TABLE OF CONTENT / COVER SHEET

PROJECT ADDRESS
4637 21ST AVE NE
SEATTLE, WA 98105

PROJECT NUMBER
SDCI NUMBER: 003330

MEETING TYPE
EDG

PROJECT TEAM
DEVELOPER
- ACRE UW ONE, LLC

ARCHITECT
- VEER ARCHITECTURE, PLLC

LANDSCAPE
- DESIGN 24/26

U-DISTRICT HOUSING

Early Design Guidance / PROJECT #3041331-EG / JANUARY 04, 2024

veer ARCHITECTURE PLLC

1 DEVELOPMENT OBJECTIVES

PROJECT DATA

OF RESIDENTIAL UNITS
- 94 UNITS

AREA OF COMMERCIAL
- NO COMMERCIAL PROVIDED

TOTAL GROSS FLOOR AREA
- 32,328 SF

OF PARKING
- NO PARKING PROVIDED

DEVELOPMENT SUMMARY

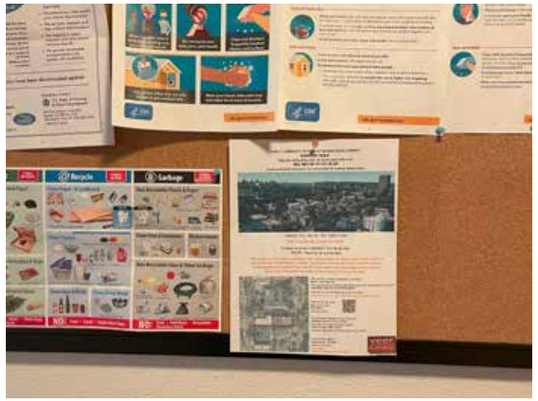
THE PROPOSED PROJECT IS LOCATED WITHIN THE UNIVERSITY DISTRICT URBAN VILLAGE WHICH IS PRIMARILY COMPRISED OF SINGLE-FAMILY HOMES, TOWNHOUSES AND MID-SIZED APARTMENT BUILDINGS. THE SITE IS LOCATED ON THE SOUTH SIDE OF NE 47TH STREET BETWEEN 20TH AVENUE NE AND 21ST AVENUE NE WITHIN WALKING DISTANCE TO THE UNIVERSITY OF WASHINGTON CAMPUS TO THE SOUTH AND SHOPPING AND ENTERTAINMENT CENTERS INCLUDING UNIVERSITY AVE TO THE WEST AND UNIVERSITY VILLAGE TO THE EAST.

SUMMARY OF PUBLIC OUTREACH APPROACH

- PRINTED OUTREACH - HIGH IMPACT METHOD - DIRECT MAILINGS TO RESIDENCES AND BUSINESSES WITHIN APPROXIMATELY 500’ RADIUS OF SITE
- ELECTRONIC/DIGITAL OUTREACH -MULTI-PRONGED METHOD - BASIC WEB PAGE AND POSTING ON LOCAL BLOG
- IN-PERSON OUTREACH - 1 HR GUIDED SITE WALK

SUMMARY OF PUBLIC OUTREACH

- NO FEEDBACK WAS RECEIVED FROM THE DIRECT MAILINGS SENT TO RESIDENCES AND BUSINESSES WITHIN 500’ OF THE PROJECT SITE.
- NO FEEDBACK WAS RECEIVED FROM ELECTRONIC/DIGITAL OUTREACH.
- NO ONE ATTENDED THE GUIDED SITE WALK HELD FROM 3:30PM – 4:30PM ON 11/16/2023 NOTICE OF WHICH WAS PROVIDED IN MAILINGS SENT OUT TO RESIDENCES AND BUSINESSES WITHIN 500’ OF THE SITE.
- NOTIFICATION WAS PROVIDED IN POSTERS AT TRIPALINK MANAGED APARTMENTS.



2 EXISTING SITE PLAN - SURVEY

SITE NOTES

SITE ADDRESSES:
4550 20TH AVENUE N.E.
4633 21ST AVENUE N.E.
4637 21ST AVENUE N.E.
SEATTLE, WA

TAX ACCOUNT NOS.:
092504-9097-03 (PARCEL I)
092504-9096-04 (TRACTS A AND B OF PARCEL II)
092504-9160-05 (TRACT C OF PARCEL II)

ZONING:
LR3 (M)

ZONING AGENCY:
CITY OF SEATTLE
SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS
700 5TH AVENUE, SUITE 2000
SEATTLE, WA 98104
206-684-8600

SETBACKS:
CURRENT SETBACK REQUIREMENTS SUBJECT TO SITE PLAN REVIEW. CURRENT SETBACKS MAY DIFFER FROM THOSE IN EFFECT DURING DESIGN/CONSTRUCTION OF EXISTING IMPROVEMENTS.

THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE GOVERNING JURISDICTION INDICATES THAT STRUCTURES ON THIS PROPERTY COMPLIED WITH MINIMUM SETBACK AND HEIGHT REQUIREMENTS FOLLOWING CONSTRUCTION.

FLOOD ZONE:
THIS SITE APPEARS ON NATIONAL FLOOD INSURANCE RATE MAP, DATED AUGUST 19, 2020, COMMUNITY PANEL NO. 53033C0345G, AND IS SITUATED IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

HORIZONTAL DATUM:
NAD 83/2011 (EPOCH 2010)

VERTICAL DATUM:
NAVD 88

AREA (PARCEL I):
SITE AS SHOWN CONTAINS 10,965 SQUARE FEET OR 0.2517 ACRES, MORE OR LESS.

PARKING SPACE COUNT:
PARKING SPACES TOTAL 0 INCLUDING 0 DISABLED PARKING SPACES.

DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF KING, STATE OF WASHINGTON, AND IS DESCRIBED AS FOLLOWS:

PARCEL I:

BEGINNING AT A POINT 30 FEET EAST AND 250 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;
THENCE EAST 100 FEET;
THENCE NORTH 50 FEET, MORE OR LESS, TO THE SOUTH LINE OF NORTHEAST 47TH STREET;
THENCE WEST 100 FEET;
THENCE SOUTH 50 FEET, MORE OR LESS, TO THE POINT OF BEGINNING;

EXCEPT THAT PORTION, IF ANY, LYING SOUTHERLY OF A LINE DESCRIBED AS FOLLOWS AND CONVEYED BY DEED RECORDED UNDER RECORDING NO. 20111216000462;

BEGINNING 30 FEET EAST AND 80 FEET SOUTH OF THE NORTHWEST CORNER OF SAID SUBDIVISION;
THENCE EAST 100 FEET TO THE TERMINUS OF SAID LINE;

TOGETHER WITH THE NORTH 58 FEET OF THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT A POINT ON THE WEST SIDE OF 21ST AVENUE NORTHEAST EXTENDED, WHICH POINT IS 230 FEET EAST AND 200 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;
THENCE NORTH 100 FEET;
THENCE WEST 100 FEET ALONG THE SOUTH LINE OF EAST 47TH STREET EXTENDED;
THENCE SOUTH, PARALLEL AND 130 FEET FROM THE WEST LINE OF SAID TRACT, 100 FEET;
THENCE EAST 100 FEET TO THE POINT OF BEGINNING;

TOGETHER WITH THAT PORTION, IF ANY, LYING NORTHERLY OF A LINE DESCRIBED AS FOLLOWS AND CONVEYED BY DEED RECORDED UNDER RECORDING NO. 20111216000461:

BEGINNING AT A POINT ON THE WEST SIDE OF 21ST AVENUE NORTHEAST EXTENDED, WHICH POINT IS 130 FEET EAST AND 200 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;
THENCE EAST 100 FEET TO THE WESTERLY MARGIN OF 21ST AVENUE NORTHEAST AND THE TERMINUS OF SAID LINE.

PARCEL II:

TRACT A:

THAT PORTION OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 25 NORTH, RANGE 4 EAST, W. M., IN KING COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF 21ST AVENUE NORTHEAST DISTANT 230 FEET EAST AND 200 FEET NORTH OF THE SOUTHWEST CORNER OF SAID SUBDIVISION;
RUNNING THENCE NORTH ALONG SAID WEST LINE 42 FEET;
THENCE WEST 100 FEET TO AN INTERSECTION WITH A LINE PARALLEL WITH AND 130 FEET EAST OF THE WEST LINE OF SAID SUBDIVISION;
THENCE SOUTH ALONG SAID PARALLEL LINE, 42 FEET;
THENCE EAST 100 FEET TO THE POINT OF BEGINNING;

EXCEPT THAT PORTION, IF ANY, LYING NORTHERLY OF A LINE DESCRIBED AS FOLLOWS AND CONVEYED BY DEED RECORDED UNDER RECORDING NO. 20111216000461:

BEGINNING AT A POINT ON THE WEST SIDE OF 21ST AVENUE NORTHEAST EXTENDED, WHICH POINT IS 130 FEET EAST AND 200 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;
THENCE EAST 100 FEET TO THE WESTERLY MARGIN OF 21ST AVENUE NORTHEAST AND THE TERMINUS OF SAID LINE.

TRACT B:

BEGINNING AT A POINT OF THE WEST SIDE OF 21ST AVENUE NORTHEAST IN THE CITY OF SEATTLE, WHICH POINT IS 230 FEET EAST AND 100 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTH HALF OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;
THENCE NORTH 53 FEET;
THENCE WEST 100 FEET;
THENCE SOUTH 53 FEET;
THENCE EAST 100 FEET TO THE POINT OF BEGINNING.

TRACT C:

COMMENCING AT A POINT 80 FEET SOUTH AND 30 FEET EAST OF THE NORTHWEST CORNER OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 25 NORTH, RANGE 4 EAST, W.M., IN KING COUNTY, WASHINGTON;
RUNNING THENCE SOUTH 50 FEET;
THENCE EAST 100 FEET;
THENCE NORTH 50 FEET AND THENCE WEST 100 FEET TO PLACE OF BEGINNING;

TOGETHER WITH THAT PORTION, IF ANY, LYING SOUTHERLY OF A LINE DESCRIBED AS FOLLOWS AND CONVEYED BY DEED RECORDED UNDER RECORDING NO. 20111216000462:

BEGINNING 30 FEET EAST AND 80 FEET SOUTH OF THE NORTHWEST CORNER OF SAID SUBDIVISION;
THENCE EAST 100 FEET TO THE TERMINUS OF SAID LINE

TITLE REPORT REFERENCE:
THIS SURVEY WAS CONDUCTED ACCORDING TO THE DESCRIPTION SHOWN, FURNISHED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1180413-WA1, REVISION NO. 1, DATED JUNE 14, 2023. THE EASEMENTS SHOWN OR NOTED HEREON RELATE TO THIS COMMITMENT.

NOTE: EASEMENTS CREATED OR RESCINDED AFTER THIS DATE ARE NOT SHOWN OR NOTED HEREON.

TITLE REPORT SCHEDULE B EXCEPTIONS:
ITEMS CIRCLED ARE SHOWN ON MAP.

THE FOLLOWING EXCEPTIONS AFFECT PARCEL I:

(14.) EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:
RECORDING INFORMATION: 4908388
FOR: SIDE SEWER
AFFECTS: THE WESTERLY HALF

15. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "GRADE RELEASE" RECORDED OCTOBER 11, 1991 AS RECORDING NO. 9110110664 OF OFFICIAL RECORDS.

SURVEYOR'S NOTE: NOT A SURVEY MATTER.

16. CONDITIONS, NOTES, EASEMENTS, PROVISIONS AND/OR ENCROACHMENTS CONTAINED AND/OR DELINEATED ON THE FACE OF THE SURVEY , RECORDED JANUARY 23, 1995, MAY 15, 2000 AND MARCH 06, 2002 UNDER RECORDING NOS. 9501239001, 20000515900007 AND 20020306900001 OF SURVEYS, IN KING COUNTY, WASHINGTON.

SURVEYOR'S NOTE: NO PLOTTABLE ITEMS SHOWN THEREON.

17. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "COVENANT AND AGREEMENT" RECORDED DECEMBER 16, 2011 AS RECORDING NO. 20111216000463 OF OFFICIAL RECORDS.

SURVEYOR'S NOTE: REGARDING POTENTIAL BOUNDARY LINE ADJUSTMENT & WAIVER OF ADVERSE POSSESSION CLAIMS.

THE FOLLOWING EXCEPTIONS AFFECT PARCEL II:

22. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "SIDE SEWER AGREEMENT" RECORDED APRIL 25, 1997 AS RECORDING NO. 9704251367 OF OFFICIAL RECORDS.

(AFFECTS AS TO PARCEL A)

SURVEYOR'S NOTE: NOT A SURVEY MATTER.

23. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DRAINAGE CONTROL FACILITY AGREEMENT" RECORDED APRIL 25, 1997 AS RECORDING NO. 9704251368 OF OFFICIAL RECORDS.

(AFFECTS PARCELS A AND B)

SURVEYOR'S NOTE: NOT A SURVEY MATTER.

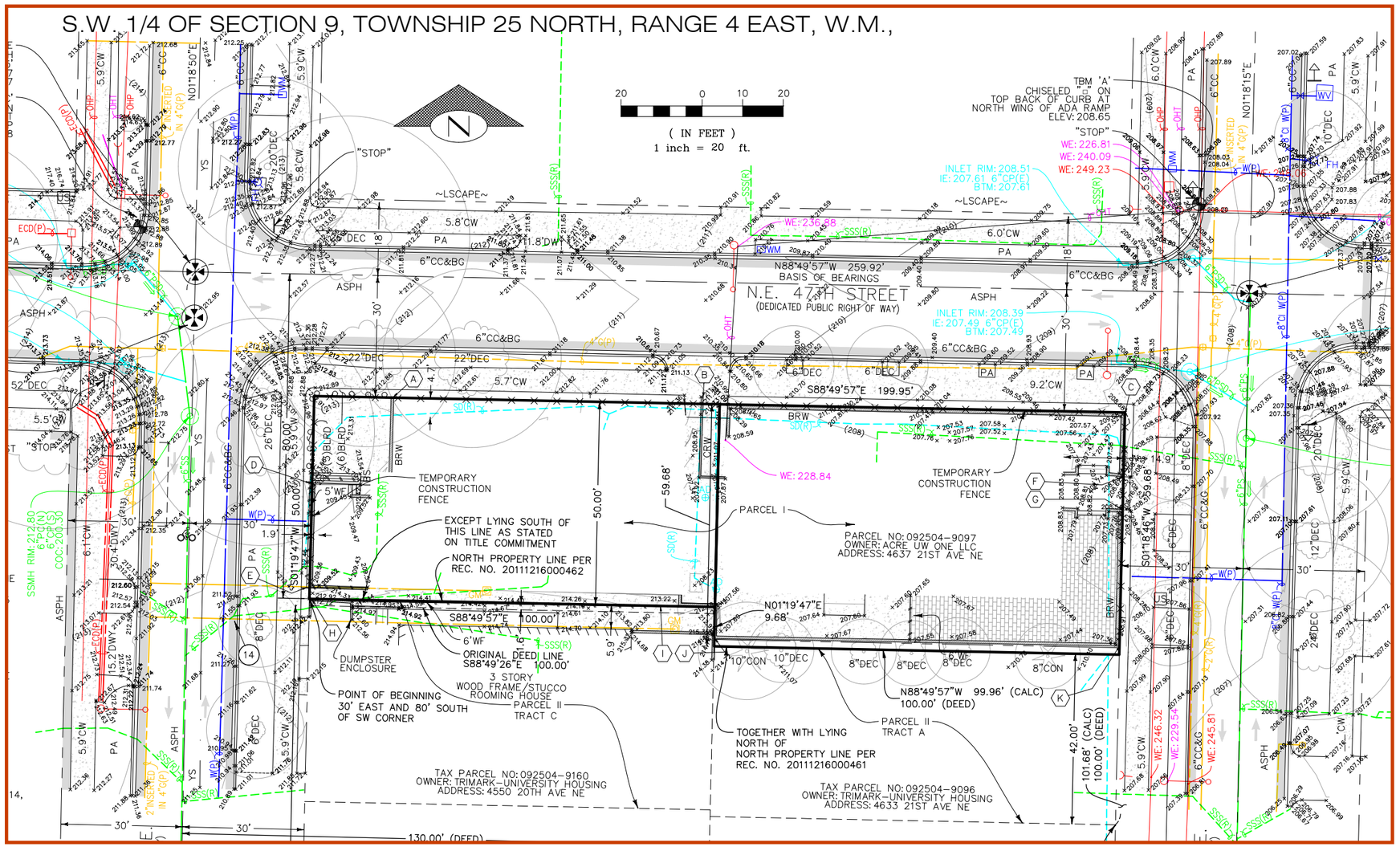
24. THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "BROADBAND EASEMENT AND RIGHT OF ENTRY AGREEMENT" RECORDED OCTOBER 7, 1997 AS RECORDING NO. 9710070060 OF OFFICIAL RECORDS.

(AFFECTS PARCELS A AND B)

SURVEYOR'S NOTE: DOCUMENT IS BLANKET IN NATURE.

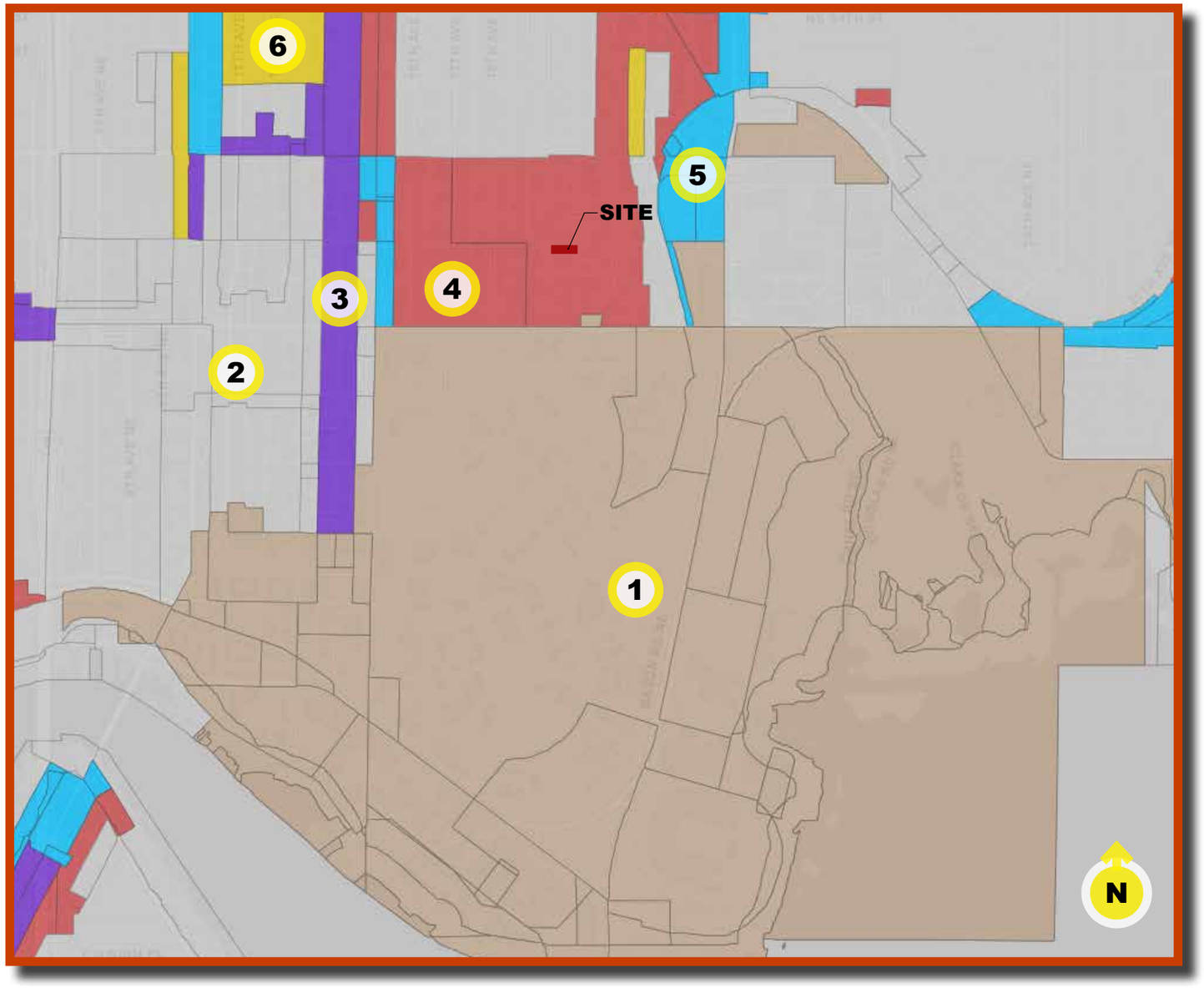
25. TERMS AND PROVISION OF COVENANT AND AGREEMENT RECORDED DECEMBER 16, 2011, UNDER RECORDING NO. 20111216000463.

SURVEYOR'S NOTE: REGARDING POTENTIAL BOUNDARY LINE ADJUSTMENT & WAIVER OF ADVERSE POSSESSION CLAIMS.



3 URBAN DESIGN ANALYSIS - VICINITY MAP

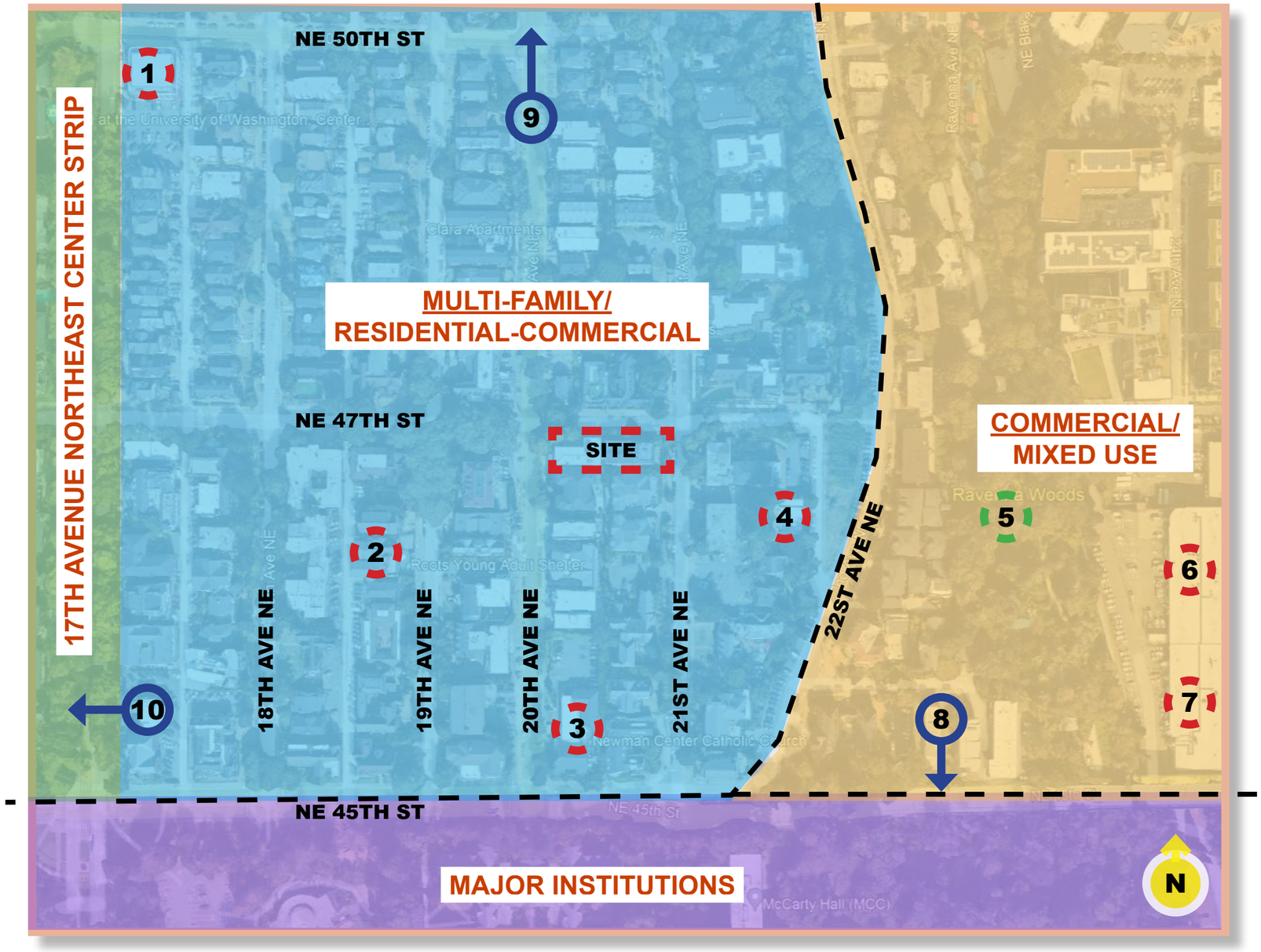
3 URBAN DESIGN ANALYSIS - ZONING MAP



ZONING

1. MIO-105-MR (M) - MAJOR INSTITUTION
2. SM-U/R (M1) - MIXED-USE
3. NC36-65 - MIXED-USE
4. LR3 (M) - MULTIFAMILY
5. NC2-75 (M1) - MIXED-USE
6. LR2 - MULTI-FAMILY

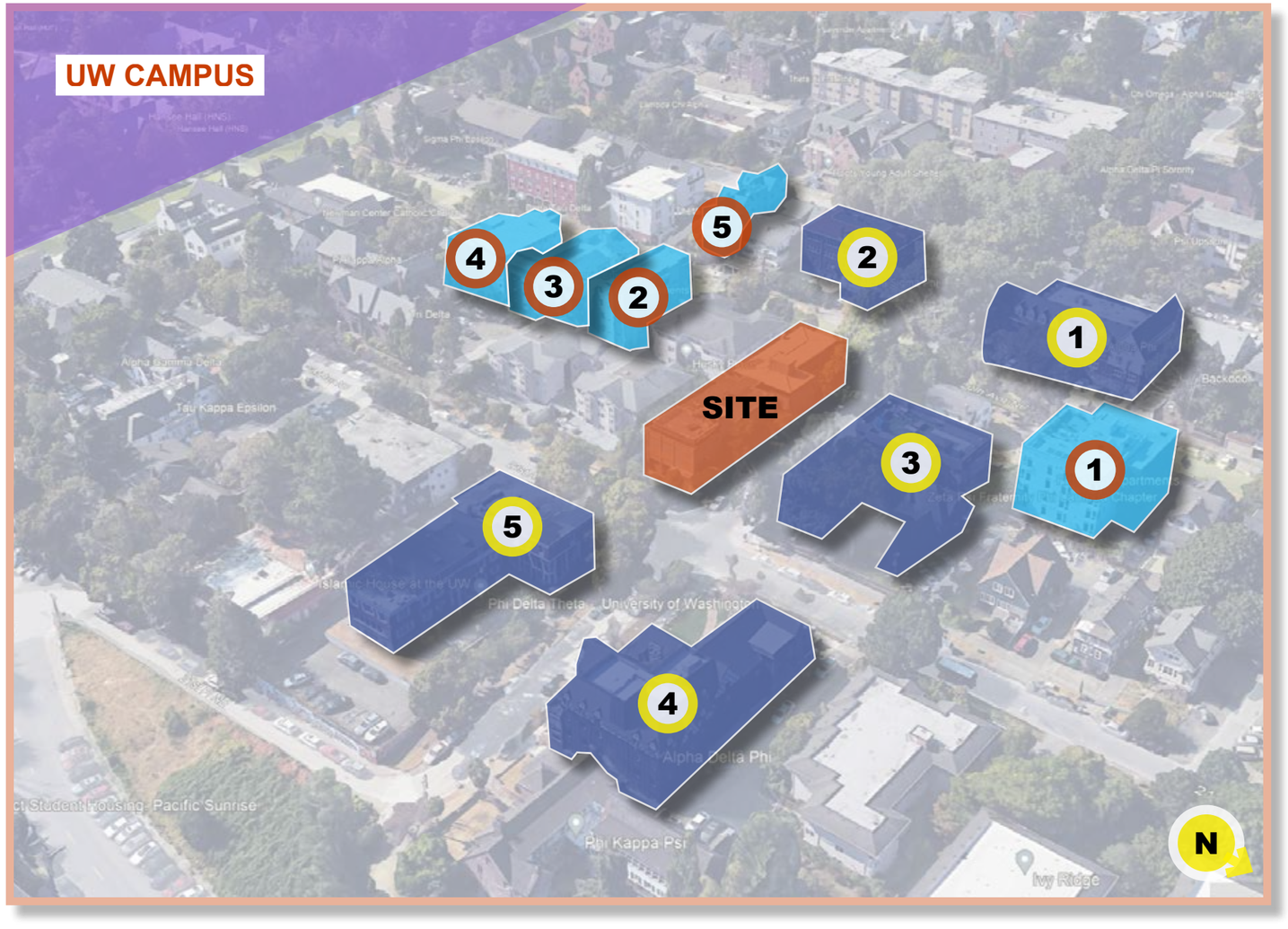
3 URBAN DESIGN ANALYSIS - COMMUNITY NODES



COMMUNITY NODES

1. PURSUITS SEATTLE (RELIGIOUS)
2. ROOTS YOUNG ADULT SHELTER (SOCIAL WORK)
3. NEWMAN CENTER CATHOLIC CHURCH (RELIGIOUS)
4. ISLAMIC HOUSE AT THE UW (RELIGIOUS)
5. RAVENNA WOODS (PARK)
6. UNIVERSITY OF WASHINGTON SURPLUS (COMMERCIAL)
7. PHYSICA PLANT STORES (COMMERCIAL)
8. UNIVERSITY OF WASHINGTON (CONSTITUTION)
9. RAVENNA RAVINE (PARK)
10. TO THE AVE (COMMERCIAL)

3 URBAN DESIGN ANALYSIS - SITE CONTEXT



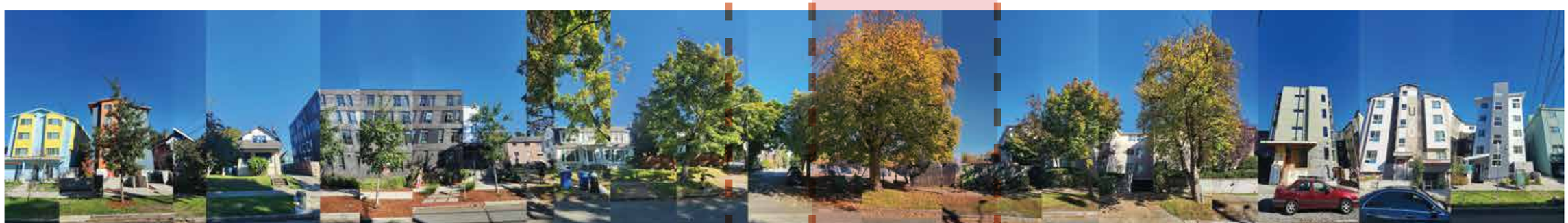
NEWER MIDRISE APARTMENTS

1. FIFTY TWO APARTMENTS 4
   710 20th Ave NE, Seattle, WA 98105
2. U20 APARTMENTS
   4536 20th Ave NE, Seattle, WA 98105
3. FRANCIS COURT
   4532 20th Ave NE, Seattle, WA 98105
4. CATHERINE COURT
   4528 20th Ave NE, Seattle, WA 98105
5. 4 STORY CONDO
   4542 19th Ave NE, Seattle, WA 98105

GREEK HOUSES

1. ALPHA PHI
   4710 19th Ave NE, Seattle, WA 98105
2. ALPHA SIGMA PHI
   4554 19th Ave NE, Seattle, WA 98105
3. ZETA PSI FRATERNITY PHI LAMBDA CHAPTER
   4703 21st Ave NE, Seattle, WA 98105
4. ALPHA DELTA PHI
   2106 NE 47th St, Seattle, WA 98105
5. PHI DELTA THETA - UNIVERSITY OF WASHINGTON
   2111 NE 47th St, Seattle, WA 98105

3 URBAN DESIGN ANALYSIS - PHOTO MONTAGE



TO 50TH ST

47TH ST

TOWARD SITE

TO 45TH ST

20TH AVE NE

TO 45TH ST

ACROSS SITE

47TH ST

TO 50TH ST

3 URBAN DESIGN ANALYSIS - PHOTO MONTAGE

TO 45TH ST

TOWARD SITE

47TH ST

TO 50TH ST

21ST AVE NE

TO 50TH ST

47TH ST

ACROSS SITE

TO 45TH ST

3 URBAN DESIGN ANALYSIS - PHOTO MONTAGE

TO THE AVE | 20TH AVE | ACROSS SITE | 21ST AVE | TO UNIVERSITY VILLAGE

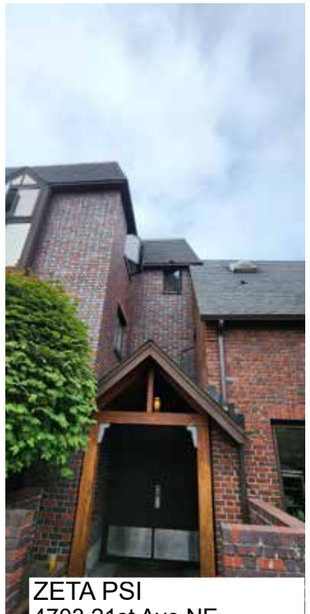
NE 47TH ST

TO UNIVERSITY VILLAGE | 21ST AVE | TOWARD SITE | 20TH AVE | TO THE AVE

3 URBAN DESIGN ANALYSIS - DESIGN NARRATIVES

SIGMA NU
1616 NE 47th St

PHI DELTA THETA
2111 NE 47th St



ZETA PSI
4703 21st Ave NE

KAPPA KAPPA GAMMA
4504 18th Ave NE

KAPPA KAPPA GAMMA
4504 18th Ave NE

PRECEDENCES

Design gathers architectural and landscape characteristics from neighboring buildings. This includes the use of red bricks for traditional style and black bricks for modern interpretation.

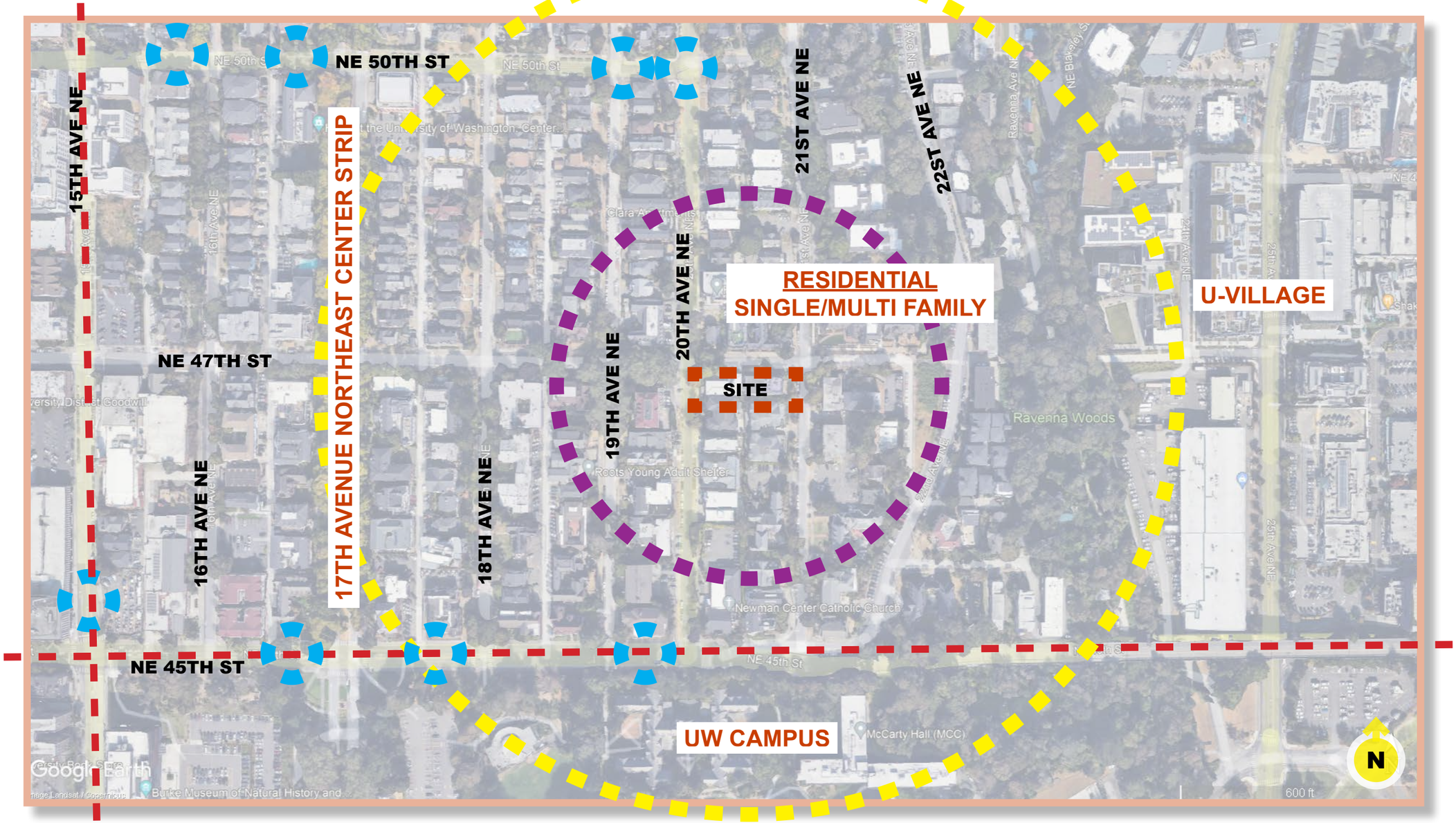
Landscape features like plaza creates gathering nodes for public life, and the use of planters soften the edge between the architecture and the pedestrian.

Architecture elements like modern pillars and window patterning on the brick gives a modern interpretation of classic institutional architecture.

FIFTY TWO APARTMENTS
710 20th Ave NE

THETA CHI
4535 17th Ave NE

3 URBAN DESIGN ANALYSIS - TRANSPORTATION



U-DISTRICT HOUSING

3 URBAN DESIGN ANALYSIS - TRANSPORTATION

TRANSPORTATION

BUS STOP

5 MIN WALK

10 MIN WALK

MAJOR TRAFFIC ARTERIALS

4 ZONING DATA - ZONING ANALYSIS

23.45.510 FLOOR AREA RATIO (FAR) LIMITS:

- LR3 inside urban centers and urban villages Allowed: 2.3 Proposed:2.3

23.45.512 DENSITY LIMITS: LR ZONES

- No limit for apartment developments that meet the standards of subsection 23.45.510.C

23.45.514 STRUCTURE HEIGHT

- LR3 in urban centers and urban villages Allowed: 50’ Proposed: Options vary from 38.7’ to 50.0’

23.45.517 MULTIFAMILY ZONES WITH A MANDATORY HOUSING AFFORDABILITY SUFFIX

- LR3 zone has an (M) suffix so MHA applies at $17.51 per square foot of gross floor area in residential use.

23.45.518 SETBACK AND SEPARATIONS

- Front (21st Avenue NE) Required 5’, Provided 5’
- Side (NE 47th Street) Required 5’, Provided 6’
- Side (Within 15’ of common property line) Required 5’ minimum, 7’ average, Provided 7’ average
- Rear (20th Avenue NE) Required 15’ Provided varies from 18’ to 26’ within the different options

23.45.522 AMENITY AREA

- Required to be 25% of lot area of which 50% must be provided at ground level.
- Lot area = 10,795 sf x .25 = 2,699 sf of total amenity area required.
- 2,699 x .5 = $1,350 sf of amenity area must be provided at grade.
- Amenity area provided at grade varies from 1,736 sf to 2,054 sf between the various schemes
- Total amenity area provided between the various schemes varies from 2,887 sf to 3,224 sf.

23.45.524 LANDSCAPING STANDARDS

- A green factor score of 0.6 or greater is required on LR lots with more than one dwelling unit.

  Green factor elements provided:

23.45.527 STRUCTURE WIDTH AND FACADE LENGTH LIMITS IN LR ZONES

- Maximum structure width for apartment developments in LR3 zones inside urban villages and centers is 150’
- Maximum width proposed:
- Maximum façade length allowed is 65% of the lot line for portions of the façade within 15’ of the lot line. Applicable lot line length = 100’ therefore maximum allowed = 65’
- Maximum façade length within 15’ of property line is 65’ in the various schemes.

23.45.534 LIGHT AND GLARE STANDARDS

- Exterior lighting shall be shielded and directed away from adjacent properties.
- Exterior lighting will be shielded.

4 ZONING DATA - ZONING ANALYSIS

23.54.015.K BICYCLE PARKING

- Long term parking required: 1 space per dwelling unit, provided 1/DU within the building.
- Short term parking required: 1 space per 20 dwelling units. 94 units in all schemes therefore 5 short term bicycle spaces are required. Provided short term 5 spaces.

23.54.040 TRASH AND RECYCLING STORAGE

- Required for 51 – 100 units, 375 sf + 4 sf for each additional unit over 50.
  Maximum unit count within the various options = 96
  therefore requirement = 375 sf + 4 x 46 = 559 sf.
  Provided square footage is 559 sf

5 DESIGN GUIDELINES - NEIGHBORHOOD DESIGN GUIDELINES

CS1 NATURE SYSTEM AND SITE FEATURES

1. PLAN FOR DAYLIGHT & TREES

a. Arrange Building Massing and use upper-level step back to increase solar access

- A variety in the extent of setbacks are provided on the west/ east/south facing facades in a manner that maximizes solar access to the north façade and the light wells on that side of the building.

c. Incorporate new & existing trees

- Mature street trees are preserved and new landscape to be planted.

CS2 URBAN PATTERN AND FORM

1. CHARACTER AREAS & CORRIDOR CHARACTER AREAS

b. University Park South & 17th Ave Boulevard

- Large plazas are incorporated on the corners of 20th Avenue & 47th st, and 21st Avenue and 47th st.
- Setback is applied to arterial streets at 20th Avenue and 21st Avenue, as a result decreasing the facade length on 47th st.

2. NEIGHBORING CONTEXT

a. Contribute to community character.

- Materials that relate to neighboring Greek houses, like red bricks, masonry, frieze, pillars are considered for the main materials on our project.
- Husky accent color is also considered for the project to express vibrant college life of the university.
- Preservation of previous fraternity color and surrounding architectural materials.

3. GATEWAYS & PLACE MAKING CORNERS

a. Gateways

- Gateways and corridors are provided for a sense of entry from the 20th & 21st plazas, canopy overhangs also demarcates the main entry

b. Placemaking Corners

- 20th/21st and NE 47th are the main corners, special paving and seating areas are provided for public gathering and resting

CS3 ARCHITECTURAL CONTEXT AND CHARACTER

1. UNIVERSITY DISTRICT ARCHITECTURAL CHARACTER

a. Foster the eclectic mix of architectural style and forms

- Use of traditional materials that emphasize the building base reflect neighboring architecture

b. Complement and continue predominant styles or materials

- We will incorporate red brick which is the predominant material of the neighborhood.

c. Articulate building forms and facades to respond to historic platting patterns

- Design style reflects a more modern design language similar to the Phi Delta Theta building (2111 NE 47th St, Seattle, WA 98105), horizontal cornice and use of red brick also connects the surrounding historical architectural elements into our building design.

d. Respond to nearby predominant horizontal and vertical patterns

- Vertical window pattern and horizontal Frieze/cornice are considered as part of the facade elements.

2. ADAPTIVE REUSE & PRESERVATION

a. Preserve or rehabilitate existing structures or facades &
b. Creatively repurpose materials, signage, and other physical pieces

- Previous structure was not constructed to match the historical styles around the neighborhood, therefore, none was preserved for reuse.

PL1 CONNECTIVITY

1. NETWORKS & CONNECTIONS TO COMMUNITY OPEN SPACE

a. Include open space at grade that physically or visually engages the public realm

- Plazas at 20th Avenue and 21st Avenue provide open space before entry, additional open space at patio and south of 21st Avenue provide more resident usage and interaction with the frontage.
- Plazas at 21st Avenue and 47th Street will interact with existing plaza entries to North East of the corner, thus providing visual connection from neighboring plaza.

5 DESIGN GUIDELINES - NEIGHBORHOOD DESIGN GUIDELINES

PL3 STREET-LEVEL INTERACTION

1. ENTRIES

a. Design prominent, accommodating entries
- Large canopy and high pillars demarcate entries from 21st Avenue

c. Courtyard entries should be physically and visually accessible from the street.
- Plaza space is visible and open to pedestrian the corner at intersection of 47th to 20th Avenue and 21st Avenue.
- Large canopy and high pillars demarcate entries from 21st Avenue.
- Plaza are visible and open to pedestrian corners at the intersection of 47th street to 20th Avenue and 21st Avenue.

2. GROUND LEVEL RESIDENTIAL DESIGN

a. Articulate individual dwelling units and provide usable stoops or patios
- Public patio is provided at 21st avenue side

b. Use rowhouse-style units at the base
- Will incorporate vertical modulation to present the facade as row house style architecture

c. Provide adequate buffer space as transition
- Brick planters and landscape are historical strategies from the neighborhood to provide buffers from structure and will be incorporated to street.

PL4 ACTIVE TRANSPORTATION

1. BICYCLE CIRCULATION & PARKING

a. Design bicycle parking for efficiency and security
- Secured bike parking is provided at the secondary entry inside the building where it is easy to access and secure.

b. Integrate design features into bicycle facilities that enhance placemaking
- Short term bike parking and seating is incorporated into plaza.

c. Locate bicycle parking and bicycle racks in convenient locations
- Short term bike racks are provided and integrated at the plazas for seating and bike storage.

2. CONNECTIONS AND FACILITIES FOR TRANSIT

b. Integrate waiting areas for transit and vehicle pick-up into the building design
- Waiting areas are encouraged at 20th/21st plaza as this area is well lit at night for safety and also provides area for seating.

DC1 PROJECT USES AND ACTIVITIES

1. ACTIVE USE

a. Maximize Active use along street frontages
- Plazas provided at 20th Avenue/21st Avenue with seating area encouraged public use and gatherings.

2. VISUAL AND SAFETY IMPACT

a. Locate service entries and trash receptacles within the building
- Service entry and trash enclosure are located at 20th Avenue as established under previous development proposal.

b. Use high quality materials and finishes for all service screening and garage doors
- Concrete walls are provided to screen the enclosure.

3. SHARED OPEN SPACE

b. Design the layout of the open space and surrounding uses intentionally to function as shared community space
- Plazas at 20th Avenue/ 21st Avenue corners are part of the pedestrian nodes established at those corners, providing resting areas and gathering space.

DC2 ARCHITECTURAL CONCEPT

1. ,MASSING & REDUCING BULK AND SCALE

a. Design building massing and form to express an intentional and original response
- 5 stories above grade with upper level setbacks. Modulated façade with setbacks and different materials further break down bulkiness and provide a rowhouse/townhouse appearance at pedestrian level.

b. Reduce the bulk and scale of large buildings
- Setback on higher levels with modulated setback on façade.

c. Design the building base to create a solid and “grounded” form
- Heavier emphasis on lower levels to present rowhouse/ townhouse expression while providing lighter material on upper floors.

d. use upper-level step-backs to maintain a human scale
- Upper floor setbacks on 20th Avenue/ 21st Avenue are emphasized with lighter materials.

e. ensure that building massing does not dominate the public realm
- Setbacks and plazas on 20th Avenue/ 21st Avenue and stepping planters pushes the building mass further away from the sidewalk.

f. locate vertical stair and elevator cores internally to minimize height impacts
- Stairs are located toward south, away from public streets in option 1 & 2.

5 DESIGN GUIDELINES - NEIGHBORHOOD DESIGN GUIDELINES

2. ARCHITECTURAL CONCEPT & FACADE COMPOSITION

a. Embrace contemporary design through distinctive, elegant forms
b. Create a finely-grained mix of complementary buildings and architectural styles on a block

- Performed research and study of surrounding building elements to create a mixture of classic yet modern material and façade composition.

c. Reinforce the massing and design concept with a deliberate palette

- Materials and colors are borrowed from surrounding buildings and iconic U of W husky colors.

d. Use brick, stone or other high-quality, durable, and non-monolithic materials

- Brick/stone and wood are considered to modulate design.

e. Employ a restrained and purposeful application of bold or high-contrast colors

- Use of husky related accent colors to highlight key elements of the building

f. provide architectural interest with legible roof lines or the top of the structure.

- Use of cornice with accent color will bring out the vibrant and lively college campus life style.

g. Avoid expanses of large panels with minimal detailing, and do not rely on the use of colored cladding alone to provide visual interest

- Mixture of materials are used to create visual interest in the façade and the overall project from streets.

h. intentionally detail joins

- Mixtures of materials requires detail joints when materials come together, studying surrounding architecture suggests methods to implement some of the key strategies for joining materials.

i. Incorporate depth into building facades

- Use of masonry and fiber cement board creates depths and visual interest on the façade

3. PEDESTRIAN-SCALED STREETSCAPE DESIGN

a. Design façades to a human-scaled rhythm and proportion and avoid monotonous repetition of the storefront or module

- Brick on the ground level will break down the building scale to create a better pedestrian experience

b. Limit the height and use of retaining walls.

- Retaining walls were applied to emulate existing historical precedence. Instead of following tradition, we will only provide short brick pony walls with wood fence to ease the presence of walls near sidewalk.

4. SERVICE & MECHANICAL ELEMENTS

a. Intentionally design wall venting for commercial uses and other screening for mechanical equipment

- Mechanical venting will be away from the public sidewalk, therefore, venting will not be within public sight.

b. Integrate building service elements

- Downspouts into Bio swales will be intergraded into the façade module.
- Electrical/Mechanical room is below grade and transformer and trash are screened and be soften by landscape.

5. BLANK WALLS

a. Finish visible walls and rooftops with quality materials or artistic expressions

- Quality cement panel and masonry are used to decrease the impact of boring blank walls

5 DESIGN GUIDELINES - NEIGHBORHOOD DESIGN GUIDELINES

DC3 OPEN SPACE CONCEPT

1. OPEN SPACE ORGANIZATION & SITE LAYOUT

a. Design outdoor amenity areas, open space, and pedestrian pathways to be a focal point and organizing element within the development

- Open spaces are oriented toward important nodes at intersection of 47th street and 20th Avenue/ 21st Avenue.

b. Extend pedestrian routes from entry courtyards or forecourts

- Connection is provided at Northeast and Northwest corners.

2. RESIDENTIAL OPEN SPACE

a. Provide a variety of types of outdoor private amenity space

- Public Plaza has bike racks and seating. Private plaza has amenities for sports and barbecue

b. Design shared play areas for children

- Private Plaza is secured for resident activities

c. Design courtyards to incorporate layered planting and trees

- Courtyard has layered planters to separate public access from private window wells or stepping planter from street to the vertical façade.

3. STREET-LEVEL OPEN SPACE

a. Design open spaces at street-level to be welcoming

- Plazas are provided at 20th Avenue/ 21st Avenue intersections encourage public gathering.

b. Open space design and location should support lively community interaction rather than passive space

- Plaza at 21st Avenue corner interacts with surrounding courtyards across the street. Creating a pedestrian connection across the intersection

DC4 EXTERIOR ELEMENTS AND FINISHES

1. DURABLE, HIGH-QUALITY EXTERIOR MATERIALS

a. Use materials that provide and evoke durability and permanence

- Project uses quality materials like masonry for durability and premier fiber cement panels.

b. brick or other masonry units are the preferred materials

- To relate to the surrounding historical buildings, use of masonry is appropriate in this project.

c. Use materials with inherent texture and complexity

- Brick and panels create natural joints and reveals throughout the project creating more visual interest

d. Utilize emerging technology and innovative materials

- Use of synthetic Wood panels will decrease the need for maintenance and maintain the color of the building for a longer period.

e. Consider the life cycle impacts of materials.

- Synthetic wood panel and metal/fiber cement panels with masonry will reduce maintenance of façade while creating visual interest.

2. HARDSCAPING & LANDSCAPING

a. Incorporate artistic, historical, and U district-unique elements into landscape materials

- University Park South has many historical mansions with high brick retaining wall planters. Traditional use of brick/pillar are also considered in treatment of landscape and architectural elements.

b. Use hardscape materials that contribute a fine-grained texture

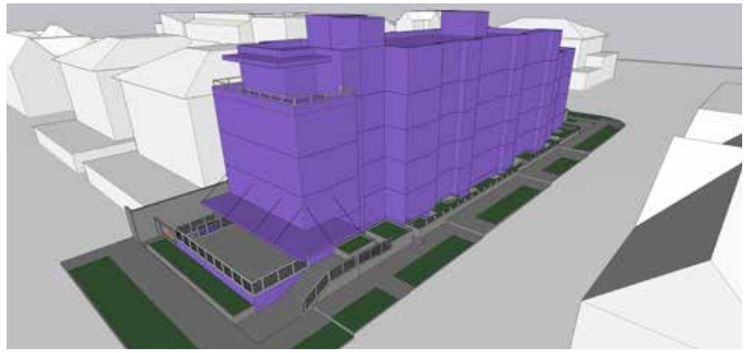
- Plazas will utilize quality and patterned materials for the landscape portions to create visual interest.

c. Use pavers and ground treatments to delineate uses

Plazas are comprised of landscape areas and patterned pavement.

6 ARCHITECTURAL MASSING - MASSING CONCEPT

SCHEME 1 - DEPARTURE - PREFERRED



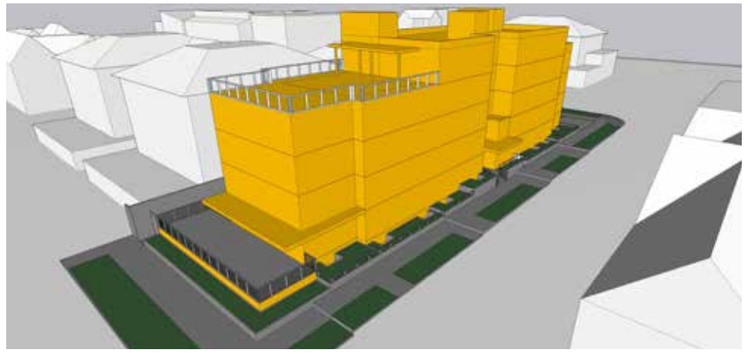
Scheme 1 Advantages

1. The building is setback substantially from 20th Avenue and 21st Avenue thus reducing the length of the overall building.
2. Building floor plate at the top level steps back significantly from 20th Avenue and 21st Avenue.
3. The substantial setback provided on the 20th Avenue end of the building opens up the site at the intersection with 47th street which is where most people will approach the building and offers space for the mature street trees at that end of the site.
4. The substantial setback provided at 21st Avenue allows the building's main entry to orientate towards the intersection of 47th Street and 21st Avenue which is where all the existing opposing buildings to this intersection orientate.
5. The main building floor is set at the elevation of 20th Avenue thus allowing for the plaza space on 21st Avenue to be several feet above the street which provides a nice separation between private and public space.

Scheme 1 Disadvantages

1. The higher floor elevation at the main entry requires a ramp and stairs to access the building.

SCHEME 2 - DEPARTURE



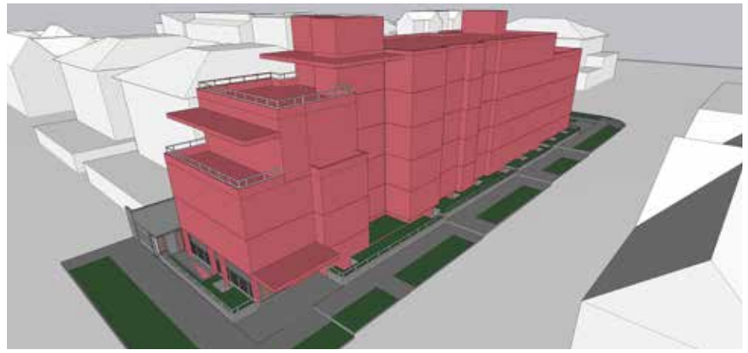
Scheme 2 Advantages

1. The building is setback substantially from 20th Avenue and 21st Avenue thus reducing the length of the overall building.
2. Building floor plate at the top level is the smallest of the three options which helps to reduce the overall mass of the building.
3. The substantial setback provided on the 20th Avenue end of the building opens up the site at the intersection with 47th street which is where most people will approach the building and offers space for the mature street trees at that end of the site.
4. The mid-block entry location helps to break up the apparent length of the 47th Street façade.

Scheme 2 Disadvantages

1. The mid-block main entry separates the building lobby from indoor/outdoor amenity space that naturally wants to be on the east end of the building because of how 21st Avenue serves as the "front street" to the site.
2. The mid-block entry removes the primary entrance from the intersection of 47th Street and 21st Avenue which is where all the existing buildings on the opposing blocks orientate.

SCHEME3



Scheme 3 Advantages

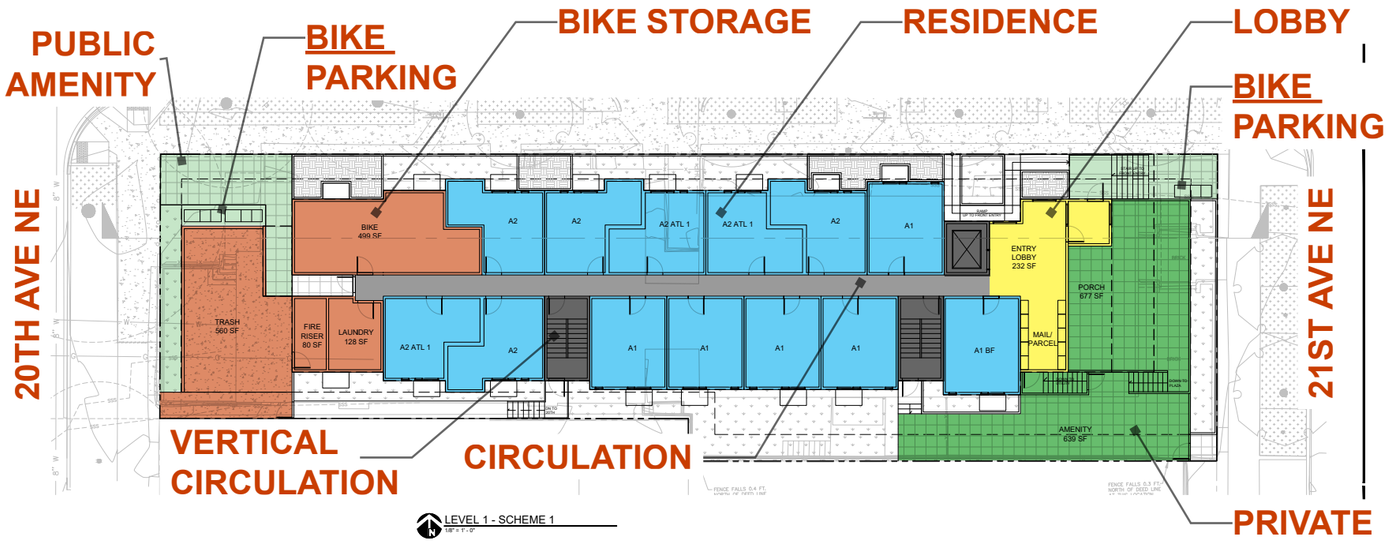
1. Main entry to the building at 47th Street and 21st Avenue is at grade which allows all the outdoor amenity space at the east end of the building to be at the same level and at the same level as the building lobby.
2. Building floor plate at the top level steps back significantly from 20th Avenue and 21st Avenue.
3. The building floor plate at level 4 also steps back from 21st Avenue thus providing additional modulation at that end of the building.
4. The substantial setback provided on the 20th Avenue end of the building opens up the site at the intersection with 47th street which is where most people will approach the building and offers space for the mature street trees at that end of the site.
5. The substantial setback provided on 21st Avenue end of the building allows an area for the indoor/outdoor amenity space.

Scheme 3 Disadvantages

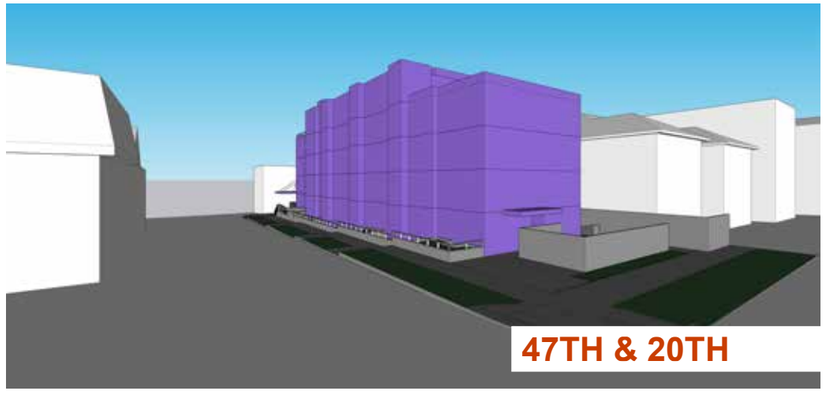
1. By not utilizing the departure that schemes 1 and 2 do the building is forced to have modulation on the South side of the building to meet façade length/setback requirements which do not serve to enhance the building design or relationship of the building to neighboring buildings.
2. This scheme has the least amount of modulation along 47th Street thus making the massing heavier in appearance.

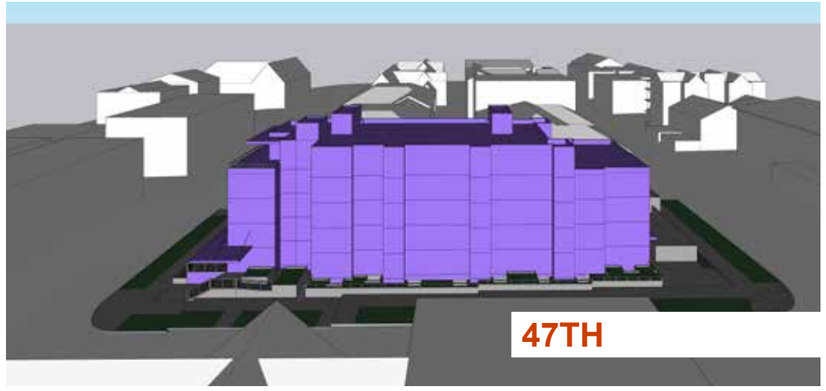
INTENTIONALLY LEFT BLANK

6 ARCHITECTURAL MASSING - SCHEME 1-DEPARTURE/PREFERRED



LEVEL 1 - SCHEME 1



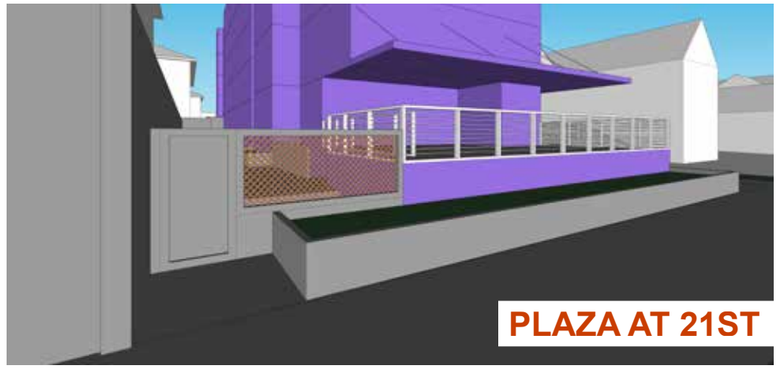


Architectural Massing Description Scheme 1

Proposed building is 5 stories at the highest point with substantial top floor setbacks on 20th Avenue NE and 21st Avenue NE and the main building occurring adjacent the intersection of NE 47th Street and 21st Avenue NE. Plaza space open to the street is provided at the intersection of NE 47th Street and 20th Avenue NE.

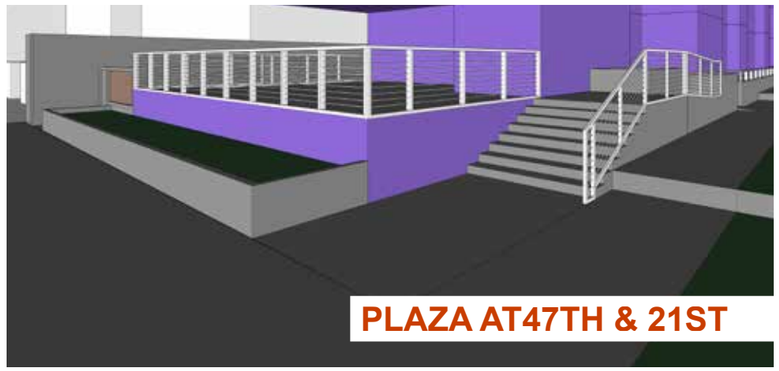
- SEDU Unit Quantity: 94
- Gross Building Square Footage: 31,841 SF
- Building Height at 20th Avenue NE: 38’-0”
- Building Height at NE 47th Street: 49’-0”
- Building Height at 21st Avenue NE: 42’-0”
- Meets All Zoning Criteria – No Departures Required

6 ARCHITECTURAL MASSING - SCHEME 1 -DEPARTURE/PREFERRED

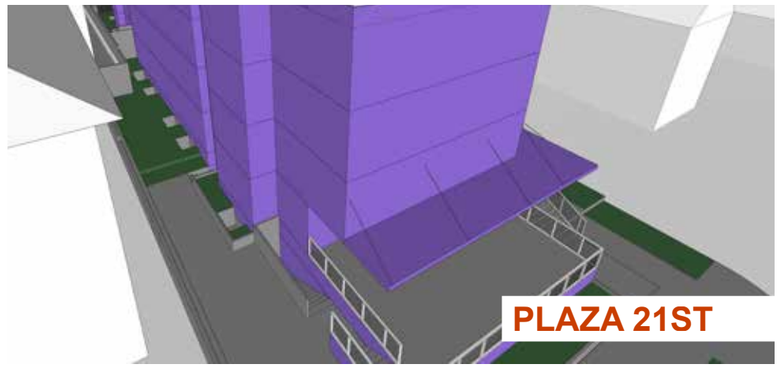


PLAZA AT 21ST

PLAZA AT 20TH

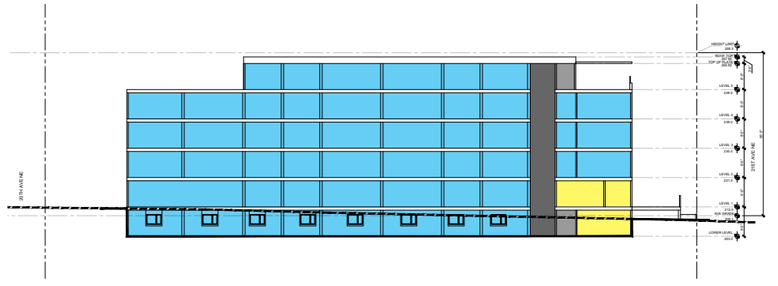


PLAZA AT47TH & 21ST

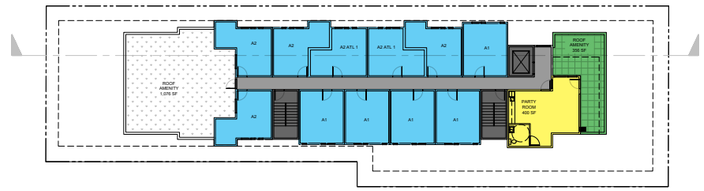


PLAZA 21ST

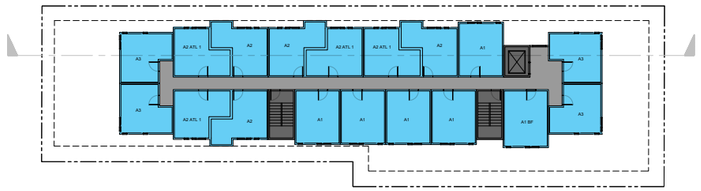
PLAZA AT 47TH & 20TH



SECTION

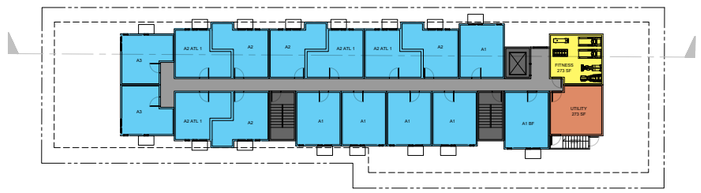


LEVEL 5



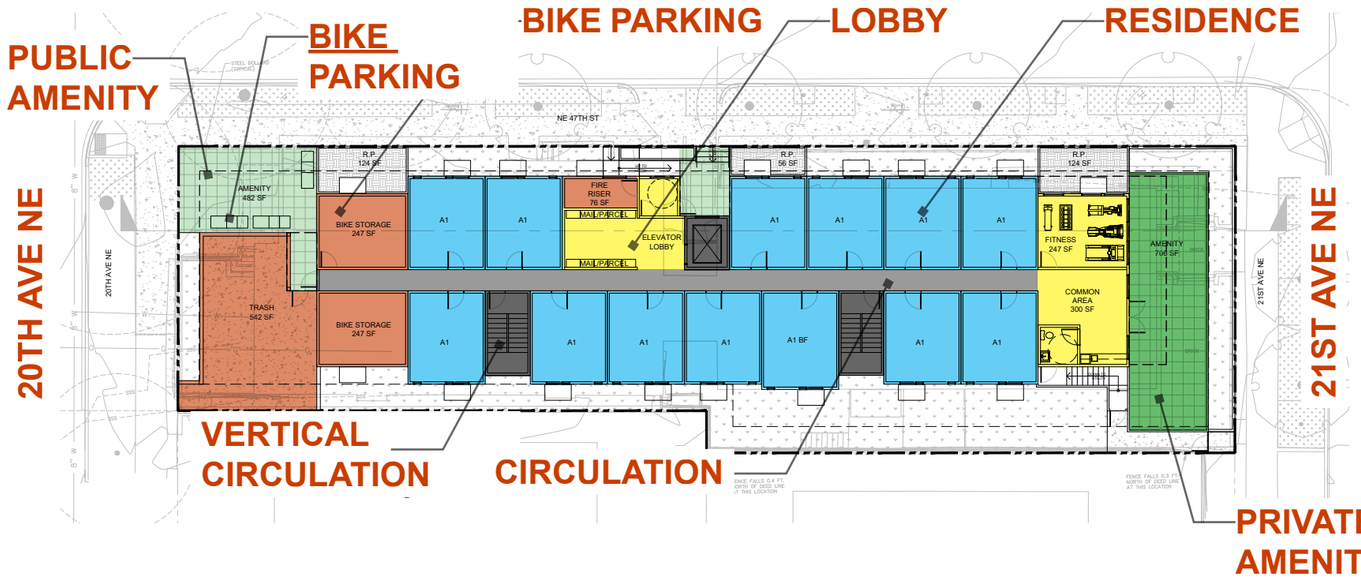
LEVEL 2 - 4

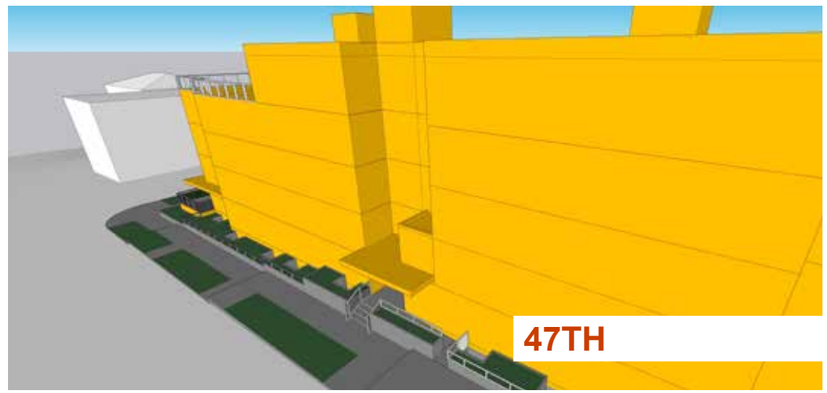
GROUND FLOOR



BASEMENT

6 ARCHITECTURAL MASSING - SCHEME 2 - DEPARTURE



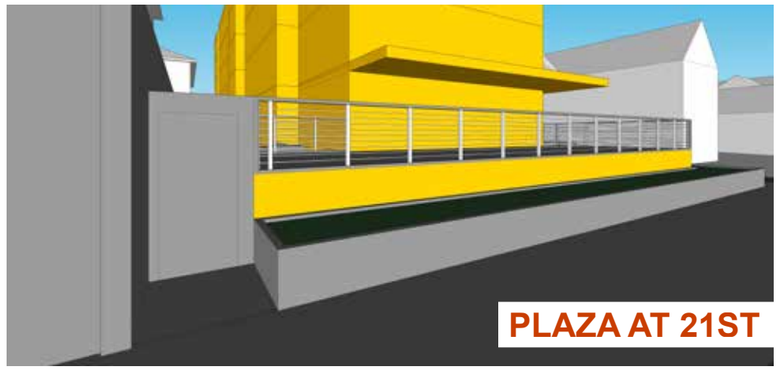


Architectural Massing Description Scheme 2

Proposed building is 5 stories at the highest point with a substantial top floor setback on 20th Avenue NE and a more modest top floor setback on 21st Avenue NE and the main building occurring adjacent the intersection of NE 47th Street and 21st Avenue NE. Plaza space open to the street is provided at the intersection of NE 47th Street and 20th Avenue NE.

- SEDU Unit Quantity: 94
- Gross Building Square Footage: 31,955 SF
- Building Height at 20th Avenue NE: 36’-6”
- Building Height at NE 47th Street: 48’-0”
- Building Height at 21st Avenue NE: 42’-6”
- Departure required

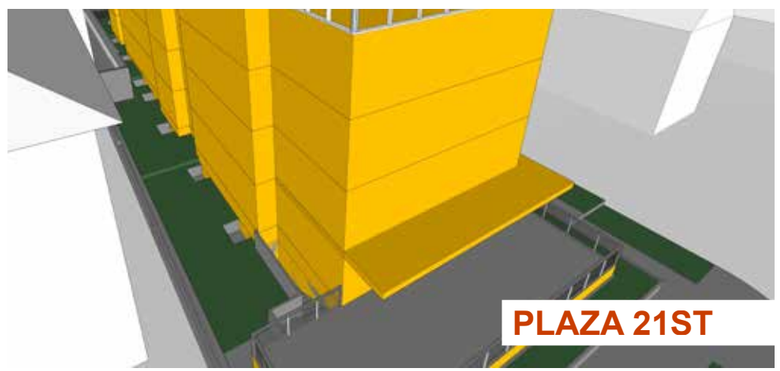
6 ARCHITECTURAL MASSING - SCHEME 2 - DEPARTURE



PLAZA AT 21ST

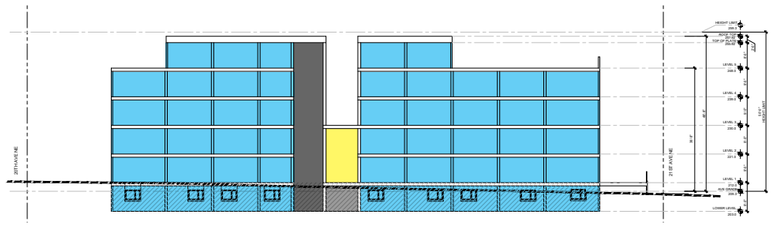
PLAZA AT 20TH

PLAZA AT47TH & 21ST

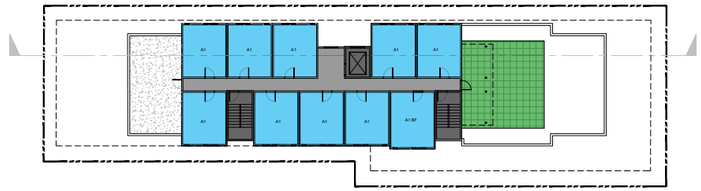


PLAZA 21ST

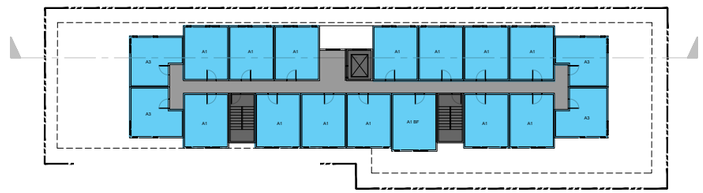
PLAZA AT 47TH & 20TH



SECTION

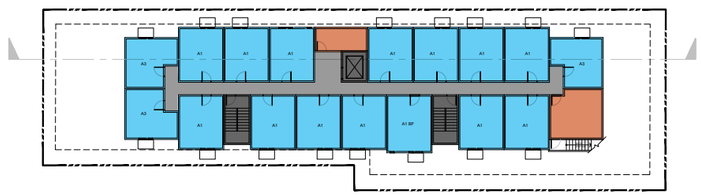


LEVEL 5



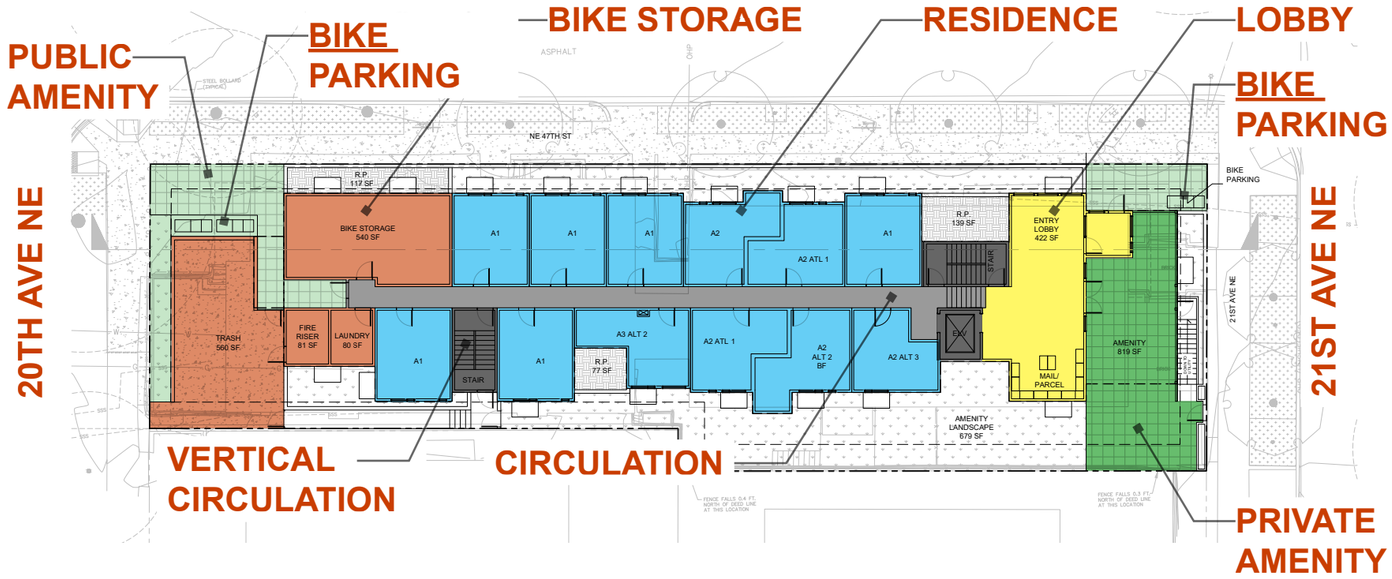
LEVEL 2 - 4

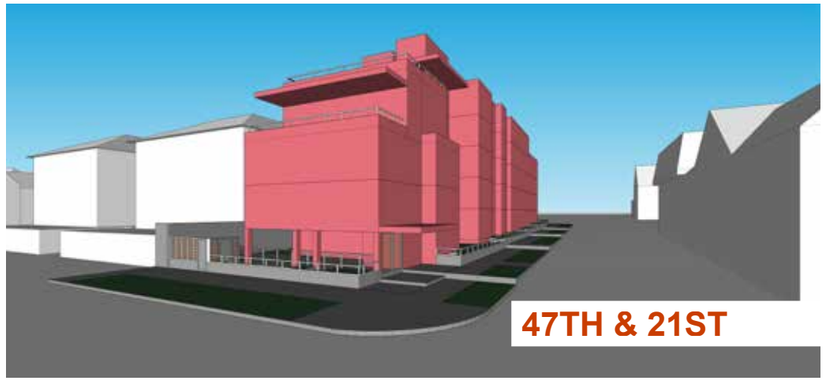
GROUND FLOOR

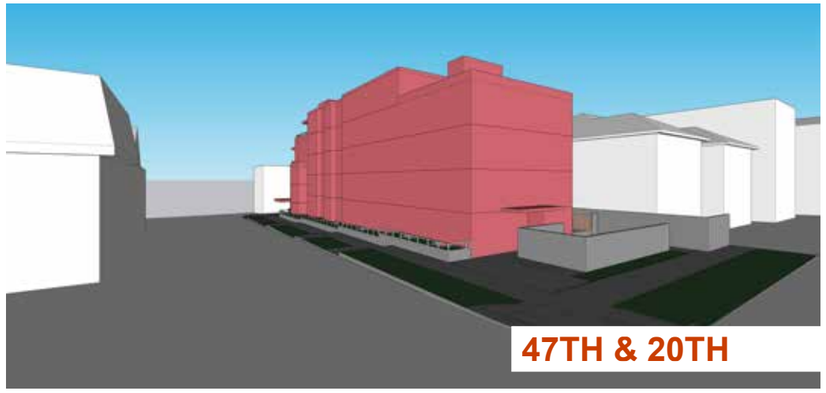


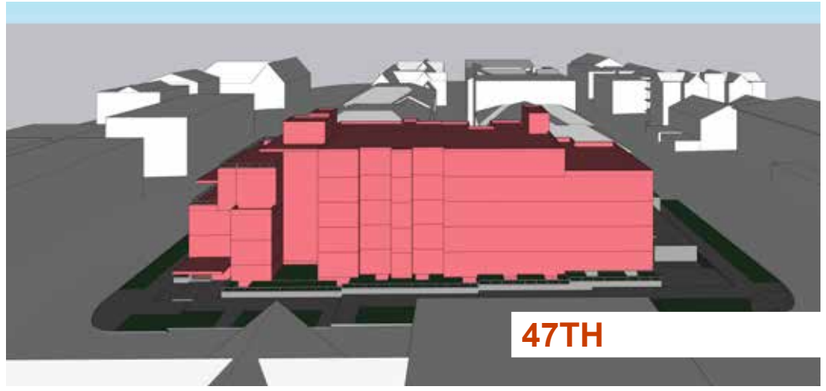
BASEMENT

6 ARCHITECTURAL MASSING - SCHEME 3









Architectural Massing Description Scheme 3

Proposed building is 5 stories at the highest point with substantial top floor setbacks on 20th Avenue NE and 21st Avenue NE and the main building occurring adjacent the intersection of NE 47th Street and 21st Avenue NE. Plaza space open to the street is provided at the intersection of NE 47th Street and 20th Avenue NE.

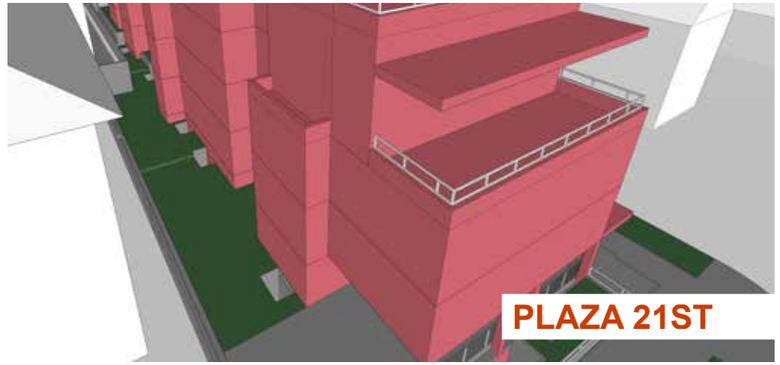
- SEDU Unit Quantity: 94
- Gross Building Square Footage: 32,328 SF
- Building Height at 20th Avenue NE: 38’-0”
- Building Height at NE 47th Street: 48’-0”
- Building Height at 21st Avenue NE: 28’-6”
- Meets All Zoning Criteria – No Departures Required

6 ARCHITECTURAL MASSING - SCHEME 3

PLAZA AT 21ST

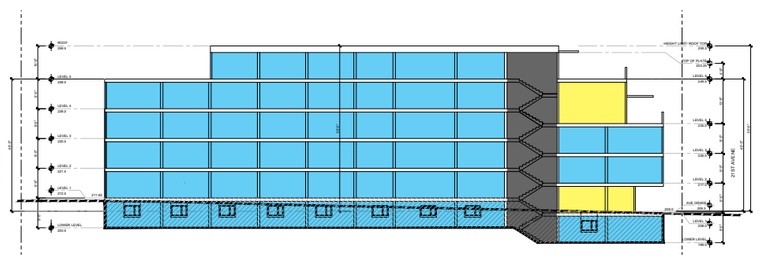
PLAZA AT 20TH

PLAZA AT47TH & 21ST



PLAZA 21ST

PLAZA AT 47TH & 20TH



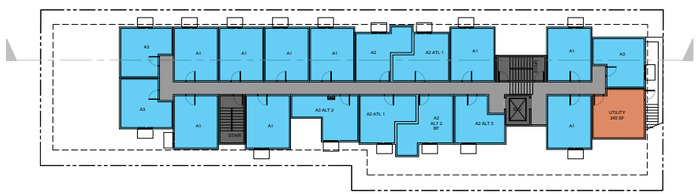
SECTION

LEVEL 5

LEVEL 4

LEVEL 2 - 3

GROUND FLOOR



BASEMENT

6 ARCHITECTURAL MASSING - PRECEDENTS

WINDOW BAYS ON BRICK
KAPPA KAPPA GAMMA
4504 18th Ave NE

MODERN MATERIAL
U20 APARTMENTS
4536 20th Ave NE

LIGHT PILLARS
PHI DELTA THETA
2111 NE 47th St

WOOD
CLARA APARTMENTS
4730 19th Ave NE

BRICK + METAL PANELS
FIFTY TWO APARTMENTS
4710 20th Ave NE

FRIEZE (HORIZONTAL ELEMENTS)
PHI DELTA THETA
2111 NE 47th St

EAVES (HORIZONTAL ELEMENTS)
SIGMA NU
1616 NE 47th St

CANOPIES
ELM HALL
1218 NE Campus Pkwy

U-DISTRICT HOUSING

6 ARCHITECTURAL MASSING - PRECEDENTS

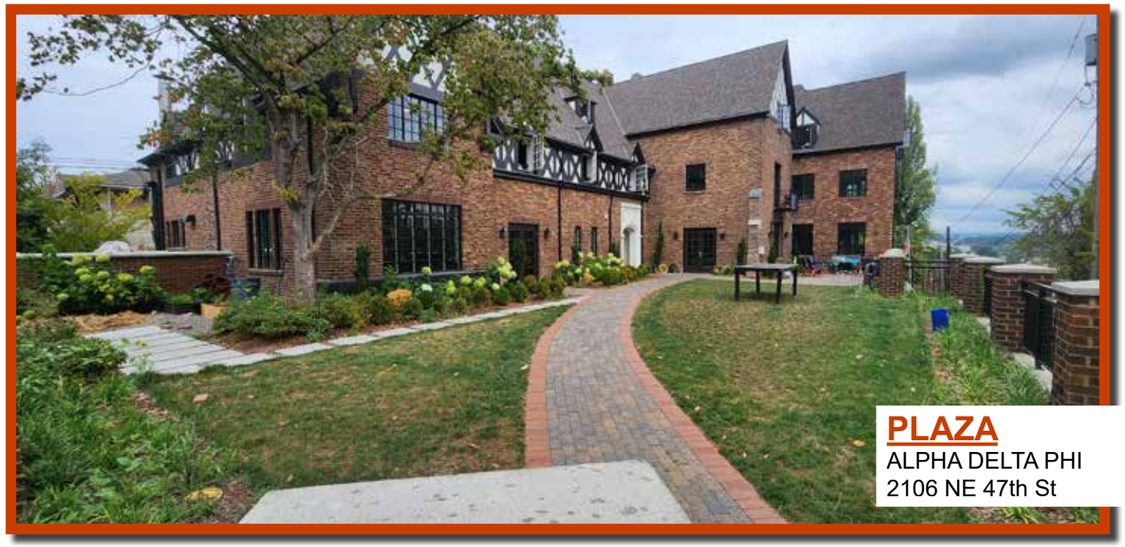
PLANTER ENTRY
KAPPA KAPPA GAMMA
4504 18th Ave NE

MID-HEIGHT PLANTER
KAPPA DELTA
4524 17th Ave NE

ACCENT COLOR
SIGMA ALPHA EPSILON
4506 17th Ave NE

PLAZA
CLARA APARTMENTS
4730 19th Ave NE

PLAZA
THETA CHI
4535 17th Ave NE



PLAZA
ALPHA DELTA PHI
2106 NE 47th St

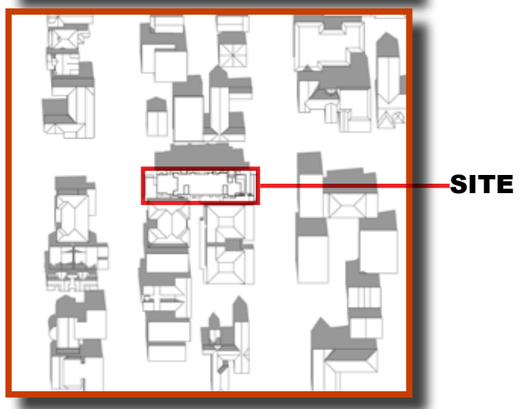
6 ARCHITECTURAL MASSING - SOLAR ANALYSIS

SCHEME 1
MARCH/9AM

SCHEME 2
MARCH/9AM

SCHEME 3
MARCH/9AM

SCHEME 1
MARCH/12PM

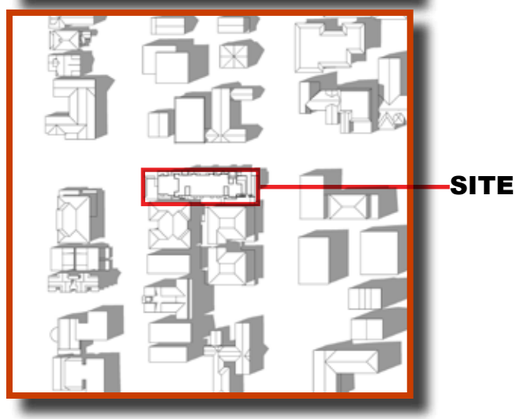


SCHEME 2
MARCH/12PM

SCHEME 3
MARCH/12PM

SCHEME 1
MARCH/3PM

SCHEME 2
MARCH/3PM



SCHEME 3
MARCH/3PM

6 ARCHITECTURAL MASSING - SOLAR ANALYSIS

SCHEME 1
JUNE/9AM

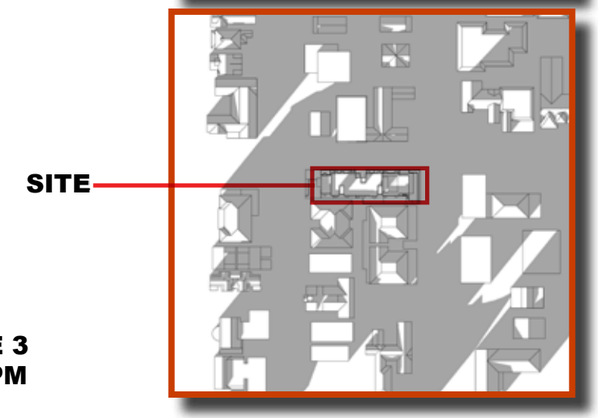
SCHEME 2
JUNE/9AM

SCHEME 3
JUNE/9AM

SCHEME 1
JUNE/12PM

SCHEME 2
JUNE/12PM

SCHEME 3
JUNE/12PM



SCHEME 1
JUNE/3PM

SCHEME 2
JUNE/3PM

SCHEME 3
JUNE/3PM

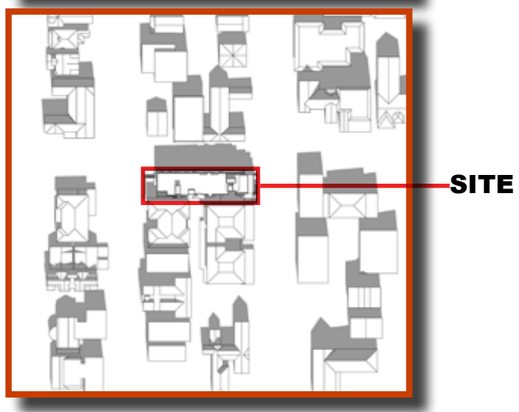
6 ARCHITECTURAL MASSING - SOLAR ANALYSIS

SCHEME 1
DEC/9AM

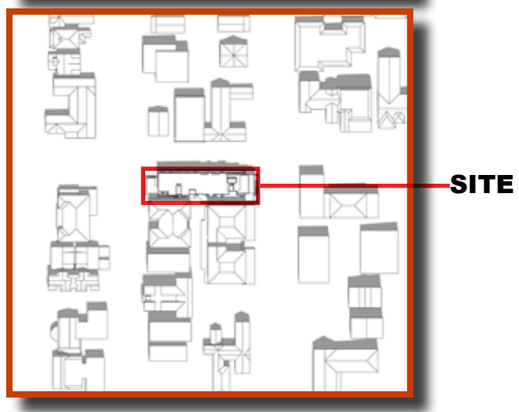
SCHEME 2
DEC/9AM

SCHEME 3
DEC/9AM

SCHEME 1
DEC/12PM



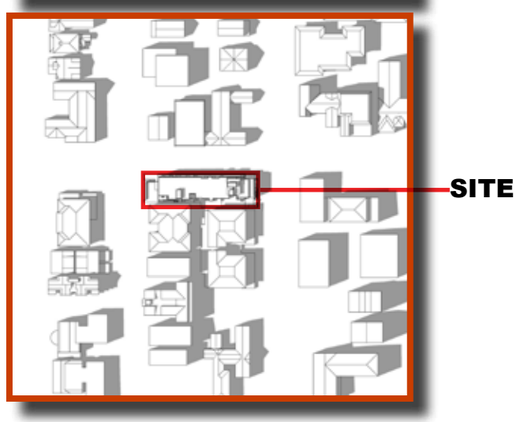
SCHEME 2
DEC/12PM



SCHEME 3
DEC/12PM

SCHEME 1
DEC/3PM

SCHEME 2
DEC/3PM



SCHEME 3
DEC/3PM

7 DEPARTURES - SCHEME 1

23.45.527.B.1

Structure Width & Facade Length

Standard

The maximum combined length of all portions of the facade within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65% of the length of that lot line.

Calculations

South property line (West) = 100’-0”
Portion of facade within 15’ = 74’-11”

74.92’ / 100.00’ = 74.92%

Proposed

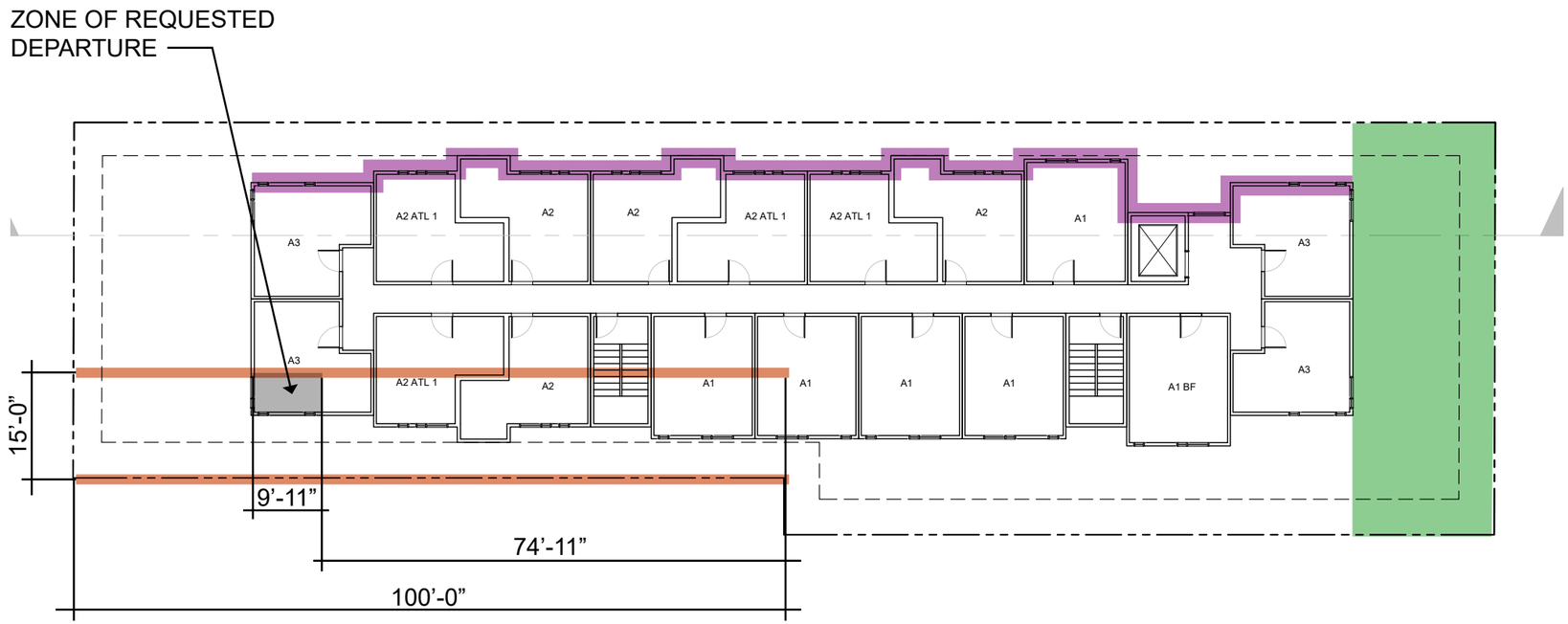
Allow the combined length of all portions of the facades within 15’ to equal 74.92% of the length of the South lot line (West).

% Change from standard

(74.92% - 65%) = 9.92% increase = 9’-11” increase

Rationale

Providing a moderate departure will allow for a gracious common amenity area at the East entry, as well as a more articulated facade along NE 47th St (purple). The East courtyard (green) will accentuate the presence of the building and improve the streetscape by opening up more sky at the intersection.



7 DEPARTURES - SCHEME 2

23.45.527.B.1

Structure Width & Facade Length

Standard

The maximum combined length of all portions of the facade within 15 feet of a lot line that is neither a rear lot line nor a street or alley lot line shall not exceed 65% of the length of that lot line.

Calculations

South property line (West) = 100’-0”
Portion of facade within 15’ = 72’-8”

72.67’ / 100.00’ = 72.67%

Proposed

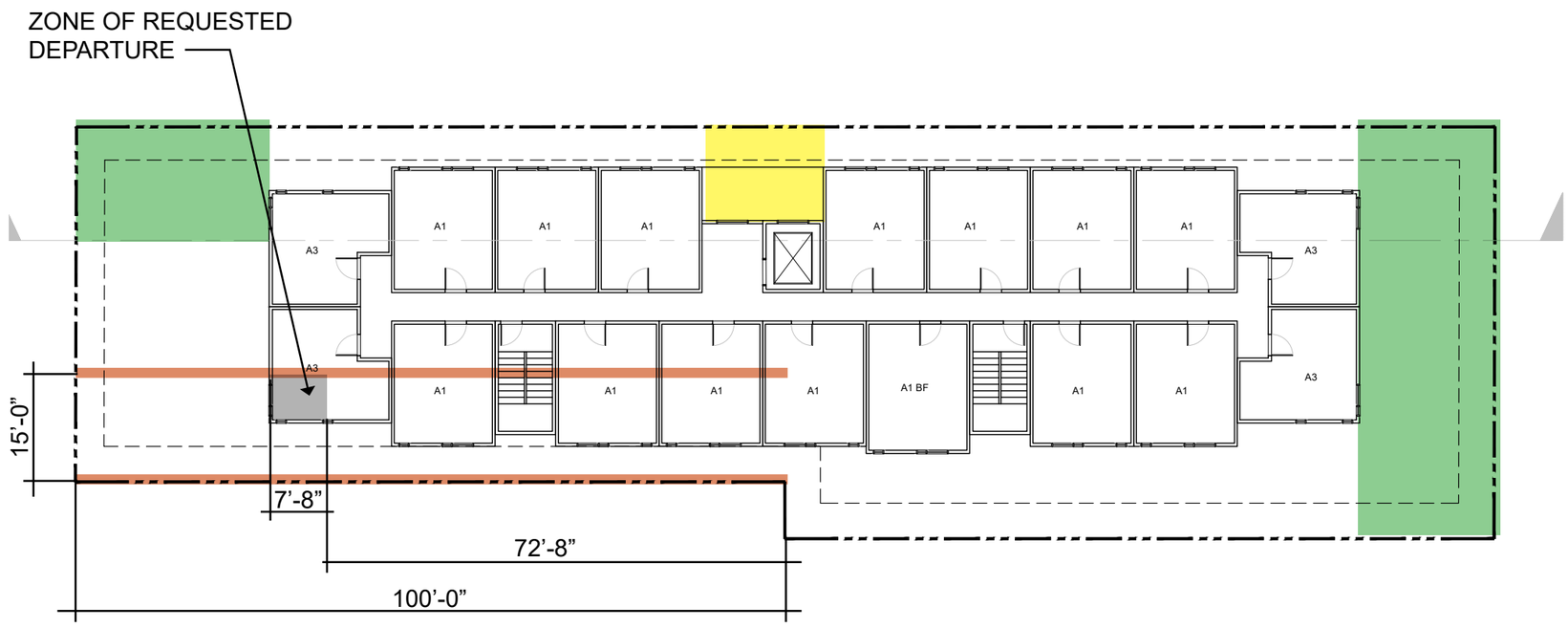
Allow the combined length of all portions of the facades within 15’ to equal 72.67% of the length of the South lot line (West).

% Change from standard

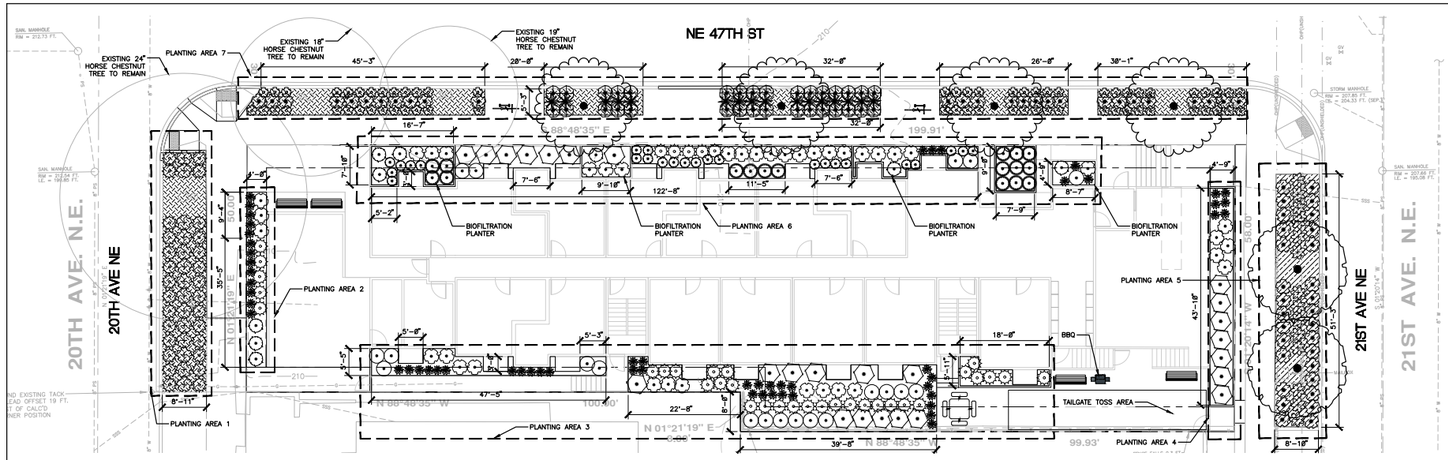
(72.67% - 65%) = 7.67% increase = 7’-8” increase

Rationale

This departure was requested to provide a more efficient unit layout for the building. Since the mid entry (yellow) divided the building in half, allowing this departure will allow use of more standardized unit layouts. More efficient unit layouts also allow us to provide a shorter building, which further enhances the size of the open spaces on the West and East Plaza (Green).



LANDSCAPING CONCEPT PLAN - PLANTING PLAN



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	QTY
TREES				
	CARPINUS JAPONICA / JAPANESE HORNBEAM ACCLIMATED	B & B	2.5" CAL. STREET TREE QUALITY	4
	ULMUS DAVIDIANA 'JFS KW2UD' / GREENSTONE® ELM ACCLIMATED	B & B	2.5" CAL. STREET TREE QUALITY	2

SYMBOL	BOTANICAL / COMMON NAME	SIZE	FIELD2	QTY
SHRUBS				
	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM' / WINTER GEM JAPANESE BOXWOOD ACCLIMATED	2 GAL		32
	CORNUS SERICEA 'KELSEYI' / KELSEY'S DWARF RED TWIG DOGWOOD ACCLIMATED	2 GAL		17
	GAULTHERIA SHALLON / SALAL NATIVE	2 GAL		20
	ILEX CRENATA 'CONVEXA' / CONVEX-LEAVED JAPANESE HOLLY ACCLIMATED	2 GAL		57
	MAHONIA AQUIFOLIUM ' COMPACTA' / COMPACT OREGON GRAPE NATIVE	2 GAL		9
	NANDINA DOMESTICA 'COMPACTA' / DWARF HEAVENLY BAMBOO ACCLIMATED	2 GAL		57
	NANDINA DOMESTICA 'MOON BAY' / MOON BAY HEAVENLY BAMBOO ACCLIMATED	2 GAL		65
	POLYSTICHUM MUNITUM / WESTERN SWORD FERN NATIVE	2 GAL		65
	ROSA X 'AMBER CARPET ROSE' / AMBER CARPET ROSE	5 GAL		16
	SCIRPUS ATROCINCTUS / WOOL GRASS NATIVE	2 GAL		25
	SPIRAEA BETULIFOLIA LUCIDA / SHINYLEAF SPIREA NATIVE	2 GAL		39
	SPIRAEA X BUMALDA 'ANTHONY WATERER' / ANTHONY WATERER SPIREA ACCLIMATED	2 GAL		14
	SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY NATIVE	5 GAL		25
	VIBURNUM DAVIDII / DAVID VIBURNUM ACCLIMATED	5 GAL		14

SYMBOL	BOTANICAL / COMMON NAME	CONT	FIELD2	SPACING
GROUND COVERS				
	LIRIOPE SPICATA / CREEPING LILYTURF ACCLIMATED	1 GAL.		24" o.c.
	PACHYSANDRA TERMINALIS / JAPANESE PACHYSANDRA ACCLIMATED	1 GAL.		24" o.c.

SITE ELEMENTS

NORTH

0 10 20 30 feet

- 6' SITE BENCH
- 4'X4' TABLE
- BBQ

PLANTING NOTES

1. ANY DISCREPANCIES WITH THE DRAWINGS AND/OR SPEC'S AND SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REP. PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. ALL MATERIALS TO BE DISPOSED OF OFFSITE ARE TO BE DISPOSED OF IN A LAWFUL LANDFILL AND IN ACCORDANCE WITH GOVERNMENT REQUIREMENTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CALL DIAL-A-DIG 811 PRIOR TO DIGGING.
4. AVOID DAMAGE ABOVE AND BELOW GROUND TO EXISTING PLANT MATERIALS TO REMAIN.
5. PLANT MATERIAL LOCATIONS SHALL BE COORDINATED WITH SPRINKLER IRRIGATION HEAD LOCATIONS TO AVOID CONFLICTS.
6. GROUNDCOVERS SHALL BE PLANTED IN A TRIANGULAR PATTERN AT SPACING SHOWN IN LEGEND OR SCHEDULE. WHERE GROUNDCOVER ABUTS CURBING, WALLS OR WALKS, MINIMUM PLANTING DISTANCE SHALL BE NINE (9) INCHES FROM SAME.
7. ALL EXISTING LANDSCAPE PLANTING AREAS DISTURBED BY WORK DESCRIBED IN THESE DRAWINGS & SPECIFICATIONS SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION.
8. ESTABLISHMENT OF ALL PLANTS, INCLUDING DROUGHT-TOLERANT SPECIES, REQUIRE SUPPLEMENTAL WATER FOR AT LEAST FIVE GROWING SEASONS TO ENSURE SUCCESSFUL TREE & PLANT ESTABLISHMENT AND HEALTHY, VIGOROUS, LONG-TERM SURVIVAL.
9. IRRIGATION SYSTEM SHALL PROVIDE HEAD TO HEAD SPRAY COVERAGE.
10. ALL PLANTINGS AND LANDSCAPE ELEMENTS, INCLUDING IRRIGATION AS NOTED, REQUIRED AS PART OF A LAND USE PERMIT OR BUILDING PERMIT MUST BE MAINTAINED FOR THE LIFE OF THE PROJECT, PER THE LANDSCAPE MANAGEMENT PLAN.
11. THE SPECIES IDENTIFICATION NURSERY TAG SHALL REMAIN ON AT LEAST TWO TREES PER SPECIES UNTIL THE FINAL CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED. AFTER ISSUANCE, THE OWNER MUST REMOVE THE TAGS TO PREVENT DAMAGE TO THE TREES.
12. ALL PLANTING AREAS SHALL RECEIVE 2"-3" OF ARBORIST WOOD CHIP MULCH

Design Two Four/Two Six
14835 161ST COURT SE
RENTON, WA 98059-8819
ph. (425) 881-2426
cll. (206) 335-7719
www.design2426.com
Landscape Architecture ▪ Irrigation Planning ▪ Artistic Field Design ▪ Construction Management

U-DISTRICT HOUSING

4637 21ST AVE NE
SEATTLE, WA 98105

Design Team

Design: LZ/JA
Drawn: LZ/JA
Checked: JA
Date: 978
24/28 Project No.: 01/03/2024
Approved/Date

Revisions

No.	Date	Description

Key Plan

Registration

REGISTERED LANDSCAPE ARCHITECT JASON ANDERSON STATE OF WASHINGTON EXP 10-24-2024

Sheet Title

PLANTING PLAN, SCHEDULE, & NOTES

Sheet No.

L-1.0

LANDSCAPING CONCEPT PLAN - GREEN FACTOR

Green Factor Scoresheet PAGE 1

SEATTLE×green factor

Project title: U-District Housing

Parcel size: 10,795 (Enter sq ft of parcel) — SCORE: 0.782487

	Landscape Elements**	Totals calculate automatically from Green Factor Worksheet		Factor	Total
A	**Planted areas**				
1	Planted areas with a soil depth of 24" or greater	2922 square feet		0.6	1,753
2	Bioretention facilities	311 square feet		1	311
B	**Plantings (credit for plants in landscaped areas from Section A)**				
1	Mulch, ground covers, or other plants less than 2' tall at maturity	2212 square feet		0.1	221
2	Medium shrubs or perennials 2'-4' tall maturity - calculated at 9 sq ft per plant (typicaity planted no closer than 18" on center)	340 plants	3060	0.3	918
3	Large shrubs or perennials 4'+ at maturity - calculated at 36 sq ft per plant (typically planted no closer than 24" on center)	0 plants	0	0.3	0
4	**Small Trees** Tree canopy for "Small Trees" or equivalent (canopy spread of 8' to 15') - calculated at 75 sq ft per tree	0 trees	0	0.3	0
5	**Small/Medium Trees** Tree canopy for "Small/Medium Trees" or equivalent (canopy spread 16' to 20') - calculated at 150 sq ft per tree	0 trees	0	0.5	0
6	**Medium/Large Trees** Tree canopy for "Medium/Large Trees" or equivalent (canopy spread of 21' to 25') - calculated at 250 sq ft per tree	0 trees	0	0.7	0
7	**Large Trees** Tree canopy for "Large Trees" or equivalent (canopy spread of 26' or more) - calculated at 350 sq ft per tree	4 trees	1400	0.9	1,260
8	**Preserved Trees** Tree canopy for preservation of existing trees with trunks 6"+ DBH (Diameter at Breast Height, 4.5' above the ground) - calculated at 20 sq ft per inch diameter	81 inches	1620	1	1,620

* Do not count public rights-of-way in parcel size calculation.

** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR XX-2020).

REVISED 12-21-2023

Green Factor Scoresheet PAGE 2

SEATTLE×green factor

C	**Green roofs**			
1	Green roofs over at least 2" and less than 4" of growth medium	0 square feet	0.4	0
2	Green roofs 4" - 8" of growth medium	0 square feet	0.6	0
3	Green roofs 8"+ of growth medium	0 square feet	0.8	0
D	**Vegetated walls** NC, C, SM, and South Downtown zones only	0 square feet	0.4	0
E	**Permeable paving**			
1	Permeable paving over at least 6" and less than 24" of soil or gravel	0 square feet	0.2	0
2	Permeable paving over at least 24" of soil or gravel	0 square feet	0.5	0
F	**Structural soil systems**	0 square feet	0.5	0
	sub-total of sq ft =	11,525		
G	**Bonuses**			
1	Landscaping that consists of drought-tolerant and/or native plant species	8292 square feet	0.1	829
2	Landscaped areas where at least 50% of annual irrigation needs are met through the use of harvested rainwater or collected greywater	0 square feet	0.2	0
3	Vegetation visible to passersby from adjacent public right of way or public open spaces	6619 square feet	0.2	1,324
4	Landscaping in food cultivation	0 square feet	0.1	0
	Green Factor numerator =			8,130

* Do not count public rights-of-way in parcel size calculation.

** You may count landscape improvements in rights-of-way contiguous with the parcel. All landscaping on private and public property must comply with the Landscape Standards Director's Rule (DR XX-2020).

REVISED 07-07-2020

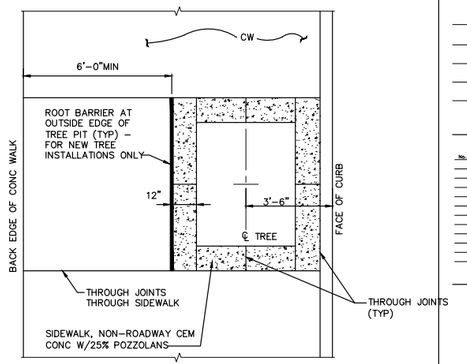
Green Factor Worksheet

SEATTLE×green factor

Project title: U-District

	Landscape Elements	Planting Area 1	2	3	4	5	6	7	Total
	Measurement								
A1	square feet	414	133	809	206	238	710	412	2922
A2	square feet						311		311
B1	square feet	414	133	809	206	238		412	2212
B2	# of plants	40	23	96	18	30	94	39	340
B3	# of plants								0
B4	# of trees								0
B5	# of trees								0
B6	# of trees								0
B7	# of trees							4	4
B8	Inches DBH	24				20		37	81
C1	square feet								0
C2	square feet								0
C3	square feet								0
D	square feet								0
E1	square feet								0
E2	square feet								0
F	square feet								0
G1	square feet	1254	340	1673	368	908	846	2903	8292
G2	square feet								0
G3	square feet	1254	340		368	908	846	2903	6619
G4	square feet								0

REVISED 12-21-2023



FOR ADDITIONAL SIDEWALK SCORING REQUIREMENTS SEE STD PLAN NO 420

TYPE C

TREE PIT DIMENSIONAL REQUIREMENTS:
- 24 SQ FT MIN TREE PIT SIZE
- 3'-0"MIN REQ'D BETWEEN TREE ℄ & FACE OF CURB
- 2'-0"MIN REQ'D BETWEEN TREE ℄ & CONC SIDEWALK
- 6'-0"MIN CONC WALKING SURFACE

NOTES:
1. INSTALLATIONS REQUIRING LESS THAN STANDARD MIN CLEARANCES MUST BE ALLOWED ONLY WITH APPROVAL BY THE ENGINEER.
2. INSTALL ROOT BARRIER AS NOTED. SEE STANDARD PLAN NO 100a.
3. SEE STD PLAN NO 420 FOR CW SCORING DETAILS.
4. WHEN INSTALLING NEW TREE PITS IN EXISTING SIDEWALK, REMOVE SIDEWALK TO FULL PANE WIDTH. INSTALL TREE PIT AS SHOWN ON THIS DETAIL.

TREE PIT
① CITY OF SEATTLE STANDARD PLAN 424B
NOT TO SCALE

Design Two Four/Two Six
14835 161ST COURT SE
RENTON, WA 98059-8819
ph. (425) 881-2426
cll. (206) 335-7719
www.design2426.com
Landscape Architecture ■ Irrigation Planning ■ Athletic Field Design ■ Construction Management

U-DISTRICT HOUSING

4637 21ST AVE NE
SEATTLE, WA 98105

Design Team

Design: LZ/JA
Drawn: LZ/JA
Checked: JA
Date: 978
24/28 Project No.: 01/03/2024
Approved/Date:

Revisions

No.	Date	Description

Key Plan

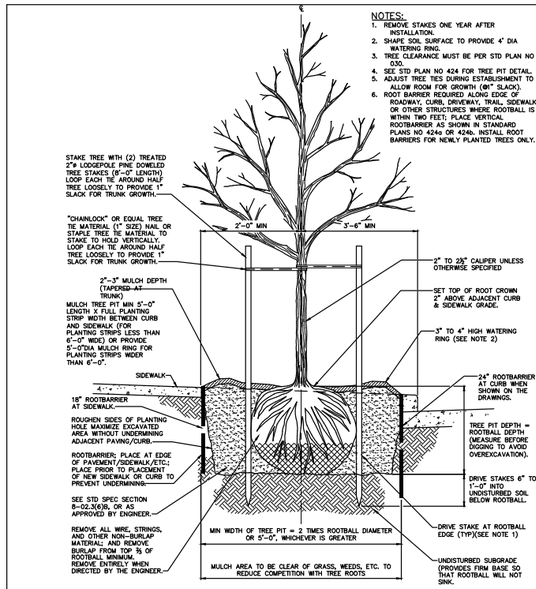
Registration

JEANETTE WAMPLER — LANDSCAPE ARCHITECT — STATE OF WASHINGTON — EXP. 01-24-2025

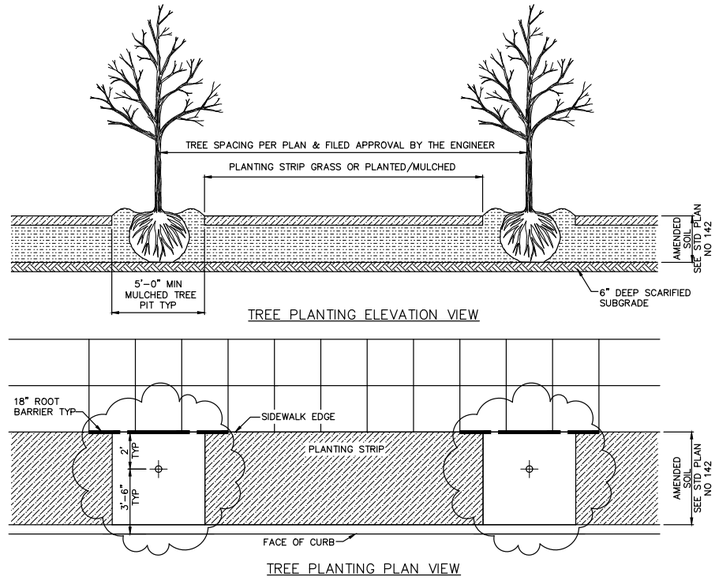
Sheet Title: **GREEN FACTOR WORKSHEET & SCORECARD & PLANTING DETAIL**

Sheet No.: **L-1.1**

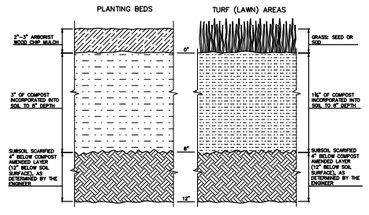
LANDSCAPING CONCEPT PLAN - PLANTING DETAILS



DECIDUOUS TREE PLANTING IN PLANTING STRIP
1 CITY OF SEATTLE STANDARD PLAN 100A
NOT TO SCALE

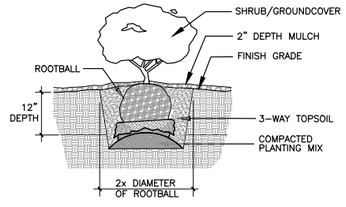


STREET TREE PLANING IN AMENDED TRENCH
2 CITY OF SEATTLE STREET TREE PLANTING 100C
NOT TO SCALE

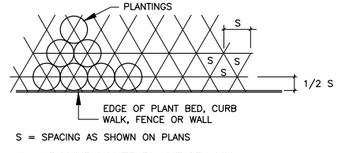


NOTES:
1. ALL SOIL AREAS DISTURBED OR COMPACTED DURING CONSTRUCTION, AND NOT COVERED BY BUILDING OR PAVEMENT, MUST BE AMENDED WITH COMPOST AS DESCRIBED BELOW.
2. SUBSOIL SHOULD BE SCARIFIED (LOOSENED) 4 INCHES BELOW AMENDED LAYER, TO PRODUCE 12-INCH DEPTH OF UN-COMPACTED SOIL, EXCEPT WHERE SCARIFICATION WOULD DAMAGE TREE ROOTS OR AS DETERMINED BY THE ENGINEER.
3. COMPOST MUST BE TILLED IN TO A INCH DEPTH INTO EXISTING SOIL, OR PLACE 6 INCHES OF COMPOST-AMENDED SOIL, PER SOIL SPECIFICATION.
4. TURF AREAS MUST RECEIVE 1.75 INCHES OF COMPOST TILLED IN TO 6-INCH DEPTH, OR MAY SUBSTITUTE 6" OF IMPORTED SOIL CONTAINING 30-40% COMPOST BY VOLUME. THEN PLANT GRASS SEED OR SOD PER SPECIFICATION.
5. PLANTING BEDS MUST RECEIVE 3 INCHES OF COMPOST TILLED IN TO 6-INCH DEPTH, OR MAY SUBSTITUTE 6" OF IMPORTED SOIL CONTAINING 30-40% COMPOST BY VOLUME. MULCH AFTER PLANTING, WITH 2-3 INCHES OF ARBORIST WOOD CHIP MULCH OR APPROVED EQUAL.
6. SETBACKS: TO PREVENT UNEVEN SETTLING, DO NOT COMPOST-AMEND SOILS WITHIN 3 FEET OF UTILITY INFRASTRUCTURES (POLES, VAULTS, METERS ETC.). WITHIN ONE FOOT OF PAVEMENT EDGE, CURBS AND SIDEWALKS SOIL SHOULD BE COMPACTED TO APPROXIMATELY 90% PROCTOR TO ENSURE A FIRM SURFACE.

SOIL AMENDMENT & DEPTH CITY OF SEATTLE STANDARD PLAN 142
3
NOT TO SCALE



SHRUB/GROUNDCOVER PLANTING DETAIL
4
NOT TO SCALE SECTION



S = SPACING AS SHOWN ON PLANS

GROUNDCOVER PLANT SPACING
5
NOT TO SCALE

Design Two Four/Two Six
14835 161ST COURT SE
RENTON, WA 98059-8819
ph. (425) 881-2426
cll. (206) 335-7719
www.design2426.com
Landscape Architecture ▲ Irrigation Planning ▲ Wetlands Field Design ▲ Construction Management

U-DISTRICT HOUSING

4637 21ST AVE NE
SEATTLE, WA 98105

Design Team
Design: LZ/JA
Drawn: LZ/JA
Checked: JA
Date: 978
24/28 Project No.: 01/03/2024
Approved/Date

Revisions

No.	Date	Description

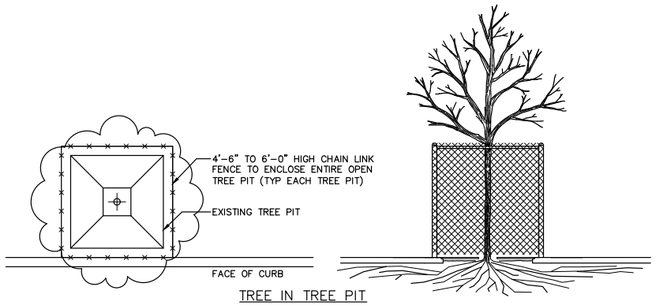
Key Plan

Registration

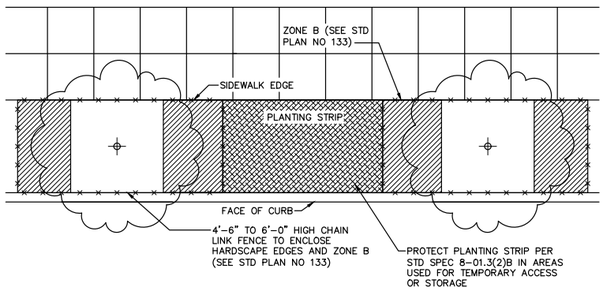
Sheet Title
PLANTING DETAILS

Sheet No.
L-1.2

LANDSCAPING CONCEPT PLAN - PLANTING DETAILS



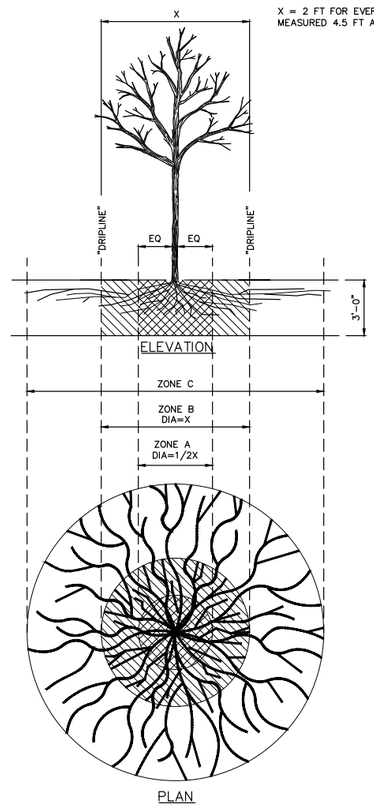
TREE IN TREE PIT



TREE IN PLANTING STRIP

NOTES:
1. CONSIDER TRAFFIC TURNING VISIBILITY AND PEDESTRIAN VISIBILITY WHEN SELECTING FENCE HEIGHT; TYPICALLY SHORTER FENCING AROUND TREE PITS BETWEEN SIDEWALK AND ROADWAY IS DESIRED.
2. TO BE USED FOR TREES IN PLANTING STRIPS AND FOR WORK LASTING 31 CALENDAR DAYS OR MORE. FOR TREES IN TREE PITS AND LASTING 30 CALENDAR DAYS OR LESS, SEE STD PLAN 132b.

TREE PROTECTION DURING CONSTRUCTION
CITY OF SEATTLE STANDARD PLAN 132A
1 NOT TO SCALE



X = 2 FT FOR EVERY 1 INCH OF TRUNK DIA MEASURED 4.5 FT ABOVE GRADE (MIN 8 FT)

TRENCHING/EXCAVATION

ZONE A (INTERIOR CRITICAL ROOT ZONE)
1. NO DISTURBANCE ALLOWED WITHOUT SITE VISIT AND APPROVED TVSPP PER SECTION 8-01.3(2)B.
2. TUNNELING REQUIRED TO INSTALL UTILITIES 3'-0" OR DEEPER.

ZONE B (CRITICAL ROOT ZONE)
1. NO DISTURBANCE ALLOWED WITHOUT APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE.
2. NO MORE THAN 30 PERCENT OF ZONE B SHALL BE DISTURBED.
3. TUNNELING MAY BE REQUIRED FOR BELOW-GRADE IMPROVEMENTS.

ZONE C (EXTENDED ROOT ZONE)
1. DISTURBANCE ALLOWED BASED ON APPROVED PLANS. SEE NOTE.

NOTE:
SEVERANCE OF ROOTS LARGER THAN 2" REQUIRES ENGINEER'S APPROVAL.

TREE PROTECTION DURING TRENCHING, TUNNELING, OR EXCAVATION
CITY OF SEATTLE STANDARD PLAN 133
2 NOT TO SCALE

Design Two Four/Two Six
14835 161ST COURT SE
RENTON, WA 98059-8819
ph. (425) 881-2426
cll. (206) 335-7719
www.design2426.com
Landscape Architecture ▪ Irrigation Planning ▪ Athletic Field Design ▪ Construction Management

U-DISTRICT HOUSING

4637 21ST AVE NE
SEATTLE, WA 98105

Design Team
Design: LZ/JA
Drawn: LZ/JA
Checked: JA
Date: 978
24/28 Project No.: 01/03/2024
Approved/Date

Revisions

No.	Date	Description

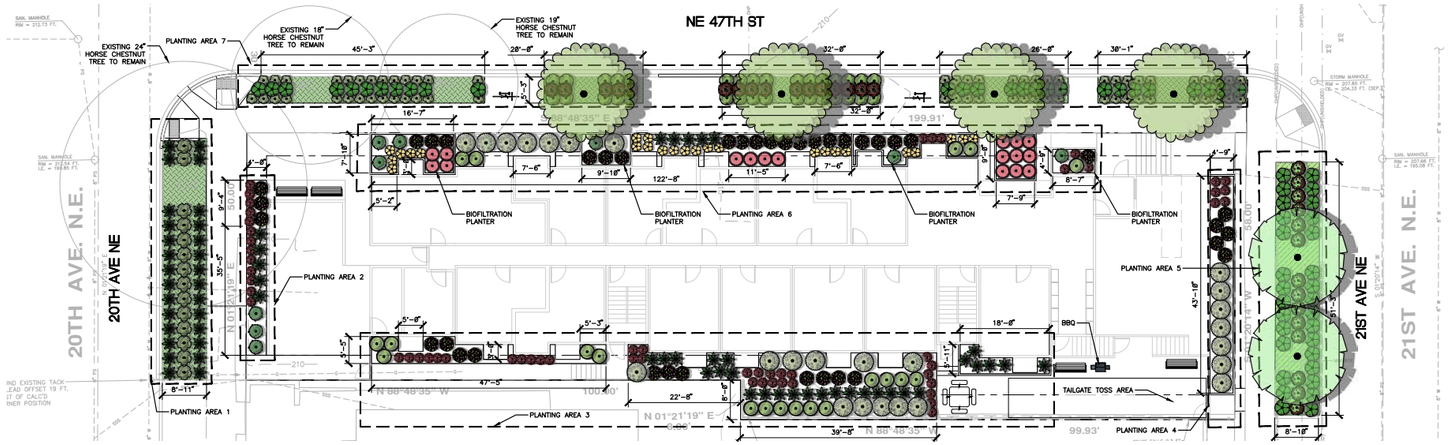
Key Plan

Registration

Sheet Title
PLANTING DETAILS

Sheet No.
L-1.2

LANDSCAPING CONCEPT PLAN - RENDERED PLANTING PLAN



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	QTY
TREES				
	CARPINUS JAPONICA / JAPANESE HORNBEAM ACCLIMATED	B & B	2.5" CAL. STREET TREE QUALITY	4
	ULMUS DAVIDIANA 'JFS KW2UD' / GREENSTONE® ELM ACCLIMATED	B & B	2.5" CAL. STREET TREE QUALITY	2

SYMBOL	BOTANICAL / COMMON NAME	SIZE	FIELD2	QTY
SHRUBS				
	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM' / WINTER GEM JAPANESE BOXWOOD ACCLIMATED	2 GAL		32
	CORNUS SERICEA 'KELSEYI' / KELSEY'S DWARF RED TWIG DOGWOOD ACCLIMATED	2 GAL		17
	GAULTHERIA SHALLON / SALAL NATIVE	2 GAL		20
	ILEX CRENATA 'CONVEXA' / CONVEX-LEAVED JAPANESE HOLLY ACCLIMATED	2 GAL		57
	MAHONIA AQUIFOLIUM ' COMPACTA' / COMPACT OREGON GRAPE NATIVE	2 GAL		9
	NANDINA DOMESTICA 'COMPACTA' / DWARF HEAVENLY BAMBOO ACCLIMATED	2 GAL		57
	NANDINA DOMESTICA 'MOON BAY' / MOON BAY HEAVENLY BAMBOO ACCLIMATED	2 GAL		65
	POLYSTICHUM MUNITUM / WESTERN SWORD FERN NATIVE	2 GAL		65
	ROSA X 'AMBER CARPET ROSE' / AMBER CARPET ROSE	5 GAL		16
	SCIRPUS ATROCINCTUS / WOOL GRASS NATIVE	2 GAL		25
	SPIRAEA BETULIFOLIA LUCIDA / SHINYLEAF SPIREA NATIVE	2 GAL		39
	SPIRAEA X BUMALDA 'ANTHONY WATERER' / ANTHONY WATERER SPIREA ACCLIMATED	2 GAL		14
	SYMPHORICARPOS ALBUS / COMMON WHITE SNOWBERRY NATIVE	5 GAL		25
	VIBURNUM DAVIDII / DAVID VIBURNUM ACCLIMATED	5 GAL		14

SYMBOL	BOTANICAL / COMMON NAME	CONT	FIELD2	SPACING
GROUND COVERS				
	LIRIOPE SPICATA / CREEPING LILYTURF ACCLIMATED	1 GAL.		24" o.c.
	PACHYSANDRA TERMINALIS / JAPANESE PACHYSANDRA ACCLIMATED	1 GAL.		24" o.c.

NORTH

0 10 20 30 feet

Design Two Four/Two Six
14835 161ST COURT SE
RENTON, WA 98059-8819
ph. (425) 881-2426
cll. (206) 335-7719
www.design2426.com
Landscape Architecture ■ Irrigation Planning ■ Artistic Field Design ■ Construction Management

U-DISTRICT HOUSING

4637 21ST AVE NE
SEATTLE, WA 98105

Design Team

Design: LZ/JA
Drawn: LZ/JA
Checked: JA
Date: 978
24/28 Project No.: 01/03/2024
Approved/Date

Revisions

No.	Date	Description

Key Plan

Registration

STATE OF WASHINGTON — JAMES A. ANDERSON — LANDSCAPE ARCHITECT

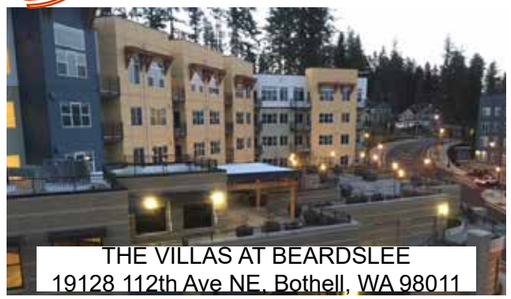
Sheet Title

RENDERED PLANTING PLAN

Sheet No.

L-1.4

9 VEER'S MULTI-FAMILY GALLERY



THE VILLAS AT BEARDSLEE
19128 112th Ave NE, Bothell, WA 98011

CORE 83 APARTMENTS
16590 NE 83rd St, Redmond, WA 98052

THE VILLAS AT BEARDSLEE
19128 112th Ave NE, Bothell, WA 98011

MOUNTLAKE TERRACE STATION
24000 Van Ry Blvd, Mountlake Terrace, WA 98043

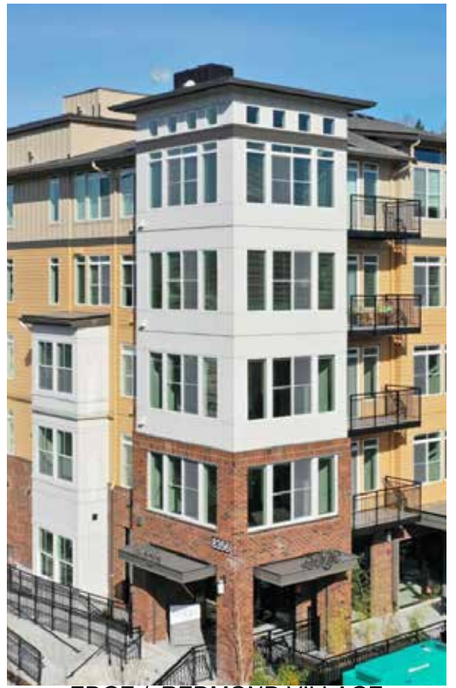
THE VILLAS AT BEARDSLEE
19128 112th Ave NE, Bothell, WA 98011

MOUNTLAKE TERRACE STATION
24000 Van Ry Blvd, Mountlake Terrace, WA 98043

ONE ST HELENS
Division Ave, Tacoma, WA 98403

SUNSET TERRACE
2715 Sunset Ln NE, Renton, WA 98056

123 4TH APARTMENTS
123 4th Ave W, Olympia, WA 98501



EDGE / REDMOND VILLAGE
8356 165th Ave NE, Redmond, WA 98052

U-DISTRICT HOUSING