



# 1203 EAST SPRUCE ST

1203 E SPRUCE ST, SEATTLE WA 98122 | OCTOBER 10, 2024  
DESIGN REVIEW: RECOMMENDATION

#3040352-LU

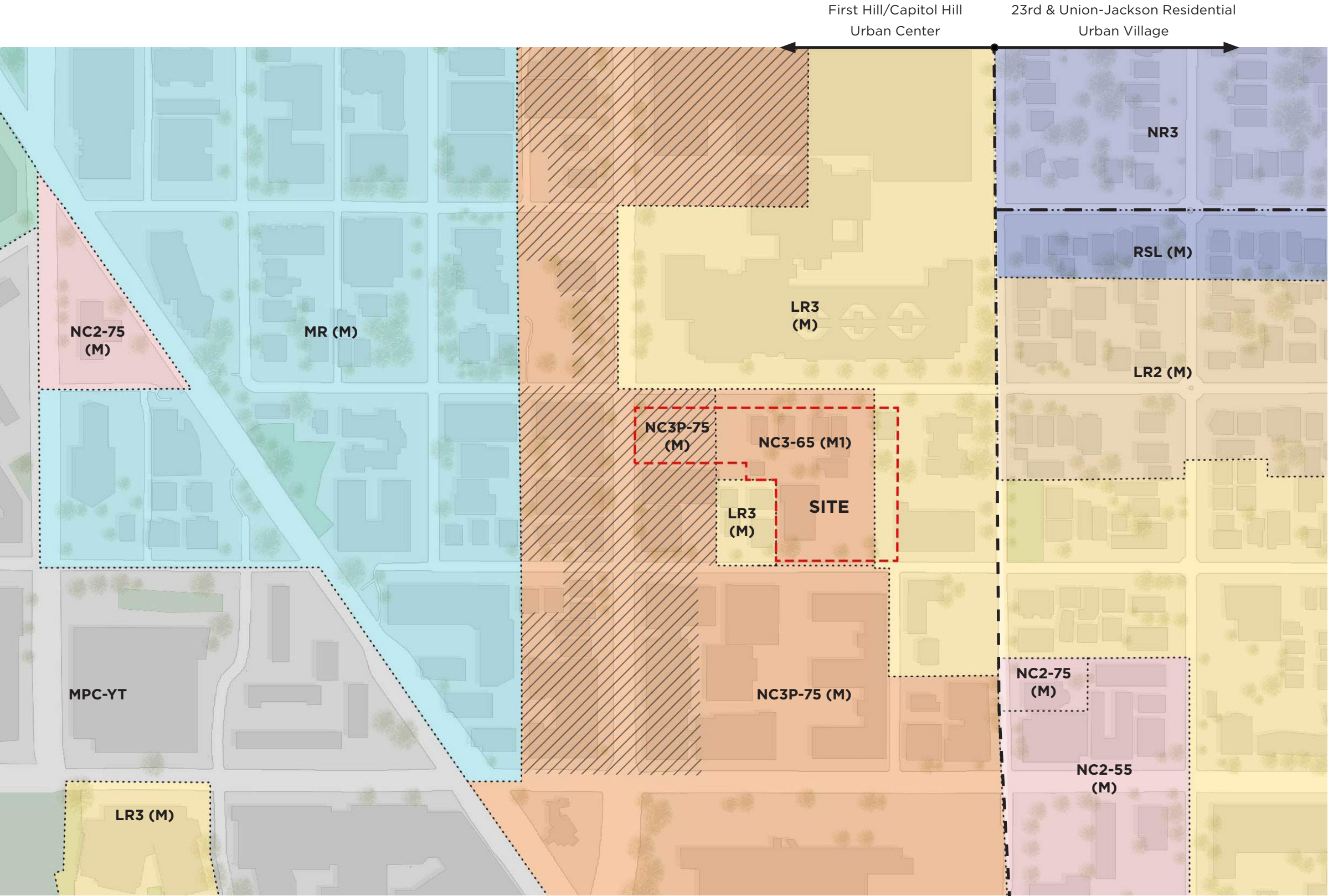


**4.0**

**CONTEXT  
ANALYSIS &  
ZONING DATA**

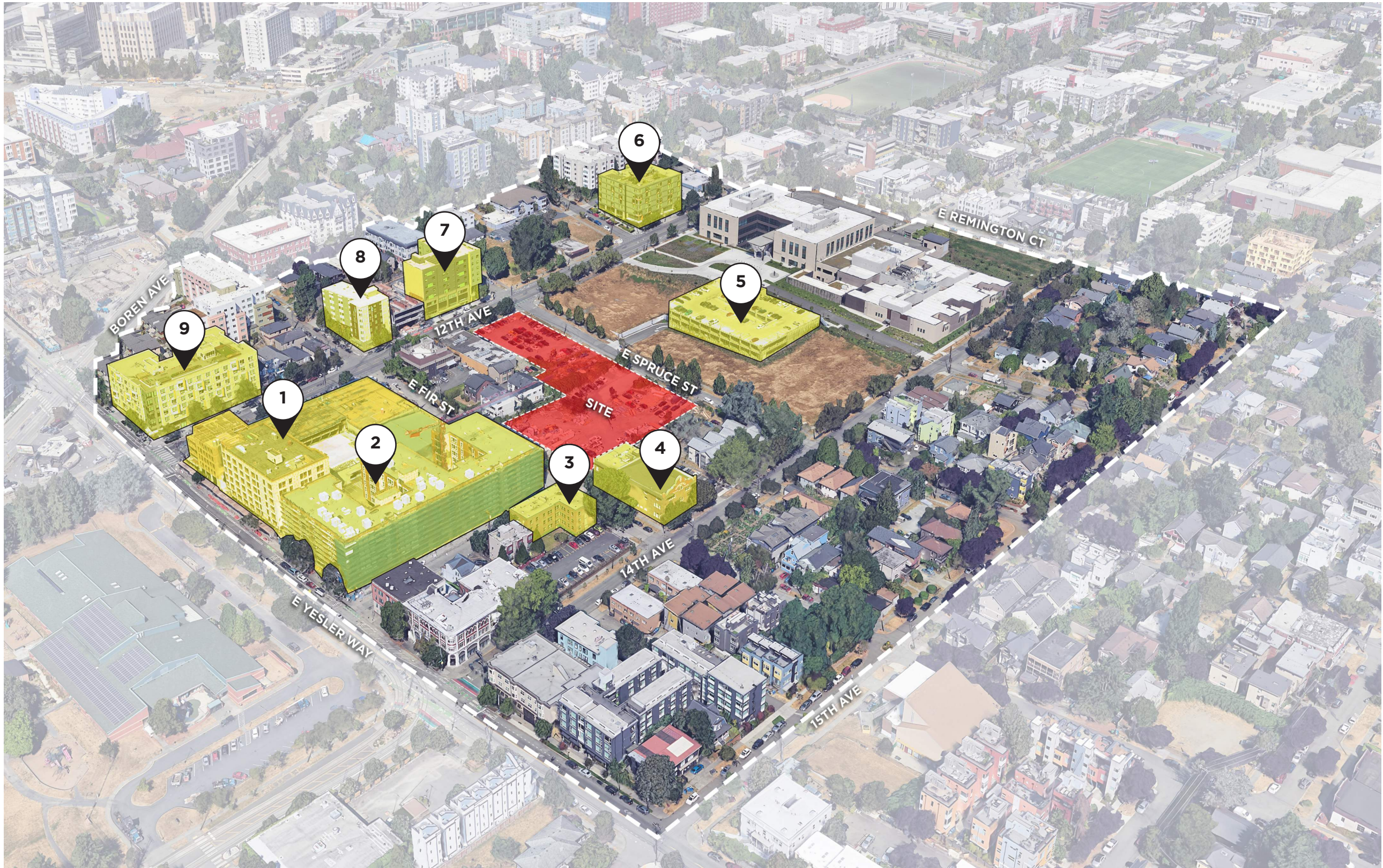


- Major Institutions
- Neighborhood Commercial 2
- Neighborhood Commercial 3
- Lowrise 2
- Lowrise 3
- Midrise
- Neighborhood Residential 3
- Residential Small Lot
- Mastered Planned Community
- Pedestrian Overlay Zone





# NEIGHBORHOOD ANALYSIS





In addition to the existing structures, within our immediate vicinity, there are several structures either within development or have proposed designs that are of similar scale and use. The proposed multi-story mixed-use development is in kind with neighborhood trends.



1  
Tapestry Apartments  
7 Stories  
Materials used: Red brick, gray and white metal panels, wood siding



2  
13th & Fir  
6 Stories  
Materials used: Red brick, White, Dark Gray, and Orange metal panels,



3  
Baldwin Apartments  
3 Stories  
Materials used: Red brick



4  
Washington Hall  
3 Stories  
Materials used: Red brick



5  
King County Juvenile Detention Parking Garage  
3 Stories  
Materials used: Concrete



6  
Decibel on 12th  
6 Stories  
Materials used: Gray and Orange metal panels, concrete



7  
Bertha Pitts Campbell Place  
7 Stories  
Materials used: Gray, Black, Green metal panels, Cementitious blocks



8  
aPodment Suites at Firenze  
7 Stories  
Materials used: White, Gray, Dark Red metal panels



9  
Anthem on 12th  
6 Stories  
Materials used: White, Gray, Yellow metal panels, concrete



**8.0**

# **RESPONSE TO EDG**



# RESPONSE TO EDG

- 1. OVERALL CONCEPTS
- 2. 12TH AVE & SPRUCE ST
- 3. RESIDENTIAL ENTRIES
- 4. ADJACENCY TO WASHINGTON HALL
- 5. STREETScape



DESIGN AT EDG: AERIAL VIEW AT NW CORNER



DESIGN AT EDG: AERIAL VIEW AT NE CORNER



# OVERALL CONCEPTS - BOARD DIRECTION

MASSING

SCALE AND MODULATION

1.a. The Board discussed all massing options provided by the applicant, considered the responsiveness to the existing context, and agreed with the applicant’s preferred Scheme 3. The Board appreciated Scheme 3 for its implied facade modulation widths along E Spruce Street and the terraced interior courtyard that opens to the east. However, in agreement with public comment, the Board was concerned that the facade modulation of Scheme 3 did not adequately break down the overall massing along E Spruce St into discernible and appropriately scaled structures that respect the existing structural width pattern in the neighborhood.

ARTICULATION AND MATERIALITY

NEIGHBORHOOD CONTEXT

3.a. The Board noted the site is set within an evolving neighborhood that includes a variety of traditional and contemporary architectural styles and materials. The Board also noted the prevalence of the use of brick as a prominent building material in the immediate context of the site. The Board gave guidance to further study the articulation and materials of buildings within the neighborhood, including the adjacent historic Washington Hall building, to inform an overall facade articulation and material application concept and material palette that relates to context and is appropriate for this specific project.



# OVERALL CONCEPTS

## 1.A. SCALE & MODULATION

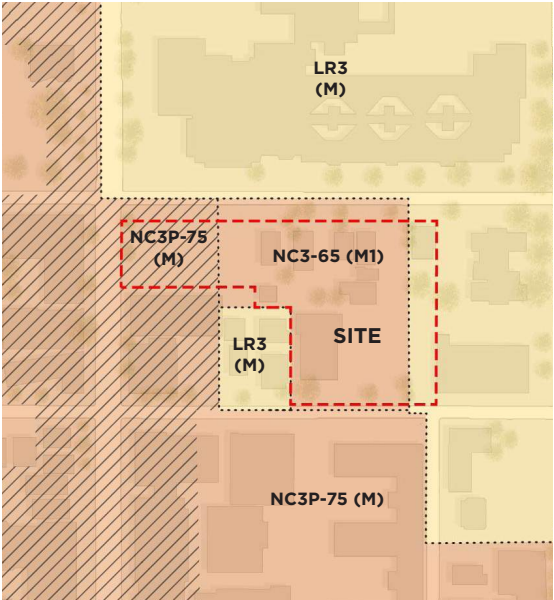
Responding to both the change in zone and contextual scale as the site moves east away from 12th Avenue, the primary massing of the proposed design steps down steps down along the street face. Materiality, as explored later in this package, is utilized in varying widths to further break down the massing into elements appropriately scaled with the neighborhood.

**RATIONALE:**

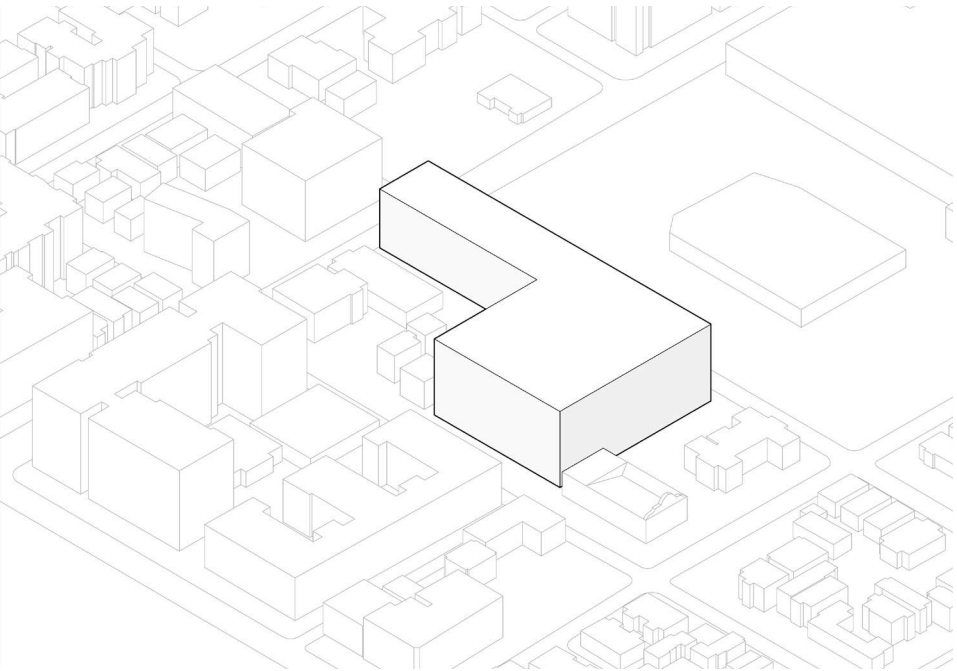
Central Area Design Guidelines  
CS2.1.b Transition Using Massing and Articulation  
DC2.1.d Building Scale in Relation to Public Realm

Seattle Design Guidelines  
CS2.D.3 Zone Transitions

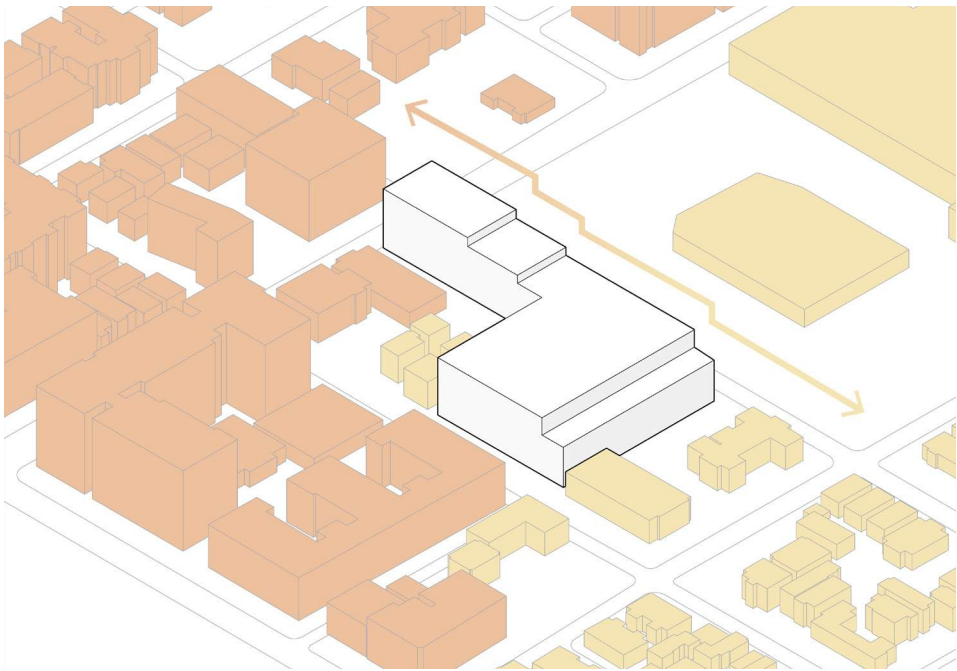
Building massing has been articulated to react to the the reduced density and scale implied by the zoning changes. The adjacent public realm and new construction further informs the primary and secondary massing changes



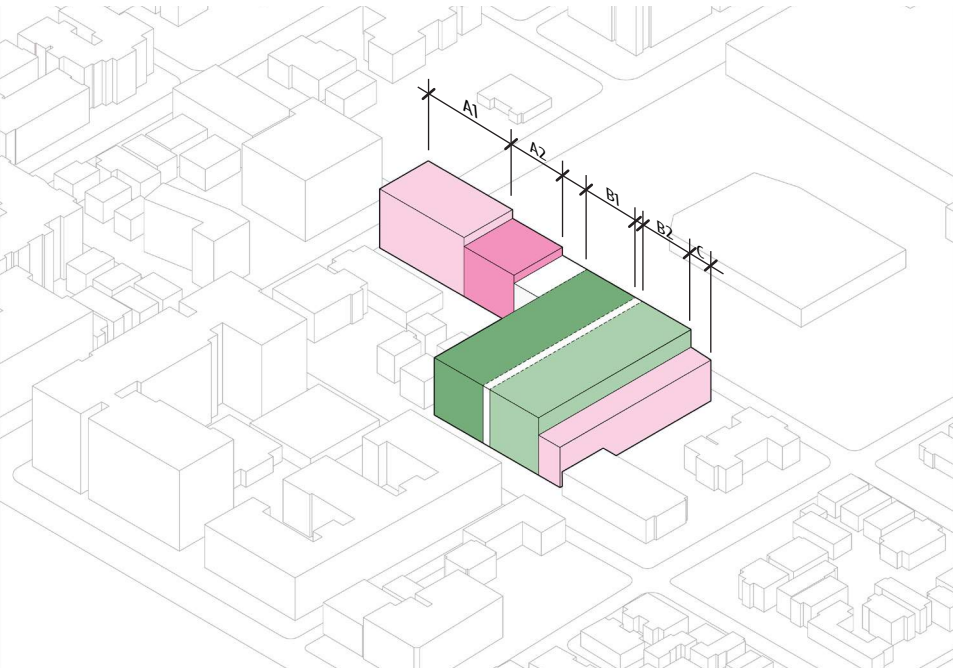
ZONING MAP



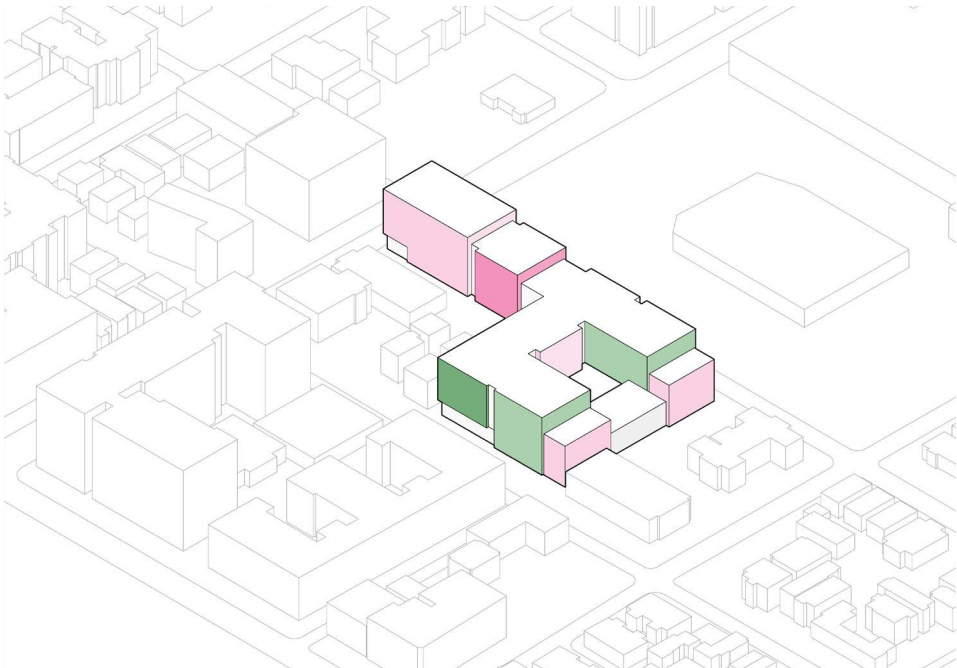
BEGIN WITH POTENTIAL MASSING EXTENTS



STEP MASSING DOWN TO REFLECT THE CHANGE IN ZONING AND RESPOND TO THE ADJACENT RESIDENTIAL NEIGHBORHOOD



BREAK MASSING INTO VOLUMES TO REFLECT THE SCALE OF THE SURROUNDING BUILDINGS



CARVE OUT MASSING TO CREATE VOLUME READING AND AN APPROPRIATE PEDESTRIAN SCALE AT THE GROUND FLOOR

# OVERALL CONCEPT

## 1.A. SCALE AND MODULATION

As the building steps down E Spruce Street, the primary massing is divided into volumes of varying heights and widths that reflect the existing neighborhood scale. These volumes, connected by a recessed facade, draw parallels to the widths and heights of adjacent context.

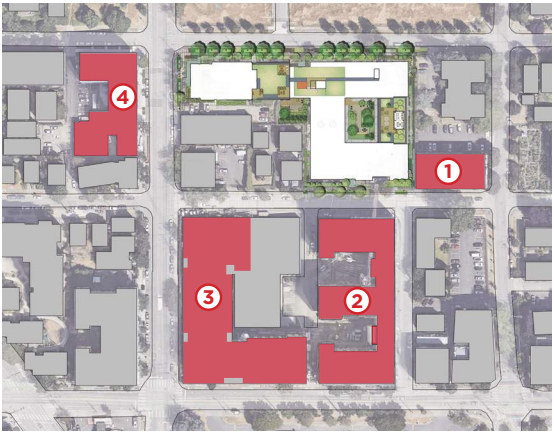
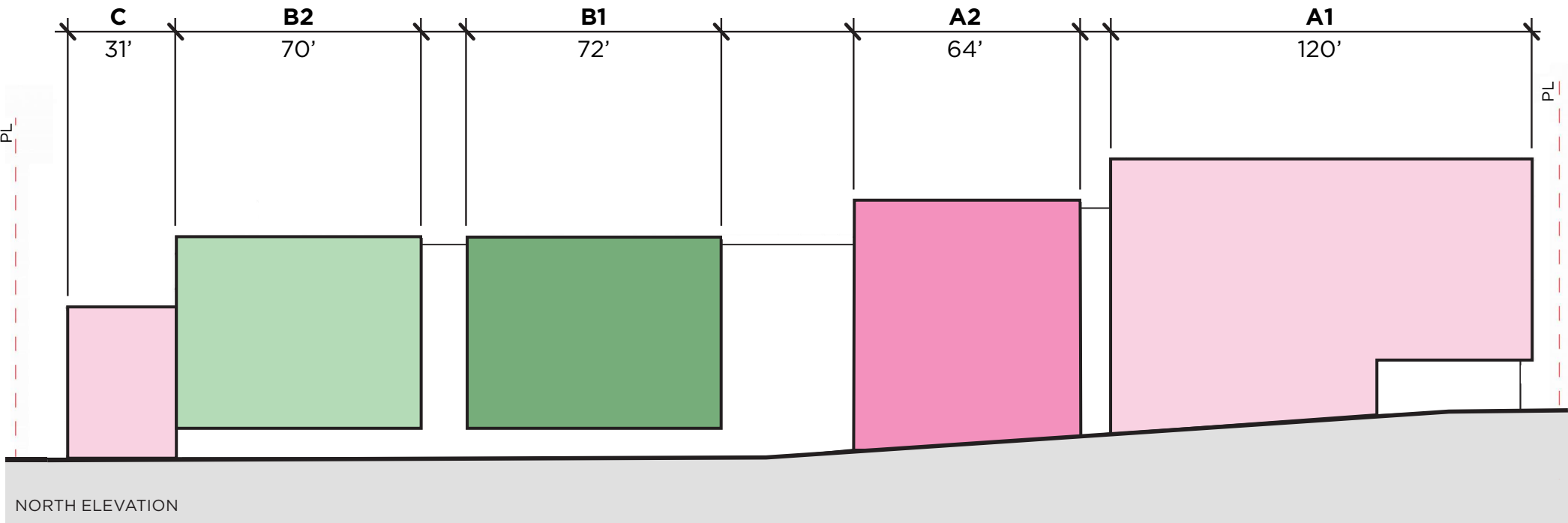
**RATIONALE:**

Seattle Design Guidelines  
CS3.A.1 Fitting Old and New Together and  
CS3.A.4 Evolving Neighborhoods

Old and new neighboring buildings were studied to develop the scale of the modulation. In doing so, the proposed design responds to existing context and future development in a changing neighborhood.

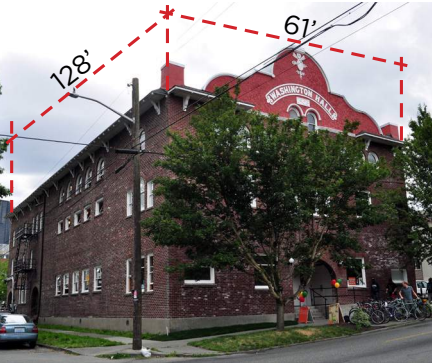
Central Area Design Guidelines  
DC2.1 Building Layout and Massing &  
Seattle Design Guidelines  
CS2.C.3 Full Block Sites and CS2.D.1 Existing Development and Zoning

The widths and heights of building modulation are similar to that of Washington Hall, and are equal or less than those found on the adjacent properties of Campbell Place Apartments, Tapestry Apartments, and 13th & Fir Apartments.



SITE PLAN

### CONTEXT BUILDINGS



① WASHINGTON HALL



② BERTHA PITTS CAMPBELL PLACE



③ TAPESTRY APARTMENTS



④ 13TH & FIR



# OVERALL CONCEPT

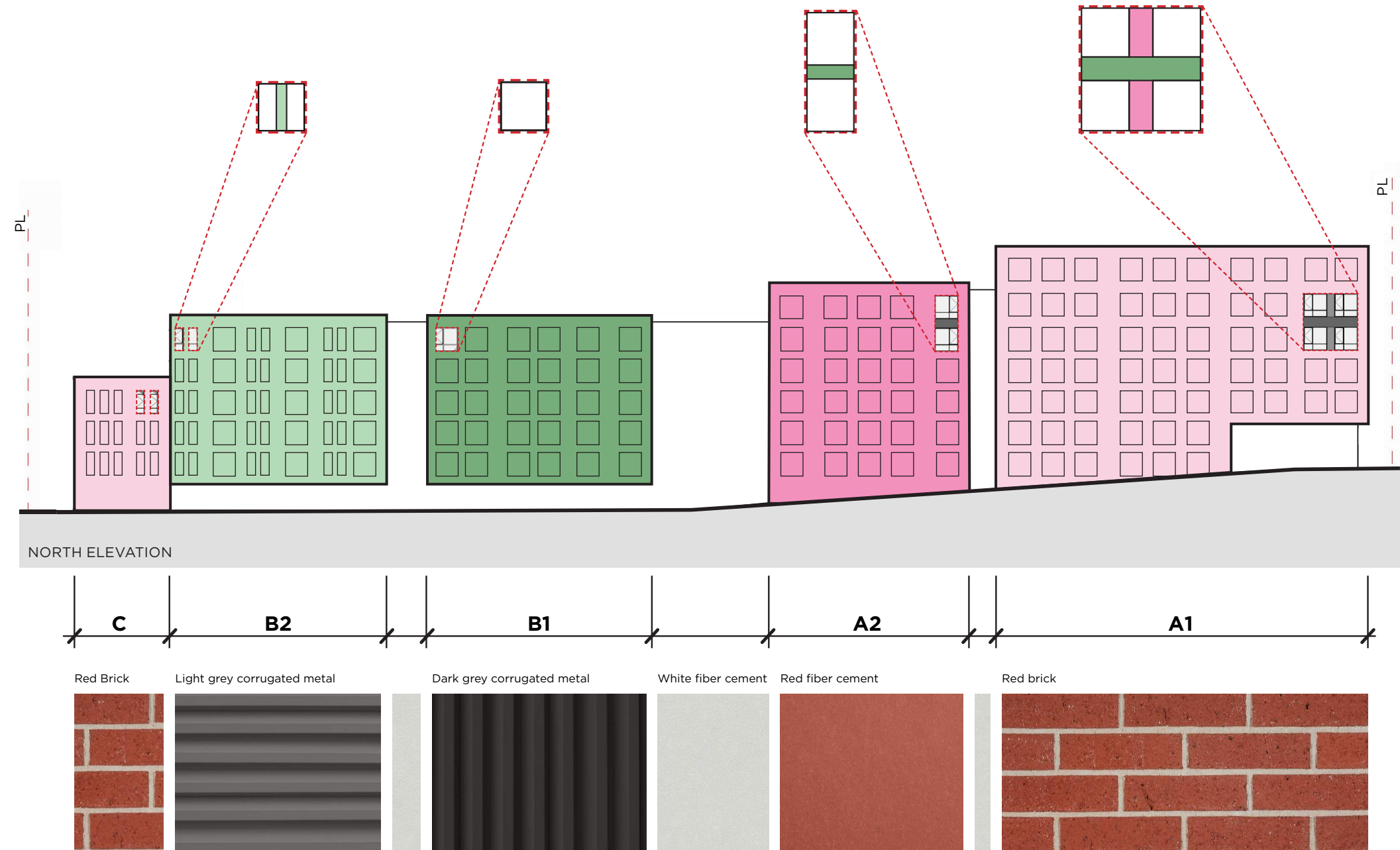
## 1.A. SCALE AND MODULATION

The transition from Neighborhood Commercial to Low Rise zones is further emphasized by fenestration groupings that decrease in scale and primary facade materials that identify each building mass individually. Material selection and modulation are used at a smaller scale to reinforce the larger massing moves.

**RATIONALE:**

Central Area Design Guidelines  
CS2.1.b Transition Using Massing and Articulation  
CS2.1.c Relate to Human Scale

The building uses a single repeated window module, and changes the interpretive scale by grouping this module in different ways. The widest building segment at 12th and Spruce features a grid of piers defined by groups of four and six window modules. Moving east, the next segment is narrower and articulated by a stacked group of two windows. The third and fourth segments are shorter in height and use predominantly the single window module, while the fourth segment introduces a smaller pair of windows. The final segment is the narrowest and shortest, sitting within the LR zone. The segment scale is accentuated by only using the smaller window size, grouped to mimic the original window module.



# OVERALL CONCEPT

## 3.A. ARTICULATION AND MATERIALITY

This evolving neighborhood contains a variety of styles and materials, ranging from contemporary panels to residential lap siding to historic brick. The proposed project continues this material language by using brick, metal siding, and fiber cement panels. The material palette reinforces the modulation that breaks down the primary massing as it steps down with the zoning transition.

**RATIONALE:**

Seattle Design Guidelines  
CS3.A.4 Evolving Neighborhoods  
CS3.B.1 Placemaking

Central Area Design Guidelines:  
CS3.1.a Retaining Neighborhood Character

The proposed design is capped by two volumes of brick on each end. The most prominent volume at the corner of 12th Ave and E Spruce St features brick with small infills of fiber cement panel and corrugated metal. The next volume is clad with a field of fiber cement panel with spandrel panels of corrugated metal to emphasize the medium scale as the massing steps down. The following two volumes feature a mix of corrugated metal and fiber cement panel, further decreasing the scale of materiality to reflect the refinement in massing. The final volume in the LR3 zone is fully clad in brick, a traditional material at a small scale that responds to the materiality of Washington Hall.







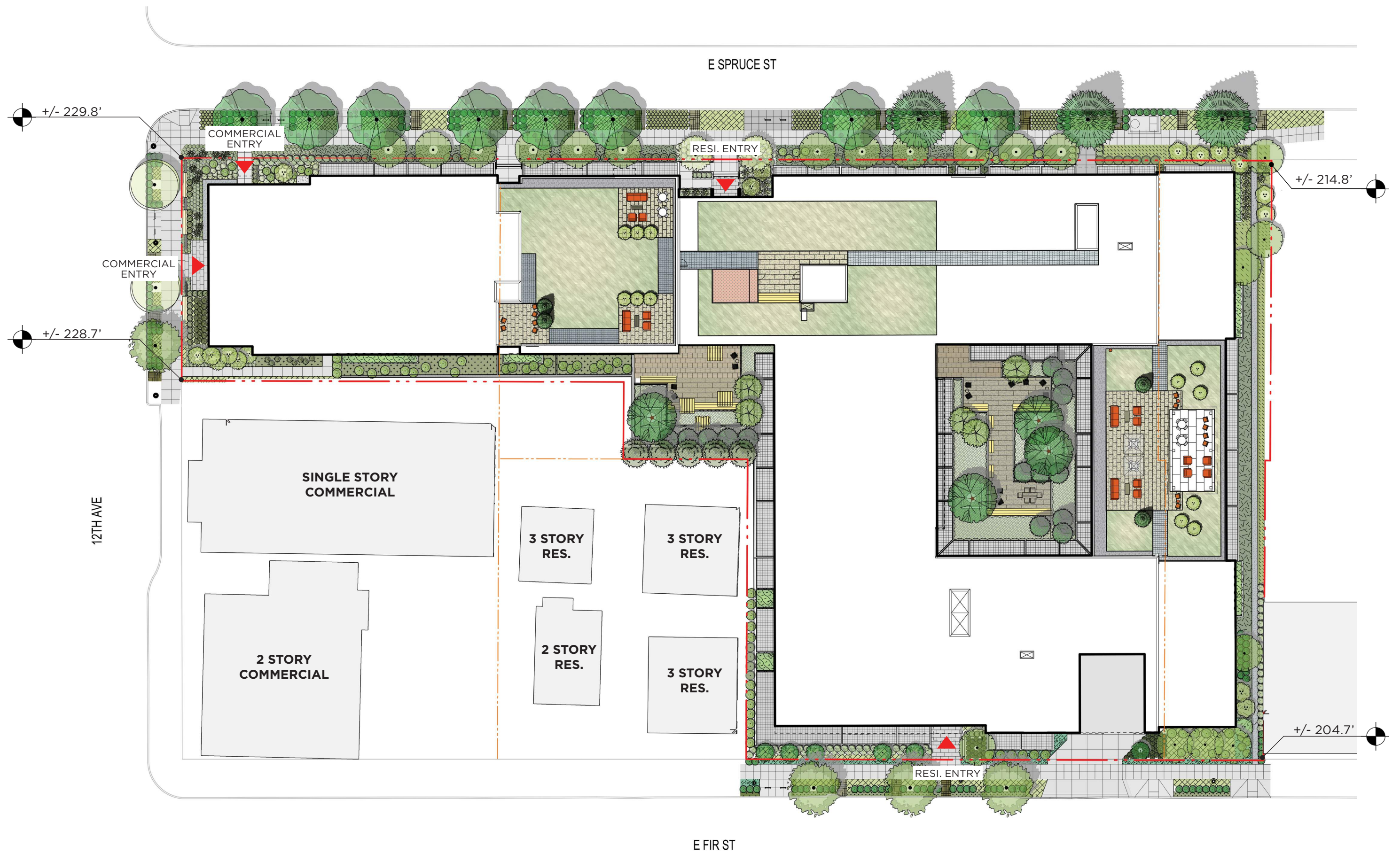
VIEW AT 12TH AVE & E SPRUCE ST (NO STREET TREES)





VIEW AT 12TH AVE & E SPRUCE ST







# 12TH AVE & SPRUCE ST - BOARD DIRECTION

## ARTICULATION AND MATERIALITY      FACADE DESIGN

3.b. The Board noted the visual prominence of the massing at the corner of 12th Ave and E Spruce St and reiterated the importance of well-designed facades. The Board gave guidance for the applicant to carefully consider the articulation of the massing and material application and at the corner of 12th Ave and E Spruce Street.

## GROUND LEVEL USES      RETAIL ENTRY DESIGN AND LANDSCAPING

2.a. The Board supported applicant’s overall ground level programming proposed in Scheme 3 with its retail space fronting 12th Ave, centrally located residential lobby on E Spruce St, and accompanying lobby and amenity space across the courtyard on E Fir St. The Board gave guidance for the applicant to continue to develop the overall composition of the retail space and the areas around the various residential entries to provide a clear sense of arrival and place making, utilizing benches and seating area, lush and varied landscaping, and hardscape.



# 12TH AVE & SPRUCE ST

## 3.B. FACADE DESIGN

As the Board noted, the visual prominence of the corner of 12th Avenue and E Spruce St necessitates a thoughtfully designed facade. The primary material at this corner is brick, a monumental material that anchors the building. Within this brick massing, fiber cement and corrugated metal panels define structured window groupings.

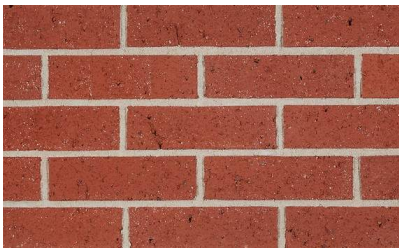
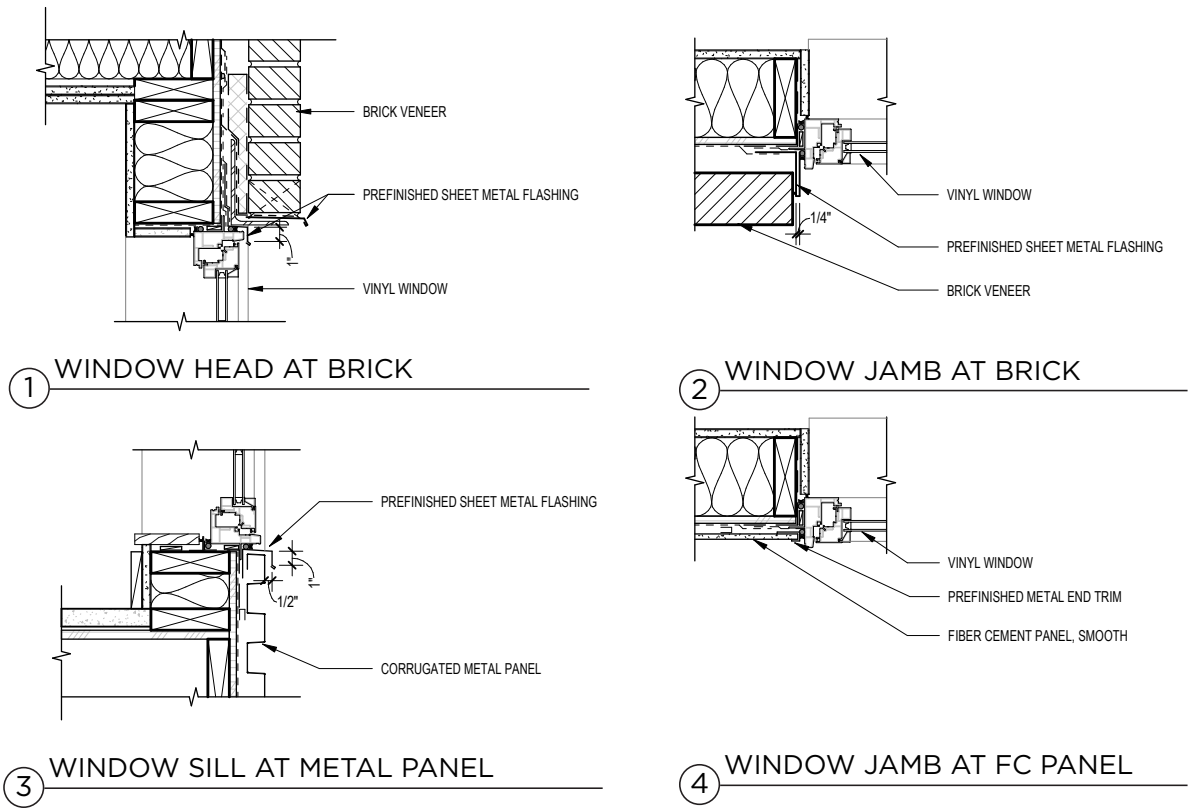
### RATIONALE:

[Seattle Design Guidelines](#)  
DC2.C.1 Visual Depth and Interest

The hierarchy of the three main materials and their variations in depth are used to create visual interest on these facades. Set furthest back, the fiber cement is flush with the windows. The corrugated metal then creates a sill projecting in front of the fiber cement. As the dominant material, the brick projects the furthest and is used to create the larger window groupings.

[Central Area Design Guidelines:](#)  
CS3.1 Neighborhood Context

This project proposes the contemporary application and detailing of a traditional brick material, reflecting the use of brick in existing neighboring buildings.



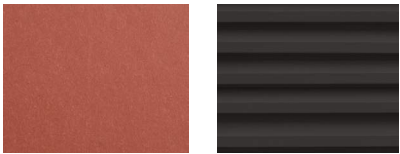
PRIMARY MATERIAL



CANOPY



SIGNAGE



SECONDARY MATERIALS



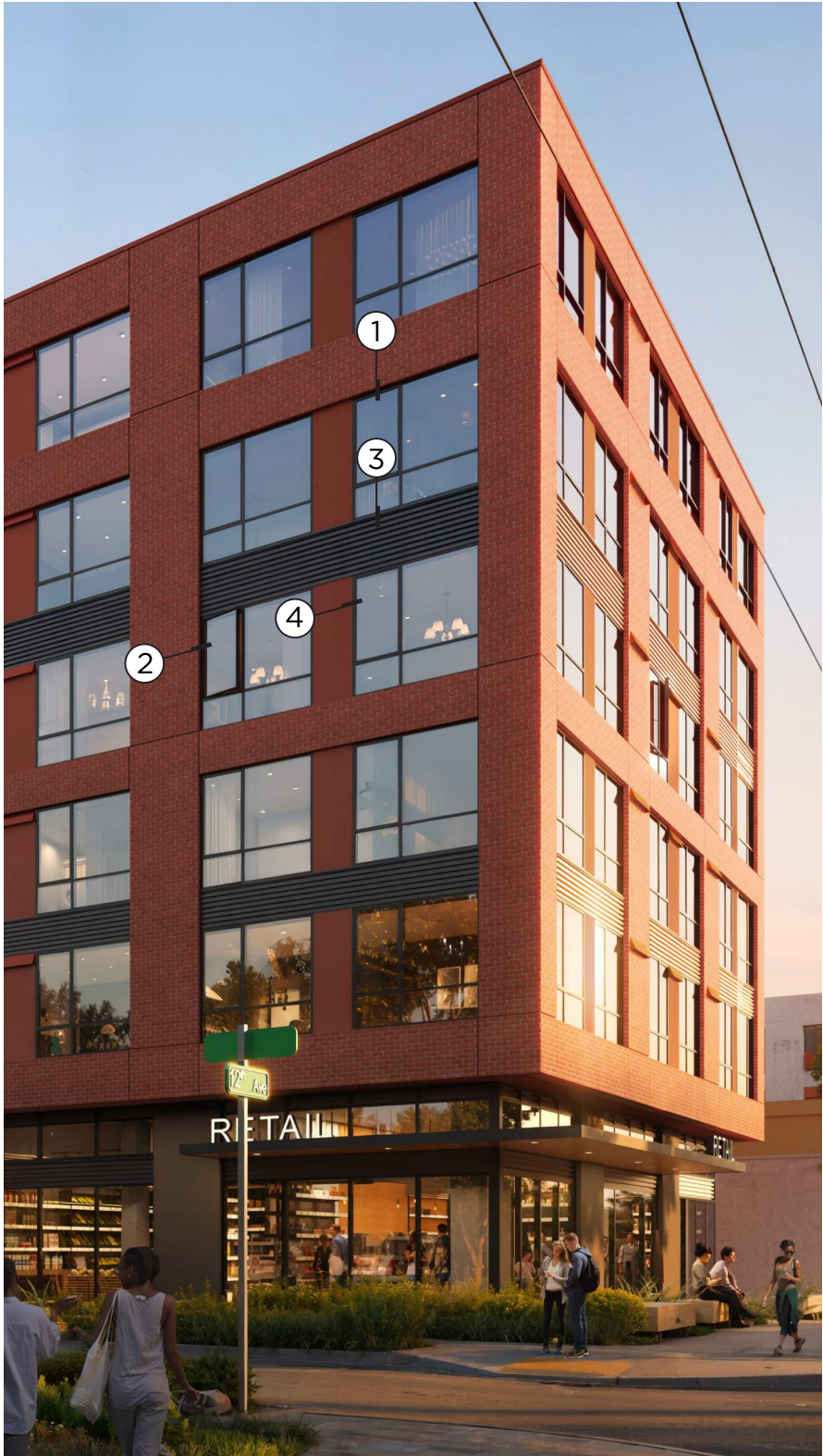
TIMBER BENCH



VINYL WINDOW



STOREFRONT SYSTEM



VIEW AT 12TH AVE & E SPRUCE ST



# 12TH AVE & SPRUCE ST

## 2.A. RETAIL ENTRY DESIGN AND LANDSCAPING

The ground-level facade is transparent and bright to provide a strong visual connection and opportunity for passersby to engage with the retail space. Architectural and site elements, lush landscape, and hard scape create a clear and defined retail entry and activate the public realm.

**RATIONALE:**

[Seattle Design Guidelines PL1.B.3 Pedestrian Amenities & PL3.C Retail Edges](#)  
[Central Area Design Guideline PL3.1 Frontages](#)

The floor-to-ceiling storefronts at the retail space create a strong visual connection between the retail space and sidewalk. A deep canopy with a wood soffit, integrated lighting, and signage wraps the corner and provides a warm and welcoming retail entry.

[Seattle Design Guideline DC4.D Trees, Landscape, and Hardscape Materials & Central Area Design Guideline PL3.2 Streetscape Treatment](#)

The retail spaces are flanked by an 8 to 10 foot wide planted zone. The plantings create a colorful and textured carpet of vegetation at the base of the glazed façade. At the back of the sloped sidewalk along 12th Ave a low board-form concrete wall retains the slight grade behind and supports several timber benches facing the public right-of-way. The benches flank the at-grade entry patio and facilitate interaction with the public realm, while also establishing an edge to protect the planting zone. Bike parking and a textured mix of plantings at the back of curb form a simple and lively pedestrian interface with the retail entrances. The patio at the retail doors provides an opportunity for small furnishings or plantings to support specific retail identity.



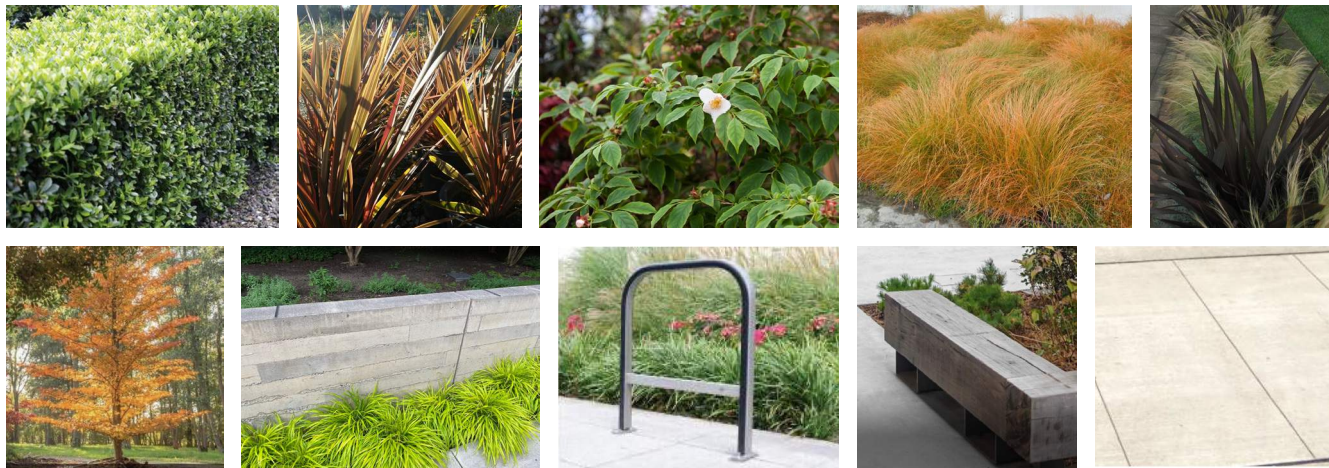
VIEW AT 12TH AVE & E SPRUCE ST RETAIL



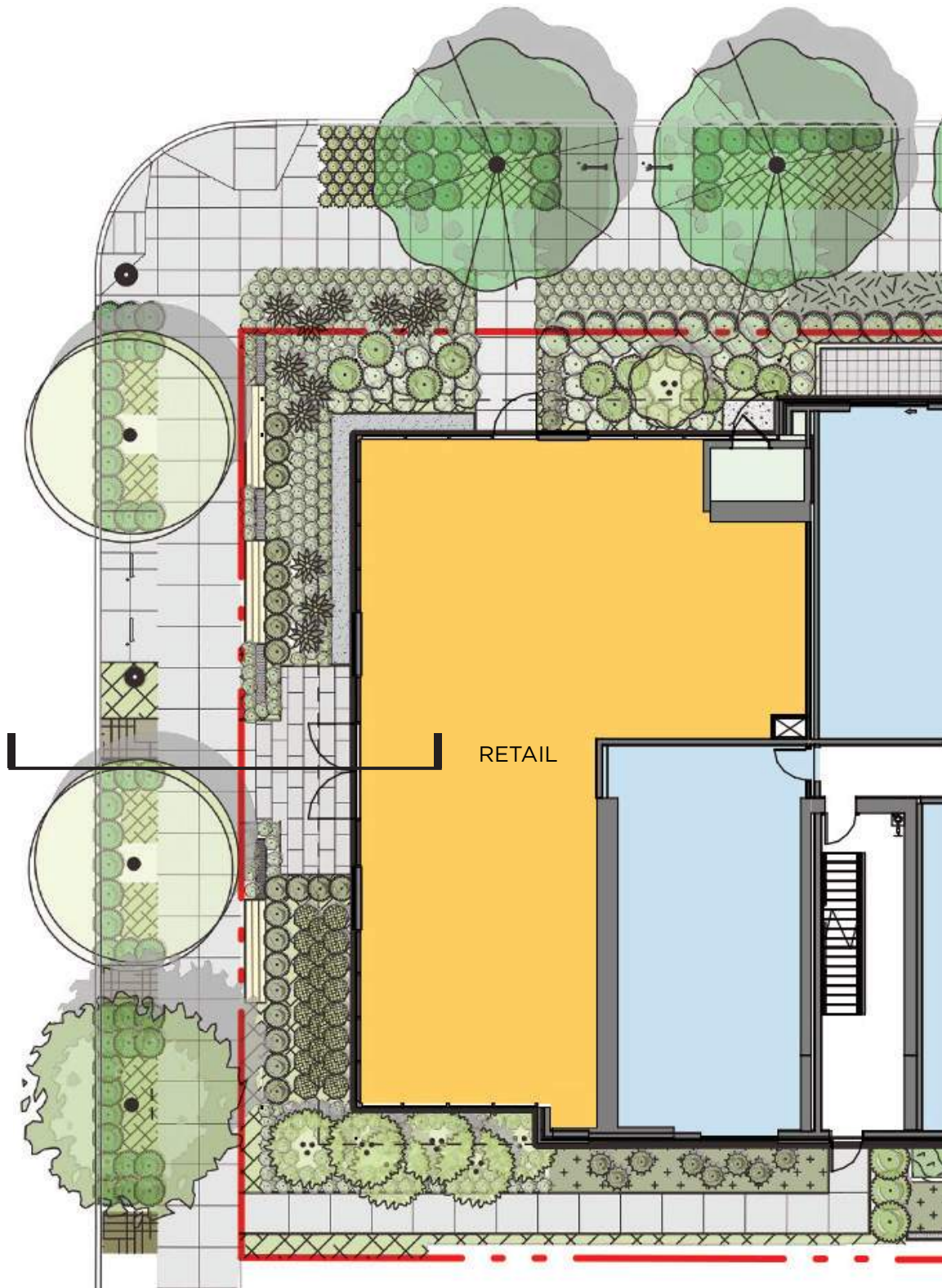
# 12TH AVE & SPRUCE ST



SECTION LOOKING NORTH - RETAIL ENTRY



LANDSCAPE PLANTS AND MATERIALS



ENLARGED PLAN - 12TH AVE & E SPRUCE ST



# RESIDENTIAL ENTRIES - BOARD DIRECTION

## GROUND LEVEL USES     RESIDENTIAL ENTRY DESIGN

2.a. The Board supported applicant’s overall ground level programming proposed in Scheme 3 with its retail space fronting 12th Ave, centrally located residential lobby on E Spruce St, and accompanying lobby and amenity space across the courtyard on E Fir St. The Board gave guidance for the applicant to continue to develop the overall composition of the retail space and the areas around the various residential entries to provide a clear sense of arrival and place making, utilizing benches and seating area, lush and varied landscaping, and hardscape.

## GROUND LEVEL USES     BIKE FACILITIES LOCATION

2.d. The Board gave guidance to applicant to carefully consider the location of bike facilities within the buidling.

## CONNECTIVITY     VISUAL CONNECTION TO OPEN SPACES

2.f. The Board noted that the block between 12th Ave and 14th Ave was longer than the average block length found elsewhere in the neighborhood, and they discussed at length the benefit of a through-site pathway which could contribute to a more porous city block. The Board gave guidance for the applicant to include a through-site pathway or study ways to strengthen the connection, either physically or visually between the street frontages, courtyards, and open spaces proposed.

## ZONE TRANSITION     RELATIONSHIP TO POTENTIAL LR3 DEVELOPMENT

1.b. The Board noted that the massing of the applicant preferred scheme did not appear to address the transition to the mid-block lower scaled zone (LR3) along the west interior lot line. Moving forward, the Board gave guidance for the applicant to provide adequate information, including site sections, showing how the proposed massing creates a step in perceived height, bulk and scale between the proposed development and the anticipated development potential of the adjacent LR3 zone.



# RESIDENTIAL ENTRIES

## 2.A. RESIDENTIAL ENTRY DESIGN

To create a distinct and highly recognizable residential entry, a double-height Corten steel frame element accentuates the glazed entry from the rigorous language of the white panel and fenestration at the residential units above. The warmth of the Corten and wood soffit create a welcoming procession into the residential entry. Two large trees on either side of the entrance also help to focus the view to the main entrance, framing the connection to the lobby and residential courtyard beyond.

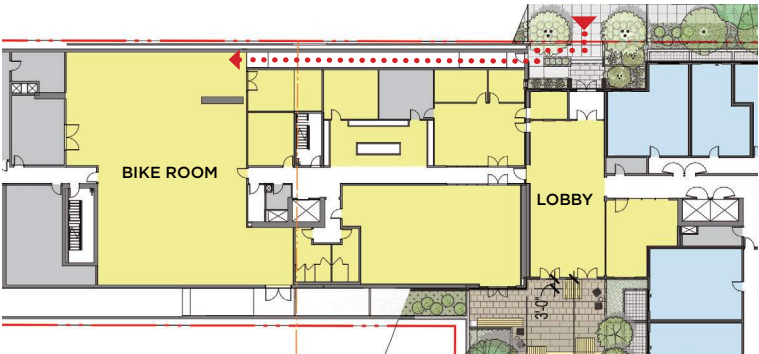
**RATIONALE:**  
Seattle Design Guideline PL3.A.C Common Entries to Multi-Story Residential Buildings  
The lighting and lush planting in the recessed entry area create a welcoming and clear transition from the public to the private realm emphasized by steps and ramp down from the sidewalk.

Seattle Design Guideline CS2.B.2 Connection to the Street  
Directly beyond the residential entry the lobby leads to a lush, private courtyard. The glazed doors and windows establish a strong visual connection while also providing a layer of safety and security for residents.

## 2.D. BIKE FACILITIES LOCATION

The horizontal corten sign, highlighted with backlighting, wraps the concrete wall along E Spruce St, to guide the eye towards the bike room entry.

**RATIONALE:**  
Seattle Design Guideline PL4.B.2 Bike Facilities  
The bike room entry has been placed adjacent to the main entry to the building on E Spruce Street for ease of access from the street. This location also creates a strong visual connection that provides security and safety.



LEVEL 2 PLAN - PATH TO BIKE ROOM



VIEW AT E SPRUCE ST RESIDENTIAL ENTRY



# RESIDENTIAL ENTRIES

## 2.F. VISUAL CONNECTION TO OPEN SPACES

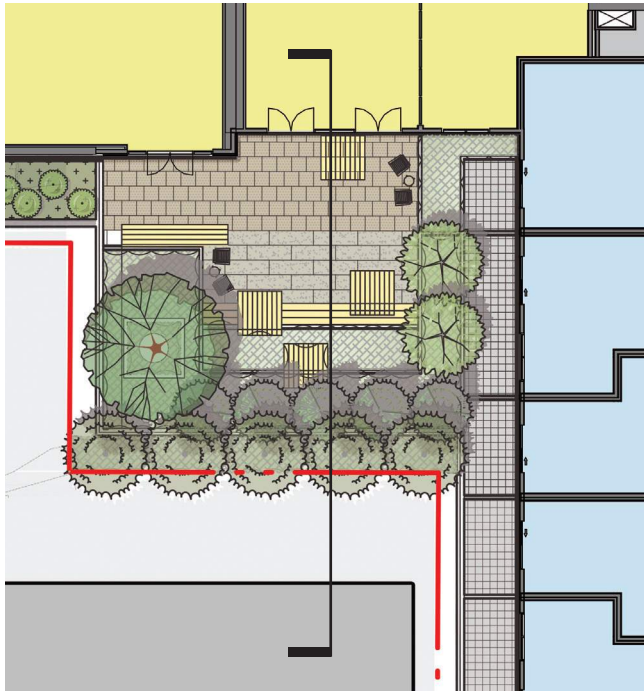
The transparency of the entry invites passersby to look through the interior lobby to the residential courtyard beyond. The double-height lobby opens up to the courtyard with a full wall of glazing. The courtyard is terraced with greenery and accented with wood benches to promote activation.

**RATIONALE:**

Seattle Design Guideline  
CS2.B.2 Connection to the Street

Central Design Guideline  
DC3.1 Common Open Spaces

The glazed doors and windows establish a strong visual connection between the public and private realms while also providing a buffer of safety and security for residents. The sequence of right of way to private courtyard is layered and activated.



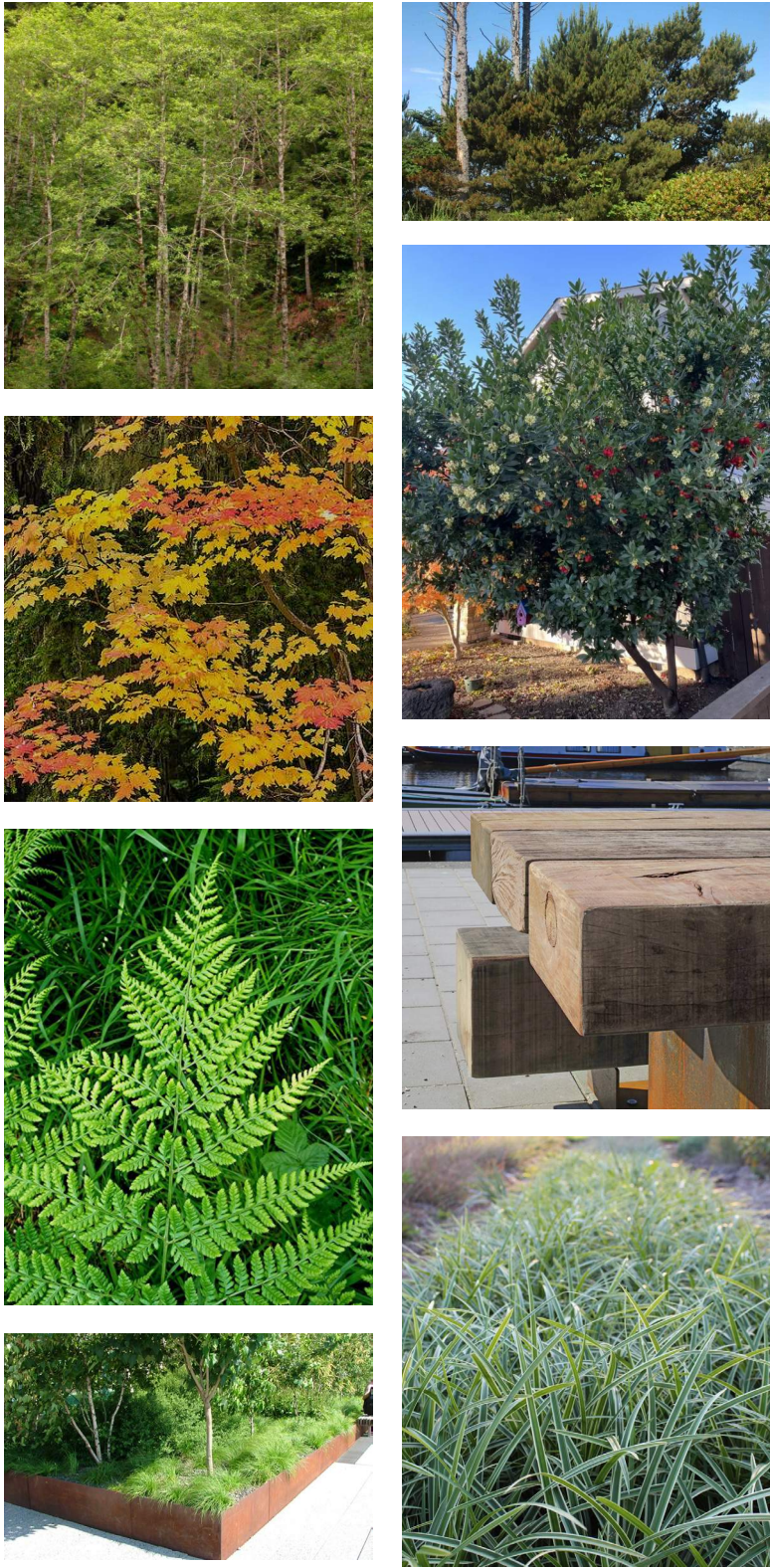
LEVEL 2 PLAN - COURTYARD



VIEW INSIDE LOBBY TO COURTYARD



SECTION LOOKING WEST - COURTYARD



LANDSCAPE PLANTS AND MATERIALS



# RESIDENTIAL ENTRIES

## 1.B. RELATIONSHIP TO POTENTIAL LR3 DEVELOPMENT

The proposal exceeds the required zoning setbacks along both the south and west interior lot lines to reduce perceived height adjacent to neighboring LR3 buildings and anticipated development in the LR3 zone.

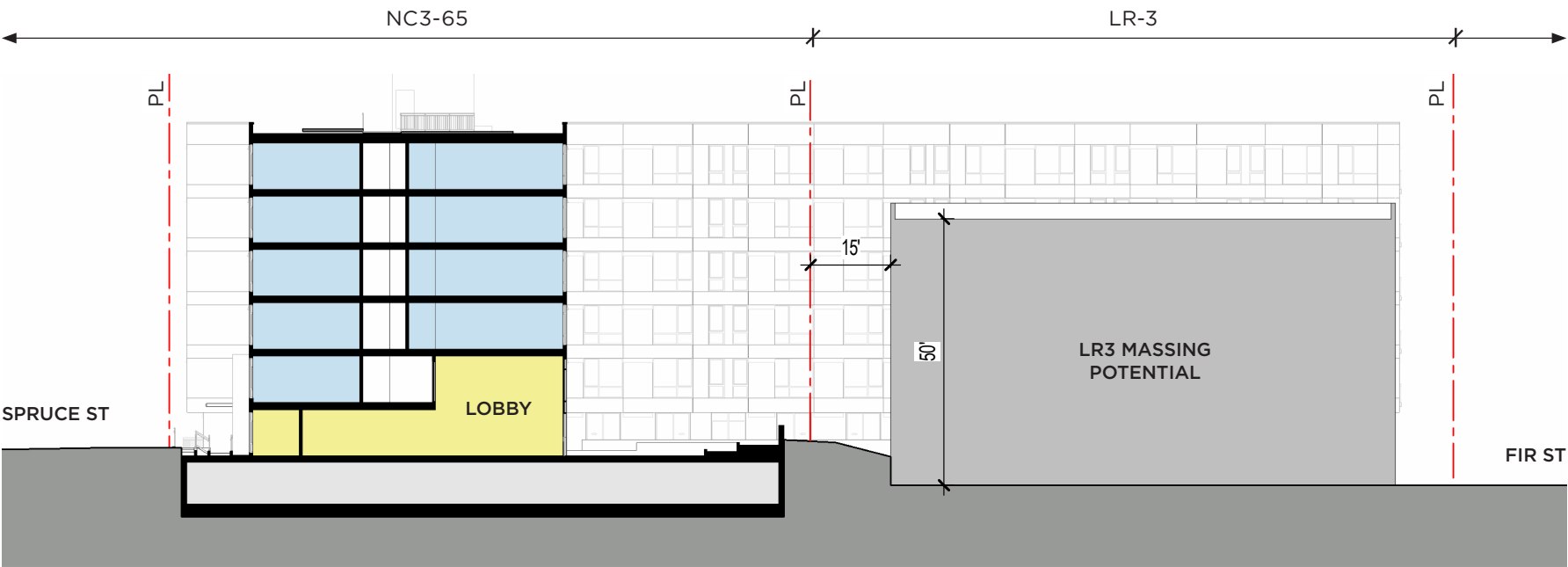
**RATIONALE:**

Seattle Design Guideline  
CS2.D.5 Respect for Adjacent Sites

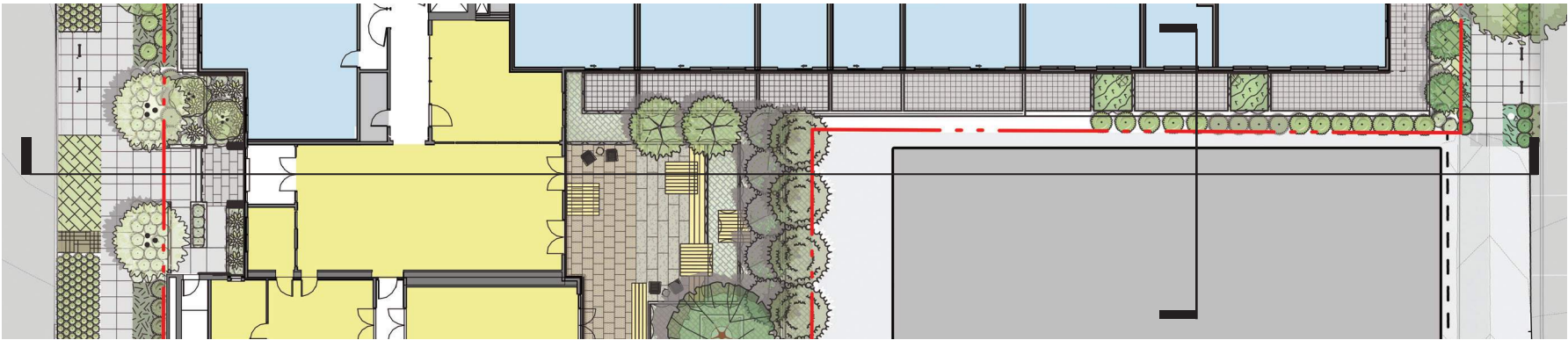
Along the west property line, at-grade unit terraces and landscaping provides a buffer between the building and the LR3 zone. Along the south interior lot line, the lobby courtyard is a terraced, lush, open space with a variety of trees and shrubs that shield views between the building and LR3 zone.

Seattle Design Guidelines  
CS2.D.1 Existing Development and Zoning  
CS2.D.3 Zone Transitions  
Central Area Neighborhood Design Guideline  
CS2.1 Transition and Delineation of Zones

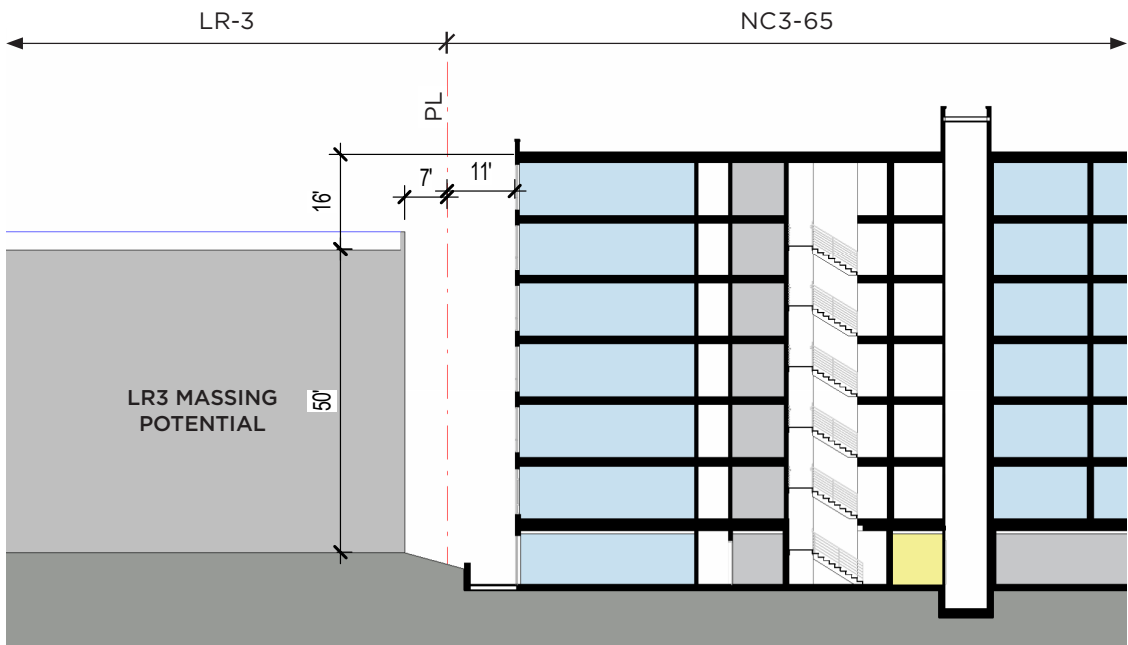
Along the west property line, the proposed design provides an 11' setback that is wider than required to transition to the existing buildings in the adjacent LR3 zone. Along the south interior lot line, the lobby courtyard provides a generous setback from the LR3 zone. The proposed design also takes into account the scale of development anticipated by zoning, which is within 1 story of the proposed height.



SECTION LOOKING EAST



LEVEL 2 PLAN



SECTION LOOKING NORTH



# ADJACENCY TO WASHINGTON HALL - BOARD DIRECTION

MASSING & GROUND LEVEL USES

RELATIONSHIP TO WASHINGTON HALL

- 1.c. The Board appreciated the proposed step in massing on the east side of the building and at the courtyard in response to the lower zoning height of the adjacent parcels and the historic Washington Hall building. The Board notes that the steps successfully reduced the perceived height, bulk, and scale of the building when viewed from the corner of E Fir Street and 14th Avenue. However, the Board was specifically concerned with the distance proposed between the Washington Hall building and the proposed development. The Board acknowledged that the setbacks as proposed may meet specific zoning code requirements. However, the Board notes that required Landmark Adjacency Review could require additional setback of the building at the southeast corner in response to the historic Washington Hall building. The Board gave guidance to the applicant to engage in conversations with the Department of Neighborhoods to determine the appropriate relationship between the proposed massing and the Washington Hall building.

2.b. The Board was concerned with the appropriateness of the proposed residential use at the southeast corner of the building on E Fir St. adjacent to the historic Washington Hall. Board recommends further study of ground level programming along the east edge of the site to ensure compatibility of uses between the proposed development and the more active event programming of Washington Hall and its parking lot.
- 

MUP COMMENT

PROPOSED USE AND BLANK WALL

- 2.b. It is understood that residential units may not be appropriate at the parking grade level adjacent to Washington Hall, however it is not clear why other active uses could not be put in the same place. Also, it appears that blank wall panels have been put in place of what was transparency. If blank wall is a requirement for some reason, provide that explanation and consider proposing a more interesting infill approach that provides visual interest and mitigates the perceived extent of blank walls that will be very visible from the street and open area on the adjacent site.



# ADJACENCY TO WASHINGTON HALL - DESIGN RESPONSE

## 1.C. & 2.B - MASSING & GROUND LEVEL USES

Through public feedback, as well as Department of Neighborhoods and SDCI commentary, the proposed project has adopted a dual strategy to recognize Washington Hall. As Washington Hall is set very close to the property line, the proposed project has set back further to maintain the spatial gap intended by the zoning standards. Through height and material similarities, the project seeks alignment with Washington Hall while still preserving its prominence as a cornerstone of the neighborhood.

As noted by members of Washington Hall, their program is very event driven. To avoid a conflict in program we have placed infrequently used program elements at ground level, pushing residential components higher and further north in the building. In lieu of windows on this portion of the facade, the scale of the fenestration above continues to the ground level using double-height modules of fiber cement panel and corrugated metal. This mimics the materials used in the first brick segment of the building and helps tie the project together.

### RATIONALE:

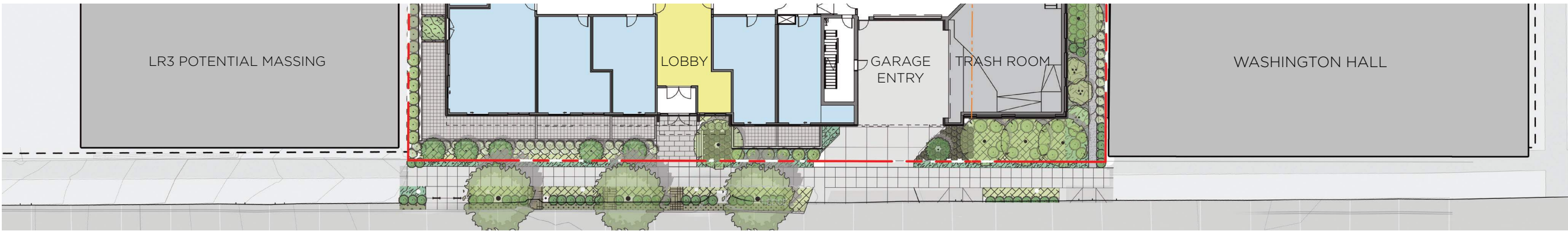
Central Area Design Guidelines  
CS3.1.a Retaining Neighborhood Character  
DC4.3.b Reflect Human Scale through Building Materials and Details

Seattle Design Guidelines  
CS3.A.1 Fitting Old and New Together

The building mass in the Low Rise zone was reduced by a story and clad in brick to better speak to the existing volume and texture of Washington Hall, but utilizes modern detailing to further distinguish between the two. By unifying old and new elements, we start to support a neighborhood-wide context of texture and pattern that is further enhanced by The Baldwin, 13th & Fir and Tapestry Apartments across the street. Lush, layered landscaping at the street and between the buildings simultaneously enhances the separation while also supporting an expanded outdoor experience for both structures.



SOUTH ELEVATION



LEVEL 1 PLAN





VIEW AT 13TH AVE & E FIR ST



# STREETSCAPE - BOARD DIRECTION

## STREETSCAPE LANDSCAPE DESIGN AT PATIOS

2.c. The Board supports the ground level residential units along E Spruce St and E Fir St and appreciates the generous setback, which has the potential to create a sense of separation between the sidewalk and the individual units while maintaining enough space for patios that add more residential character. Board gave guidance that patios should remain a usable size and to explore robust landscaping that considers privacy for residential units while creating a visually interesting experience for pedestrians.

## STREETSCAPE PEDESTRIAN EXPERIENCE

2.e. The Board specifically noted the importance of addressing the Central Area guidelines when developing the character of the ground level and streetscape. The Board therefore requested rendered landscape plans and adequate graphics in the Recommendation packet to describe the quality of the overall pedestrian experience on all sides of the building.



# STREETSCAPE

## 2.C. LANDSCAPE DESIGN AT PATIOS

A layered approach to landscaping creates a soft barrier between the right of way and unit patios, providing delineation between public and private but maintaining a visual connection. A varied planting palette with trees, shrubs, and groundcovers adds interest.

**RATIONALE:**

Seattle Design Guidelines  
PL3.B.2 Ground-level Residential  
DC4.D Trees, Landscape, and Hardscape Materials  
The patios along E Spruce Street are set back from the sidewalk with a rhythmic combination of Dogwoods and various height shrubs and groundcovers that provide visual interest. The patios along E Fir St are separated from the street with various height shrubs and groundcovers below a row of Strawberry Trees. This creates a human-scaled porous screen between the patios and the sidewalk. The street trees on E Fir Street add to the layered screen between the street and the private terraces.



VIEW AT E SPRUCE AT

## 2.E. PEDESTRIAN EXPERIENCE

The at-grade unit patios provided along E Spruce Street and E Fir Street have been refined with plantings, railing, and lighting to create a usable space for residents. The transparency of railing and plantings allow for connection while setback from the street and layered plantings provide a level of privacy.

Central Design Guideline  
PL3.2.f Landscape Buffers  
PL3.2.h Safe and Comfortable Environment  
PL3.2.j Encouraging Interaction  
Private patios are buffered from the public sidewalk by planting and a 3'-6" tall railing that defines the private space yet allows for a connection. Patios are either at-grade or raised above to create another layer of privacy but maintain visibility.



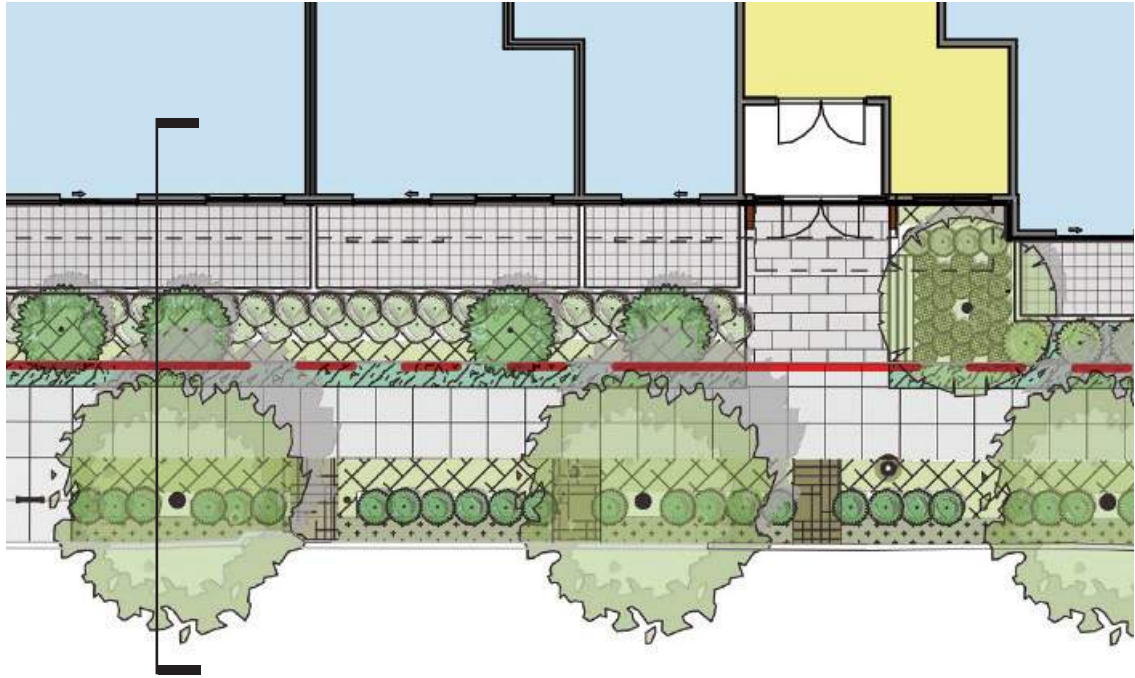
VIEW AT E FIR ST



STREETSCAPE



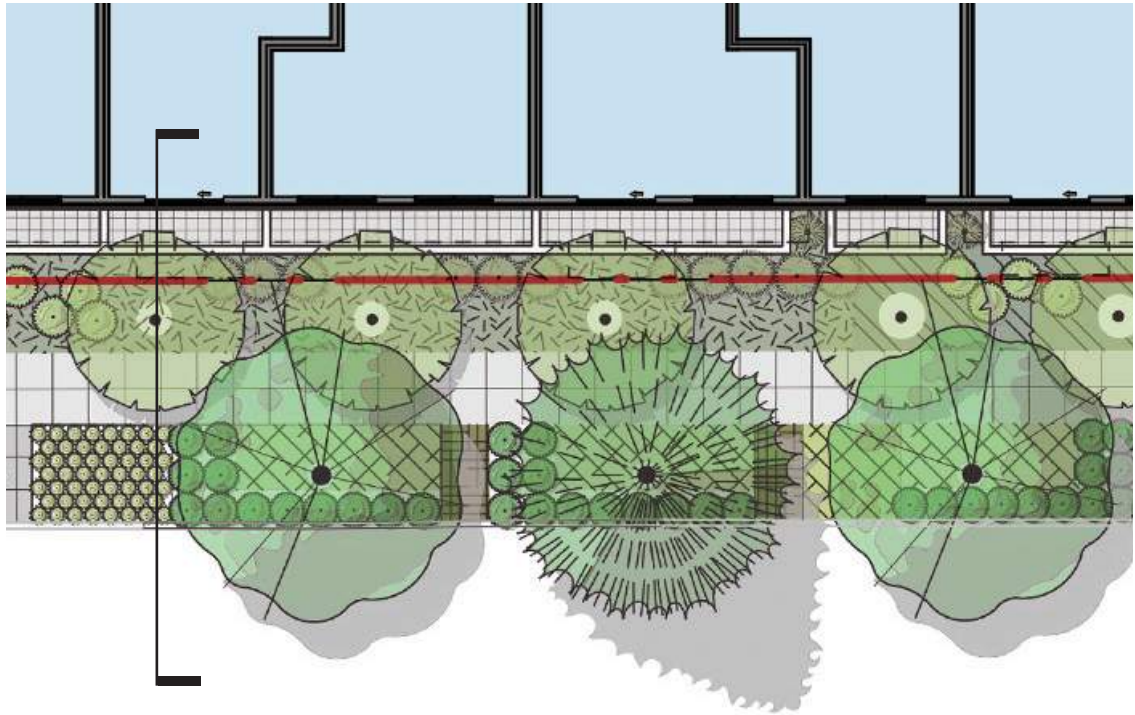
SECTION LOOKING EAST - E FIR ST STREETSCAPE



ENLARGED PLAN - E FIR ST STREETSCAPE



SECTION LOOKING WEST - E SPRUCE ST STREETSCAPE



ENLARGED PLAN - E SPRUCE ST STREETSCAPE



LANDSCAPE PLANTS AND MATERIALS





VIEW AT E SPRUCE ST LOOKING SOUTHWEST





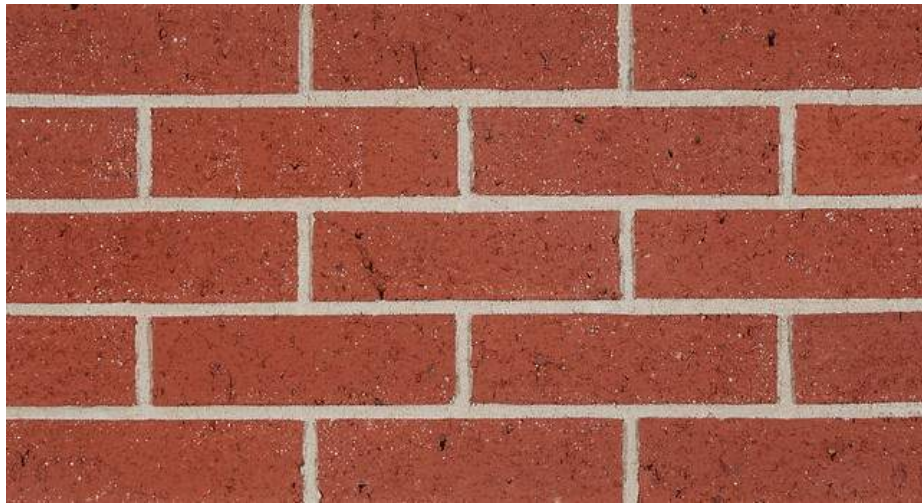
VIEW AT E FIR ST LOOKING NORTHEAST



**12.0**

**MATERIAL  
& COLOR  
PALETTE**





BRICK, STANDARD COLUMBIA RED



FIBER CEMENT PANEL, RED



WOOD-LOOK PANEL



CORTEN STEEL



CORRUGATED METAL PANEL ZINC GRAY



FIBER CEMENT PANEL, LIGHT GRAY



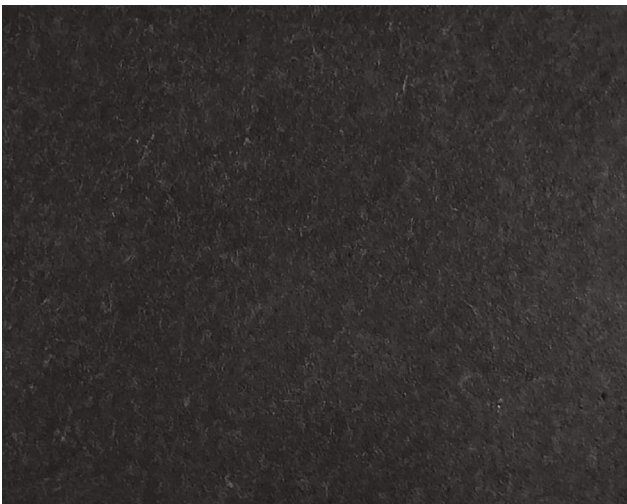
FIBER CEMENT PANEL, GREEN



FIBER CEMENT PANEL, WHITE



CORRUGATED METAL PANEL, MIDNIGHT BRONZE



FIBER CEMENT PANEL, DARK GRAY



METAL BALCONIES & GUARDRAILS, BLACK

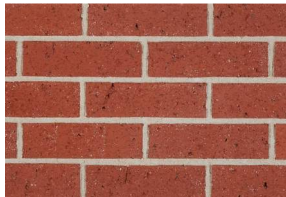


VINYL WINDOWS, BLACK / WHITE

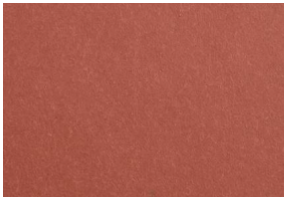




NORTH ELEVATION



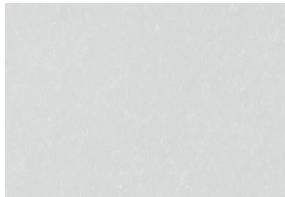
① BRICK, STANDARD COLUMBIA RED



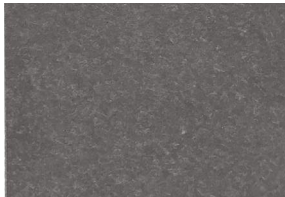
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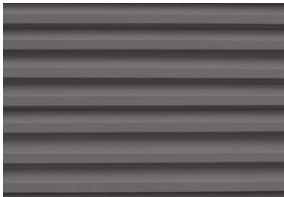
③ FIBER CEMENT PANEL, WHITE



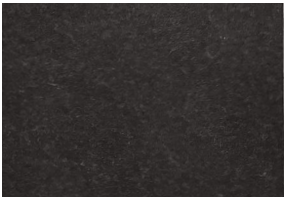
④ FIBER CEMENT PANEL, GREEN



⑤ FIBER CEMENT PANEL, LIGHT GRAY



⑥ CORRUGATED METAL PANEL, ZINC GRAY



⑦ FIBER CEMENT PANEL, DARK GRAY



⑧ CORRUGATED METAL PANEL, MIDNIGHT BRONZE



⑨ CORTEN STEEL



⑩ WOOD-LOOK PANEL

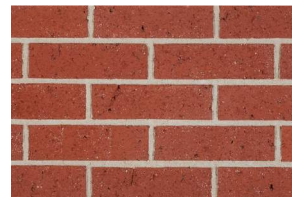




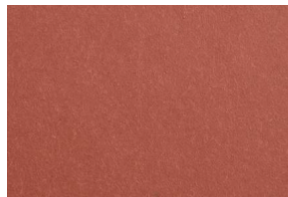
WEST ELEVATION - 12TH AVE



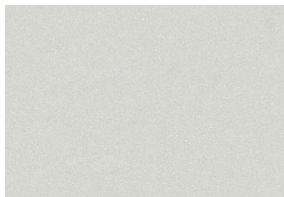
SOUTH ELEVATION



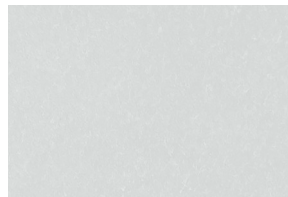
① BRICK, STANDARD COLUMBIA RED



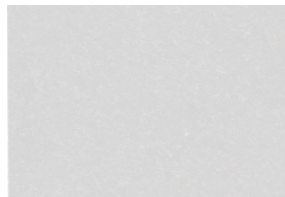
② FIBER CEMENT PANEL, RED



③ FIBER CEMENT PANEL, WHITE



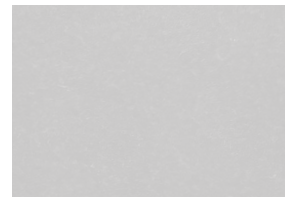
④ FIBER CEMENT PANEL, GREEN



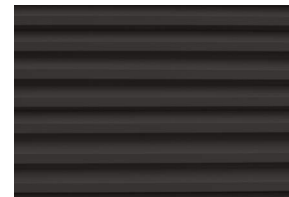
⑤ FIBER CEMENT PANEL, LIGHT GRAY



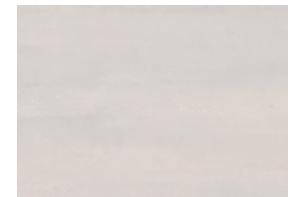
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⑦ FIBER CEMENT PANEL, DARK GRAY



⑧ CORRUGATED METAL PANEL, MIDNIGHT BRONZE



⑨ CORTEN STEEL



⑩ WOOD-LOOK PANEL

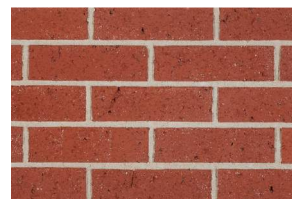




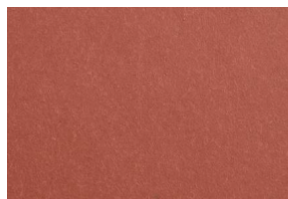
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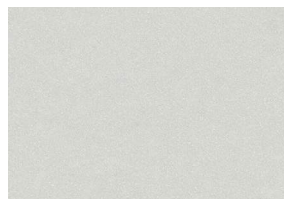
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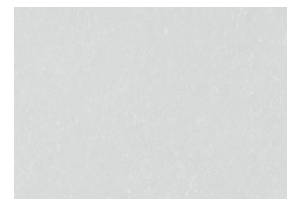
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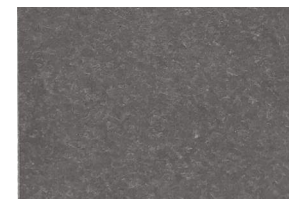
② FIBER CEMENT PANEL, RED



③ FIBER CEMENT PANEL, WHITE



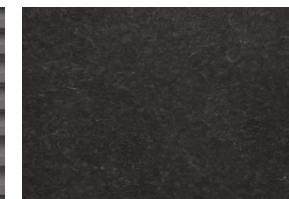
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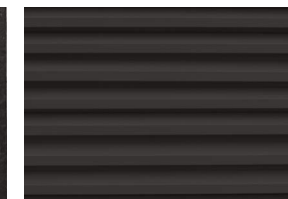
⑤ FIBER CEMENT PANEL, LIGHT GRAY



⑥ CORRUGATED METAL PANEL, ZINC GRAY



⑦ FIBER CEMENT PANEL, DARK GRAY



⑧ CORRUGATED METAL PANEL, MIDNIGHT BRONZE



⑨ CORTEN STEEL



⑩ WOOD-LOOK PANEL

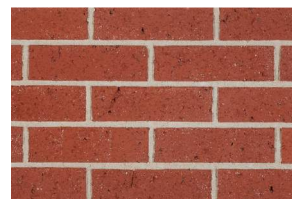




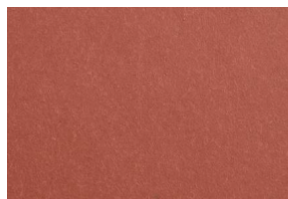
EAST ELEVATION



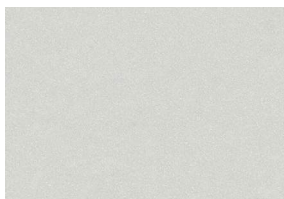
NORTH COURTYARD ELEVATION



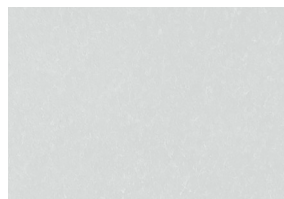
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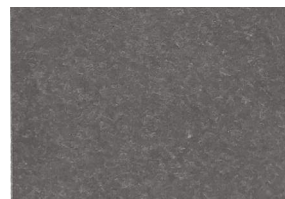
② FIBER CEMENT PANEL, RED



③ FIBER CEMENT PANEL, WHITE



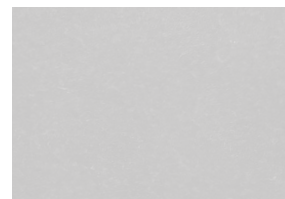
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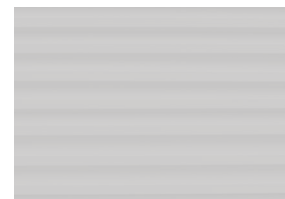
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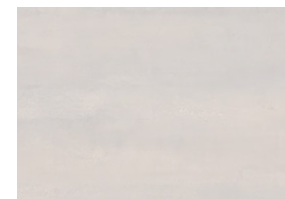
⑥ CORRUGATED METAL PANEL, ZINC GRAY



⑦ FIBER CEMENT PANEL, DARK GRAY



⑧ CORRUGATED METAL PANEL, MIDNIGHT BRONZE



⑨ CORTEN STEEL



⑩ WOOD-LOOK PANEL

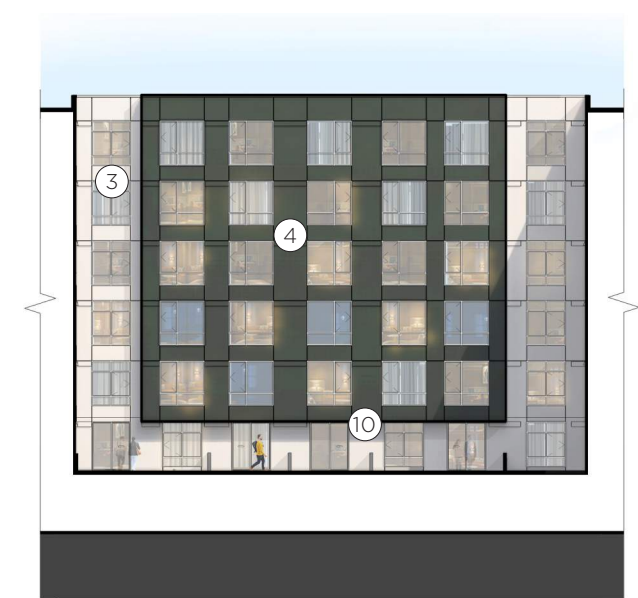




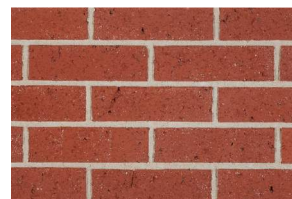
EAST COURTYARD ELEVATION



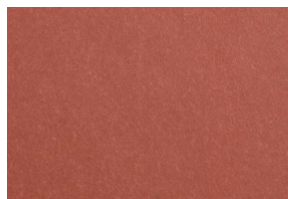
SOUTH COURTYARD ELEVATION



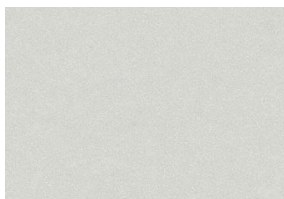
WEST COURTYARD ELEVATION



① BRICK, STANDARD COLUMBIA RED



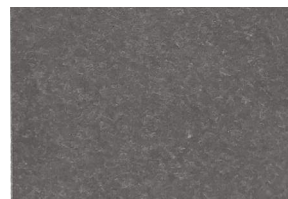
② FIBER CEMENT PANEL, RED



③ FIBER CEMENT PANEL, WHITE



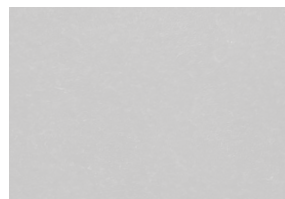
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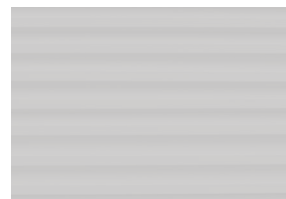
⑤ FIBER CEMENT PANEL, LIGHT GRAY



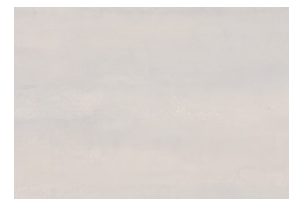
⑥ CORRUGATED METAL PANEL, ZINC GRAY



⑦ FIBER CEMENT PANEL, DARK GRAY



⑧ CORRUGATED METAL PANEL, MIDNIGHT BRONZE



⑨ CORTEN STEEL



⑩ WOOD-LOOK PANEL



**14.0**



# **EXTERIOR LIGHTING PLAN**



# EXTERIOR LIGHTING PLAN



## LIGHTING



WALL MOUNTED SCONCE LIGHT



RECESSED DOWN LIGHT



GROUND-MOUNTED LIGHT



LED STRIP LIGHT



**15.0**

**SIGNAGE  
CONCEPT PLAN**



# SIGNAGE CONCEPT PLAN

## ① RETAIL SIGNAGE



VIEW OF RETAIL CORNER



ILLUMINATED SIGNAGE EXAMPLES

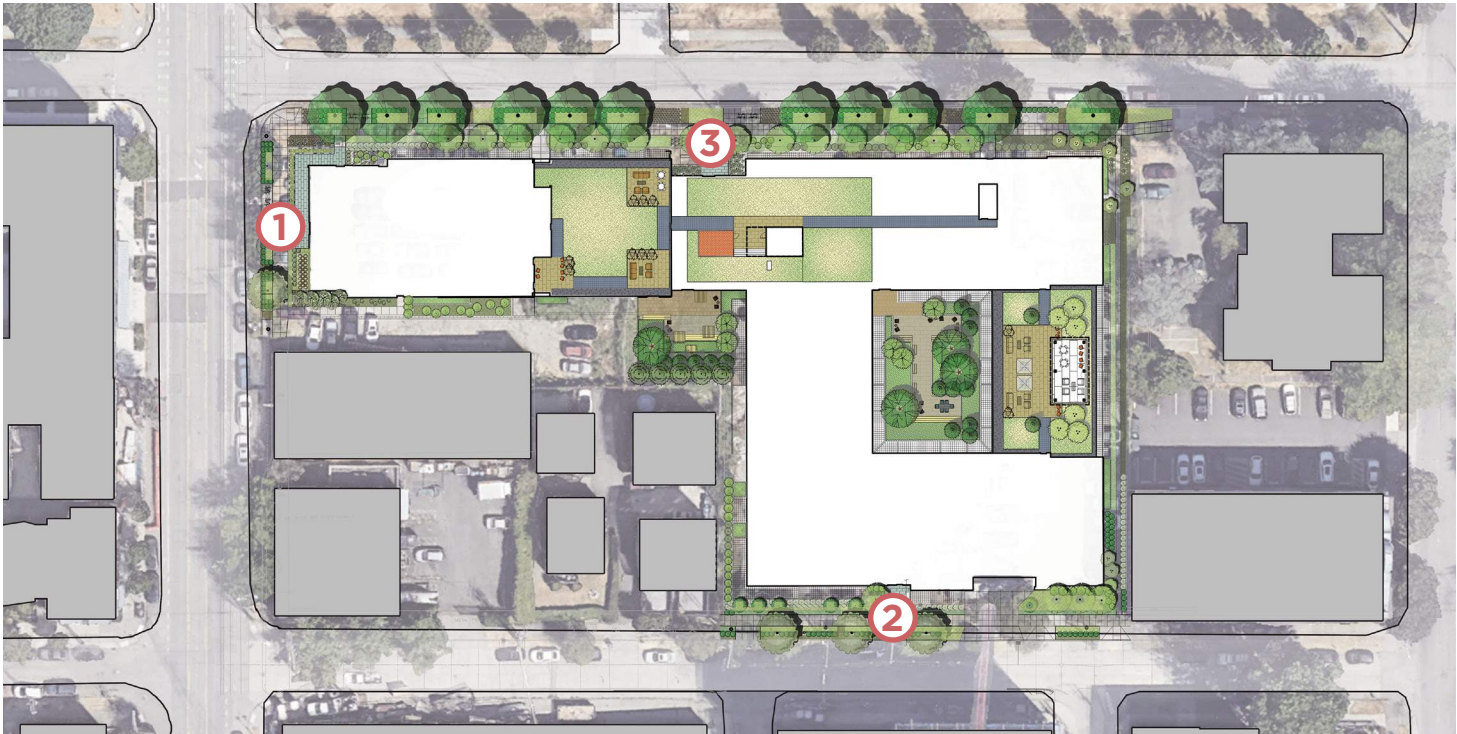
## ② E FIR STREET SIGNAGE



VIEW OF E FIR STREET ENTRANCE

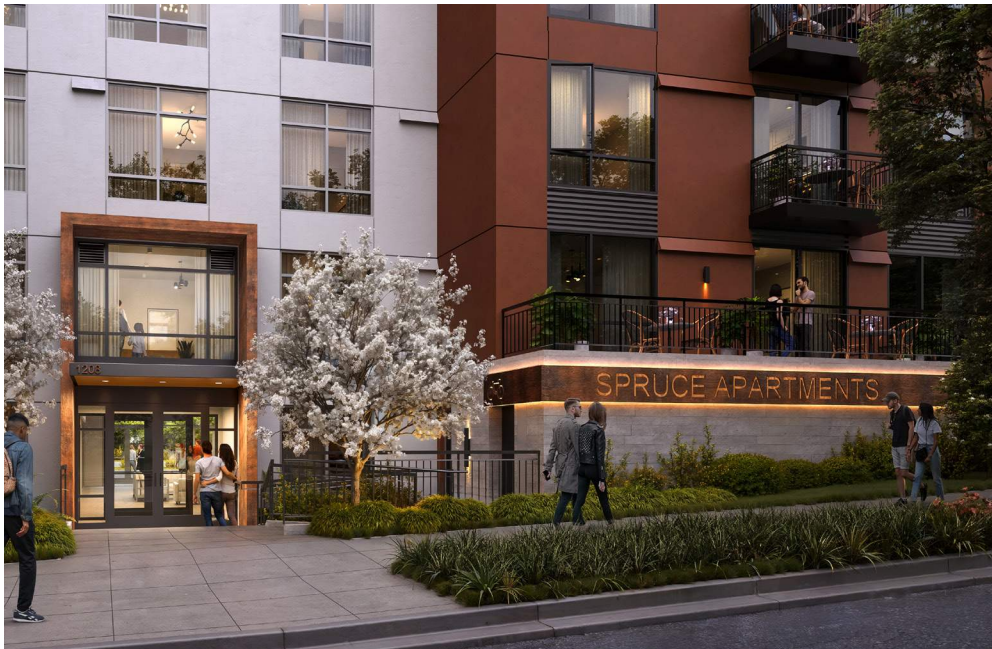


FLOATING LETTER SIGNAGE EXAMPLES



KEY PLAN

## ③ E SPRUCE STREET SIGNAGE



VIEW OF E SPRUCE STREET ENTRANCE



BACKLIT CORTEN CUTOUT SIGNAGE EXAMPLES



**17.0**

# **DEPARTURES**



# DEPARTURE - UPPER LEVEL SETBACK

## 23.47A.014.C UPPER LEVEL SETBACK

Portions of structures in NC3P-75 zone above 65 ft must be set back from E Spruce St by 8 ft average depth, with a maximum of 20% having a setback of less than 5 ft. Any portion of the facade set back more than 15 feet shall be considered 15 ft for purposes of calculating the average setback.

### REQUESTED DEPARTURE:

A departure is requested for a portion of the NC3P-75 massing to encroach into the required setback above 65 ft. The encroachment is approximately 120'-1" wide by 4'-9" min to 12'-2" max tall for the length of the north property line in the NC3P-75 zone.

### RATIONALE: .

[Seattle Design Guideline](#)  
CS2.D.4: Massing Choices  
CS3.A.4: Evolving Neighborhoods  
DC2: Architectural Concept

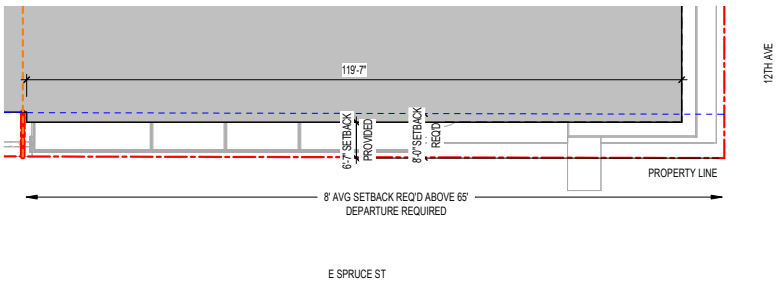
This departure allows for a cohesive corner massing that reinforces prominent corner at 12th and Spruce, as well as the EDG approved concept of distinctly scaled larger masses by zone. It is supported by City of Seattle and Central Area design guidelines for urban pattern and form, architectural concept and exterior elements and finishes.



3D DIAGRAM



UPPER LEVEL SETBACK NORTH ELEVATION



UPPER LEVEL AT SPRUCE PLAN



**13.0**

# **RENDERINGS**





VIEW AT 12TH AVE & E SPRUCE ST





VIEW AT E SPRUCE ST LOOKING SOUTHWEST





VIEW AT E SPRUCE ST RESIDENTIAL ENTRY





VIEW AT E FIR ST LOOKING NORTHEAST





VIEW AT 13TH AVE & E FIR ST



**THANK YOU**



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# TABLE OF CONTENTS

TABLE OF CONTENTS [3.1-3.3]	3
SITE MAP	4
CONTEXT ANALYSIS & ZONING DATA [4.0]	5-9
RESPONSE TO EDG [8.1-8.3]	10-36
FLOOR PLANS [9.0]	37-47
LANDSCAPE PLAN & PLANTING PLAN [10.1-10.4]	48-51
ELEVATIONS [11.1-11.7]	52-57
MATERIAL & COLOR PALETTE [12.1-12.3]	58-59
RENDERINGS [13.1-13.2]	60-65
EXTERIOR LIGHTING PLAN [14.0]	66-67
SIGNAGE CONCEPT PLAN [15.1]	68-70
BUILDING SECTIONS [16.1-16.4]	71-73
DEPARTURES [17.1-17.2]	74-75

**ADDRESS [2.1]** 1203 East Spruce Street  
Seattle, Washington 98122

**PARCEL NUMBER(S)** PARCEL A: 3927400051  
PARCEL B: 4226900005  
PARCEL C: 4226900015  
PARCEL D: 4226900019  
PARCEL E: 4226900020  
PARCEL F: 4226900085  
PARCEL G: 4226900095  
PARCEL H: 4226900110  
PARCEL I: 4226900115  
PARCEL J: 4226900125  
PARCEL K: 4226900070  
PARCEL L: 3927400045  
PARCEL M: 4226900105

**SDCI PROJECT NUMBER [2.2]** #3040352-LU

**APPLICANT TEAM [2.4]**  
**OWNER:** T Property Investments, LLC

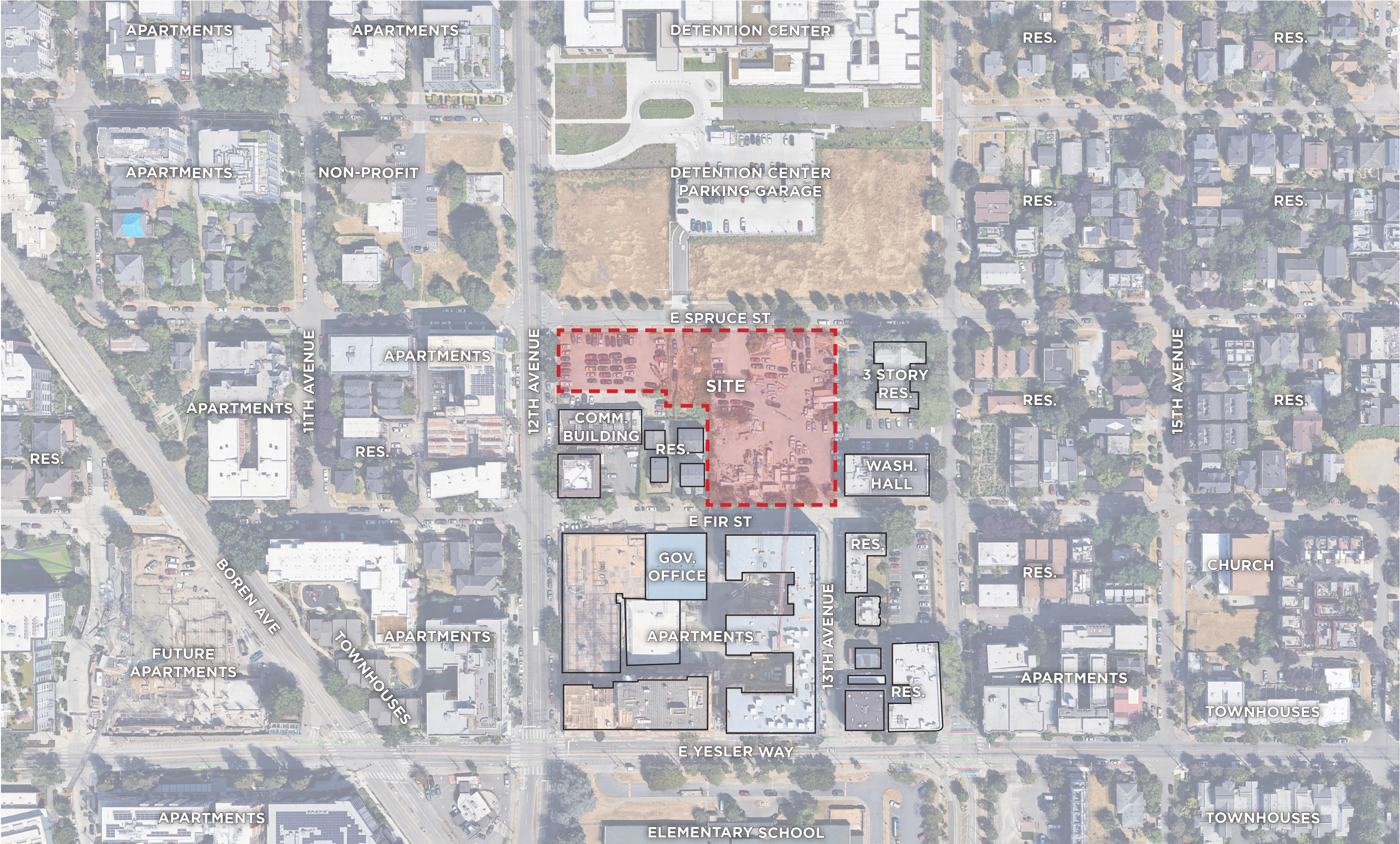
**ARCHITECT:** MG2  
1101 2<sup>nd</sup> Avenue #100,  
Seattle, WA 98101

**LANDSCAPE ARCHITECT:** Medium  
1337 SE 15<sup>th</sup> Ave,  
Portland, OR 97214

## USES AND DEVELOPMENT QUANTITIES

**ADDRESS:** 1203 East Spruce Street, Seattle WA 98122  
**ZONES:** NC3P-75(M) / NC3-65(M1) / LR3(M)  
**OVERLAYS:** First Hill/ Capitol Hill Urban Area  
**SITE AREA:** 72,353.7 SF / 1.66 Acres  
**COMMERCIAL AREA:** Approx. 2,130 SF  
**UNITS:** 394 Units  
**PARKING STALLS:** Approx. 202 parking stalls below building







ADDRESS	1203 East Spruce Street, Seattle, WA 98122
ZONE	NC3P-75(M) / NC3-65(M1) / LR3(M) First Hill / Capitol Hill Urban Center Flexible Parking Area
PERMITTED USES	Residential - Approximately 391 Units Proposed Commercial - Approximately 1859 SF Proposed Parking - Approximately 239 Spaces Proposed
STRUCTURE HEIGHT (23.45.514 TABLE A) 23.47A.012)	Base Height Limit: NC3P-75: 75' / NC3-65: 65' / LR3: 50'  Proposed heights comply
FLOOR AREA RATIO (23.47A.013)	314,476 SF  Proposed FAR complies
SETBACK REQUIREMENTS (23.45.518 TABLE A) (23.47A.014B & C)	LR3: <ul style="list-style-type: none"><li>Front: 5' minimum</li><li>Rear: 10' minimum with alley, 15' min with no alley</li><li>Side (facades 40' or less in length): 5'</li><li>Side (facades greater than 40' in length): 7' average; 5' min</li></ul> NC3P-75 / NC3-65: <ul style="list-style-type: none"><li>Front Setback: 0'-0"</li><li>Required Side Setback: Adjacent zone is LR. 10'-0" from 13'-0" to 65'-0".</li></ul> Additional 1'-0" for every 10' of height. <ul style="list-style-type: none"><li>Required Rear Setback: 0'-0"</li><li>Upper Level Setback: Average of 8'-0" above 65' for all street-facing facades.</li></ul>
STREET-LEVEL STANDARDS (23.47A.008)	Blank segments of the street-facing facades between 2'-0" and 8'-0" above the sidewalk may not exceed 20'-0" in width. The total amount of all blank facade segments may not exceed 40% of the width of the facade.  Continuous overhead weather protection is required along at least 60 percent of the street frontage of a structure on a principal pedestrian street.

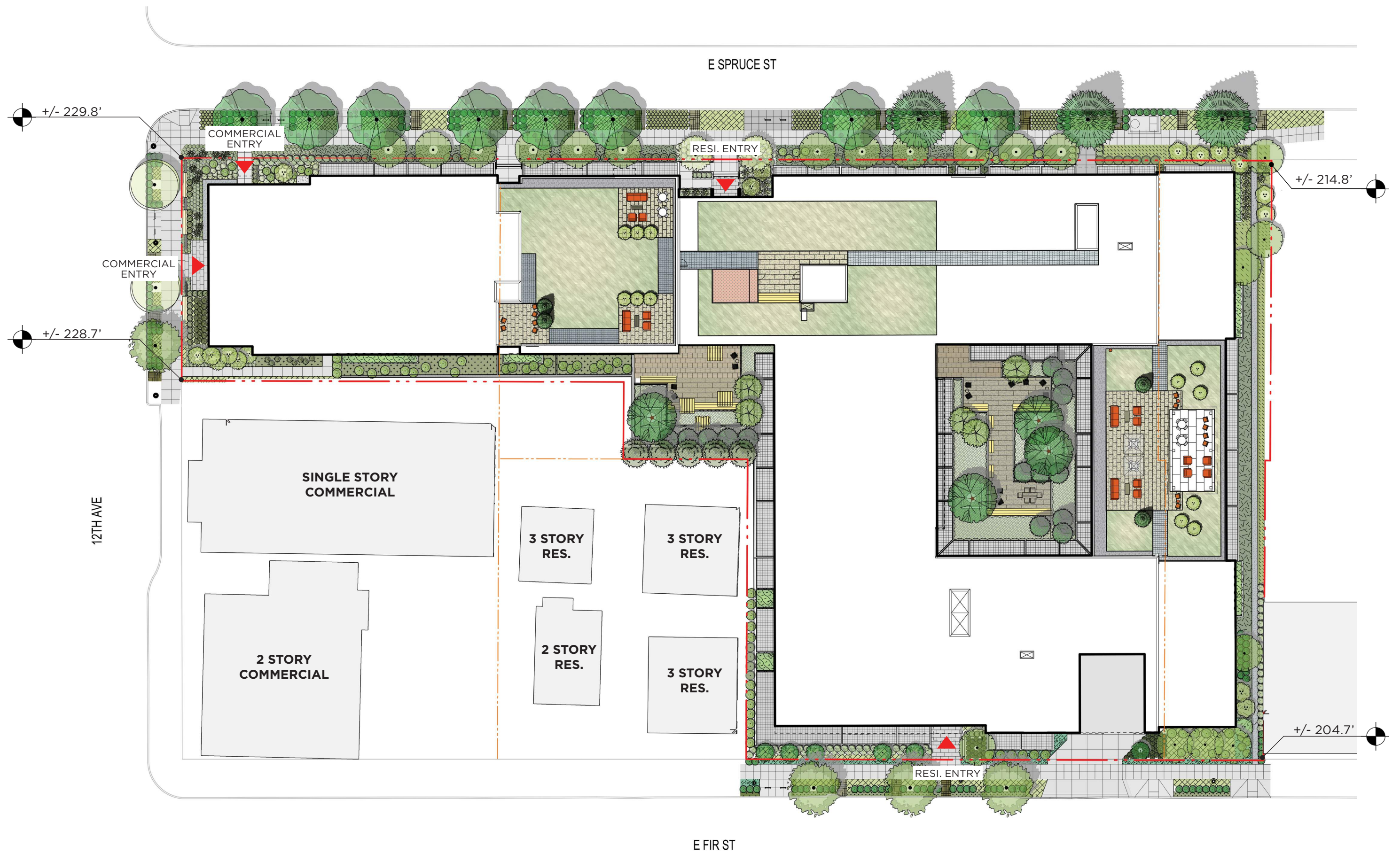
AMENITY AREA (23.45.522) (23.47A.024)	LR3: <ul style="list-style-type: none"><li>25% of lot area.</li><li>For apartments, amenity area required at ground level shall be provided as common space.</li></ul> NC3P-75 / NC3-65: <ul style="list-style-type: none"><li>Required Amenity Area shall not be less than 5% of the total gross square footage, excluding mechanical equipment and parking.</li><li>Minimum Amenity Space: 313,851 SF x 0.05 = 15,692.6 SF</li><li>All residents shall have access to at least one common or private amenity area.</li><li>Amenity areas shall not be enclosed.</li></ul> Proposal complies with Amenity Area requirements
PARKING ACCESS (23.47A.032)	If access is not provided from an alley and the lot abuts two or more streets, access is permitted across one of the side street lot lines pursuant to subsection 24.47A.032.C, and curb cuts are permitted pursuant to section 23.54.030.F.2.a.1.  Proposal requests 1 curb cut off of Fir Street
BICYCLE PARKING (23.54.015.K, TABLE D)	<ul style="list-style-type: none"><li>Long Term: 1 per dwelling unit.</li><li>Short Term: 1 per 20 dwelling units.</li></ul> Proposed bicycle parking complies
PARKING COUNT (23.54.015)	<ul style="list-style-type: none"><li>1 space per dwelling unit, 1 space for every 2 small efficiency dwelling units.</li></ul> No Minimum Requirement if: in commercial, RSL and multifamily zones within urban villages that are not within urban center or the Station Area Overlay District, if the residential use is located within a frequent transit service area  Proposed parking count complies
SOLID WASTE AND RECYCLABLE STORAGE (23.54.040)	Mixed use development that contains both residential and non-residential uses shall meet the storage space requirements shown in Table A for 23.54.040 for residential development, plus 50% of the requirement for non-residential development.  Non-residential Development: 0 - 5,000 SF: 82 SF  Residential Development: 575 SF + 4 SF for each additional unit above 100 575 SF + 4(294) = 1,751 SF  1,751 SF + (82 SF x 0.50) = 1,792 SF  Proposed waste and recyclable storage area complies
FACADE WIDTH (23.47A.014.D)	Structures with a width of more than 250 feet, at least one portion of the structure 30 feet or greater in width must be set back a minimum of 15 feet from the front property line.  Proposed modulation complies



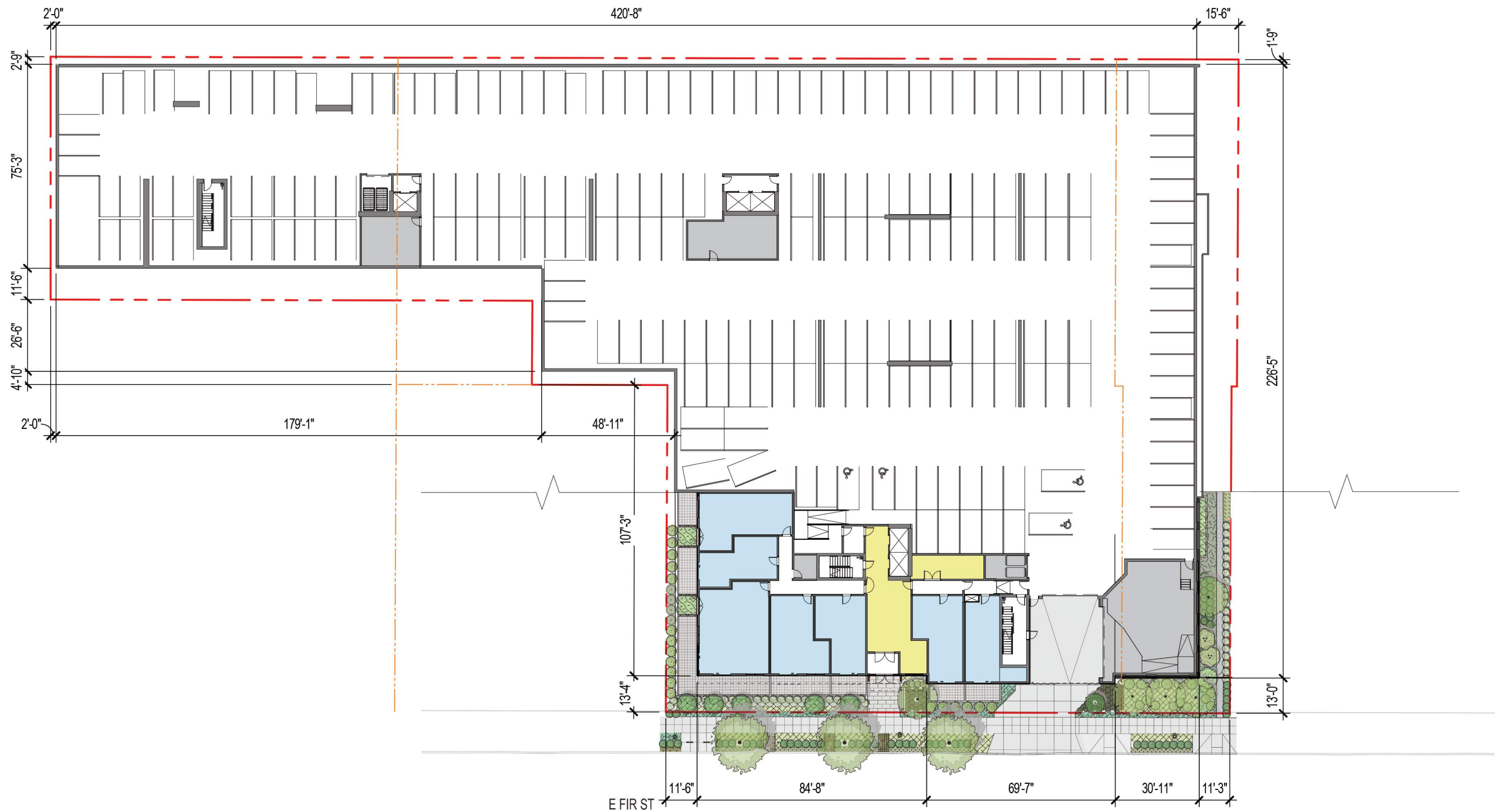
**9.0**

# **FLOOR PLANS**

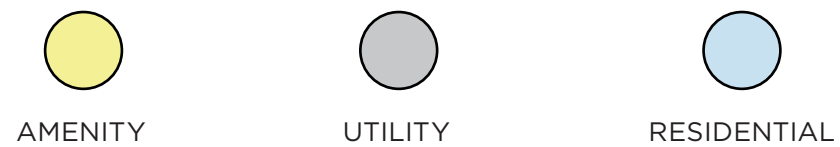








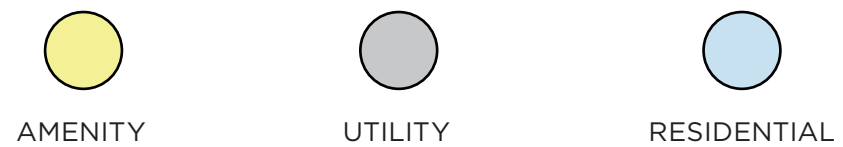
# LEVEL 1







## LEVEL 2







## LEVEL 3



AMENITY



COMMERCIAL



UTILITY



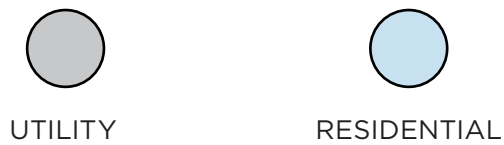
RESIDENTIAL



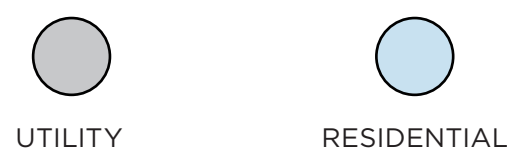
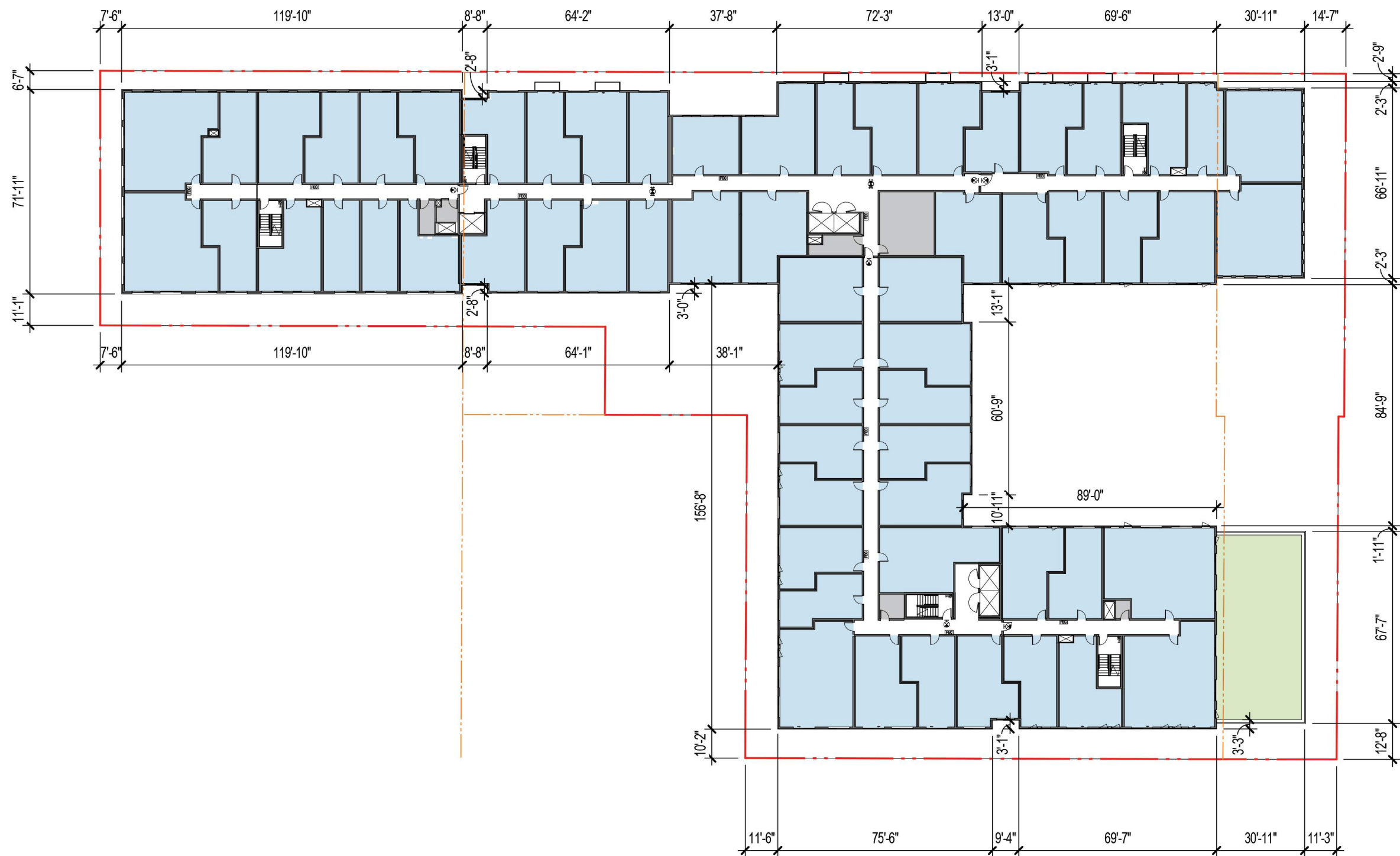




# LEVEL 4

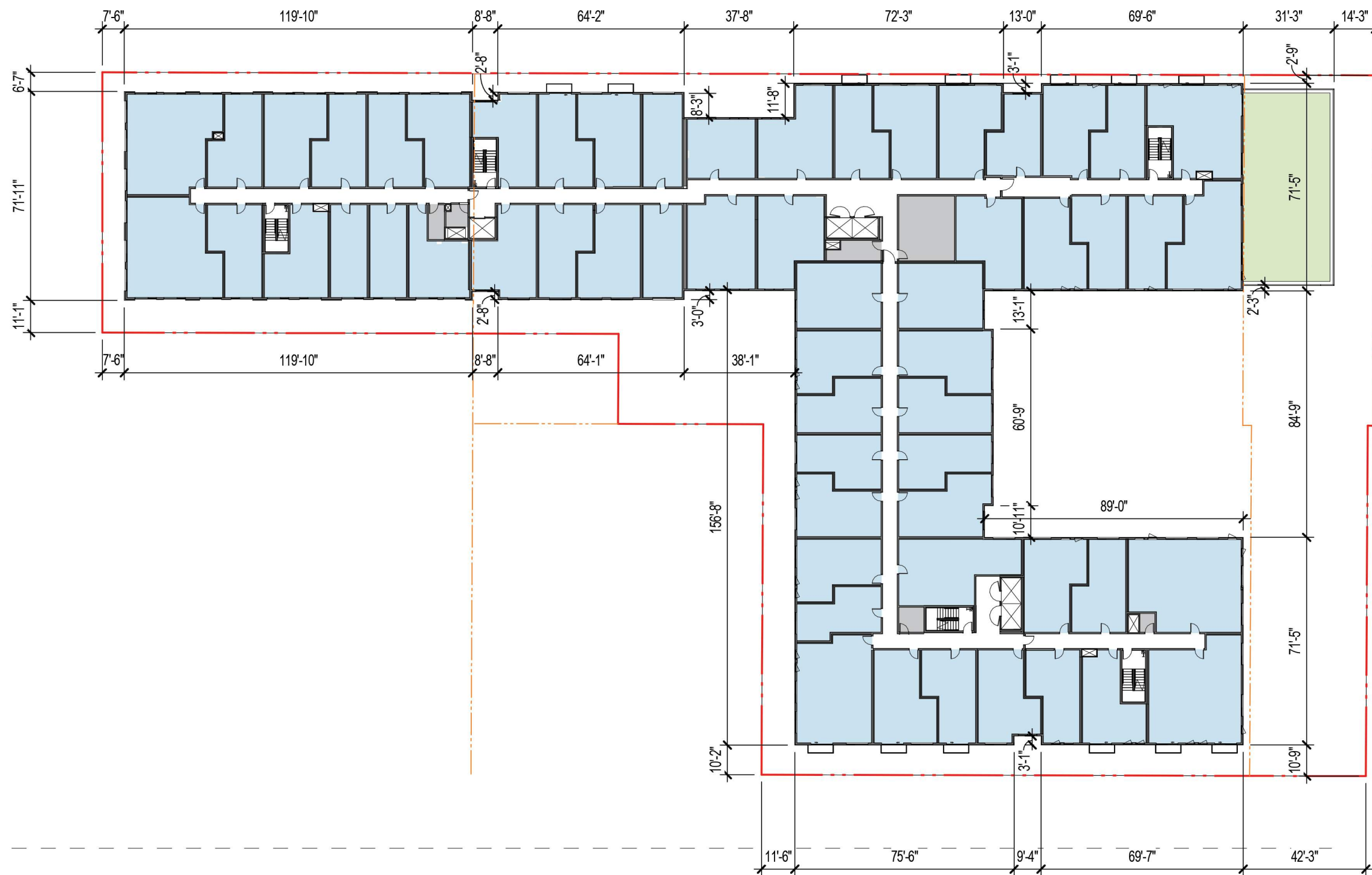






LEVEL 5





# LEVELS 6-7



UTILITY



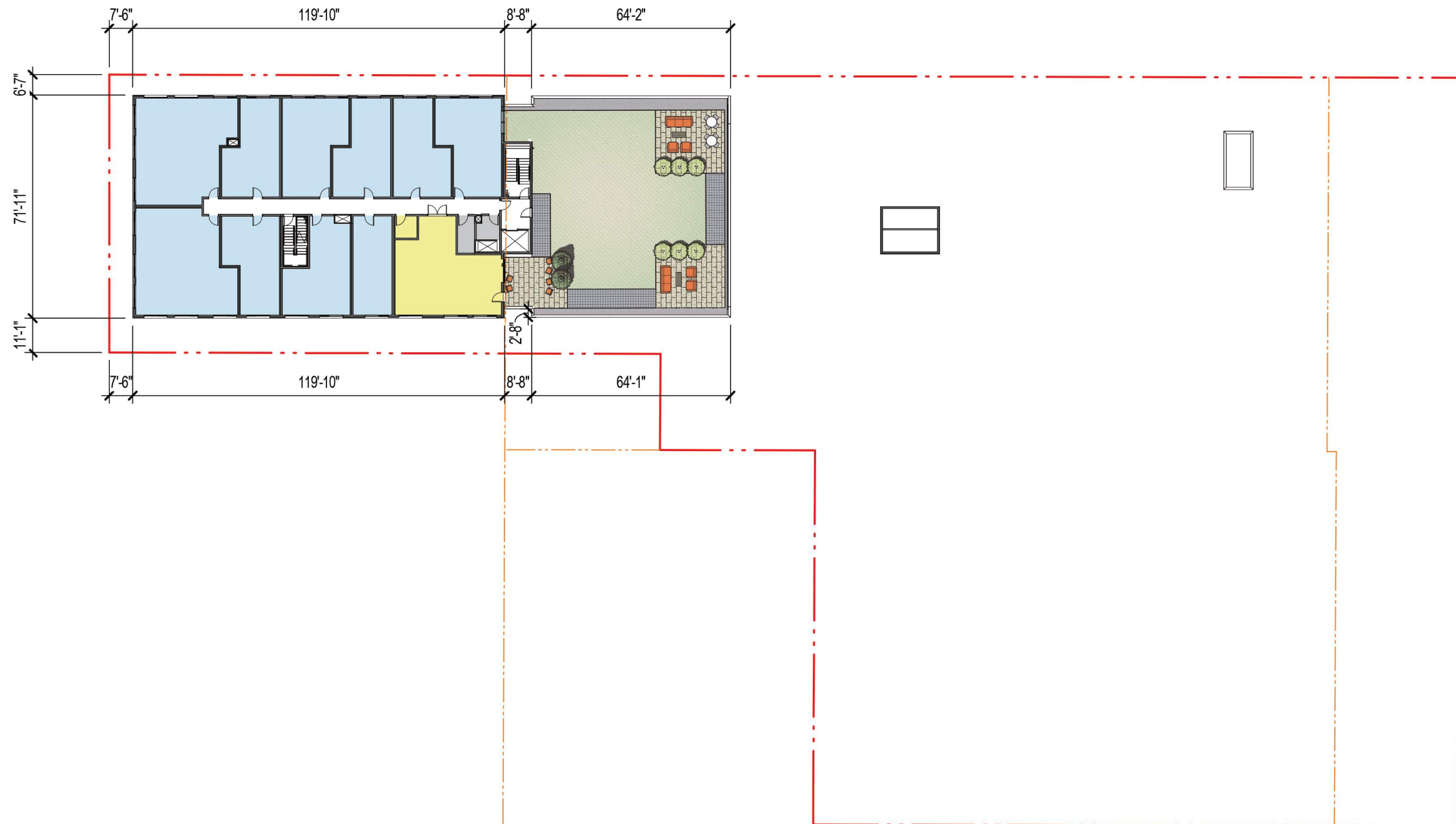
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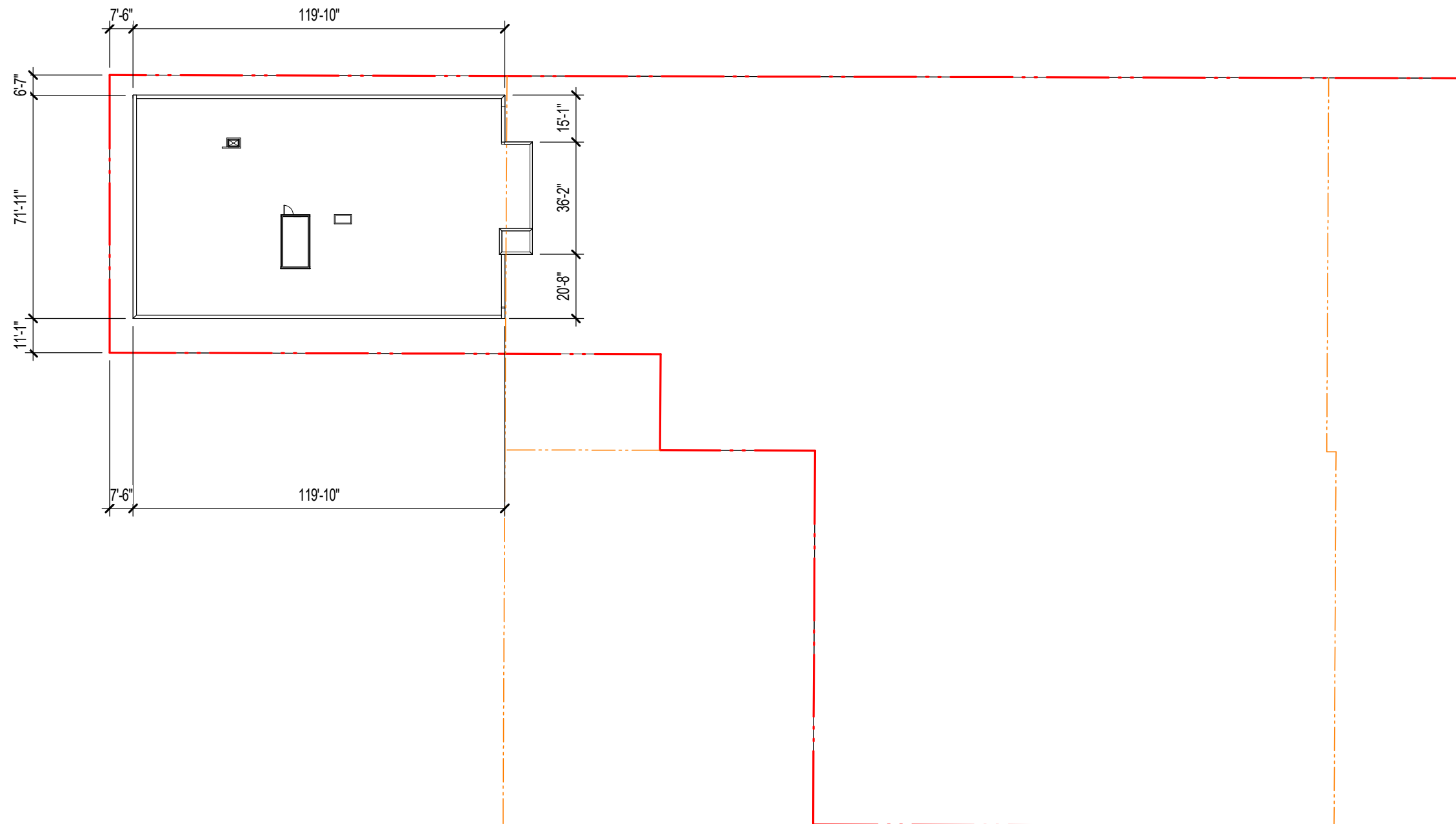




## LEVEL 9







## LEVEL ROOF



**10.0**

**LANDSCAPE  
PLAN &  
PLANTING  
PLAN**

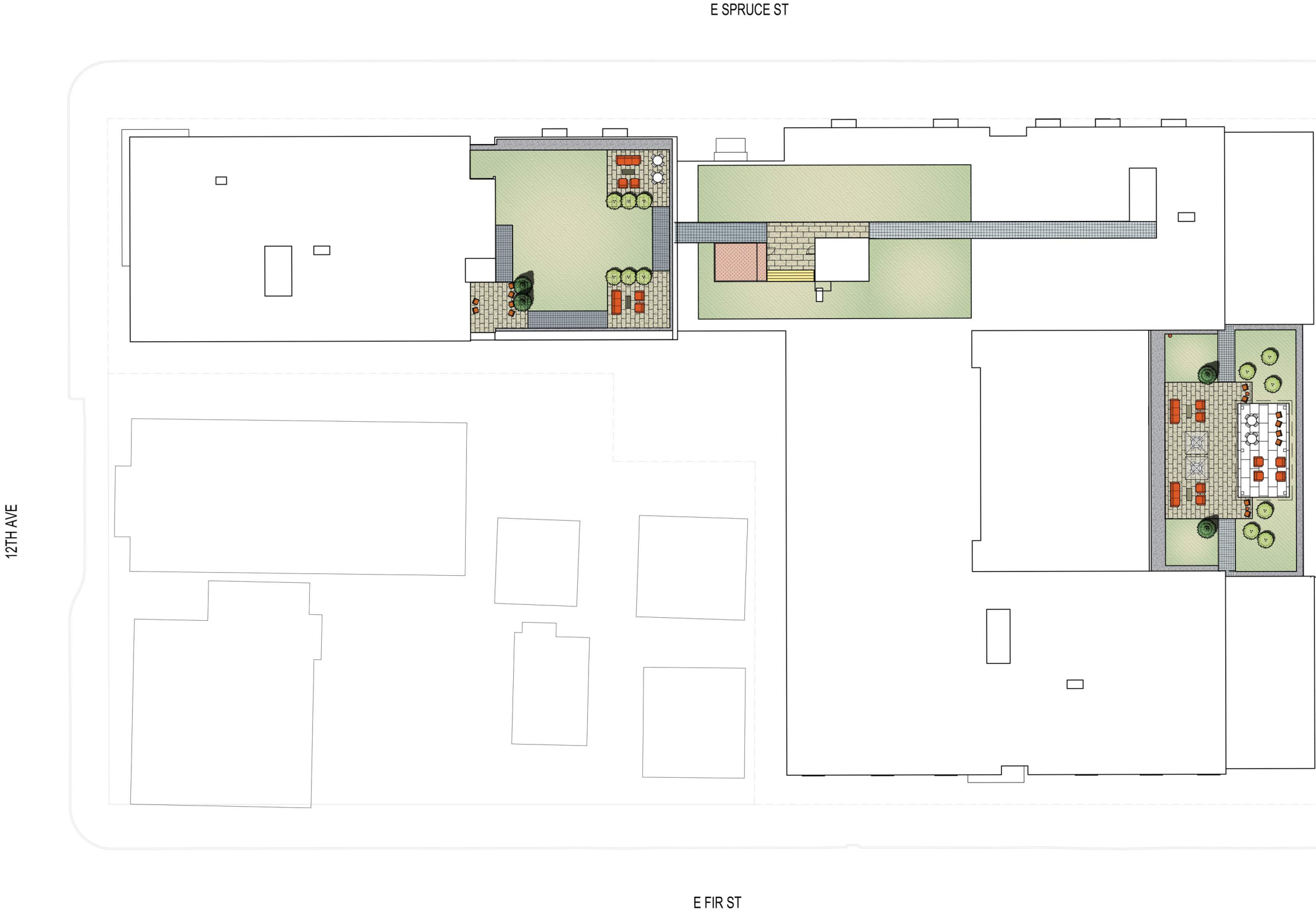


# LANDSCAPE & PLANTING PLAN





































# LANDSCAPE & PLANTING PLAN





REPRESENTATIVE PLANTS

GROUND LEVEL PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
TREES			
	ACE CIR	Acer circinatum	Vine Maple
	AME GRA	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry
	ARB TRE	Arbutus unedo	Strawberry Tree Multi-Trunk
	COR LGU	Cornus kousa x nuttallii 'KN4-43'	Starlight® Kousa Dogwood
	POP NMN	Populus tremuloides 'Clump Form'	Clump Form Quaking Aspen
	STE MON	Stewartia monadelpha	Orange Bark Stewartia
	TAX MIC	Taxodium distichum 'Mickelson'	Shawnee Brave™ Bald Cypress
	ZEL VIL	Zelkova serrata 'Village Green'	Village Green Japanese Zelkova
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME
SHRUBS			
	BER THU	Berberis thunbergii	Japanese Greenleaf Barberry
	BER WIL	Berberis x gladwynesis 'William Penn'	William Penn Barberry
	BUX WGM	Buxus microphylla japonica 'Winter Gem'	Winter Gem Japanese Boxwood
	CAL KAR	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass
	CAR TES	Carex testacea	Orange Sedge
	CAR ICE	Carex x 'Ice Dance'	Ice Dance Sedge
	CHO SUN	Choisya ternata 'Sundance'	Sundance Mexican Mock Orange
	HAK AUR	Hakonechloa macra 'Aureola'	Golden Variegated Forest Grass
	HYD WEE	Hydrangea quercifolia 'Pee Wee'	Pee Wee Oakleaf Hydrangea
	ILE CAS	Ilex x meserveae 'Hachfee'	Castle Spire® Blue Holly
	LON BOX	Lonicera nitida	Box Leaf Honeysuckle
	PHI VIR	Philadelphus x virginalis	Mock Orange
	PHO MAO	Phormium tenax 'Maori Queen'	New Zealand Flax
	PIN PUM	Pinus mugo 'Pumilio'	Mugo Pine
	SES AUT	Sesleria autumnalis	Autumn Moor Grass
	VIB DAV	Viburnum davidii	David Viburnum
	WOO FIM	Woodwardia fimbriata	Giant Chain Fern
GROUND COVERS			
	ASA CAU	Asarum caudatum	Wild Ginger
	ATH FI2	Athyrium filix-femina	Common Lady Fern
	FES ELJ	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue
	FRA CHI	Fragaria chiloensis	Beach Strawberry
	MAH REP	Mahonia repens	Creeping Mahonia
	PAC GRE	Pachysandra terminalis 'Green Carpet'	Green Carpet Japanese Pachysandra
	THY ELP	Thymus serpyllum 'Elfin'	Elfin Creeping Thyme

TREES



Acer circinatum  
Vine Maple



Amelanchier x grandifolia  
Autumn Brilliance Serviceberry



Arbutus unedo  
Strawberry Tree



Cornus x KN30-8  
Venus Dogwood



Stewartia monadelpha  
Orangebark Stewartia



Taxodium distichum  
'Shawnee Brave' Bald Cypress



Zelkova serrata 'Village Green'  
Japanese Zelkova

SHRUBS



Berberis thunbergii  
Greenleaf Barberry



Berberis x gladwynesis  
William Penn Barberry



Buxus microphylla japonica  
Winter Gem Boxwood



Calamagrostis x acutiflora  
Feather Reed Grass



Carex testacea  
Orange Sedge



Choisya ternata 'Sundance'  
Mexican Mock Orange



Ilex x meserveae  
Castle Spire Blue Holly



Hakonechloa macra  
Japanese Forest Grass



Hydrangea q. 'Pee Wee'  
Oakleaf Hydrangea



Lonicera nitida  
Boxleaf Honeysuckle



Philadelphus x virginalis  
Mock Orange



Sesleria autumnalis  
Autumn Moor Grass



Viburnum davidii  
David Viburnum



Woodwardia fimbriata  
Giant Chain Fern

GROUND COVERS



Asarum caudatum  
Wild Ginger



Athyrium filix-femina  
Lady Fern



Festuca glauca  
Elijah Blue Fescue



Fragaria chiloensis  
Beach Strawberry



Mahonia repens  
Creeping Mahonia



Pachysandra terminalis  
Japanese Pachysandra



Thymus serpyllum 'Elfin'  
Elfin Creeping Thyme



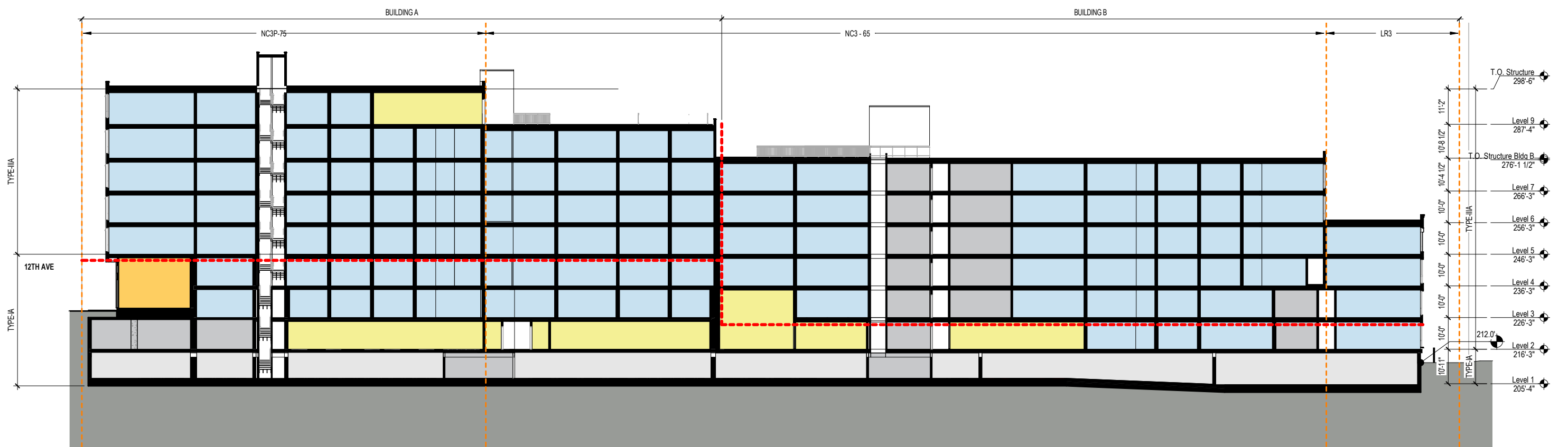
Carex x 'Ice Dance'  
Ice Dance Sedge



**16.0**

# **BUILDING SECTIONS**

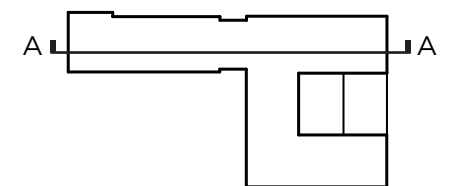




SECTION A-A

#### LEGEND

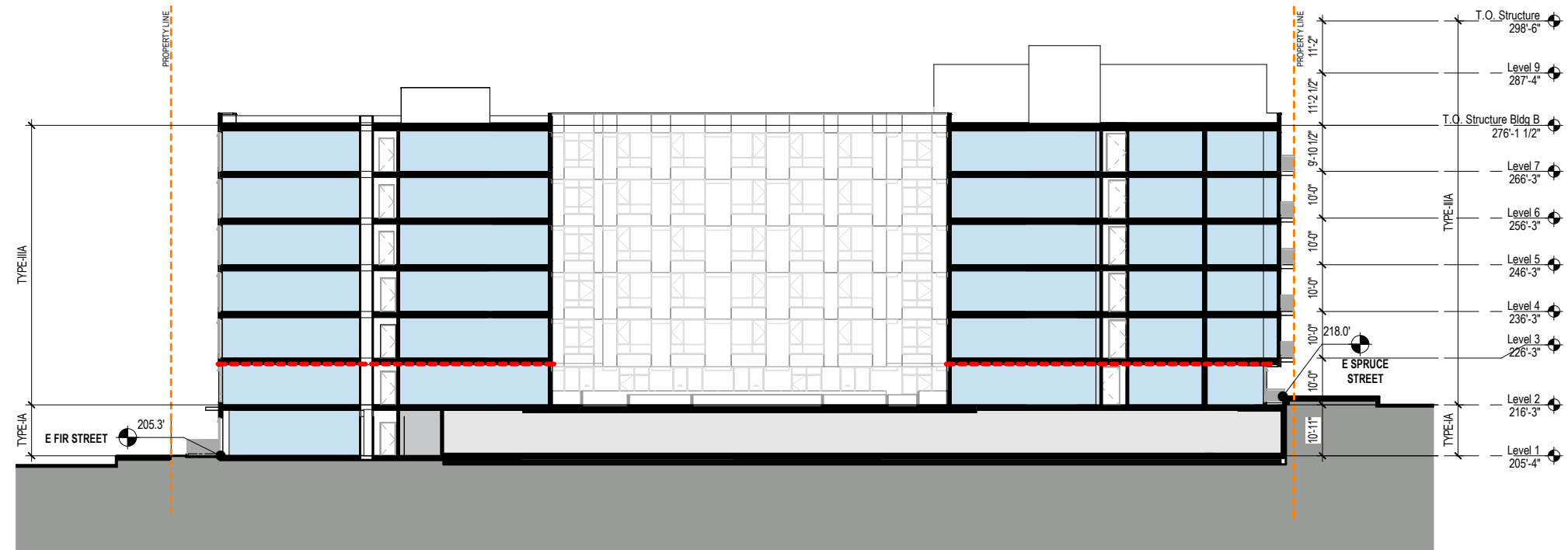
- COMMERCIAL
- RESIDENTIAL
- AMENITY
- UTILITY/BOH







SECTION B-B



SECTION C-C

#### LEGEND

- COMMERCIAL
- RESIDENTIAL
- AMENITY
- UTILITY/BOH

