



DRAFT

10744 Whitman Ave. N

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BITTER LAKE
NEIGHBORHOOD

VICINITY MAP

OVERVIEW

Address | 10744 Whitman Ave N
 Site Area | 9,915 SF
 Zone | NC3-55 (M)
 Overlays | Aurora-Licton Springs Residential Urban Village

Maximum FAR | 3.75

Maximum Height | 55 feet

Proposed # of Dwelling Units:	101, 28 Congregate, 73 Dwelling Units
Proposed Gross Floor Area:	42,324 SF
Proposed Commercial SF:	None
Proposed Vehicle Parking:	None, not required
Proposed Bicycle Storage:	95 long-term, 6 short-term

DESIGN OBJECTIVES

- Provide additional housing density to the Aurora-Licton Springs urban village.
- Pair with the existing multi-family building across N 109th street to add vibrancy and residential character to the evolving neighborhood.
- Incorporate sidewalk, landscaping and right-of-way improvements at the site's frontage to increase the pedestrian safety and walkability of the neighborhood.
- Use articulation of the building mass, materials, and design elements to stitch the proposed structure into the immediate context and greater neighborhood.



AERIAL CONTEXT

EARLY DESIGN GUIDANCE RESPONSES |
MASSING / MODULATION - PREFERRED OPTION

BOARD GUIDANCE |

- a) After discussion of all three schemes, the Board favored the applicant’s preferred scheme, Option A. The Board identified the following positive aspects of Option A.
- Location of the building’s entry and modulation best meets the neighborhood scale
 - Supported the step in building facade, reducing the scale adjacent to the zone and smaller development immediately south of the site.
 - The west facing entry sets a positive precedent for the neighborhood, is at grade, and creates a better internal layout.

APPLICANT RESPONSE |

The proposed design closely follows the massing concept and organization of spaces presented as Option A at the EDG meeting. The positive attributes outlined by the board have been maintained as noted here:

- The building’s entry is off of Whitman to the west and is tucked between the modulation of the north bar and the smaller scale, four-story modulation adjacent to the townhouses to the south.
- The step in building mass from the north bar to the smaller four-story volume on the west façade has been maintained and refined, including additional modulation on the south façade to further reduce the perceived height, bulk, and scale of the south façade adjacent to the LR zoning.
- The west face entry is now slightly elevated, in response to the board’s other guidance to elevate the L1 floor level above the sidewalk. A careful entrance sequence has been designed and executed to gracefully transition from sidewalk to an elevated entry “porch”. The proposed height allows the entry to engage the sidewalk for accessibility while still establishing a separation between public and semi-public space.

BOARD GUIDANCE |

- b) Although the Board supported Option A, Board members requested the applicant introduce more interest into the building’s façade. Board members stated the supported the building as a background building for the neighborhood and that additional façade treatment and modulation were appropriate to consider as the building evolves through the master use permit (MUP) review.

APPLICANT RESPONSE |

The proposed design evolution provides additional interest to the building’s façade through texture and materiality. The north bar, clad in vertical standing seam metal siding with collected windows in a contrasting color and protruding trim, projects over a base of contrasting horizontal siding with vertically oriented windows bound by deep reveal trim elements. This layering of materials, textures, and trim elements add visual interest with shade, shadow, and relief in lieu of larger massing shifts and fractured volumes. The design team considered additional modulation but felt that adding the interest through details and material choices is a more successful approach, both for the scale of the street facing facades and in contrast with the adjacent hyper-modulated multifamily building to the north.



EARLY DESIGN GUIDANCE OPTION A CHARACTER SKETCH



PROPOSED DESIGN

EARLY DESIGN GUIDANCE RESPONSES |
MASSING / MODULATION - 109TH ST FRONTAGE

BOARD GUIDANCE |

c) Board members recommended further study of the street level of the building along N 109th St. The Board members recommend the building's design along N 109th Street engage with the street as much as possible and the design intent on Whitman Ave should continue from that street to 109th St. Board members noted that the improvements to the adjacent street right-of-way will assist in improving the overall site conditions. The Board stated that improvements to N 109th Street should be paired with the existing building to the north for engagement and connection to the street.

APPLICANT RESPONSE |

The ground-floor façade facing N 109th St has been carefully considered to establish a rhythm of paired windows coupled with modest window wells to provide light to the lower-level units. Verdant landscaping between the sidewalk and building acts as a buffer while maintaining direct lines of sight for security and interaction. In contrast to the building to the north, the units are elevated above the sidewalk grade in accordance with the board's guidance, and the focus is on the landscaping and added street trees for an enhanced pedestrian experience with the building serving as a backdrop for neighbors and residents traveling between the building's primary entry on Whitman and Aurora Ave to the east. The proposed streetscape balances interaction through opportunities for eyes on the street and landscaping with privacy and safety for the residents by limiting entries and corners or recesses that could present safety concerns, particularly at this location within the city.



N 109TH STREET | STREET-LEVEL FACADE

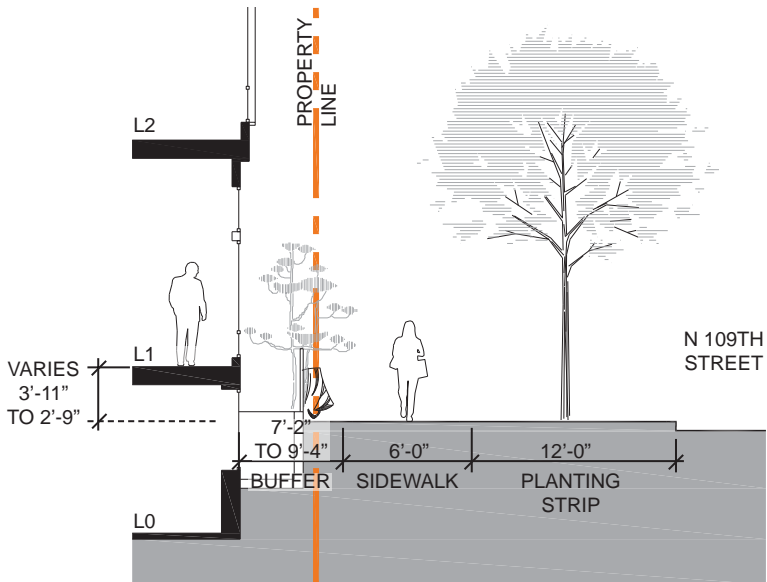
The streetscape along the 109th street frontage consists of a rich layering of textures to enhance the pedestrian experience. A combination of low shrubs, plantings, and hardy ground coverings flank the sidewalk and provide a buffer between the pedestrian realm and building. The building itself utilizes material with texture and human-scale details at the street-level to serve as a backdrop to the natural landscaping.

BOARD GUIDANCE |

d) Board members expressed their concern with the proposed basement units of the building. The Board recommended the units not be hidden below grade and that design features be incorporated to make these units prominent along the street and have a connection with N 109th Street. The Board requested the applicant provide a detailed section of the light wells with the recommendation packet. The section will need to show the depth of the light wells, how safety and security issues will be addressed, and how much light will the light wells provide to the north facing units. The Board emphasized that the basement units need to maximize daylight as well as safety and security for residents in those units. Board members stated that the safety and security provided by the light wells will be paramount to making a successful design along N 109th Street. Board members also suggested the applicant consider reducing the light well depth by raising the basement level to create semi-sunken units. Board members commented that this design feature would create a better engagement with the street.

APPLICANT RESPONSE |

Per the board's guidance, the L1 floor level has been elevated to reduce the depth of the window wells along 109th, provide additional light to the lower-level units, and allow both the lower level and ground floor units to engage the street / sidewalk in a meaningful way. Landscaped barriers, lighting, and the building's simple volumes work to increase the safety and security of the frontage by minimizing dark corners or recesses that could pose as safety concerns for pedestrians and residents.



N 109TH STREET | STREET-EDGE DIAGRAM

The first floor is elevated to allow both the first floor and basement level to visually engage the pedestrian realm, while also maximizing the opportunity for light and air to the basement units.



N 109TH STREET | PEDESTRIAN REALM

Robust landscaping flanks the sidewalk, both along the building edge and the planting strip between the sidewalk and street. This buffer, as well as the differentiation in elevation, create a sense of privacy and separation between the public sidewalk and private living units, while maintaining a visual connection between the two.

EARLY DESIGN GUIDANCE RESPONSES | ENTRIES

BOARD GUIDANCE |

a) The Board recommended a secondary entrance and exit to the building be located along 109th Street to assist with creating better engagement along the street. To accommodate the secondary entrance the Board suggested the applicant explore changing the location of the building's stairway.

APPLICANT RESPONSE |

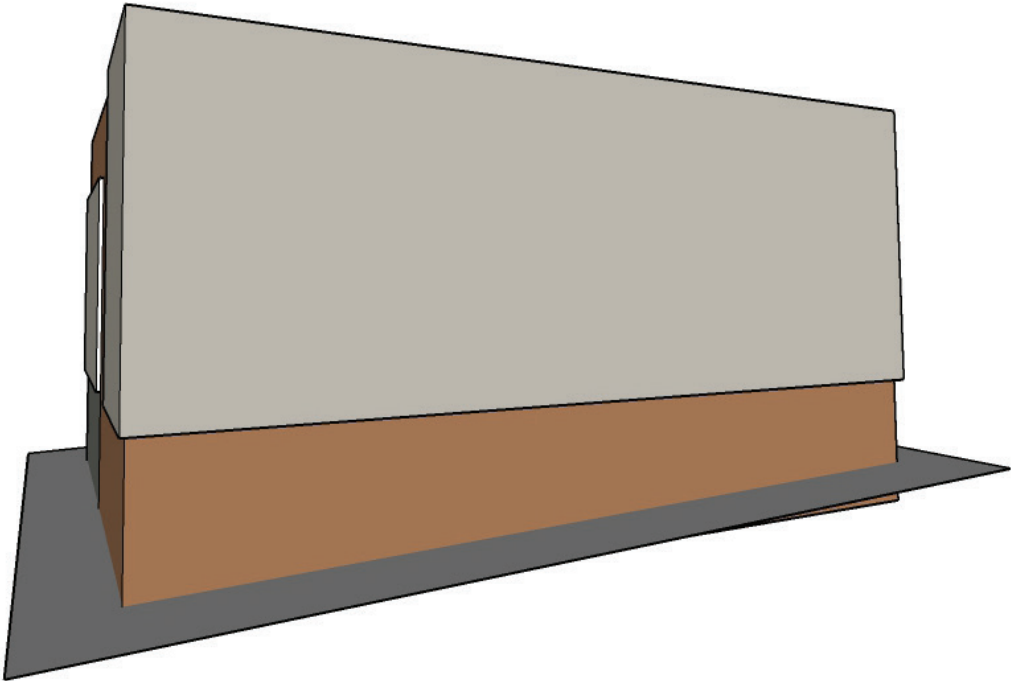
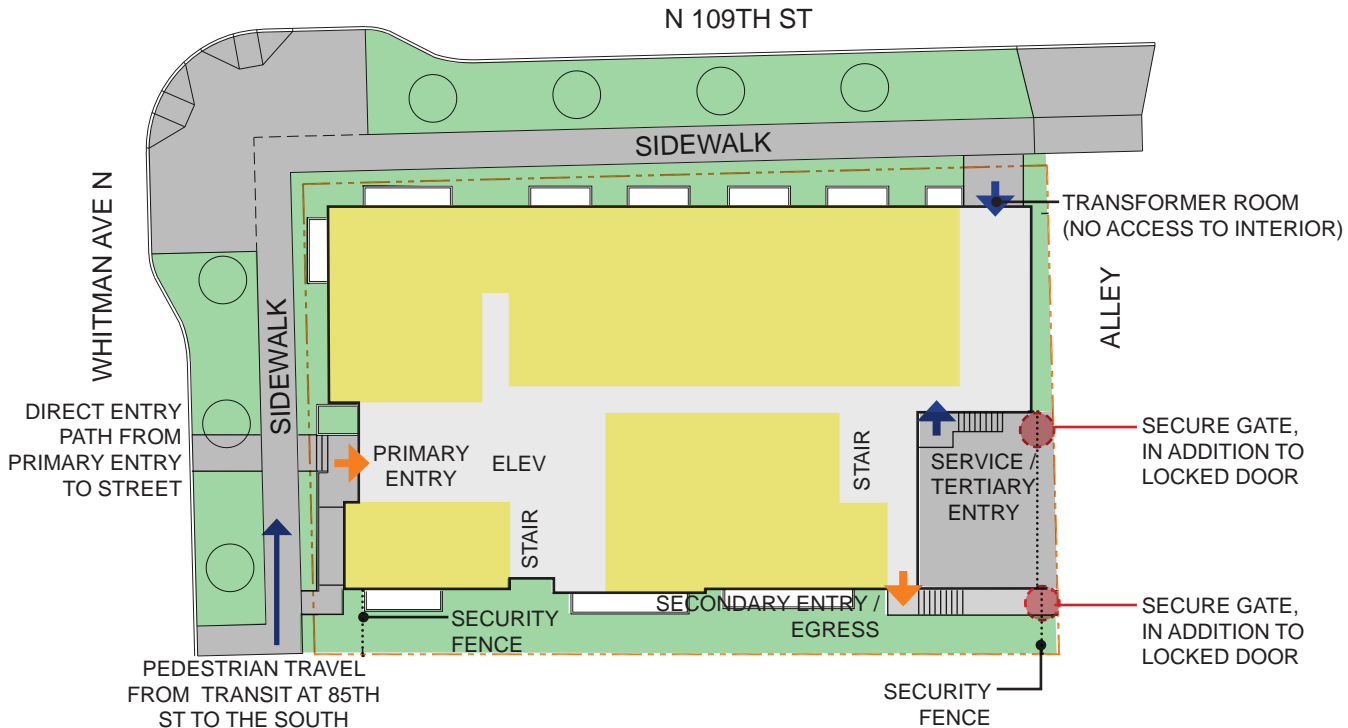
The design team carefully considered opportunities for a secondary entry along 109th but ultimately did not implement an entry directly to the street, in lieu of access via the alley instead. This decision was made after floor plan testing and analysis, and based on the impact to the project's objectives related to safety and security, anticipated use and access to the site, and unit yield and orientation. Adding an additional entry adds more points of entry that must be monitored and secured for the safety of residents. Having the entry open directly onto 109th with a recessed entry hampers security by creating corners and recesses as opportunities for unwelcome guests. Instead, the secondary entry is located on the east side of the building where an additional barrier via gates adds safety and security without closing off the building from the street frontage. Furthermore, given the location of transit at the intersection of 85th & Aurora and the automotive-focused nature of Aurora Ave, much of the pedestrian travel to and from the site is likely to occur along Whitman Ave and align with the proposed location and entry sequence of the primary entry. Lastly, while the team explored incorporating a secondary entry and corridor onto 109th St - including relocating the stair - it proved infeasible without impacts to the proposed program, both yield and the priority of facing as many units north and west towards the street frontages as possible.

BOARD GUIDANCE |

b) The Board requested the applicant study the street right-of-way improvements along Whitman Ave N and works with the Seattle Department of Transportation (SDOT) to allow a pedestrian path from the street, through the landscaping area between the street and sidewalk, to the main entry.

APPLICANT RESPONSE |

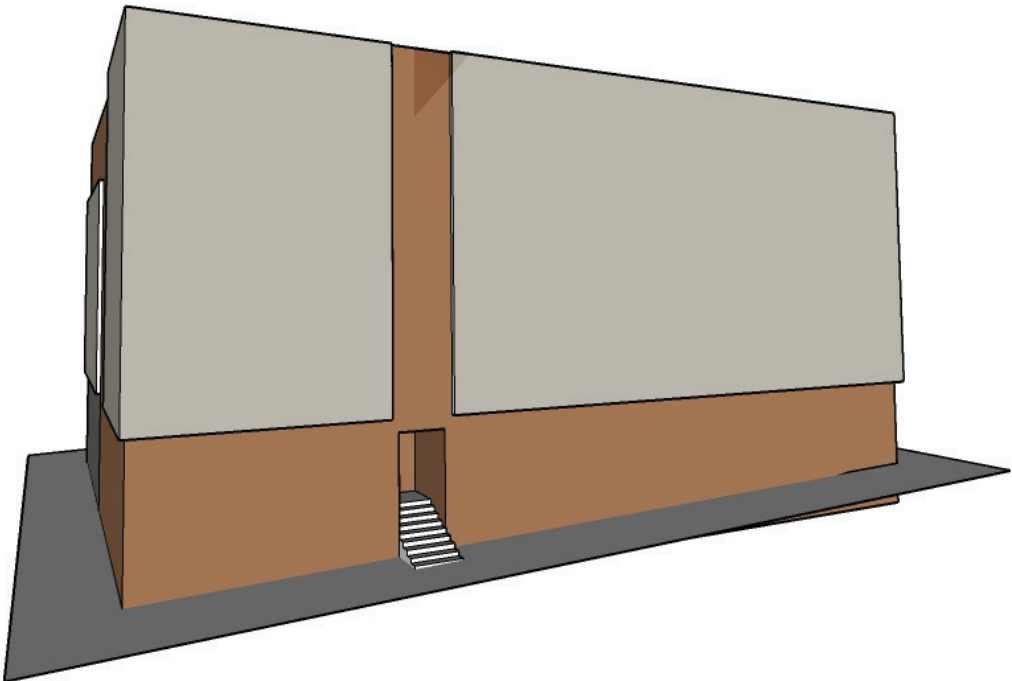
The proposal has a wide pathway through the planting strip on Whitman Ave N, aligning with the primary entry and connecting to Whitman Ave N. Additional, smaller scale walking paths are proposed between the street trees on the northern edge of the site, connecting the sidewalk to N 109th St. Coordination of this proposed hardscape within the ROW is ongoing with SDOT through the Street Improvement Permit (SIP) process.



109TH FRONTAGE | PROPOSED

PROPOSED DESIGN

- Maximizes amount of housing unit / project yield
- Increased security for residents due to less entry points into the building
- Facade at ground level lacks modulation or recesses where intruders could conceal themselves
- Visual interest is created through fenestration patterns, material choices and detailing, in contrast to hyper modulated building to the north and more appropriate for the scale of the facade.



109TH FRONTAGE | ALTERNATE

ALTERNATE DESIGN W/ SECONDARY ENTRY

- Reduces quantity of housing units (reduction of two units from proposed design)
- Creates additional entry point which must be secured and monitored for safety of residents
- Recessed entry creates further security concern, forming a "blind corner" where residents could be surprised or intercepted by intruders
- Significant grade change at east end of the facade hampers accessibility at proposed entry, creating a "front door" that is inaccessible, counter to universal design principals and citywide design guidelines.
- Modulation does not significantly change perceived height, bulk, and scale from proposed design

EARLY DESIGN GUIDANCE RESPONSES |
ZONE TRANSITION

BOARD GUIDANCE |

a) The Board supported the massing moves provided in Option A noting that the step on the west façade provides a successful design feature. The Board recommended the applicant maintain this step in massing and that it should further evolve with the design guidance provided on the building as a whole

APPLICANT RESPONSE |

The proposed design maintains the step-down modulation in the west façade at level 4, adjacent to the residential zoning. The design partii has evolved, to provide a similar massing setback along the entire south façade, accentuating the street-facing modulation and reducing the perceived height, bulk, and scale along the entirety of the south façade facing the residential zoning.

BOARD GUIDANCE |

b) The Board members stated that the west entry provided an appropriate response to the zone transition the south and west. Board members also noted the modulation provided in Option A along the south façade was appropriate to the scale of the building and the adjacent structures. The Board requested the applicant study how the building’s west façade and materials on the top floor carry around the building to the south. These details will need to be provided in the recommendation packet.

APPLICANT RESPONSE |

The entry location and modulation at the west entry and south facing stair have been maintained. Additionally, the massing has continued to evolve with additional setbacks and modulation at the south façade to better reflect the proportions and scale of the adjacent structures. The design partii has been clearly articulated both in massing and through application of materials. The ground floor setback and material change along the north façade wraps up the building at the east and west facades and transitions to an upper-story setback and material change along the south façade. .



SW CORNER

The natural wood-tone siding wraps from underneath the north bar of the massing, and transitions to the top story of the building, where it is set back from the modulated south facade below, reducing the perceived bulk, height, and scale of the elevation to reflect the adjacent residential townhouses. The partii completes at the east facade, where the wood-tone siding transitions back to the street level, wrapping underneath the protruding north bar volume.



SE CORNER

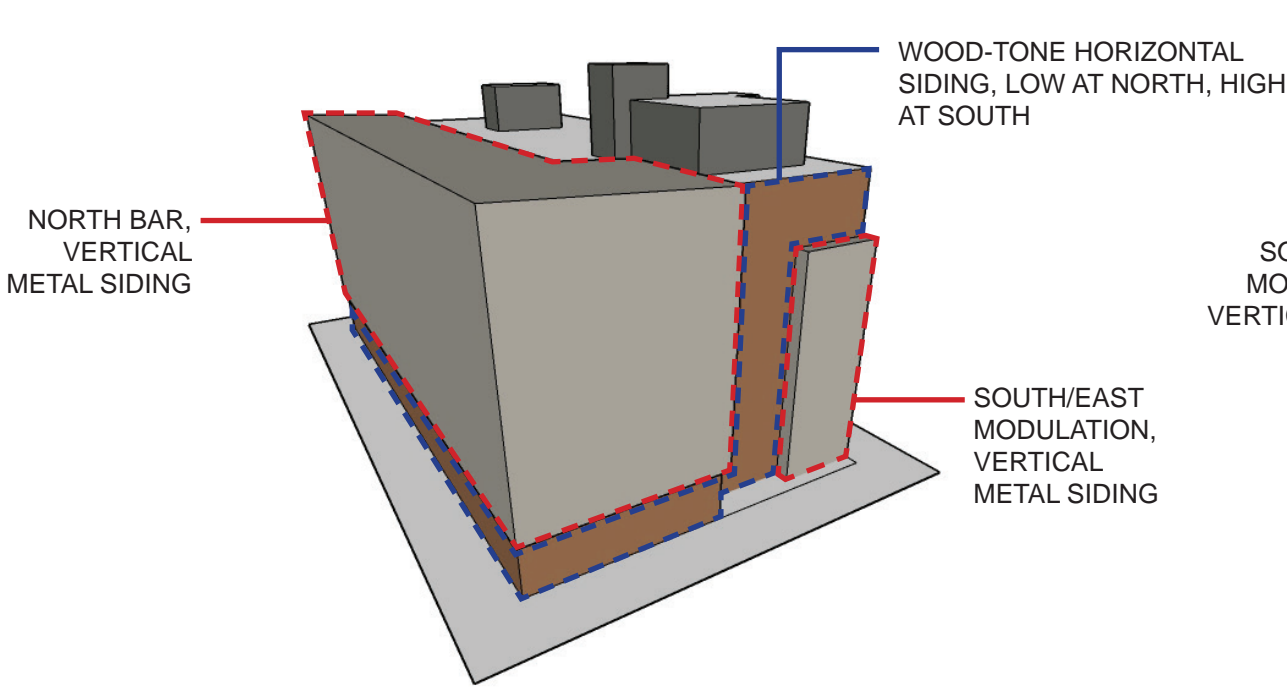
EARLY DESIGN GUIDANCE RESPONSES | MATERIALS

BOARD GUIDANCE |

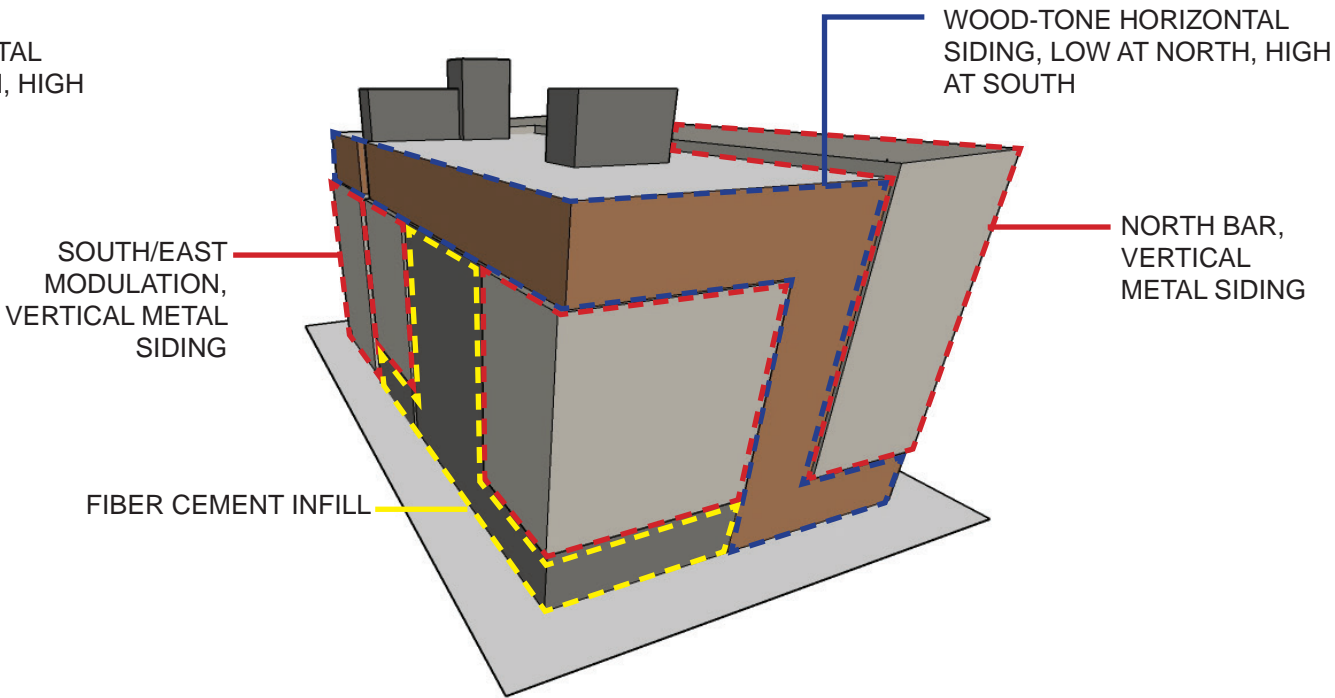
a) The Board supported the simple material palette proposed by the applicant. The Board recommended materials change with a change in plane on the building's façade and the material application be used to help break down the scale of the building. The Board requested details on the material application as it wraps around each façade of the building with Board members requesting the applicant pay particular attention to the materials wrapping around from the west to the south façade.

APPLICANT RESPONSE |

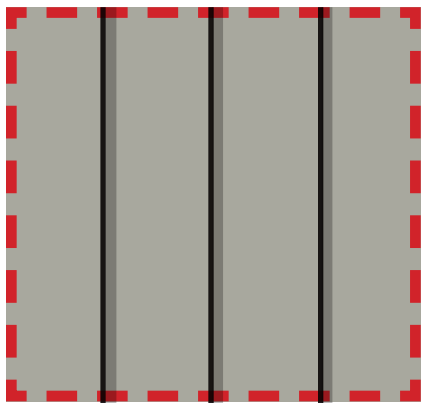
The proposed material palette remains simple and understated, emphasizing natural tones and reflecting the natural elements of the pacific northwest. The material distribution is a carefully thought out, deliberate expression that aligns with the overall massing partii with contrasting materials – both in tone and orientation (vertical vs. horizontal) - for the top and base volumes on the north façade. The material distribution flips on the south façade to reduce the perceived height, bulk, and scale. Care has been taken to coordinate the material shifts with the massing volumes, reinforcing the simple concept and expression.



MASSING / MATERIAL CONCEPT | NORTH AND WEST FACADES



MASSING / MATERIAL CONCEPT | EAST AND SOUTH FACADES



VERTICAL METAL SIDING



WOOD-TONE HORIZONTAL SIDING



FIBER CEMENT PANEL

PROPOSED DESIGN



SITE PLAN



KEY

- COMMON / CIRCULATION
- RESIDENTIAL - DWELLING UNIT
- RESIDENTIAL - CONGREGATE UNIT
- SERVICE / STORAGE
- LANDSCAPE
- RESIDENT ENTRY / ACCESS
- SERVICE ENTRY
- EGRESS EXIT

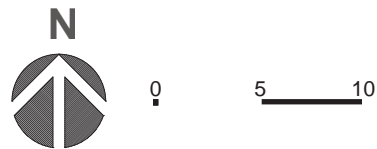


FLOOR PLANS | LEVEL 0

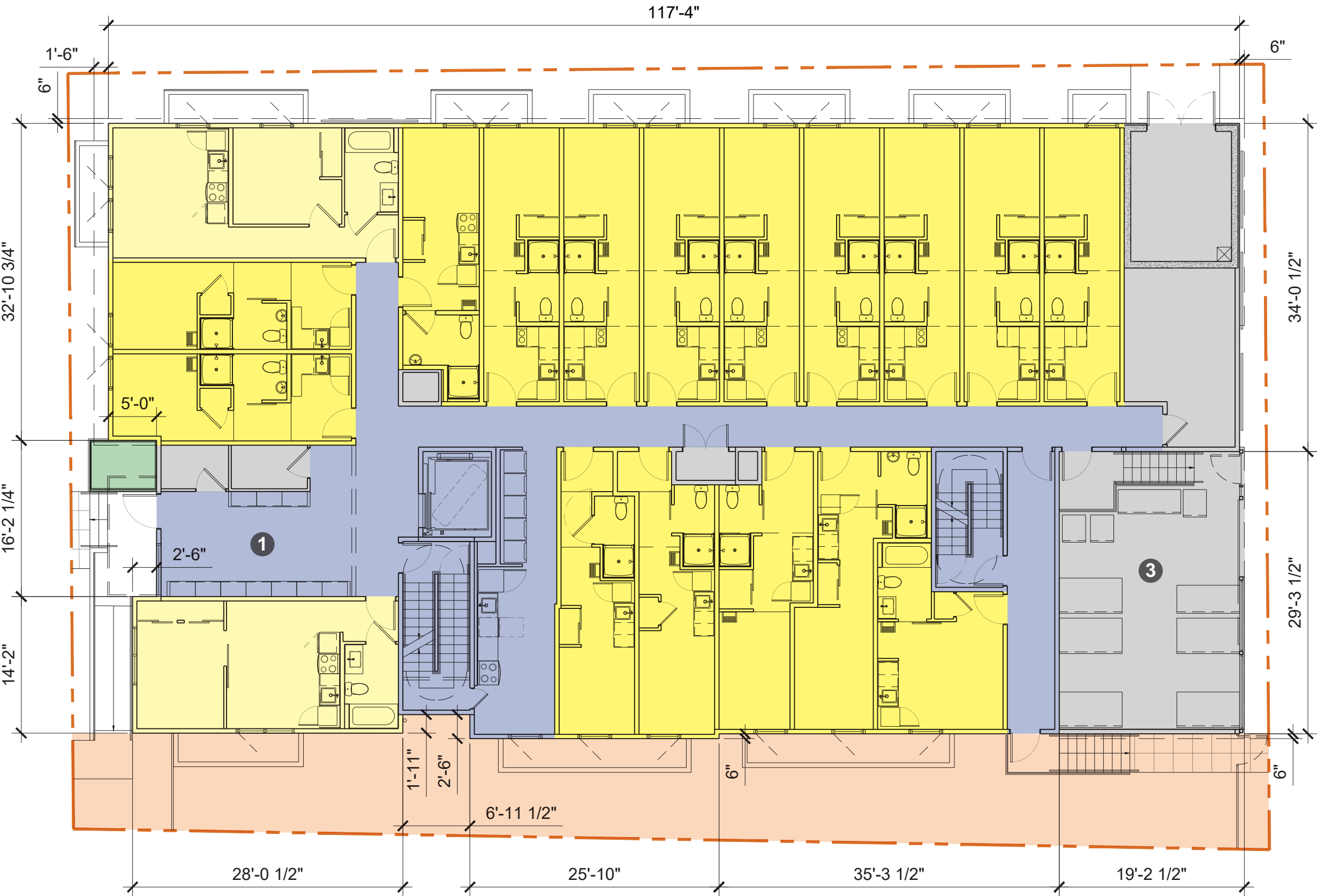


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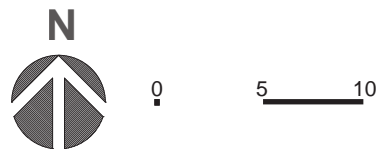
- COMMON / CIRCULATION
- RESIDENTIAL - DWELLING UNIT
- RESIDENTIAL - CONGREGATE UNIT
- SERVICE / STORAGE
- AMENITY
- LANDSCAPE / GREEN ROOF
- 1 LOBBY
- 2 BIKE PARKING
- 3 SOLID WASTE (EXTERIOR)
- 4 WINDOW WELL
- 5 COMMON ROOF DECK
- 6 UNOCCUPIED GREEN ROOF



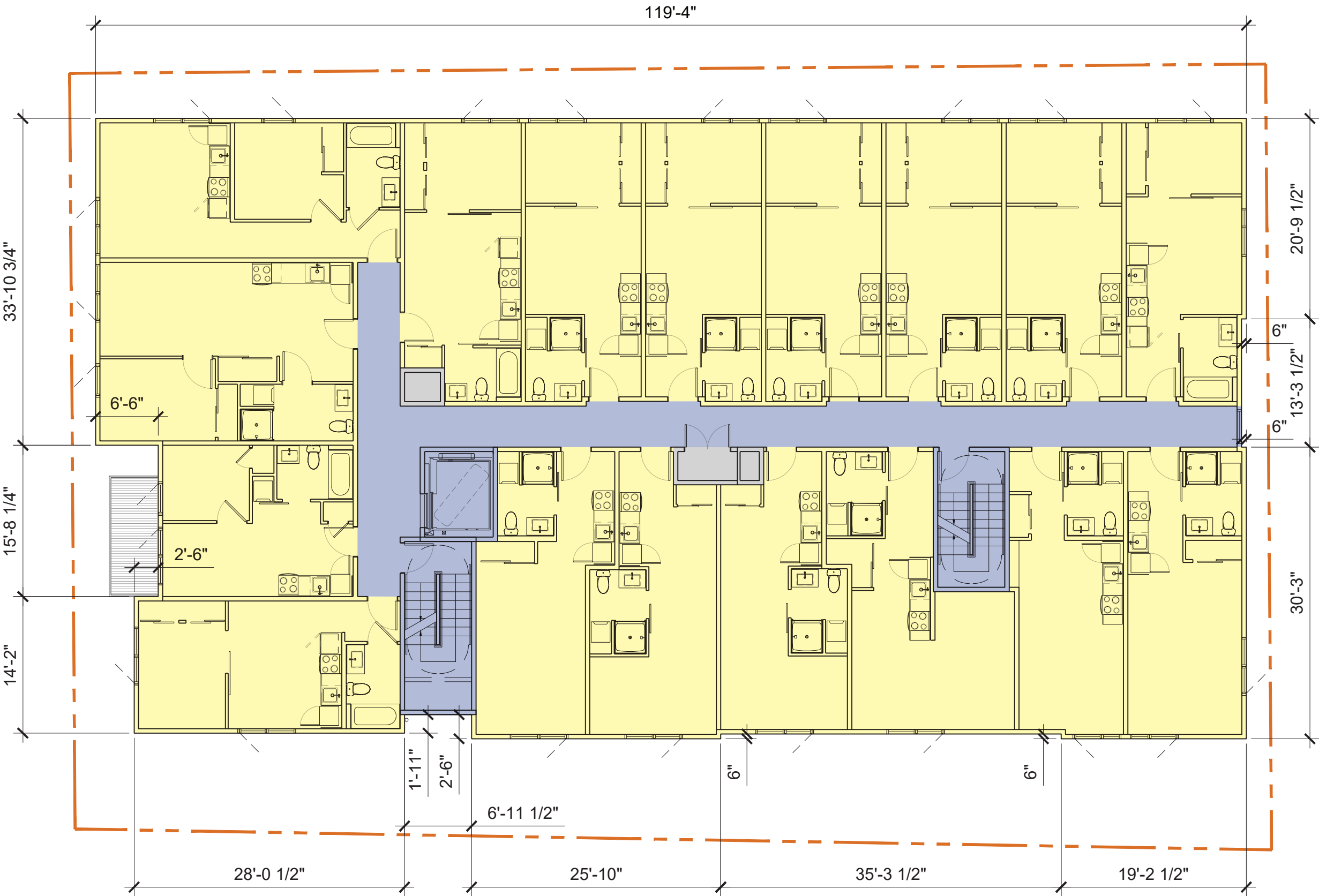
FLOOR PLANS | LEVEL 1



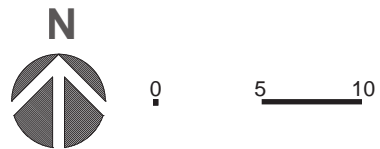
- KEY
- COMMON / CIRCULATION
 - RESIDENTIAL - DWELLING UNIT
 - RESIDENTIAL - CONGREGATE UNIT
 - SERVICE / STORAGE
 - AMENITY
 - LANDSCAPE / GREEN ROOF
 - 1 LOBBY
 - 2 BIKE PARKING
 - 3 SOLID WASTE (EXTERIOR)
 - 4 WINDOW WELL
 - 5 COMMON ROOF DECK
 - 6 UNOCCUPIED GREEN ROOF



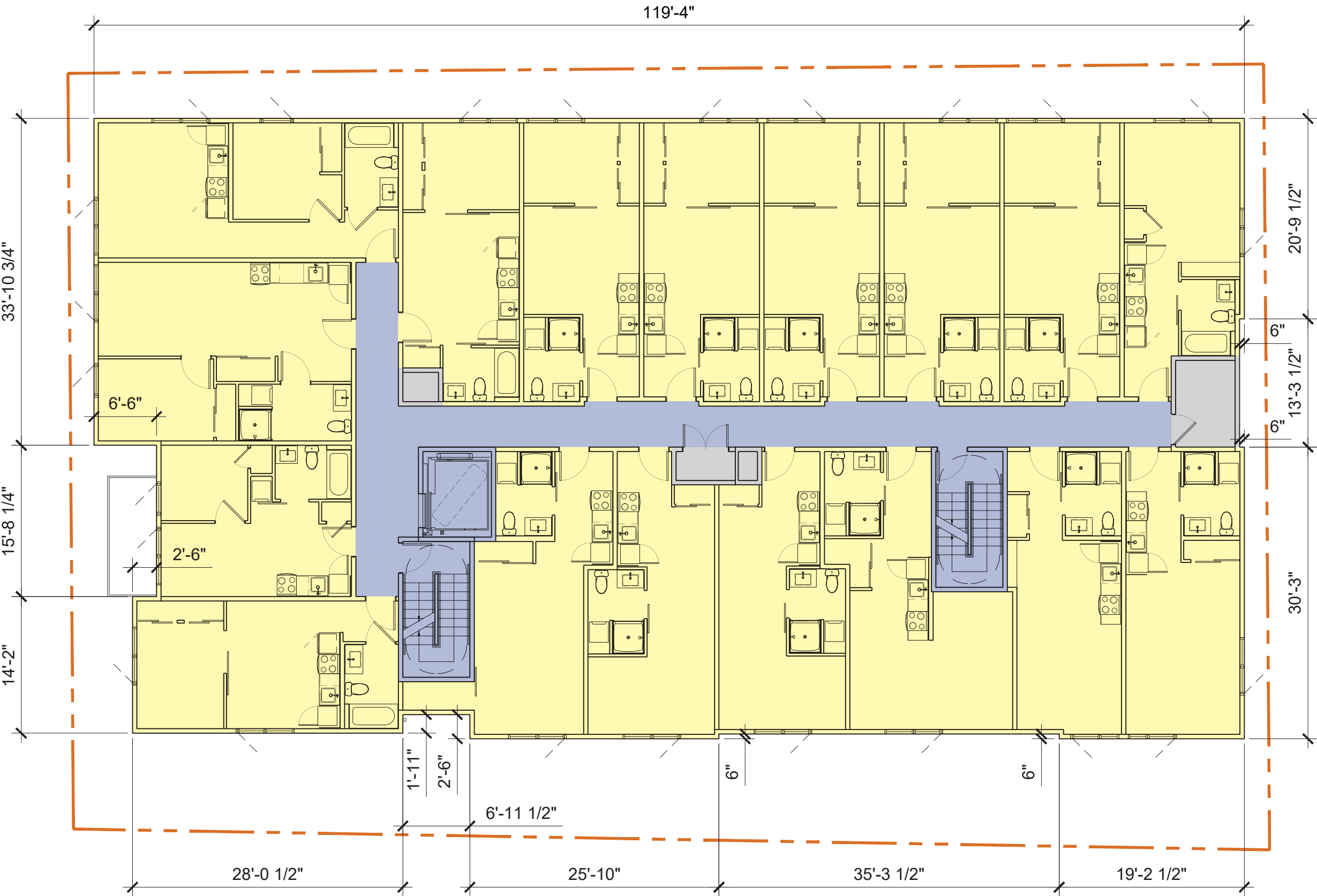
FLOOR PLANS | LEVEL 2



- KEY
- COMMON / CIRCULATION
 - RESIDENTIAL - DWELLING UNIT
 - RESIDENTIAL - CONGREGATE UNIT
 - SERVICE / STORAGE
 - AMENITY
 - LANDSCAPE / GREEN ROOF
 - 1 LOBBY
 - 2 BIKE PARKING
 - 3 SOLID WASTE (EXTERIOR)
 - 4 WINDOW WELL
 - 5 COMMON ROOF DECK
 - 6 UNOCCUPIED GREEN ROOF

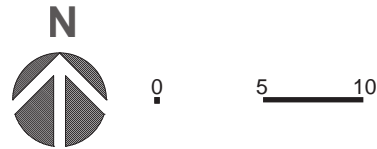


FLOOR PLANS | LEVEL 3

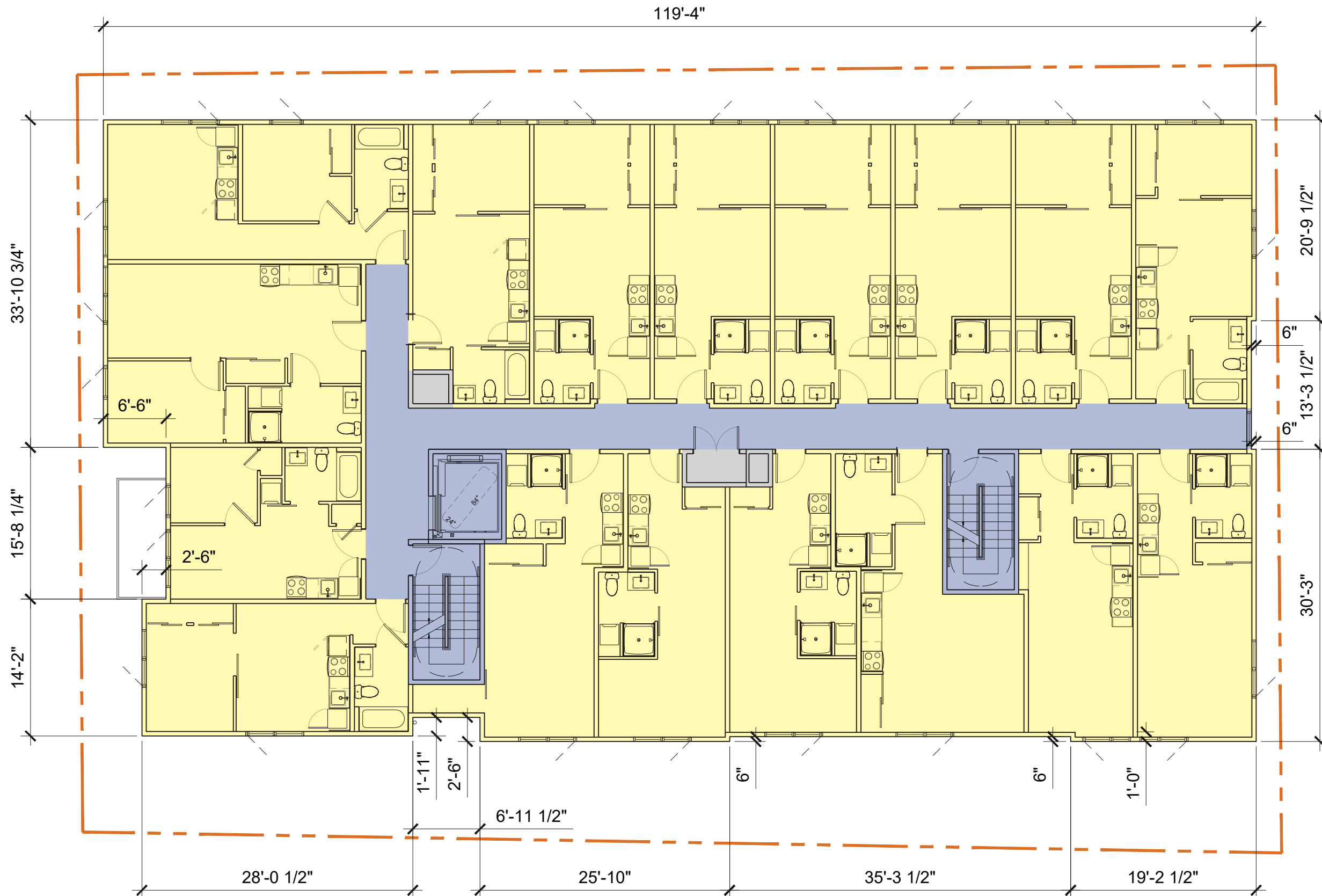


KEY













- COMMON / CIRCULATION
- RESIDENTIAL - DWELLING UNIT
- RESIDENTIAL - CONGREGATE UNIT
- SERVICE / STORAGE
- AMENITY
- LANDSCAPE / GREEN ROOF
- 1 LOBBY
- 2 BIKE PARKING
- 3 SOLID WASTE (EXTERIOR)
- 4 WINDOW WELL
- 5 COMMON ROOF DECK
- 6 UNOCCUPIED GREEN ROOF



FLOOR PLANS | LEVEL 4

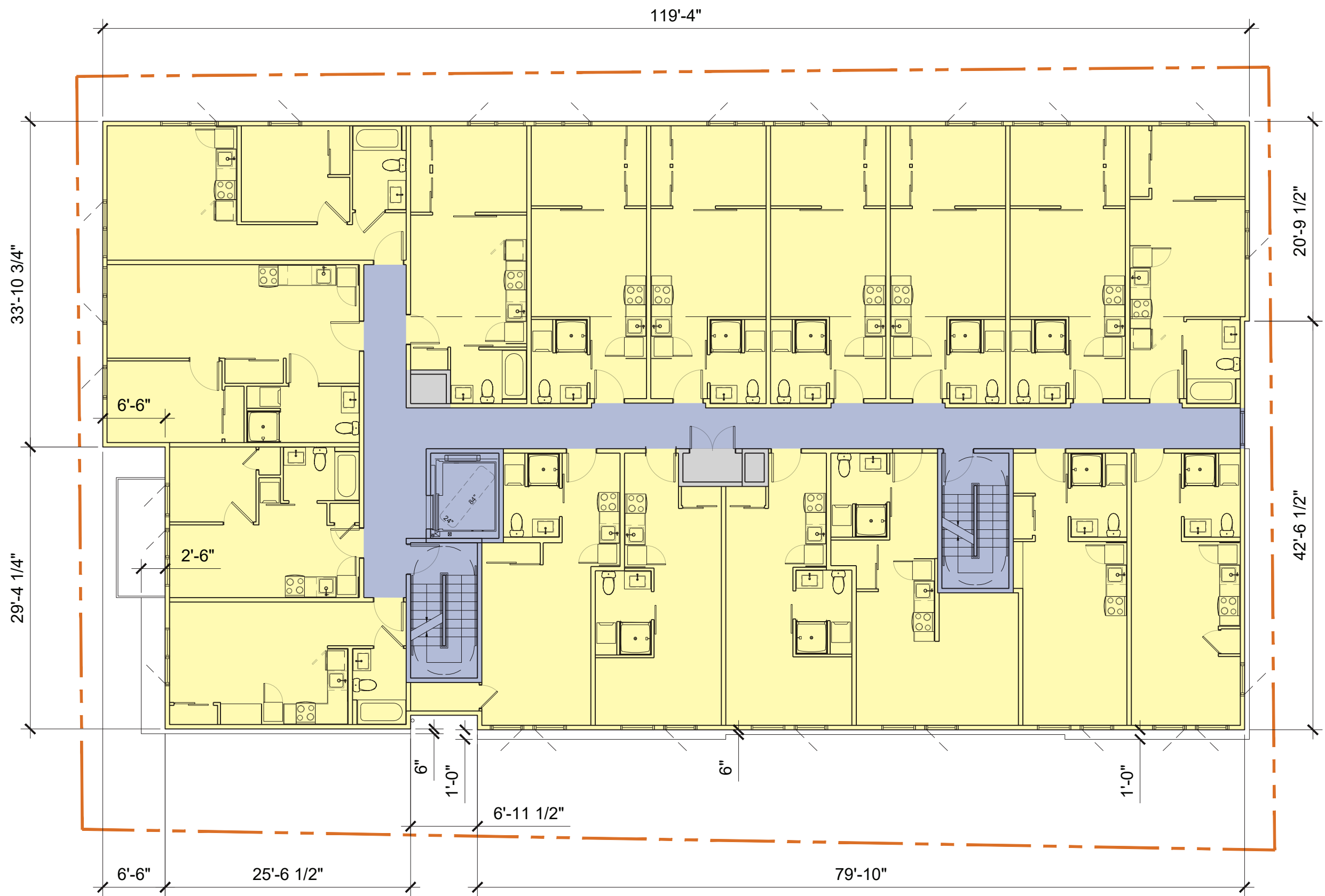


KEY

-  COMMON / CIRCULATION
 -  RESIDENTIAL - DWELLING UNIT
 -  RESIDENTIAL - CONGREGATE UNIT
 -  SERVICE / STORAGE
 -  AMENITY
 -  LANDSCAPE / GREEN ROOF
 -  LOBBY
 -  BIKE PARKING
 -  SOLID WASTE (EXTERIOR)
 -  WINDOW WELL
 -  COMMON ROOF DECK
 -  UNOCCUPIED GREEN ROOF

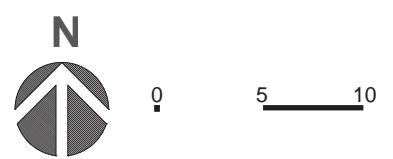


FLOOR PLANS | LEVEL 5

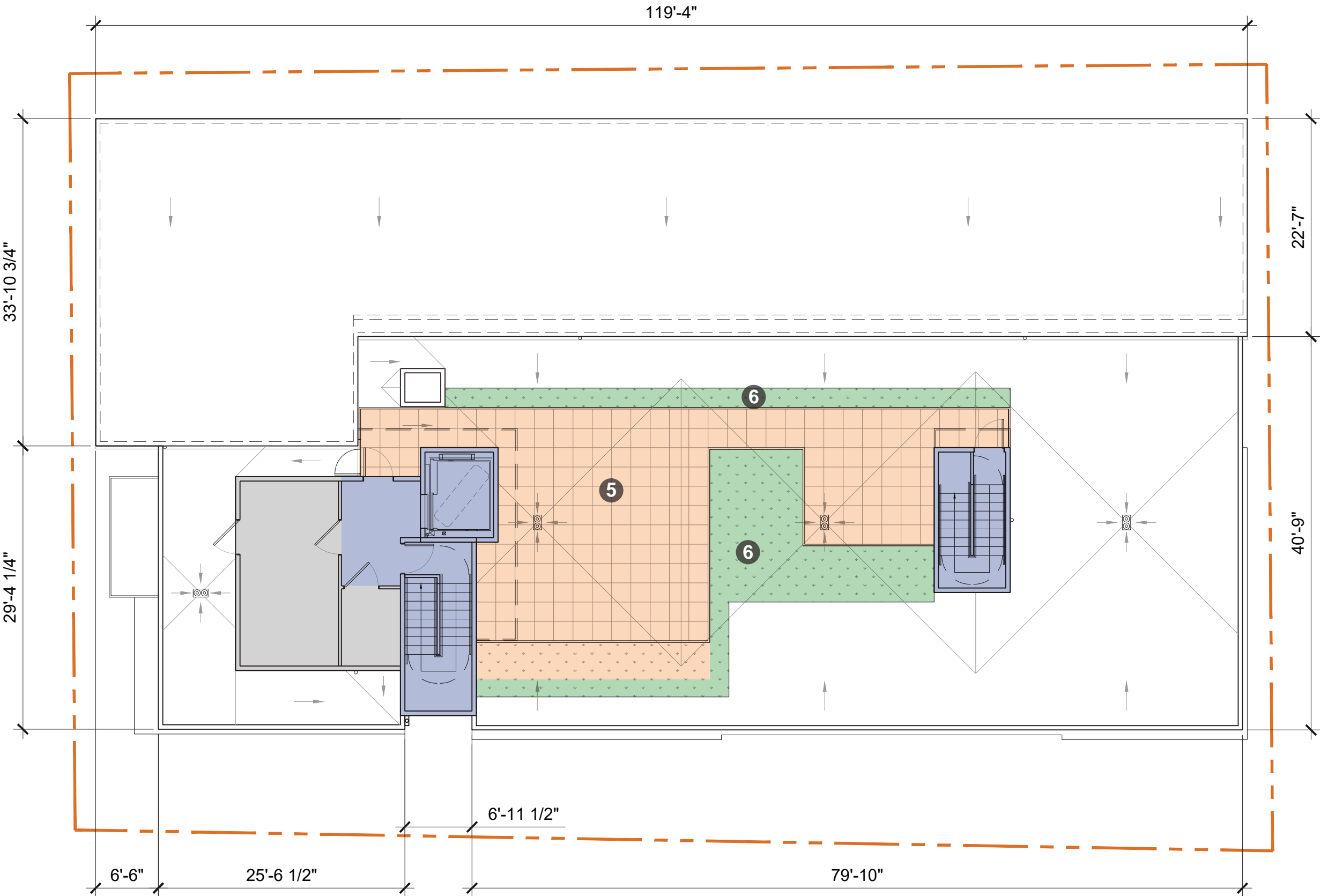


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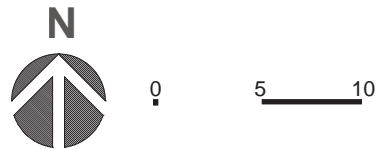
- COMMON / CIRCULATION
- RESIDENTIAL - DWELLING UNIT
- RESIDENTIAL - CONGREGATE UNIT
- SERVICE / STORAGE
- AMENITY
- LANDSCAPE / GREEN ROOF
- 1 LOBBY
- 2 BIKE PARKING
- 3 SOLID WASTE (EXTERIOR)
- 4 WINDOW WELL
- 5 COMMON ROOF DECK
- 6 UNOCCUPIED GREEN ROOF



FLOOR PLANS | ROOF LEVEL



- KEY
- COMMON / CIRCULATION
 - RESIDENTIAL - DWELLING UNIT
 - RESIDENTIAL - CONGREGATE UNIT
 - SERVICE / STORAGE
 - AMENITY
 - LANDSCAPE / GREEN ROOF
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 - 2 BIKE PARKING
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 - 4 WINDOW WELL
 - 5 COMMON ROOF DECK
 - 6 UNOCCUPIED GREEN ROOF



EXTERIOR ELEVATIONS | WEST



EXTERIOR FINISH KEY

- | | | |
|--|--|---|
| 1 6" LAP SIDING STAINED, WOOD TONE | 6 WOOD SOFFIT MATCH 6" LAP SIDING | 11 METAL TRIM / FLASHING / COPING BLACK |
| 2 FIBER CEMENT PANEL SIDING KENDALL CHARCOAL | 7 FIBER CEMENT SOFFIT MATCH METAL STANDING SEAM | 12 VINYL WINDOWS BLACK |
| 3 FIBER CEMENT PANEL SIDING BLACK | 8 METAL ACCENT / RAILINGS BLACK | 13 STOREFRONT ANODIZED BLACK |
| 4 METAL PANEL VERTICAL AEP SPAN STAND. SEAM, PARCHMENT | 9 METAL SCREENS BLACK | |
| 5 CAST IN PLACE CONCRETE NATURAL, SEALED | 10 METAL TRIM / FLASHING / COPING MATCH ADJ. FIELD | |

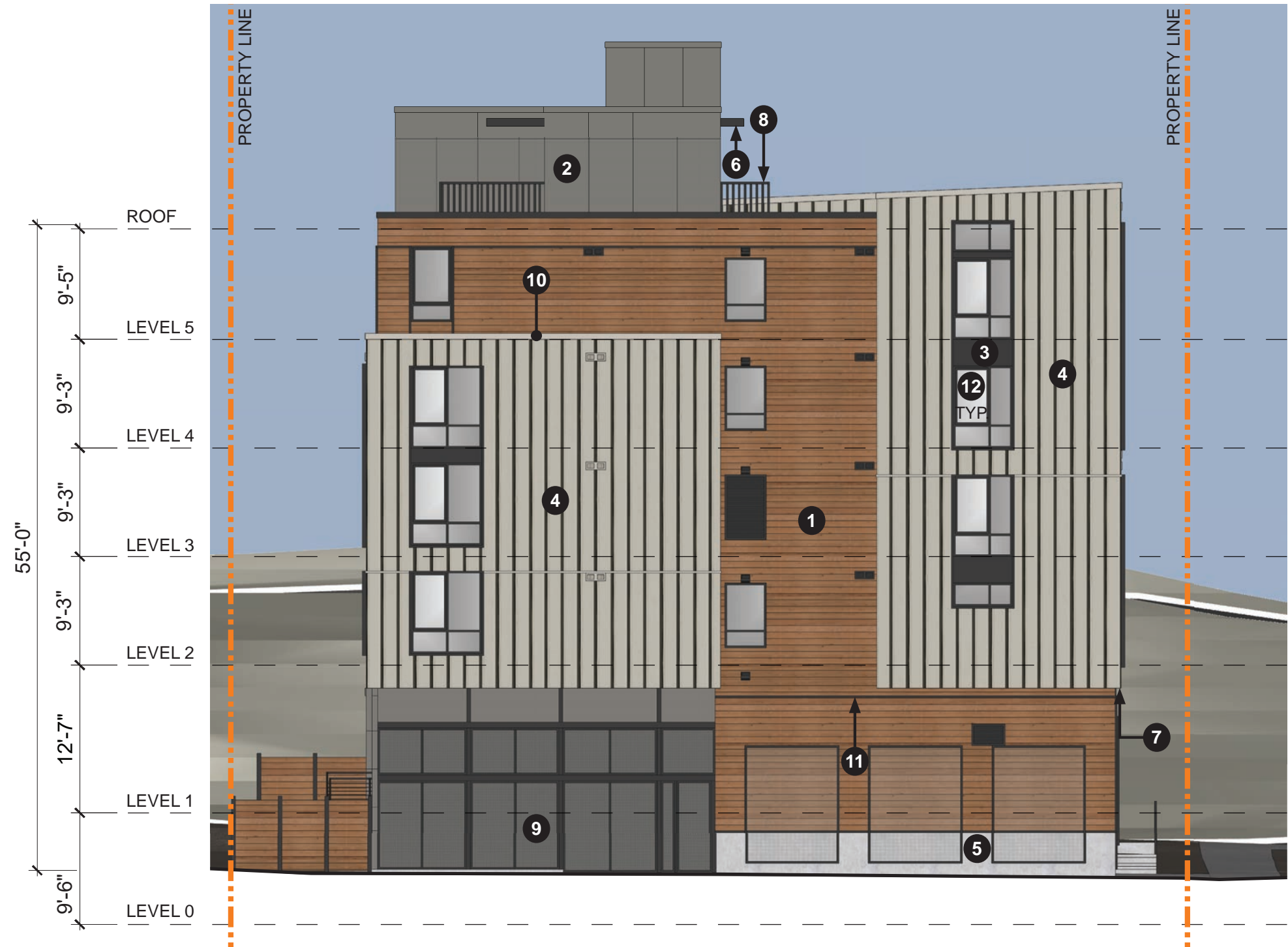
EXTERIOR ELEVATIONS | NORTH



EXTERIOR FINISH KEY

- | | | |
|--|--|---|
| 1 6" LAP SIDING STAINED, WOOD TONE | 6 WOOD SOFFIT MATCH 6" LAP SIDING | 11 METAL TRIM / FLASHING / COPING BLACK |
| 2 FIBER CEMENT PANEL SIDING KENDALL CHARCOAL | 7 FIBER CEMENT SOFFIT MATCH METAL STANDING SEAM | 12 VINYL WINDOWS BLACK |
| 3 FIBER CEMENT PANEL SIDING BLACK | 8 METAL ACCENT / RAILINGS BLACK | 13 STOREFRONT ANODIZED BLACK |
| 4 METAL PANEL VERTICAL AEP SPAN STAND. SEAM, PARCHMENT | 9 METAL SCREENS BLACK | |
| 5 CAST IN PLACE CONCRETE NATURAL, SEALED | 10 METAL TRIM / FLASHING / COPING MATCH ADJ. FIELD | |

EXTERIOR ELEVATIONS | EAST



EXTERIOR FINISH KEY

1

6" LAP SIDING | STAINED, WOOD TONE

2

FIBER CEMENT PANEL SIDING | KENDALL CHARCOAL

3

FIBER CEMENT PANEL SIDING | BLACK

4

METAL PANEL VERTICAL | AEP SPAN STAND. SEAM, PARCHMENT

5

CAST IN PLACE CONCRETE | NATURAL, SEALED

6

WOOD SOFFIT | MATCH 6" LAP SIDING

7

FIBER CEMENT SOFFIT | MATCH METAL STANDING SEAM

8

METAL ACCENT / RAILINGS | BLACK

9

METAL SCREENS | BLACK

10

METAL TRIM / FLASHING / COPING | MATCH ADJ. FIELD

11

METAL TRIM / FLASHING / COPING | BLACK

12

VINYL WINDOWS | BLACK

13

STOREFRONT | ANODIZED BLACK

EXTERIOR ELEVATIONS | SOUTH



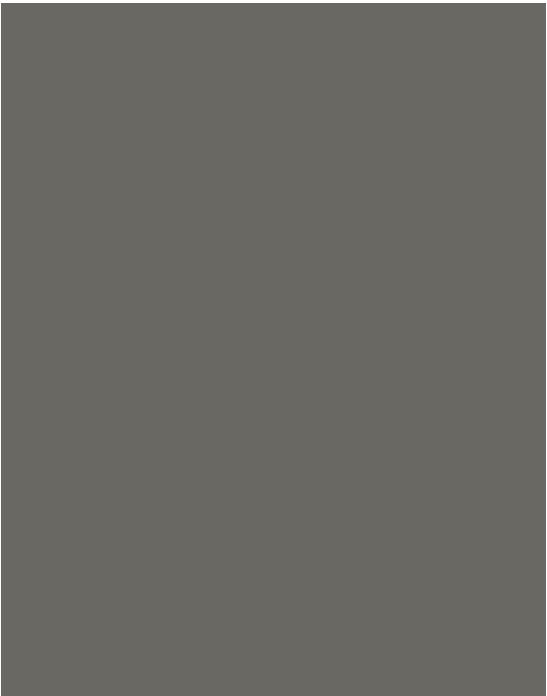
EXTERIOR FINISH KEY

- | | | |
|--|--|---|
| 1 6" LAP SIDING STAINED, WOOD TONE | 6 WOOD SOFFIT MATCH 6" LAP SIDING | 11 METAL TRIM / FLASHING / COPING BLACK |
| 2 FIBER CEMENT PANEL SIDING KENDALL CHARCOAL | 7 FIBER CEMENT SOFFIT MATCH METAL STANDING SEAM | 12 VINYL WINDOWS BLACK |
| 3 FIBER CEMENT PANEL SIDING BLACK | 8 METAL ACCENT / RAILINGS BLACK | 13 STOREFRONT ANODIZED BLACK |
| 4 METAL PANEL VERTICAL AEP SPAN STAND. SEAM, PARCHMENT | 9 METAL SCREENS BLACK | |
| 5 CAST IN PLACE CONCRETE NATURAL, SEALED | 10 METAL TRIM / FLASHING / COPING MATCH ADJ. FIELD | |

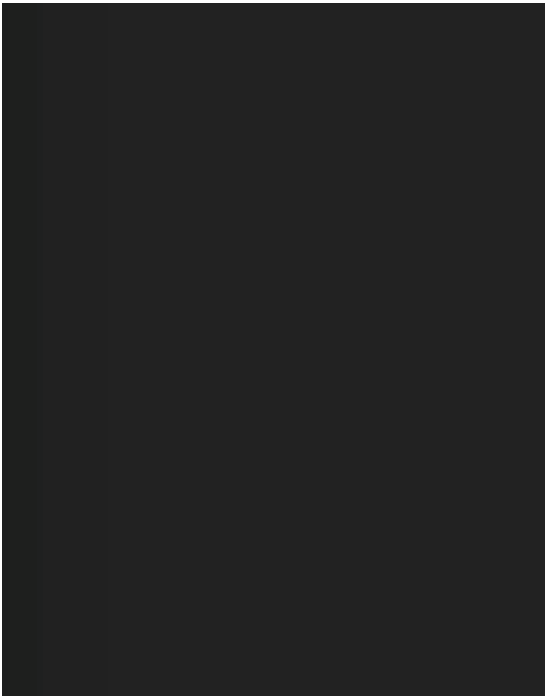
MATERIALS



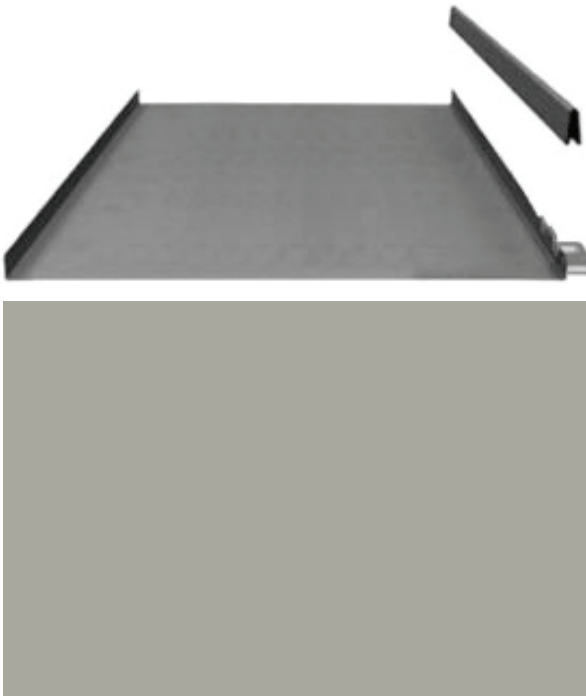
1 MAIN FIELD | WOOD TONE
6" FIBER CEMENT LAP SIDING, STAINED



2 SECOND FIELD | KENDALL CHARCOAL
FIBER CEMENT PANEL



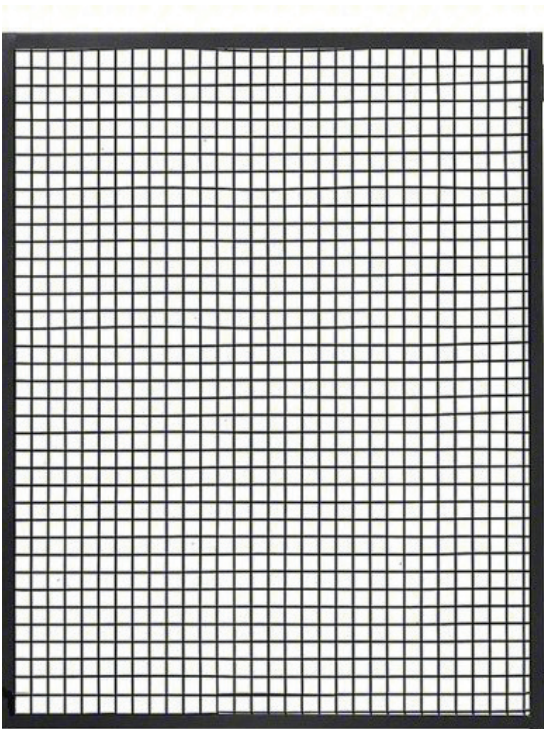
3 THIRD FIELD | BLACK
FIBER CEMENT PANEL



4 MAIN FIELD | PARCHMENT
AEP SPAN SELECT SEAM NARROW BATTEN 16", 22 GA



5 SITE WALLS | NATURAL SEALED
CAST IN PLACE CONCRETE

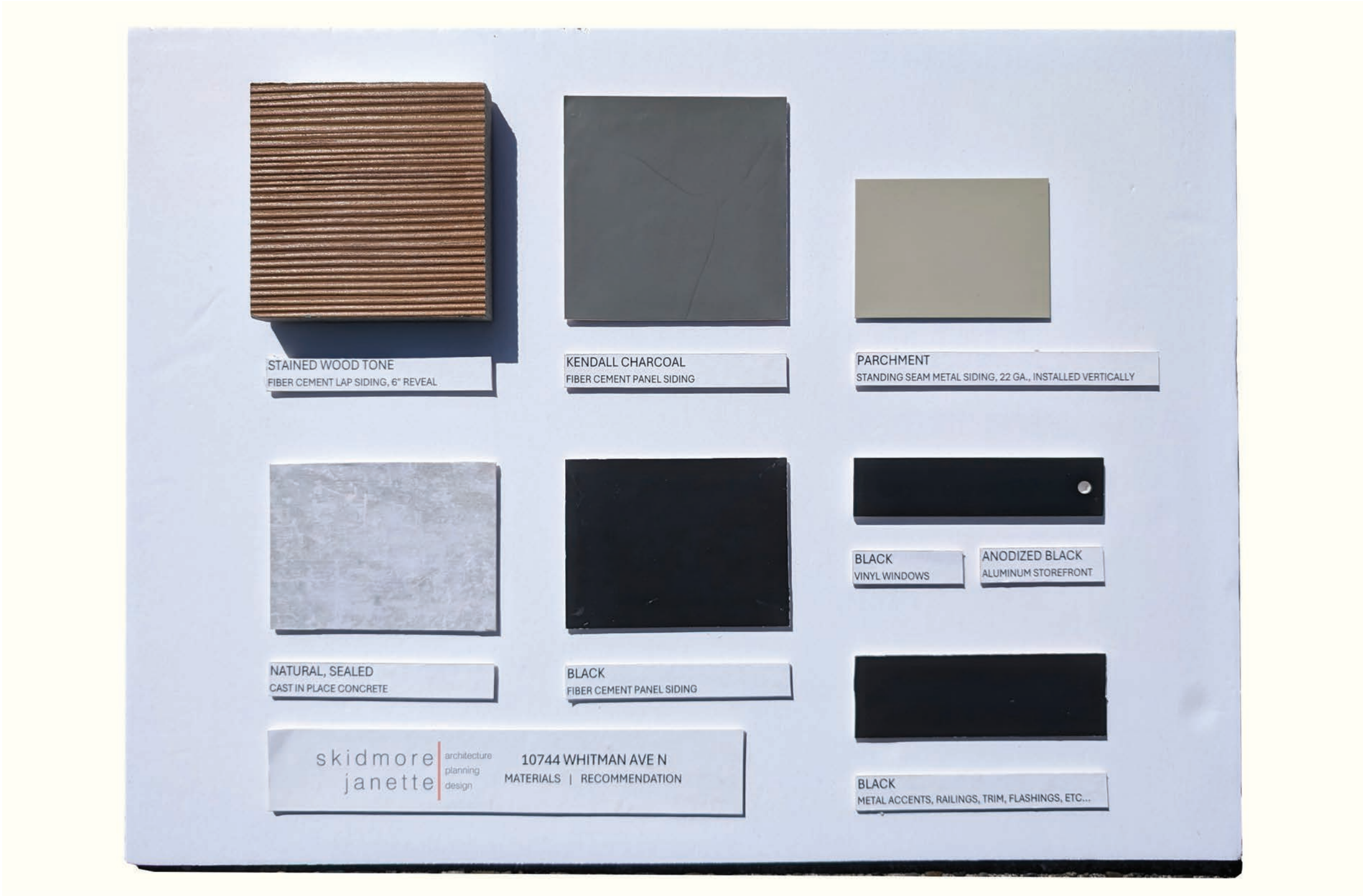


9 SCREEN | BLACK
METAL

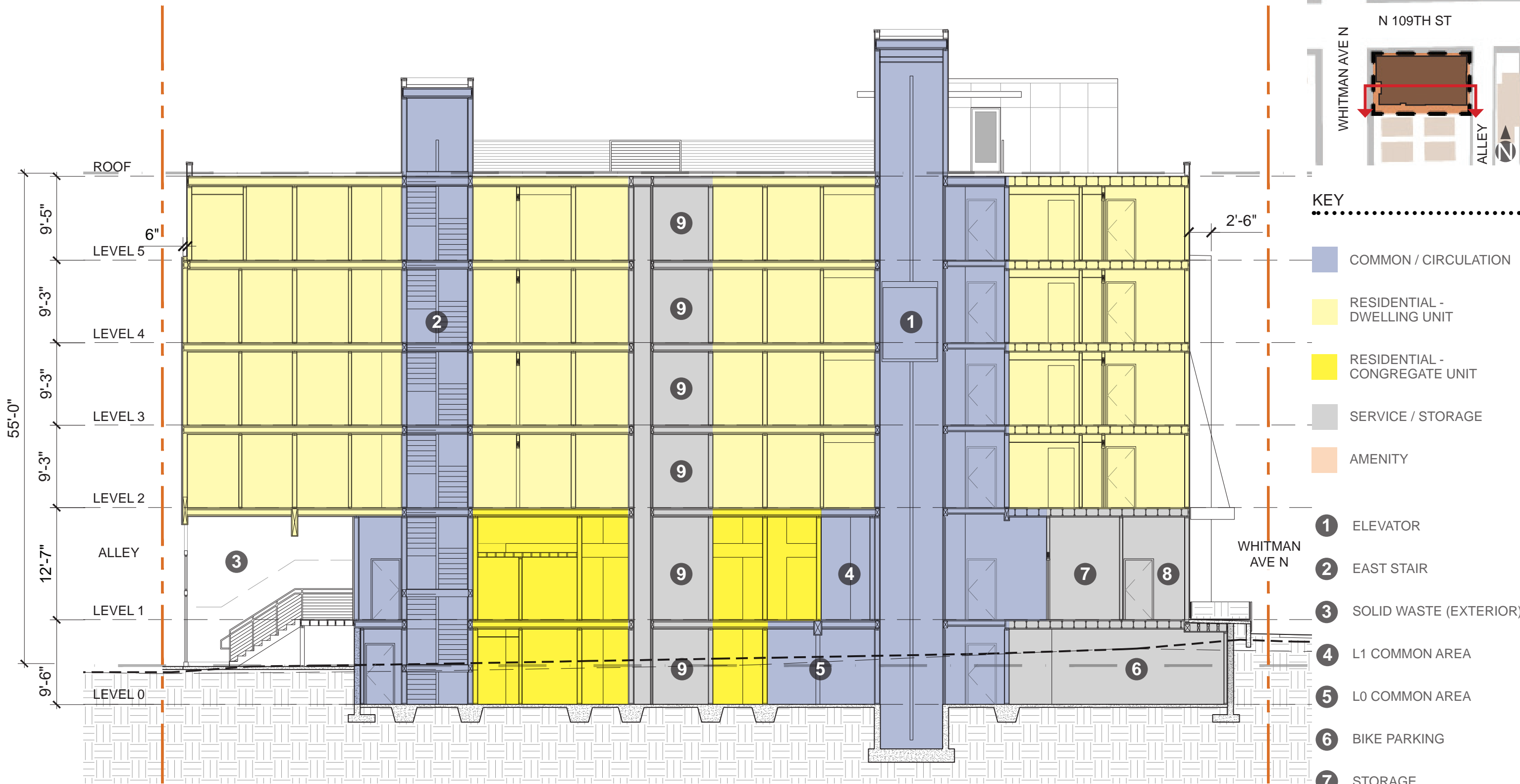


12 WINDOWS | BLACK
VINYL

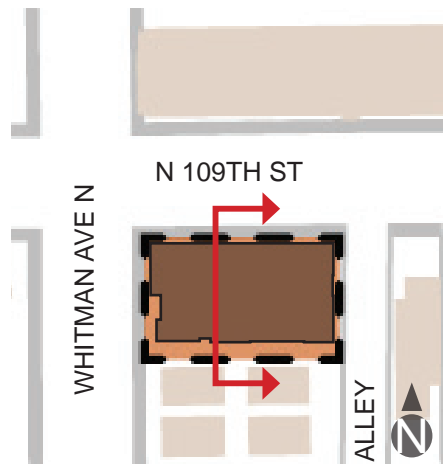
The proposed material palette is simple, emphasizing textures and tones reflecting the natural environment. The distribution of the materials mirror the overall massing and design partii, with the wood tone siding (1) at street level along the north facade adjacent to the pedestrian realm, before transitioning to the top level setback along the south facade. This horizontal, wood-tone siding adds a human-scale element and texture is located at the most tactile areas of the facade. The majority of the facade consists of vertical metal siding in a neutral tone (4) with contrasting black windows (12), infill panels (3) and trim. The medium tone fiber cement (2) is limited in use to only the penthouses and south, non-street facing facade.



BUILDING SECTION | EAST / WEST



BUILDING SECTION | NORTH / SOUTH



KEY

- COMMON / CIRCULATION
- RESIDENTIAL - DWELLING UNIT
- RESIDENTIAL - CONGREGATE UNIT
- SERVICE / STORAGE
- AMENITY

- 1 ELEVATOR
- 2 EAST STAIR
- 3 SOLID WASTE (EXTERIOR)
- 4 L1 COMMON AREA
- 5 L0 COMMON AREA
- 6 BIKE PARKING
- 7 STORAGE
- 8 SPRINKLER ROOM
- 9 LV CLOSET

STREET VIEWS



CORNER OF WHITMAN AVE N & N 109TH STREET



WHITMAN AVE N FRONTAGE



N 109TH STREET FRONTAGE & ALLEY

AERIALS



LOOKING NORTHEAST



LOOKING SOUTHEAST



LOOKING SOUTHEAST



LOOKING SOUTHWEST

STREETSCAPE / ENTRY



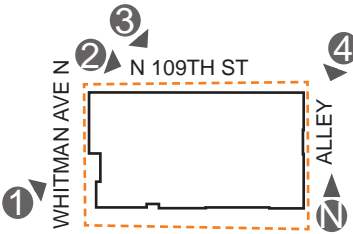
1
PRIMARY ENTRY ON WHITMAN



2
STREETSCAPE ALONG N 109TH STREET



3
NORTH BUILDING FACADE AND N 109TH STREET FRONTAGE

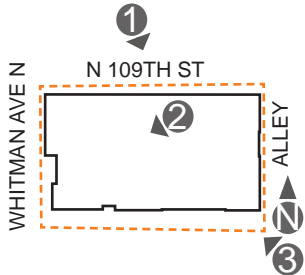


4
ALLEY FRONTAGE AND SERVICE AREA

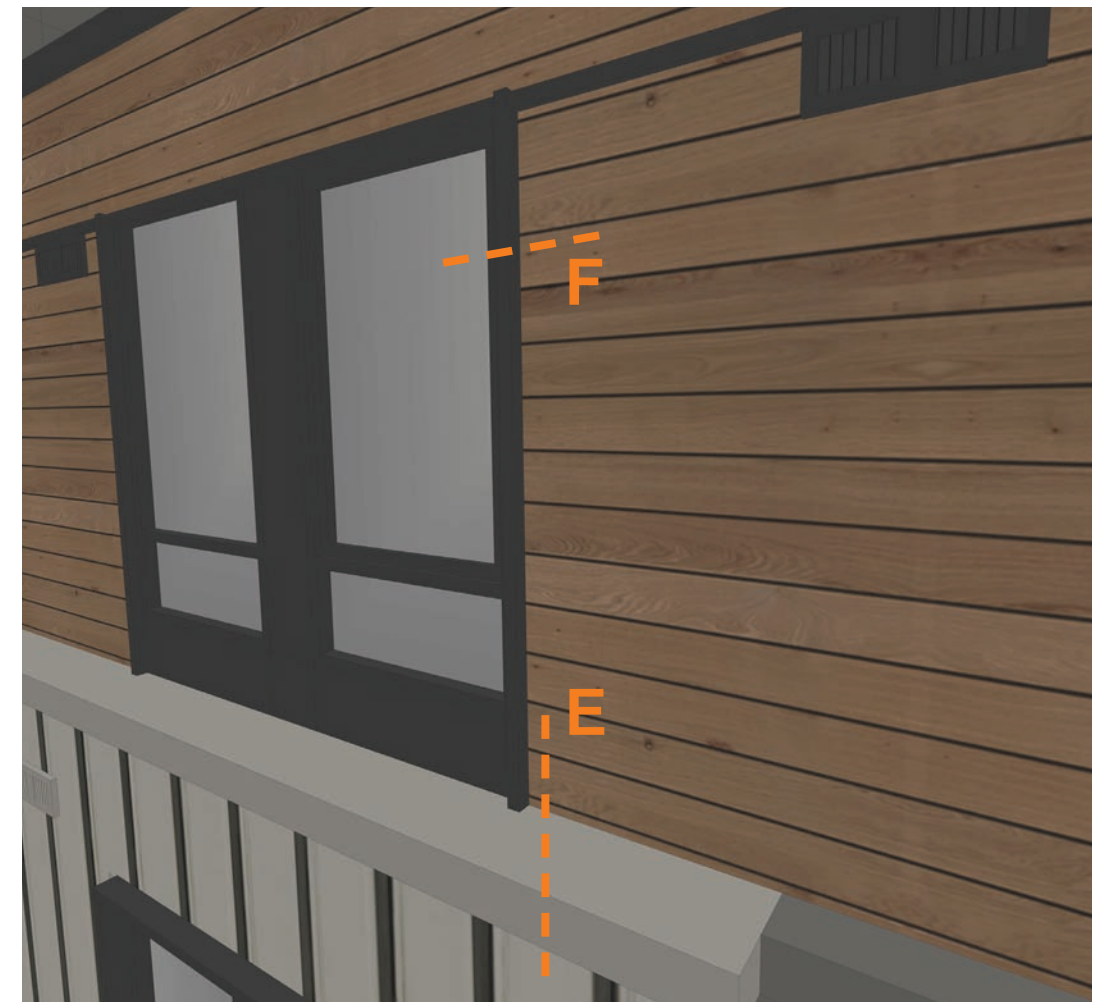
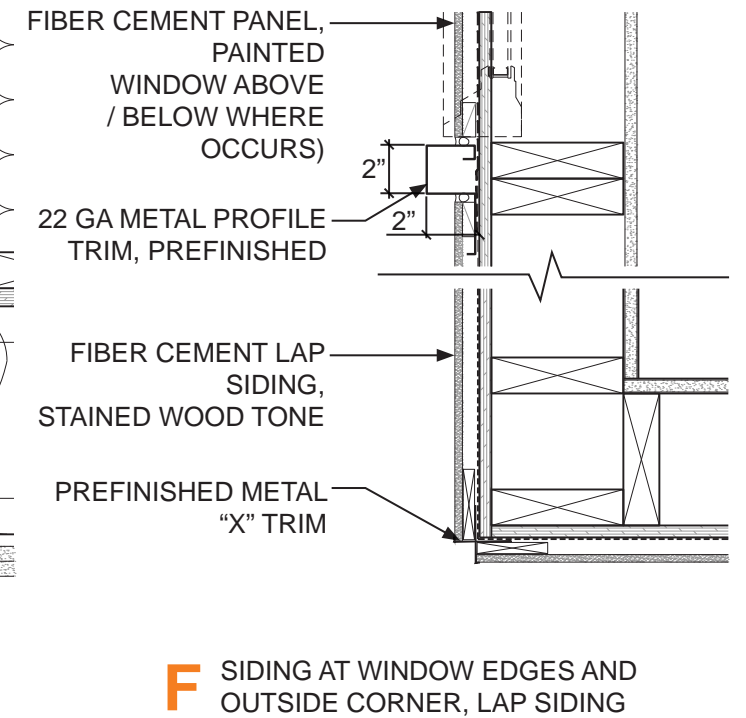
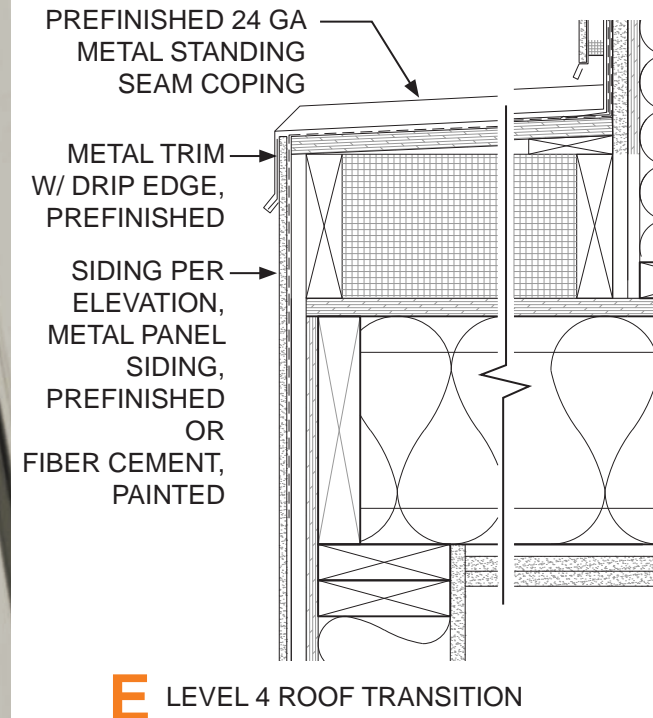
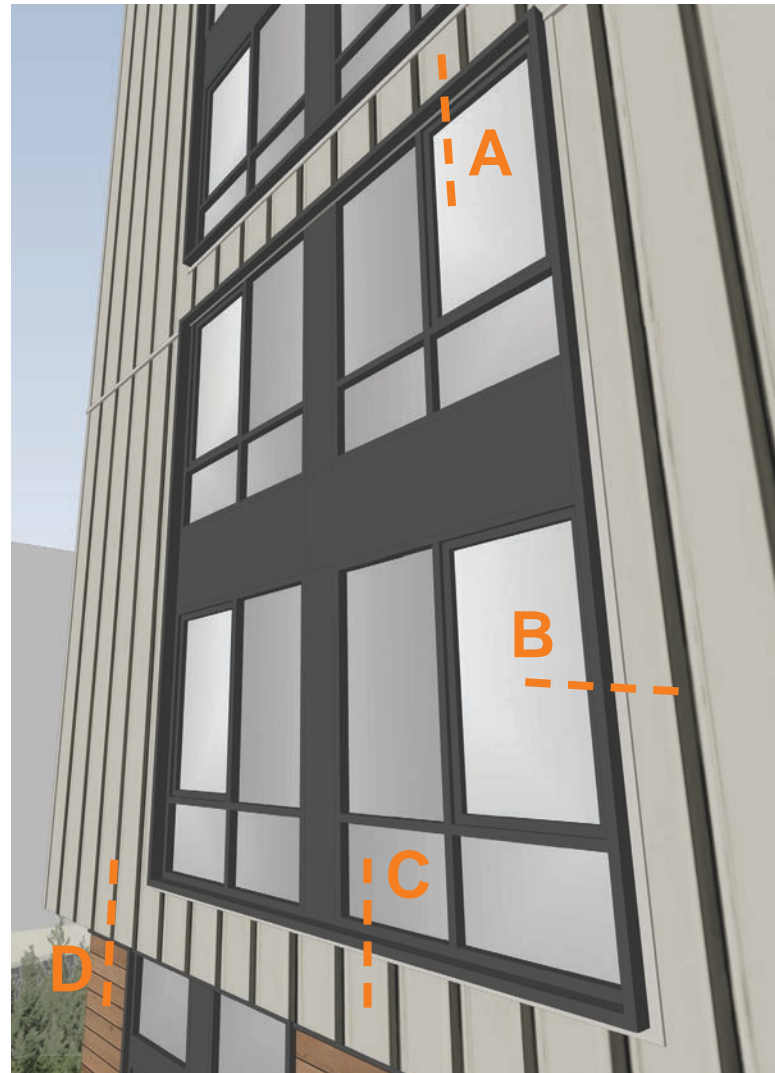
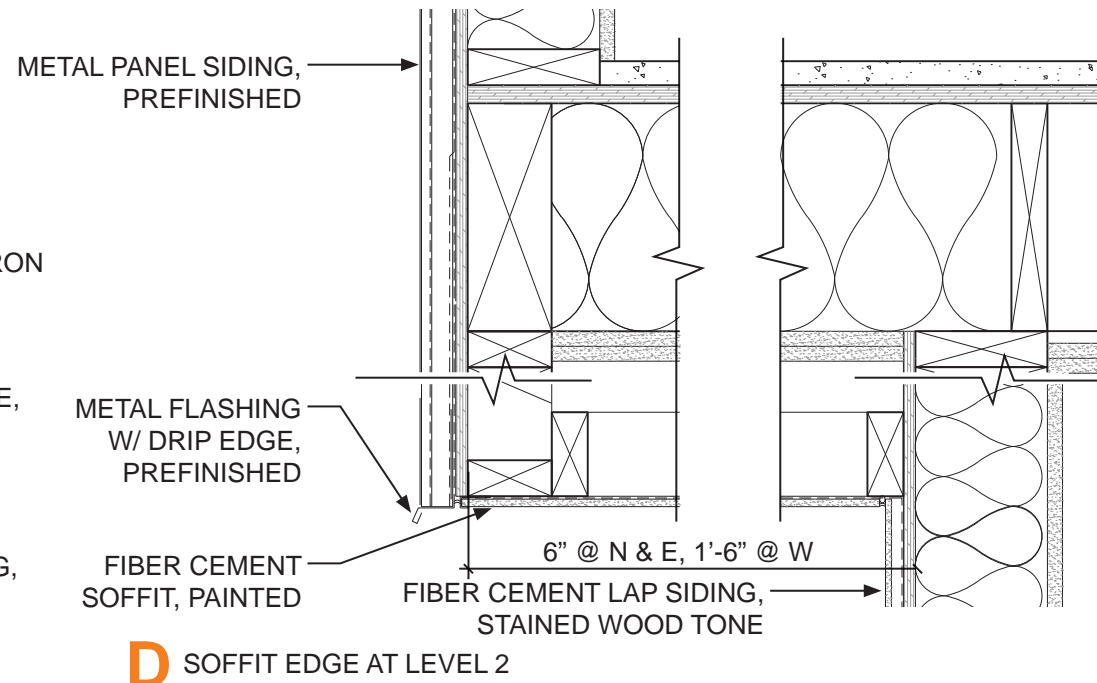
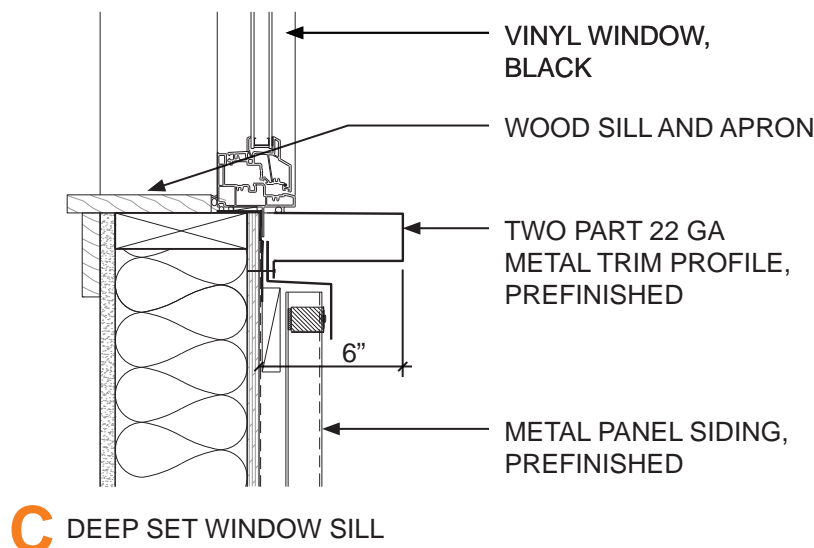
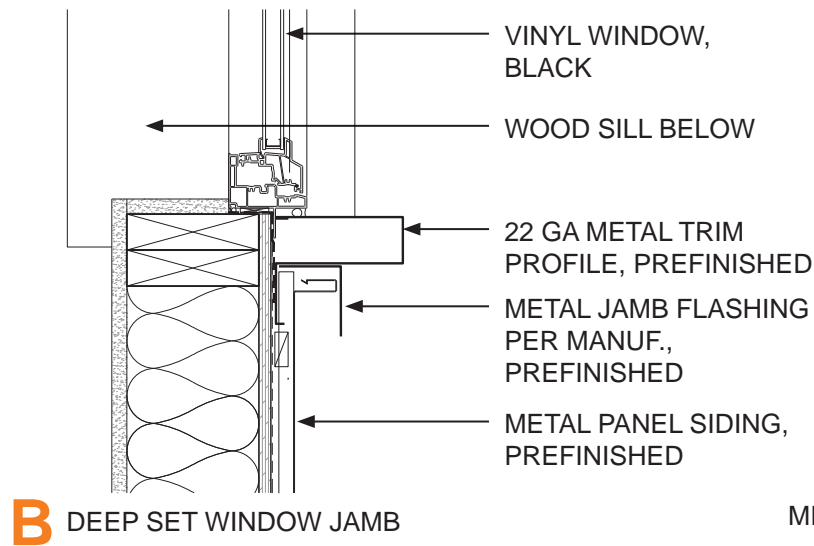
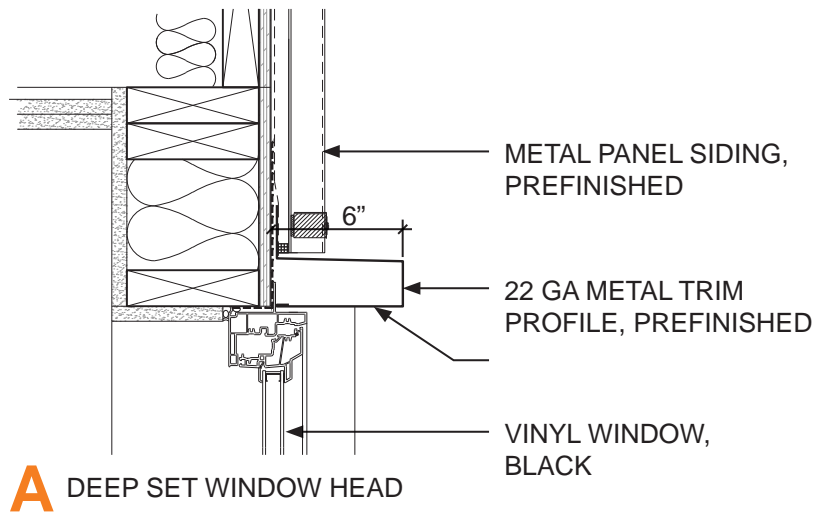
ROOFTOP AMENITY SPACE

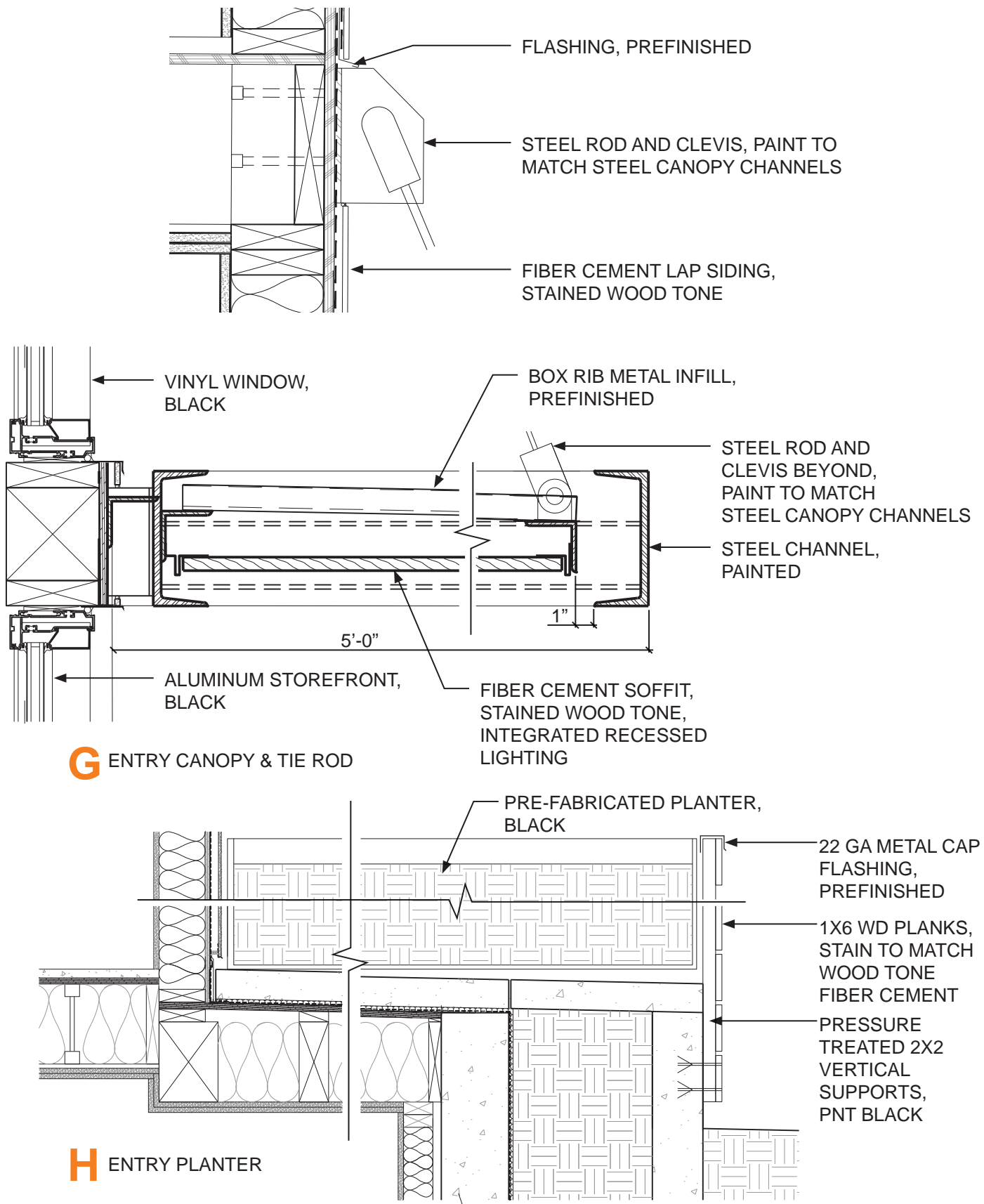


OVERALL



ARCHITECTURAL DETAILS





LIGHTING

The proposed lighting is minimalist, striking a balance between two priorities:
1) Providing sufficient light for safety at the pedestrian realm along both street frontages
2) Minimizing light impact on adjacent neighbors, both at the ground level and roof deck.

All provided lighting is downward facing in order to minimize light spill onto neighboring properties or into the night sky.

PROPOSED FIXTURES

WALL SCONCE | BLACK

MANUFACTURER:
DWELED

DIMENSIONS: 5" W X 12" H

LOCATION(S):
LEVEL 1, STREET
FRONTAGES

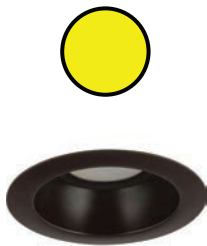


DOWNLIGHT | BLACK

MANUFACTURER:
HINKLEY LIGHTING

DIMENSIONS: 8.0" W X 3.25" H

LOCATION: CANOPIES AT L1
ENTRY & ROOF DECK



WALL SCONCE | BLACK

MANUFACTURER:
DWELED

DIMENSIONS: 5" W X 6" H

LOCATION(S):
SERVICE / EGRESS DOORS

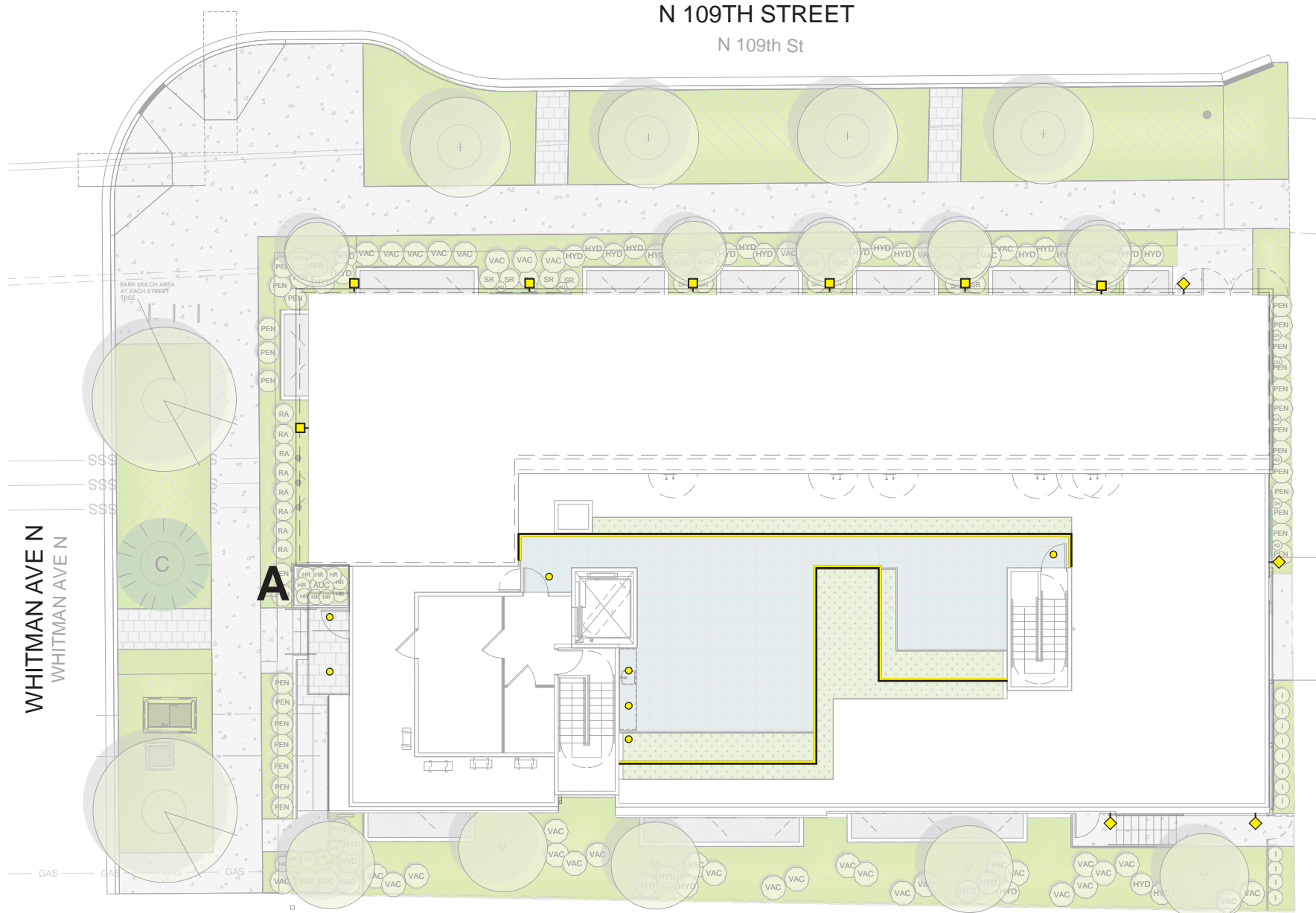
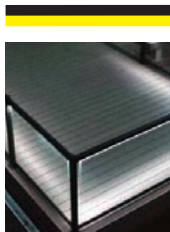


RAILING LIGHTING

MANUFACTURER:
TBD / CUSTOM

LOCATION : ROOF DECK

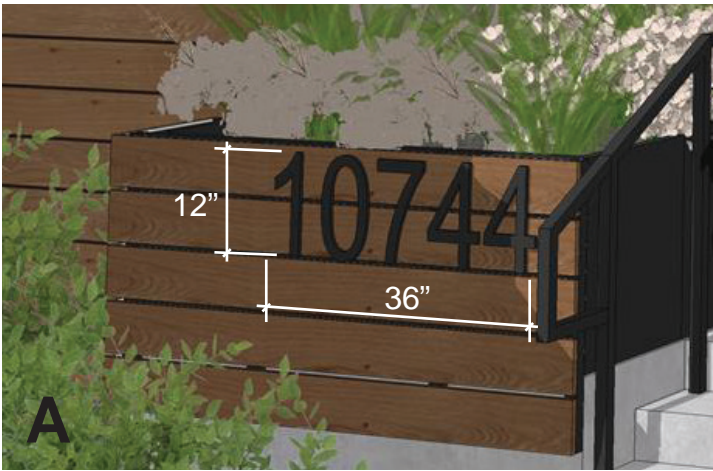
SHROUDED TO DIRECT LIGHT
DOWNWARD, ONTO DECK AND
AWAY FROM SKY AND
ADJACENT PROPERTIES



COMPOSITE SITE / ROOF PLAN

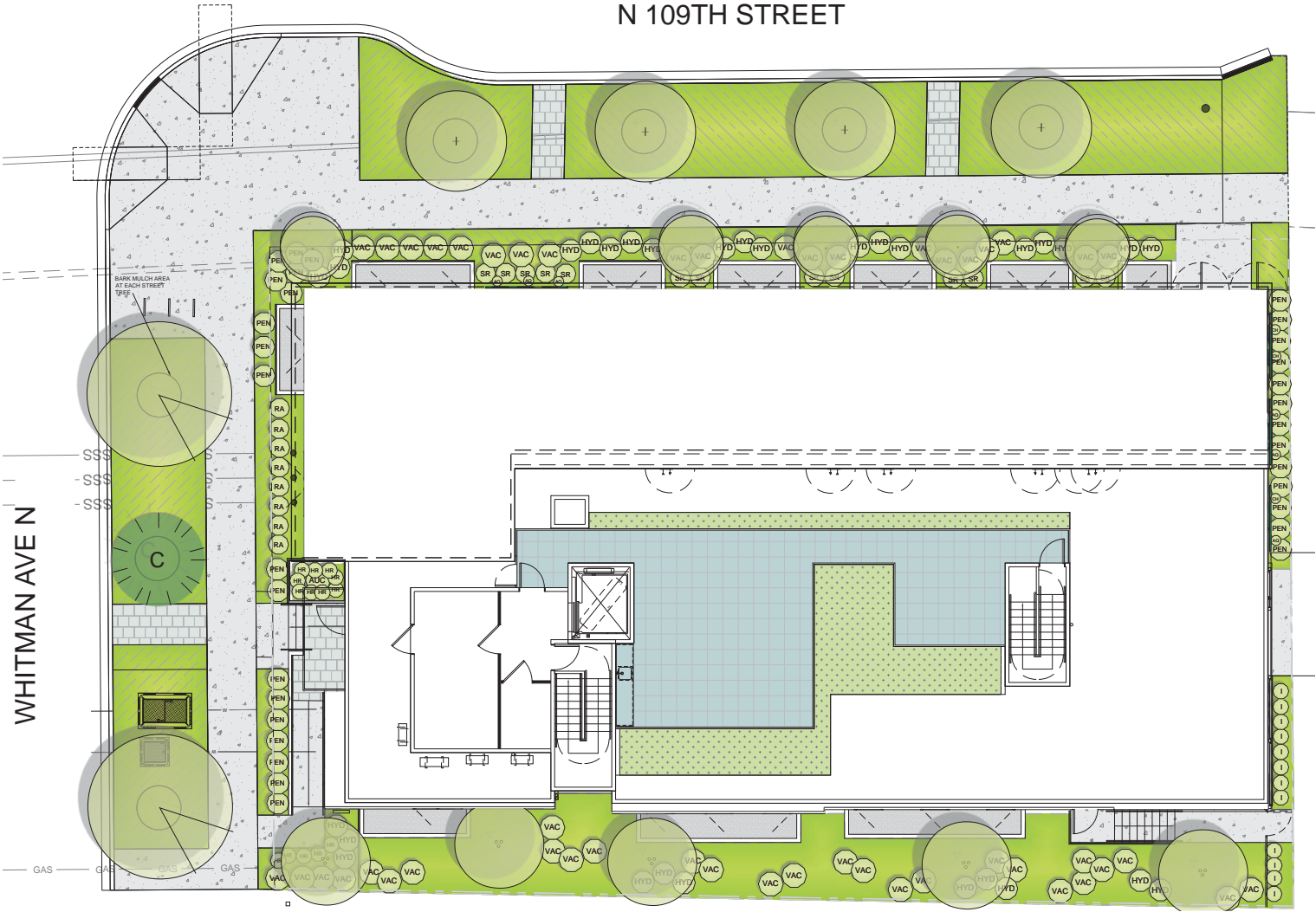
SIGNAGE

The proposed signage is tasteful and appropriate for a residential building of this scale, with address numbers integrated into the planter adjacent to the main entry.



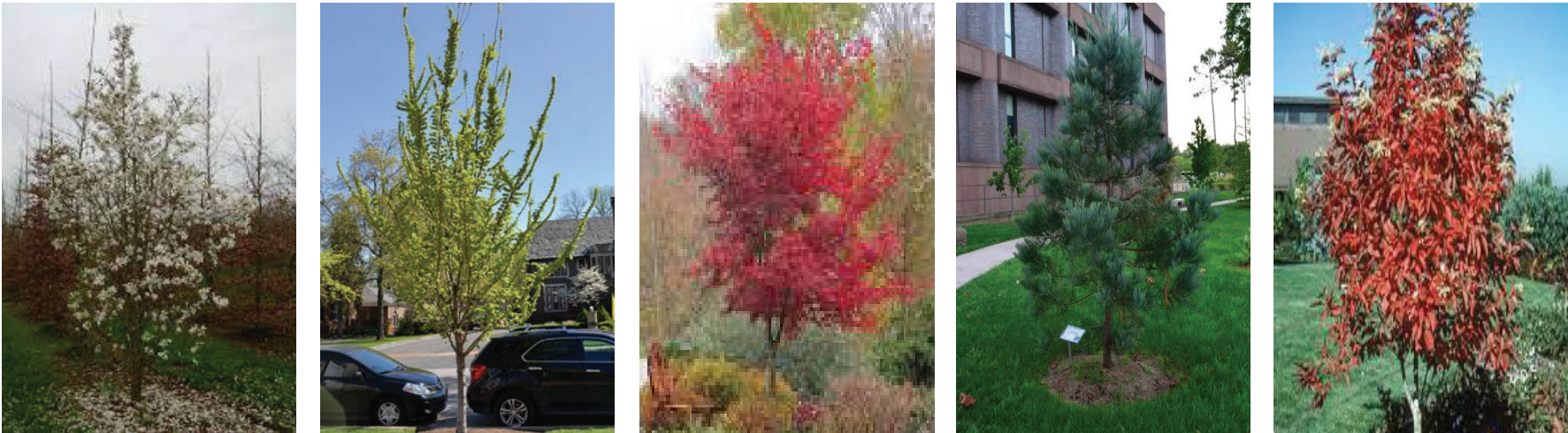
ADDRESS SIGNAGE
12" Height black metal letters,
mounted to wood planter adjacent
to primary entry

LANDSCAPE



COMPOSITE SITE / ROOF PLAN

TREES



KORBUS MAGNOLIA EMERALD SUNSHINE ELM VINE MAPLE GIANT SEQUOIA SOURWOOD TREE

SHRUBS, BUSHES, AND FLOWERS



COMPACT STRAWBERRY BUSH 'HAPPY RETURNS' DAY LILY DWARF OAKLEAF HYDRANGEA 'SKY PENCIL' JAPANESE HOLLY



DWARF FOUNTAIN GRASS ARP ROSEMARY TALL SARCOCOCCA EVERGREEN HUCKLEBERRY

VINES

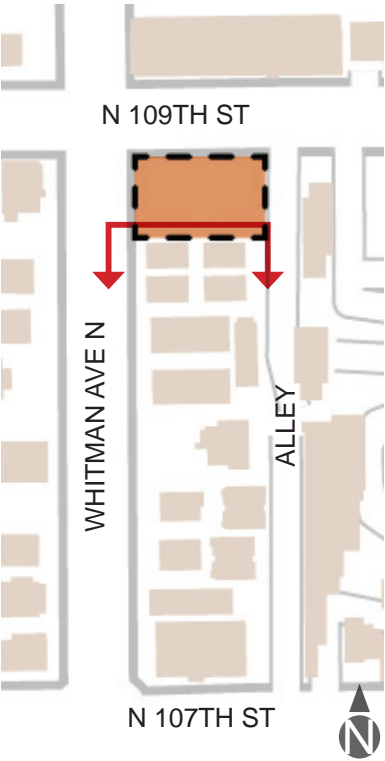
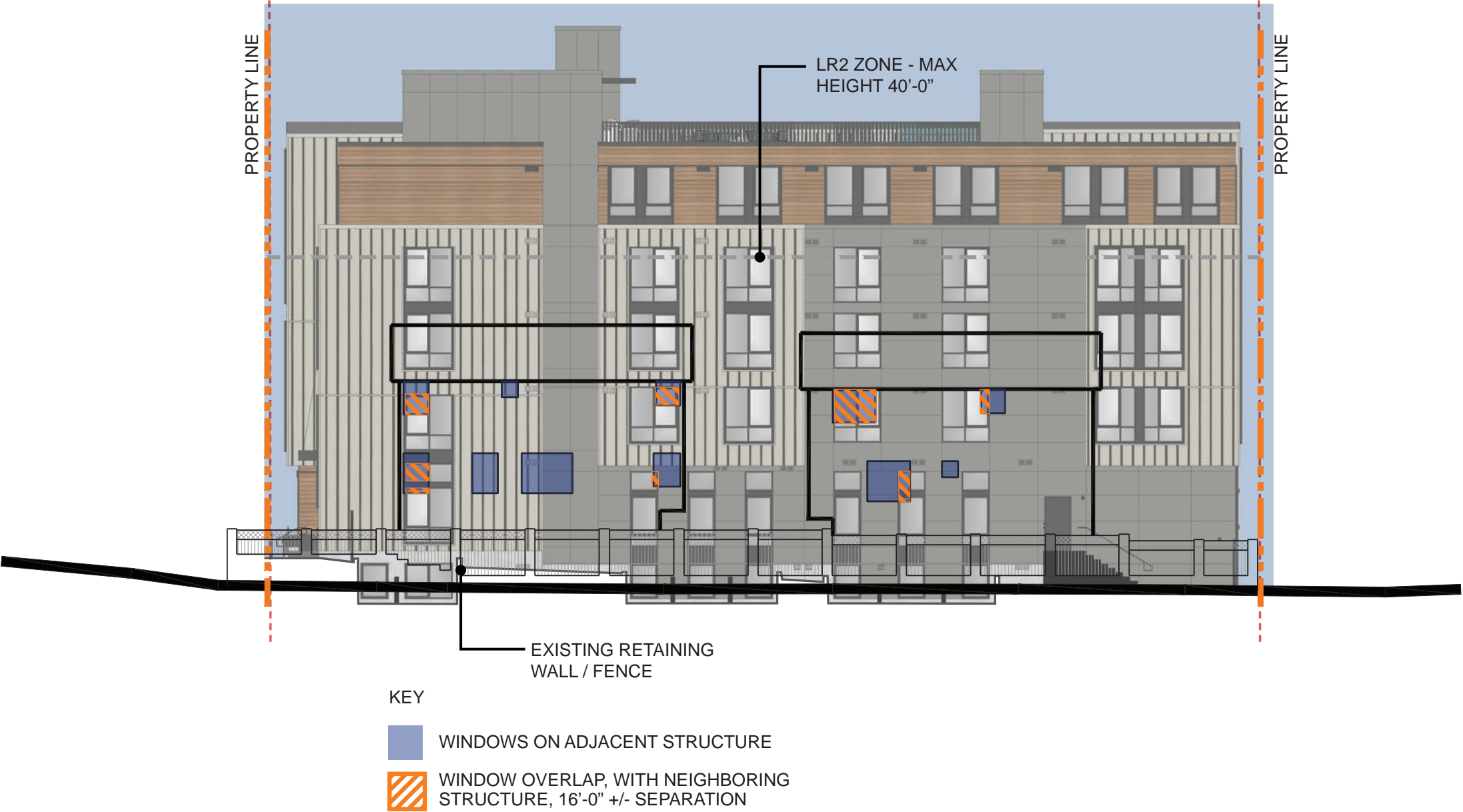


VARIGATED FIVE LEAF AKEBIA WHITE FLOWERING CLEMATIS

GROUND COVERS



KINNIKINNICK MASSACHUSETTS 'WINE COLOR' FLOWERING PERIWINKLE SEDUM GREEN ROOF TRAY SYSTEM



ANALYSIS |

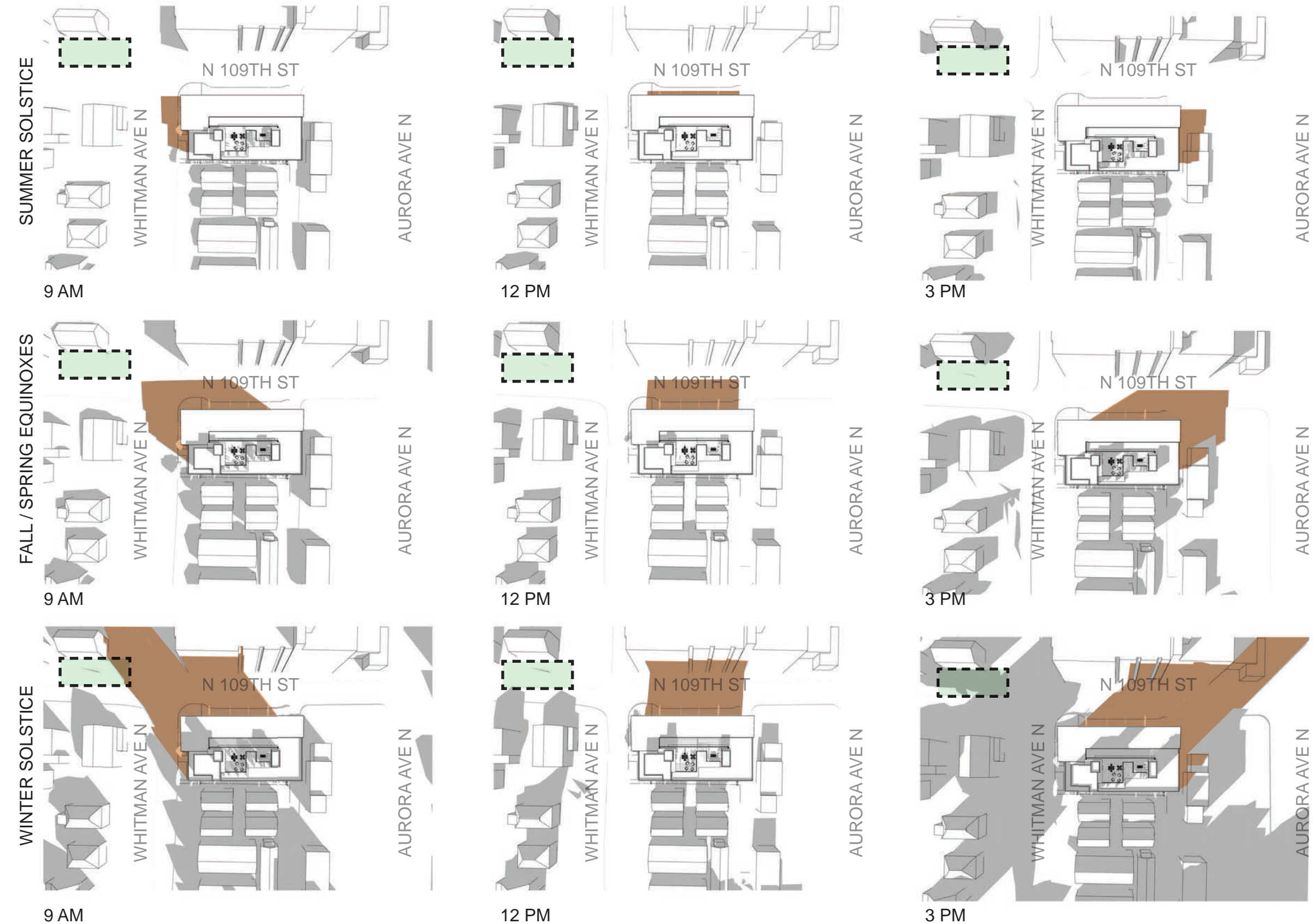
The site has public right of way frontages on three sides (West, North, & East). Bordering the south edge is a shared property line with LR3 zoning that is currently developed as four two-story townhouses. Two of the townhouses directly border the site, approximately 6 feet from the shared property line. The proposed structure on the site is set back 10'-0" feet from the shared lot line, resulting in 16'-0" of separation between the structures. An existing fence / retaining wall provides separation between the two properties at grade. The facade design of the proposed structure is driven by a few factors: board guidance to reduce the perceived height, bulk, and scale through massing and material changes, getting access to light and air for each of the individual units, organizing the windows in a rational and organized fashion, and balancing these with privacy for both residents of the proposed structure and existing adjacent residences. The proposed design meets those goals, with a clear, rational design for the south facade that organizes the fenestration pattern, and uses a variety of materials and modulation to reflect the scale of the adjacent structures. The windows are laid out in a way to minimize direct overlap, with only one instance where a window is located to maintain the organization and patterns of the rest of the facade, but mirrors a secondary window on the adjacent structure.

SHADOW ANALYSIS

ANALYSIS |

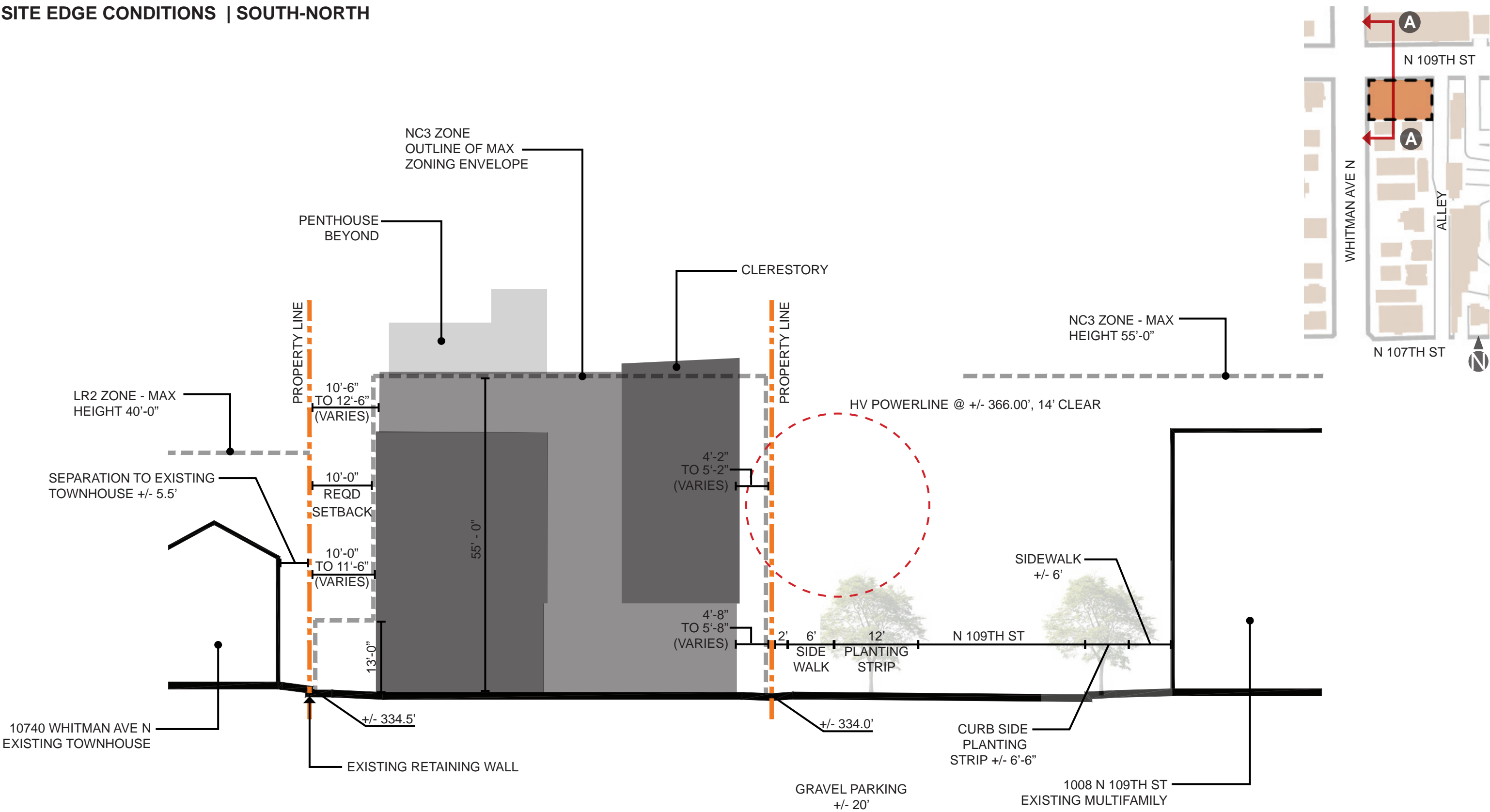
The site is located north of the less intensive adjacent low rise zoning, with a ROW and similar scale multi-family building to the north. Due to this relationship, the majority of the shadow cast by the project impacts only the adjacent right-of-way, particularly during the Spring - Fall. During the winter months, the potential shadow stretches across N 109th St, and while there is potential encroachment onto the properties to the northwest of the site, there are large mature trees that cast shadows on the properties currently.

The proposed scheme provide a modest setback along the north & west edge that will lessen the shadow impact. Additionally, rooftop elements, such as the stair and elevator penthouses, are located away from the northern rooftop edge to minimize the visual and shadow impact on adjacent properties.



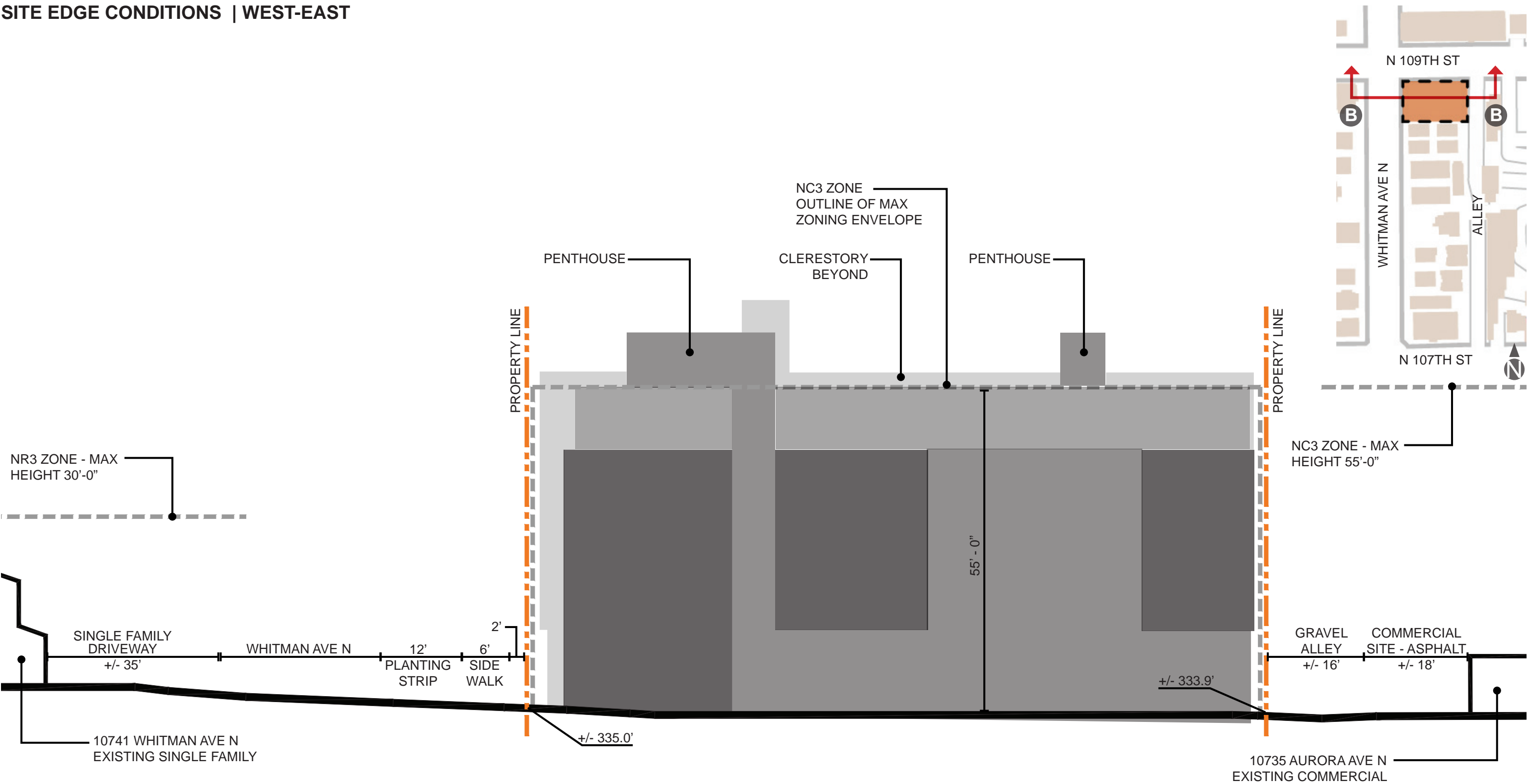
ORANGE AREAS INDICATE SHADOW CAST BY THE PROPOSED STRUCTURE,
GREEN AREAS INDICATE AREA OF LARGE, MATURE TREE GROVE

SITE EDGE CONDITIONS | SOUTH-NORTH



A - SOUTH-NORTH EDGE CONDITIONS

SITE EDGE CONDITIONS | WEST-EAST



B - WEST-EAST EDGE CONDITIONS

REQUESTED DEPARTURE | RESIDENTIAL USES AT STREET LEVEL

SMC 23.47A.008.D2 |

The floor of a dwelling unit located along the street-level street-facing facade shall be at least 4 feet above or below sidewalk grade or be set back at least 10 feet from the sidewalk.

REQUEST |

A departure is requested for the portions of the structure containing dwelling units that are located within 10'-0" of the sidewalk and or less than 4'-0" above the sidewalk grade. Along N 109th Street the structure abuts the right of way, and the building is set back from the property lines, but extends to within 6'-9" to 5'-3" of the proposed sidewalk location. The floor of the level 1 units is located above the adjacent sidewalk though due to the topography of the site, the exact elevation varies, between 3'-11" to 1'-0" above sidewalk grade. Along the 109th St frontage the grade slopes down west to east, and up from north to south along Whitman Ave N. The lobby and entry are located at the west facade, facing Whitman Ave. In order to maintain accessibility, the level 1 floor elevation is not 4'-0" above or below the adjacent sidewalk grades, and the facade is within the 10'-0" distance from the sidewalk specified by code.

JUSTIFICATION |

- Along 109th, the combination of being both elevated above and set back from the sidewalk creates a semi-private space between the pedestrian and residential realms, while encouraging safety through "eyes on the street". (PL2-B-1, PL3-B-1, PL3-B-2)
- Strict compliance with the code could be met by stepping the building up to maintain the required 4'-0" change in elevation, however it would create a more significant staircase and substantial ramping along Whitman Ave at the primary entry, hampering accessibility for residents and weakening the connection between the entry and sidewalk. Due to the sloping topography maintaining a consistent relationship between the sidewalk and units would require internal stepping or levels within the building, further impeding accessibility for residents. (CS2-D-2, CS2-B-2, PL2-A-1, PL2-A-2, PL3-A)
- Robust landscaping is proposed within the space between the sidewalk and building. This landscaping is paired with the change in elevation to balance privacy and safety for residents with engagement of the public realm. (CS2-B-2, PL2-B-1, PL3-B-1, PL3-B-2, DC4-D-1)

APPLICABLE DESIGN GUIDELINES |

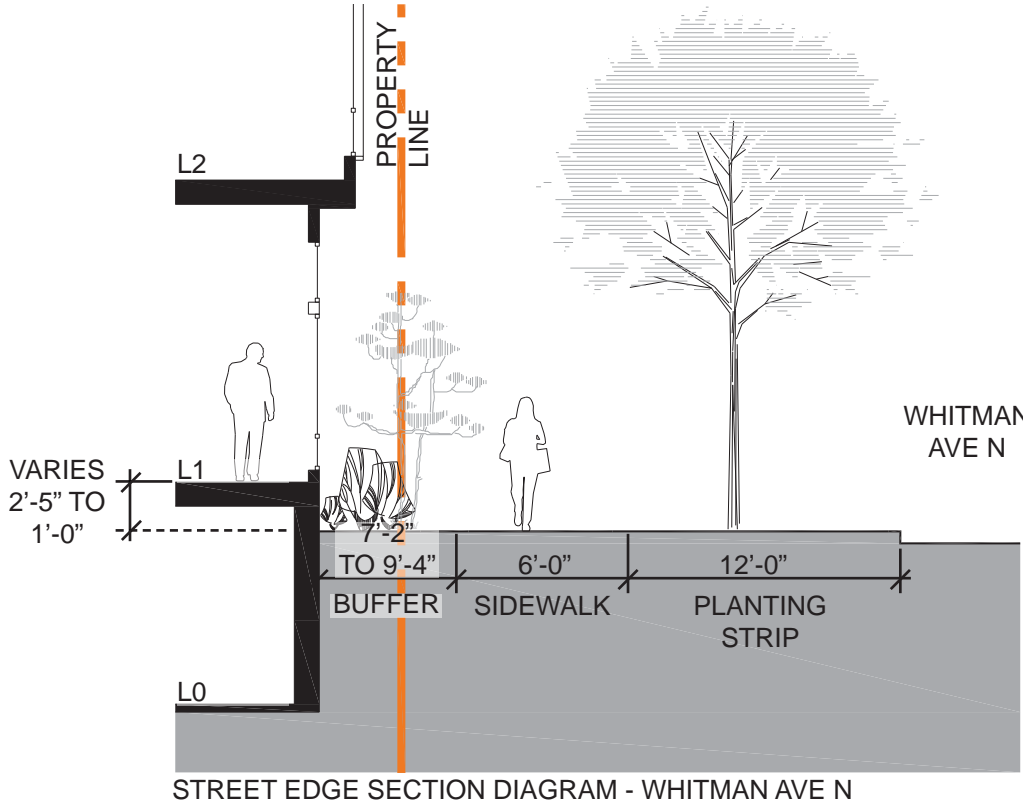
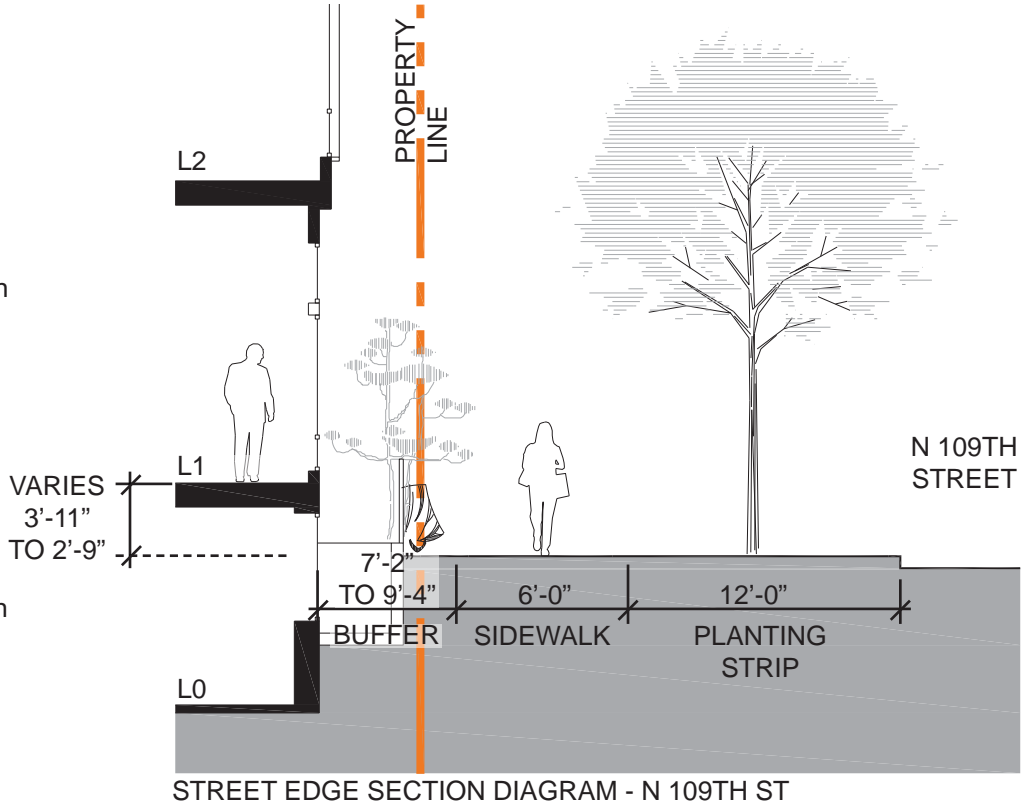
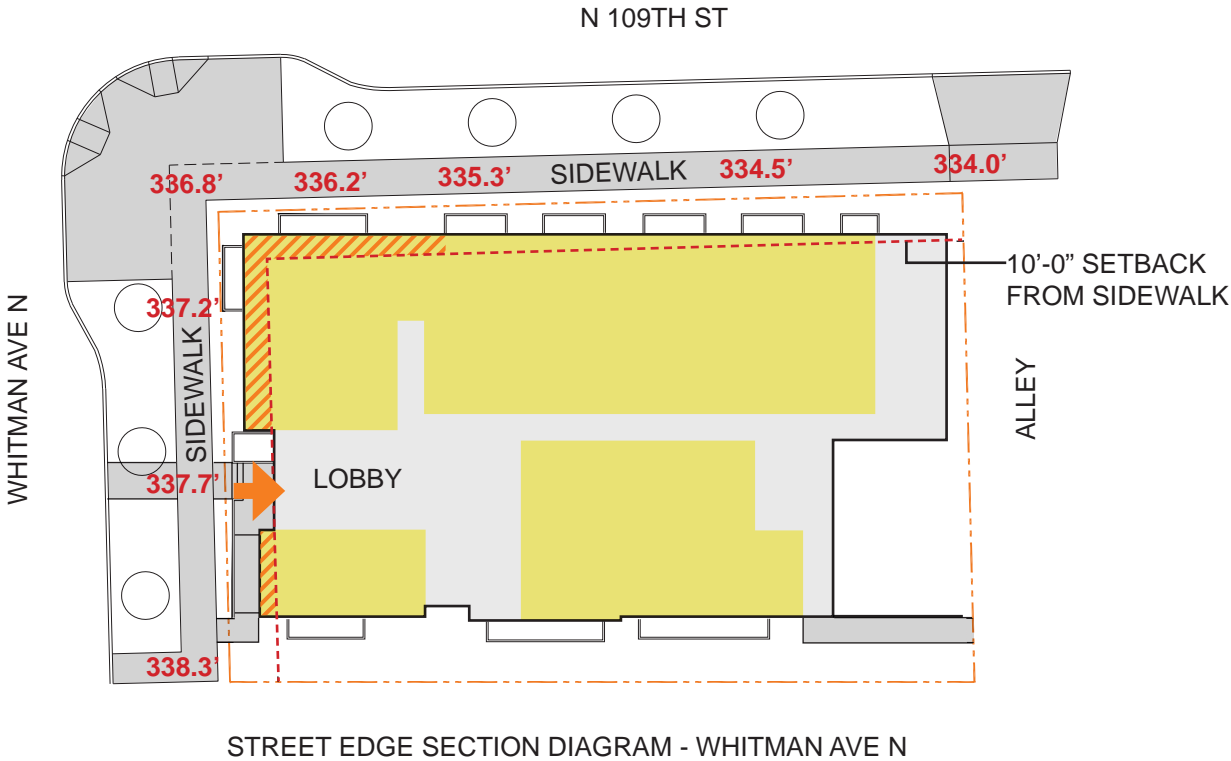
- | | | | |
|--------------------------------------|-------------------------------|-------------------------------------|------------------------------|
| - CS2-B-2: Connection to the Street | - CS2-D-2: Elevation Changes | - PL2-A-1: Access for All | - PL2-A-2: Access Challenges |
| - PL2-B-1: Eyes on the Street | - PL3-B-1: Security & Privacy | - PL3-B-2: Ground Level Residential | - PL3-A: Entries |
| - DC4-D-1: Choice of Plant Materials | | | |

KEY

AREA OF REQUESTED DEPARTURE

DWELLING UNIT

ENTRY



REQUESTED DEPARTURE |
BLANK FACADE

SMC 23.47A.008.A2 |

The total of all blank facade segments may not exceed 40 percent of the width of the facade of the structure along the street. For purposes of this section, facade segments shall be considered blank if they do not include at least one of the following: windows, entryways or doorways, stairs, stoops or porticoes, decks or balconies, or screening and landscaping on the facade itself.

REQUEST |

A departure is requested for the north facade at level 1, adjacent to N 109th street, where the blank facade is at 49%, approximately 9% of the code specified minimum.

JUSTIFICATION |

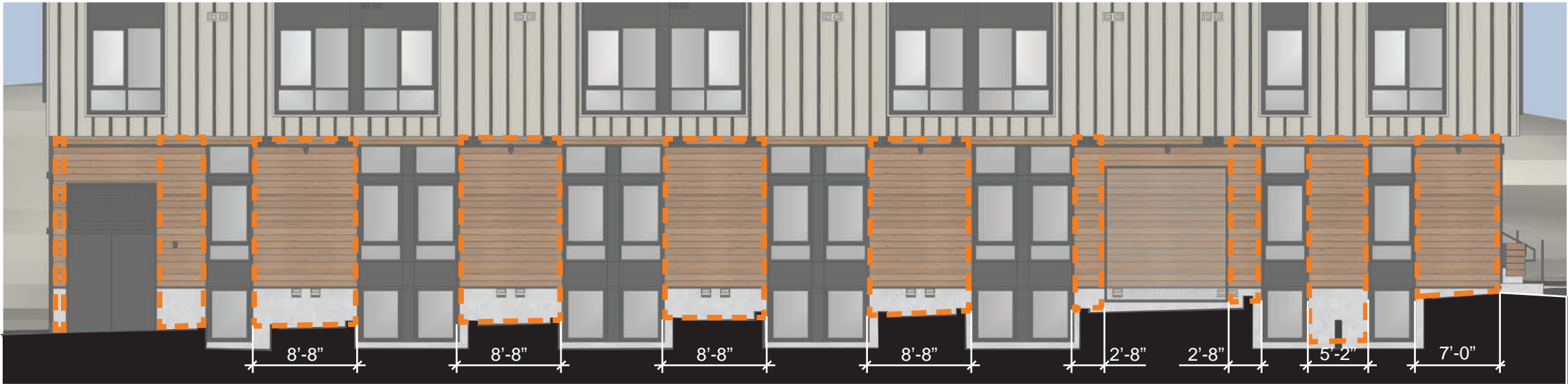
- The use at L1 along the north facade is residential in nature - modestly sized congregate units that require some wall space for the functionality of the unit (furniture placement, venting, etc...). Furthermore, increasing the window sizes would decrease privacy for the residents and encourage the use of window coverings or films to achieve privacy, reducing the potential for “eyes on the street” and interaction between the residents and pedestrian realm, negatively impacting safety. (CS2-B-2, PL3-B-1, PL3-B-2)
- The proposed material at level 1 is a wood toned lap siding, adding human scale, texture, and visual interest. This facade treatment is layered with landscaping, including taller shrubs and specimen trees that will grow and obscure the portions of blank facade. (DC2-B-1, DC2-B-2, CD2-D-1, DC2-D-2, DC4-D-1)

APPLICABLE DESIGN GUIDELINES |

- | | | |
|-------------------------------------|--------------------------------------|-------------------------------------|
| - CS2-B-2: Connection to the Street | - PL3-B-1: Security & Privacy | - PL3-B-2: Ground Level Residential |
| - DC2-B-1: Facade Composition | - DC2-B-2: Blank Walls | - DC2-D-1: Human Scale |
| - DC2-D-2: Texture | - DC4-D-1: Choice of Plant Materials | |



PEDESTRIAN REALM ALONG N 109TH STREET, SHOWING THE LAYERING OF LANDSCAPING WITH HUMAN-SCALE DETAILING AND HIGH QUALITY, TEXTURED SIDING MATERIALS.



N 109TH STREET FRONTAGE
BLANK FACADE SEGMENTS COMBINE TO APPROX 49%, OVER THE CODE MAXIMUM OF 40%, HOWEVER THE SEGMENTS ARE DIVIDED ACROSS THE FACADE, AND LANDSCAPING BETWEEN THE SIDEWALK AND THE STRUCTURE REDUCE THE PERCEIVED IMPACT OF THE “BLANK” WALL SEGMENTS

 BLANK WALL SEGMENTS

APPLICANT WORK SAMPLES



SKIDMORE JANETTE APD
ARCHITECT



APPLICANT WORK SAMPLES



KEY

- ## ANALYSIS

The map displays the Northgate area in Seattle, centered around the intersection of Aurora Avenue N and Northgate Way. Key features include:

- Streets:** Labeled streets include N 112th St, N 110th St, N 109th St, N 107th St, N Northgate Way, Evanston Ave N, Fremont Ave N, N Park Ave N, Linden Ave N, Whitman Ave N, Midvale Ave N, Stone Ave N, Interlake Ave N, and Ashworth Ave N.
- Transit:** Transit lines are shown with 'T' icons and labels: 'TO CROWN HILL' (blue dashed line), 'TO GREENLAKE/DOWNTOWN' (red dashed line), and 'TO NORTHGATE' (red solid line).
- Solar Path Analysis:** The 'SITE' is marked with a black box. Two solar paths are shown: 'SUMMER SOLAR PATH' (yellow dashed line) and 'WINTER SOLAR PATH' (red dashed line). A blue arrow indicates the 'PREVAILING WIND SSW 9-10 MPH AVE'.
- Other Features:** A green area is labeled 'TO SHORELINE', and a blue area is labeled 'TO GREENLAKE/DOWNTOWN'. A north arrow is located in the bottom right corner.

NEIGHBORHOOD AMENITIES & OPEN SPACE



1 CARKEEK PARK
1.2 MILES FROM SITE



2 INTERURBAN TRAIL



3 EVERGREEN WASHELLI CEMETERY



4 THE LIVING ROOM CAFE



5 NORTHWEST MEDICAL CENTER
0.8 MILES FROM SITE



6 AURORA AVE CORRIDOR
VARIOUS COMM. BUSINESSES



7 MINERAL SPRINGS PARK



8 LA CABANA / TIM'S TAVERN
DINING, ENTERTAINMENT



9 OAK TREE VILLAGE & HT MARKET
GROCERY STORE, DINING,
SERVICES, ENTERTAINMENT

ZONING



KEY

- NC ZONES
- LR ZONES
- RSL ZONES
- NR ZONES
- CITY PARK
- MHA ZONES
- SITE
- BOUNDARIES BETWEEN ZONING

ANALYSIS | ZONING

The site is located at a zone transition, grouped with other Neighborhood Commercial (NC) zoning along Aurora Ave to the east and across N 109th St to the north, with the existing structures consisting of single or multi-story commercial buildings and an adjacent 4-story multifamily building to the north. Directly south of the site, Low Rise (LR2) zoning serves as a transition between the commercial zoning and adjacent neighborhood residential zoning. The LR2 zoning primarily consists of 2-3 story townhouses and apartment buildings, with intermixed single family homes.

ANALYSIS | AMENITIES

The site has access to open spaces in the form of the interurban trail, Carkeek park and the adjacent evergreen Washelli cemetery. Across the street is a coffee shop, with Aurora Ave providing direct access to services, dining, and entertainment, including Oak Tree village three blocks south of the site.

ADJACENT USES - PLAN



- KEY

 - MIXED USE
 - PARK / OPEN SPACE
 - MULTI - FAMILY
 - SINGLE FAMILY
 - COMMERCIAL
- 1 PROPOSED MULTI FAMILY STRUCTURE (PROJECT #3032236-EG)
 - 2 PROPOSED TOWNHOME STRUCTURE (PROJECT #3039458-EG)
 - 3 PROPOSED MULTI FAMILY STRUCTURE (PROJECT # NA)

ADJACENT USES - AERIAL



KEY



MIXED USE



PARK / OPEN SPACE



MULTI - FAMILY



SINGLE FAMILY



COMMERCIAL



Parkstone
Properties

skidmore
janette
architecture
planning
design

10744 Whitman Ave. N

RECOMMENDATION
06/03/2024 3040300-LU

NEIGHBORHOOD ANALYSIS
ADJACENT USES

EXISTING ARCHITECTURE | IMMEDIATE VICINITY



1



CUBIX NORTH PARK APARTMENTS

2



THE ROSE CORNER

3



DUNCAN & SONS AUTOMOTIVE

4



TOWNHOUSES

5



APARTMENTS

6



SINGLE FAMILY HOUSE

7



SINGLE FAMILY HOUSE

8



JEFFREY TRIST & ASSOCIATES

MULTI-FAMILY / MIXED-USE DESIGN CUES | AURORA



1008 N 109TH STREET



- FIBER CEMENT SIDING (LAP)
- STRONG MODULATION RHYTHM
- LARGE GLAZING, PAIRED WINDOWS
- MODULATED ROOFLINE
- WARM WOOD TONE ACCENT COLOR

10507 AURORA AVE N



- FIBER CEMENT SIDING (LAP)
- EXPRESSED SETBACK AT TOP LEVEL
- PAIRED VERTICALLY ORIENTED WINDOWS
- HORIZONTAL BANDING
- VIBRANT COLORS

937 N 96TH STREET



- VERTICAL METAL SIDING, HORIZONTAL FIBER CEMENT PANEL
- LARGE GLAZING
- PRONOUNCED VOLUMES
- HIGH TRANSPARENCY GROUND FLOOR
- EXPRESSED ENTRY / CANOPY

8820 AURORA AVE N



- STACKED MASONRY SIDING, HORIZONTAL FIBER CEMENT PANEL
- LARGE GLAZING
- PRONOUNCED VOLUMES
- EXPRESSED ENTRY / CANOPY

8610 AURORA AVE N



- HORIZONTAL FIBER CEMENT SIDING
- LARGE GLAZING
- SIMPLE VOLUME
- EXPRESSED BASE
- HORIZONTAL BANDING

8300 AURORA AVE N



- FIBER CEMENT SIDING
- PRONOUNCED VOLUMES
- LARGE GLAZING
- EXPRESSED BASE
- WARM WOOD TONE ACCENT COLOR

8228 GREEN LAKE DR N



- VERTICAL METAL SIDING, FIBER CEMENT PANEL
- STRONG MODULATION RHYTHM
- COLLECTED WINDOWS
- LARGE GLAZING
- HIGH TRANSPARENCY GROUND FLOOR
- WARM WOOD TONE ACCENT COLOR

949 N 80TH STREET



- MASONRY, FIBER CEMENT PANEL
- COLLECTED WINDOWS
- PRONOUNCED VOLUMES
- VERTICAL MODULATION

EXISTING SITE CONDITIONS

KEY

—

PROPERTY LINE

.....

TOPOGRAPHY CONTOURS

===

POWER LINES

—

ROAD BOUNDARY

|||||

EXISTING CURB CUT
(TO BE REMOVED)

SINGLE-FAMILY

EXISTING BUILDING TO BE DEMOLISHED

COMMERCIAL

EXISTING EXCEPTIONAL TREE TO BE
RETAINED

EXISTING TREE TO BE RETAINED

EXISTING TREE TO BE REMOVED

SIZE |
The site is 9,915 SF, Approx. 124'-2" X 78'-5".

RIGHT OF WAYS / STREETS |
The site has frontage to right of ways on three sides, N 109th Street to the north, Whitman Ave N to the west, and an alley to the east. Aurora Avenue runs north / south a half block east of the site.

TOPOGRAPHY |
The site has approximately 2'-9" of fall from the southwest corner to the northeast corner. Along the Whitman Ave (west) frontage there is approximately 9" of fall from south to north, and approximately 2' of fall along the 109th St (north) frontage, from west to east. A retaining on the south property line elevates the adjacent property approximately 2-3' above the site.

ADJACENT BUILDINGS / USES |
The site share's it south property line with a quad of 2-story townhouses. Across the alley to the east is a single-story commercial building and parking lot bordering Aurora Ave. Across N 109th Street to the north is a 4-story apartment building, constructed in 2018, that includes a small restaurant / coffee shop on the east end.

POWERLINES |
There are overhead powerlines running along the south side of 109th St, adjacent to the site. Clearances from the powerlines will be required along the proposed structure's north facade. There are additional overhead power lines at the northwest corner of the site, crossing the alley to feed the adjacent property. These lines will either need to be re-routed or clearances considered for them as well.

TREES |
There are no large trees or vegetation of note on the project site, however there are trees in the adjacent right-of-way. Coordination or retention, or removal and replacement of the existing street trees will need to be coordinated with SDOT. Requirements for additional street trees along both Whitman Ave N & N 109th Street are anticipated as part of the site's development.



SITE SURVEY

LEGAL DESCRIPTION

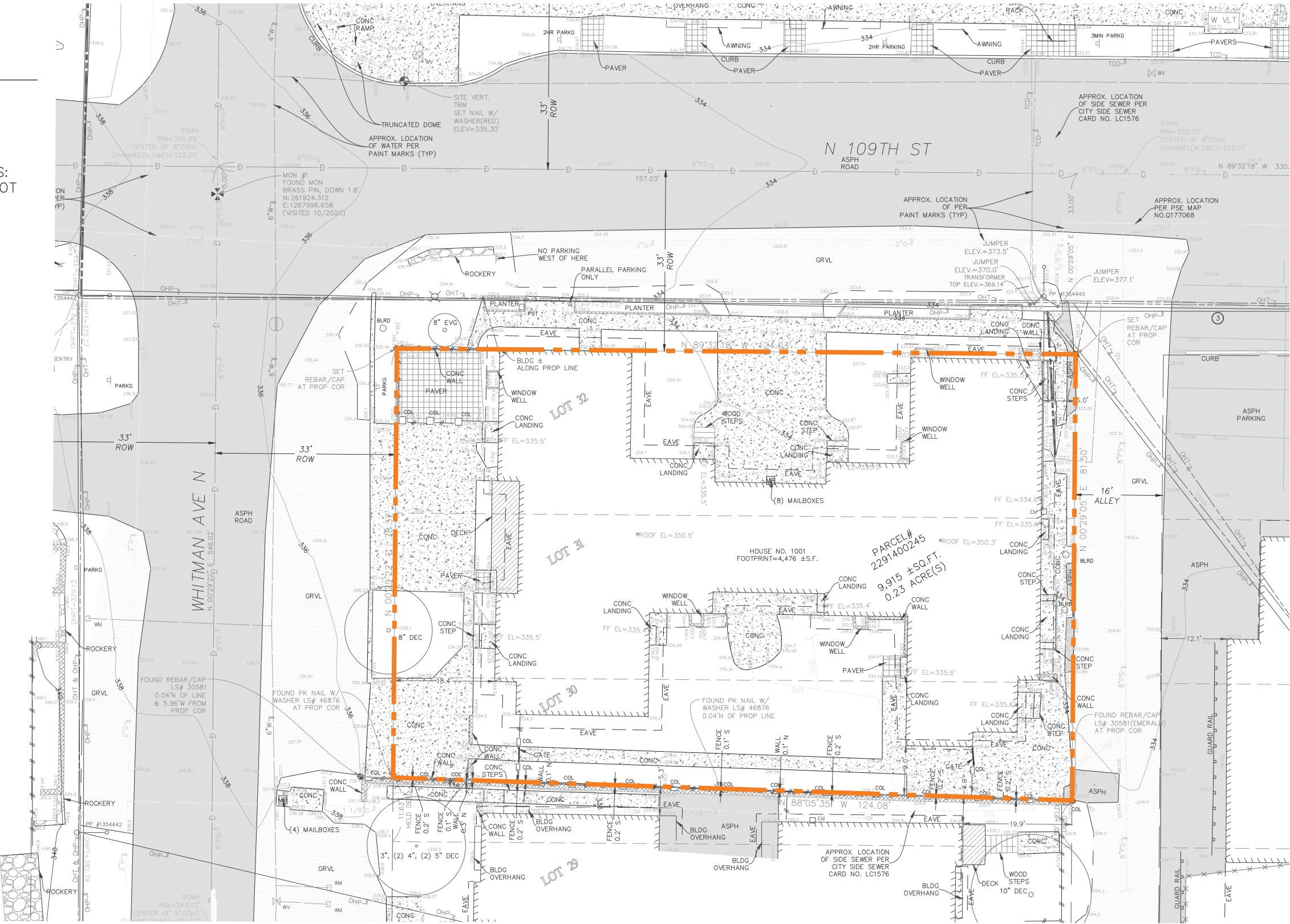
(PER QUIT CLAIM DEED REC. NO. 9101180262)

LOTS 30, 31 AND 32, BLOCK 2, ELBERT PLACE ADDITION TO THE CITY OF SEATTLE, ACCORDING TO PLAT RECORDED A IN VOLUME 7 OF OF PLATS, PAGE 37, IN KING COUNTY WASHINGTON; EXCEPT THAT PORTION DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT SAID LOT 30;

THENCE NORTH ALONG THE WEST LINE 11.63 FEET TO THE SOUTHERLY SIDE OF EXISTING CONCRETE BLOCK WALL;

THENCE SOUTH 88°33'15" EAST ALONG AN EXISTING FENCE LINE AND SAID FENCE LINE EXTENDED 124.04 FEET TO THE EASTERLY LINE OF SAID LOT 30;

THENCE SOUTH 8.50 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE WEST 124.00 FEET TO THE POINT OF BEGINNING.



STREETSCAPES | N 109TH STREET



STREETSCAPES | WHITMAN AVE N

10733 WHITMAN AVE
2- STORY
SINGLE-FAMILY

10737 WHITMAN AVE
2- STORY
SINGLE-FAMILY

10741 WHITMAN AVE
2- STORY
SINGLE-FAMILY

10903 WHITMAN AVE
2- STORY
SINGLE-FAMILY

10905 WHITMAN AVE
2- STORY
SINGLE-FAMILY



3 LOOKING WEST

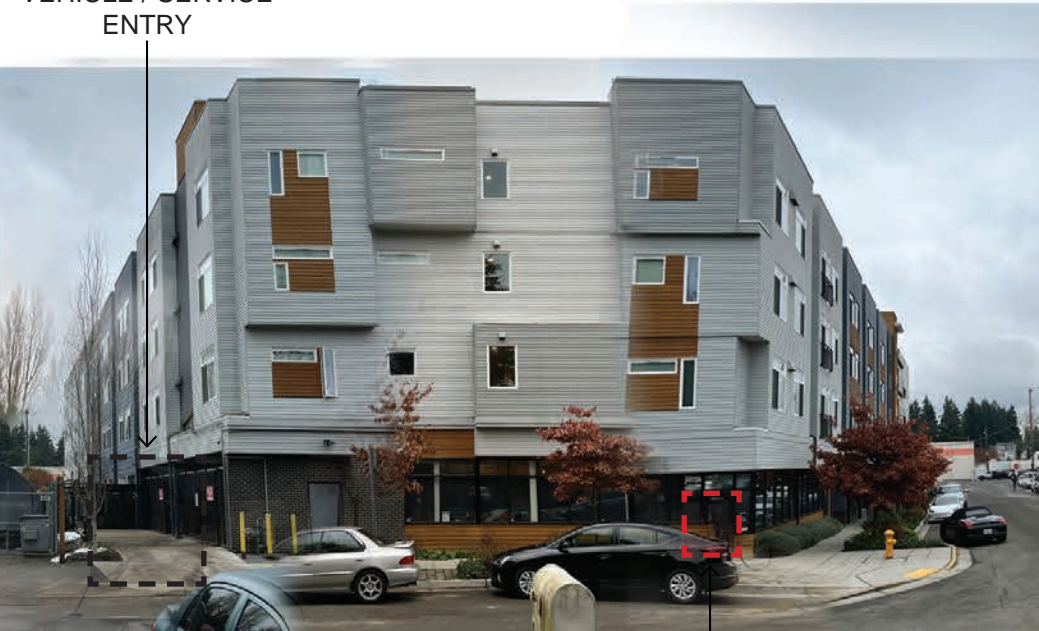
← ACROSS FROM SITE →
VEHICLE DRIVEWAY

VEHICLE DRIVEWAY
VEHICLE DRIVEWAY

NC3-55(M) NR3
← →
10734 - 10738 WHITMAN AVE
2-STORY TOWNHOUSES

10726 & 10728 WHITMAN AVE
1-STORY APARTMENTS

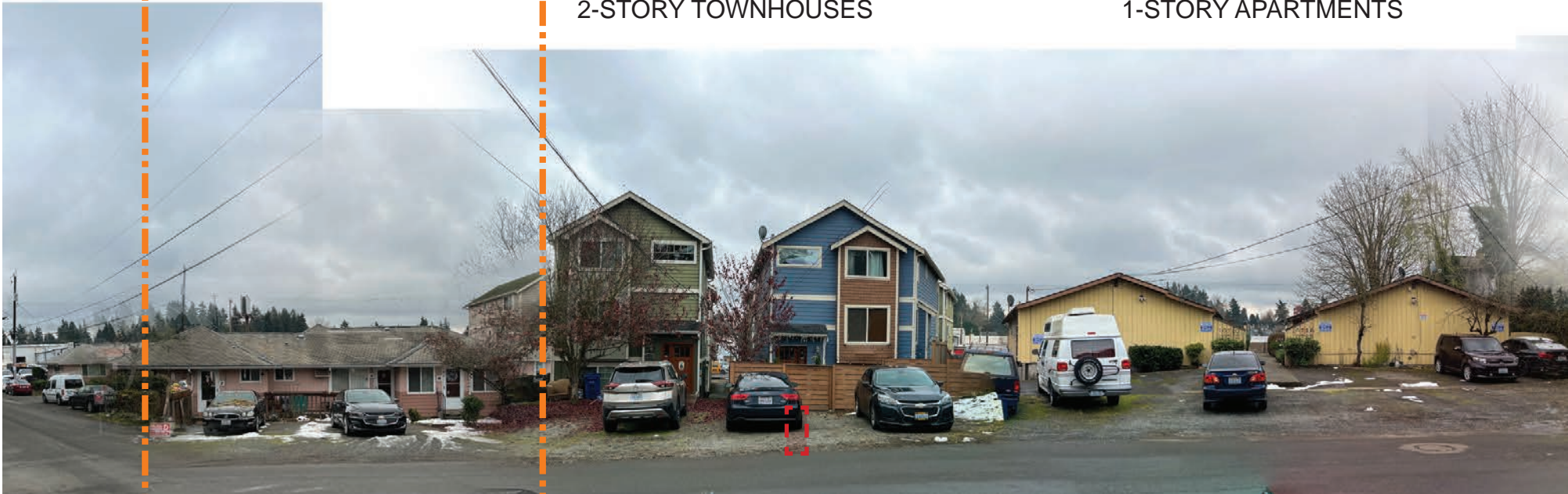
VEHICLE / SERVICE ENTRY
1008 N 109TH ST
5-STORY MIXED USE



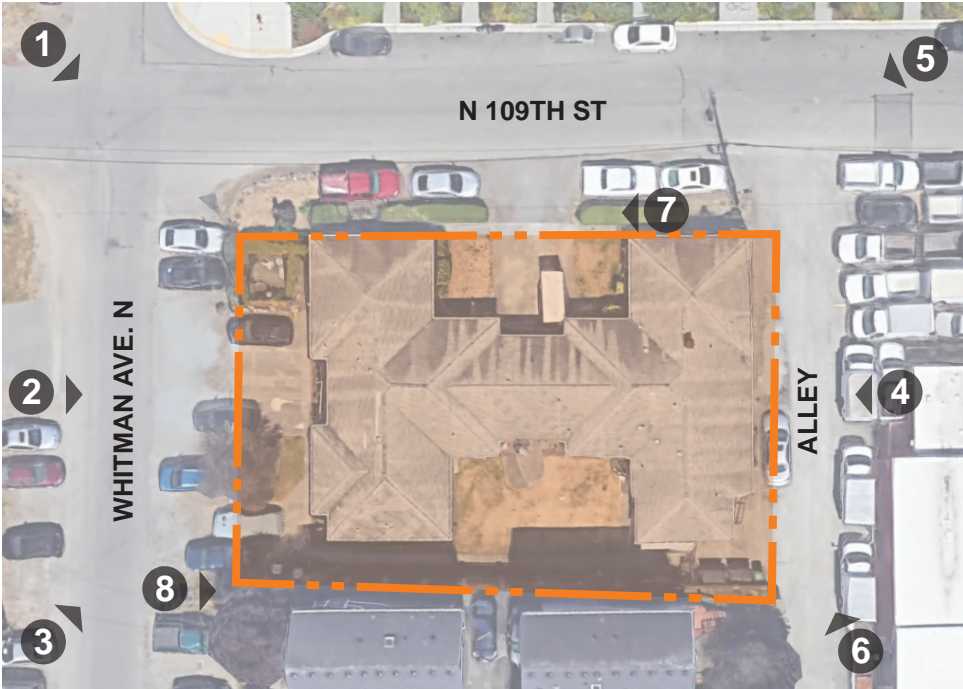
4 LOOKING EAST

SECONDARY
COMMERCIAL /
OFFICE ENTRY

← SITE →



SITE PHOTOS



1 NORTHWEST CORNER OF SITE (LOOKING SOUTHEAST)



2 SITE ACROSS WHITMAN (LOOKING EAST)



3 SOUTHWEST CORNER OF SITE (LOOKING NORTHEAST)



4 SITE ACROSS ALLEY (LOOKING EAST)



5 NORTHEAST CORNER OF SITE (LOOKING SOUTHWEST)



6 SOUTHEAST CORNER OF SITE (LOOKING NORTHWEST)



7 NORTH EDGE OF SITE (LOOKING WEST)



8 SOUTH SITE EDGE (LOOKING EAST)

SHADOW IMPACT | MAX ZONING ENVELOPE

ANALYSIS |

The site is located north of the less intensive adjacent low rise zoning, with a ROW and similar scale multi-family building to the north. Due to this relationship, the majority of the shadow cast by the project impacts only the adjacent right-of-way, particularly during the Spring - Fall. During the winter months, the potential shadow stretches across N 109th St, and while there is potential encroachment onto the properties to the northwest of the site, there are large mature trees that cast shadows on the properties currently.

The proposed schemes provide a modest setback along the north & west edge that will lessen the shadow impact. Additionally, rooftop elements, such as the stair and elevator penthouses, are located away from the northern rooftop edge to minimize the visual and shadow impact on adjacent properties.

SUMMER SOLSTICE



9 AM



12 PM



3 PM

FALL / SPRING EQUINOX



9 AM



12 PM



3 PM

WINTER SOLSTICE



9 AM



12 PM



3 PM

PRIORITY DESIGN GUIDELINES - CONTEXT & SITE

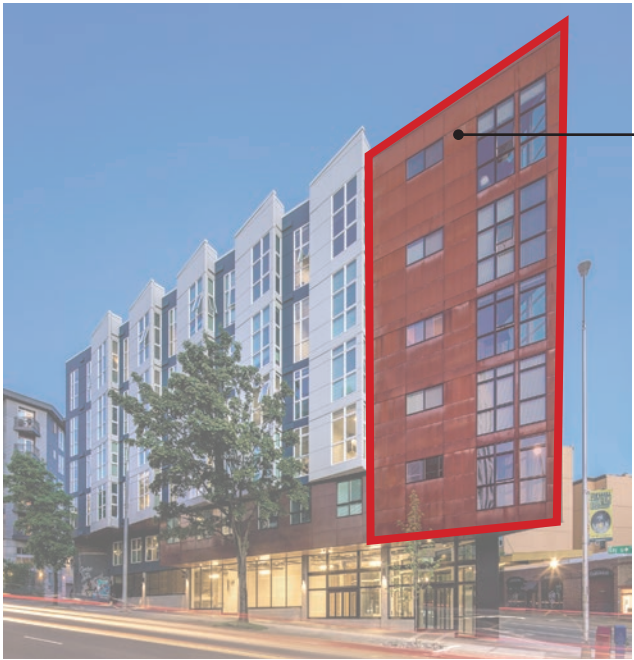


CS2-B-2 | CONNECTION TO THE STREET

Identify opportunities for the project to **make a strong connection to the street** and carefully consider how the building will **interact with the public realm**. Consider the qualities and **character of the streetscape** -its physical features (sidewalk, parking, **landscape strip**, **street trees**, travel lanes and other amenities. and its function (major retail street or **quieter residential street**) - in siting and designing the building.

RESPONSE |

The existing streetscape adjacent to the site is cluttered and undefined. As part of the development, the streetscape will be reinvigorated with a new sidewalk, landscape strip with street trees, defined curbs, and improvements to accessibility and safety at the corner. These improvements will mirror those made across 109th St to the north, creating a more pleasant pedestrian experience along the 109th St frontage. The same amenities will wrap the corner, where Whitman transitions to an even quieter residential street, that is activated by the primary entry in the preferred design scheme. The proposed project proposes elevating the residential use above the adjacent sidewalk and a maintaining a landscaping buffer between the structure and sidewalk.

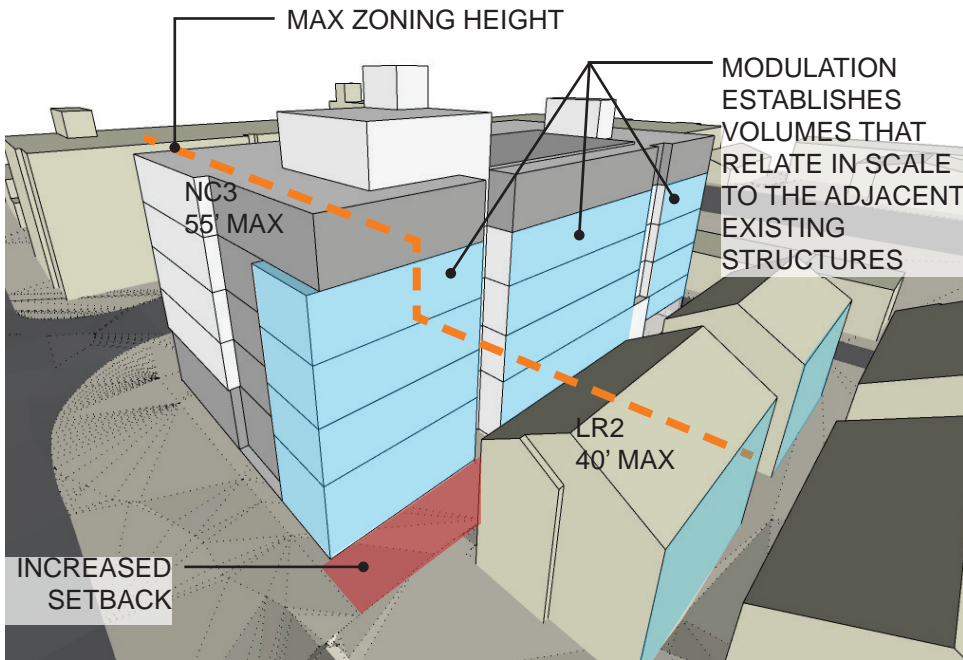


CS2-C-1 | CORNER SITES

Corner sites can serve as gateways or focal points; both require careful detailing at the first three floors due to their high visibility from two or more streets and long distances. **Consider using a corner to provide extra space for pedestrians and a generous entry**, or build out to the corner to provide a **strong urban edge to the block**

RESPONSE |

Corner sites are inherently special within the context of the urban landscape, due to the increased visibility of the structures that abut these intersections. The northwest corner condition at this site is unique as it is not the site's primary approach (which will more likely be from Aurora to the northwest) and is instead located at the corner as it transitions to more residential uses to the west. Right-of-way improvements at this site will establish a larger open space at the corner, with safety and accessibility updates making the streetscape more pedestrian friendly. The structure itself can still make the corner a unique design element through it's expression and use of materials, color, and/or unique fenestration patterns. These elements should be carefully balanced with the corner's role in transitioning from commercial to residential zoning at the site, and will vary widely depending on the final location of the entry and lobby.



CS2-D-3 | ZONE TRANSITIONS

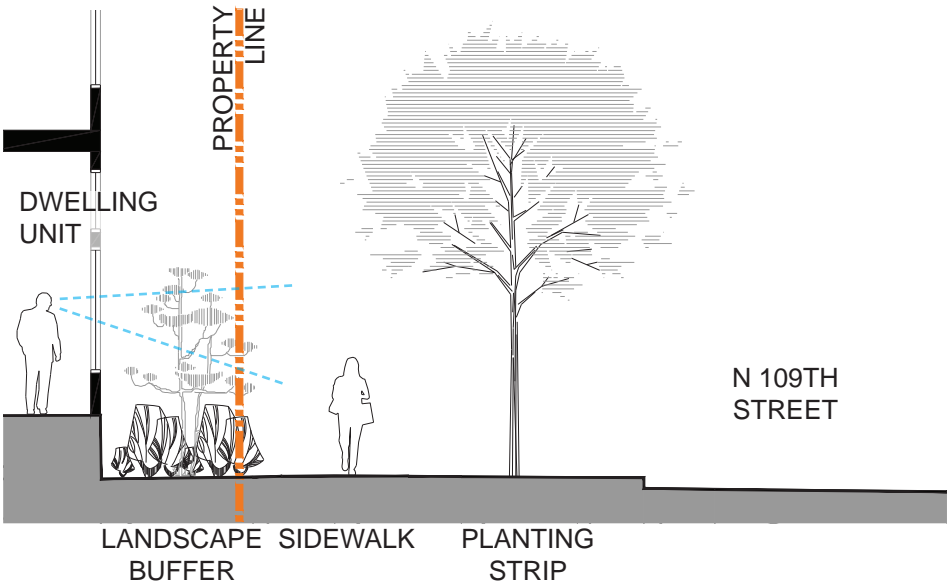
For projects located at the **edge of different zones**, provide an **appropriate transition** or complement to the adjacent zone(s). **Projects should create a step in perceived height, bulk, and scale** between the anticipated development potential of the adjacent zone and the proposed development.

Strive for a **successful transition between zones where a project abuts a less intense zone**. In some areas, the best approach may be to lower the building height, **break up the mass of the building**, and/or match the scale of adjacent properties in **building detailing**. It may be appropriate in other areas to differ from the scale of adjacent buildings but preserve natural systems or existing features, **enable better solar exposure** or site orientation, and/or make for interesting urban form.

RESPONSE |

The project has zone transitions at both the west edge and south edge. The west edge is buffered by the width of Whitman Ave, and vertical modulation on the proposed facade will mitigate the perceived bulk of the building facing the residential zoning across the street. The site shares it's south lot line with LR zoning, with a lower maximum height and currently less intensive use (Townhouses). The project maintains a setback from ground to sky to soften the transition in scale and use. The project further utilizes modulation to dissolve the south facade into volumes of a smaller width that relates to the scale of the existing adjacent townhouses.

PRIORITY DESIGN GUIDELINES - PUBLIC LIFE

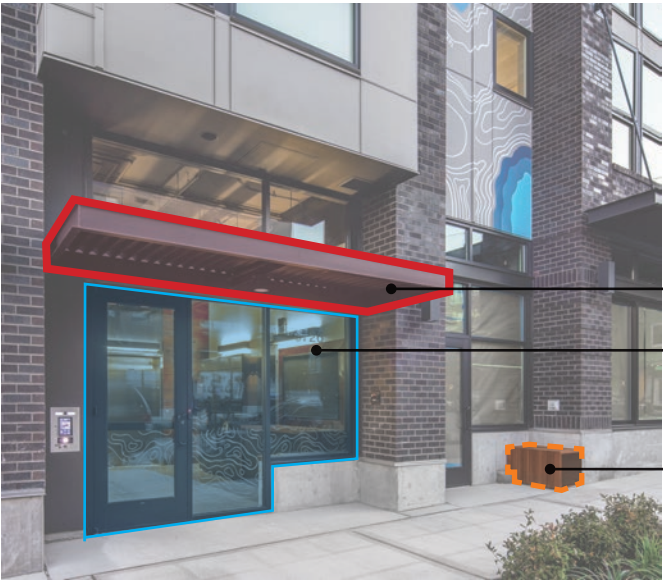


PL2-B-1 | EYES ON THE STREET

Create a safe environment by providing lines of sight and encouraging natural surveillance through strategic placement of doors, windows, balconies, and street-level uses.

RESPONSE |

The site has street level residential uses along two street-facing facades. The proposal is to elevate the residential units a few feet above the adjacent public realm to provide visual respite and a feeling of refuge for residents, while maintaining large windows that encourage eyes on the street to enhance the safety and neighborhood feel of the street frontages. A landscape buffer between the sidewalk and structure provides additional separation & privacy without reducing the opportunity for direct line-of-sight.



PL3-A | ENTRIES

Design primary entries to be obvious, identifiable, and distinctive with clear lines of sight and lobbies visually connected to the street. Scale and detail them to function well for their anticipated use and also to fit with the building of which they are a part, differentiating residential and commercial entries with design features and amenities specific to each.

c. Common entries to multi-story residential buildings need to provide privacy and security for residents but also be welcoming and identifiable to visitors. Design features emphasizing the entry as a semi-private space are recommended and may be accomplished through signage, low walls and/or landscaping, a recessed entry area, and other detailing that signals a break from the public sidewalk.

d. Individual entries to ground-related housing should be scaled and detailed appropriately to provide for a more intimate type of entry. The design should contribute to a sense of identity, opportunity for personalization, offer privacy, and emphasize personal safety and security for building occupants.

RESPONSE |

The proposed designs vary the location and configuration of the entry, but plan to utilize an “ensemble of elements” to make the entry identifiable and distinct from the rest of the streetscape. Large glazing encouraging visual reciprocity between the interior lobby spaces and public realm, use of overhead weather protection, accent colors or materials, and potential features to help distinguish the entry. In the preferred option, the entry is elevated above the adjacent sidewalk, allowing the treatment of the change in grade to be an additional design element to offer privacy and emphasize separation between the public sidewalk and semi-public lobby.

GROUND LEVEL DWELLING UNITS, WINDOW SILLS & LANDSCAPING PROVIDE SEPARATION FROM SIDEWALK



PL3-B-2 | GROUND LEVEL RESIDENTIAL

Privacy and security issues are particularly important in buildings with ground-level housing, both at entries and where windows are located overlooking the street and sidewalk. Consider providing a greater number of transition elements and spaces, and choose materials carefully to clearly identify the transition from public sidewalk to private residence. In addition to the ideas in PL3.B1, design strategies include:

a. vertical modulation and a range of exterior finishes on the facade to articulate the location of residential entries;

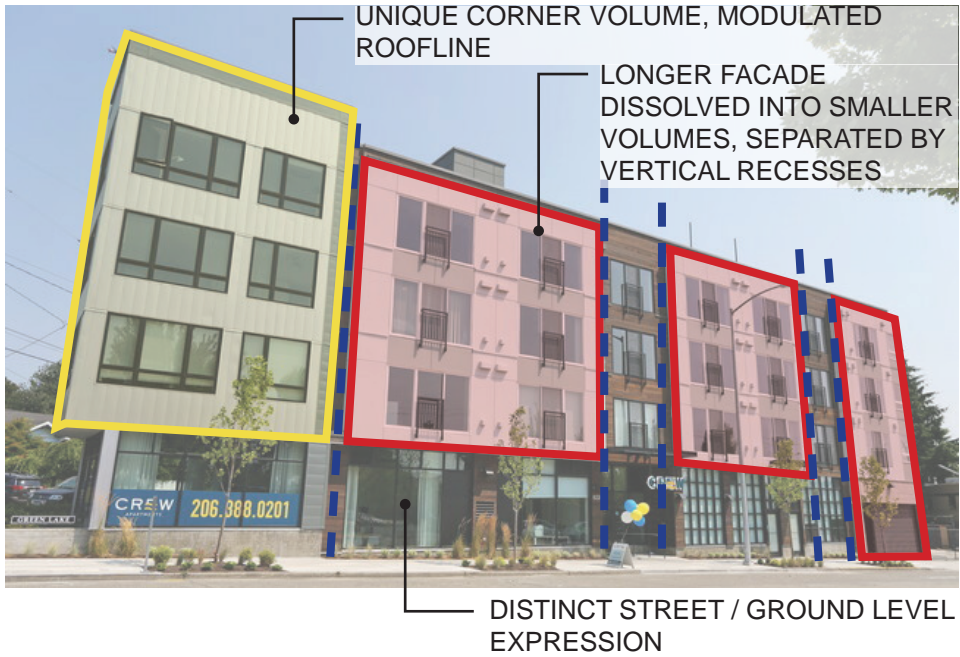
b. pedestrian-scaled building addressing and signage, and entry elements such as mail slots/boxes, doorbells, entry lights, planter boxes or pots; and

c. a combination of window treatments at street level, to provide solutions to varying needs for light, ventilation, noise control, and privacy.

RESPONSE |

The ground level residential units are set back from the property line, with additional landscaping as a buffer between the sidewalk and units. This continuous landscaping, coupled with a change in elevation where possible provides separation between the public realm and private units. At entry locations the landscaping buffer dissolves to provide direct access and a visual connection between the sidewalk and lobby, signaling the change in use.

PRIORITY DESIGN GUIDELINES - DESIGN CONCEPT

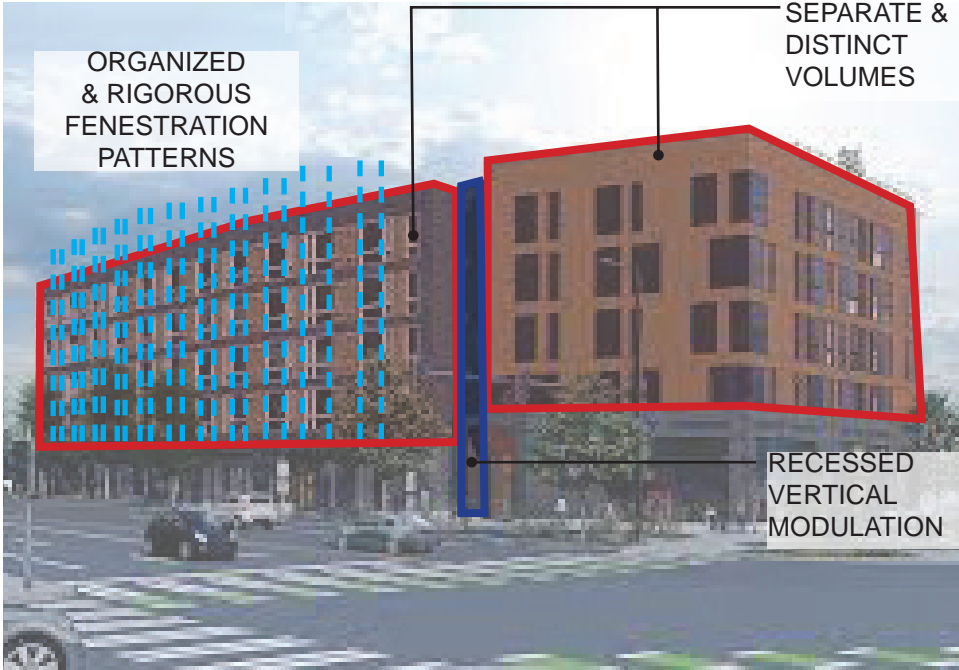


DC2-A-2 | REDUCING PERCEIVED MASS

Use secondary architectural elements to **reduce the perceived mass of larger projects**. Consider creating recesses or indentations in the building envelope; adding balconies, **bay windows**, **porches**, **canopies** or other elements; and/or **highlighting building entries**.

RESPONSE |

The area transitions to neighborhood residential zoning across Whitman Ave to the west, for which the right of way width provides an adequate buffer and transition. For the project’s shared lot line with LR Zoning at the south the project a ground to sky setback and modulation help to dissolve the south facade into volumes of a smaller width that relates to the scale of the existing adjacent townhouses and mitigate the project’s perceived mass.



DC2-B-1 | FACADE COMPOSITION

Design all building facades—including alleys and visible roofs—considering the composition and architectural expression of the building as a whole. Ensure that **all facades are attractive and well proportioned** through the placement and detailing of all elements, **including bays, fenestration, and materials**, and any patterns created by their arrangement. On sites that abut an alley, design the alley façade and its connection to the street carefully. At a minimum, consider **wrapping the treatment of the street-facing façade around the alley corner** of the building.

RESPONSE |

The project has three right-of-way facing facades, with it’s fourth facade still visible from the neighboring properties and over the existing single-story commercial structures to the east. Establishing a clear design concept & material palette that wraps all four sides will be critical in maintaining a cohesive design expression for the project. Utilizing a simple massing concept, with tertiary layers of carefully placed fenestration and material distribution will ensure a design that is a beautiful and appropriate addition to the neighborhood.



DC4-A-1 | EXTERIOR FINISH MATERIALS

Building exteriors should be constructed of **durable** and maintainable materials that are **attractive even when viewed up close**. Materials that have **texture**, pattern, or lend themselves to a **high quality of detailing** are encouraged.

RESPONSE |

Multifamily buildings of similar scale and use in the Aurora-Licton Springs neighborhood employ a variety of materials - Fiber cement paneling, metal siding, and wood / wood finish products combine with metal accents and large glazing to add character to the emerging developments. While there is no single dominant color or rhythm, all utilize the varying materials to define volumes and dissolve the perceived height, bulk, and scale of the structures through texture and color. Smooth fiber cement panels & metal siding are common, with finer grain and/or natural materials used as accents.

ZONING & LAND USE SUMMARY

NC3-55 | NEIGHBORHOOD - COMMERCIAL ZONING (SMC 23.47A)
AURORA-LICTON SPRINGS RESIDENTIAL URBAN VILLAGE

23.47A.004 | PERMITTED USES

- Residential uses (apartments) are permitted outright, per table A 23.47A.004.

23.47A.008 | STREET-LEVEL DEVELOPMENT STANDARDS

- The provisions of this subsection 23.47A.008.A apply to structures in NC zones.
- Blank segments of the street-facing façade between 2 and 8 feet above the sidewalk may not exceed 20 feet in width. The total of all blank façade segments may not exceed 40 percent of the width of the façade of the structure along the street.
- Street facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.

Where residential uses are located along a street-level street-facing façade, the following requirements apply:

- At least one of the street-level street-facing façade containing a residential use shall have a visually prominent pedestrian entry.
- The floor of a dwelling unit located along the street level street-facing facade shall be at least 4 feet above or 4 feet below sidewalk grade or be set back at least 10 feet from the sidewalk.

23.47A.012 | STRUCTURE HEIGHT

The height limit for structures in NC3-55 is 55 feet.

Applicable height exceptions are:

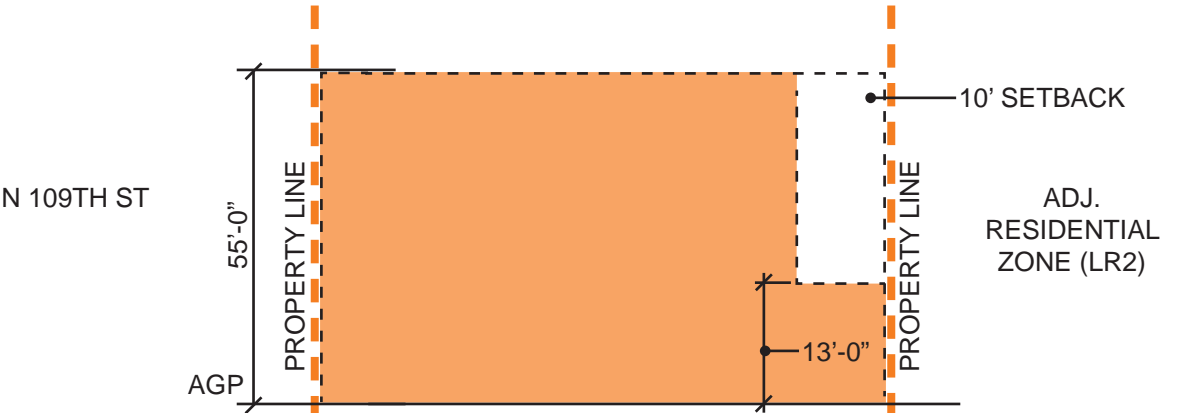
- Open railings, planters, clerestories, greenhouses, solariums, parapets, and firewalls may extend up to 4 feet above the otherwise applicable height limit.
- Insulation material or soil for landscaping located above the structural roof surface may exceed the maximum height limit by up to 2 feet if enclosed by parapets or walls that comply with this subsection 23.47A.012.C.2. Rooftop decks and other similar features may exceed the maximum height limit by up to two feet, and open railings or parapets required by the Building Code around the perimeter of rooftop decks or other similar features may exceed the maximum height limit by the minimum necessary to meet Building Code requirements.
- Solar collectors may extend up to 7 feet above the otherwise applicable height limit, with unlimited rooftop coverage.
- The following rooftop features may extend up to 15 feet above the applicable height limit, as long as the combined total coverage of all features does not exceed 30 percent of the roof area, or 35 percent of the roof area if the total includes stair or elevator penthouses.
 - Solar collectors that exceed the 7 feet above the otherwise applicable height limit
 - Mechanical equipment
 - Sun & wind screens, & similar weather protection features such as eaves or canopies extending from rooftop features
 - Covered or enclosed common recreation areas
 - Stair and elevator penthouses (may extend up to 16 feet above the applicable height limit)
- Solar collectors, planters, clerestories, sun and wind screens, and similar weather protection features such as eaves or canopies extending from rooftop features, covered or enclosed common recreation areas, and non-firewall parapets shall be located at least 10 feet from the north lot line unless a shadow diagram is provided that demonstrates that locating such features within 10 feet of the north lot line would not shade property to the north on January 21st at noon more than would a structure built to the maximum permitted height & FAR.

23.47A.013 | FLOOR AREA RATIO

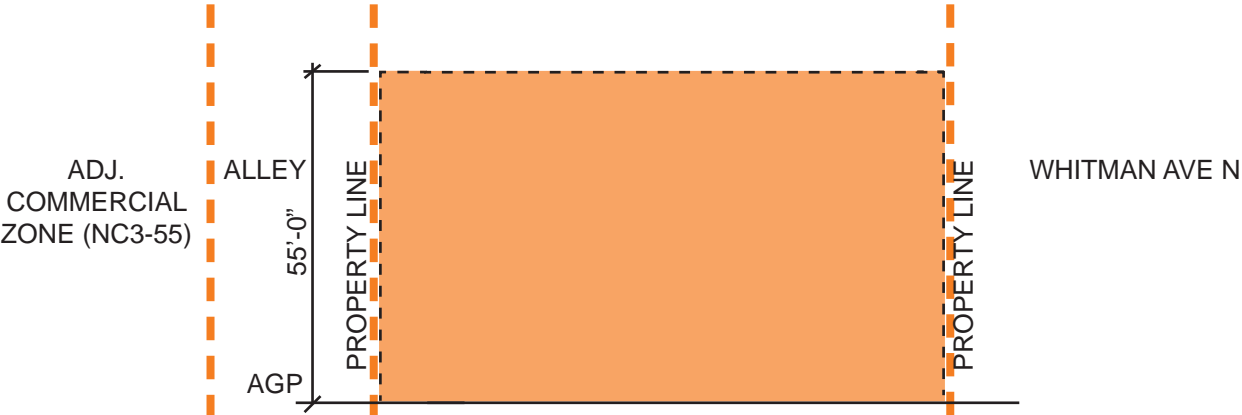
The maximum FAR in a NC3 zone with a 55 foot height limit for a single (residential or non residential) use is 3.75, per Table A 23.47A.013.

Applicable FAR exceptions:

- All stories, or portions of stories, that are underground.
- Portions of a story that extend no more than 4 feet above existing or finished grade, whichever is lower, excluding access.
- The floor area of required bicycle parking for small efficiency dwelling units.



SECTION DIAGRAM (N / S)
MAX ZONING ENVELOPE



SECTION DIAGRAM (E / W)
MAX ZONING ENVELOPE

23.47A.014 | SETBACKS & SEPARATIONS

- Setbacks for lots abutting or across an alley from residential zones:
- A setback is required where a lot abuts the intersection of a side lot line and front lot line of a lot in a residential zone. The required setback forms a triangular area. Two sides of the triangle extend along the street lot line and side lot line 15 feet from the intersection of the residentially zoned lot's front line and the side lot line abutting the residentially zoned lot. The third side connects these two side with a diagonal line across the commercially zoned lot.
 - Front (street-facing): **None required**
 - Side, interior lot line (abutting LR2 zone): **10'-0" setback for structures above 13'-0" in height to a maximum of 65'-0"**
 - Upper Levels (street-facing & abutting commercial zone: **For each portion of the structure above 65' in height, additional setback of 1'/10' building height to a maximum of 20' total setback**
 - Rear (abutting or across an alley from residential zones, if containing a residential use): **None required**

23.54.015 | PARKING REQUIREMENTS

- Per Table B SMC 23.54.015 Item M, no parking required within a Urban Village zone, w/ residential use located within 1,320 ft of a street with frequent transit service (Aurora Avenue North is adjacent to site).
- Bicycle parking requirements: Short-term: 1 per dwelling unit | Long-term: 1 per 20 dwelling units, per Table D SMC 23.54.015 Item D.2. - For residential uses, after the first 50 spaces for bicycles are provided, additional spaces are required at three-quarters the ratio.
- Required bicycle parking shall be provided in a safe, accessible, and convenient location, emphasizing user convenience and theft deterrence, based on rules promulgated by the Director of the Seattle Department of Transportation that address the considerations in subsection 23.54.015.K.2.
- Secure locations and arrangements of long-term bicycle parking shall be provided, with features such as locked rooms or cages and bicycle lockers. Provide adequate lighting in the bicycle parking area and access routes to it. Bicycle parking hardware shall be installed so that it can perform to it's manufacturer's specifications and any design criteria promulgated by the director of transportation, allowing adequate clearance for bicycles and their riders.
- Bicycle parking required for small efficiency dwelling units is required to be covered for weather protection. If the required, covered bicycle parking is located inside the building that contains small efficiency dwelling units, the space required to provide the required bicycle parking shall be exempt from floor area ratio (FAR) limits. Covered bicycle parking that is provided beyond the required bicycle parking shall not be exempt from FAR limits.

23.47A.016 | LANDSCAPE AND SCREENING STANDARDS

- Green Factor of **0.3 or greater** is required
- Street trees are required, in consultation with SDOT.
- Screening shall consist of fences, walls, or landscaped areas, including bioretention facilities or landscaped berms. Any type of screening shall be:
 - At least 3'-0" tall along street lot lines
 - 6'-0" tall, with 5'-0" deep landscape buffer along the abutting lot line with a residentially zoned site

23.47A.022 | LIGHT AND GLARE STANDARDS

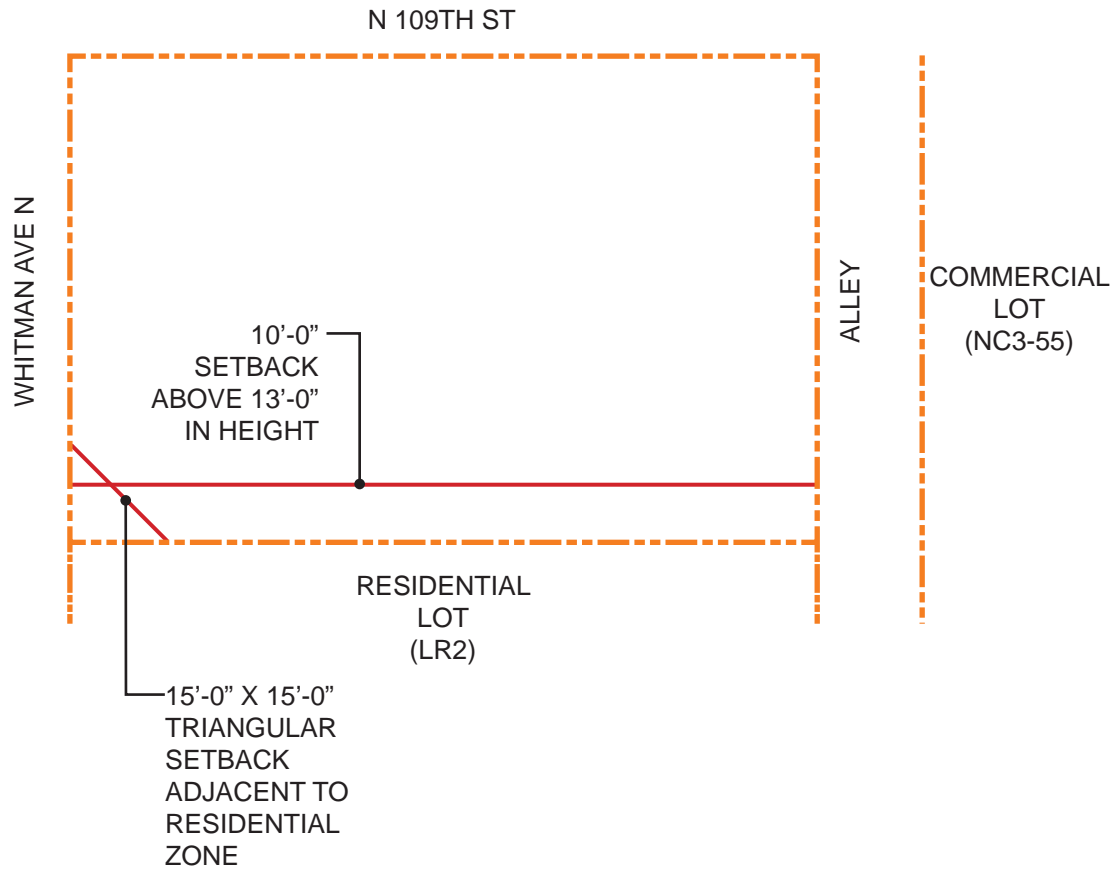
Exterior lighting shall be shielded and directed away from adjacent properties.

23.47A.024 | AMENITY AREA

- The required amount of amenity area in NC zones is equal to **5%** of the total gross floor area of the structure in residential use, with the following conditions:
- All residents shall have access to at least one common or private amenity area.
 - Amenity areas shall not be enclosed.
 - Common Amenity areas: 250 SF min., no horizontal dimension less than 10 feet.
 - Private Amenity areas : 60 SF min., no horizontal dimension less than 6 feet.

23.54.040 | SOLID WASTE AND RECYCLABLE MATERIALS STORAGE AND ACCESS |

- A minimum required square footage shall be provided based on the total unit count
 - For developments with 9 dwelling units or more, the minimum horizontal dimension of required storage space is 12 feet.
- The floor of the storage space shall be level and hard-surfaced.
- Access ramps to the storage space shall not exceed a grade of 6 percent.



Opportunity to Provide Online Input on the 1001 N 109th St Project

ABOUT THE PROJECT

This project proposes construction of a new five-story apartment building with approximately 90 units. No parking required, per city code.

What: Let us know what you think! Visit our website at www.1001N109thStProject.com to learn more about this new project, including the team's proposed vision and approach.

Survey: Take our online survey to share your thoughts about the project site and components. (Survey located on the project website.)

Comments: Provide additional comments via our comment form or by email at 1001N109thStProject@earlyDRoutreach.com



SCAN ME



N 109TH ST

AURORA AVENUE

99

SITE

CITY OF SEATTLE REQUIRED OUTREACH FOR 1001 N 109TH ST PROJECT

ADDITIONAL PROJECT DETAILS

Project Address:
1001 N 109th St, Seattle, WA 98133

Contact:
Natalie Quick

Applicant:
Parkstone Properties

Additional Project Information on Seattle Services Portal via the Project Number:
3040343-EG

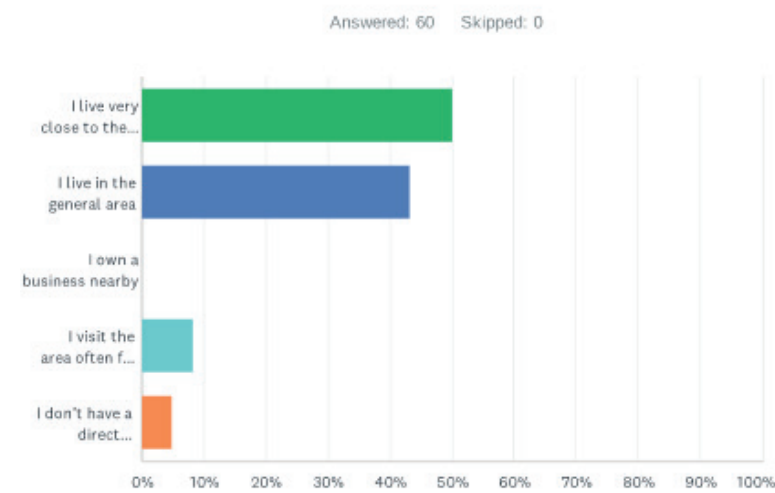
Project Email:
1001N109thStProject@earlyDRoutreach.com

Note that emails are generally returned within 2-3 business days and are subject to City of Seattle public disclosure laws

This effort is part of the City of Seattle's required outreach process, in advance of Design Review.

PROJECT FLYER DISTRIBUTED TO NEARBY RESIDENTS, BUSINESS OWNERS, & COMMUNITY GROUPS.

Q1 What is your connection to this development project?



Public Outreach was completed for the project by mailing printed flyers o nearby residents, business owners, and community groups soliciting feedback on the project via a website. The responses from the survey questions were provided to the project team for review and consideration.

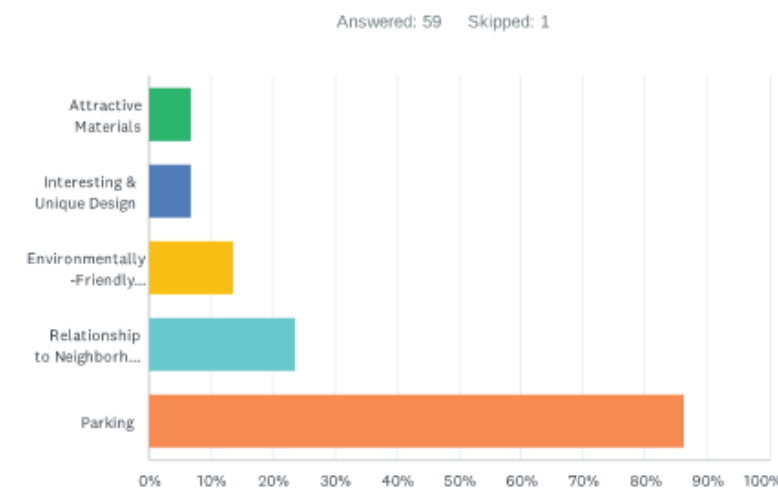
The majority of respondents live very close or in the general area of the project (Question 1).

The most important aspect of the project, and much of the written feedback centered around parking (Question 2) and lighting & safety (Question 3), though there was other design review related feedback as well, including landscaping, relationship of the project to neighborhood character, unique / interesting design, and attractive materials.

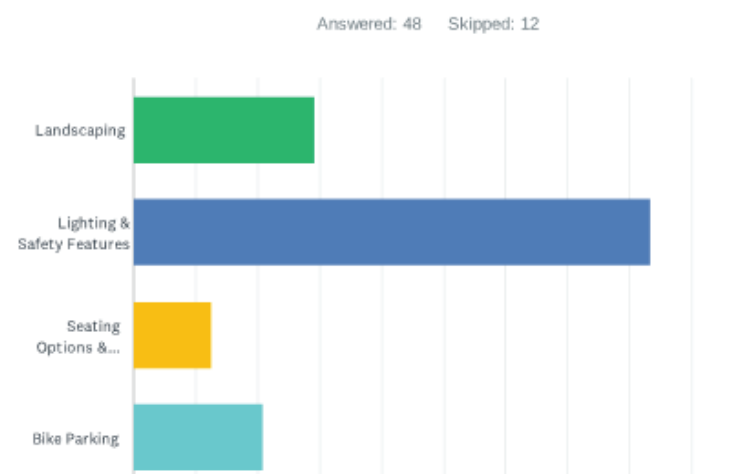
Specific design-related comments included:

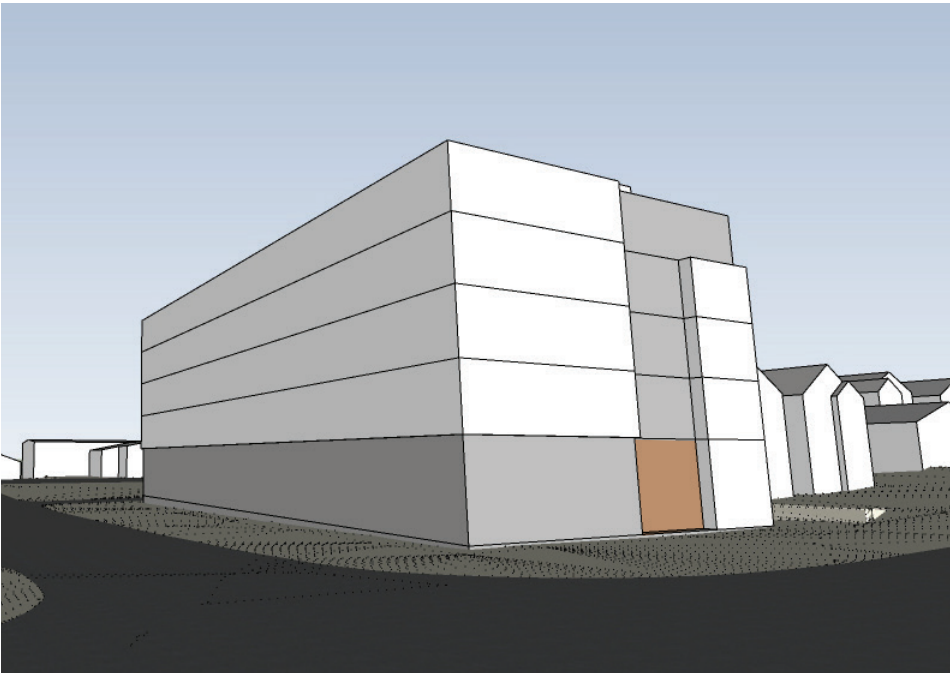
- “Proper lighting and safety features with good quality landscaping should be seriously considered.”
- “I enjoy seeing high-quality construction materials and innovative architecture, but also enjoy the timeless / classic style of older buildings (Pre-1920)
- “Connecting to the Interurban Trail (one block away) is as important as connecting to the E Line bus stops.”
- “Improve the neighborhood with safety enhancements that benefit both future residents and current neighbors.”

Q2 What is most important to you about the design of this property?



Q3 What is most important consideration for the exterior space on this property?





OPTION A - WEST ENTRY
PREFERRED

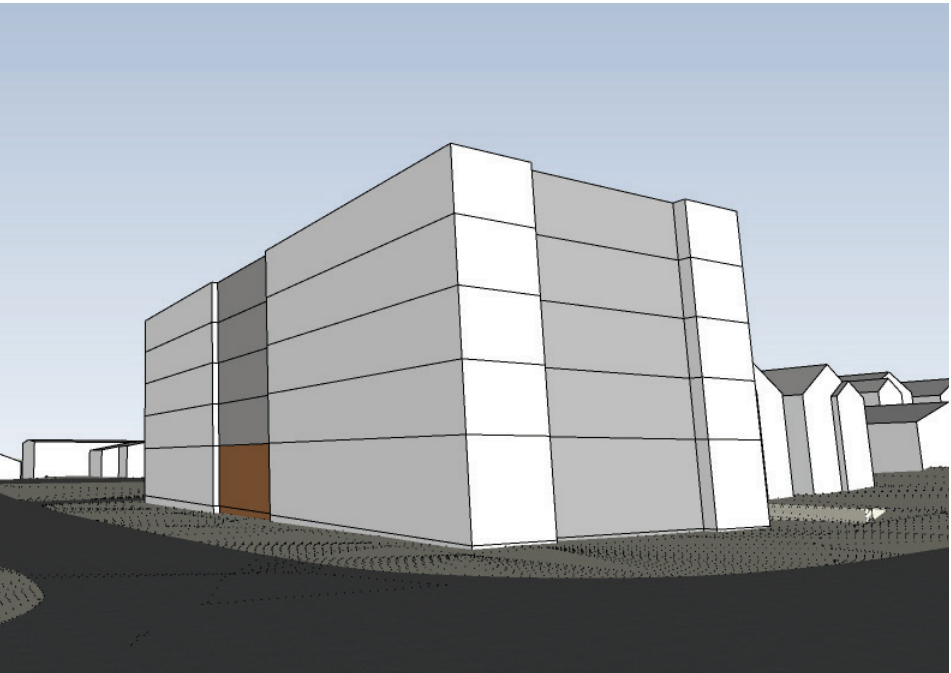
FAR | 3.66
UNITS | 101
REQD DEPARTURES | SMC 23.47A.008.D2

OPPORTUNITIES

- + Primary entry location faces other residential uses and utilizes site topography to avoid required ramps or stairs, either exterior or interior to the building
- + Vertical modulation at west and south facade reduced perceived height, bulk and scale, relate massing to scale of adjacent context and use

CONSTRAINTS

- Requires modest departure for residential use setback adjacent to sidewalks



OPTION B - NORTH ENTRY

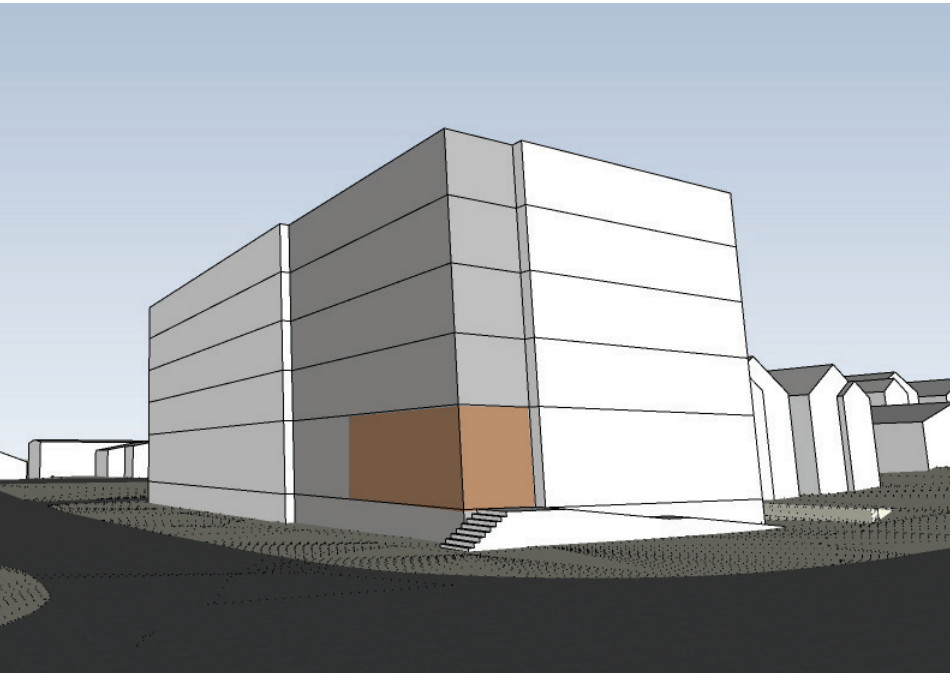
FAR | 3.66
UNITS | 101
REQD DEPARTURES | SMC 23.47A.008.D2

OPPORTUNITIES

- + Primary entry faces adjacent multifamily building, which also has entry on 109th, and directly meets sidewalk without exterior stairs or ramp.
- + Vertical modulation is symmetrical and mirrored on both street facing facades

CONSTRAINTS

- Requires modest departure for residential use setback adjacent to sidewalks
- Sidewalk meeting grade improves accessibility, but requires additional stairs and ramps within the lobby



OPTION C - CORNER ENTRY
CODE COMPLIANT

FAR | 3.62
UNITS | 102
REQD DEPARTURES | NONE , CODE COMPLIANT

OPPORTUNITIES

- + Primary entry and lobby at corner, allowing activation of both street facing facades
- + Proposed modulation reinforces corner priority

CONSTRAINTS

- Requires significant ramping along entire west facade for accessibility, reduces opportunity for landscaping buffer at site edge
- Roof deck at northwest corner mirrors lobby location at L1, but locates the roof deck near adjacent residential zoning instead of similar commercial zoning