



LAKE CITY COLLECTIVE

3051 NE 137TH ST

Seattle Washington
Project #: 3041420-EG

EARLY DESIGN GUIDANCE

MARCH 23, 2025

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INDEX

CONTENT

01	DEVELOPMENT OBJECTIVES AND SUMMARY OF PUBLIC OUTREACH	5
02	EXISTING SITE PLAN AND SURVEY	13
03	URBAN DESIGN ANALYSIS	19
04	ZONING DATA	47
05	ARCHITECTURAL MASSING CONCEPTS	59
06	DEPARTURES	83
07	DESIGN GUIDELINES	89
08	COMPLETED MILLER HULL WORK	93

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01

DEVELOPMENT OBJECTIVES AND SUMMARY OF PUBLIC OUTREACH

PROJECT INFORMATION

PROJECT ADDRESS:
3051 NE 137TH Street
Seattle WA 98125

SDCI PROJECT NO:
#3041420-EG

MEETING TYPE:
Early Design Guidance

LEGAL DESCRIPTION:
PORTION OF TRACT 19, KENNEDY'S ACRE TRACTS DESCRIBED AS FOLLOWS: BEGINNING AT NE CORNER OF TRACT 19; THENCE SOUTH ALONG EAST LINE 108.56 FT; THENCE WEST 120 FT; THENCE NORTH 72.44 FT TO THE NORTHERLY LINE OF TRACT 19; THENCE EASTERLY ALONG NORTHERLY LINE 124.80 FT TO THE POINT OF BEGINNING.

PARCEL NO:
382170-0098

PROJECT TEAM

OWNER:
Lake City Collective
PO Box 27391
Seattle, WA, 98165
CONTACT: Cesar Garcia

ARCHITECT:
Miller Hull Partnership, LLP
71 Columbia Street, 6th floor
Seattle, WA 98104
CONTACT: Manuel Castaneda

LANDSCAPE ARCHITECT:
Site Workshop
3800 Woodland Park N, Suite 200
Seattle, WA 98103
CONTACT: Jim Keller

ABOUT THE LAKE CITY COLLECTIVE

The Lake City Collective (LCC) is a grassroots, 501(c)(3) non-profit organization doing advocacy-in-action work on issues that primarily affect front line communities north of Seattle’s ship canal, including surrounding cities.

LCC builds healthy, thriving communities and environments for individuals and families in the Little Brook neighborhood, north of Lake City, where its center is currently located, and across the Greater Seattle Area. LCC has served the community through access to recreation, traffic calming, public safety, neighborhood beautification and infrastructure, educational programs for children and youth, economic and digital empowerment for adults and seniors, facilitating access to public services, creating a space for cultural exchange, and spearheading a community-led process to create a new design and redevelop their local Little Brook Park. They also created a new community space, the Little Brook Plaza, through a partnership with the City and with overwhelming community support.

In 2022, with the trust of the people in the area, the Lake City Collective engaged the Miller Hull Partnership to conduct a feasibility study to ensure that the land targeted for acquisition would support the current and future needs of a multicultural center. After the strategic acquisition, funded by the Seattle Equitable Development Initiative, LCC has received support from the City of Seattle, King County, and the State of Washington for the pre-development process. With community at the forefront, the building is designed to serve as a north star for individuals and families living in an urban reality characterized by low access to opportunity and high displacement risk.

With an unwavering commitment to serving individuals of all ages and backgrounds, LCC has earned community recognition and is seeking to build its new space to grow and sustain vital programs, improve community resilience, and bridge gaps to empower communities across cultures for generations to come.



Lake City Collective intergenerational participants



Lake City Collective community cultural event



Lake City Collective Center, Mayor visit

OI_DEVELOPMENT OBJECTIVES

3051 NE 137TH STREET

Community and multi-cultural centers are critical parts of a city's social infrastructure, providing physical and social connections that support residents and community members. This proposal creates a new Lake City Collective Multicultural Center that is a safe, and welcoming space that can adapt with the priorities of the people it serves. The mission of the lake city collective includes serving a community that extends well beyond the City of Seattle.

The proposed scope includes:

1. Construction of a new 3-story, 55' tall building that includes community art, music, gathering, business support and urban agriculture spaces.
2. 10,804 square feet parcel.
3. No residential or live work units.
4. Approximately 26,500 total enclosed area, commercial.
5. Approximately 21 below grade parking stalls, access from NE 137th street.

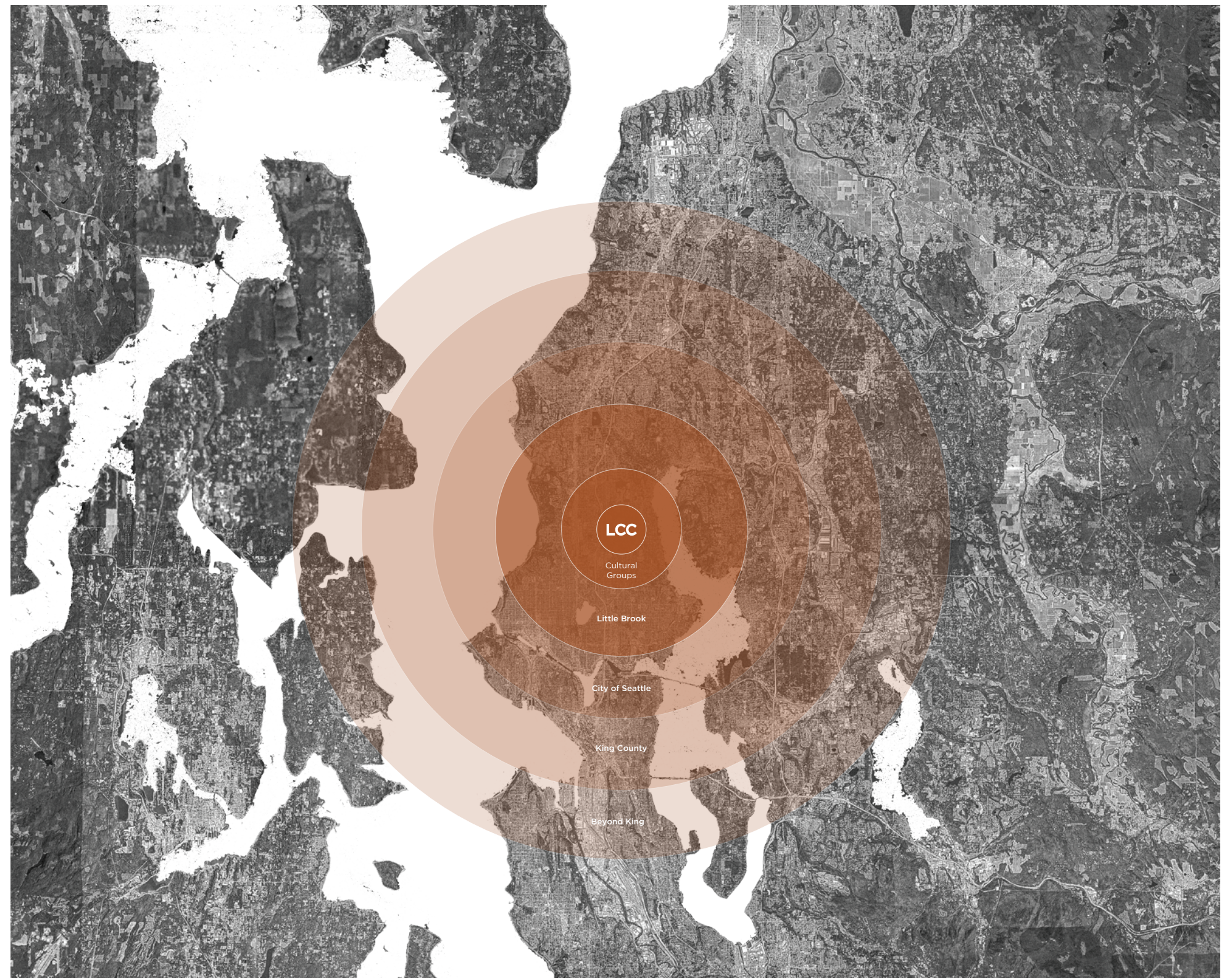
Sustainability:

Living building challenge full certification
Living building pilot program

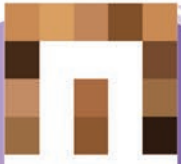


Resilience:

Targeting to become City of Seattle Resilience Hub



OI_DEVELOPMENT OBJECTIVES



LCC LOGO
The colors represent the different communities that live in the north end. The Lake City arch is a welcoming portal to the neighborhood.

lake city collective

2013-2018

COMMUNITY ADVOCACY
Early efforts to improve pedestrian infrastructure, safety, livability, celebrate our cultures, and build a sense of belonging in Lake City.




2019

LCC IS BORN
LCC becomes a 501(c)3 nonprofit. Receives capacity-building support, including the Equitable Development Initiative (EDI). Starts the development of youth, family and small business support programs.



2020

LCC CENTER OPENS ITS DOORS
Thanks to EDI, LCC rents its 1st space (-1000 sf), and quickly becomes a Resilience Hub for families in North Seattle/King County during Covid-19. Starts advocacy to clean & renovate Little Brook Park, two blocks from the Center.




2021

LCC LEADS LITTLE BROOK COMMUNITY DEVELOPMENT PROJECTS
LCC starts the Little Brook Stay Healthy Street pilot with SDOT, it leads to establishing a future Plaza, a Native American Street Mural & many Traffic Calming improvements in the area.



2022

LCC GROWS ROOTS IN LITTLE BROOK
Through a Strategic Investment grant, LCC is awarded funds to acquire land for the future site of the Lake City Collective Cultural Center. The current LCC Center grows to 5,500 sf, and our community garden becomes a place for learning, and community-building.



2023

MORE PRESENCE IN THE NORTH END
LCC leads an ARTS project by funding seven groups to activate art & culture across North Seattle. LCC small business support thru OED continues, and becomes the Business Connector for the cities of Shoreline, Kenmore, Bothell, and Woodinville.



2024

OUR WORK ON A NATIONAL STAGE
The Little Brook Plaza project becomes a tour visit of the national Greater & Greener conference. LCC starts a partnership with the US Water Alliance and SPU on Workforce Development. Little Brook Tianguis (Market) starts.



2025

PREPARING THE SOIL
LCC is awarded funding from the City of Seattle, King County, and the State of WA for pre-development work of our future cultural center. LCC site becomes part of a neighborhood-wide vision; activation begins.




2026

FIRST GROUNDBREAKING CEREMONY
After 6 years of community advocacy led by LCC, construction of the Little Brook Park Redevelopment Project starts! LCC continues advocacy for the completion of Little Brook Plaza. Programs continue to grow.



2027

SECOND GROUNDBREAKING CEREMONY
After 6 years of community advocacy led by LCC, construction of the Little Brook Plaza begins! LCC organization and programming continue at sustainable levels.



2028

LCC CULTURAL CENTER GROUNDBREAKING CEREMONY
The first sustainable cultural center led by a community-based org breaks ground. It's the most iconic building in North Seattle. Little Brook is transformed from a sterile, polluted neighborhood to a thriving one.



01_EARLY COMMUNITY OUTREACH (DEPARTMENT OF NEIGHBORHOODS)

3051 NE 137TH STREET

The Miller Hull Partnership conducted and completed the Early Community Outreach requirements for the proposal at 3051 NE 137th street. Outreach included posters through the neighborhood, a online interactive project website, and a site tour.

Members of the community, who attended the site tour/walk on September 12, 2025, provided the comments and questions about the proposal. This represented the only input received as part of the required Outreach. The comments focused around process and general support for the organization.

Individuals who provided comments were complimentary of the outreach effort by the applicant and requested that communication continue through the construction of the proposed project.

OUTREACH METHOD	DATE IMPLEMENTED	DESIGN-RELATED COMMENTS
① Printed Outreach 10 posters	OCTOBER 21 2025	NONE
② Digital Outreach Interactive project website	OCTOBER 31 2025	NONE
③ In-Person Outreach Interactive on site conversations	NOVEMBER 24 2025	NONE

01_SUMMARY OF PUBLIC OUTREACH



3051 NE 137th Street
 Address of Project: 3051 NE 137th Street
 Meeting Location: 3051 NE 137th Street
 Meeting Date: Monday, November 24, 2025



PLEASE PRINT LEGIBLY

First Name	Last Initial	Zip Code	Email Address (if you would like to be on our mailing list for this project)	How did you hear about this meeting?
Justin	E	98125	justinenglund46@gmail.com	bus shelter flyer
Lashawna	G	98125	lashawna.groves@gmail.com	Neighbor



2. Public outreach with local businesses



1. Site tour



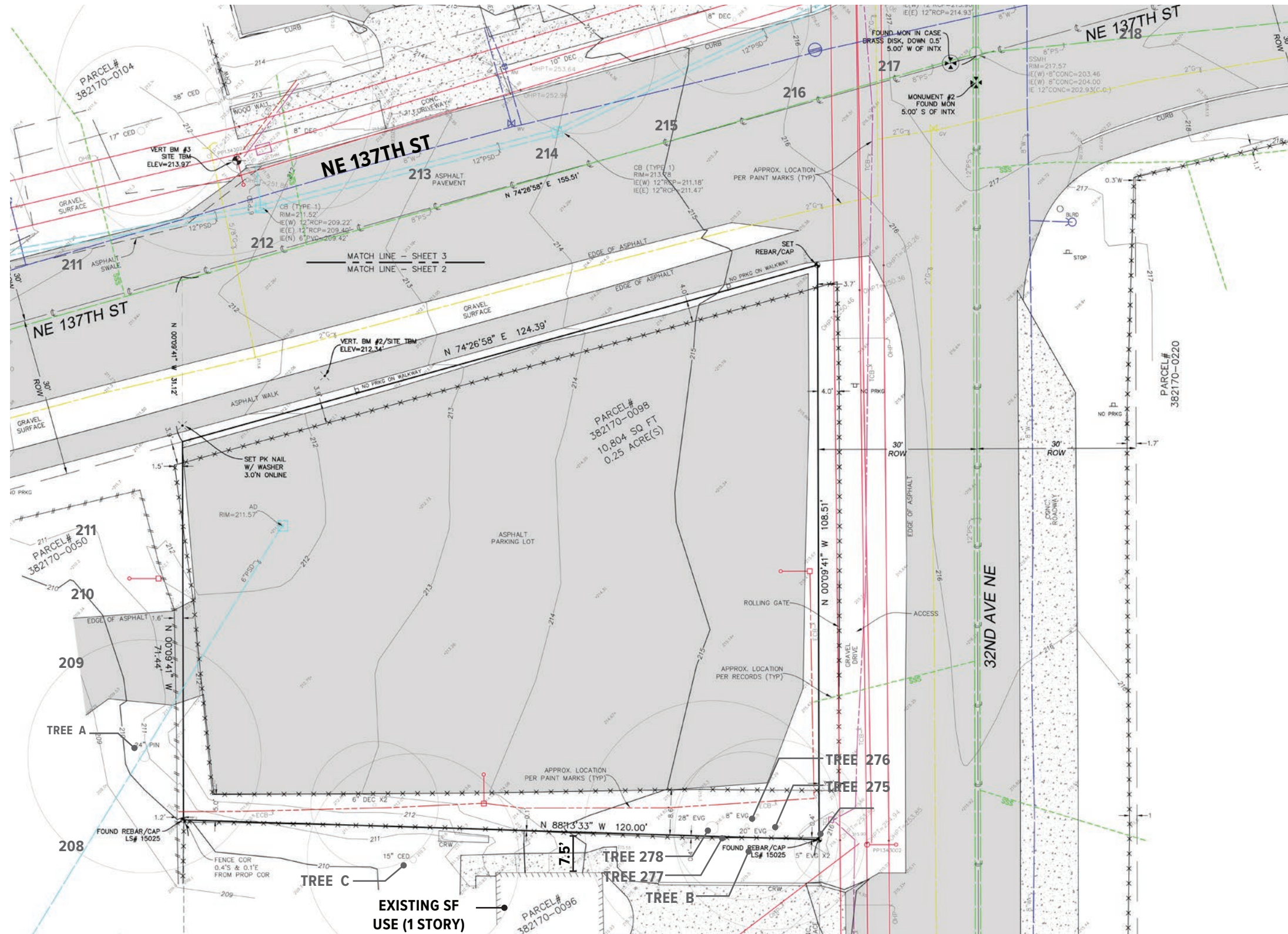
3. Public outreach with local businesses

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02

EXISTING SITE PLAN AND SURVEY

02_EXISTING SITE SURVEY



PROJECT SITE LOCATION

3051 NE 137th Street
Seattle WA 98125

LEGAL DESCRIPTION:

Portion of tract 19, Kennedy's acre tracts daf: beg ne cor of tract 19; th s alg e ln 108.56 ft; th w 120 ft; th n 72.44 ft to nly of tract 19; th ely alg nly ln 124.80 ft tpob

PARCEL NO

382170-0098

Total Lot Size

10,804 square feet

ZONE

NC3-55

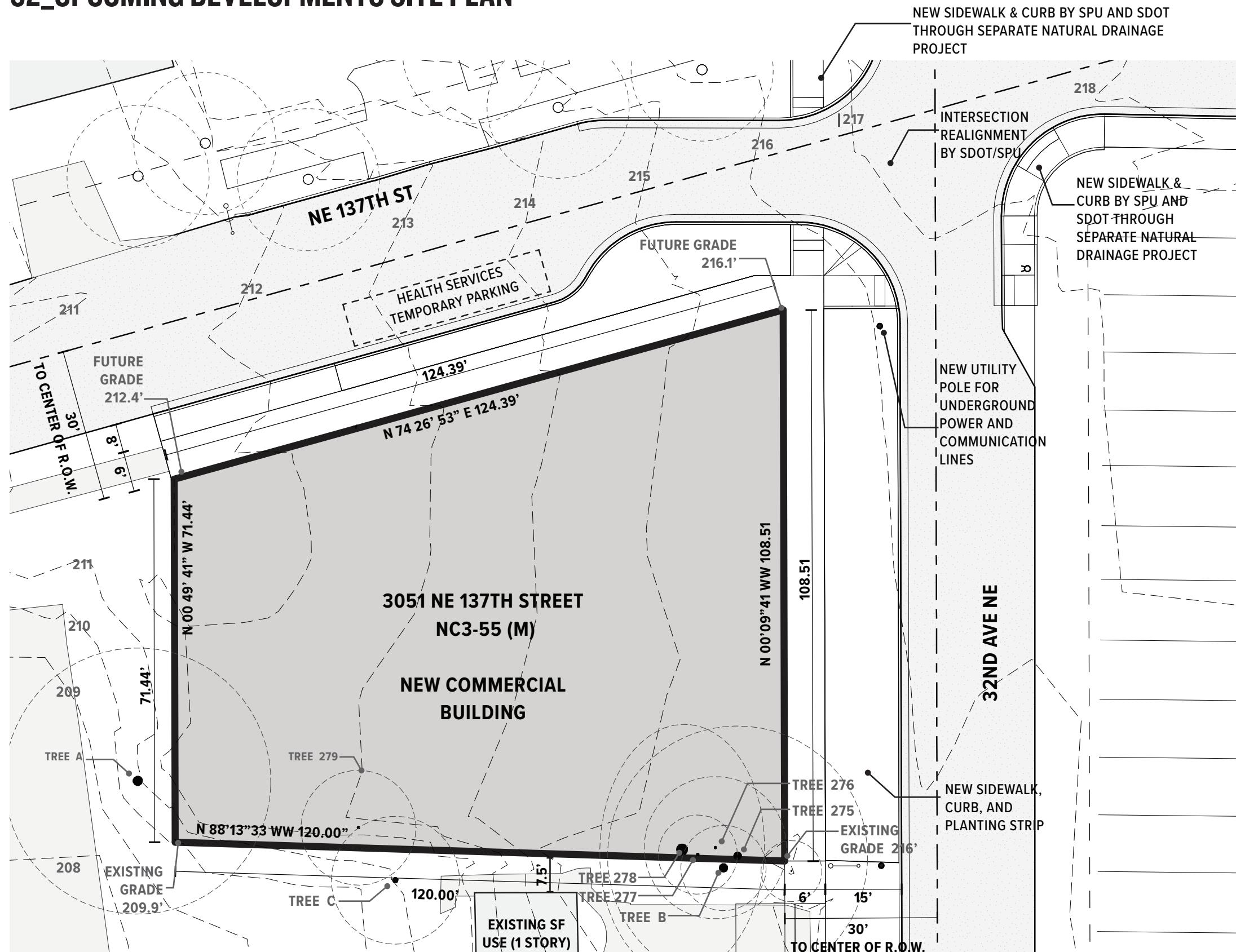
URBAN VILLAGE OVERLAY

None

02_AERIAL VIEW



02_UPCOMING DEVELOPMENTS SITE PLAN



UPCOMING DEVELOPMENTS IN ADJACENT TO THE PROJECT SITE

1. SEATTLE PUBLIC UTILITIES NATURAL DRAINAGE PROJECT
2. SEATTLE PUBLIC UTILITIES STREET REALIGNMENT
3. SEATTLE DEPARTMENT OF TRANSPORTATION SIDEWALK
4. PROPOSED PROJECT STREET IMPROVEMENTS
5. PROPOSED PROJECT UNDERGROUND EXISTING OVERHEAD POWER AND COMMUNICATION LINES

02_EXISTING TREES ARBORIST REPORT

DSH (Diameter at Standard Height) is measured 4.5 feet above grade, or as specified in the *Guide for Plant Appraisal, 10th Edition*, published by the Council of Tree and Landscape Appraisers.
 DSH for multi-stem trees are noted as a single stem equivalent, calculated as specified in the *Guide for Plant Appraisal, 10th Edition*, published by the Council of Tree and Landscape Appraisers.
 Tier is based on SMC 25.11 and Director's Rule 7-2023.
 Fees-in-Lieu for removed trees are calculated using the methods defined in the SMC 25.11.115 (ordinance 126821).
 Tree Protection Area is calculated as 10 times DSH or greater depending on tree species, health, and age.
 Letters are used to identify trees on neighboring properties with overhanging canopies.
 Dripline is measured from the center of the tree to the outermost extent of the canopy.

Tree ID	Scientific Name	Common Name	DSH (inches)	DSH Multistem	Health Condition	Structural Condition	Dripline Radius (feet)				Tier 2 Threshold	Tier Level	Jurisdiction (SDOT/SDCI/SPR)	Basic Tree Protection Area (feet)	Tree Protection Area (feet)
							N	E	S	W					
275	<i>Quercus coccinea</i>	Scarlet oak	26.5		Good	Good	20.1	25.6	30.1	21.1	24.0	2	SDCI	27	22
276	<i>Chamaecyparis lawsoniana</i>	Lawson cypress	8.6		Good	Fair	7.4	7.4	7.4	7.4	24.0	4	SDCI	9	7
277	<i>Chamaecyparis lawsoniana</i>	Lawson cypress	8.3		Good	Fair	7.8	7.8	7.8	7.8	24.0	4	SDCI	8	7
278	<i>Cedrus deodara</i>	Deodar cedar	28.0		Good	Good	24.7	16.2	23.2	15.7	24.0	2	SDCI	28	23
279	<i>Sorbus aucuparia</i>	European mountain ash	6.8	5, 4.6	Fair	Fair	11.3	-	-	-	-	4	SDCI	7	6
A	<i>Pinus nigra</i>	Austrian black pine	28.0		Good	Excellent	-	26.2	-	-	24.0	2	SDCI	28	23
B	<i>Chamaecyparis lawsoniana</i>	Lawson cypress	22.0		Good	Good	8.4	-	-	-	24.0	3	SDCI	22	18
C	<i>Chamaecyparis pisifera</i>	Sawara cypress	15.5		Fair	Fair	12.6	-	-	-	24.0	3	SDCI	16	13

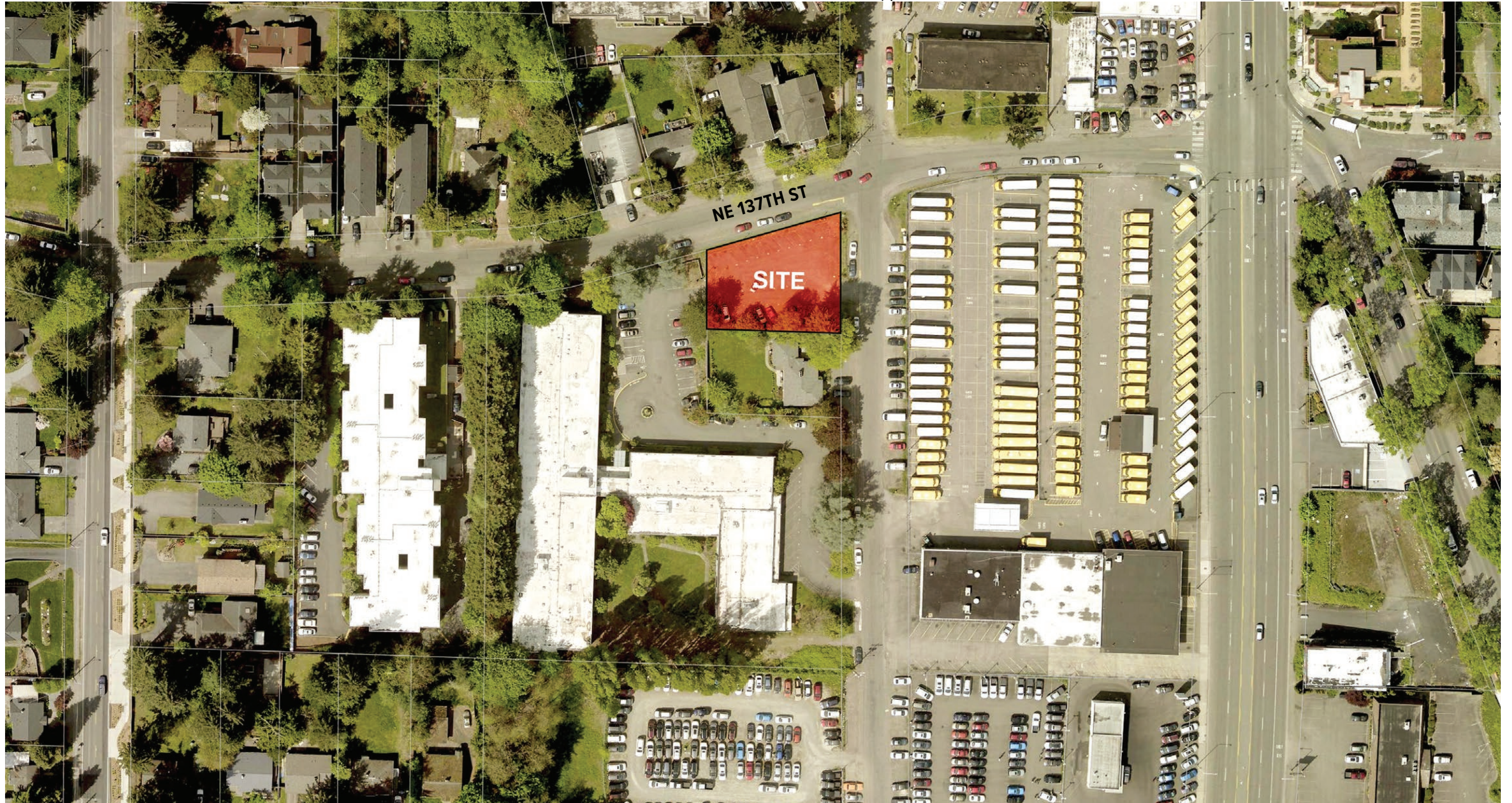
SMC: 25.11.070.B.1.b

In Mid-rise, **Commercial**, and Seattle Mixed zones Tier 2 trees may be removed, if an otherwise allowable development area of 100 percent cannot be achieved without extending into the basic tree protection area more than allowed pursuant to subsection 25.11.060.A.

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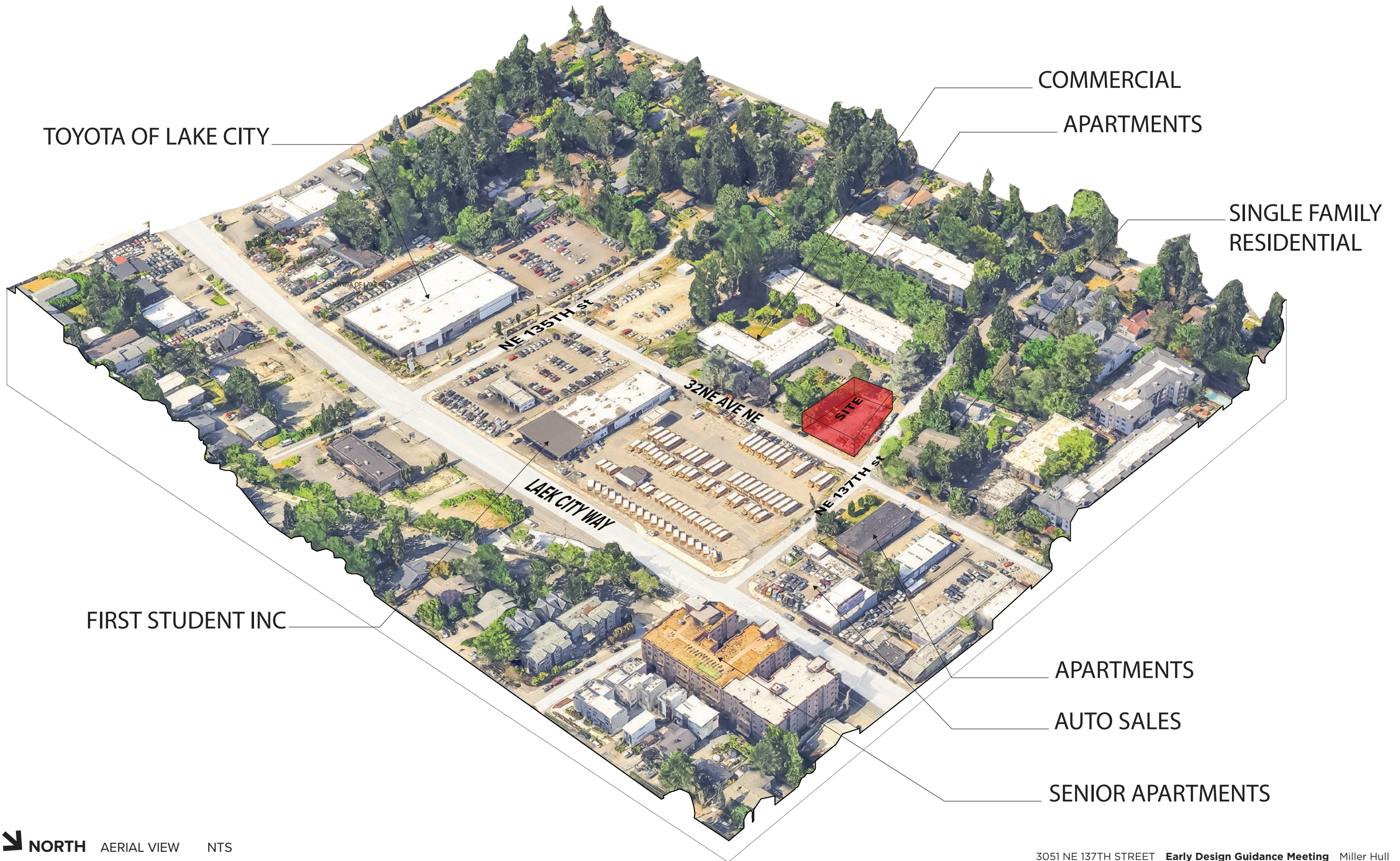
03
URBAN DESIGN ANALYSIS

03_URBAN DESIGN ANALYSIS

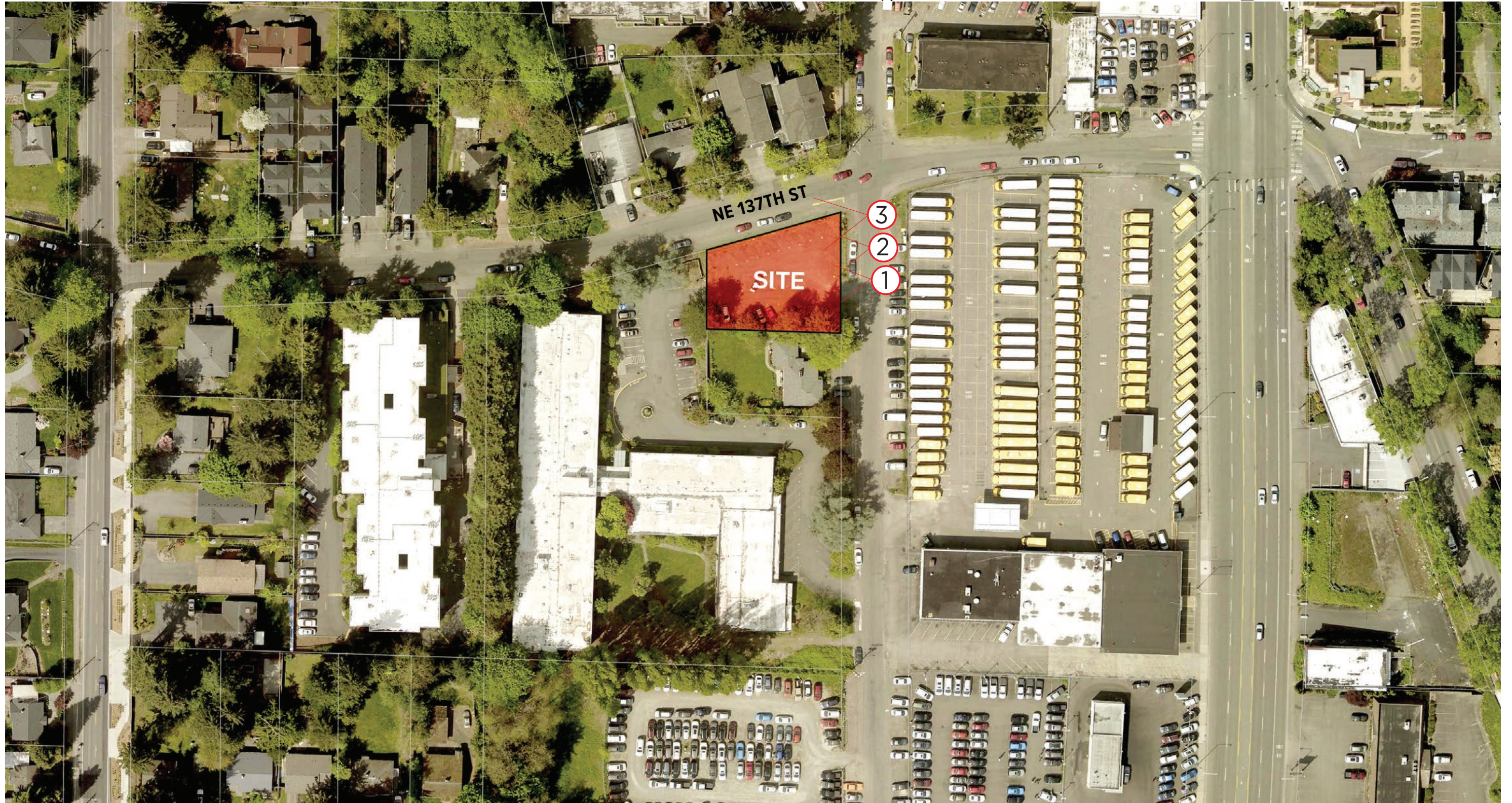


32NE AVE NE

LAKE CITY WAY NE



03_EXISTING SITE PHOTOGRAPHS



32NE AVE NE

LAKE CITY WAY NE

↑ NORTH AERIAL VIEW NTS



1. Current view looking to the main property entry

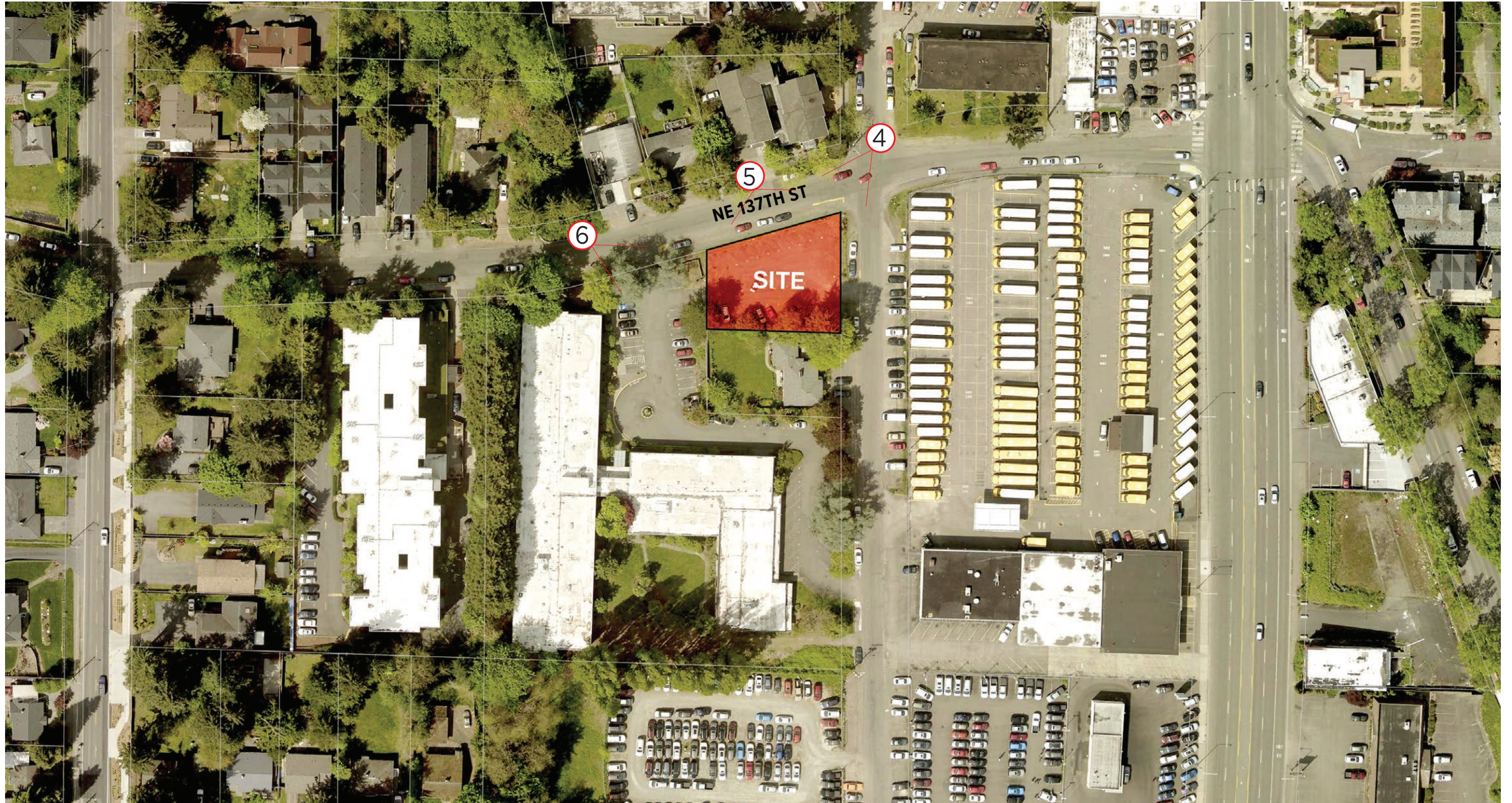


2. View looking west from the site



3. View looking west from the site

03_EXISTING SITE PHOTOGRAPHS



32 NE AVE NE

LAKE CITY WAY NE



4. Current view looking from the north east side corner

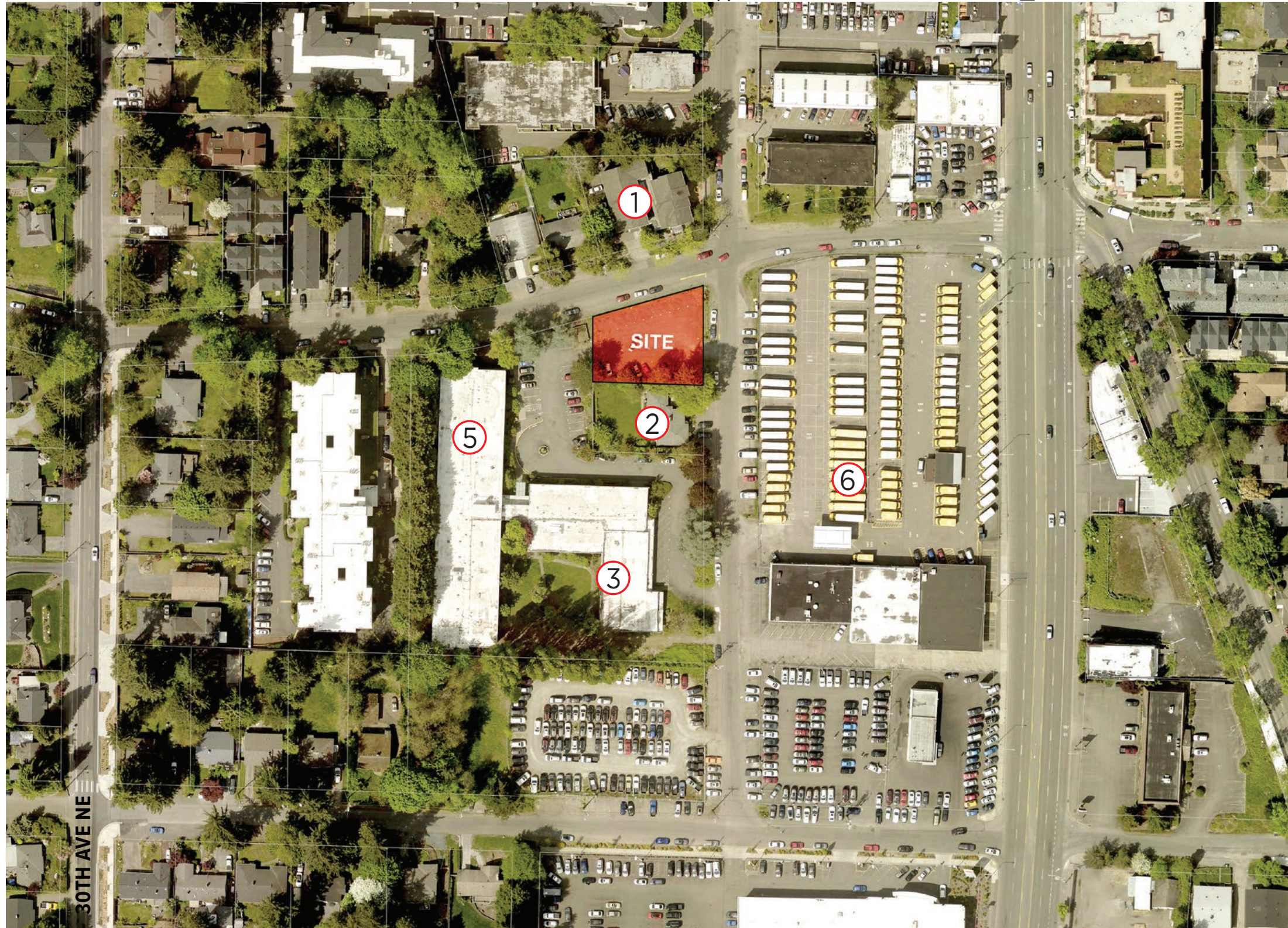


5. View looking south



6. View looking south west at the site corner

03_CONTEXT PHOTOGRAPHS



32NE AVE NE

LAKE CITY WAY NE

NE 137TH ST

NE 135TH ST

↑ NORTH AERIAL VIEW NTS



1. Low-income housing, to north of proposed project site



2. Multi-family, neighbors home on the south side of the property



3. Street mall, current location of Lake City Collective Center



4. Naturally-occurring affordable housing on 32 Ave NE



5. Andante Seattle apartments



6. School bus parking and repair shop

03_CONTEXT PHOTOGRAPHS



30TH AVE NE

32NE AVE NE

LAKE CITY WAY NE

NE 137TH ST

NE 135TH ST

↑ NORTH AERIAL VIEW NTS



7. TOYOTA PARKING LOT



8. TOYOTA DEALERSHIP



9. RETAIL STREET MALL



10. OFFICE BUILDING

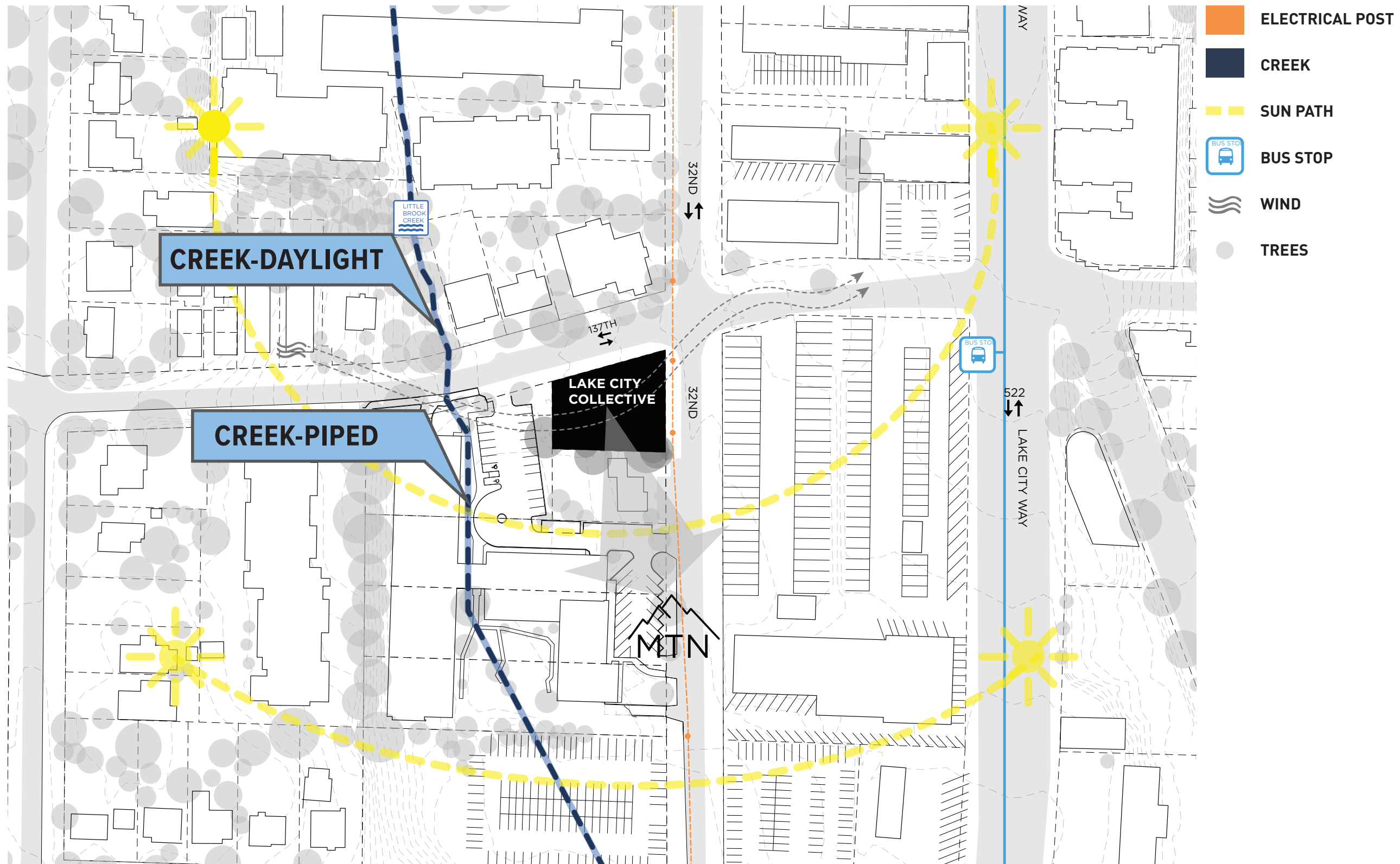


11. SENIOR HOUSING ON LAKE CITY AVE NE



12. AUTO REPAIR SHOP

03_SITE ANALYSIS





LITTLE BROOK CREEK

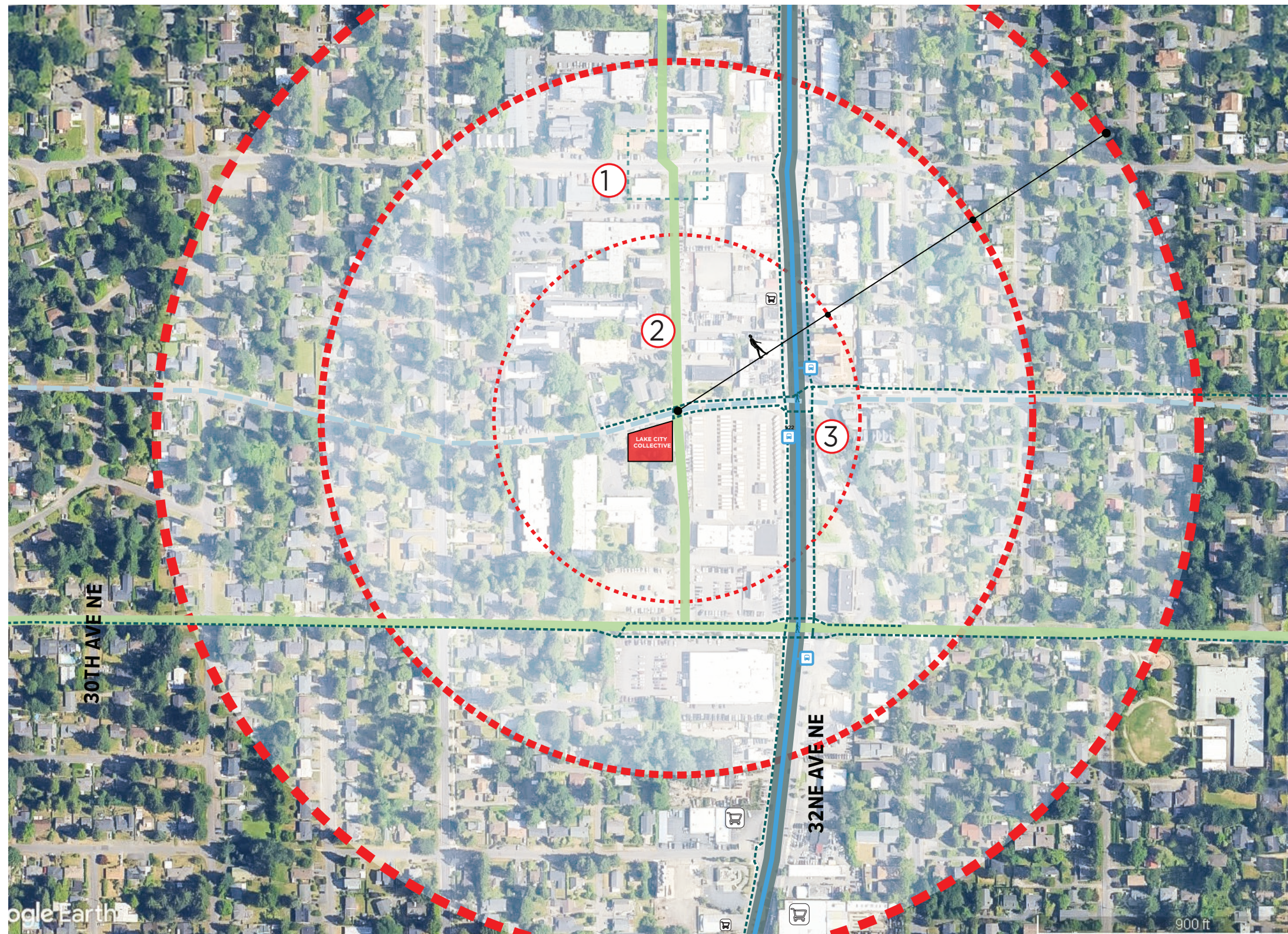









MOUNT RAINIER VIEWS



ELECTRICAL LINES AND POLES

03_TRANSIT AND ACCESS



-  PRINCIPAL ARTERIALS
-  NEIGHBORHOOD YIELD STREETS
-  BUS ROUTE AND STOP
-  GREEN WAYS/BIKE ROADS
-  PEDESTRIAN PATHS
-  LITTLE BROOK CREEK
-  TRAFFIC CALMING

2 MINUTES
GOODIES MEDITERRANEAN MARKET

5 MINUTES
TOYOTA

7 MINUTES
FRED MEYER
LITTLE BROOK PARK



1. SCHOOL BUS STOP WITH MURAL

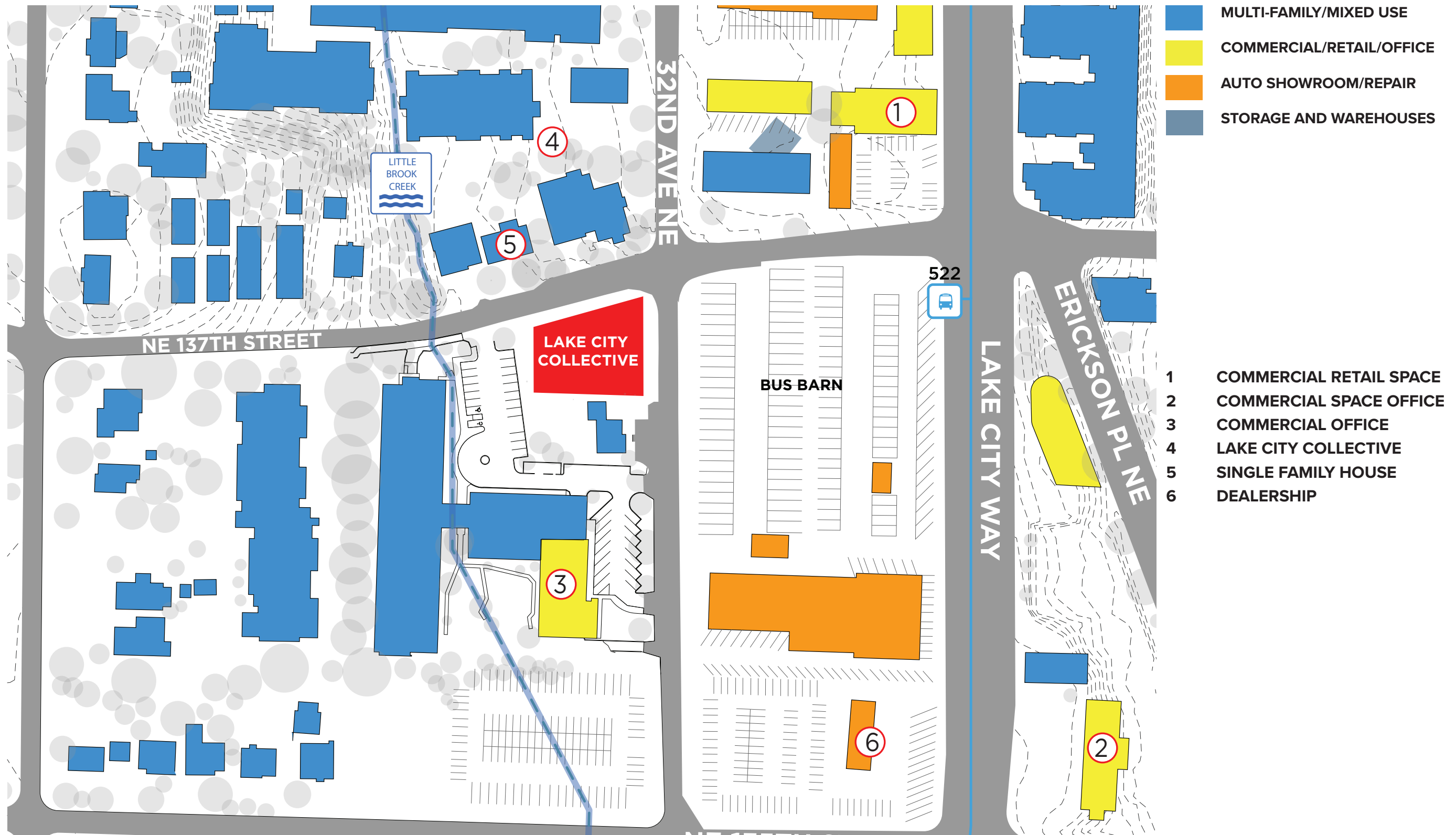


2. PEDESTRIAN WALKWAYS



3. BUS STOP

03_VICINITY MAP: USES



- MULTI-FAMILY/MIXED USE
- COMMERCIAL/RETAIL/OFFICE
- AUTO SHOWROOM/REPAIR
- STORAGE AND WAREHOUSES

- 1 COMMERCIAL RETAIL SPACE
- 2 COMMERCIAL SPACE OFFICE
- 3 COMMERCIAL OFFICE
- 4 LAKE CITY COLLECTIVE
- 5 SINGLE FAMILY HOUSE
- 6 DEALERSHIP



1. RETAIL



2. COMMERCIAL OFFICE



3. OFFICE



4. APARTMENTS



5. SINGLE FAMILY



6. DEALERSHIP

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03_CONTEXT PHOTOGRAPHS



↑ NORTH AERIAL VIEW NTS

① ②



① WEST SIDE OF 32ND AVE NE



② EAST SIDE OF 32ND AVE NE



③ SOUTH SIDE OF NE 137ST



④ NORTH SIDE OF NE 137ST

03_CONTEXT PHOTOGRAPHS

NC3-55 (M)

PARKING LOT

RETAIL OFFICE

SINGLE FAMILY

SITE



① WEST SIDE OF 32ND AVE NE

MR (M)

APARTMENT

DUPLEX

APARTMENT

APARTMENT

APARTMENT



03_CONTEXT PHOTOGRAPHS



② EAST SIDE OF 32ND AVE NE

NC3-75M

SHOP/WAREHOUSE

APARTMENT

SCHOOL BUS LOT

DEALERSHIP



03_CONTEXT PHOTOGRAPHS



③ SOUTH SIDE OF NE 137TH ST

LR3-M

NR2

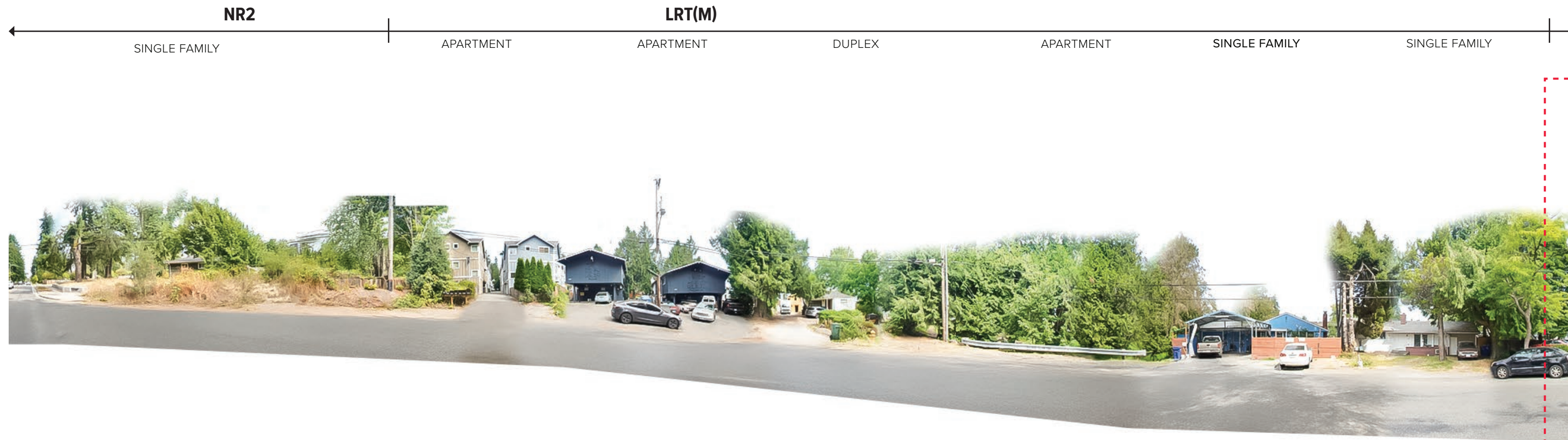
APARTMENT

APARTMENT

SINGLE FAMILY



03_CONTEXT PHOTOGRAPHS



④ NORTH SIDE OF NE 137TH ST

MR (M)

APARTMENT

NC3-75M

APARTMENT

SINGLE FAMILY

**ACROSS
FROM SITE**








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04
ZONING DATA

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04_ZONING & NEIGHBORHOOD MAP



-  NEIGHBORHOOD COMMERCIAL
 -  MULTIFAMILY MID RISE
 -  MULTIFAMILY LOW RISE
 -  NEIGHBORHOOD RESIDENTIAL
 -  SITE
- NC3-55 (M) zoning designation has a 55-foot height limit.



Living Building Pilot Program: 15 feet of additional height for non-residential construction in zones with height limits of 85 feet or less

04_ZONING DATA

OUTREACH METHOD

APPLICABLE ZONING CODE SEATTLE MUNICIPAL CODE,
TITLE 23 LAND USE CODE

LAND USE ZONE

PARCEL ZONING ZONING MAP 8 NC3-55 (M)
ADJACENT ZONES ZONING MAP 8 NORTH: MR (M)
EAST: NC3-75
WEST: LR3 (M)
SOUTH: NC3-55 (M)

PERMITTED USES

ALLOWABLE/PROPOSED USE 23.47A.004, TABLE A INSTITUTION E.1
COMMUNITY CENTER
PARKING: 27 STALLS

STREET LEVEL USES

REQUIRED USES 23.47.005 NONE

STREET LEVEL STANDARDS

23.47.008
BLANK FACADES 23.47.008.A NOT TO EXCEED 20 FEET WIDTH AT STREET FACING FACADE, TOTAL 40 PERCENT MAX
STREET FACING FACADES 23.47.008.A LOCATED WITH 10 FEET
TRANSPARENCY 23.47.008.B 60% STREET FACING FACADE, BETWEEN 2 AND 8 FEET
DEPTH PROVISIONS 23.47.008.B 30 FEET AVERAGE, 15 MINIMUM
PEDESTRIAN DESIGNATED ZONE 23.47.008.C, ZONING MAP 8 NO

ALLOWABLE HEIGHT

STRUCTURE HEIGHT 23.471.012, ZONING MAP 8 55 FEET
HEIGHT BONUS 23.47A.012 .C.2 4 FEET FOR OPENING RAILINGS, PLANTERS, PARAPETS, GREENHOUSES AND SOLARIUMS
23.47A.012 .C.3 SOLAR COLLECTORS MAY EXTEND 4 FEET OR 7 FEET
23.47A.012 .C.4 15 FEET FOR MECHANICAL, SOLAR COLLECTORS, GREENHOUSES, SOLARIUMS AND MINOR COMMUNICATION EQUIPMENT, STAIRS AND ELEVATOR
PENTHOUSES, LIMITED TO 30%
23.47A.012 .C.6 SOLAR COLLECTORS, PLANTERS, CLERESTORIES, GREENHOUSES MUST BE 10 AWAY FROM NORTH LOT LINE UNLESS SHADOW DIAGRAM
DEMONSTRATES SUCH FEATURES WOULD NOT SHADE PROPERTY TO THE NORTH ON JANUARY 21 AT NOON

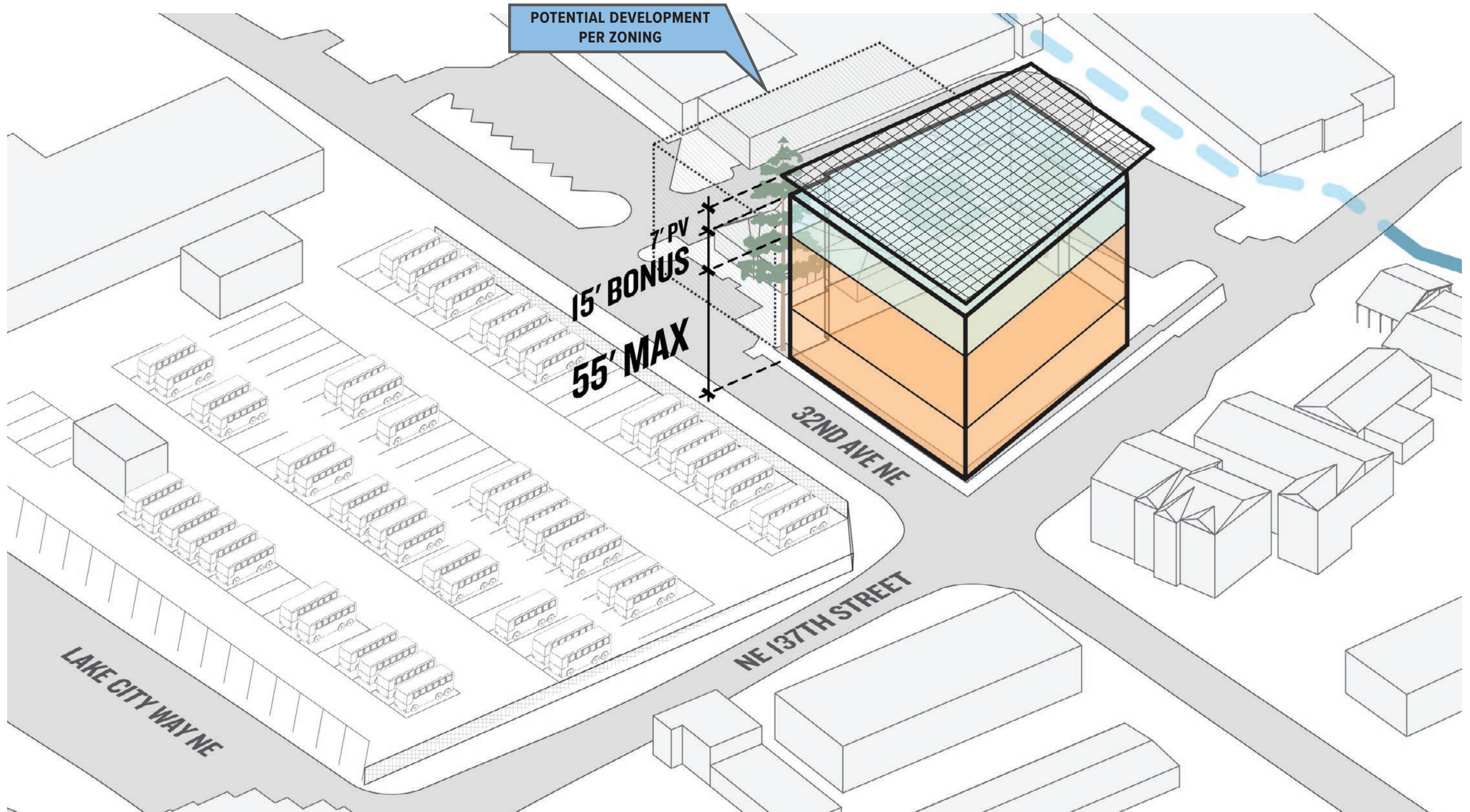
SETBACKS

ROOF TOP FEATURES 23.47A.014.A.1 ROOFTOP FEATURES ARE NOT ALLOWED IN SETBACKS
ABUTTING ZONE SETBACK 23.47A.014.B.1 A SETBACK IS REQUIRED WHERE A LOT ABUTS THE INTERSECTION OF A SIDE LOT LINE AND FRONT LOT LINE OF A LOT IN A RESIDENTIAL ZONE
ABUTTING ZONE SETBACK 23.47A.014.B.2 WHERE ABUTTING RESIDENTIAL ZONE, 10 FEET SETBACK ABOVE 13 FEET
UNDERGROUND 23.47A.014G.6 SETBACK REQUIREMENTS DO NOT LIMIT UNDERGROUND STRUCTURES

LANDSCAPING AND SCREENING STANDARDS

GREEN FACTOR 23.47A.016.A.2 .3 OR GREATER
STREET TREES 23.47A.016.B REQUIRED
SCREENING PARKING 23.47A.016.D REQUIRED IF PARKING IS SURFACE, OR PARKING GARAGE IS ABOVE GROUND PLANE

04_ZONING ENVELOPE



04_ZONING DATA

NOISE STANDARDS

REQUIRED STANDARDS	23.47A.018	ACOUSTIC REPORT REQUIRED FOR EXTERIOR MECHANICAL EQUIPMENT
--------------------	------------	--

REQUIRED PARKING

OFF-STREET PARKING	23.47A.030, 23.54.015, Table C COMMUNITY CLUBS AND COMMUNITY CENTERS NOT OWNED AND OPERATED BY SPR COMMUNITY FARMS	1 SPACE FOR EACH 80 SQUARE FEET OF FLOOR AREA OF ALL AUDITORIA AND PUBLIC ASSEMBLY ROOMS CONTAINING FIXED SEATS; PLUS 1 SPACE FOR EACH 350 SQUARE FEET OF ALL OTHER INDOOR AREA 1 SPACE PLUS 1 SPACE FOR EACH 10000 SQUARE FEET OF SITE AREA, R 10 SPACES, WHICHEVER IS LESS INDOOR GYMNASIUMS ARE NOT CONSIDERED BALL COURTS, NOR ARE THEY CONSIDERED AUDITORIA OR PUBLIC ASSEMBLY ROOMS UNLESS THEY CONTAIN BLEACHERS (FIXED SEATS). IF THE GYMNASIUM CONTAINS BLEACHERS, THE PARKING REQUIREMENT FOR THE GYMNASIUM IS ONE PARKING SPACE FOR EVERY EIGHT FIXED SEATS. EACH 20 INCHES OF WIDTH OF BLEACHERS IS COUNTED AS ONE FIXED SEAT FOR THE PURPOSES OF DETERMINING PARKING REQUIREMENTS. IF THE GYMNASIUM DOES NOT CONTAIN BLEACHERS AND IS IN A SCHOOL, THERE IS NO PARKING REQUIREMENT FOR THE GYMNASIUM. IF THE GYMNASIUM DOES NOT CONTAIN BLEACHERS AND IS IN A COMMUNITY CENTER, THE PARKING REQUIREMENT IS ONE SPACE FOR EACH 350 SQUARE FEET.
REDUCTION IN REQUIRED PARKING	23.54.020.F/DR15-2018/ 23.54.020.F.2.a	50% REDUCTION OF REQUIRED PARKING

PARKING STANDARDS

PARKING STALL TYPE MIX	23.54.030	MINIMUM AND MAXIMUM SMALL STALL IS 35 PERCENT. MINIMUM OF 35 PERCENT FOR LARGE STALLS
DRIVEWAYS	23.54.030.D.2	22 FEET MINIMUM WIDTH, 25 FOOT MAX WIDTH
SIGHT TRIANGLE	23.54.030.G.4	REQUIRED

DEPARTURES FOR THE LIVING BUILDING AND 2030 CHALLENGE PERFORMANCE EXISTING BUILDING PILOT PROGRAMS

DEPARTURES		QUANTITY OF PARKING REQUIRED
SCOPE OF DEPARTURES		MINIMUM AND MAXIMUM PARKING LIMITS
		STANDARDS FOR STORAGE OF SOLID WASTE CONTAINERS
		STANDARDS FOR STRUCTURAL BUILDING OVERHANDS AND MINOR ARCHITECTURAL ENCROACHMENTS

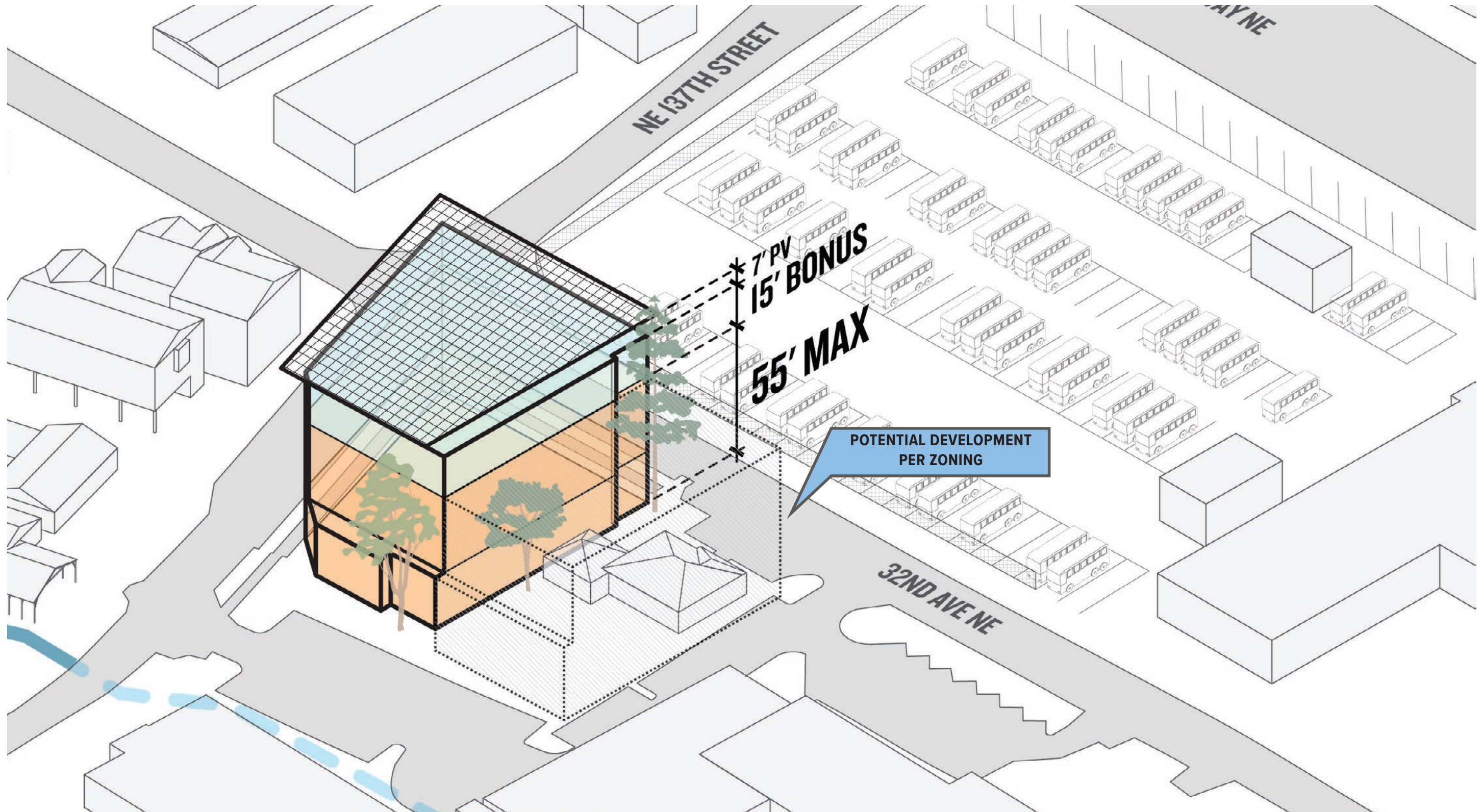
LIVING BUILDING PILOT PROGRAM

MINIMUM STANDARDS	23.40.060.B	INTERNATIONAL LIVING FUTURE INSTITUTE LIVING BUILDING CHALLENGE 3.1 AND 4.0 CERTIFICATION
ADDITIONAL FLOOR AREA	23.40.060.C.1	25 PERCENT MORE GROSS FLOOR AREA
ADDITIONAL STRUCTURE HEIGHT	23.40.060.C.3	15 FEET OF ADDITIONAL HEIGHT ABOVE MAX HEIGHT LIMIT
ROOFTOP FEATURES	23.40.060.C.4	ROOF TOP FEATURES MAY EXTEND ABOVE THE ADDITIONAL HEIGHT, CONSISTENT WITH THE ROOFTOP FEATURE STANDARDS IN THE ZONE
MHA EXEMPTION	23.40.060.C.6	AREA AND HEIGHT PURSUANT TO 23.40.060.C.1 - .3 SHALL BE EXCLUDED FROM PERFORMANCE OR PAYMENT REQUIREMENTS

STRUCTURAL BUILDING OVERHANGS AND MINOR ARCHITECTURAL ENCROACHMENTS

MINOR ARCHITECTURAL ENCROACHMENTS	23.53.035.A	MINOR ARCHITECTURAL ENCROACHMENTS. MINOR ARCHITECTURAL ENCROACHMENTS INCLUDE OVERHEAD HORIZONTAL EXTENSIONS OF A PURELY ARCHITECTURAL OR DECORATIVE CHARACTER SUCH AS CORNICES, EAVES, SILLS, AND BELT COURSES THAT DO NOT CREATE ANY INTERIOR VOLUME OR FLOOR AREA. MAX VERTICAL DIMENSION OF MINOR ARCH IS 2.5 FEET MAX HORIZONTAL DIMENSION OF MINOR ARCHITECTURAL ENCROACHMENT IS 1 FLOOR BELOW ROOF LEVEL AND 3 FEET AT ROOF LEVEL
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04_ZONING ENVELOPE



04_LIVING BUILDING CHALLENGE



**LIVING
BUILDING
CHALLENGE**

WHY THE LIVING BUILDING PILOT CHALLENGE FOR THE LAKE CITY COLLECTIVE CULTURAL CENTER?

The Living Building Challenge is a philosophy, advocacy tool, and certification program defining today's most advanced measure of sustainability in the built environment.

The Lake City Collective commitment to the environment, its organizational values, and desire to provide all communities access to sustainable and healthy spaces, inspired the pursuit of the challenge for the cultural center.

PETAL	REQUIREMENT	STRATEGY	DESIGN GUIDELINES
PLACE	Ecology of Place Landscape may only have native and/or naturalized species planted to mimic natural ecosystems. No fertilizers or pesticides can be used for operations/maintenance of landscape.	Site meets prerequisite conditions. Reference Habitat complete. Social/cultural analysis. Not using fertilizers.	CS1.D.1 On-Site Features CS2.A.1: Sense of Place CS3.B.1: Placemaking DC2.D.1: Human Scale DC4.D.4: Trees, Landscape and Hardscape Materials: Place Making
	Urban Agriculture Provide agriculture or food access based on ProJet transect following one of two paths Provide access to food for 75% of FTE occupants for a minimum of 3 days during an emergency.	1084 Square Feet of on-site urban agriculture required for Path 1 or 540 square feet for Path 2 plus weekly food access	
	Habitat Exchange Set aside equal area of land for habitat exchange in perpetuity. Land Trust Alliance is the required program.	Purchase 0.4 hectares for \$2000 Owner decisions.	
	Human Scaled Living Set aside equal area of land for habitat exchange in perpetuity. Land Trust Alliance is the required program.	Site Walk: 82, Site Transit: 55, Site Bike: 83	
WATER	Responsible Water Use 25% reduction in water usage from interior fixtures Comprehensive Water Conservation Plan to ensure the annual budget is met Whole project water metering is required	Large visible cistern for rainwater capture Grey and blackwater treatment Efficient fixtures	CS1.E.1 Water: Natural Water Features CS1.E.2 Water: Adding Interest with Project Drainage PL2.C.2 Design Integration: Weather Protection:
	Net Positive Water 100% of the project's water needs through captured precipitation, closed-loop water systems, recycling used project water. No potable water may be used for non-potable uses. Grey and black water through on-site treatment and management Resilience strategy to provide drinking water for up to a week		
ENERGY	Energy + Carbon Reduction Meet the energy consumption levels required by ASHRAE Standard 90.1-2019 OR achieve a 50% reduction of energy use intensity (EUI) Maintenance plan in place to monitor and reduce fugitive refrigerant emissions 20% reduction in the embodied carbon of primary materials select interior materials with lower than industry average carbon footprint	Efficient Building Envelope, All-electric, Net positive energy, photovoltaic system on site, Battery Back up Reduced embodied carbon structure with mass timber Targeted reduction of carbon for primary materials	CS1.A.1 Energy Use: Energy Choices CS1.B.1 Sunlight and Natural Ventilation: Sun and Wind CS1.B.2 Sunlight and Natural Ventilation: Daylight and Shading CS1.B.3 Sunlight and Natural Ventilation: Managing Solar Gain DC2.C.2 Secondary Architectural Features: Dual purpose elements
	Net Positive Energy 105% of the project's energy needs supplied by on-site renewable energy on a net annual basis along with storage capability. Account for the total construction embodied carbon through a one time carbon offset Resilience strategy to allow the building to be habitable for one week		

04_LIVING BUILDING PILOT PROGRAM



CITY OF SEATTLE

CLIMATE STRATEGIES

**LIVING BUILDING
PILOT PROGRAM**

WHY THE LIVING BUILDING PILOT PROGRAM FOR THE LAKE CITY COLLECTIVE CULTURAL CENTER?

The Living Building Pilot Program is part of the City of Seattle's Climate Strategies. It is needed to help us move beyond making incremental changes so we can fundamentally reshape our building and transportation systems for a fossil-free future. Seattle's buildings produce over one-third of our greenhouse gases. Reducing these building emissions are critical in achieving our goal to become a carbon neutral community by 2050.

PROGRAM BENEFITS FOR THE CULTURAL CENTER:

1. Additional Height
2. Additional Departures for Parking Quantity

PETAL	REQUIREMENT	STRATEGY	DESIGN GUIDELINES
HEALTH AND HAPPINESS	Healthy Interior Environment ASHRAE 62.1 or 62.2, or international equivalent. Prohibit smoking within any buildings Develop a Healthy Indoor Environment Plan Provide views outside and daylight for 75% of regularly occupied spaces.	Operable windows throughout Healthy Indoor Environment Plan Ventilation strategies to comply with requirements	CS1.B.1 Sunlight and Natural Ventilation: Sun and Wind CS1.B.2 Sunlight and Natural Ventilation: Daylight and Shading CS1.B.3 Sunlight and Natural Ventilation: Managing Solar Gain DC4.D.4: Trees, Landscape and Hardscape Materials: Place Making
	Healthy Interior Performance Indoor Air Quality test one to six months after occupancy CDPH Standard Method v1.1-2010 for 90% of interior building product for volatile organic compounds (VOCs). 95% of occupants access to views and daylight and opportunities		
	Access Nature Directly connect the majority of occupants to nature Occupants complete a POE that addresses health benefits within 6-12 months of occupancy		
MATERIALS	Responsible Materials One Declare label product per 200 sq m, up to twenty distinct products. 50% of wood products must be FSC, salvaged, or harvested on site 20% or more of the materials construction budget must come from within 500 kilometers of construction site.	Materials plan that meets the intent of LBC Imperatives	DC4.A.1: Building Materials: Exterior Finish Materials DC4.A.2: Building Materials: Climate Appropriateness
	Red list Project must eliminate all Red List chemical classes in 90% of materials cost		
	Responsible Sourcing 80% of all wood must be FSC-certified salvage or project can achieve FSC Project Certification. 20% of remaining wood must be from low risk sources 1 Declare product per 100 sm of gross area and 1 LPC product per 1000 sm of gross area.		
	Living Economy Sourcing Required to obtain certain percentage of Construction Materials from specific distances of site		
	Net Positive Waste One salvaged material per 500 gross square meters of project area Materials Conservation Management Plan Comprehensive conservation management plan		
EQUITY	Universal Access Principles of Universal Design Provide sufficient accommodations to meet the intent of the Imperative	Accessible spaces available to all within the community	PL2.A.1 Accessibility: Access for All
	Inclusion JUST Label for their organization. Diverse stakeholders from vulnerable or disadvantaged populations in the design, construction and operations and maintenance phases		
BEAUTY	Beauty + Biophilic Include elements that nurture the innate human/nature connection. Biophilic Design Charette potential for the project	Biophilia design charette completed. Team working to incorporate strategies throughout design. Final report provided once construction is complete Educational Signage will be provided.	DC2.D.1: Scale and Texture: Human Scale PL2.C.1 Weather Protection: People-Friendly Spaces
	Education + Inspiration Educational materials about the performance and operation of the project must be provided to the public		

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05

ARCHITECTURAL MASSING CONCEPT

05_ARCHITECTURAL MASSING CONCEPT

EXISTING AUTO SHOP



EXISTING AUTO SALES



Throughout the Little Brook and Lake City neighborhood, small one and two story structures have a program relationship between the interior and exterior. These structures, often supporting vehicle sales and repairs or warehouses, express large operable doors that extend the interior and exterior space.

LAKE CITY LIBRARY ENTRY



140TH STREET MURAL



In the neighborhood, secondary architectural features are used to delineate separation while creating unique spaces. The Lake City Library has large expressive gates that allow the program to extend towards community while allowing separation as needed.

A new traffic calming project, spearheaded by the Lake City Collective, provides separation between a student bus stop area and vehicular traffic. The mural creates a sense of place while striping and physical barriers create a barrier.

FIRE STATION 39



CITY RESOURCE CENTER



Civic buildings in the project area, such as Fire Station 39 and the City of Seattle Resource Center, allow for a visual connection between the exterior and interior. These structures are two and three story buildings that integrate into the existing commercial and residential fabric.

05_LAKE CITY COLLECTIVE EXTERIOR PROGRAM

STREET USE PROGRAM



The Lake City Collective has a variety of programs that often occur in the right way, adding to public life and celebrating community. Along Lake City Way, the street has been used for dance performances. At the Little Brooke park, community events have included temporary murals and children's events. Public space and street use is central to the mission of the Lake City Collective.

CULTURAL PROGRAM



Many of the cultural programs that the Lake City Collective provides require a large flexible space where community members can gather. The events often occur in neighborhood parking lots or informal spaces.

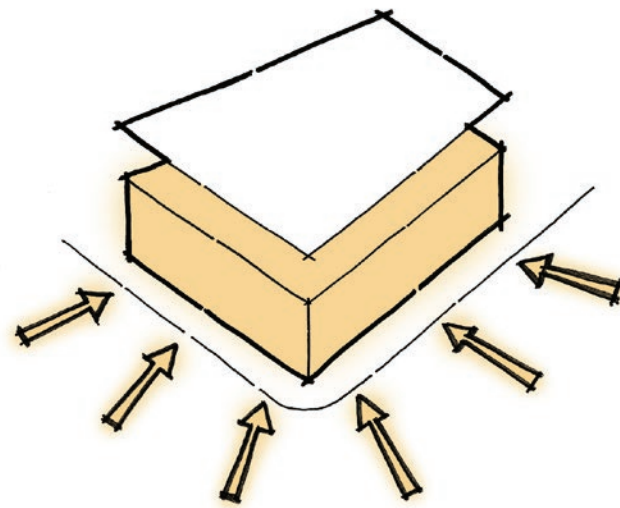
GATHERING AND LEARNING PROGRAM



The Lake City Collective also has learning programs that occur outside. Programs include gardening, soccer camps, fitness classes and children's events. These programs often are smaller and require a more intimate space. Currently, many of these programs are impacted by season, and exterior covered space is desired in order to extend learning opportunities year-round.

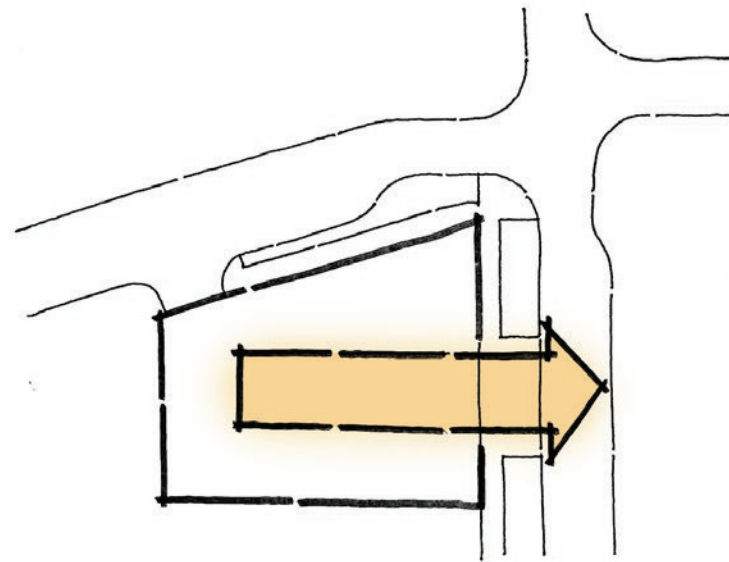
05_GUIDING PRINCIPLES

The following principles are used to guide the development of all three massing schemes.



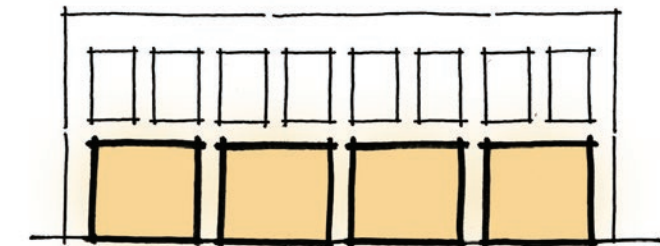
WELCOME AND SECURE

Open and welcoming at all times, the center is designed for everyday gathering, celebrations like quinceañeras, cultural events, educational workshops, and food drives, while also standing ready as a dependable haven in times of crisis. Whether facing power outages, natural disasters, or public health emergencies, the building functions as a resilience hub: safe, secure, and supportive.



CONNECT

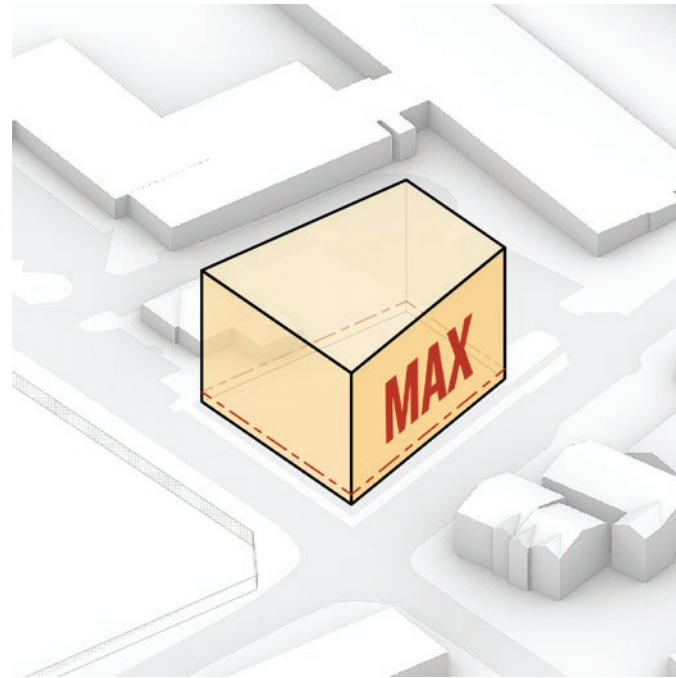
The heart of the center, its main hall, opens directly to a generous plaza that extends to the street's edge. When Lake City Collective closes the block for a blood drive, food distribution, or neighborhood celebration, the boundary between building and street disappears entirely: the hall spills outward, the plaza fills with people, and 32nd Ave NE becomes the community's living room.



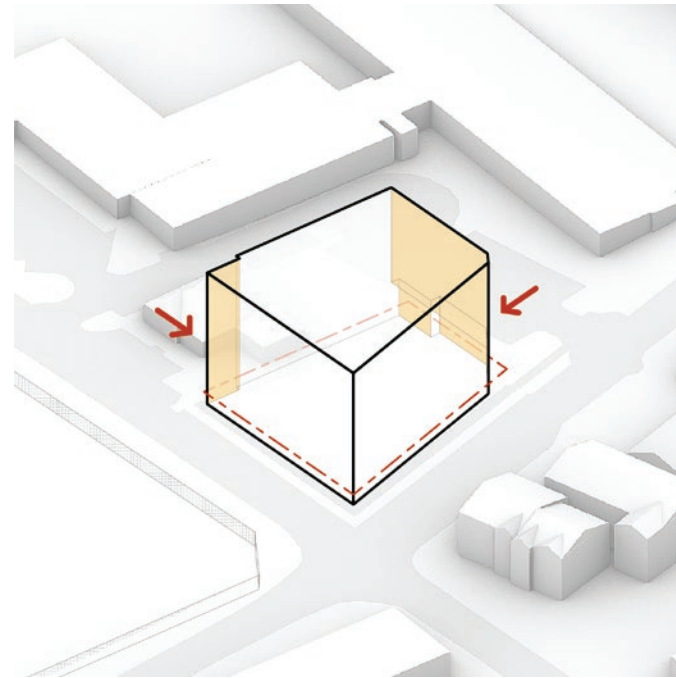
CELEBRATE

Lake City has long expressed itself through large openings, the wide bays of its auto shops and repair garages, the generous glazing of Fire Station 39, the open frontage of the Lake City Library. The Cultural Center draws from this vernacular, embracing oversized operable openings that blur the line between inside and out. These doors don't just let light in, they connect the program of the center to the rhythm of the neighborhood, signaling that what happens here is meant to be shared with the street.

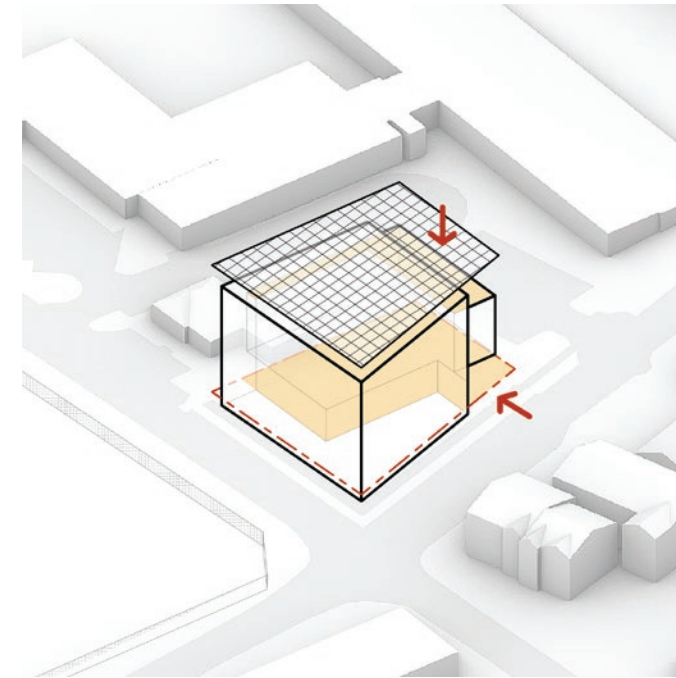
05_DESIGN MASSING EVOLUTION



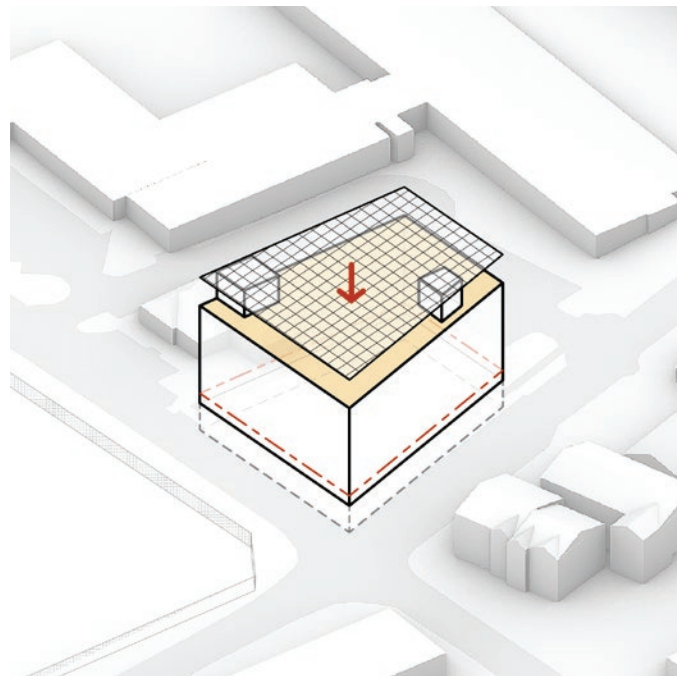
SITE AND HEIGHT EXTENTS



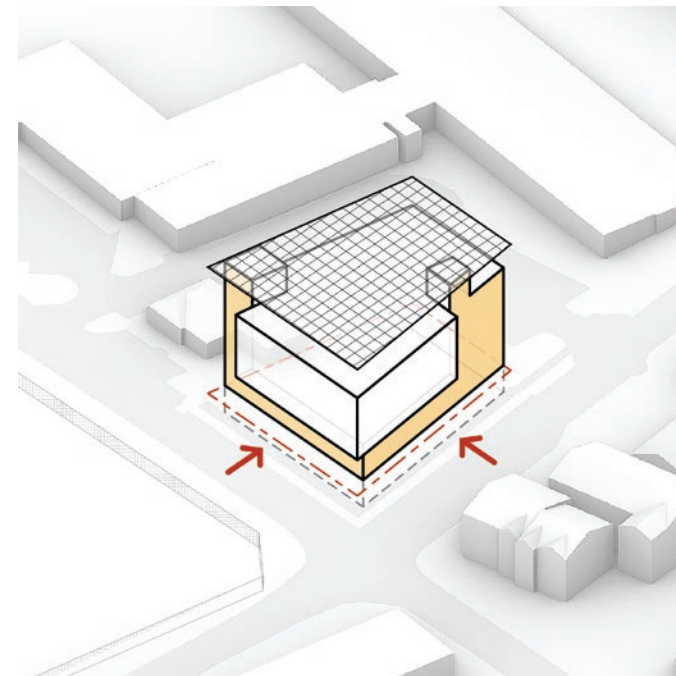
SETBACK FOR TREES AND ZONING



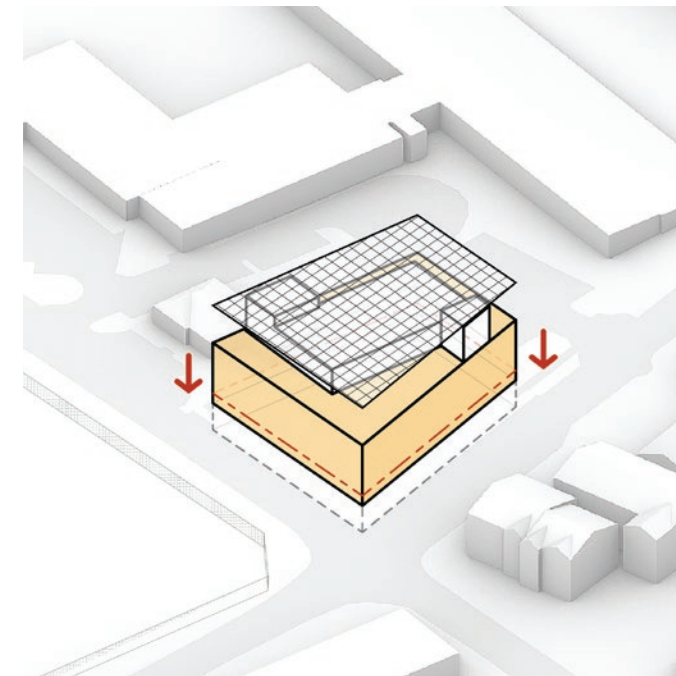
ADD PARKING AND URBAN AGRICULTURE (OPTION 1)



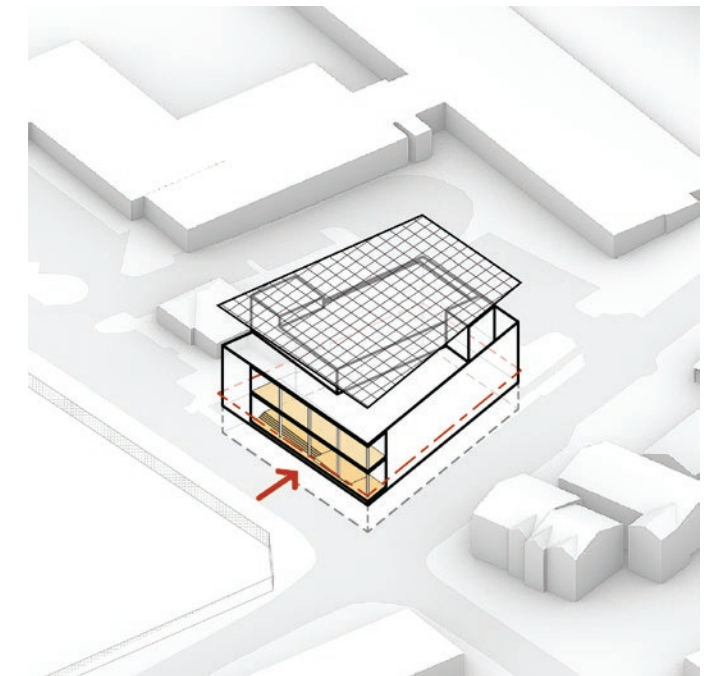
LOWER PARKING AND REDUCE HEIGHT



SETBACK MASS AND EMPHASIZE HALL (OPTION 2)



LOWER HALL AND REDUCE BULK



CONNECT STREET WITH OPERABLE PORCH (OPTION 3 PREFERRED)

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05_ARCHITECTURAL MASSING CONCEPT



OPTION 1

A Living Building Challenge Pilot Program four-story, code-compliant scheme with setbacks at the zoning code prescribed heights. The scheme wraps around surface-level parking accessed from NE 137th Street, providing screened parking along the right of way. A solar collector emphasizes the building mass, while a rooftop urban agriculture garden provides relief to adjacent neighbors.



OPTION 2

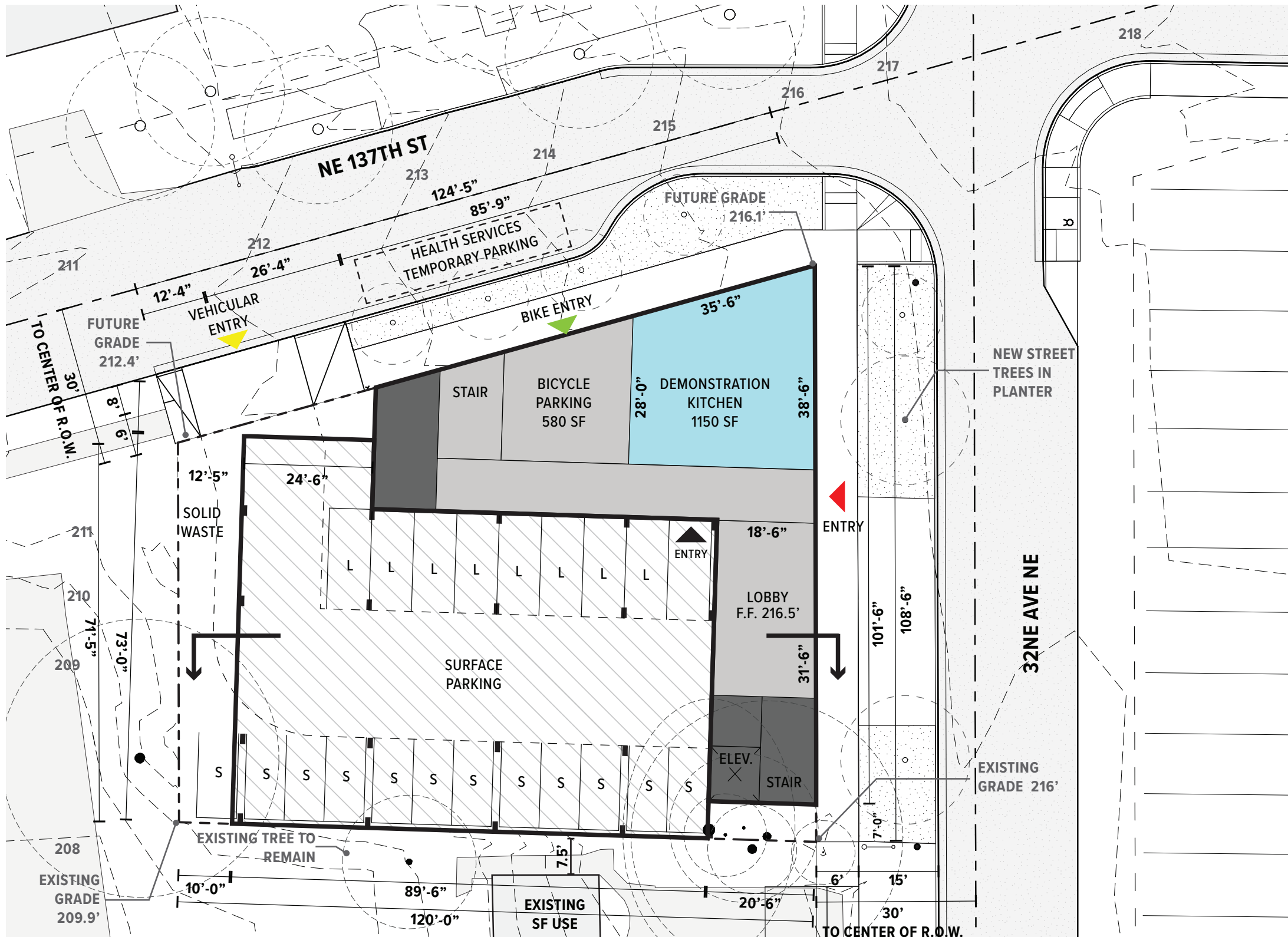
A Living Building Challenge Pilot Program structure with a simple form that emphasizes a large program hall. The three-story structure, 15 feet below the allowable building height, opens to 32nd Ave NE through a voluntary setback at ground level. Access to partially below grade parking is provided along NE 137th Street. The large gathering space visually connects to the street and captures surrounding territorial views. A large urban agriculture garden under a solar collector emphasizes the form while providing relief from surrounding views.



OPTION 3 (PREFERRED)

A Living Building Challenge Pilot Program scheme that emphasizes a two-level mass with a mezzanine that opens to an urban garden and roof deck below a solar collector. Operable porches connect the streets' public life with a large ground level hall. The building enclosure is 55' tall, 20 feet below the allowable building height with access to below-grade parking is provided from NE 137th Street.

05_OPTION ONE



OPTION DETAILS

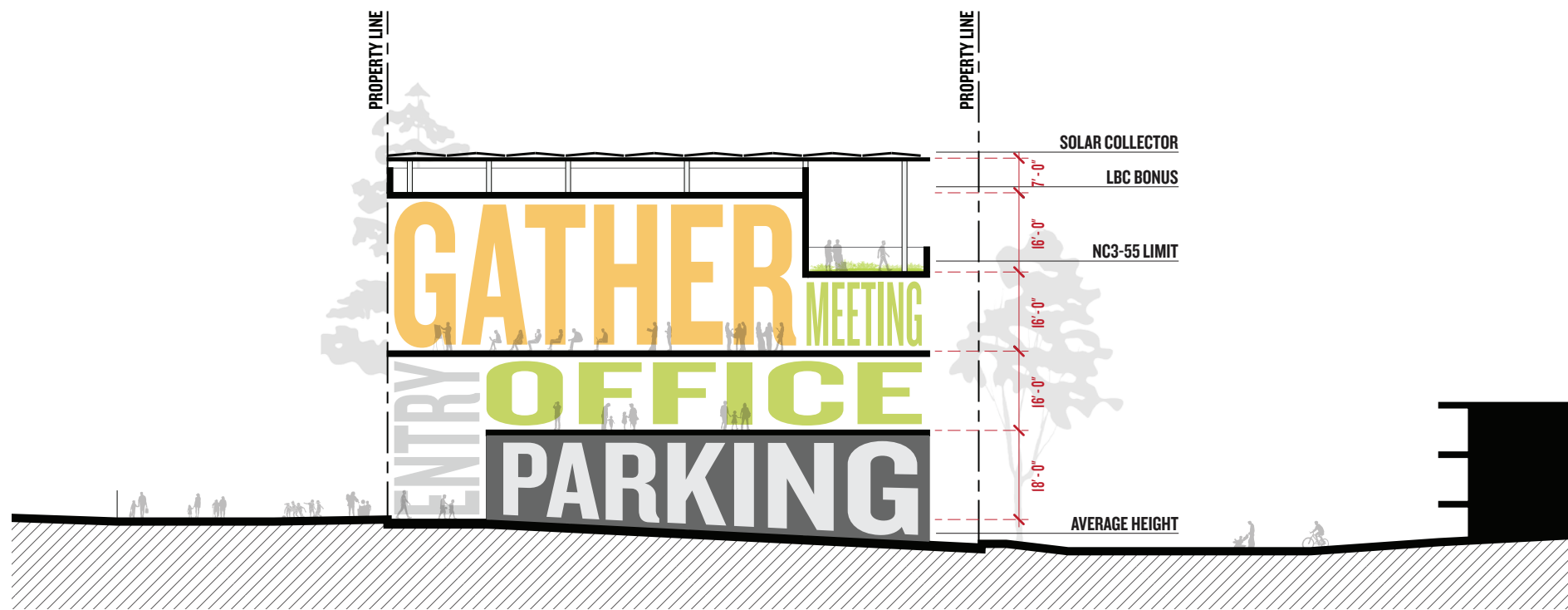
Alternative 1 is a Living Building Challenge Pilot Program four-story, code-compliant scheme with setbacks at the zoning code prescribed heights. The scheme wraps around surface-level parking accessed from NE 137th Street, providing screened parking along the right of way. A solar collector emphasizes the building mass, while a rooftop urban agriculture garden provides relief to adjacent neighbors.

Advantages:

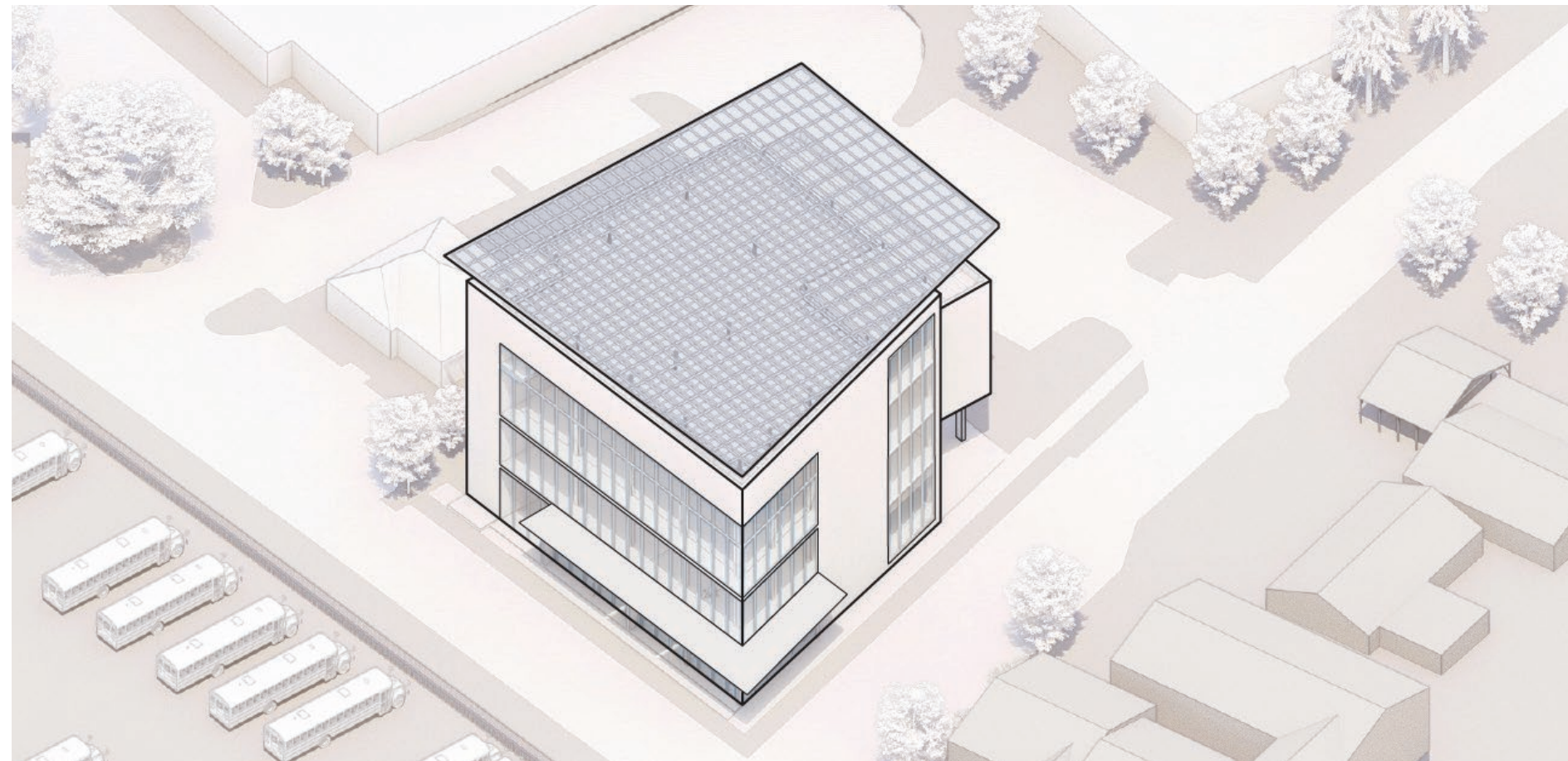
- Meets prescribed zoning requirements
- Massing relief to adjacent abutting neighbors
- Mass responds to existing trees

Disadvantages:

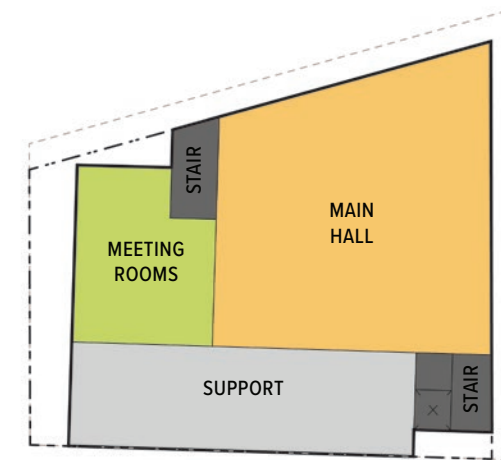
- Provides surface parking that limits ground-level program
- Limited ground-level program connection to street
- Requires tall mass with gathering spaces at upper levels.
- Active hall program above ground level
- Requires street level setback and parking count departures



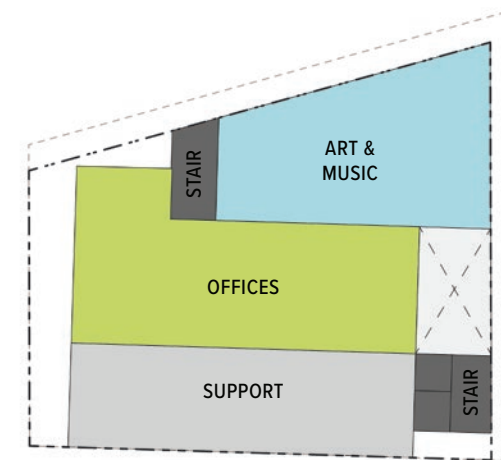
SECTION



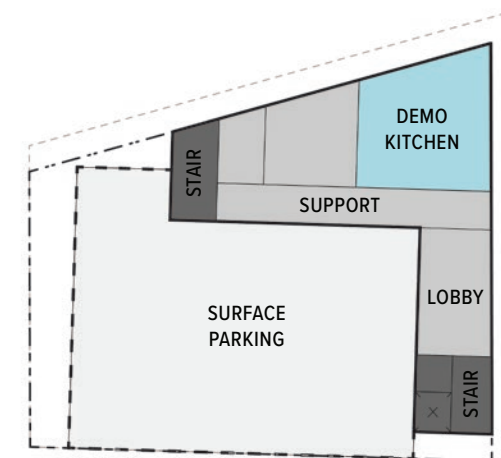
PERSPECTIVE FROM NORTHEAST



FLOOR PLAN - LEVEL 3



FLOOR PLAN - LEVEL 2



FLOOR PLAN - LEVEL 1

05_OPTION ONE



NE CORNER VIEW



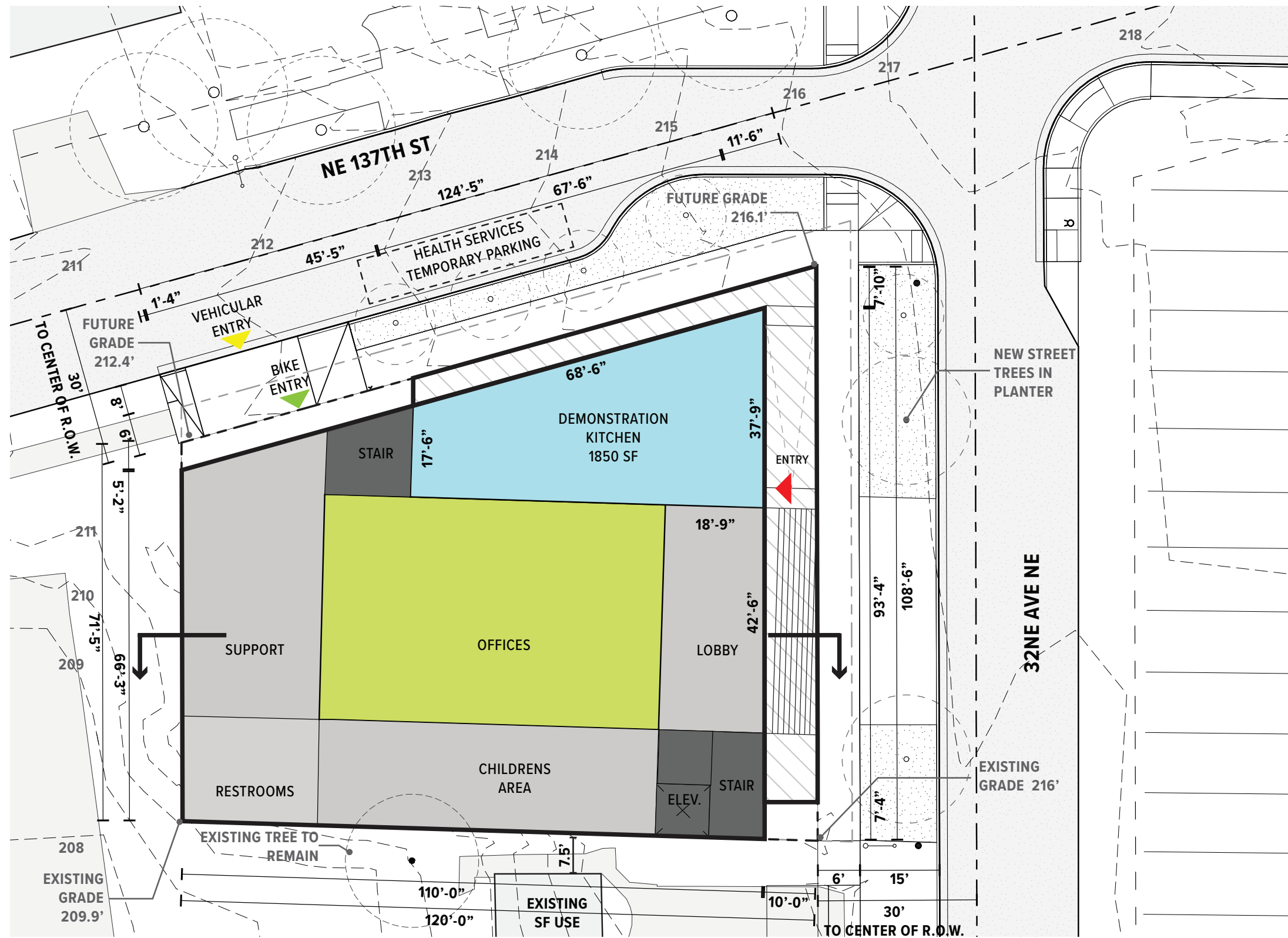
NW CORNER VIEW



SE CORNER VIEW

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05_OPTION TWO



OPTION DETAILS

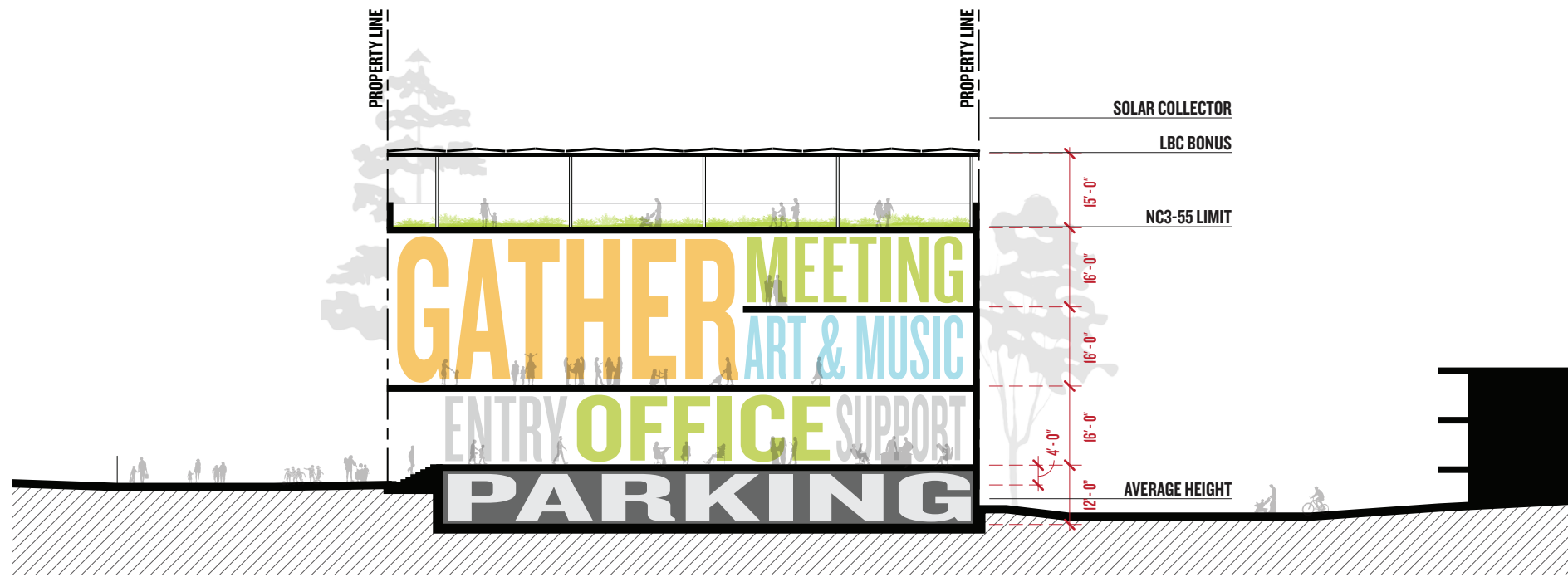
Alternative 2 is a Living Building Challenge Pilot Program structure with a simple form that emphasizes a large program hall. The three-story structure, 15 feet below the allowable building height, opens to 32nd Ave NE through a voluntary setback at ground level. Access to partially below grade parking is provided along NE 137th Street. The large gathering space visually connects to the street and captures surrounding territorial views. A large urban agriculture garden under a solar collector emphasizes the form while providing relief from surrounding views.

Advantages:

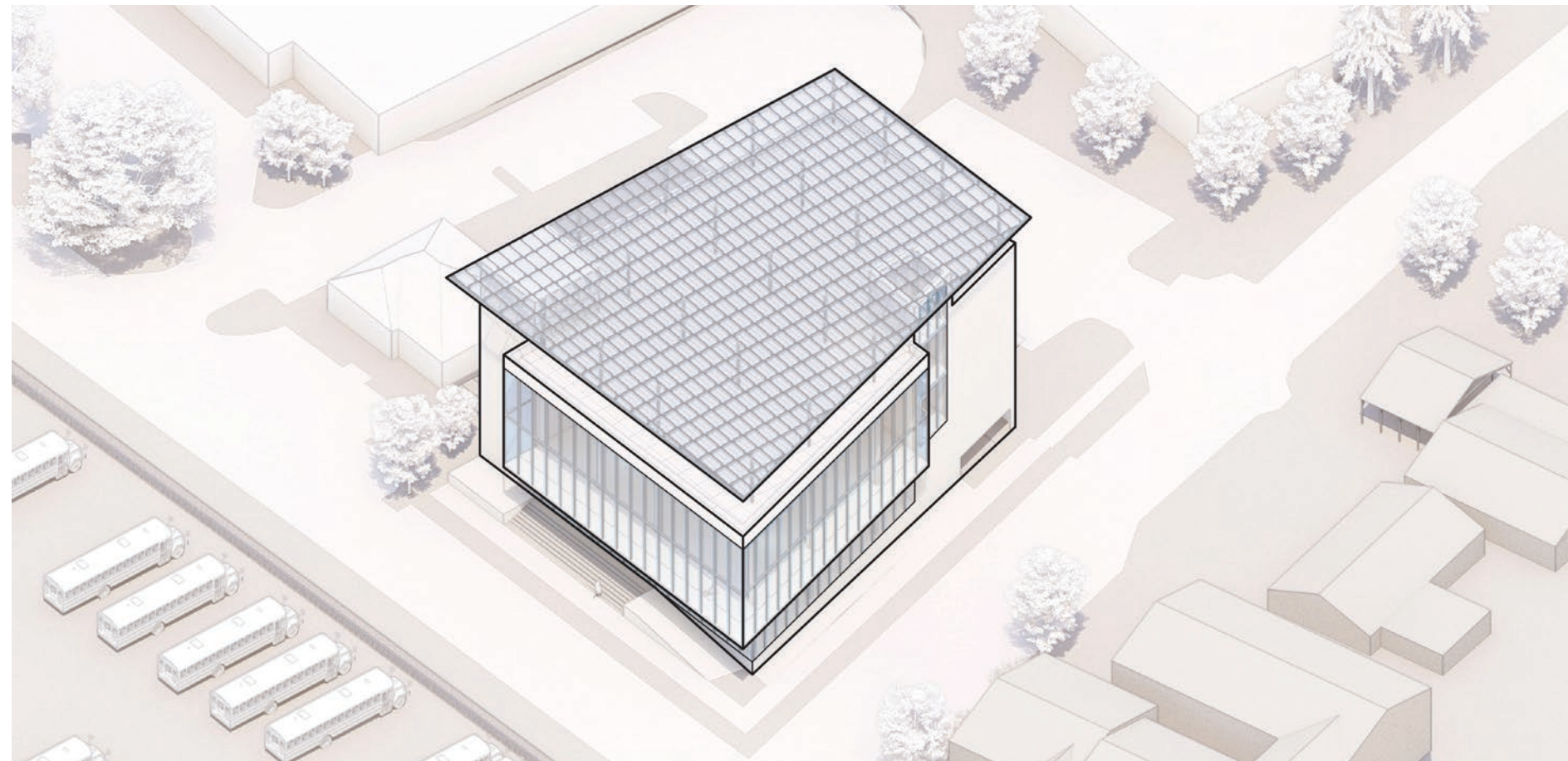
- Fully below-grade parking
- Reduced building height providing massing relief to abutting neighbors.
- Increased Ground-level Program footprint
- Active hall program at ground level

Disadvantages:

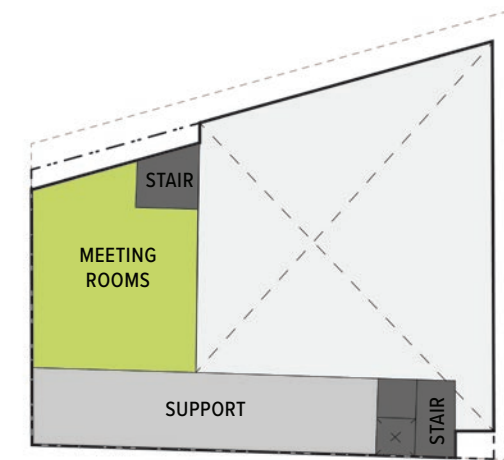
- No upper-level and residential lot setback
- Requires street level setback and parking count departures
- Existing significant trees removed. Refer to page 16 for existing trees.



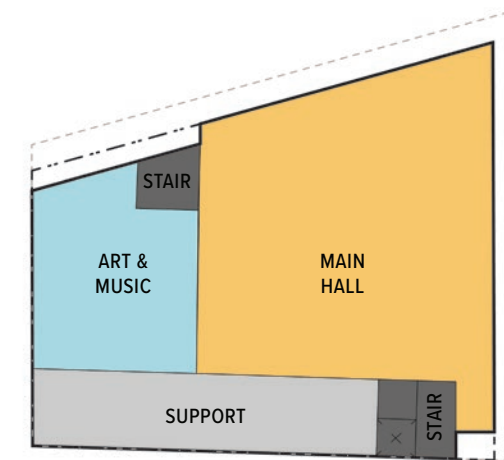
SECTION



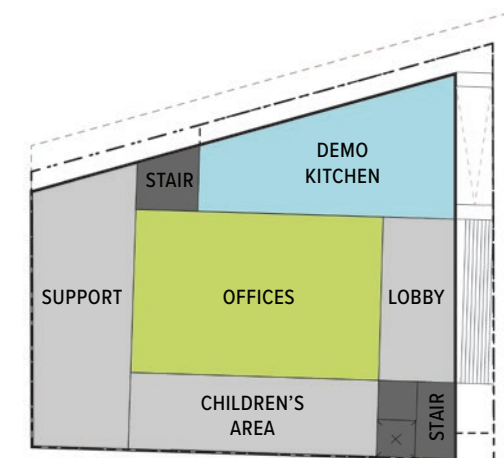
PERSPECTIVE FROM NORTHEAST



FLOOR PLAN - LEVEL 3



FLOOR PLAN - LEVEL 2



FLOOR PLAN - LEVEL 1



NE CORNER VIEW



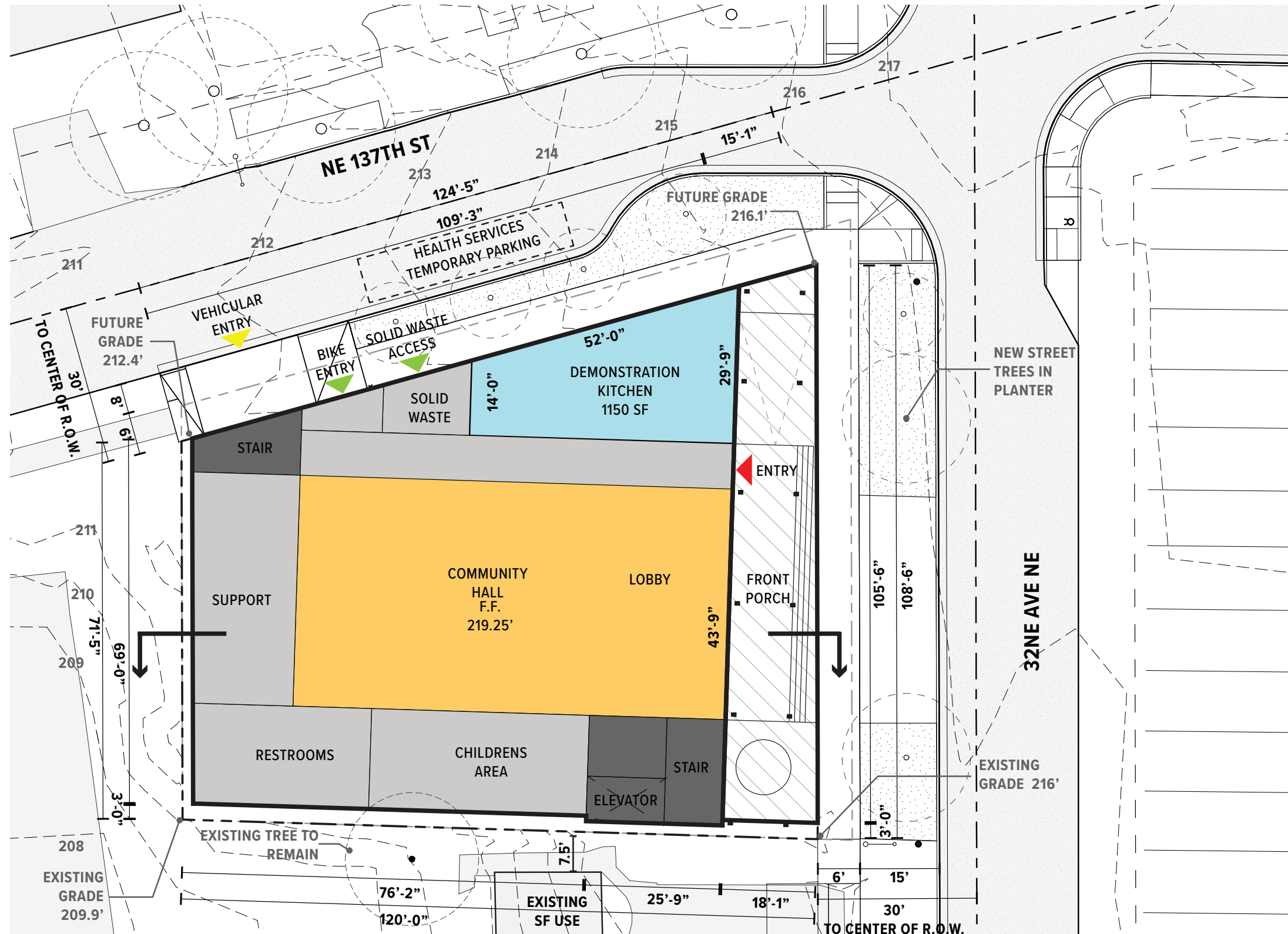
NW CORNER VIEW



SE CORNER VIEW

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05_OPTION THREE (PREFERRED)



OPTION DETAILS

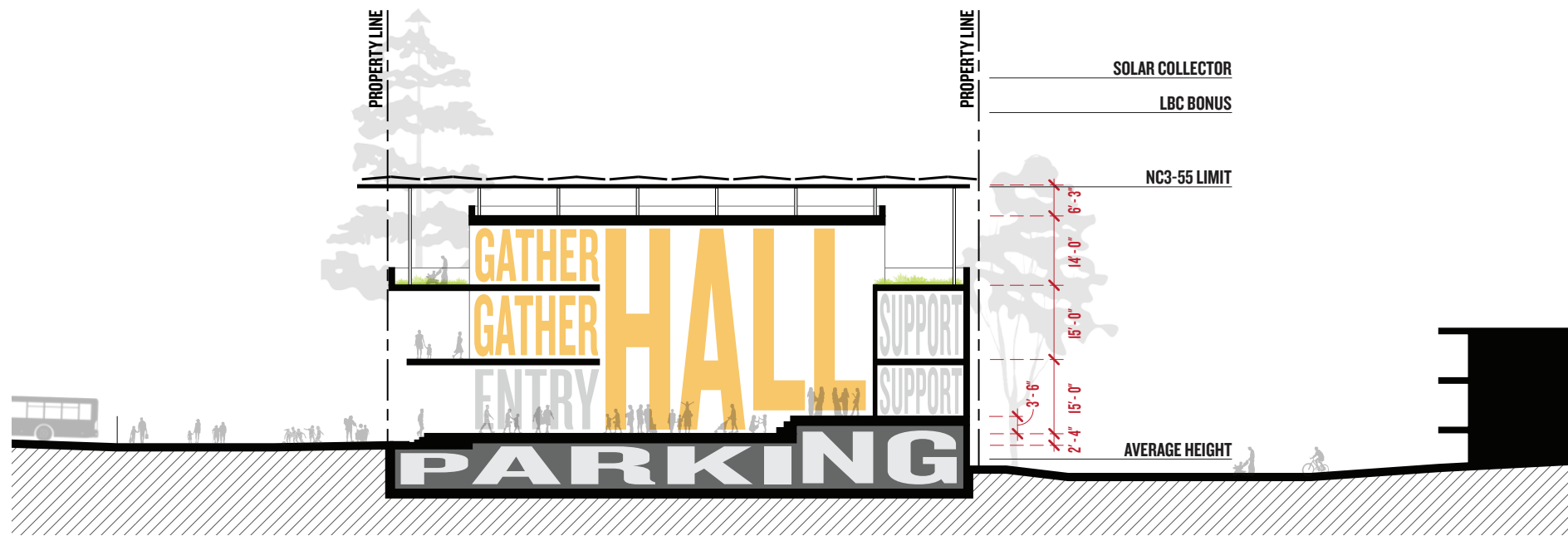
Alternative 3 is a Living Building Challenge Pilot Program scheme that emphasizes a two-level mass with a mezzanine that opens to an urban garden and roof deck below a solar collector. Operable porches connect the streets' public life with a large ground level hall. The building enclosure is 55' tall, 20 feet below the allowable building height with access to below-grade parking is provided from NE 137th Street.

Advantages:

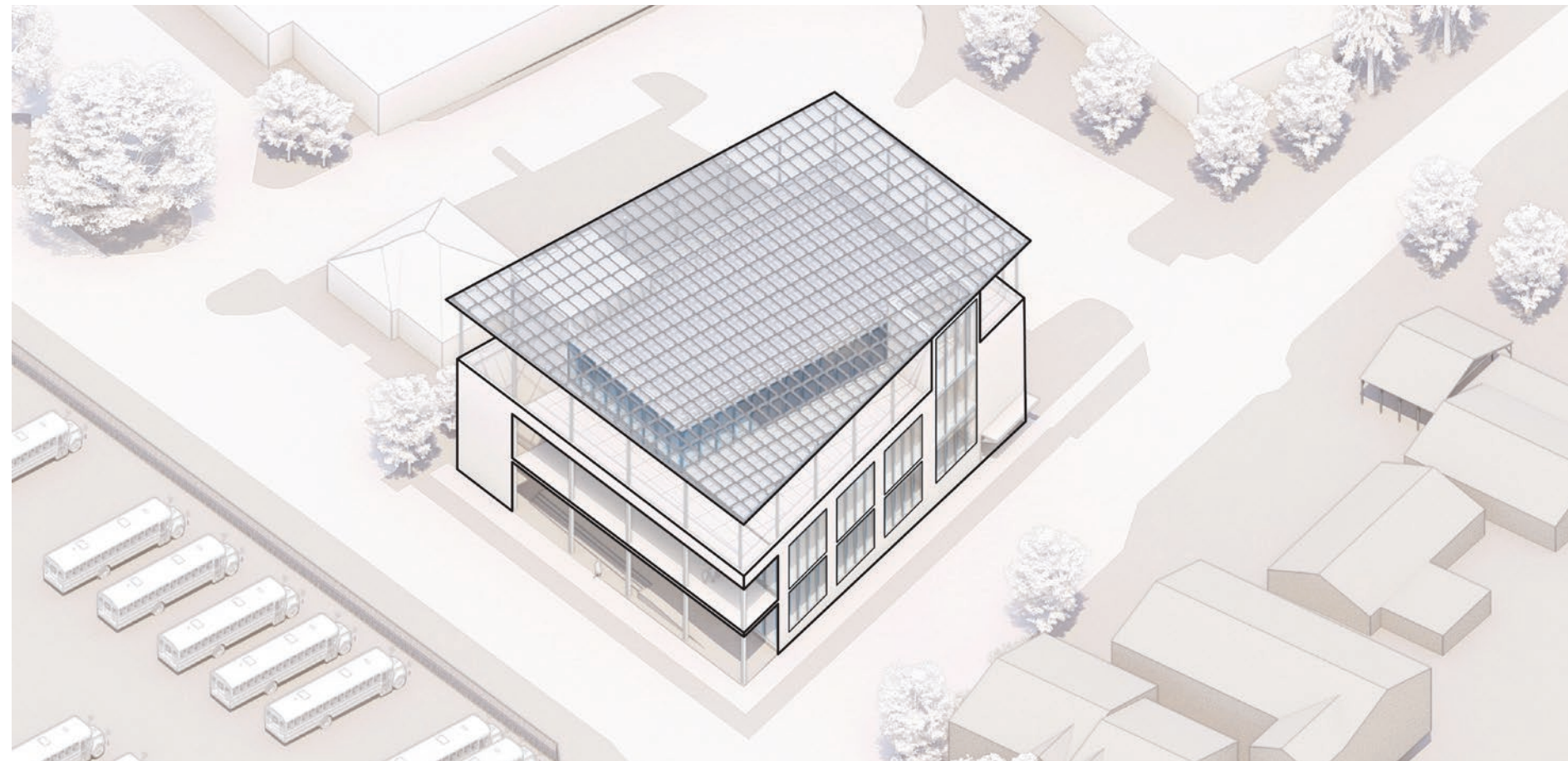
- Partially below grade parking
- Reduced building height providing massing relief to abutting neighbors.
- Increased Ground-level Program footprint

Disadvantages:

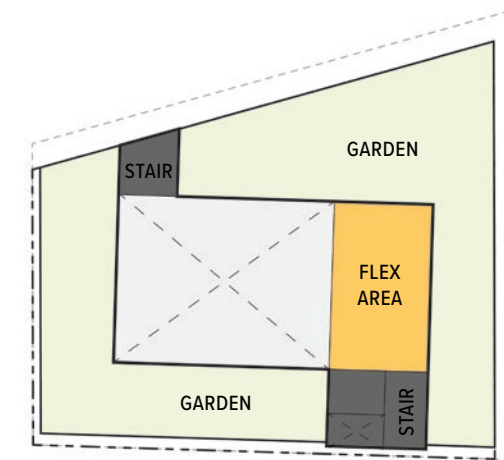
- Enclosed Structure is approximately 65' tall
- No Upper-Level and Residential Lot setback
- Ground-level is 6' Above 32nd Ave NE
- Active hall program above ground-level
- Existing significant trees removed. Refer to page 16 for existing trees.



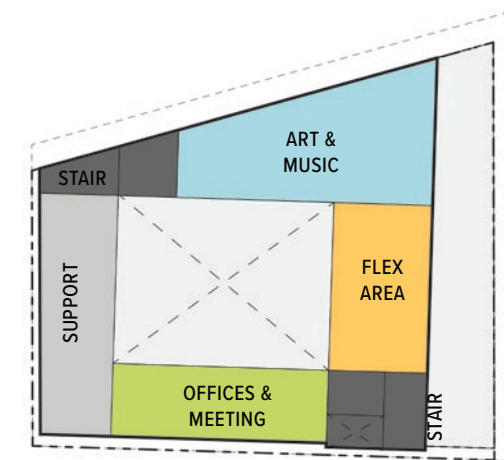
SECTION



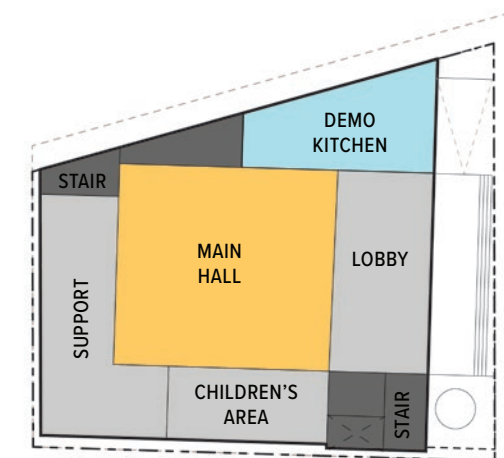
PERSPECTIVE FROM NORTHEAST



FLOOR PLAN - LEVEL 3



FLOOR PLAN - LEVEL 2



FLOOR PLAN - LEVEL 1

05_OPTION THREE (PREFERRED)



NE CORNER VIEW



NW CORNER VIEW



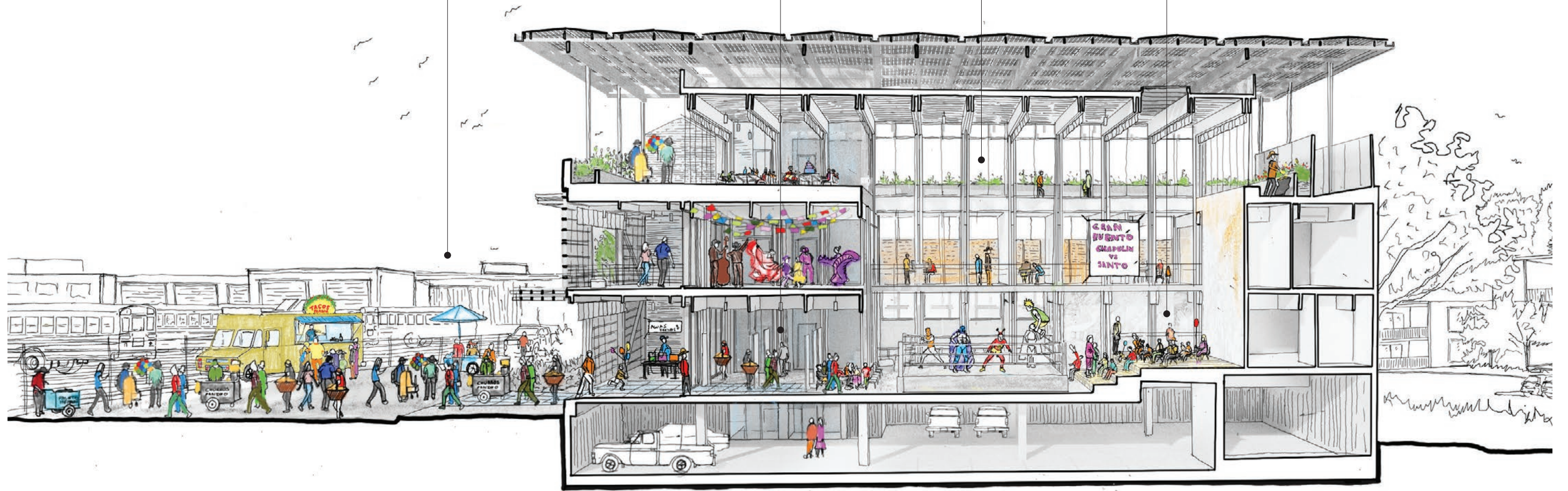
SE CORNER VIEW

STREET EVENTS

GARDENING

ART GALLERY

CULTURAL EVENTS



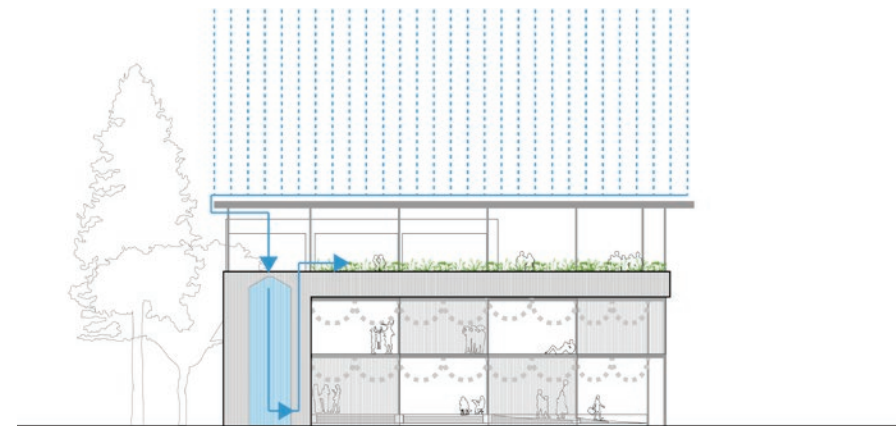
CONCEPTUAL CHARACTER SECTION

05_OPTION THREE (PREFERRED)



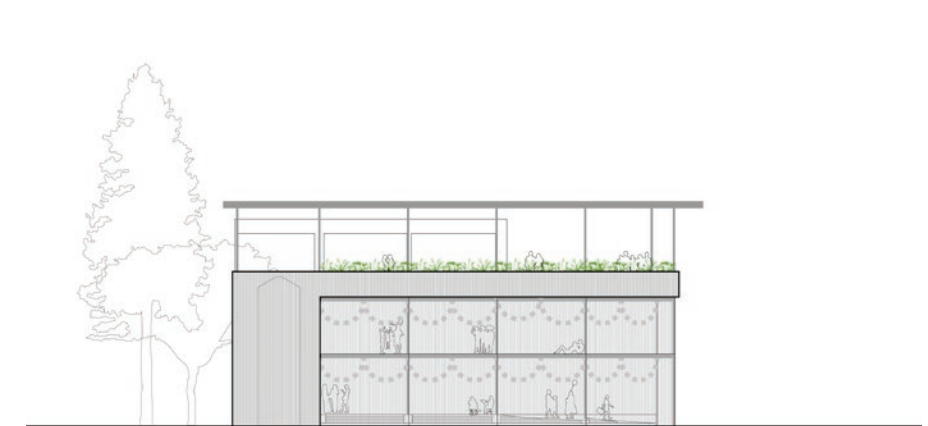
ENERGY

The building targets an EUI of approximately 30 through a high-efficiency air-source heat pump with radiant flooring, passive ventilation, and a fully electric program, including the commercial kitchen and pottery kiln. A rooftop photovoltaic array generates 105% of annual energy needs, with battery storage providing back-up power for resilience.



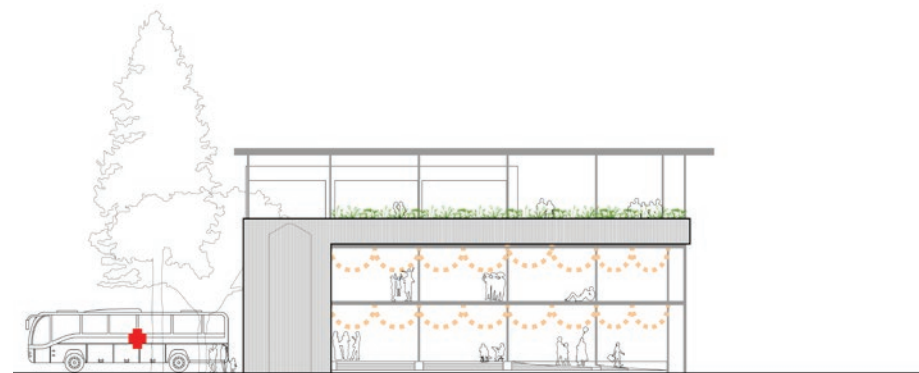
WATER

All stormwater is managed on-site: a 15,000-gallon rainwater cistern supplies irrigation and toilet flushing, while a 15,000-gallon detention tank controls flow in accordance with city requirements. Photovoltaic canopies visibly channel rainwater to the cistern, making the water cycle legible to building users. Greywater is treated and recirculated for flushing; blackwater is treated on-site before discharge.



FOOD SYSTEM RESILIENCE

The rooftop urban agriculture zone places food production at the heart of the building, fostering a deeper connection between occupants and natural systems. These interventions work together to restore ecological functions, support pollinators, and promote a sustainable urban lifestyle.



STREET USE

The public realm surrounding the center is conceived as programmable space, extending the reach of the Lake City Collective into the neighborhood. By closing the adjacent streets for mammogram clinics, blood drives, food distributions, and community health events, the building's impact stretches beyond its walls, activating the sidewalk and plaza as an outdoor extension of the center's mission.



CELEBRATIONS

The center is designed to hold joy. From quinceañeras and birthday celebrations to lucha libre events and cultural festivals, the building's flexible main hall and open plaza provide a dignified, community-owned venue for the moments that matter most. For a neighborhood historically under served by gathering spaces, this is a place where families can celebrate on their own terms.

05_OPTION THREE (PREFERRED)



CONCEPTUAL PEDESTRIAN LIFE CHARACTER SKETCH

05_OPTION THREE (PREFERRED) LANDSCAPE SITE PLAN



1. Pollinator & Forage Planting Areas



3. Planter Protection Railing



4. Cafe/Flex Zone - Seating



4. Cafe/Flex Zone - Potted Planters



8. Planter System at Mezzanine



11. Planter beds for urban agriculture

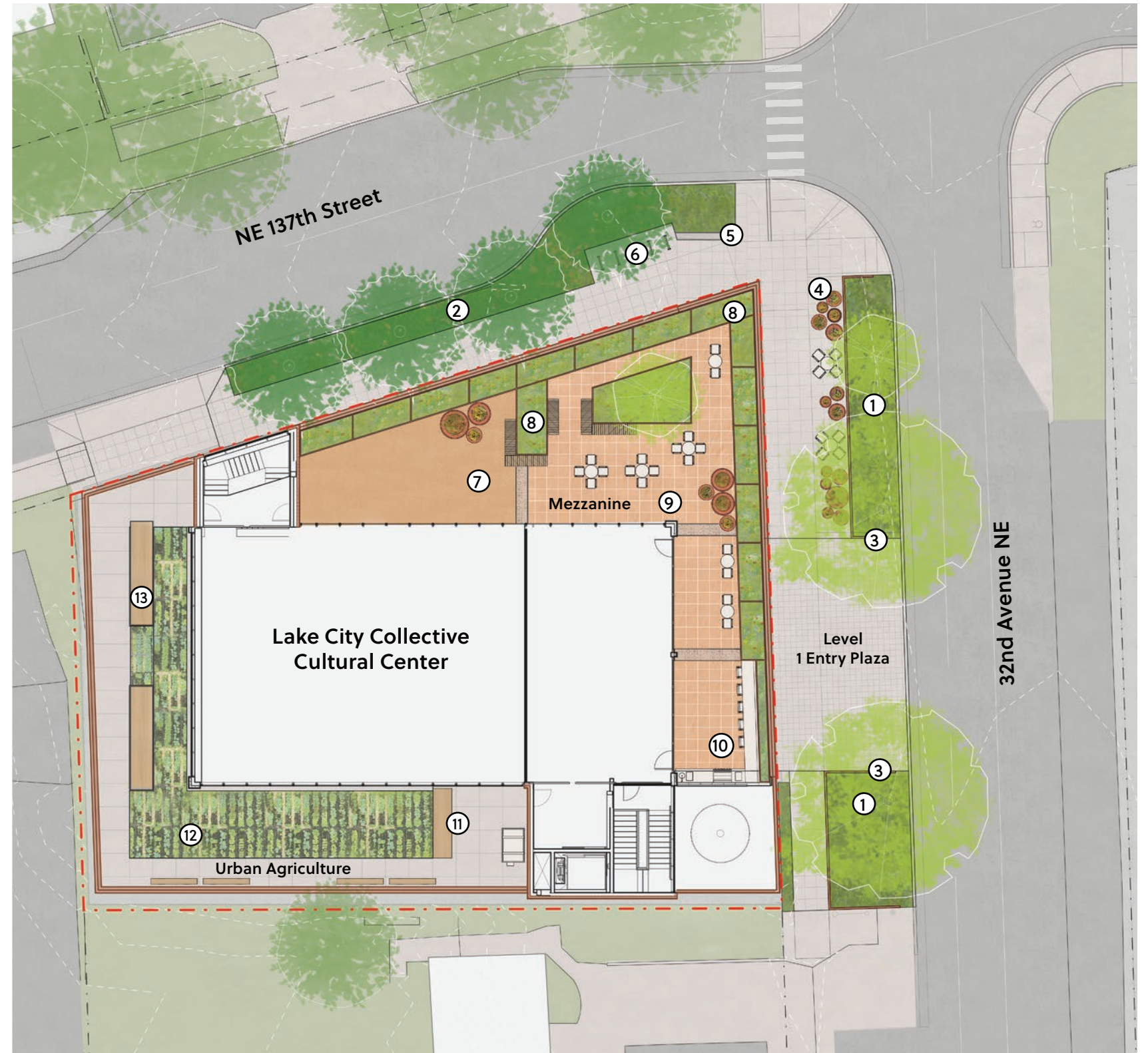
LEGEND

Level 1

- 1. Pollinator & Forage Planting
- 2. Lowland Planting
- 3. Plant Protection Rails
- 4. Cafe/Flex Zone
- 5. Entry Sign & Seatwall
- 6. Bike Parking

Level 3 - Mezzanine

- 7. Safety Surfacing
- 8. Elevated Planters + Planters with Seating
- 9. Flex Space
- 10. Outdoor Kitchen & Herb Garden
- 11. Ag Work Area & Storage
- 12. Planter Beds
- 13. Demonstration/Work Tables



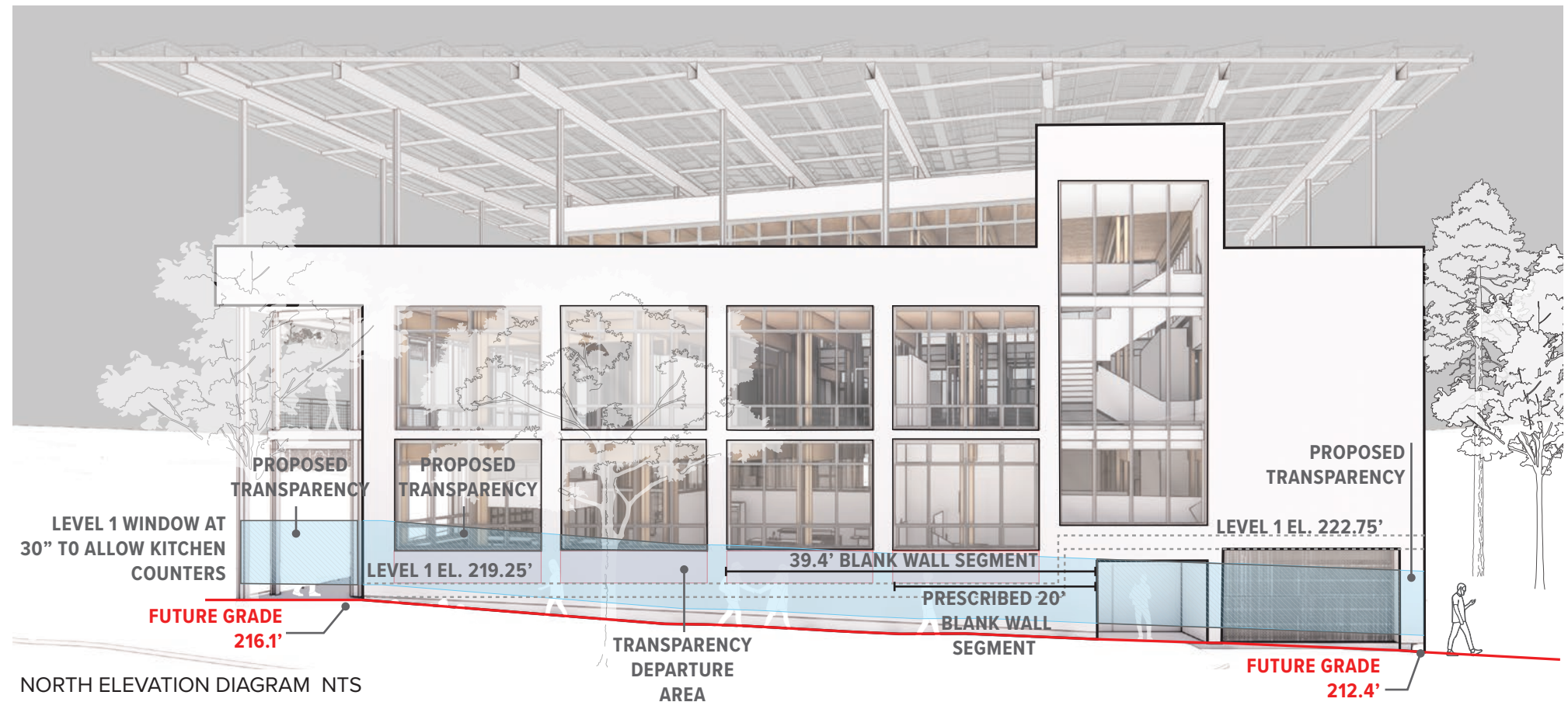
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06
DEPARTURES

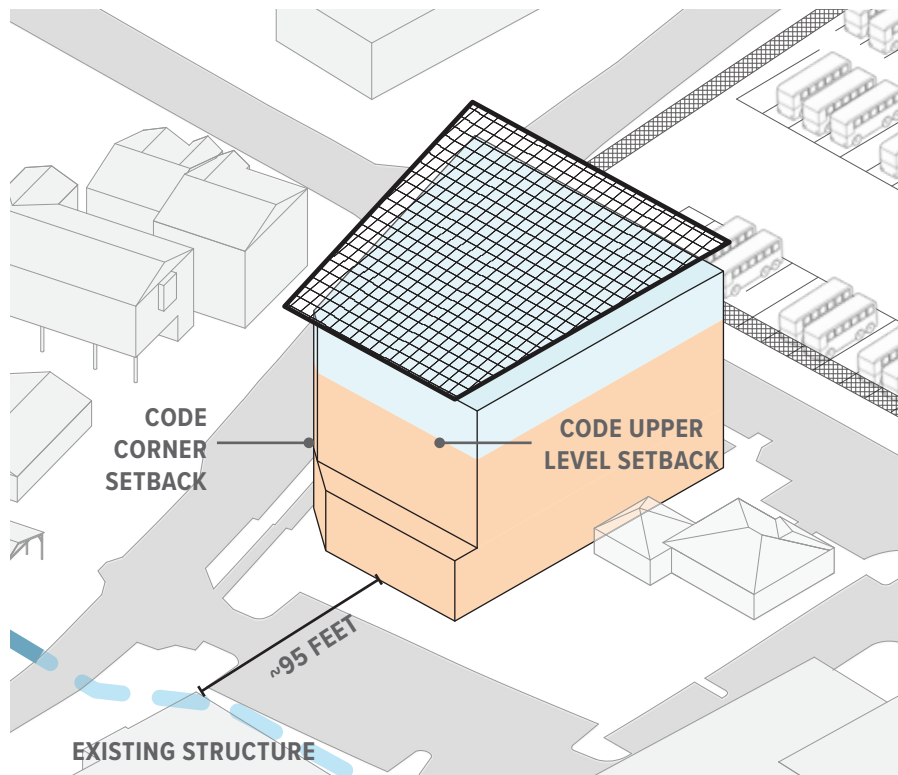
06_DEPARTURES

#	CODE CITATION	REQUIREMENT	DEPARTURE	RATIONALE	DESIGN GUIDELINES
1	23.47A.008.2.C Street Level Dev. Standards Blank Façade	Blank segments of the street-facing facade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width	Increase Blank Segment from 20' to 39' -4"	A increased blank segment is created along NE 137th Street due to sloping topography towards the west and in order to provide below grade parking, reduce the height, bulk and scale, and maximize program connection at street level.	CS2.D.4 Height, Bulk, And Scale: Massing Choices CS2.B.2 Adjacent Sites, Streets, & Open Spaces: Connection to the Street: PL1.A.2 Network of Open Spaces: Adding to Public Life PL1.C.2 Outdoor Uses and Activities: Informal Community Uses DC1.A.2 Arrangement of Interior Uses: Gathering Places DC3.A.1 Building-Open Space Relationship: Interior/Exterior Fit
2	23.47A.008.B.2.a Street Level Dev. Standards Transparency	Sixty percent of the street-facing façade between 2 feet and 8 feet above the sidewalk shall be transparent	Decrease Transparency along NE 137th Street from 60% to 32.2% of the Street Facign façade. A 196 SF of transparency instead of 365 SF.	A reduced street level transparency is created along NE 137th Street due to sloping topography to the west and in order to provide below grade parking, reduce the height, bulk and scale, and maximize program connection at street level.	CS2.D.4 Height, Bulk, And Scale: Massing Choices CS2.B.2 Adjacent Sites, Streets, & Open Spaces: Connection to the Street: PL1.A.2 Network of Open Spaces: Adding to Public Life PL1.C.2 Outdoor Uses and Activities: Informal Community Uses DC1.A.2 Arrangement of Interior Uses: Gathering Places DC3.A.1 Building-Open Space Relationship: Interior/Exterior Fit

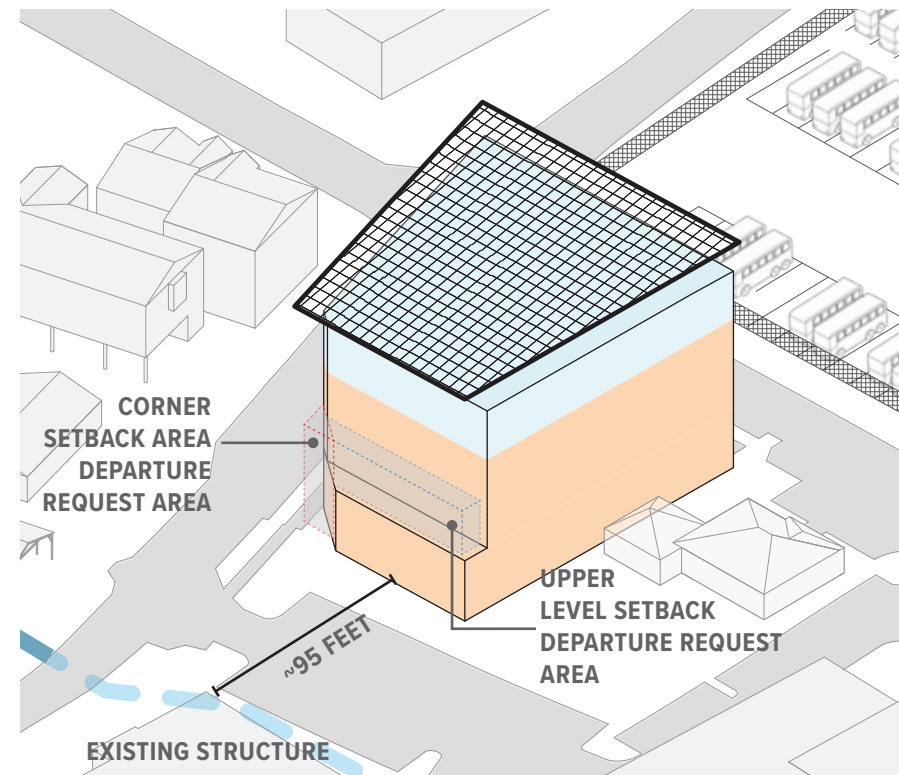


NORTH ELEVATION DIAGRAM NTS

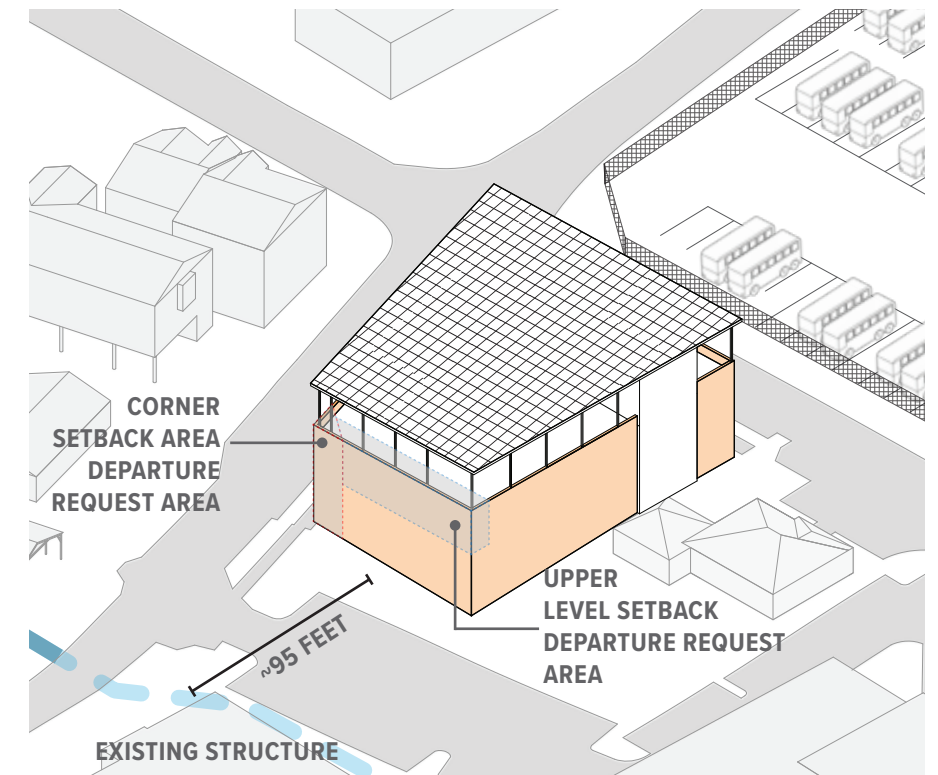
#	CODE CITATION	REQUIREMENT	DEPARTURE	RATIONALE	DESIGN GUIDELINES
3	23.47A.014.B.1. Setbacks Setback Abutting A Side Lot Line Or Residential Zone	A setback is required where a lot abuts the intersection of a side lot line and front lot line of a lot in a residential zone or a lot that is zoned both commercial and residential if the commercial zoned portion of the abutting lot is less than 50 percent of the width or depth of the lot. The required setback forms a 15' triangular area.	Decrease the residential zone setback triangle extending along the street lot from 15 feet to 2 feet.	The west edge of the preferred concept has a voluntary 18 foot setback 40 foot above grade and the enclosed building is approximately 20 feet below the allowable Living Building Pilot Program height limit. Together these reduce the building height, bulk, and scale while reducing the perceived mass to the existing west apartment use, approximately 95 feet away from the development.	CS2.D.4 Height, Bulk, And Scale: Existing Development and Zoning: CS2.D.4 Height, Bulk, And Scale: Massing Choices PL1.C.2 Outdoor Uses and Activities: Informal Community Uses DC2.A.2 Massing: Reducing Perceived Mass
4	23.47A.014.B.2 Setbacks Upper Level Setback	An upper-level setback is required along the portion of any rear or side lot line that abuts a lot or portion of a lot in an LR, MR, or HR zone or that abuts a portion of a lot that is zoned commercial. Ten feet for portions of structures above 13 feet in height to a maximum of 65 feet	Decrease the upper level setback to a residential zone from 10' to 2' for portions of structures above 13 feet in height.	The west edge of the preferred concept has a voluntary 18 foot setback 40 foot above grade and the enclosed building is approximately 20 feet below the allowable Living Building Pilot Program height limit. Together these reduce the building height, bulk, and scale while reducing the perceived mass to the existing west apartment use, approximately 95 feet away from the development.	CS2.B.2 Adjacent Sites, Streets, & Open Spaces: Connection to the Street: CS2.D.4 Height, Bulk, And Scale: Existing Development and Zoning: CS2.D.4 Height, Bulk, And Scale: Massing Choices PL1.C.2 Outdoor Uses and Activities: Informal Community Uses DC2.A.2 Massing: Reducing Perceived Mass



CODE UPPER LEVEL SETBACK AND CORNER SETBACK



SETBACK DEPARTURE REQUEST DIAGRAM



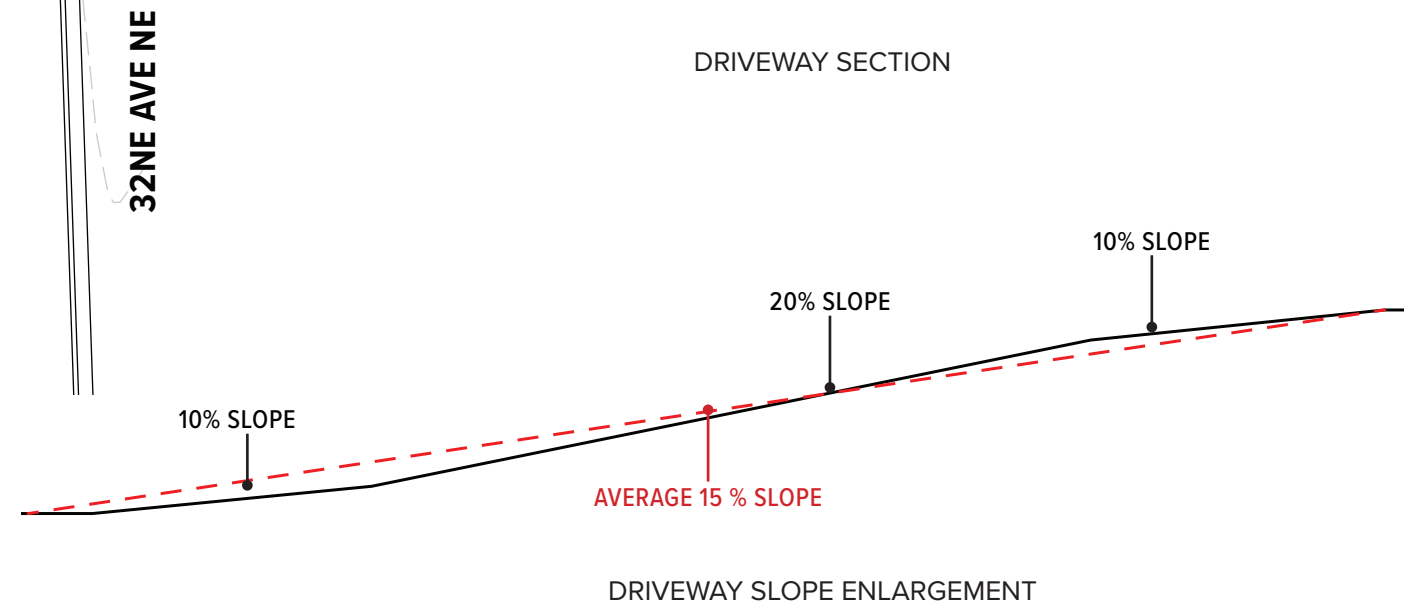
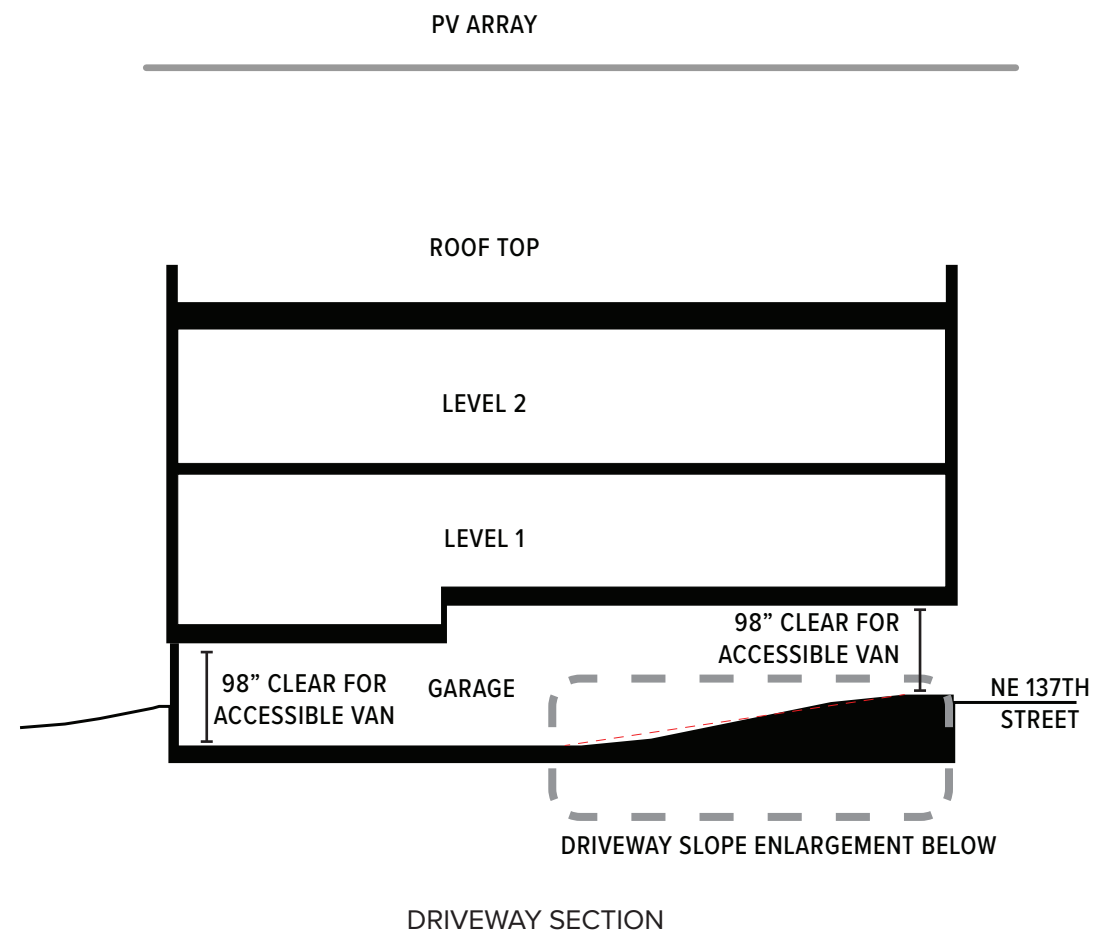
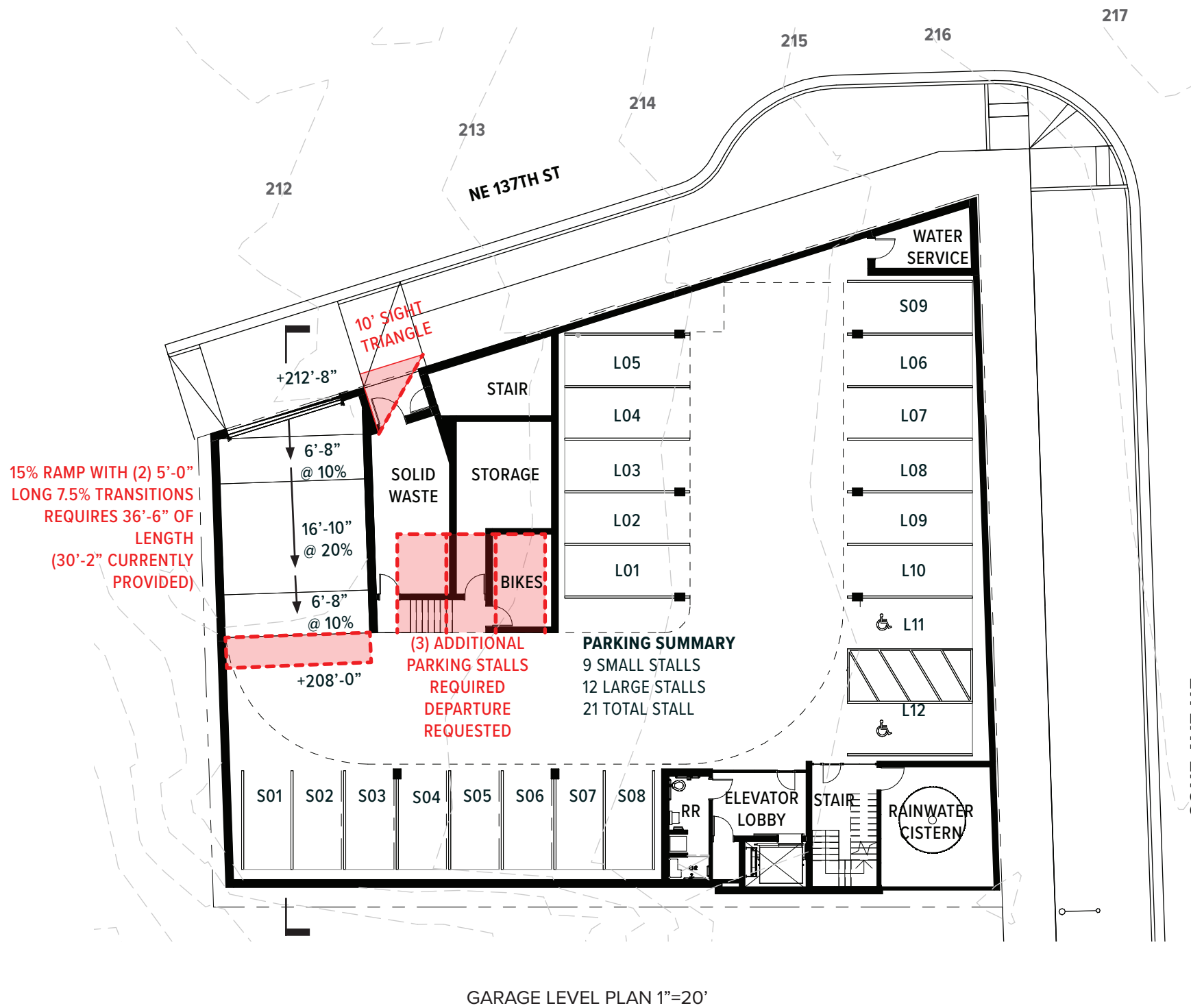
SETBACK DEPARTURE REQUEST OVER PREFERRED SCHEME

06_DEPARTURES

#	CODE CITATION	REQUIREMENT	DEPARTURE	RATIONALE	DESIGN GUIDELINES
5	23.54.015 Table C Parking Space And Access Strds Required Parking for public uses and Institutions	1 space for each 80 square feet of floor area of all auditoria and public assembly rooms containing fixed seats; plus 1 space for each 350 square feet of all other indoor areas. 24 Parking Stalls Required.	Reduce the required parking stalls from 24 to 21	Parking counts are maximized and account for expected typical use within the small lot footprint to allow below grade parking, building sustainability systems, bicycle facilities and showers, and maximize program connection at street level. Providing below grade parking further reduced perceived mass to neighbors.	DC1.C.1 Parking and Service Uses: Below-Grade Parking DC2.C. Parking and Service Uses DC2.A.2 Massing: Reducing Perceived Mass
6	23.54.030.G.2 Parking Space And Access Strds Sight Triangle	A sight triangle on the side of the driveway used as an exit shall be provided, and shall be kept clear of any obstruction for a distance of 10 feet from the intersection of the driveway or easement with a driveway, easement, sidewalk, or curb intersection if there is no sidewalk.	Eliminate the sight triangle	Replace sight triangle with visual warning lights, audible alerts and vehicular detecting sensors to eliminate, allow below grade parking, and a clear façade composition that reinforces the architectural concept.	PI2.B.3 Safety and Security: Eyes on the Street DC1.C.1 Parking and Service Uses: Below-Grade Parking DC2.C. Parking and Service Uses DC2.B. 1 Architectural and Façade Composition: Façade Composition

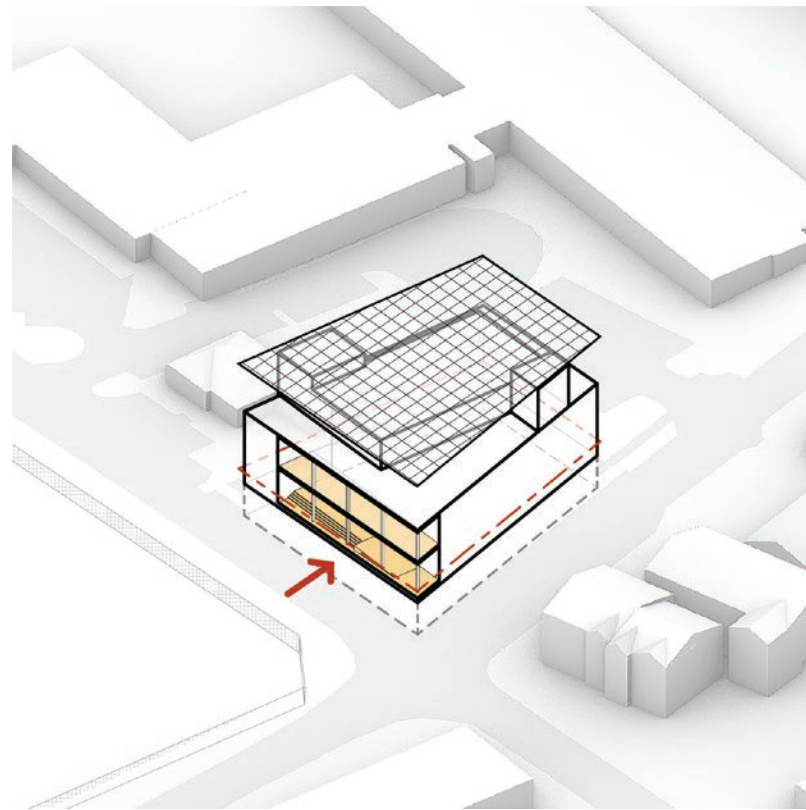
06_TYPE I REQUEST

#	CODE CITATION	REQUIREMENT	REQUEST	RATIONALE	DESIGN GUIDELINES
1	23.54.030.D.3 Parking Space And Access Strds Driveway Slope	Driveway slope for all uses. No portion of a driveway, whether located on a lot or on a right-of-way, shall exceed a slope of 15 percent, except as provided in this subsection 23.54.030.D.3. The ends of a driveway shall be adjusted to accommodate an appropriate crest and sag. The Director may permit a driveway slope of more than 15 percent	Increase the driveway slope from 15 percent to 20 Percent	A increased driveway slope is requested in order to provide below grade parking, reduce the height, bulk and scale, and maximizing program connection at street level within the small lot footprint.	CS2.D.4 Height, Bulk, And Scale: Massing Choices CS2.B.2 Adjacent Sites, Streets, & Open Spaces: Connection to the Street: PL2.A.1 Accessibility: Access for All DC1.C.1 Parking and Service Uses: Below-Grade Parking DC1.A.2 Arrangement of Interior Uses: Gathering Places DC2.A.2 Massing: Reducing Perceived Mass DC3.A.1 Building-Open Space Relationship: Interior/Exterior Fit

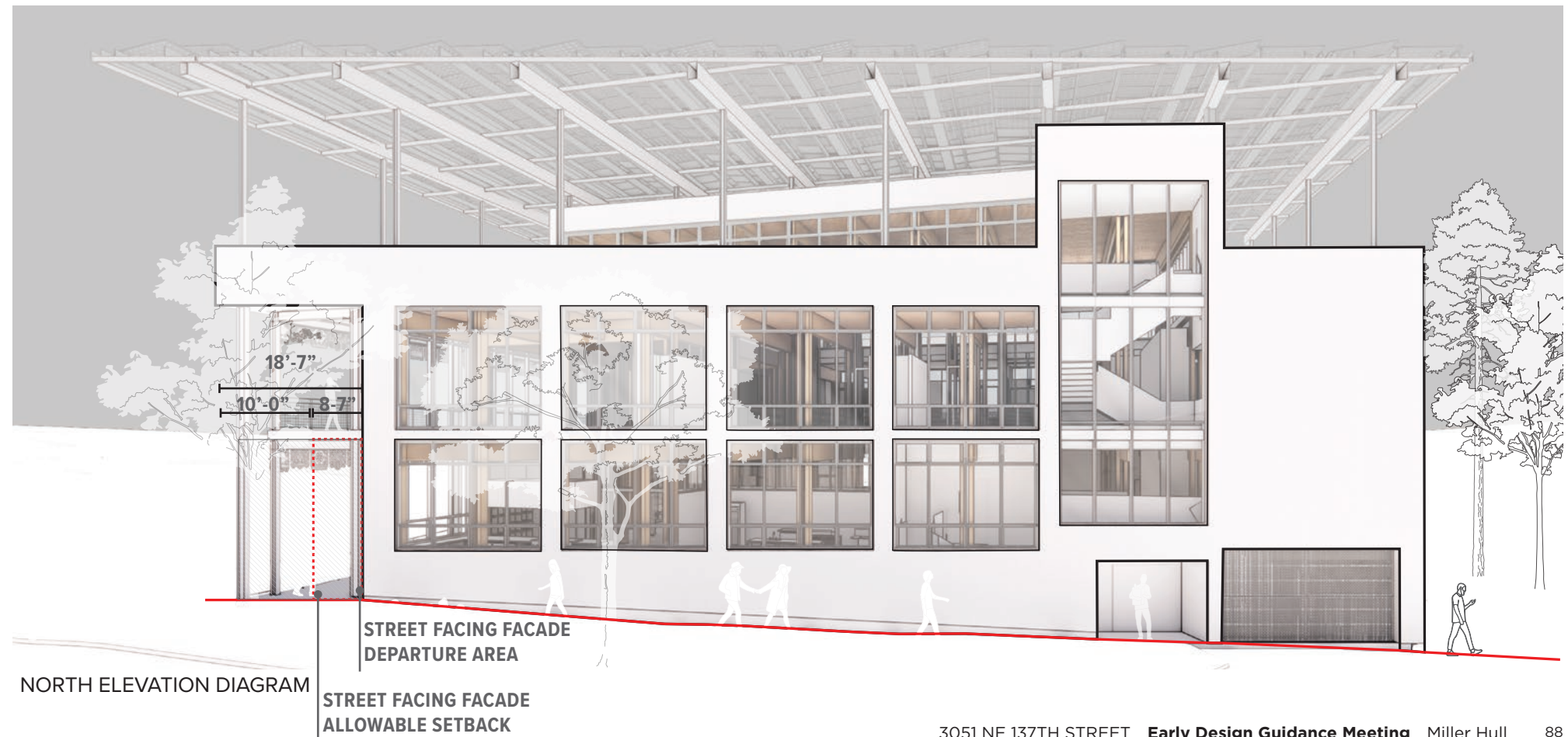


06_DEPARTURES

#	CODE CITATION	REQUIREMENT	DEPARTURE	RATIONALE	DESIGN GUIDELINES
7	23.54.008.3 Street Level Dev. Standards Street level Façade Location	Street-level, street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided	Increase street façade by 8'-7" along 32nd Ave NE	A increased facade setback allows for a large street facing porch along 32nd Ave NE Street, providing a large enough space to support increased connection to the street, exterior space that adds to public life, and better aligns with surrounding neighborhood street facing setbacks along 32ND Ave NE	PI2.B.3 Safety and Security: Eyes on the Street CS2.B.2 Adjacent Sites, Streets, & Open Spaces: Connection to the Street: PL1.C.2 Outdoor Uses and Activities: Informal Community Uses DC2.B. 1 Architectural and Façade Composition: Façade Composition DC3.A.1 Building-Open Space Relationship: Interior/Exterior Fit



NORTH EAST AERIAL SHOWING PROPOSED FACADE PORCHES



NORTH ELEVATION DIAGRAM

07
DESIGN GUIDELINES

07_DESIGN GUIDELINES

CONTEXT AND SITE

CS1 Natural Systems and Site Features

- A.1 Energy Use: Energy Choices
- B.1 Sunlight and Natural Ventilation: Sun and Wind
- B.2 Sunlight and Natural Ventilation: Daylight and Shading
- B.3 Sunlight and Natural Ventilation: Managing Solar Gain
- D.1 Plants and Habitat: On-Site Features
- E.2 Water: Adding Interest with Project Drainage

CS2 Urban Pattern and Form

- B.2 Adjacent Sites, Streets, & Open Spaces: Connection to the Street:
- C.1 Relationship to the Block: Corner Sites
- D.4 Height, Bulk, And Scale: Existing Development and Zoning:
- D.4 Height, Bulk, And Scale: Massing Choices

CS3 Architectural Context and Character

- A.4 Positive Neighborhood Attributes: Evolving Neighborhoods



- CS1.A.1 Energy Use: Energy Choices
- CS1. B.1 Sunlight and Natural Ventilation: Sun and Wind
- CS1. B.2 Sunlight and Natural Ventilation: Daylight and Shading
- CS1. B.3 Sunlight and Natural Ventilation: Managing Solar Gain
- CS1. D.1 Plants and Habitat: On-Site Features
- CS1. E.2 Water: Adding Interest with Project Drainage

A key design decisions for the cultural center is to provide a Living Building Challenge sustainable project. The building siting, mass, and program are informed by surrounding natural system to provide a site response design. The project uses an array of different secondary features to further consider natural systems. Solar gain is mitigated through a solar collector that captures energy while shading the building. Program and openings along the south exposure are limited and focused towards the east. Drainage systems are featured to collect and reuse rainwater. Program such as a community garden are located to capture sun exposed areas.

- CS2. D.4 Height, Bulk, And Scale: Existing Development and Zoning:
- CS2. D.4 Height, Bulk, And Scale: Massing Choices
- CS3. A.4 Positive Neighborhood Attributes: Evolving Neighborhoods

The surrounding site context includes a mix of residential and commercial spaces in a evolving neighborhood. The majority of the existing structures are low rise structures that are simple in form and express program uses. The proposed cultural center aims to integrate into the existing fabric while considering potential future development. To transition between the adjacent low-rise zone and the neighborhood commercial zone, the proposed cultural center provides a two-story mass with a mezzanine that opens to a garden and roof top. Below Grade parking allows the enclosed structure to be approximately 20 feet below the allowable building height, reducing the impact of height bulk and scale to adjacent uses and providing access to light an air.

PUBLIC LIFE

PL1 Connectivity

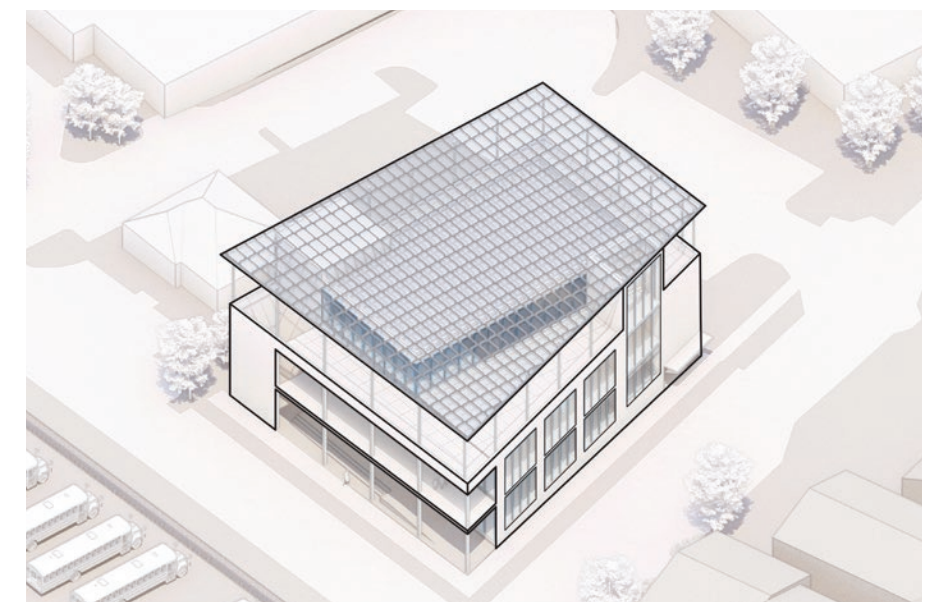
- A.2 Network of Open Spaces: Adding to Public Life
- B.3 Walkways and Connections: Pedestrian Amenities
- C.2 Outdoor Uses and Activities: Informal Community Uses

PL2 Walkability

- A.1 Accessibility: Access for All
- B.3 Safety and Security: Eyes on the Street
- C.3 Weather Protection: People-Friendly Spaces

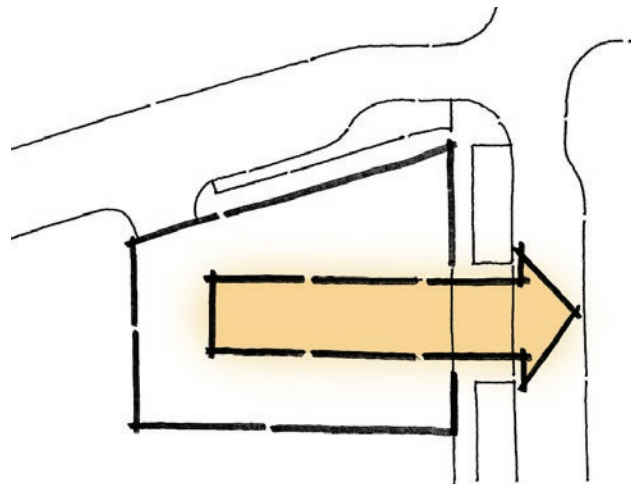
PL3 Street-Level Interaction

- A.1 Entries: Design Objectives
- C.3 Retail Edges: Ancillary Activities
- PL4 Active Transportation
- A.2 Entry Locations and Relationships: Connections to All Modes
- B.2 Planning Ahead for Bicyclists: Bike Facilities



PL1. C.2 Outdoor Uses and Activities: Informal Community Uses

The existing cultural center program has a history of using informal spaces throughout the community. The preferred option for the cultural center centers around the connection between a large ground level hall and informal spaces for community use. The large ground level gathering hall extends through informal, non-programmed porches, to the exterior sidewalk. Through work with the Seattle Department of Transportation, a larger sidewalk and gathering space is going to be provided to allow events, performances, gatherings and community health events.



DESIGN CONCEPT

DC1 Project Uses and Activities

- A.4 Arrangement of Interior Uses: Views and Connections
- C.1 Parking and Service Uses: Below-Grade Parking

DC2 Architectural Concept

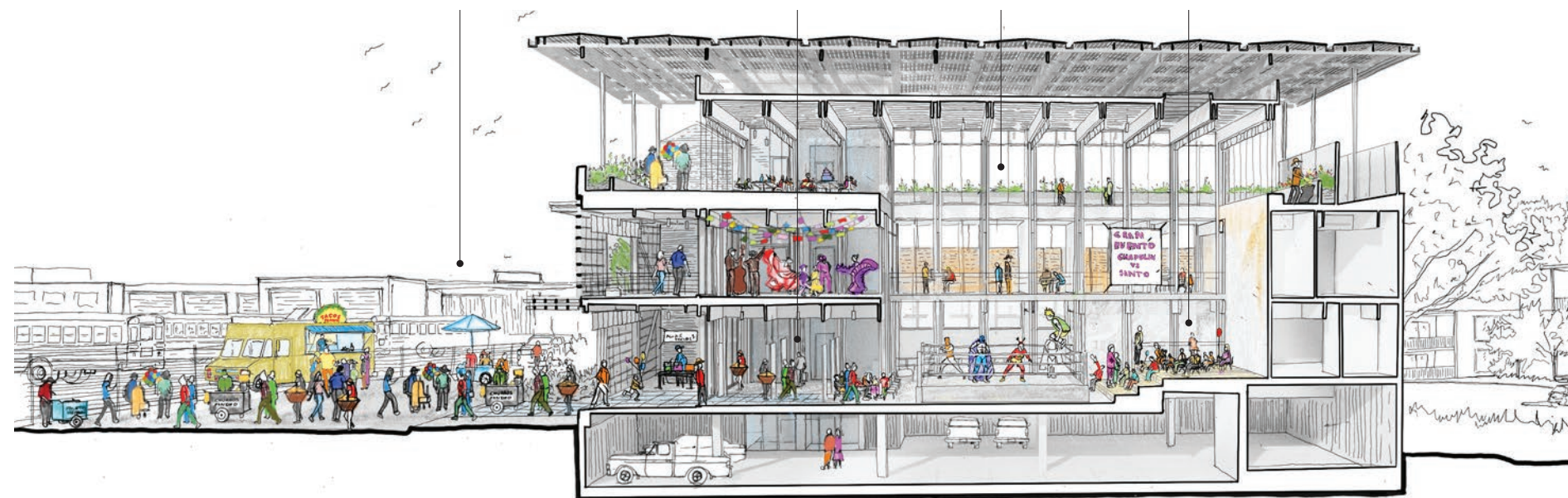
- C. Parking and Service Uses
- A.2 Massing: Reducing Perceived Mass
- B. 1 Architectural and Facade Composition: Facade Composition
- C1. Secondary Architectural Features: Visual Depth and Interest
- C2. Secondary Architectural Features: Dual Purpose Elements
- D1. Scale And Texture: Human Scale

DC3 Open Space Concept

- A.1 Building-Open Space Relationship: Interior/Exterior Fit
- B.3 Open Space Uses & Activities: Connections to Other Open Space
- C.2 Design: Amenities and Features

DC4 Exterior Elements and Finishes

- A.1 Building Materials: Exterior Finish Materials



DC1.A.4 Arrangement of Interior Uses: Views and Connections

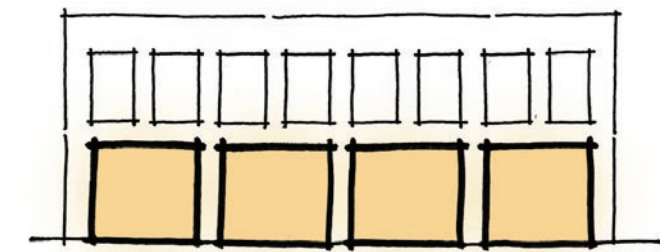
As previously, the preferred option for the cultural center centers around the connection between a large ground level hall and informal spaces for community use. A highly transparent east facade provides a visual and physical connection between the exterior public spaces and the large interior hall. The operable porches also allow for all day, year round use that responds to the program need while providing a dynamic facade and street connection.

DC2. A.2 Massing: Reducing Perceived Mass

As noted previously, a two-story mass with a mezzanine that opens to a roof provides a site responsive mass. The preferred option further reduces the perceived mass by integrating secondary architectural elements, such as large porches, a solar collective canopy, stair expression, and natural system features while supporting other project sustainable goals.

DC3. C.2 Design: Amenities and Features

The preferred option provides two attractive outdoor spaces that are well suited to the community they will serve and project site. A large urban agriculture program along the south side of the roof deck creates massing relief to abutting neighbors while creating a attractive space that reinforces community resilience. A second outdoor area opens to the east, providing a large roof deck area for communities to have covered space, below the solar collector, all year round. These two amenities are located in response to the site, with the agricultural program along the south and the community roof deck to the east.



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08

COMPLETED MILLER HULL WORK

08_COMPLETED MILLER HULL WORK



THE KENDEDA BUILDING FOR INNOVATIVE SUSTAINABLE DESIGN : LIVING BUILDING CHALLENGE CERTIFIED
ATLANTA, GEORGIA



08_COMPLETED MILLER HULL WORK



THE BULLITT CENTER : LIVING BUILDING CHALLENGE CERTIFIED
SEATTLE, WASHINGTON



08_COMPLETED MILLER HULL WORK



PIKE PLACE MARKETFRONT
SEATTLE, WASHINGTON

