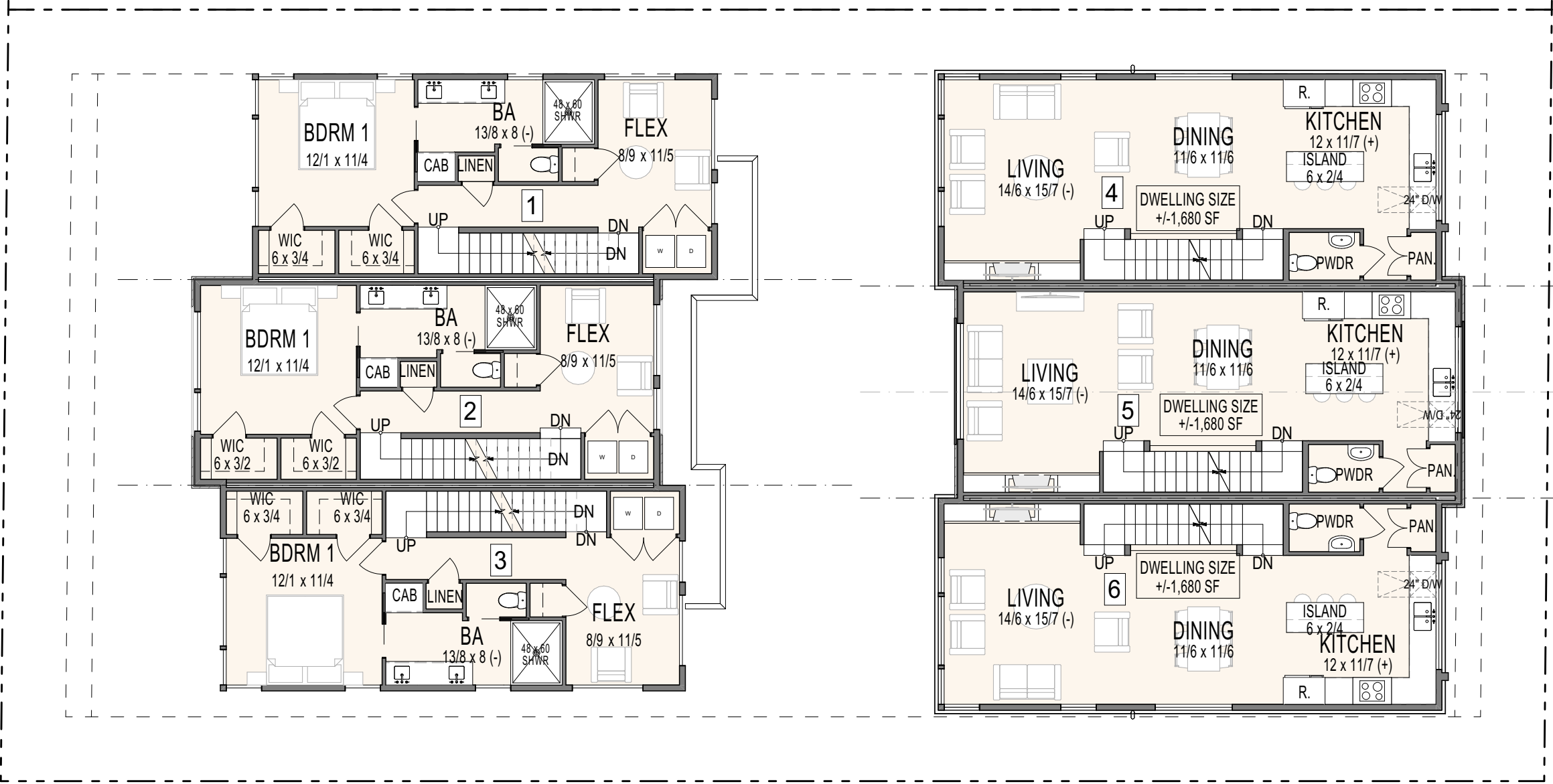
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SECOND FLOOR PLAN



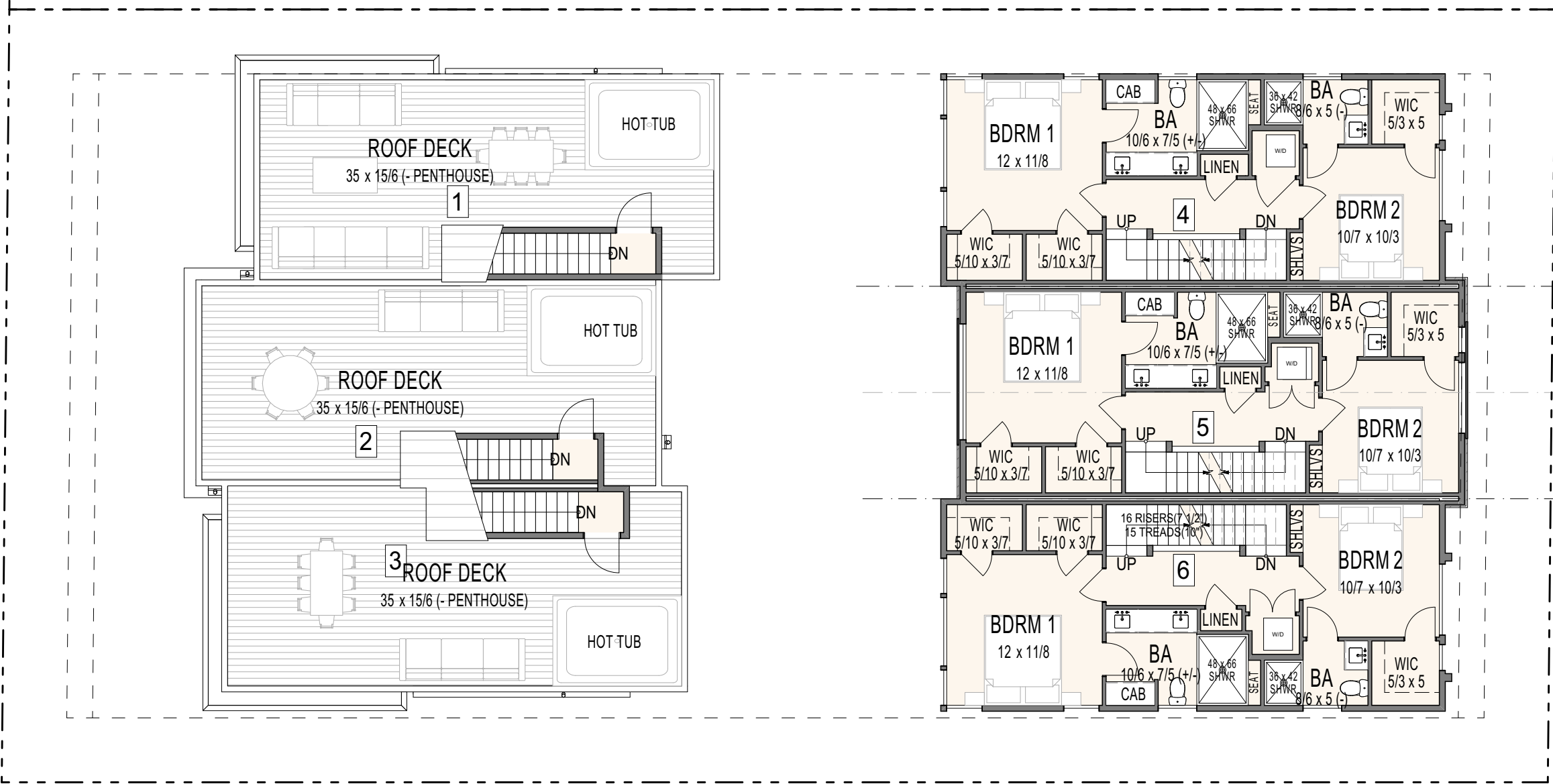
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THIRD FLOOR PLAN



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ROOF DECK PLAN



ARCHITECTURAL CONCEPT  
LANDSCAPE PLAN

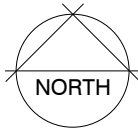
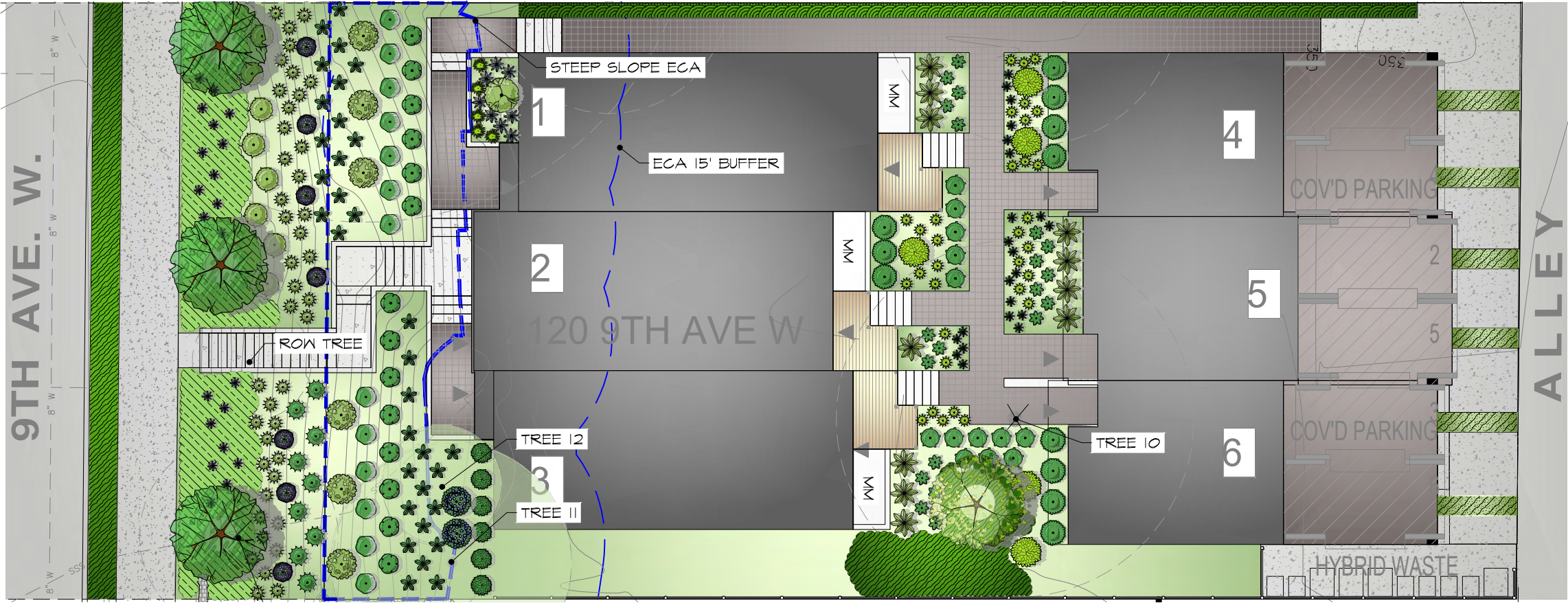
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RENDERED LANDSCAPE PLAN  
SCALE: NTS

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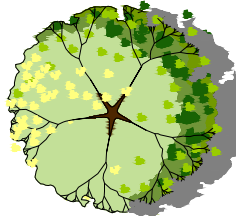
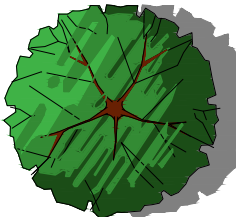




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PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME
TREES	
	Acer griseum / Paperbark Maple
	Cercis canadensis / Eastern Redbud Street Tree - Single leader
GROUND COVERS	
	Pachysandra terminalis / Japanese Spurge
	Rubus calycinoides 'Emerald Carpet' / Creeping Raspberry
	Thymus pseudolanuginosus / Woolly Thyme
	Vinca minor 'Alba' / White Dwarf Periwinkle

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME
SHRUBS	
	Beesia deltophylla / Beesia
	Blechnum spicant / Deer Fern
	Carex oshimensis 'Everillo' / Everillo Japanese Sedge
	Evonymus japonicus 'Greenspire' / Greenspire Upright Evonymus
	Festuca glauca / Blue Fescue
	Hydrangea macrophylla 'Nikko Blue' / Nikko Blue Hydrangea
	Hydrangea paniculata 'Limelight' / Limelight Hydrangea
	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender
	Leucothoe fontanesiana 'Rainbow' / Rainbow Leucothoe
	Mahonia eurybracteata 'Soft Caress' / Mahonia Soft Caress
	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo
	Nassella tenuissima / Mexican Feather Grass
	Prunus laurocerasus 'Mount Vernon' / Mount Vernon Laurel
	Sarcococca ruscifolia / Fragrant Sarcococca
NATIVE SHRUBS	
	Gaultheria shallon / Salal
	Polystichum munitum / Western Sword Fern
	Spiraea douglasii / Western spirea
	Vaccinium ovatum / Evergreen Huckleberry
BIORETENTION	
	Acorus gramineus 'Ogon' / Golden Variegated Sweetflag
	Cornus sericea / Red Osier Dogwood
	Panicum virgatum 'Heavy Metal' / Blue Switch Grass



ARCHITECTURAL CONCEPT  
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FRONT FACADE OF BUILDINGS ALONG 9TH AVE W



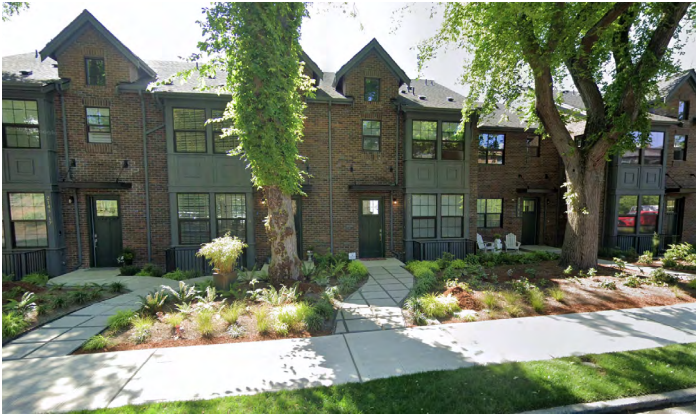
VARIED CLADDING, BRICK BASE AT BACK BUILDING



MCGRAW SQUARE  
- “BAY” FEATURES  
- USE OF BRICK AND WOOD/LAP CLADDING



COE ELEMENTARY  
- CORNICE TRIM  
- USE OF BRICK AS BASE



MCGRAW SQUARE  
- MIX OF MATERIALS: PAINTED LAP/PANEL &  
BRICK



ARCHITECTURAL CONCEPT  
RENDERINGS & REFERENCE PHOTOS

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COURTYARD SPACE, LOOKING AT BUILDING A



COURTYARD SPACE, LOOKING AT BUILDING B



VIEW FROM ALLEY



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SOUTH ELEVATION



BIRDSEYE FROM STREET





BIRDSEYE VIEW



BACK VIEW OF BUILDING A

# ARCHITECTURAL CONCEPT RENDERINGS & REFERENCE PHOTOS



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REQUESTED ADJUSTMENT PER SMC 23.41.081.D.3.a

NARRATIVE REGARDING DESIGN INTENT:

WE BELIEVE THAT MODULATING THE FRONT AND BACK FACADES OF BUILDING B GREATLY BENEFITS THIS PROJECT.

THE LENGTH OF THE FACADES CLOSEST TO THE SIDE PROPERTY LINES ARE LESS THAN 40'. HOWEVER, THE CODE USES THE MAXIMUM LENGTH OF THE BUILDING FOR SIDE SETBACK DETERMINATION. WHEN WE MODULATE THE CENTER UNIT TOWARD THE ALLEY BY 18", THE OVERALL LENGTH OF THE BUILDING IS INCREASED TO OVER 40', AND AN AVERAGE 7' SIDE SETBACK IS REQUIRED BY CODE.

AN ALTERNATIVE TO OUR PROPOSED MODULATION IS TO PROVIDE NO MODULATION TO THE FRONT AND BACK FACADES OF BUILDING B. THIS IS FULLY ALLOWED BY CODE, BUT WILL RESULT IN A MUCH LESS ENGAGING DESIGN.

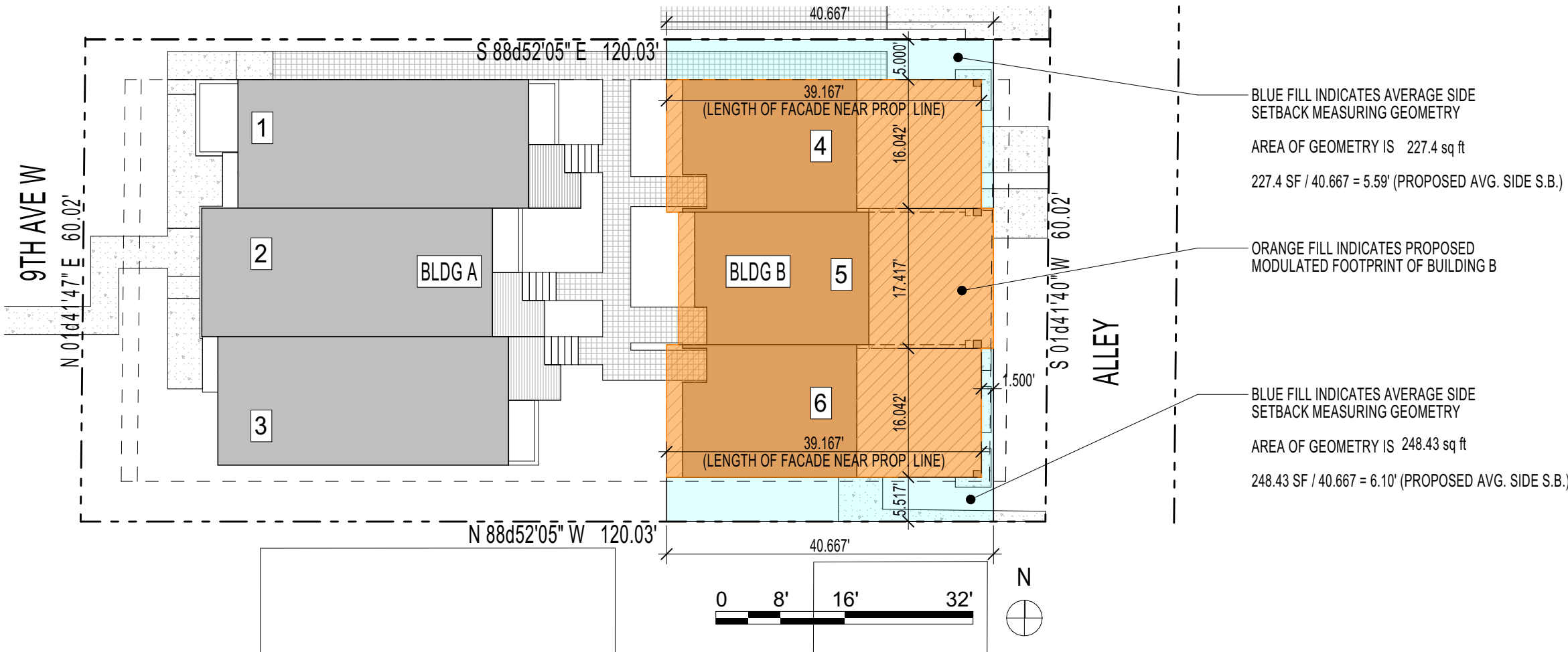
WE FEEL THAT THE REQUESTED ADJUSTMENT IS THE MINIMUM NECESSARY TO ACCOMPLISH THE OBJECTIVES OF THIS DESIGN, AND WE SUPPORT IT WITH DESIGN GUIDELINES AS NOTED ON THE ADJACENT PAGE.

PROPOSED ADJUSTMENT TO SMC 23.45.518.A.1:

FOR BUILDING B, REDUCE SIDE SETBACK REQUIREMENTS FROM:

5' MIN / 7' AVGERAGE  
TO  
5' MIN / 5.59' AVERAGE (NORTH SIDE)  
5' MIN / 6.10' AVERAGE (SOUTH SIDE)

FOR SIDE FACADES EXCEEDING 40'.





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**CS3.A.1: Emphasizing Positive Neighborhood Attributes**

Fitting Old and New Together: We believe that this project should work with the historic nature of it's context, even along the alley. One feature of older homes is that smaller units of modulation are used to make buildings more legible and detailed. To this end, we believe that modulation along the alley facade is important, even if it is not necessarily encouraged by the strict application of the code in this case.

**DC2.A.2: Massing**

Reducing Perceived Mass: By introducing modulation to this facade, we are able to accomplish three objectives: First, we express the individual dwelling units effectively. Second, we express facade depth and create shadow lines. Third, we create a facade which has a better sense of hierarchy - the middle dwelling becomes a dominant facade feature and a primary mass on this facade. The end dwellings become secondary facade planes, but are fitted with a framed elements around the window groupings which have more depth and detail.

**DC2.C.1: Secondary Architectural Features**

Visual Depth and Interest: As mentioned above, the end units have a frame and cornice detail that accentuates groupings of windows on the alley-facing facade. Also, the middle dwelling, rendered in brick, is fitted with a deep top cornice. Finally, the window groupings in the brick facades are provided with a multi-stepped trim detail.

**DC2.D.1: Scale and Texture**

1. Human Scale: The facade facing the alley is 49.5' wide. By projecting the middle dwelling toward the alley on the east side (about 17.5' wide), we can effectively reduce the impact of this long facade and help to make the building more human-scaled. On the west side of this building, recessing the middle unit enhances the scale of the courtyard by providing more space in the middle.

2. Texture: As is true throughout the project, building B is provided with high-quality materials with a lot of fine-grained texture - brick in high-interface areas, lap siding in the primary siding areas, panel and trim details at the bays.



ALLEY-FACING FACADE OF BUILDING B



COURTYARD-FACING FACADE OF BUILDING B



TRIM & CLADDING DETAILS



VANDERVORT ARCHITECTS.  
MULTI-FAMILY WORK SAMPLES.

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SUNSET HILL LIVE/WORK



ALKI CONDOS



VALLEY STREET TOWNHOMES



VALLEY STREET TOWNHOMES



FIRST HILL ROWHOUSES



MADRONA LIVE/WORK



Z-HOME



Z-HOME



COLUMBIA CITY APARTMENTS