

EARLY DESIGN GUIDANCE
ADMINISTRATIVE DESIGN REVIEW

SDCI NO. 3040273-EG
1718 Dearborn
Seattle, WA 98144

APPLICANT
Green Canopy NODE
27 S Hanford St
Seattle, WA 98134
contact: Jessica Tranquada

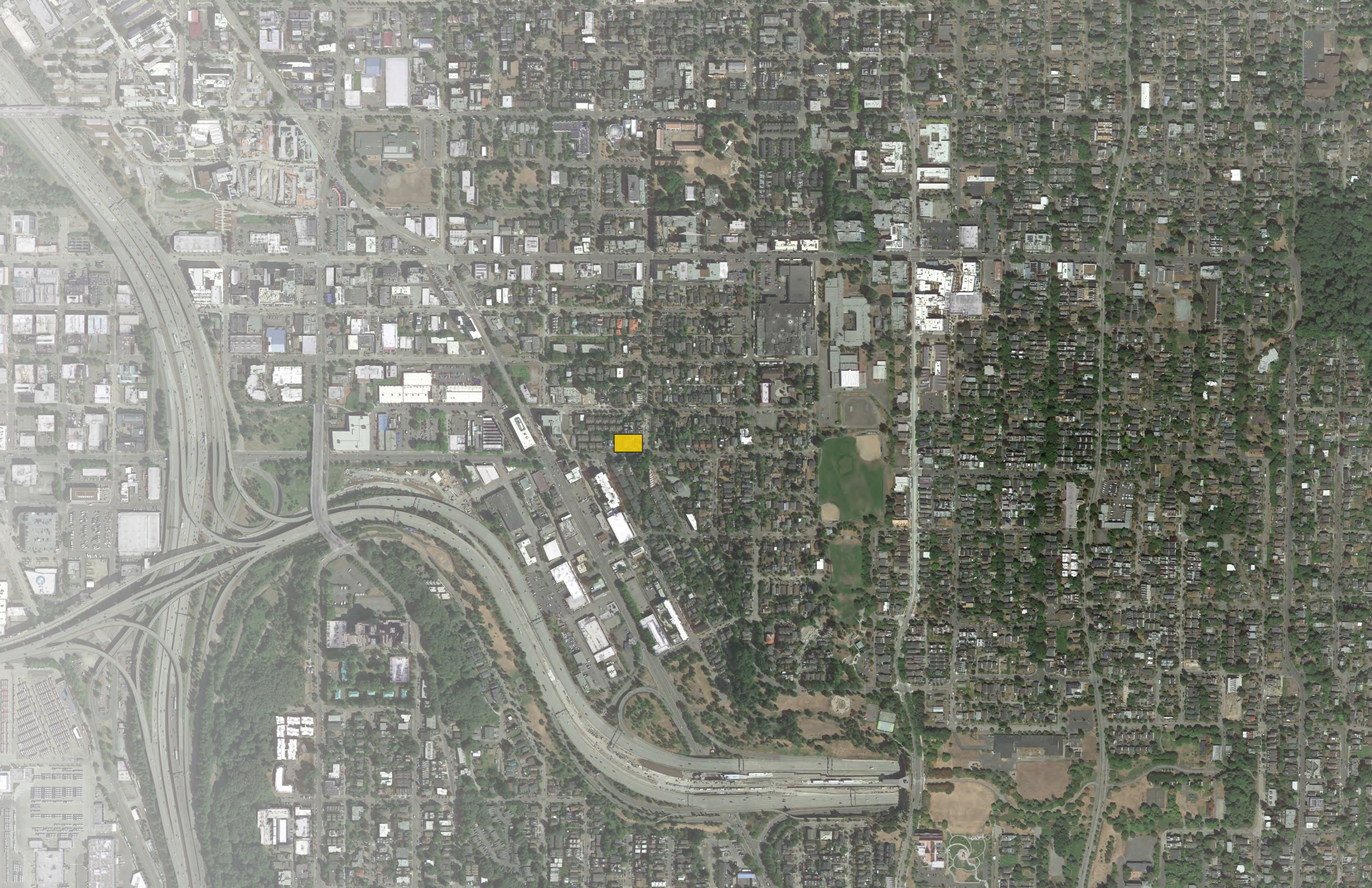
DEVELOPER / ARCHITECT
Green Canopy NODE
27 S Hanford St
Seattle, WA 98134

SDCI PLANNER
Joseph Hurley

EDG PRE-SUB MEETING
1:00pm 11/03/2022

PACKET SUBMITTAL DATE
5/1/2023







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PROJECT INFORMATION

Administrative Design Review for 4 new 3-story, market rate townhome units. Parking for 4 vehicles is proposed. Existing buildings to be demolished. To be considered together with 3040274-EG for shared vehicle access.

SUSTAINABILITY GOALS

All units will be designed and built to meet a minimum 4-star BuiltGreen certification. Sustainable materials will be used in the construction, such as low-to-no VOC interior finishes, FSC certified lumber and reclaimed wood. Conduit will be installed for all parking spaces to facilitate installation of future electric car charging stations. Drought tolerant and low maintenance plantings will help to reduce water usage while providing natural beauty to the owners and public.

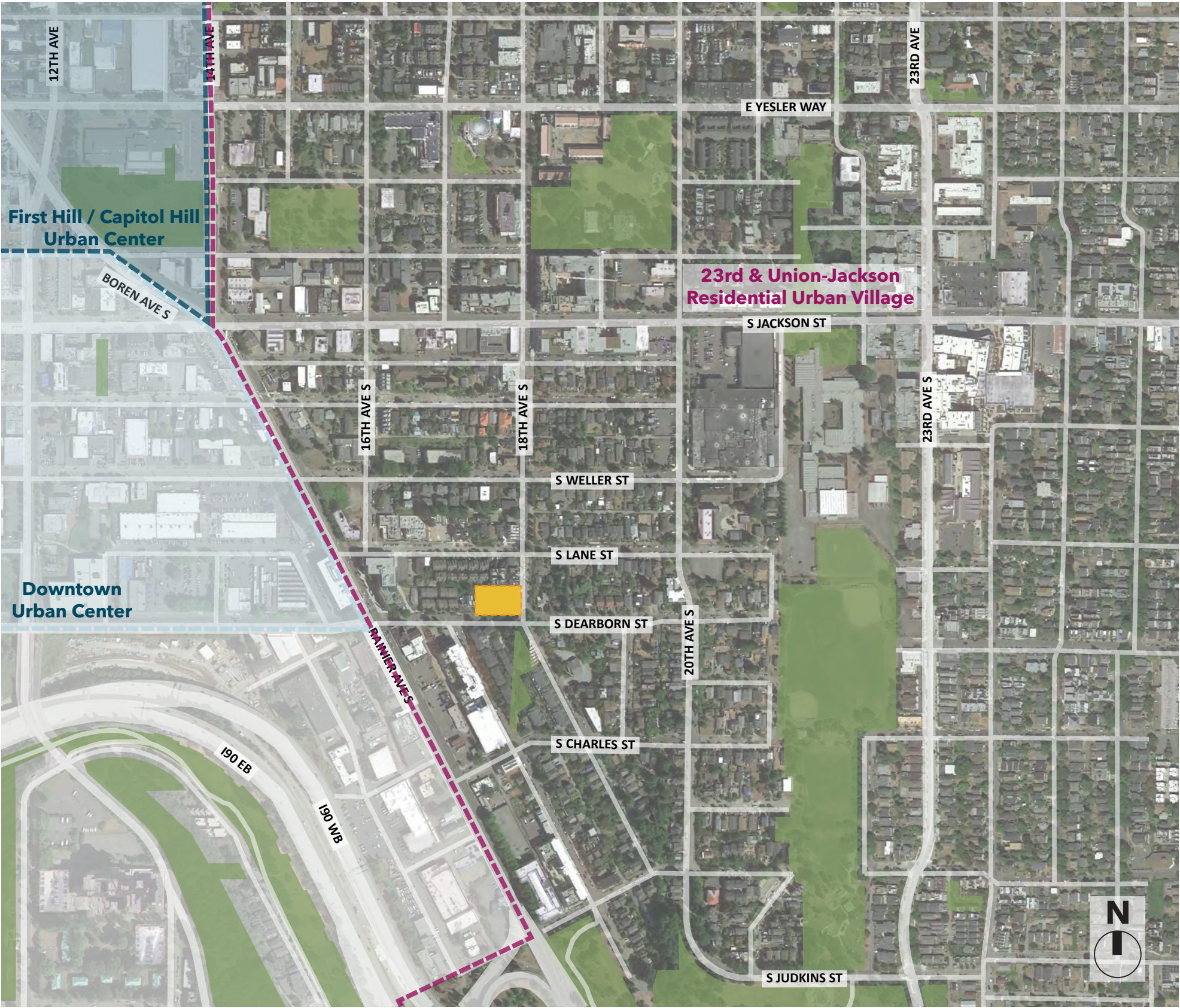
PROPOSED PROGRAM (PREFERRED)

PROPOSED UNITS: 4 townhomes
PARKING SPACES: 4 spaces

LOT AREA (SF): 5,747 SF
ALLOWED FAR: 8,046 SF MAX
PROPOSED FAR: 6,562 SF
PROPOSED GSF: 7,612 SF

SDCI PERMIT NUMBERS:

LOT BOUNDARY ADJUSTMENT: 3040228-LU
EARLY DESIGN GUIDANCE: 1704; 3040274-EG 1718; 3040273-EG
MASTER USE PERMITS: 1704; 3040229-LU 1718; 3038965-LU
CONSTRUCTION PERMITS: 1704; 6924867-CN 1718; 6872685-CN
DEMOLITION PERMITS: 1704; 6924868-DM 1714; TBD
1712; TBD 1718; 6872686-DM
UNIT LOT SUBDIVISION: 1704; TBD 1718; TBD



SUMMARY OF PUBLIC OUTREACH

PRINTED OUTREACH MAILER

A printed mailer (below) was distributed to all addresses within 500ft of the development site on 10/18/2022. It provided a brief description of the proposed development, applicant contact information and invited interested parties to attend the public presentation and/or provide feedback through the online survey. All text is provided in English, Spanish, Vietnamese and Traditional Chinese.

APPROXIMATE DISTRIBUTION OF OUTREACH FLYER



ADDITIONAL OUTREACH:

An email message including a copy of the mailer was sent to all local community organizations and media outlets identified by the Department of Neighborhoods. It introduced the project and invited their members to attend the public meeting and complete the online survey.

DIGITAL OUTREACH ONLINE SURVEY

Both the mailer and additional emails directed interested parties to an online survey based on the City of Seattle guidelines for Early Community Outreach. The survey was translated into English, Spanish, Vietnamese and Traditional Chinese and was available from 10/12/22 - 11/15/22.

SUMMARY OF RESPONSES:

The five survey respondents were concerned with affordability, environmental sustainability, thoughtful landscaping, potential construction noise impacts, building scale with respect to adjacent homes and the new development’s impact on parking in the neighborhood.

IN-PERSON EVENT PUBLIC MEETING

A community meeting was held on 11/08/2022 from 6:30pm - 7:30pm at the Japanese Community and Cultural Center of Washington. The meeting included an introduction to Green Canopy NODE’s mission of sustainability and social responsibility, a presentation of the proposed development and a question and answer session. Five residents of neighboring properties attended the meeting.

SUMMARY OF COMMENTS

At the Community meeting, neighbors raised several concerns and added valuable feedback that will help us improve the final project design. The following is a summary of the comments and issues raised by members of the community.

- Concern about planting new street trees on 18th – previous street trees were hit by cars and subsequently died. Will there be any protection to prevent that? Will the tree in the roundabout be replaced? It appears to be in poor shape.
- Is it possible to install a bench near the intersection? Providing a space to rest at the top of the hill would be a great amenity for the neighborhood. The bench could be in the form of a thick retaining wall – anything that would allow people to rest.
- Concern about affordability of new townhomes. There are many affordable developments in the vicinity, would like for this to also provide affordable home ownership.
- Displacement of tenants in the existing homes.
- Water main in Dearborn – has leaked several times (west of the development site) and some of the existing street paving appears to be sinking.
- Stormwater management – concern that this project to add to the runoff that already accumulates on Dearborn.
- Site upkeep before construction start. 1614 S Dearborn (west of the site) is already a safety concern on this block, neighbors don’t want 1704-1718 to become another safety issue once the current tenants move out.
- Lifecycle of the proposed structure?
- Will there be a landscape architect, will the project utilize native plantings?
- Limit size of roof decks, would prefer units to focus amenity space at or near grade to improve street interface. There are many good examples in the neighborhood of front porches that activate the street.
- Design needs to consider the facades facing 18th – they shouldn’t be an after-thought. 18th is a fairly active pedestrian route since it connects several area parks with the P-Patch.
- Concern about site security for the finished homes, pay attention to side / rear yards and how to minimize possible criminal activity.
- Excited about proposed ROW improvements. Removing the existing retaining walls, replacing the sidewalk and adding curb ramps will make the ROW safer and easier to navigate.

OUTREACH FLYER

BRIEF DESCRIPTION
Green Canopy NODE is redeveloping the property at 1718 S Dearborn Street. The site is currently used for four detached single family homes. The proposal includes twelve new townhomes designed for sustainability. We're just getting started with planning now. Construction could start in the Summer of 2023 and the townhomes could be finished as early as the Spring of 2025.

PUBLIC COMMUNITY PRESENTATION
What's new is presented & followed by a question and answer session.
Where: Japanese Cultural & Community Center of Washington
1414 S Weller St.
When: 2022 November 8th 6:30PM-7:30PM
Online Survey:
greencanopy.typeform.com/to/lwUQa3E

MORE INFORMATION
To find out more about this project and track our progress through the permitting process, search the project address 1718 S Dearborn / 3040273-EG in the Design Review Calendar and the Seattle Services Portal. To find out more about early outreach for design review, visit the Department of Neighborhood's webpage.
Project Contact
jessica@greencanopynode.com
Jessica Callegre
Any information you share could be made public. Please do not share any personal or sensitive information.

INVITATION TO PARTICIPATE
ONLINE SURVEY AND PUBLIC PRESENTATION

INVITACIÓN PARA PARTICIPAR
ENCUESTA EN LÍNEA Y PRESENTACIÓN PÚBLICA

參加線上問卷調查和
公開情況介紹的邀請

LỜI MỜI THAM DỰ
CUỘC THĂM DÒ TRỰC TUYẾN VÀ BUỔI GIỚI THIỆU TRƯỚC CÔNG CHÚNG

PERMIT # 1445
SEATTLE WA
PAID
U.S. POSTAGE
FIRST CLASS
PSRT STD

DESCRIPCIÓN DEL PROYECTO
Green Canopy NODE está reurbanizando la propiedad ubicada en 1704, 1712 y 1718 S Dearborn Street. Actualmente, el sitio está ocupado por cuatro viviendas unifamiliares. La propuesta incluye doce nuevas unidades de vivienda diseñadas para ser sostenibles. Estamos comenzando a planificar ahora. La construcción podría comenzar en la primavera de 2024 y las casas podrían estar terminadas para la primavera de 2025.

PRESENTACIÓN COMUNITARIA ABIERTA AL PÚBLICO
¿Qué? Una breve presentación seguida de una pregunta y respuesta.
Dónde? Centro Cultural Japonés / Comunitario Japonés de Washington
Cuando? 3 de noviembre de 2022 a las 18:00
Online Survey:
greencanopy.typeform.com/to/lwUQa3E

INFORMACIÓN ADICIONAL
Para obtener más información sobre este proyecto y seguir nuestro progreso en el proceso de obtención de permisos, busque la dirección del proyecto (1718 S Dearborn / 3040273-EG) en el Calendario de Revisión de Diseño y en el Portal de Servicios de Seattle. Para obtener más información sobre la divulgación inicial de la revisión del diseño, visite la página web del Departamento de Vecindario.
Contacto del proyecto
jessica@greencanopynode.com
Jessica Callegre
Cualquier información que comparta podría publicarse. Por favor no comparta ninguna información personal o de carácter reservado.

MÔ TẢ DỰ ÁN
Green Canopy NODE đang tái phát triển bất động sản tại 1704, 1712 & 1718 S Dearborn Street. Tại đây hiện có 4 căn nhà biệt lập. Kế hoạch tái phát triển bao gồm 12 căn nhà mới được thiết kế bền vững. Chúng ta đang bắt đầu lập kế hoạch. Việc xây dựng sẽ bắt đầu vào mùa xuân năm 2024 và các khu nhà sẽ hoàn thành sớm nhất là vào mùa xuân năm 2025.

BUỔI GIỚI THIỆU TRƯỚC CÔNG CHÚNG
Nội dung: Phần ngắn giới thiệu mô tả dự án và theo dõi tiến trình xin giấy phép của chúng tôi, hãy tìm địa chỉ 1718 S Dearborn hoặc dự án số 3040273-EG trong Lịch Buộc xét / Design Review Calendar và Cổng thông tin Dịch vụ Thành phố Seattle. Để biết thêm về chuyển tham khảo công đồng trước và vấn đề thiết kế, xin ghé trang mạng của Ủy ban Khu phố (Department of Neighborhood).
Nơi liên lạc
jessica@greencanopynode.com
Xin lưu ý về quyền riêng tư
Các thông tin quý vị chia sẻ có thể được công bố. Vui lòng chỉ chia sẻ những thông tin cá nhân thật cần thiết.

MUỐN CÒI THÊM THÔNG TIN
Muốn tìm hiểu thêm về dự án này và theo dõi tiến trình xin giấy phép của chúng tôi, hãy tìm địa chỉ 1718 S Dearborn hoặc dự án số 3040273-EG trong Lịch Buộc xét / Design Review Calendar và Cổng thông tin Dịch vụ Thành phố Seattle. Để biết thêm về chuyển tham khảo công đồng trước và vấn đề thiết kế, xin ghé trang mạng của Ủy ban Khu phố (Department of Neighborhood).
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項目描述
Green Canopy NODE 正在重新開發位於 S Dearborn Street 的 1704、1712 和 1718 號的物業。目前該地點被四個 detached single family homes 佔據。我們的計劃包括十二個為可持續性設計的新住宅單位。我們現在才剛開始規劃。建築施工可能在 2024 年春季開始，聯排別墅最遲可能在 2025 年春季完成。

向公眾公開的社區情況介紹
簡介內容：關於該項目的簡短介紹，之後有問答環節。
舉行地點：日本文化社區中心，華盛頓州
1414 S Weller St.
什麼時候：2022年11月8日，下午6:30
線上問卷調查：
greencanopy.typeform.com/to/lwUQa3E

更多資訊
欲瞭解有關此項目的更多資訊並跟蹤我們的審批進度，請在「設計審批日曆」(Design Review Calendar) 和「西雅圖市服務中心」(Seattle Services Portal) 中搜尋項目地址 1718 S Dearborn / 3040273-EG。欲瞭解更多關於設計審查早期公開活動的資訊，請訪問社區發展部 (Department of Neighborhood) 網頁。
項目聯絡人
jessica@greencanopynode.com
Jessica Callegre
任何您分享的信息都可能會公開。請不要分享任何個人或敏感資訊。

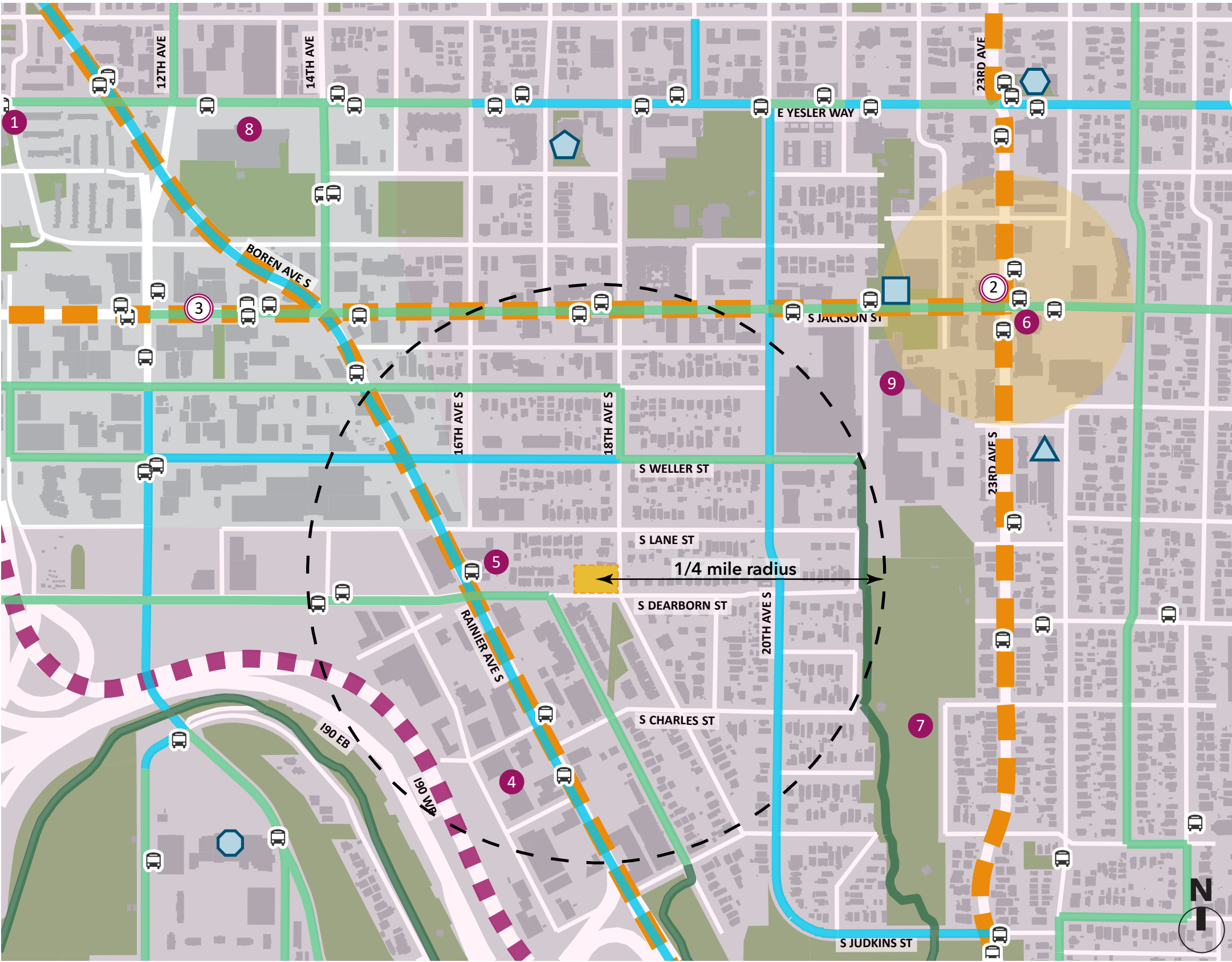


VICINITY MAP

LEGEND

- Development Site
- PATHS
- Local roads
- Arterial roads
- Divided lane highways
- Multi-purpose Trails
- Neighborhood Greenways / Bike Lanes
- Shared Roads
- EDGES
- Edge defined by large road with high speed and volume of traffic.
- Edge of neighborhood defined by Highway
- The area highlighted was designated as "Hazardous" in the 1930 federal HOLC.
- NODES
- Bus Stop
- 1

Point of Interest - see next page
- Community Node
- DISTRICTS
- Parks and public open space
- 23rd & Jackson character area
- LANDMARKS
- Wood Technology Center
- Seattle Vocational Institute
- Langston Hughes Performing Arts Institute
- Douglass Truth Library
- Pacific Tower / Old Marine Hospital



POINTS OF INTEREST



1 Yesler Community Center



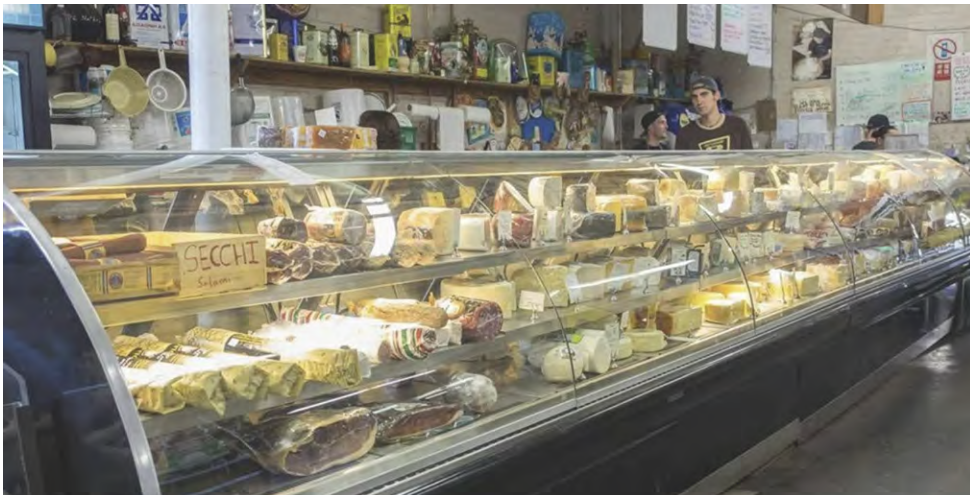
2 Neighborhood Commercial Corridor



3 Ding How Center



4 Seattle Bouldering Project



5 Big John's PFI



6 Amazon Fresh



7 Judkins Park



8 Bailey Gatzert Elementary School



9 Washington Middle School



ADJACENT ZONING MAP












CONTEXT ANALYSIS

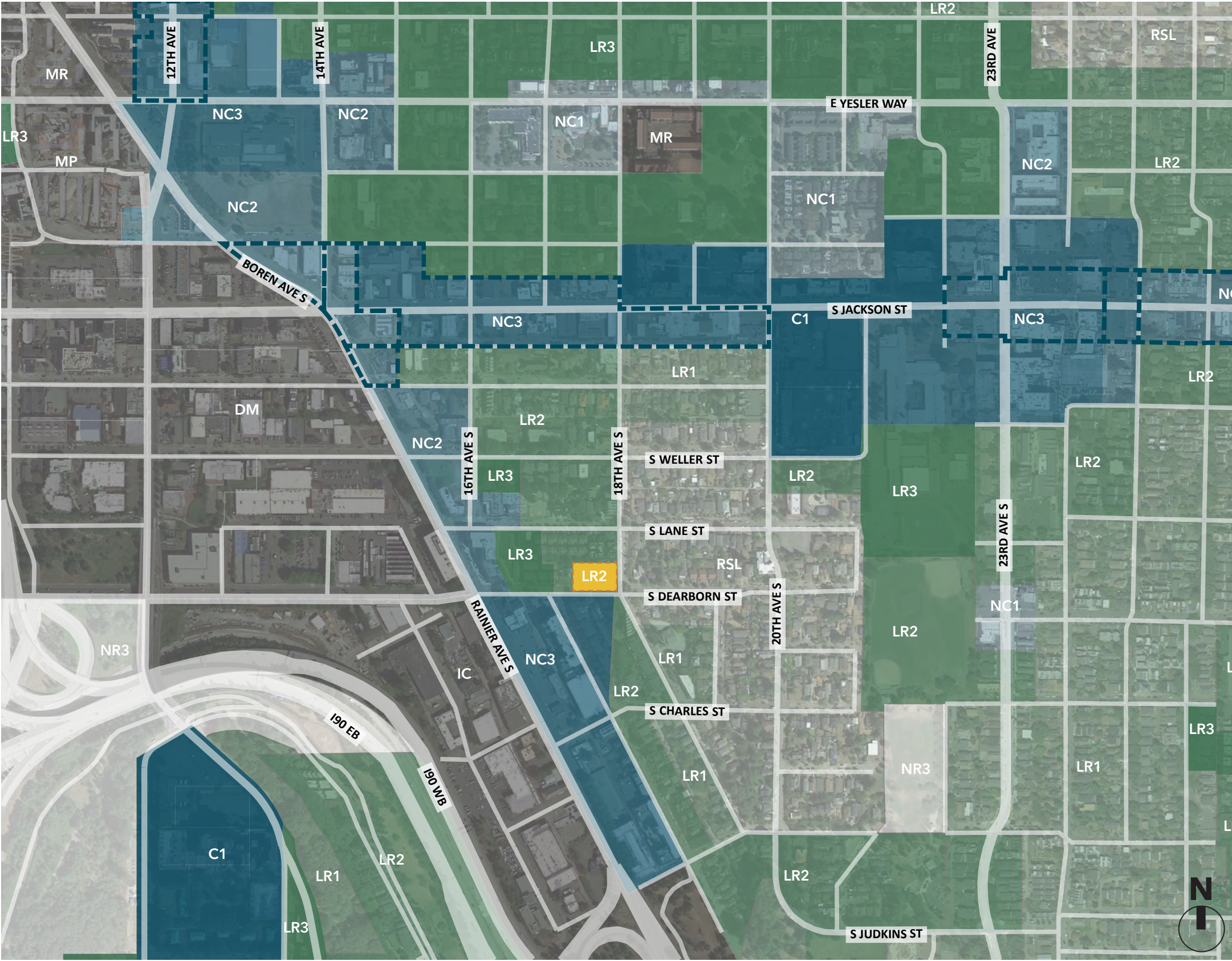
The development site is surrounded by a diverse mix of multi-family buildings, apartments, condominiums, townhomes, neighborhood commercial, industry, and single-family homes.

This site is in a transitional zone from the denser neighborhood commercial and industrial buildings to the west and smaller scale single family homes to the east. In addition, this site has decent views to the South and West out towards the Puget Sound, and with a clear view of the Pacific Tower / Old Marine Hospital.

All lots abutting to the development site and many in the surrounding area have been recently redeveloped to a similar pattern of height and density. See aerial view on the next page.

LEGEND

-  LR2 - Development Site
-  Industrial / Manufacturing
-  C1 - Commercial
-  NC3 - Neighborhood Commercial 3
-  NC2 - Neighborhood Commercial 2
-  NC1 - Neighborhood Commercial 1
-  LR3 - Low Rise 3
-  LR2 - Low Rise 2
-  LR1 - Low Rise 1
-  RSL - Residential Small Lot
-  Pedestrian Zone



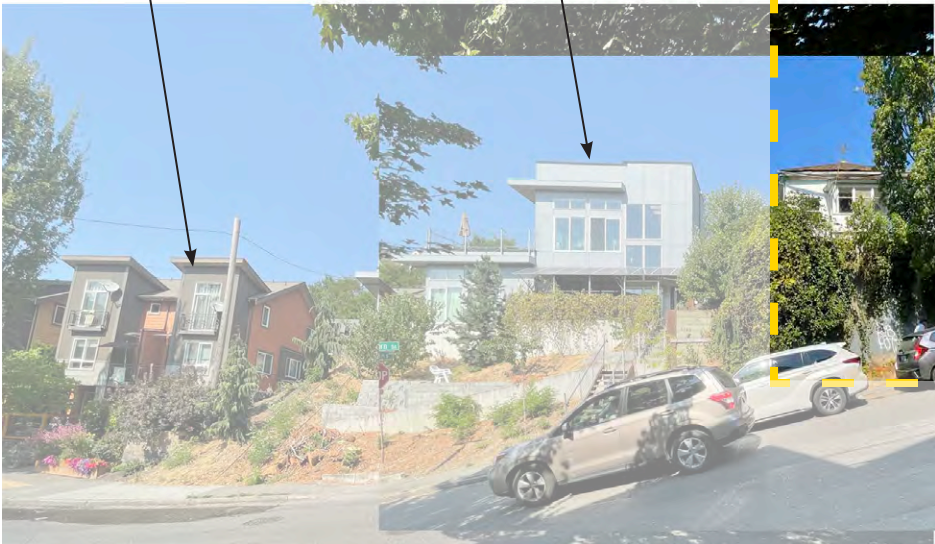
3D SITE VIEW



STREETSCAPES

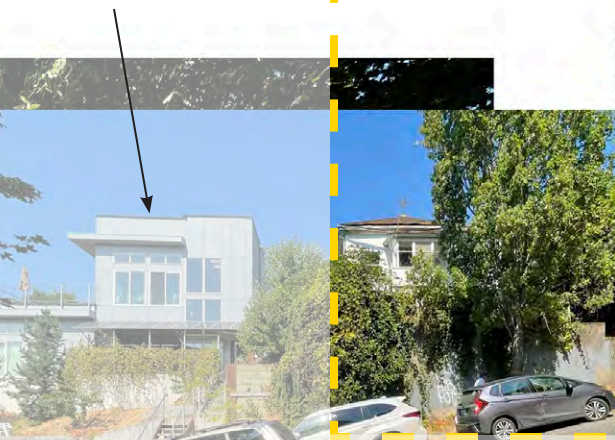
3 Story Townhomes

Boxy form, mass broken down with two story bays, vertical modulations, and materiality changes. Entry stoops are raised and set back from the sidewalk.



Single family home

Modern boxy form, with panel siding, strong roof lines and other strong horizontal elements.



PROJECT SITE



Looking North
S DEARBORN ST
Looking South

OPPOSITE FROM PROJECT SITE

18th AVE S

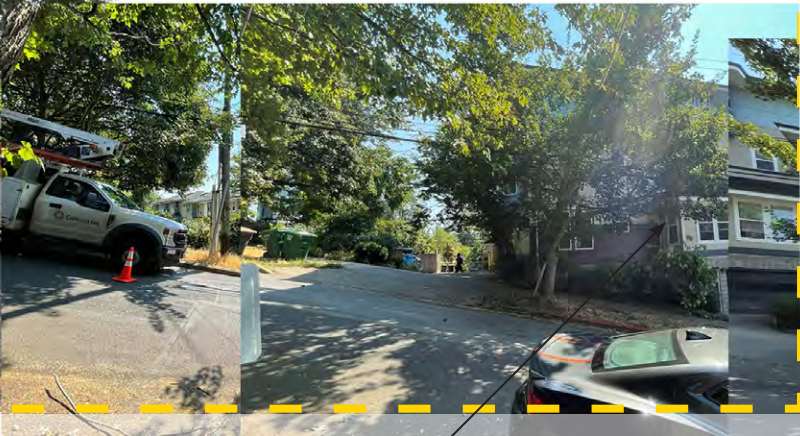


Existing ADA crosswalk ramp for crossing S Dearborn St.



Three & Four Story Co-housing

Uses traditional materials, siding, and roof forms to break up massing with eaves and other horizontal features as well as material changes.



Six story multi-family building

Blocky utilitarian building with material changes used to highlight massing modulation.



18th AVE S

HIAMATHA PL S



STREETSCAPES



SITE OPPORTUNITIES & CONSTRAINTS

LEGAL DESCRIPTION

PARCEL B OF LBA NO. 3040228-LU

COMMENCING AT THE NORTHEAST CORNER OF LOT 1, BLOCK 1, RAINIER BOULEVARD ADDITION TO THE CITY OF SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 9 OF PLATS, PAGE 59, RECORDS OF KING COUNTY, WASHINGTON.
THENCE S 1° 08' 45" W 48.84 FEET TO THE POINT OF BEGINNING.
THENCE S 1° 08' 45" W 51.10 FEET;
THENCE N 88° 45' 32" W 112.48 FEET;
THENCE S 1° 14' 28" E 51.11 FEET;
THENCE S 88° 45' 32" E 112.40 FEET TO THE POINT OF BEGINNING.

ADJACENT BUILDING & USES

NORTH - 3 story townhome and duplex developments adjacent to the north property line
EAST - 1.5 story single family home across the street
SOUTH - 3 story co-housing buildings and P-Patch Community Gardens across the street
WEST - 3 story residence adjacent to the west property line.

EXISTING LOT CONDITIONS

The lot slopes down from the Northeast corner of the property to the Southwest corner with roughly a 50 ft elevation change across the site between those two corners. The North property line drops 18 feet over its 169 foot length. The East property line drops 14 feet over 100 feet. The South property line drops 38 feet over 169 feet. The West property line drops 34 feet over 100 feet. Several retaining walls along the South side of the property encroach into the right-of-way and will be removed. Due to the existing topography vehicular access is preferred along 18th Ave. All four existing primary structures on the development site will be removed.

VIEWS

The site has views of the Old Marine Hospital tower, the Puget Sound, and fireworks displays from both stadiums.

TREES

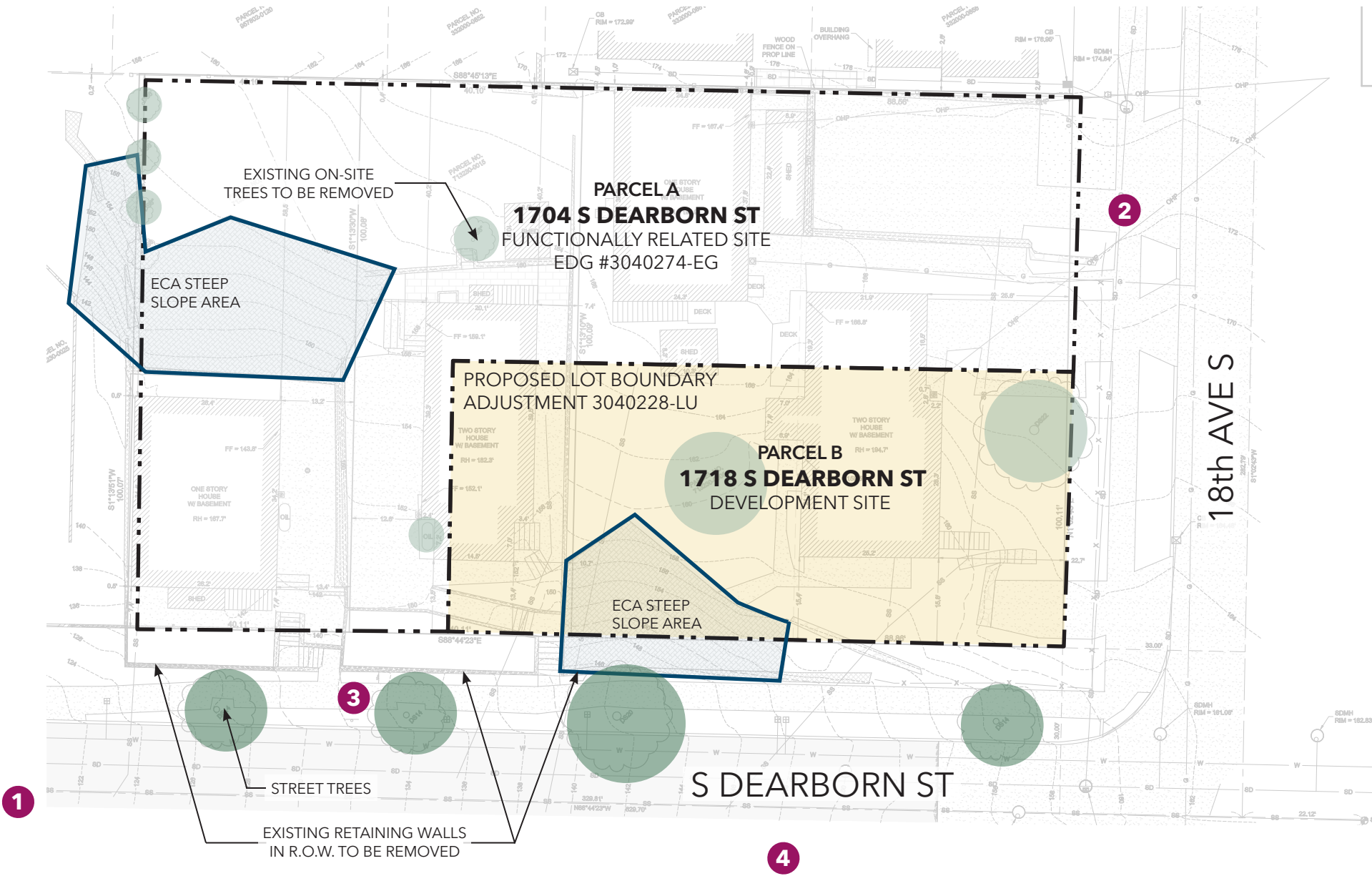
There are 4 existing street trees along Dearborn that will be retained and protected during construction. None of the trees meet the requirements to be labeled exceptional. There are also eight trees on the entire site, none of which are exceptional, and all of which will be removed.

SOLAR ACCESS

The site has unrestricted solar access due to the topography, allowable building heights and limited tree canopy coverage south of the site

ECA STEEP SLOPE AREAS

The surveyor has identified two ECA steep slope areas within the development site so this project will apply for relief from prohibition on steep slope development. A Geotechnical Engineer has reviewed the site and believes that both ECAs identified on the site will qualify for relief because they were created through previous legal grading activity.



EXISTING SITE PHOTOS



Local Office
18809 10th Ave NE
Shoreline, WA, 98155
206-536-2977

Corporate Headquarters
295 South Water Street
Kent, OH 44240
1-800-828-8312

December 1, 2021

Clinton Fry | Senior Estimator | Green Canopy Homes
27 S Hanford St, Seattle WA 98134
P. 253-381-8702 | E. clinton@greencanopynode.com

RE: Arborist Report for Feasibility Study | 1704-1718 Dearborn Street

Clinton Fry, a Senior Estimator with Green Canopy Homes, requested that an arborist from Davey Resource Group, Inc. (DRG) visit the project site located at 1704-1718 Dearborn Street in Seattle, WA (Parcel Identification Numbers: 7132300020, 7132300015 & 7132300005). The objective was to evaluate trees for feasibility of site development. On November 30 and December 1, 2021, an ISA Certified Arborist (WE-11849AU) from DRG visited the site and inspected the trees on all three parcels. Additionally, City street trees and trees on adjacent properties with canopy driplines within the project site were evaluated. Per industry standards, each tree was measured at breast height in order to obtain the diameter (DBH) and is represented in inches. A symbol (*) notes DBHs of multiple stem trees that were equated according to Seattle's DPD Director's Rule 16-2008 and rounded to the nearest inch.

City street trees include:

Four (4) Red Maples (*Acer rubrum*) with DBHs of 12, 13, 13, and 24 inches

Trees within PIN 7132300005 include:

- Three (3) English holly (*Ilex aquifolium*) with DBHs of 6, 7*, and 27 inches
- One (1) Cherry laurel (*Prunus laurocerasus*) with a DBH of 11* inches

Trees within PIN 7132300015 include:

- Three (3) Common fig (*Ficus carica*) with DBHs of 11*, 11*, 13*, and 15* inches
- One (1) Bay laurel (*Laurus nobilis*) with a DBH of 16* inches

There are no trees within PIN 7132300020. However, there is a large woody shrub and includes:

- One (1) Japanese camellia (*Camellia japonica*) with a DBH of 10 inches

There are no driplines from trees on adjacent properties that are within the project site.

As defined by Seattle Municipal Code, there are thirteen (13) significant trees on site and adjacent to the site. Of these, four (4) are City DOT street trees and are not on either of the three parcels owned by the developer. **There are no exceptional trees or continuous canopy groves on site.** King County identifies *Ilex aquifolium* and *Prunus laurocerasus* as Weeds of Concern and encourages removal.

The Red maple measuring 24" may be considered exceptional at 25" according to the City of Seattle. This may result in it requiring additional protections and preservation during any construction project. The tree is currently healthy and could add another inch within the next growing season. It's unclear from Seattle DPD Rule 16-2008 if the measurement at this time would be accepted in future permit applications and the tree is likely to grow into sufficient size through 2022 to be arguably assigned an *exceptional tree* status. Please contact DRG with any further questions or clarifications.

Respectfully,
Marc Leonard *Marc Leonard*
Associate Consultant | Davey Resource Group, Inc. (DRG)
ISA Certified Arborist (WE-11849AU) | marc.leonard@davey.com | 206.331.0869

Prepared by: Davey Resource Group
Prepared for: Green Canopy Homes

1 of 1
December 2021



1



2



3



4



LAND USE CODE SUMMARY - PARCEL A

ZONE: LR2 (M)

OVERLAYS: 23rd & Union-Jackson Residential Urban Village, Frequent Transit Area

LOT AREA (SF): Concept 1: 7,808 Concept 2: 5,622 Preferred Concept 3: 11,196

23.45.510	FLOOR AREA RATIO
B	ALLOWED: 1.4 x Lot Area (lowrise, inside urban center/village)
	Concept 1: 10,931 sf Concept 2: 7,871 sf Concept 3: 15,674 sf max
D.1	All stories, or portions of stories, that are entirely below grade are exempt from FAR limits
	PROPOSED: Concept 1: 9,162 sf Concept 2: 7,660 sf Concept 3: 13,817 sf

23.45.512	DENSITY LIMITS
	ALLOWED: no limit
	PROPOSED: Concept 1: 6 Units Concept 2: 4 Units Concept 3: 8 Units

23.45.514	STRUCTURE HEIGHT
A	ALLOWED: 40.0' max (townhome in LR2 w/ MHA suffix)
D	+ 5.0' pitched roofs w/ min 3:12 slope
E	+ 3.0' - exception for shed roofs
F	+ 4.0' - exception for structures that include a partially below grade story
	PROPOSED: All concepts 30.0' to 44.0' max above average existing grade

23.45.517	MANDATORY HOUSING AFFORDABILITY
	REQUIRED: LR zones with an MHA suffix are subject to provisions of 23.58C
	PROPOSED: This project is electing to fulfill the MHA payment option per 23.58C.040

23.45.518	SETBACKS
Table A	
	FRONT
	REQUIRED: 5.0' min, 7.0' avg
	PROPOSED: All Concepts: 5.0' min, 7.0' avg
	SIDE
	REQUIRED: 5.0' min (facades < 40.0')
	PROPOSED: All Concepts: 5.0' min
	REAR
	REQUIRED: 5.0' min, 7.0' avg
	PROPOSED: All Concepts: 5.0' min, 7.0' avg
H.5	REQUIRED: Unenclosed porches or steps no higher than 4 ft above existing grade or the grade at the street lot line, whichever is lower, may extend to within 4 ft of the street lot line, except portions not greater than 2.5 ft in height from existing or finished grade may extend to a street lot line. Unenclosed porches or steps permitted in required setbacks shall be limited to a combined maximum width of 20 ft.
	PROVIDED: Concept 1 & 2: Compliant
	Concept 3: May require departure for stairs and landings within the front setback along S Dearborn St. See page 34 for departure request.

23.45.518	BUILDING SEPARATION
F	REQUIRED: 10.0' min between principal structures on the same lot.
	24.0' min where principal structures are separated by parking aisle (max 3.0' cantilever on either side)
	12.0' min where principal structures are separated by a driveway.
	PROVIDED: All concepts are compliant.

23.45.522	AMENITY AREA
A	REQUIRED: 25% of lot area
	Concept 1: 7,808 * 0.25 Concept 2: 5,622 * 0.25 Concept 3: 11,257 * 0.25
	Concept 1: 1,952 sf min Concept 2: 1,406 sf min Concept 3: 2,814 sf min
	Minimum 50% of required amenity area shall be provided at grade.
A.2	PROVIDED: All concepts are compliant.

23.45.524	LANDSCAPING STANDARDS
A.2	REQUIRED: Minimum Green Factor score of 0.6 for any development proposing [...] more than one dwelling unit
	PROVIDED: Landscaping will achieve a min score of 0.6

23.45.527	STRUCTURE WIDTH
A	ALLOWED: 90.0'
	PROVIDED: Concept 1: 81.25' Concept 2: 46.0' Concept 3: 46.0'

23.45.527	FACADE LENGTH
B	REQUIRED: The maximum combined length of all portions of facades within 15 ft of a lot line that is neither a rear or street lot line shall not exceed 65% of the length of that lot line.
	PROVIDED: Concept 1: Compliant
	Concept 2: Compliant
	Concept 3: Departure required for Unit 2 East facade on Parcel A. See page 34 for departure request.

23.54.015	VEHICLE PARKING
Table B	REQUIRED: None - Residential use within urban village & frequent transit zone.
	PROVIDED: Concept 1: 18 total (6 on Parcel A, 12 on Parcel B) provided in garages and surface parking
	Concept 2: 12 total (4 on Parcel A, 8 on Parcel B) provided in individual garages
	Concept 3: 12 total (8 on Parcel A, 4 on Parcel B) in garages and partially covered spaces

23.54.015	BICYCLE PARKING
Table D	REQUIRED: (1) long term space per dwelling unit & (1) short term space per 20 dwelling units
	PROVIDED: All concepts:
	(12) total long term spaces provided in garages or adjacent to carport spaces or both.
	(4) short term spaces proposed in planting strip (2 for each lot) subject to SDOT approval

23.54.040	SOLID WASTE & RECYCLABLE MATERIALS STORAGE
A1.	REQUIRED Individual: Provide one storage area per dwelling unit with min. dimensions of 2.0' x 6.0'.
	Shared: 150 sf shared storage space (9-15 dwelling units)
D	Minimum horizontal dimension: 7 ft (for 8 units or fewer); 12 ft (for 9 units or greater)
E	The storage space shall not be located in any required driveways, parking aisles or parking spaces and shall not block any fire exits, or pedestrian or vehicular access
	PROPOSED: Concept 1: Shared solid waste service for 6 units on Parcel A;
	individual service for 6 units on parcel B
	Concept 2: Shared solid waste service for all units located along the driveway.
	Concept 3: Individual solid waste service for all units.



LAND USE CODE SUMMARY - PARCEL B

ZONE: LR2 (M)

OVERLAYS: 23rd & Union-Jackson Residential Urban Village, Frequent Transit Area

LOT AREA (SF): Concept 1: 9,099 Concept 2: 11,285 Preferred Concept 3: 5,747

23.45.510	FLOOR AREA RATIO			
B	ALLOWED:	1.4 x Lot Area (lowrise, inside urban center/village)		
D.1		Concept 1: 12,739 sf	Concept 2: 15,799 sf	Concept 3: 8,046 sf max
		All stories, or portions of stories, that are entirely below grade are exempt from FAR limits		
	PROPOSED:	Concept 1: 12,735 sf	Concept 2: 15,320 sf	Concept 3: 6,562 sf
23.45.512	DENSITY LIMITS			
	ALLOWED:	no limit		
	PROPOSED:	Concept 1: 6 Units	Concept 2: 4 Units	Concept 3: 8 Units
23.45.514	STRUCTURE HEIGHT			
A	ALLOWED:	40.0' max (townhome in LR2 w/ MHA suffix)		
D		+ 5.0' pitched roofs w/ min 3:12 slope		
E		+ 3.0' - exception for shed roofs		
F		+ 4.0' - exception for structures that include a partially below grade story		
	PROPOSED:	All concepts 30.0' to 44.0' max above average existing grade		
23.45.517	MANDATORY HOUSING AFFORDABILITY			
	REQUIRED:	LR zones with an MHA suffix are subject to provisions of 23.58C		
	PROPOSED:	This project is electing to fulfill the MHA payment option per 23.58C.040		
23.45.518	SETBACKS			
Table A	FRONT	REQUIRED:	5.0' min, 7.0' avg	
		PROPOSED:	All Concepts: 5.0' min, 7.0' avg	
	SIDE	REQUIRED:	5.0' min (facades < 40.0')	
		PROPOSED:	All Concepts: 5.0' min	
	REAR	REQUIRED:	5.0' min, 7.0' avg	
		PROPOSED:	All Concepts: 5.0' min, 7.0' avg	
H.5	REQUIRED:	Unenclosed porches or steps no higher than 4 ft above existing grade or the grade at the street lot line, whichever is lower, may extend to within 4 ft of the street lot line, except portions not greater than 2.5 ft in height from existing or finished grade may extend to a street lot line. Unenclosed porches or steps permitted in required setbacks shall be limited to a combined maximum width of 20 ft.		
	PROVIDED:	Concept 1 & 2: Compliant Concept 3: May require departure for stairs and landings within the front setback along S Dearborn St. See page 34 for departure request.		
23.45.518	BUILDING SEPARATION			
F	REQUIRED:	10.0' min between principal structures on the same lot. 24.0' min where principal structures are separated by parking aisle (max 3.0' cantilever on either side) 12.0' min where principal structures are separated by a driveway.		
	PROVIDED:	All concepts are compliant.		

23.45.522	AMENITY AREA			
A	REQUIRED:	25% of lot area		
		Concept 1: 9,099 * 0.25	Concept 2: 11,285 * 0.25	Concept 3: 5,650 * 0.25
		Concept 1: 2,275	Concept 2: 2,821	Concept 3: 1,412
A.2		Minimum 50% of required amenity area shall be provided at grade.		
	PROVIDED:	All concepts are compliant.		
23.45.524	LANDSCAPING STANDARDS			
A.2	REQUIRED:	Minimum Green Factor score of 0.6 for any development proposing [...] more than one dwelling unit		
unit	PROVIDED:	Landscaping will achieve a min score of 0.6		
23.45.527	STRUCTURE WIDTH			
A	ALLOWED:	90.0'		
	PROVIDED:	Concept 1: 81.25'	Concept 2: 46.0'	Concept 3: 46.0'
23.45.527	FACADE LENGTH			
B	REQUIRED:	The maximum combined length of all portions of facades within 15 ft of a lot line that is neither a rear or street lot line shall not exceed 65% of the length of that lot line.		
	PROVIDED:	Concept 1:	Compliant	
		Concept 2:	Compliant	
		Concept 3:	Compliant	
23.54.015	VEHICLE PARKING			
Table B	REQUIRED:	None - Residential use within urban village & frequent transit zone.		
	PROVIDED:	Concept 1: 18 total (6 on Parcel A, 12 on Parcel B) provided in garages and surface parking		
		Concept 2: 12 total (4 on Parcel A, 8 on Parcel B) provided in individual garages		
		Concept 3: 12 total (8 on Parcel A, 4 on Parcel B) in garages and partially covered spaces		
23.54.015	BICYCLE PARKING			
Table D	REQUIRED:	(1) long term space per dwelling unit & (1) short term space per 20 dwelling units		
	PROVIDED:	All concepts:		
		(12) total long term spaces provided in garages or adjacent to carport spaces or both.		
		(4) short term spaces proposed in planting strip (2 for each lot) subject to SDOT approval		
23.54.040	SOLID WASTE & RECYCLABLE MATERIALS STORAGE			
A1.	REQUIRED	Individual:	Provide one storage area per dwelling unit with min. dimensions of 2.0' x 6.0'.	
		Shared:	150 sf shared storage space (9-15 dwelling units)	
D		Minimum horizontal dimension: 7 ft (for 8 units or fewer); 12 ft (for 9 units or greater)		
E		The storage space shall not be located in any required driveways, parking aisles or parking spaces and shall not block any fire exits, or pedestrian or vehicular access		
	PROPOSED:	Concept 1:	Shared solid waste service for 6 units on Parcel A;	
			individual service for 6 units on parcel B	
		Concept 2:	Shared solid waste service for all units located along the driveway.	
		Concept 3:	Individual solid waste service for all units.	



ARCHITECTURAL CONTEXT & CUES

- 1 facade massing broken down with vertical modulations that define individual units
- 2 two-story bay used to create modulation and reduce perceived mass of building
- 3 solid parapets at roof decks increase privacy for residents
- 4 materiality reinforces facade modulation
- 5 weather protection, facade modulation and/or materiality help distinguish unit entries
- 6 raised stoops and landscaping provide transition from ROW to unit entries
- 7 strong roof line is reinforced with secondary horizontal elements
- 8 roof form reinforces facade modulation and reduce perceived mass of structure
- 9 simplified massing is accented with high quality materials



1653 S LANE ST



1811 S CHARLES ST



1617 S WELLER ST



709 18TH AVE S



1620 S LANE ST



ARCHITECTURAL CONTEXT & CUES



1802 S CHARLES ST



1622 S DEARBORN ST



791 RAINIER AVE S



1640 S DEARBORN ST



1900 S BUSH PL

- 1 facade massing broken down with vertical modulations that define individual units
- 2 two-story bay used to create modulation and reduce perceived mass of building
- 3 solid parapets at roof decks increase privacy for residents
- 4 materiality reinforces facade modulation
- 5 weather protection, facade modulation and/or materiality help distinguish unit entries
- 6 raised stoops and landscaping provide transition from ROW to unit entries
- 7 strong roof line is reinforced with secondary horizontal elements
- 8 roof form reinforces facade modulation and reduce perceived mass of structure
- 9 simplified massing is accented with high quality materials



DESIGN GUIDELINE PRIORITIES

CS1 Natural Systems and Site Features

I.i. Local Topography - Respond to local topography with terraces, stoops, stepping facades, or similar approaches. Use appropriately scaled rockeries, stairs, and landscaping to transition between the sidewalk, building façade, and entrances in keeping with local topographic conditions, and existing neighboring approaches.

DC2 Architectural Concept

I.v. Building Layout and Massing - Consider all sides of the building and the impacts each façade has on its immediate neighboring context. If building on a slope, consider the project's roofscape as well.

Response: The development site slopes significantly along both street frontages with a total grade change of 50 ft from the Northeast corner to the Southwest corner. All massing options propose to cluster the units in groups of 2-3 and step the structure height to follow the existing ROW grades. Stepping the building heights also allows all units access to territorial views to the West and South from the upper floors.

Massing option 3 has reduced the roof deck dimensions to allow all units enough roof area for future solar panels. Gable roof forms have been carefully designed to ensure that the proposed structures don't obstruct territorial views for the townhomes north of the development site. Terraced retaining walls will be used to accommodate the grade change along the ROW with dense plantings providing a transition from public to private spaces.

CS2 Urban Pattern and Form

I.ii. Transition and Delineation of Zones - In addition to building height, use building massing and articulation to transition to single-family scaled fabric. Other acceptable methods include setbacks, building footprint size and placement on the site, building width, façade modulation, and roof line articulation.

CS3 Architectural Context and Character

I.i. Neighborhood Context - Retain, respect, and encourage the extension of existing positive attributes of the surrounding neighborhood character.

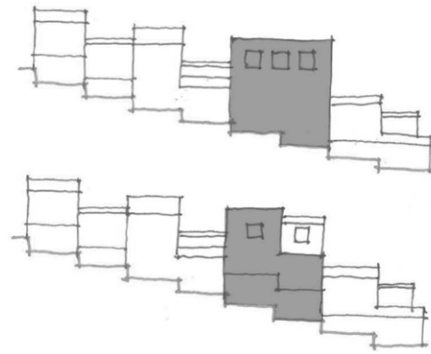
Response: This site is in a transitional zone from the denser neighborhood commercial and industrial buildings to the West and smaller-scale single family homes to the East. The lot is zoned LR2 with a 40 ft height limit but all lots directly adjacent to the site and in the vicinity are relatively new construction, developed to the previous 30 ft height limit. They are primarily clusters of 1-3 dwelling units, 2-3 stories tall with a mix of roof decks and gable roof forms.

All massing options are proposing to align with the established development pattern, taking inspiration from positive aspects of the neighboring designs in combination with thoughtful massing that responds to the existing site topography. Gable roofs provide space for future solar panels as well as helping to break down the building massing.

Massing Option 3 proposes partial roof decks at the third floor that set the upper floor back from the street-facing façade 10 - 12 ft to reduce the perceived height of the units. Modulation of the building massing creates a detached appearance which aligns with the scale of adjacent townhome developments and reinforces the transition to single family homes.



Building massing flowing with topography.



Use building massing and articulation to transition to smaller scale buildings



Lower or pull back a part of the mass between connected duplexes to distinguish units and break up massing to look more like single family townhomes in scale.



DESIGN GUIDELINE PRIORITIES

PL3 Street-Level Interaction

II.viii. Streetscape Treatment - Encourage a safe, comfortable environment for pedestrians with components of complete streets (ex: wide planter zones, wide sidewalks, buildings setback to allow for usable porches, stoops, and outdoor seating).

Response: All development proposals include work in the ROW to remove the existing retaining walls along Dearborn St and upgrade the sidewalk in both street frontages to urban village standards. Removing the retaining walls will provide a lot more space for pedestrians and improve visibility along the street frontage. Street trees will be added along 18th Ave and the planting strips will be re-vegetated with native shrubs & groundcover to make the space much more inviting and provide a buffer between the sidewalk and street.

Massing concept 3 proposes that all vehicle access is consolidated to one curb cut along 18th Ave so the frontage along Dearborn is not interrupted by curb cuts, this will encourage a safer pedestrian experience and opens up more area along the street frontage for wider unit entries and landscaping that will help activate the streetscape.

Additional Guidance A.1

I.vi. History and Heritage - Provide amenities appropriate to the community, such as basketball hoops, chess boards, or other family oriented activities. When other amenities such as bicycle parking are required, they should be viewed as an artistic opportunity.

Response: S Dearborn St provides a direct pedestrian connection between the commercial corridor along Rainier Ave and single family homes east of 18th Ave S. The street has a roughly 20% slope along our development site which can be tough to navigate especially for older members of the community. In response to a suggestion from neighbors at the community outreach meeting, this project is proposing to incorporate 1 or 2 built-in benches to the terraced landscaping along Dearborn St to provide a place for community members to rest while walking up the hill. This project also includes replacing and upgrading the sidewalks and adding curb ramps to the street crossing at 18th Ave to improve the pedestrian experience.

DC4 Exterior Elements and Finishes

II.ii. Building Materials - Encourage variation in building materials with an emphasis on high quality materials.

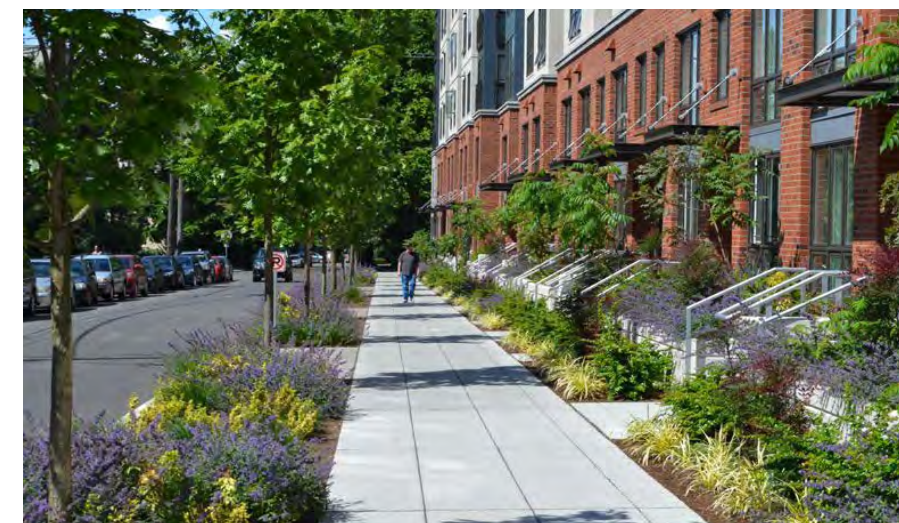
III.iii. Building Details and Elements - Incorporate elements such as bay windows, columns, and deep awnings which add human scale and façade texture.

Response: As the project is developed further, the massing will be refined through the use of vertical façade modulation, articulated entries, material changes and window composition. Secondary architectural features such as weather protection, materiality, lighting and signage will create an ensemble of elements to delineate unit entries and provide human-scale details.

The primary siding material will be horizontal lap with accents of fiber cement panel and T&G cedar siding. Horizontal lap & panel siding will create a primary composition while cedar siding, fencing and oxidized steel planters will provide texture and natural color that will evolve over time.



Wide planter zones with good visibility and good buffers



Planters and benches provided along the sidewalk create an inviting environment for pedestrians and community



A variety of high-quality building facade materials work together to break down the massing of the buildings to a human scale.



DESIGN GUIDELINE PRIORITIES

PL1 Connectivity

III.i. Livability for Families and Elderly - Provide safe areas for children to play where they can be seen. Incorporate seating areas nearby for parents, guardians, and other community members to congregate.

DC3 Open Space Concept

I.i. Semi-public Spaces - Where possible, provide semi-public courtyards and spaces that are publicly visible and accessible. These spaces should be activated and layered, so that there is a graduation from private outdoor space, to the fully public realm.

Response: Massing Option 3 proposes the most integrated pedestrian network for the entire development site. Stairs and walkways are provided between structures to create North-South connections across the entire site, linking the north units to the central parking area and S Dearborn St.

Massing Option 3 proposes consolidating all of the vehicle access to a single curb cut off of 18th Ave. Units are arranged around 3 vehicle turnarounds (forming central courtyard areas) that are connected by drive aisles sloped at 15-20% max to follow existing grade and allow a flatter slope for the larger courtyard space. Since this area is shared by all residents and fairly flat, it can be used as an informal community gathering space and/or a safe place for children to play since all units have primary living spaces overlooking the space. As the design is developed further, exterior lighting, landscaping, pavement design and window layouts will be incorporated to make this space more inviting and safe for residents.

PL1 Connectivity

II.iv. Connection Back to the Community - Ensure exclusive rooftop, private, or gated open spaces are not the only form of open space provided for the project. Prioritize publicly accessible, ground level open space at the building street fronts and/or with courtyards that are not restricted or hidden from public view.

PL3 Street-Level Interaction

II.x. Streetscape Treatment - To facilitate usable stoops and patios, and encourage pedestrian-to-resident interaction, buffer private outdoor spaces from the public sidewalk with low walls, planters and landscape layering that defines the private space yet allows for face to face conversations. Tall ‘privacy walls’ or fences are not acceptable.

Response: Southern units in massing options 2 & 3 have bonus rooms at street level with primary living spaces directly above; these active uses adjacent to the ROW create transparency along the street-facing facades and provide opportunities for passive surveillance. They take advantage of the topography to provide terraced entries at both levels, strengthening their connection to ground-level amenity and increasing activation of the street frontage. The units facing 18th Ave have primary living space at the street-level with large entries in the front setback - landscaping and mild grade changes will be employed as a buffer between the public and private spaces.

Massing option 3 has only one curb cut so there is more space along the ROW for porches and pedestrian entries. This option also reduces private roof deck areas to encourage more active use of ground-level amenities. Large entry landings provide opportunities for personalization such as potted plants and furniture to encourage residents to use their porches. This also creates a semi-private transitional zone from the public ROW to private units.



Inviting pedestrian connections to semi-public courtyards.



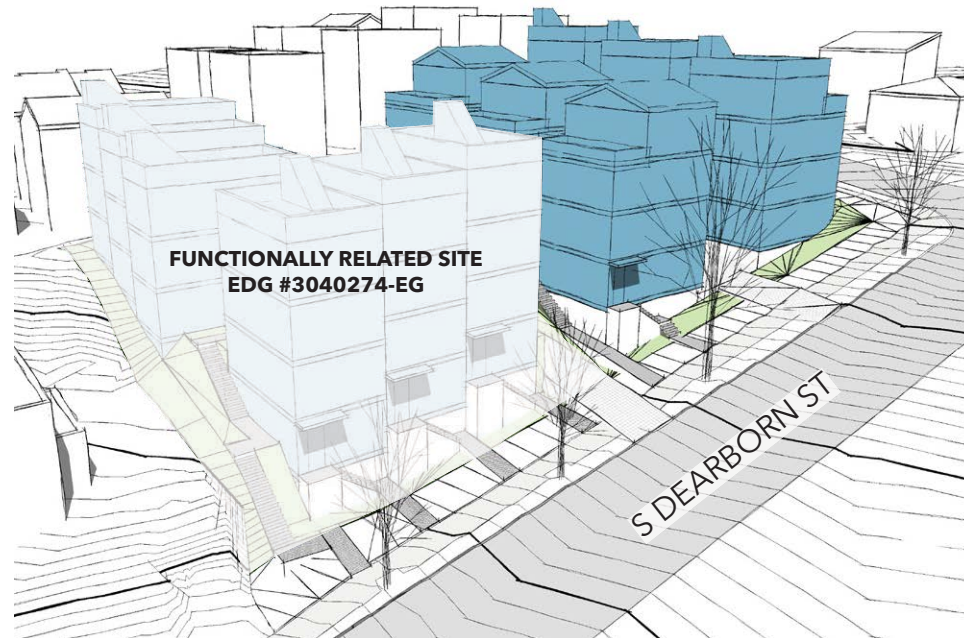
A central driveway and turn-arounds create semi-public courtyards.



Street facing entrances, porches, and stairs to connect to the sidewalk and provide a semi-public transition zone between the street and residences.



MASSING CONCEPT 1 CODE COMPLIANT



SUMMARY OF PROPOSAL

Parcel A:	6 units w/ 6 parking spaces	FAR: 9,162
Parcel B:	6 units w/ 12 parking spaces	FAR: 12,735
Total:	12 units w/ 18 parking spaces	FAR: 21,897
Vehicle access from 2 curb cuts on Dearborn St		

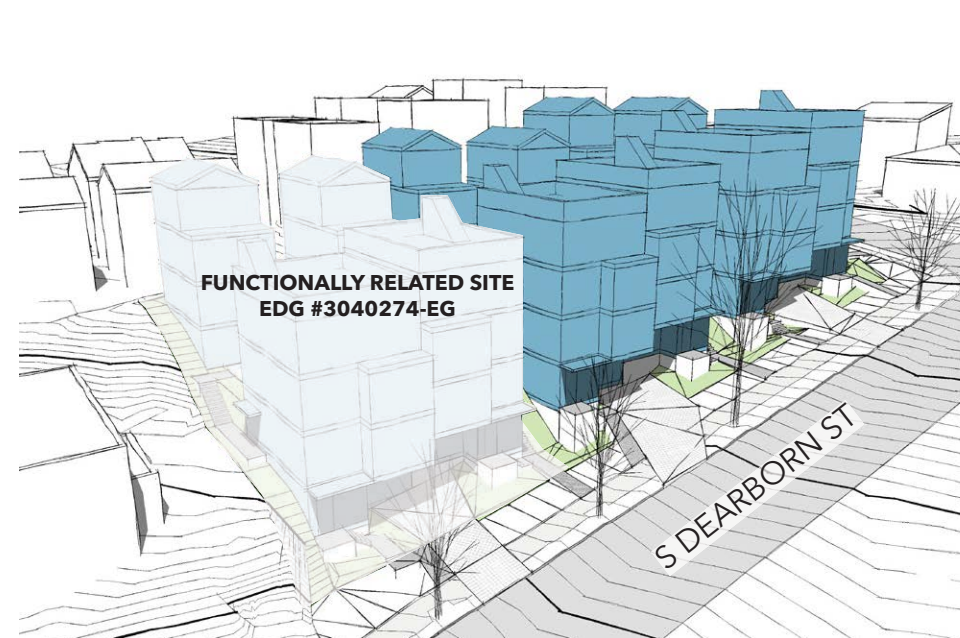
ADVANTAGES:

- Code compliant scheme
- Nearly maxes out allowable floor area for the development
- Units 1, 2, 3 & 10, 11, 12 have strong street frontages with primary and/or secondary living spaces at the street-level, providing many opportunities for passive surveillance of the street
- All units have large roof decks with access to territorial views

DISADVANTAGES:

- Two driveway curb cuts off of Dearborn may be difficult to navigate and will remove multiple street parking spaces along Dearborn.
- Eastern site and Western site units function relatively independently with no real shared community space
- Southwestern unit roof decks accentuate building height and bulk when viewed from the Dearborn ROW
- Vehicle access is from low side of the site so Northern end of parking areas will require very tall, exposed retaining walls (15 - 20' tall)
- Drive aisles and vehicle turnarounds take up a lot of the site and driveways are very visually prominent along Dearborn St.
- Unit 7 connection to Dearborn St is not ideal because entry is on the side facade instead of facing the street.
- Pedestrian entry sequence for landlocked units are adjacent to the surface parking areas with limited space for landscape screening available
- Pedestrian experience around site is broken by multiple driveways.
- Only units 7, 8, 9 have roof area available for future solar panels.

MASSING CONCEPT 2



SUMMARY OF PROPOSAL

Parcel A:	4 units w/ 4 parking spaces	FAR: 7,660
Parcel B:	8 units w/ 8 parking spaces	FAR: 15,320
Total:	12 units w/ 12 parking spaces	FAR: 22,980
Vehicle access from 3 curb cuts on Dearborn St & 1 curb cut on 18th Ave		

ADVANTAGES:

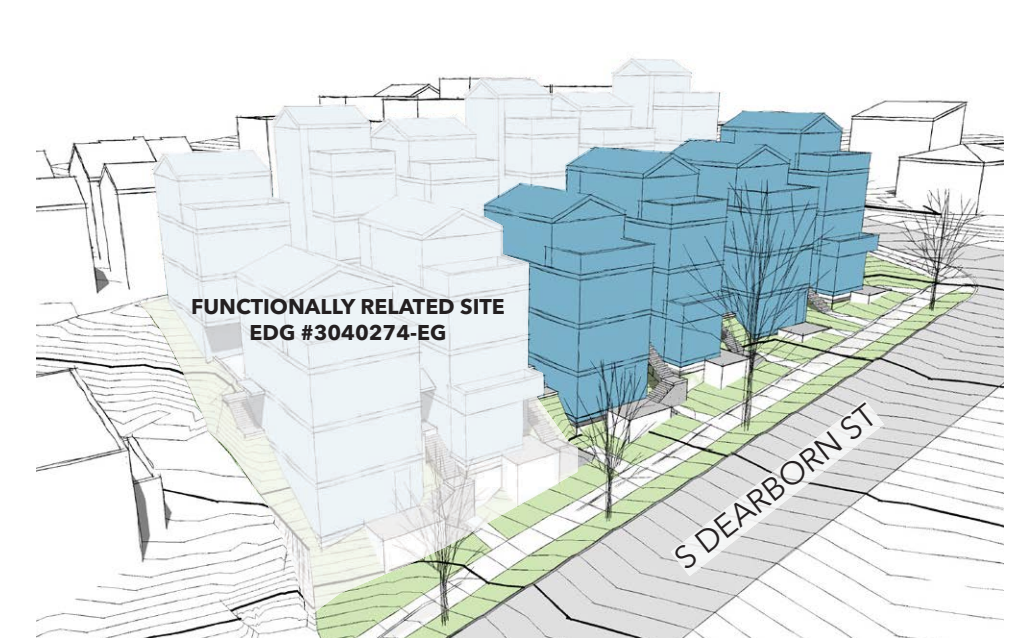
- Nearly maxes out allowable floor area for the development
- Drive aisles for north units are sloped at 15-20% max to allow duplexes to step down in height, following the existing grade
- Pedestrian entry sequence for north units is along the north property line, separate from vehicular access.
- South units have bonus rooms at the street-level & primary living space directly above, providing many opportunities for passive surveillance of the street.
- South units have terraced entries along Dearborn, increasing activation of the street frontage
- Stair along the West property line is provided so north units have direct access to S Dearborn St
- All units have large roof decks

DISADVANTAGES:

- Requires Type 1 Director's Decision for drive aisle slope > 17%
- North and South units are mostly independent without shared community space
- South unit roof decks accentuate building height and bulk when viewed from the Dearborn ROW
- In order to limit height of the South units, vehicle access is provided from Dearborn St via three paired driveways. The garages are set back from the street per code but are still very prominent along the street frontage and limit the space available for pedestrian entries and landscaping in the front setbacks.
- Shared solid waste for North units is prominent when entering the site from 18th.
- Only the North units have roof area available for future solar panels

DESIGN ALTERNATIVE SUMMARY

MASSING CONCEPT 3 PREFERRED



SUMMARY OF PROPOSAL

Parcel A:	8 units w/ 8 parking spaces	FAR: 13,817
Parcel B:	4 units w/ 4 parking spaces	FAR: 6,562
Total:	12 units w/ 12 parking spaces	FAR: 20,379
Vehicle access from 1 curb cut on 18th Ave		

ADVANTAGES:

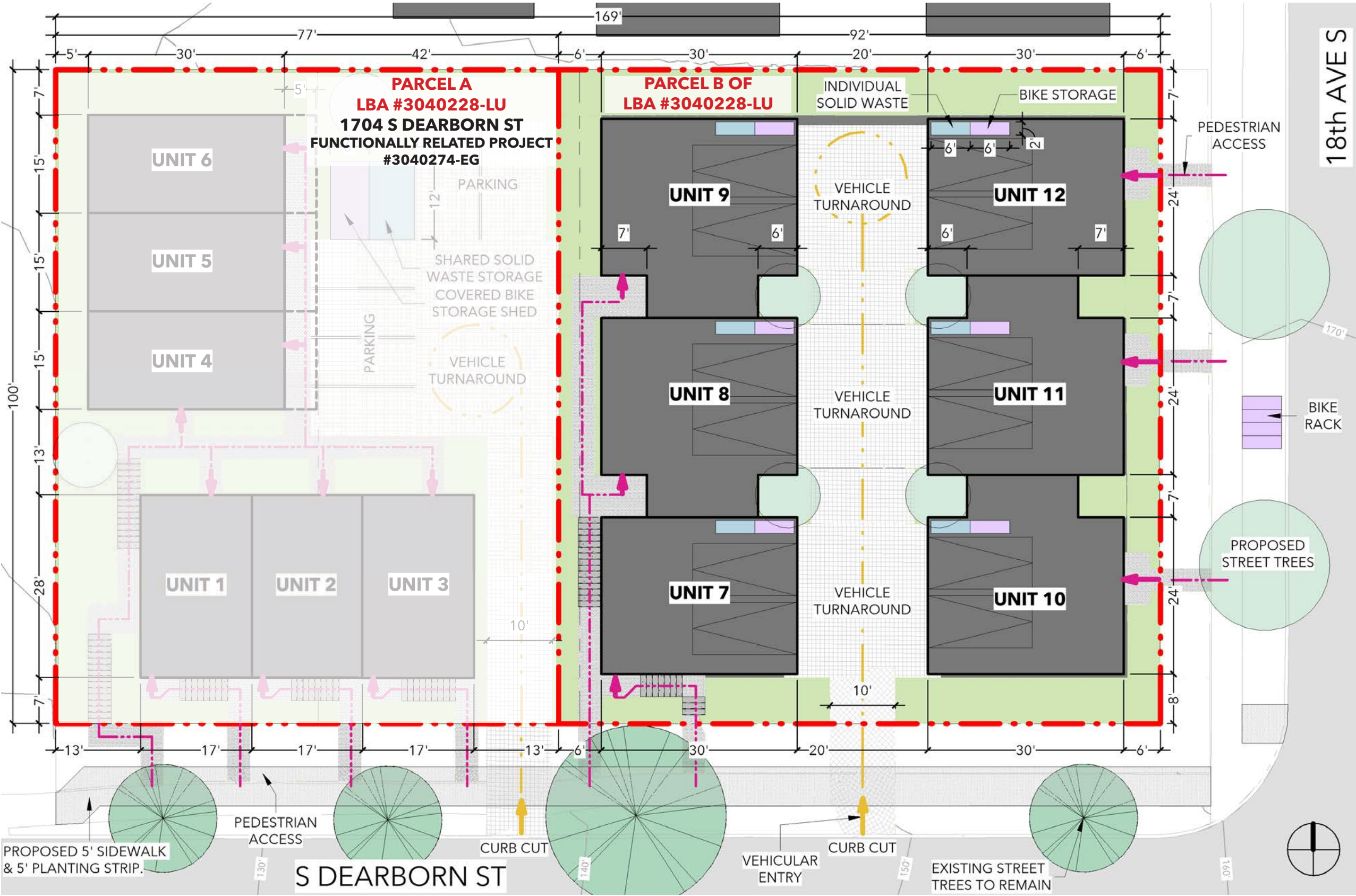
- All vehicle access is consolidated to the center of the lot and slopes down from the street, reducing the visual prominence of the parking area.
- Drive aisles within the site are sloped at 15-20% max to allow duplexes to step down in height, following the existing grade. This also creates vehicle turnarounds that are fairly flat and can be used as informal community gathering spaces since all units share use of the space.
- Gable roofs provide space for future solar panels on all units as well as helping to break down the building massing. Roof decks on the south units step the upper floor of the units back to reduce their perceived height viewed from S Dearborn St.
- Modulation of the building massing creates a detached appearance which aligns with the scale of adjacent townhome developments and provides a transition from denser developments West of the site to single family zoning to the East.
- Pedestrian entry sequence for north units is along the north property line, separate from vehicular access.
- South units have bonus rooms at the street level & primary living space directly above, providing many opportunities for passive surveillance of the street.
- South units have terraced entries along Dearborn, this massing option provides the most space for porches and landscaping in the front setbacks, allowing for prominent unit entries and increasing activation of the street frontage.

DISADVANTAGES:

- Requires Type 1 Director's Decision for drive aisle slope > 17%
- Requires facade length departure for Unit 2 along internal LBA.
- May require stairs and porch departures for the front setback due to Dearborn St.



CONCEPT 1 SITE PLAN



CONCEPT 1 FLOOR PLANS



FIRST FLOOR



THIRD FLOOR

FLOOR PLAN LEGEND

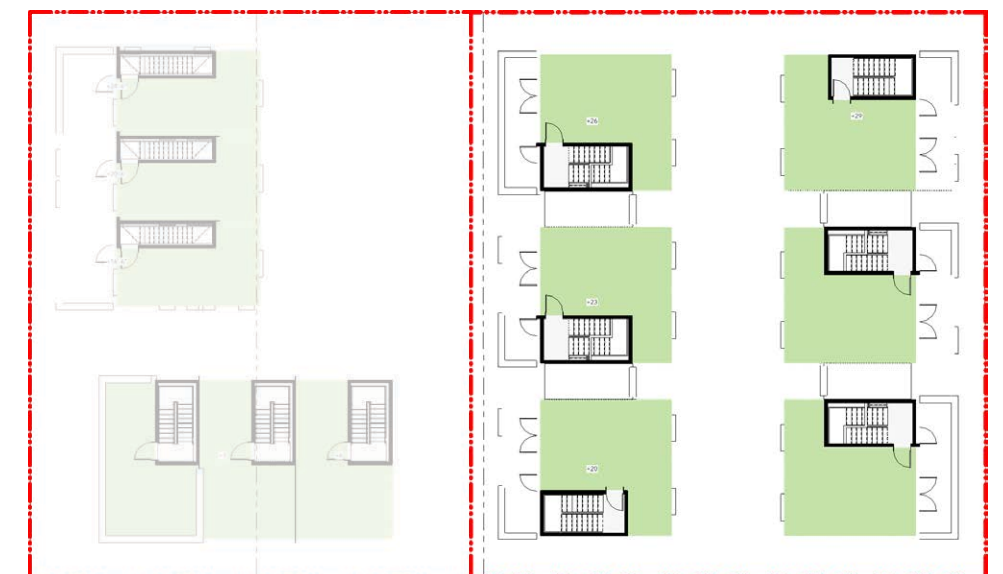
- Living Dining Kitchen
- Bedroom
- Bonus Space
- Bathroom
- Private Amenity Area
- Circulation
- Closet / Storage
- Parking Space



BASEMENT



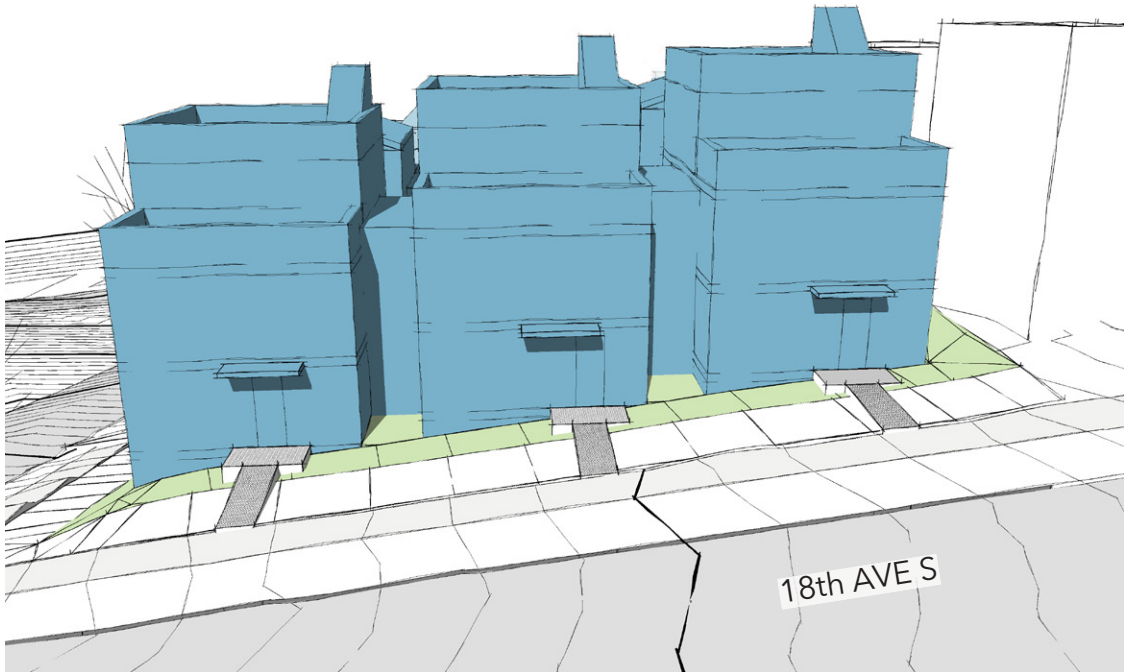
SECOND FLOOR



FOURTH FLOOR



EDG #3040274-EG



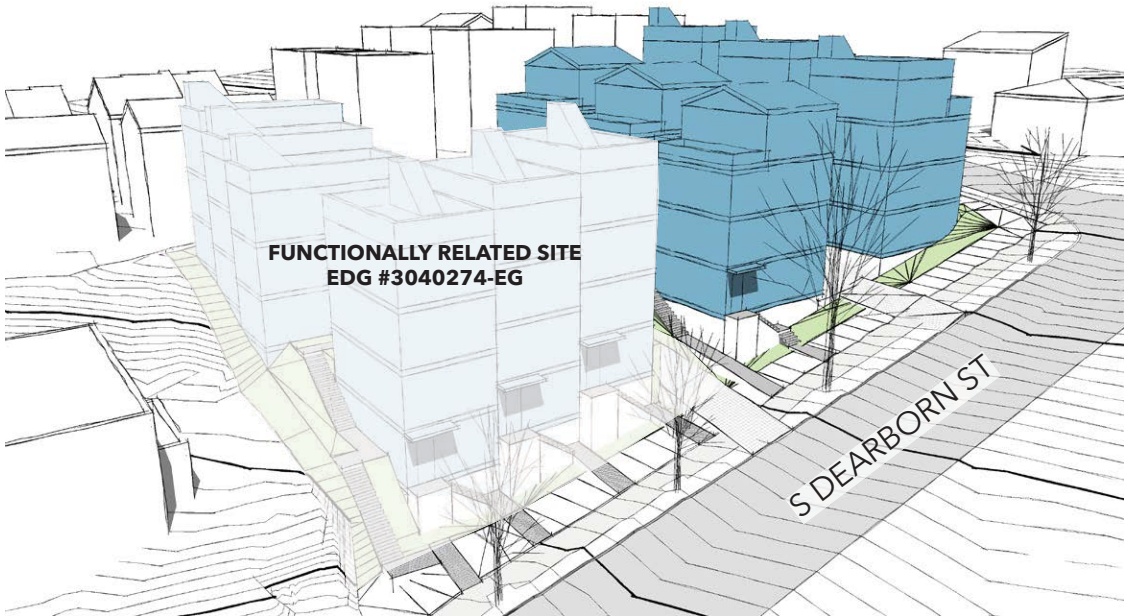
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EDG #3040274-EG



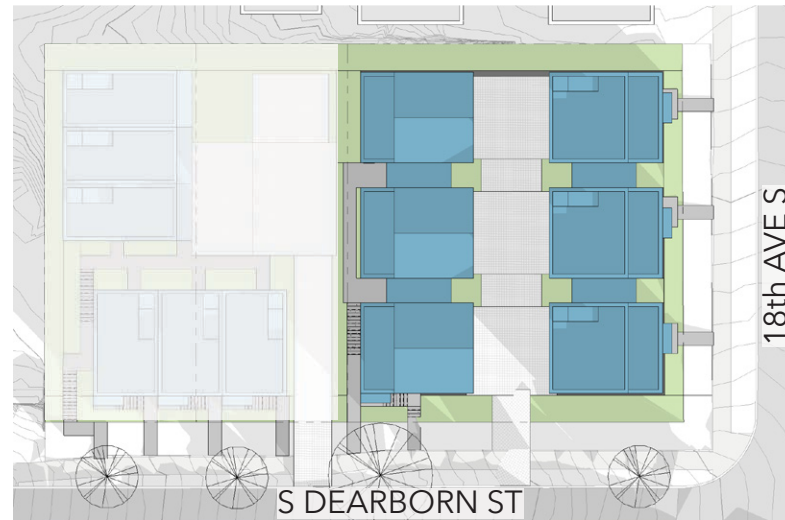
FUNCTIONALLY RELATED SITE
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CONCEPT 1 SHADOW STUDIES

DECEMBER

9 AM



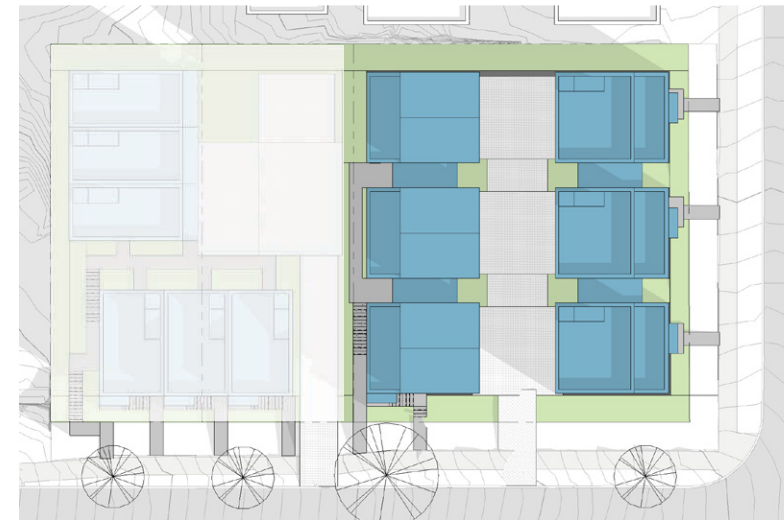
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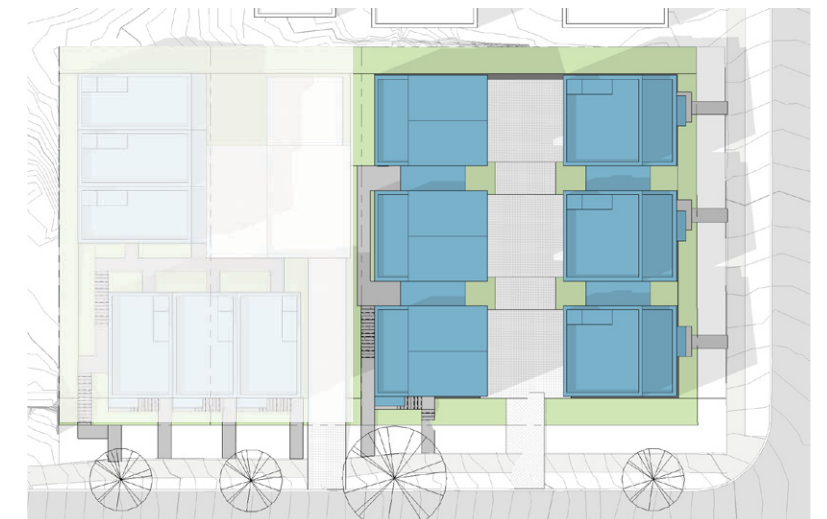
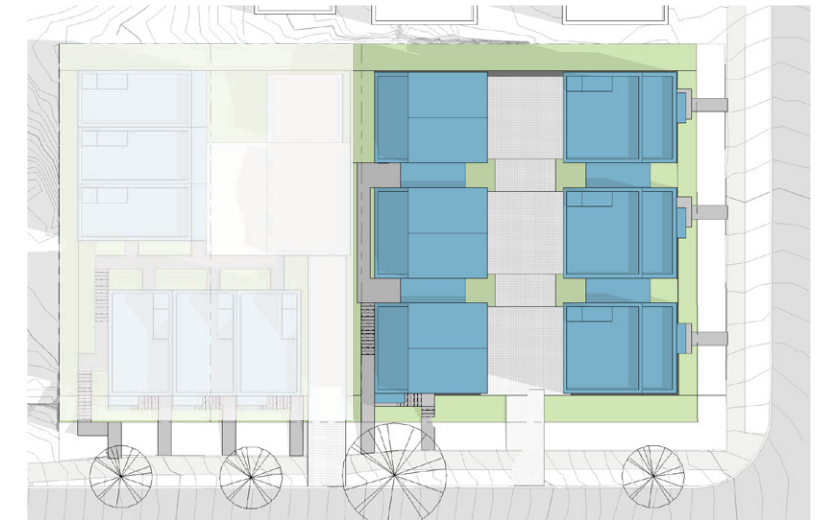
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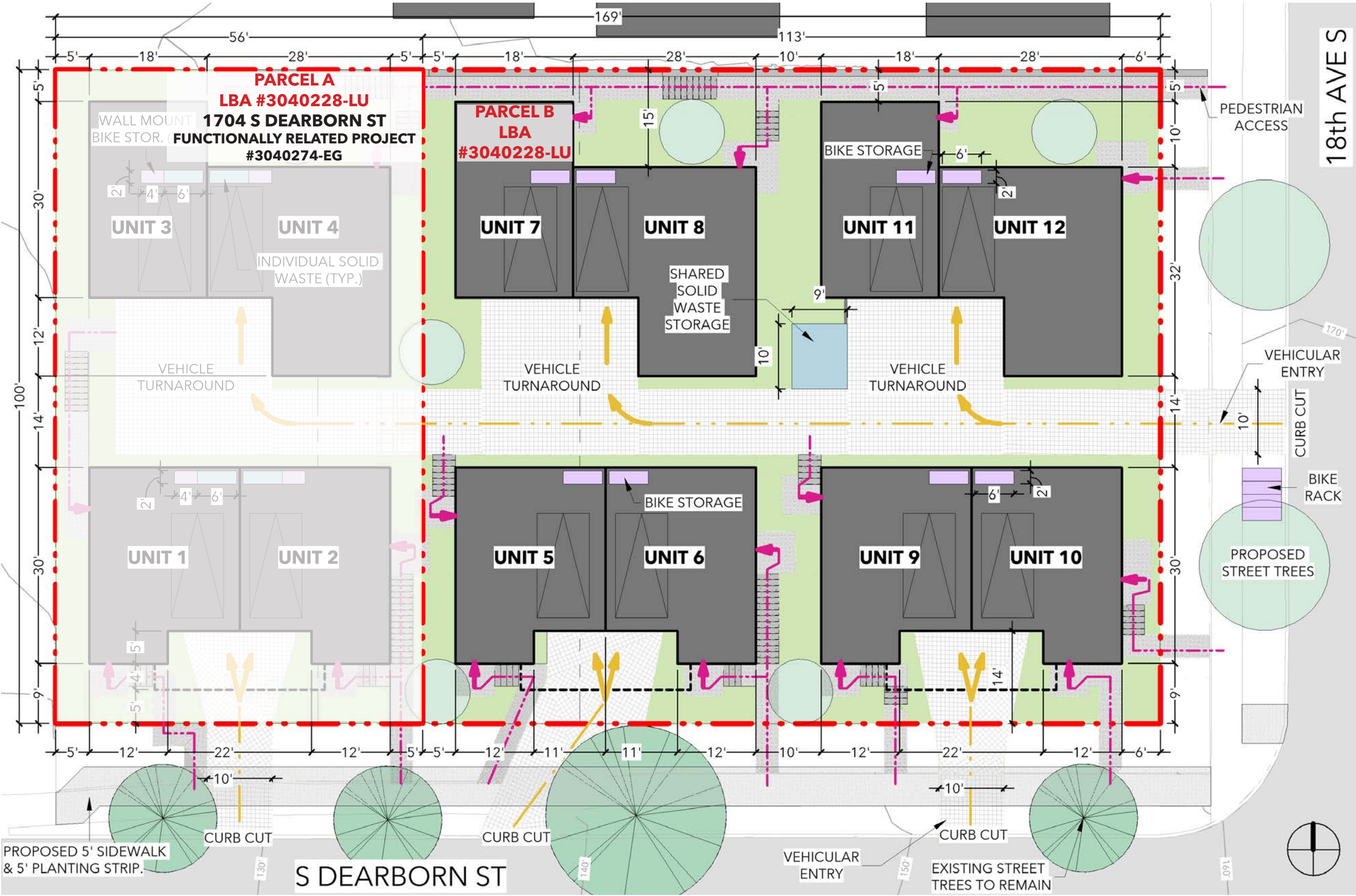
MARCH / SEPTEMBER



JUNE



CONCEPT 2 SITE PLAN



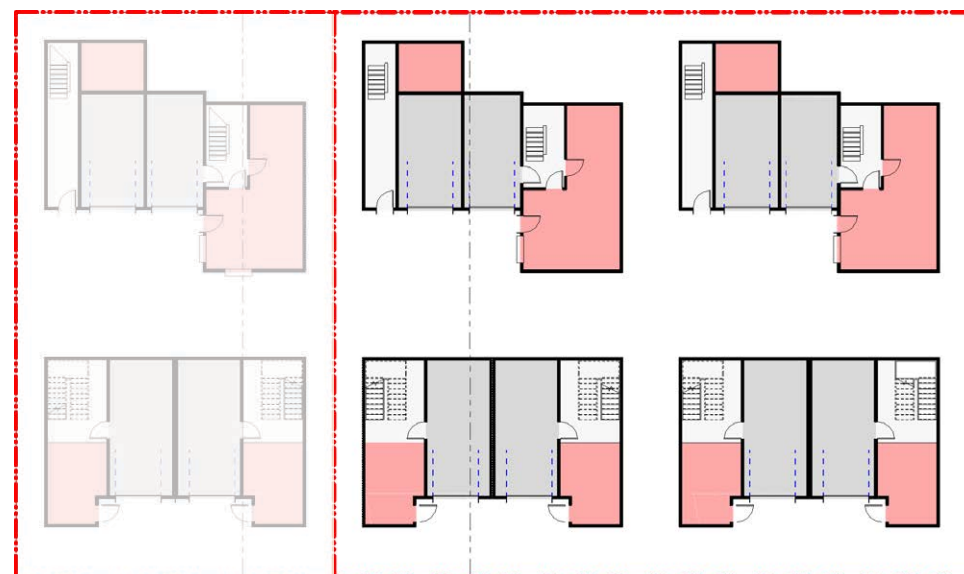
CONCEPT 2 FLOOR PLANS



FIRST FLOOR



THIRD FLOOR



BASEMENT



SECOND FLOOR

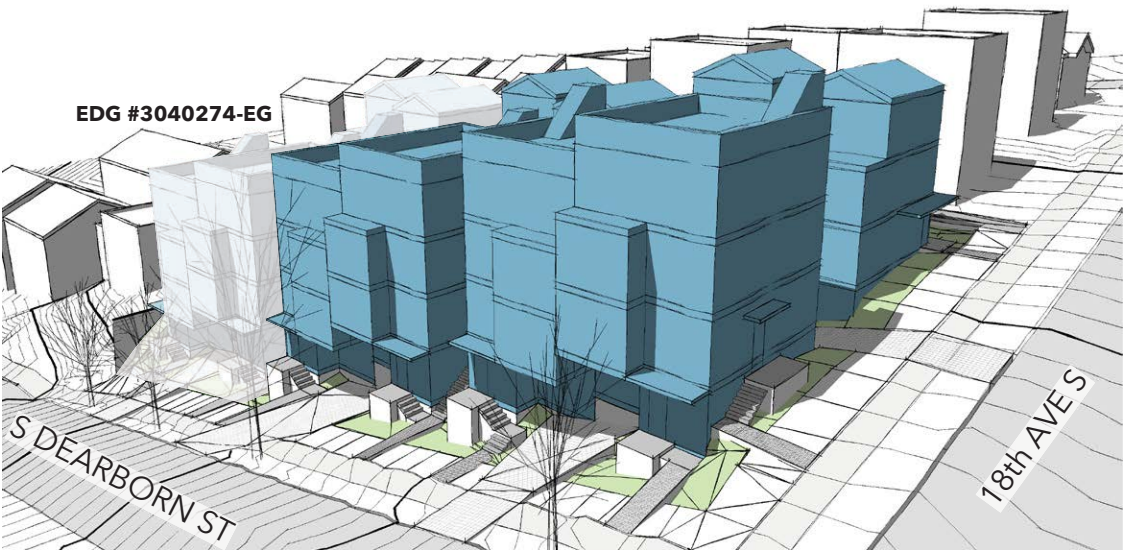
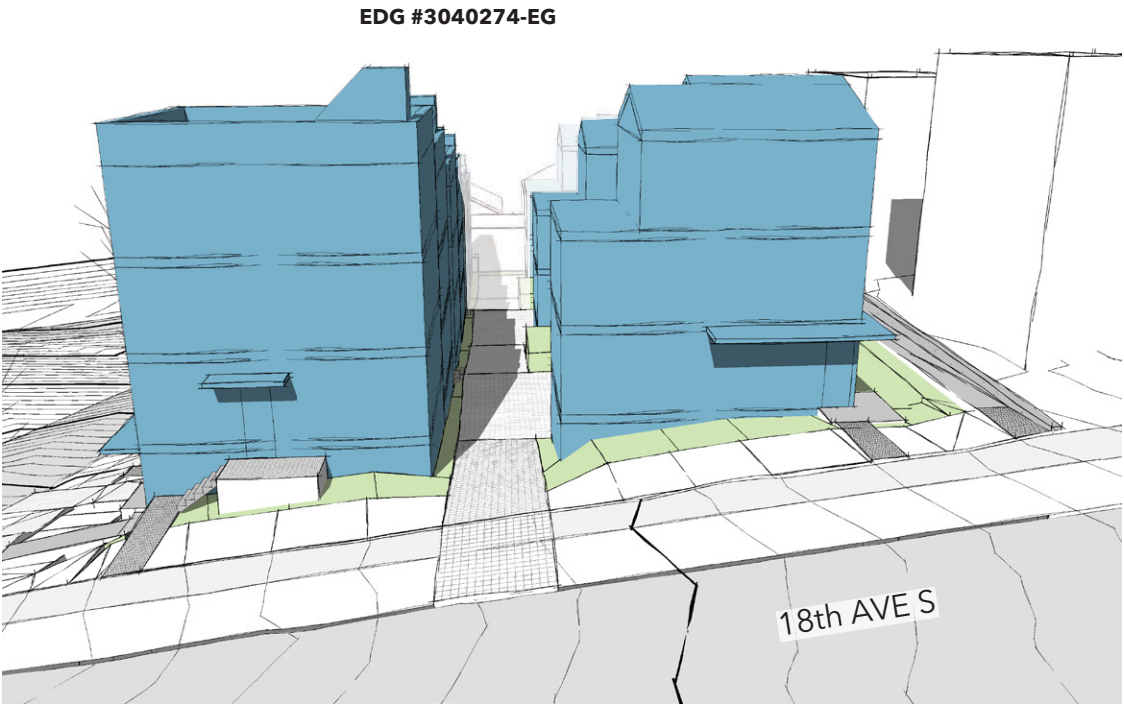


FOURTH FLOOR

FLOOR PLAN LEGEND

- Living Dining Kitchen
- Bedroom
- Bonus Space
- Bathroom
- Private Amenity Area
- Circulation
- Closet / Storage
- Parking Space

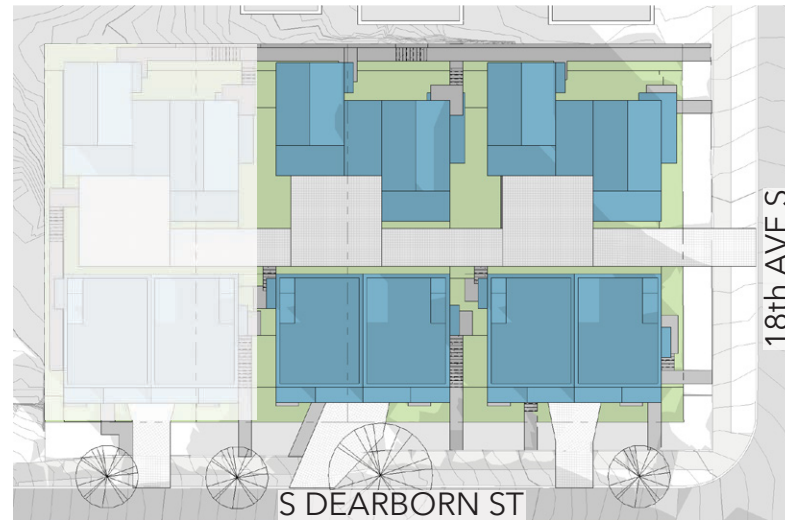




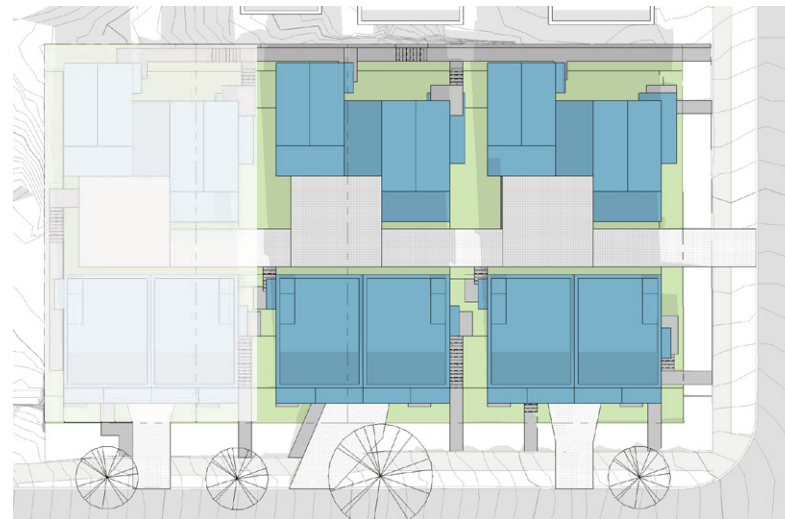
CONCEPT 2 SHADOW STUDIES

DECEMBER

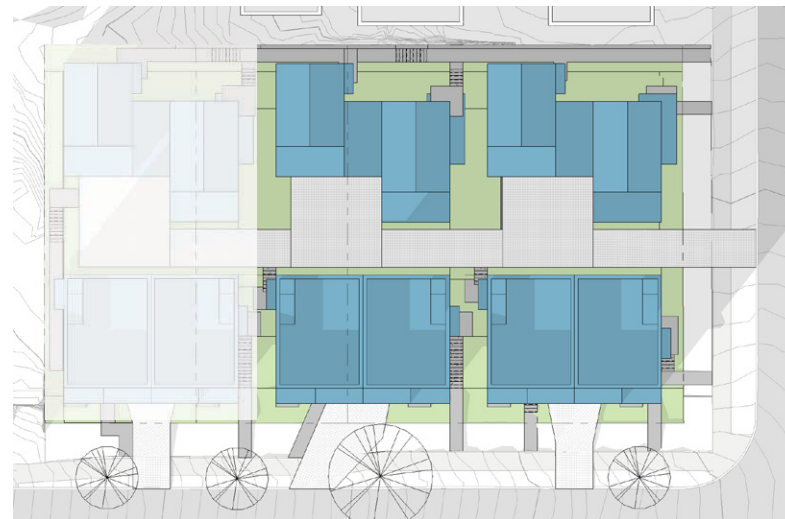
9 AM



12 PM



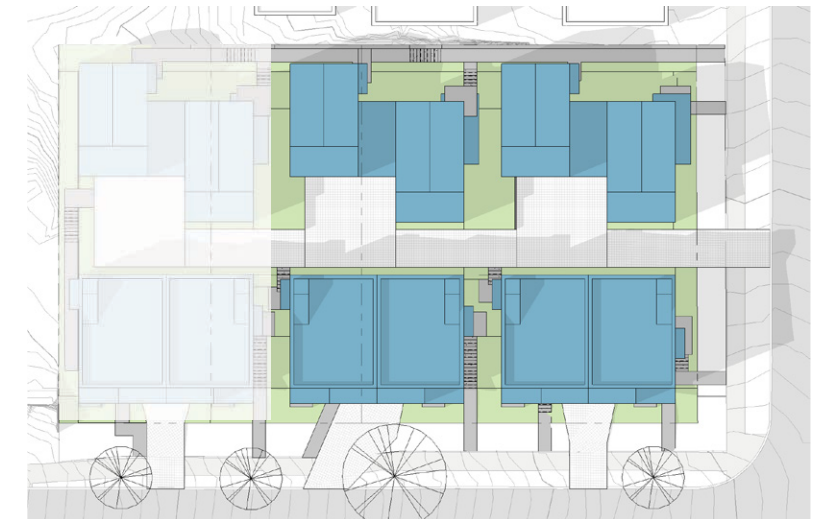
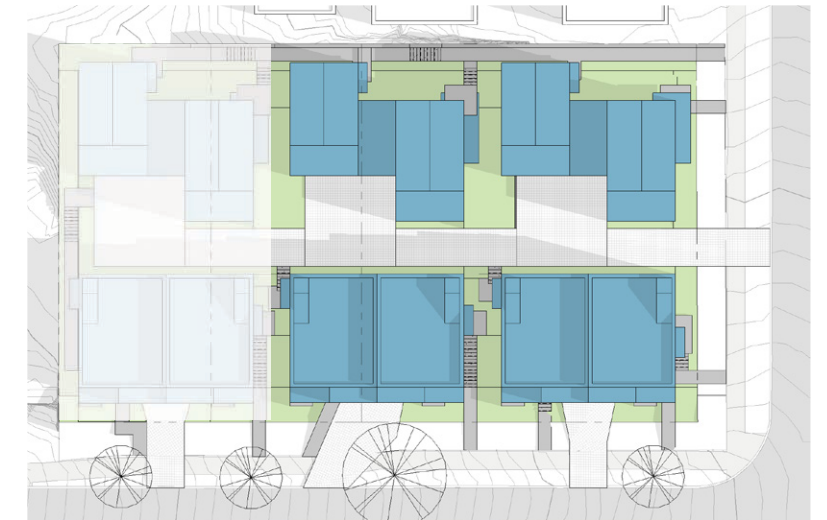
3 PM



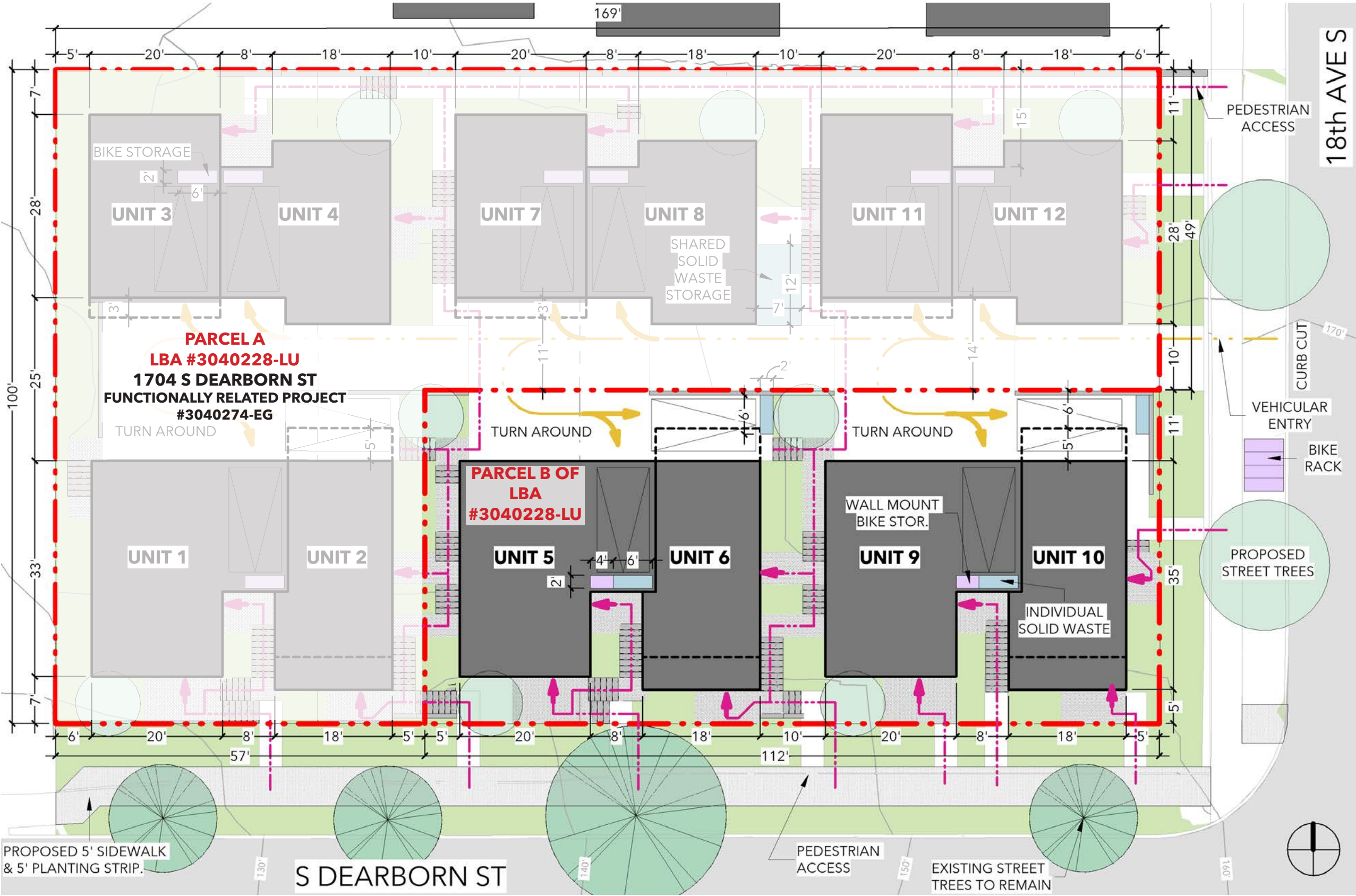
MARCH / SEPTEMBER



JUNE



CONCEPT 3 SITE PLAN



CONCEPT 3 FLOOR PLANS



FIRST FLOOR



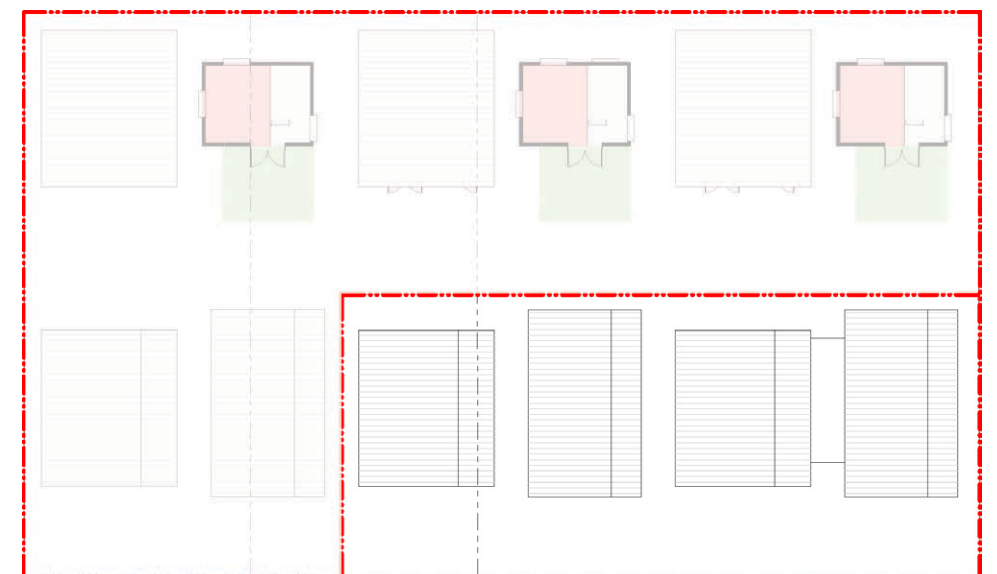
THIRD FLOOR



BASEMENT



SECOND FLOOR



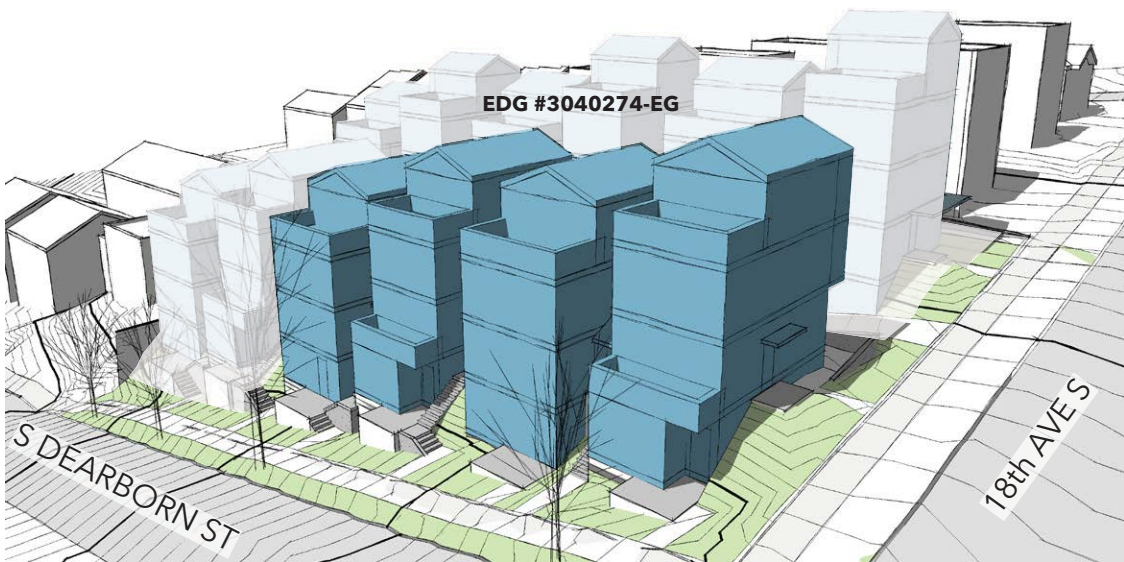
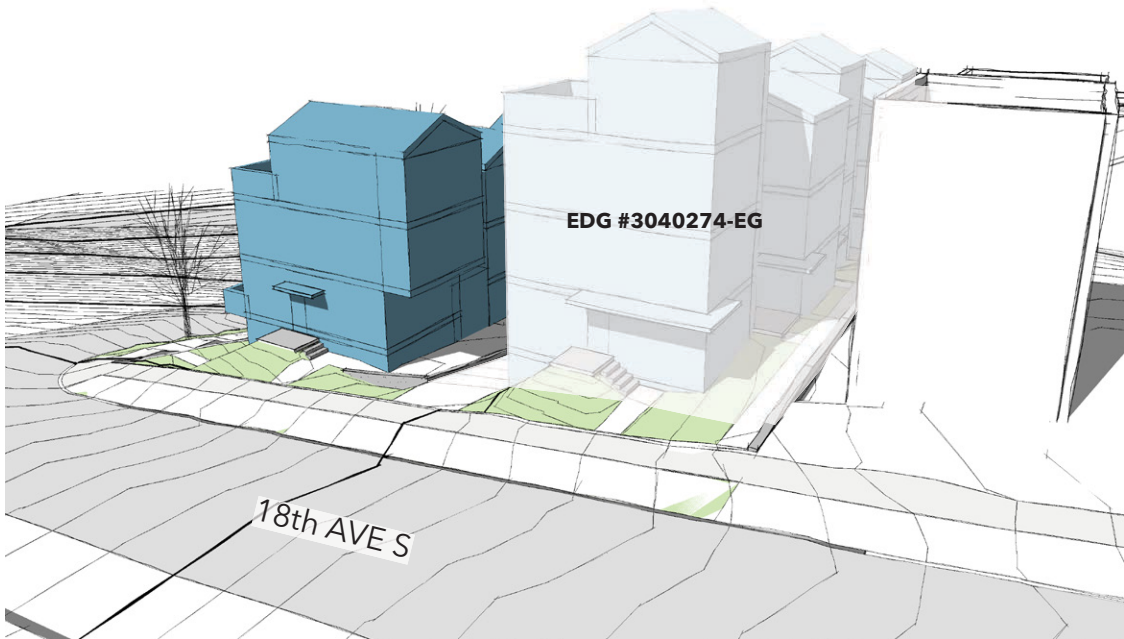
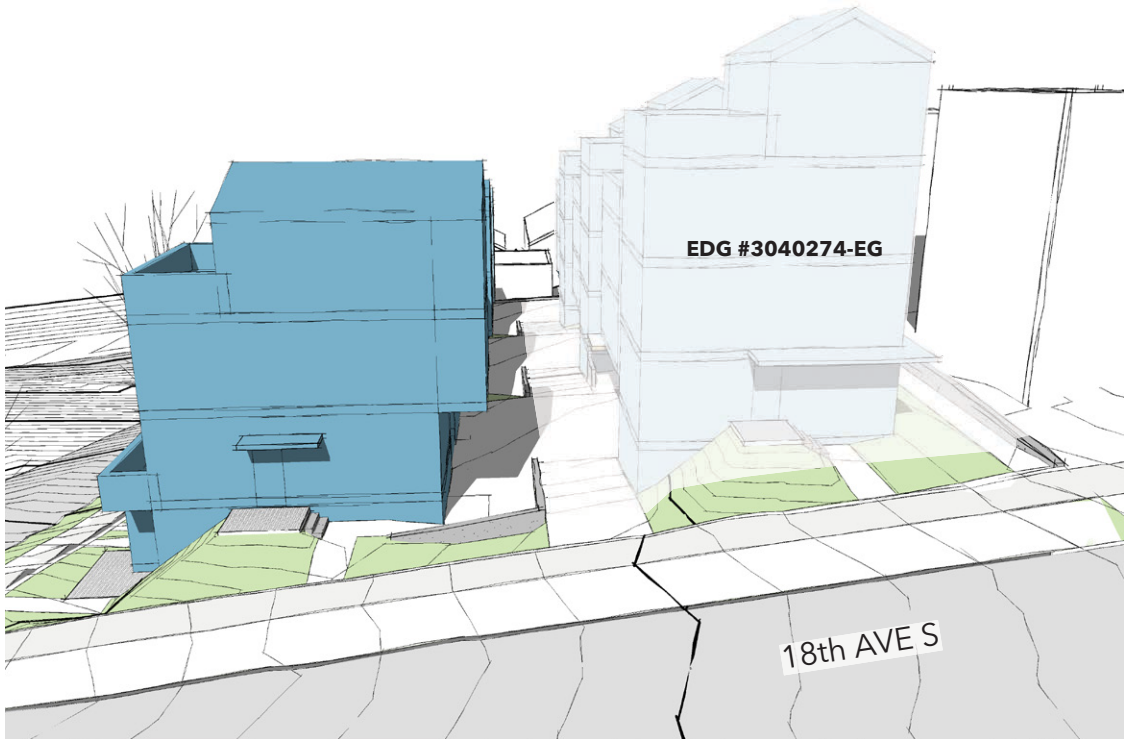
FOURTH FLOOR

FLOOR PLAN LEGEND

- Living Dining Kitchen
- Bedroom
- Bonus Space
- Bathroom
- Private Amenity Area
- Circulation
- Closet / Storage
- Parking Space



CONCEPT 3 MASSING



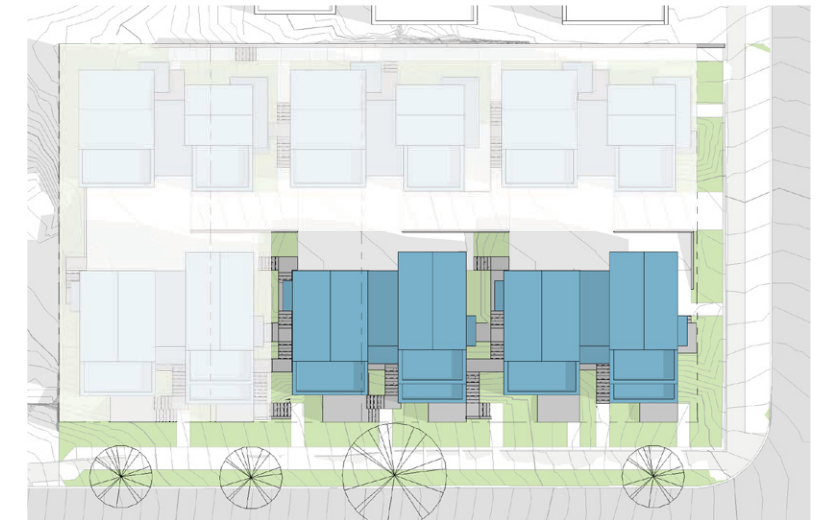
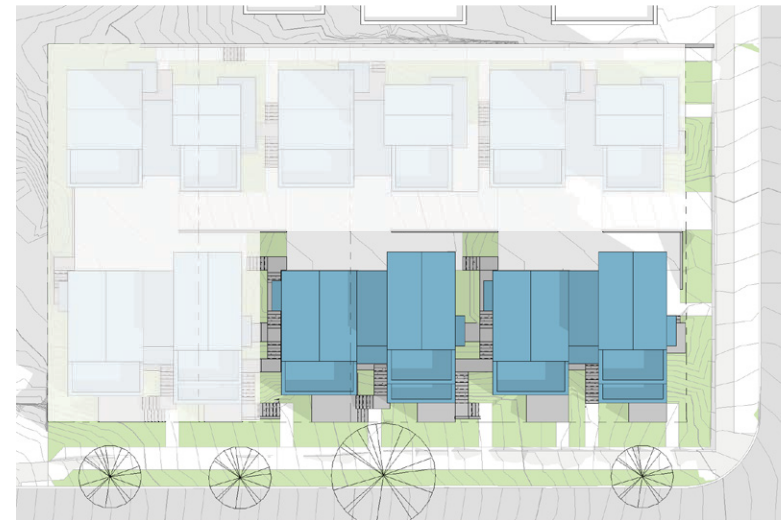
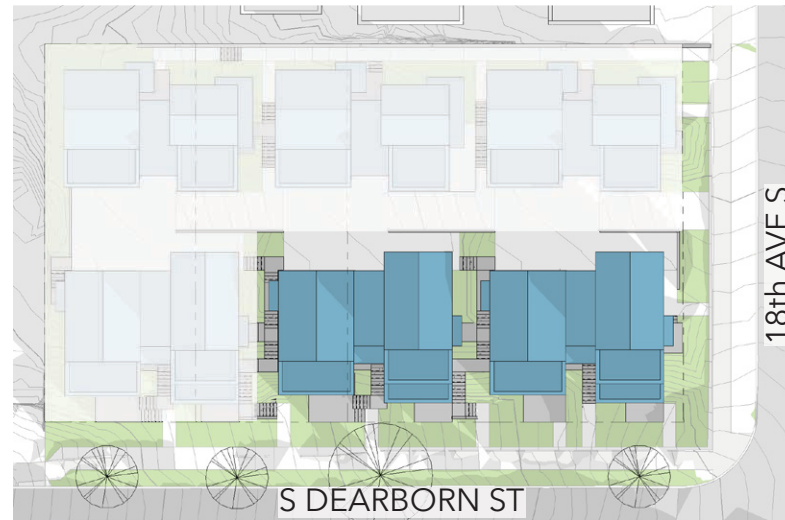
CONCEPT 3 SHADOW STUDIES

DECEMBER

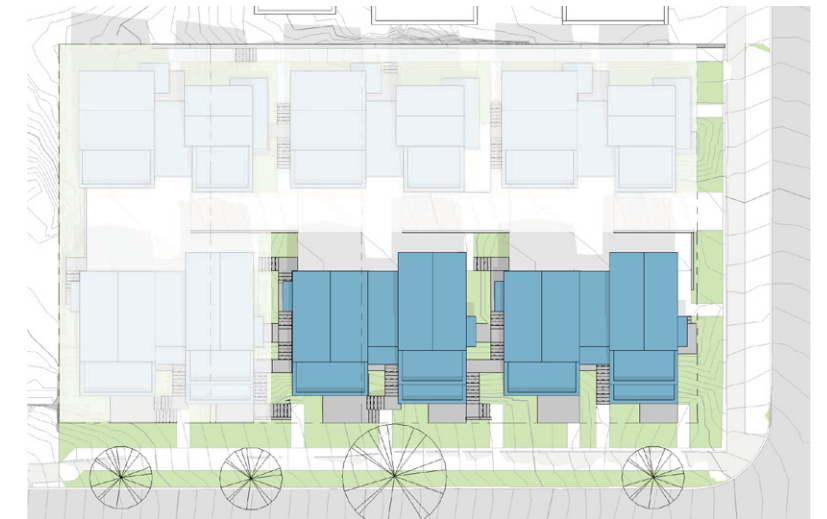
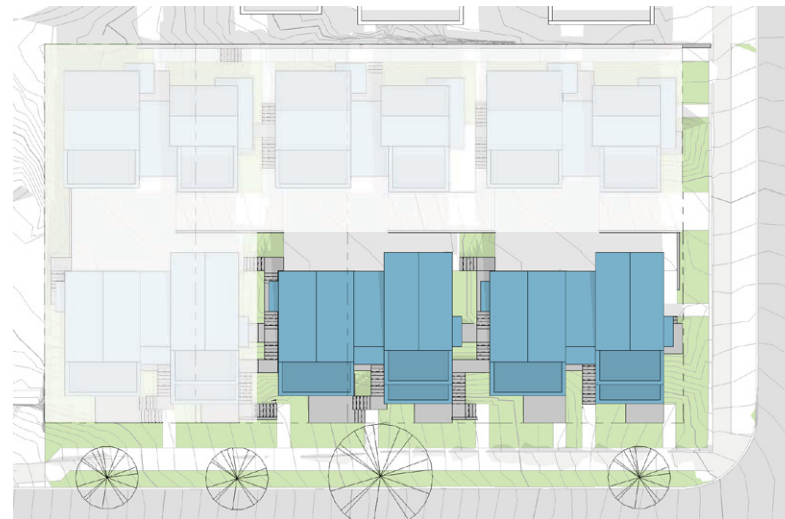
MARCH / SEPTEMBER

JUNE

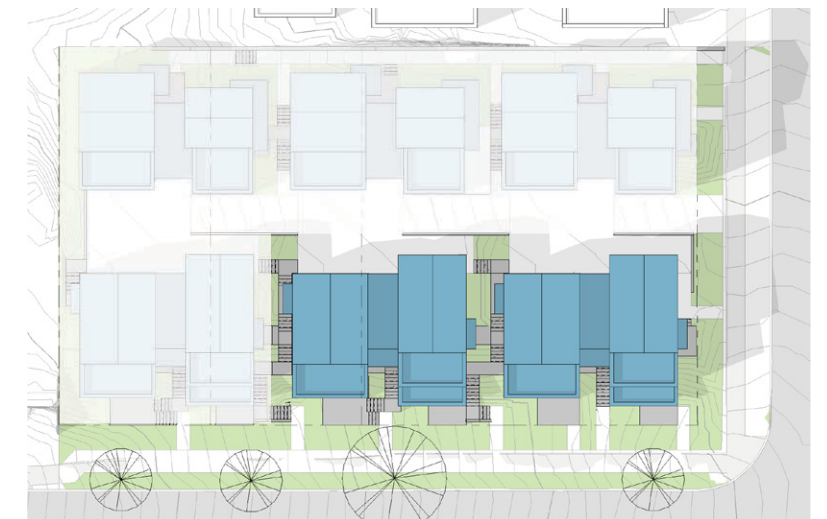
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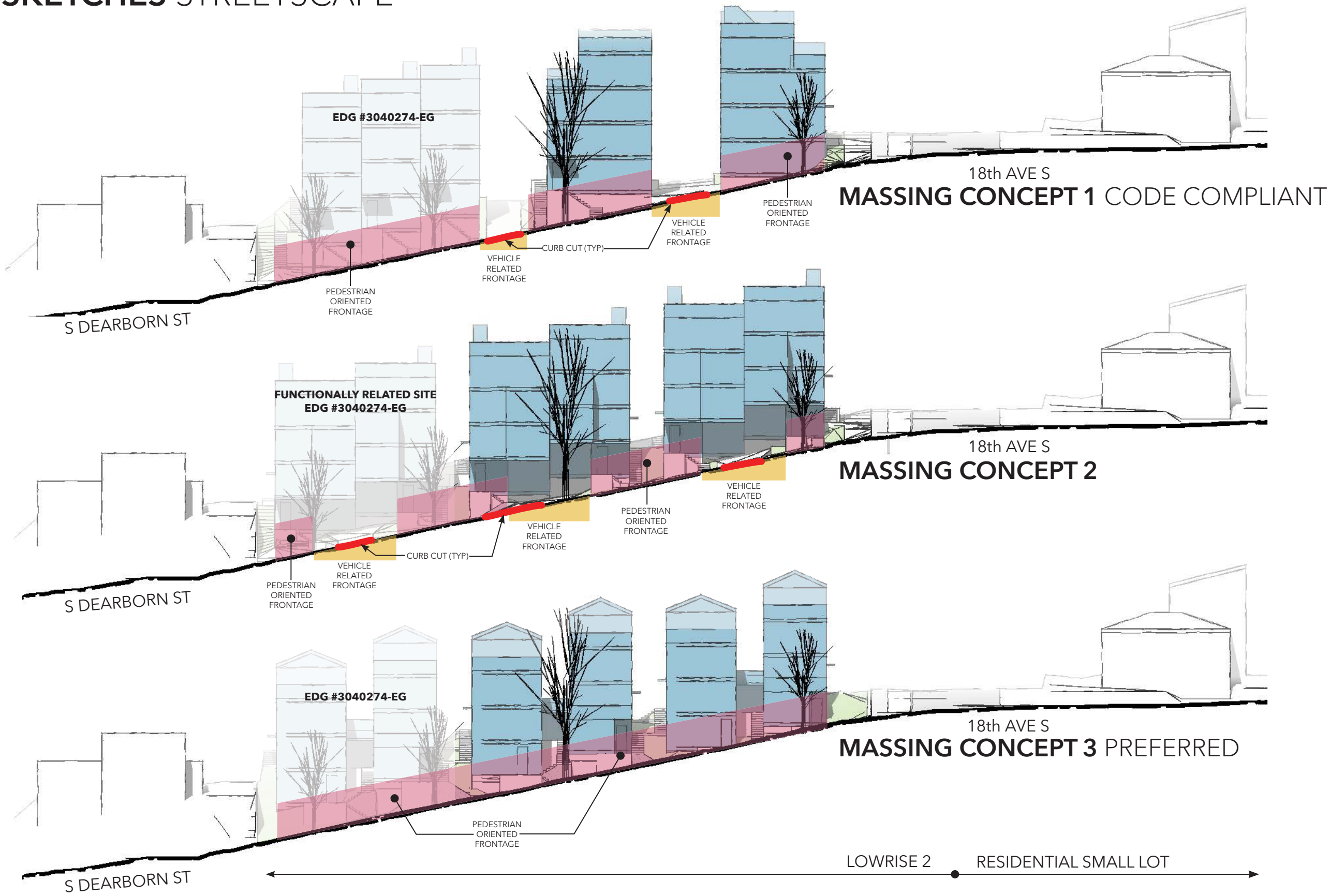
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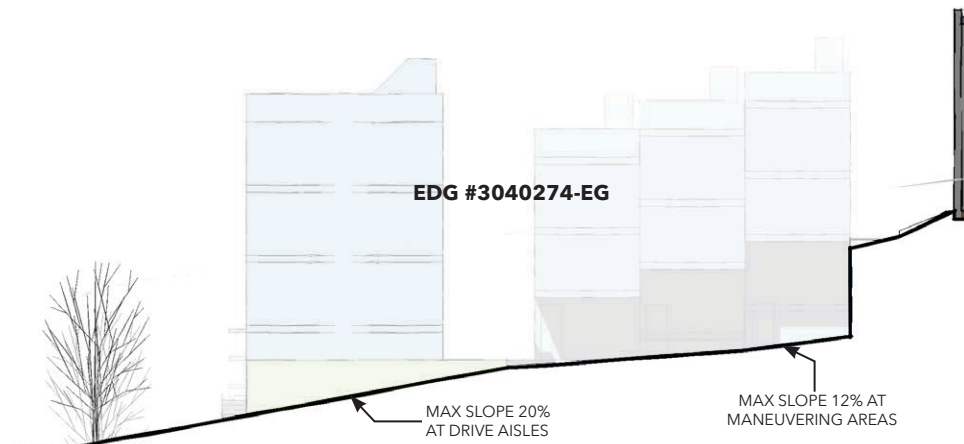
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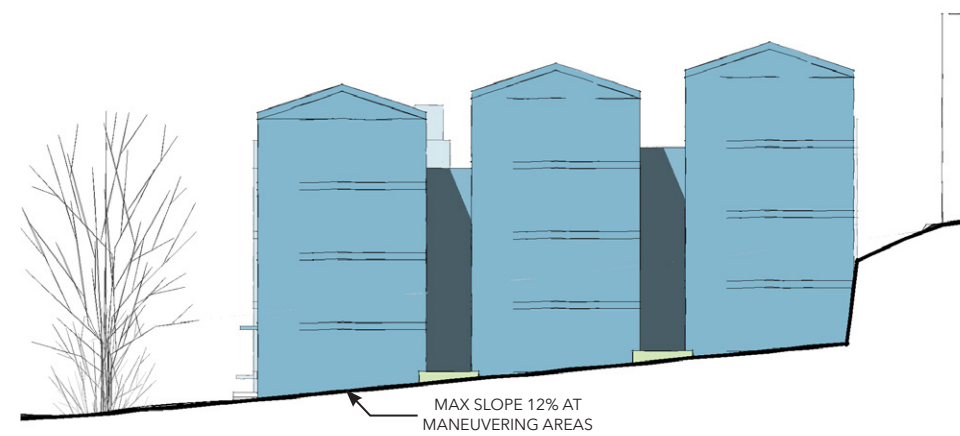
CHARACTER SKETCHES STREETSCAPE



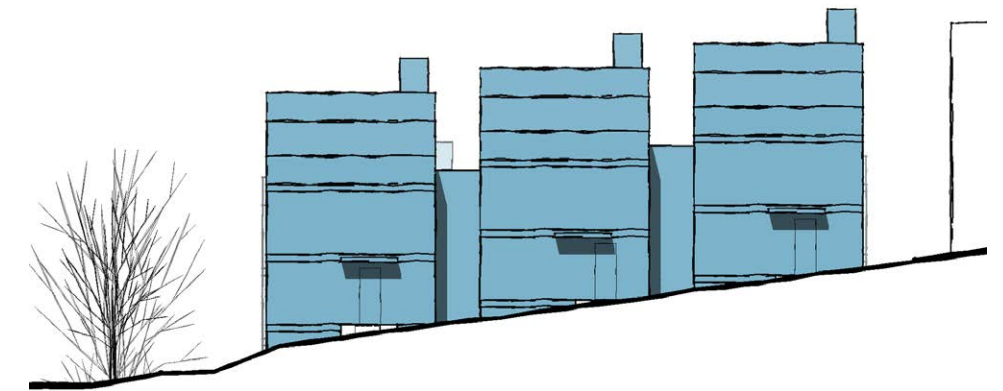
CHARACTER SKETCHES MASSING CONCEPT 1



WESTERN DRIVEWAY SECTION



EASTERN DRIVEWAY SECTION



18TH AVE S STREET ELEVATION



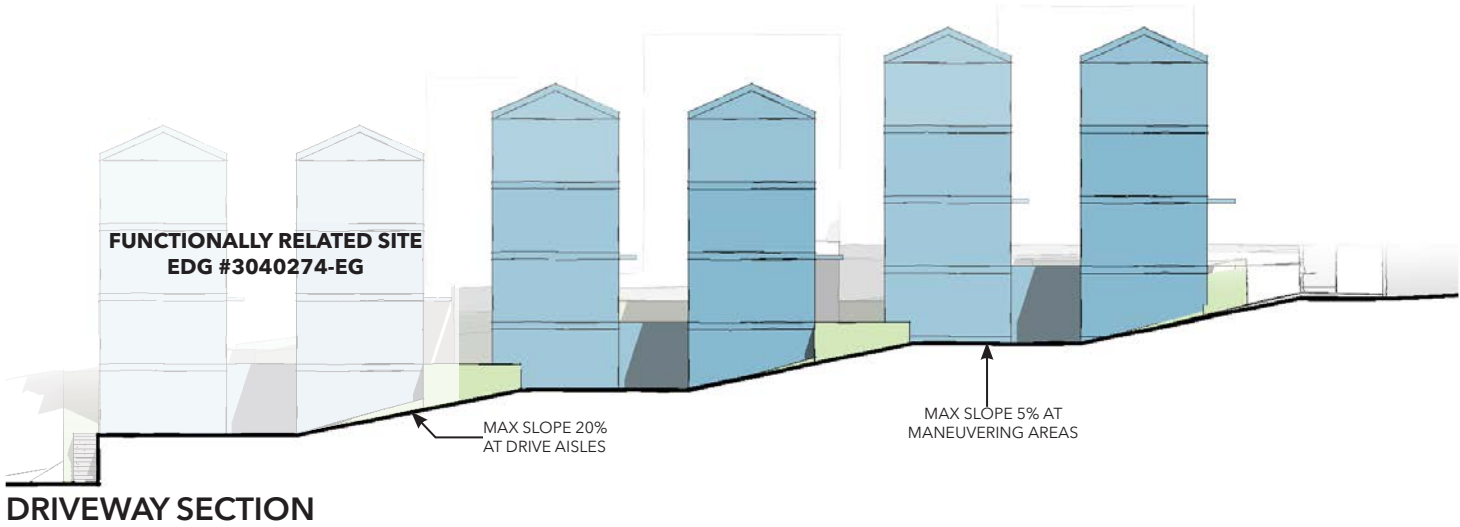
FRONT PORCHES ON DEARBORN



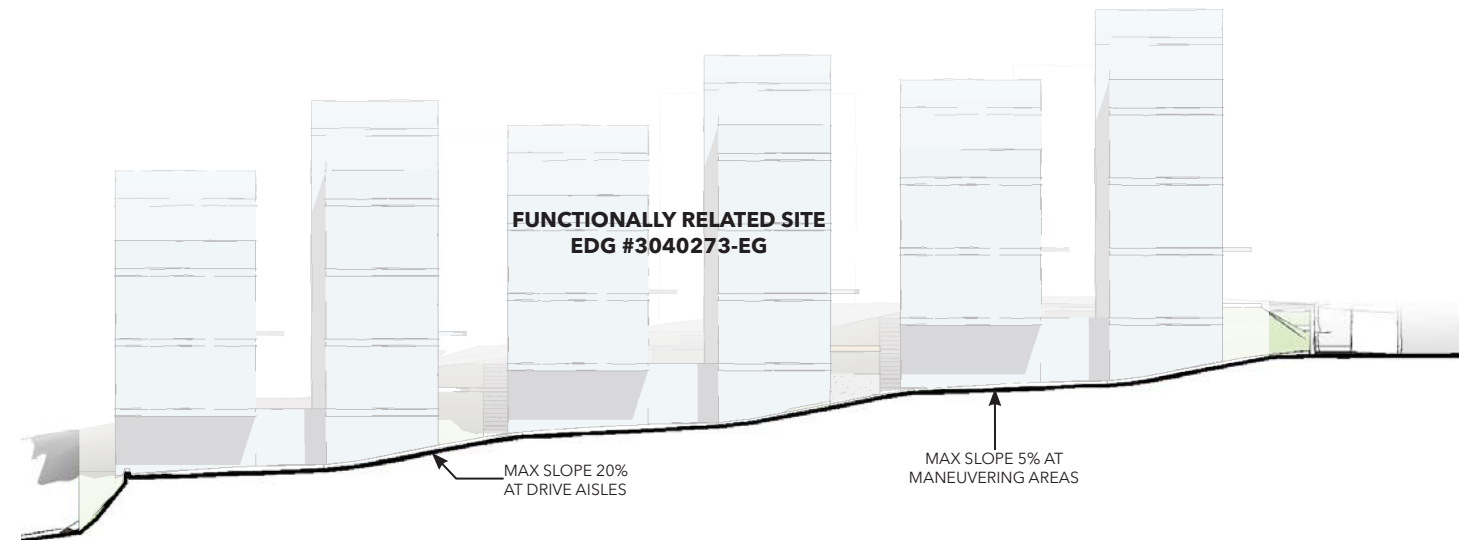
FRONT PORCHES ON 18TH AVE S



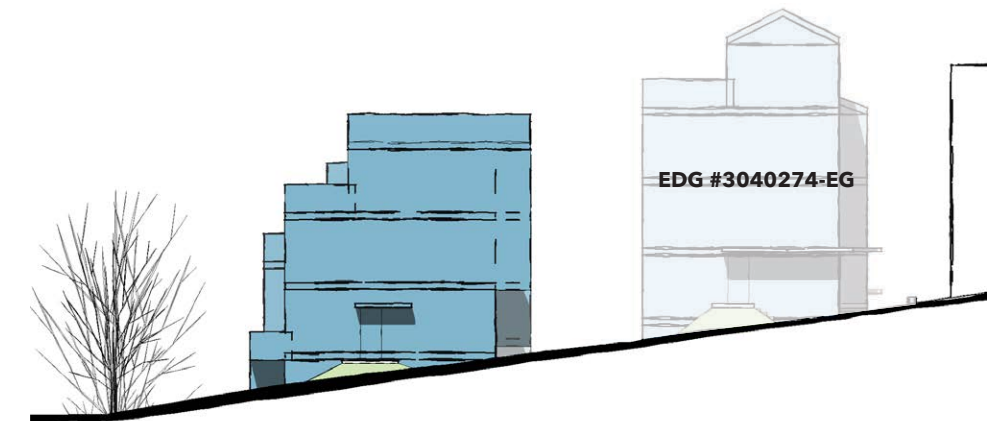
CHARACTER SKETCHES MASSING CONCEPT 2



CHARACTER SKETCHES MASSING CONCEPT 3



DRIVEWAY SECTION



18TH AVE S STREET ELEVATION



FRONT PORCHES ON DEARBORN



FRONT PORCHES ON 18TH AVE S

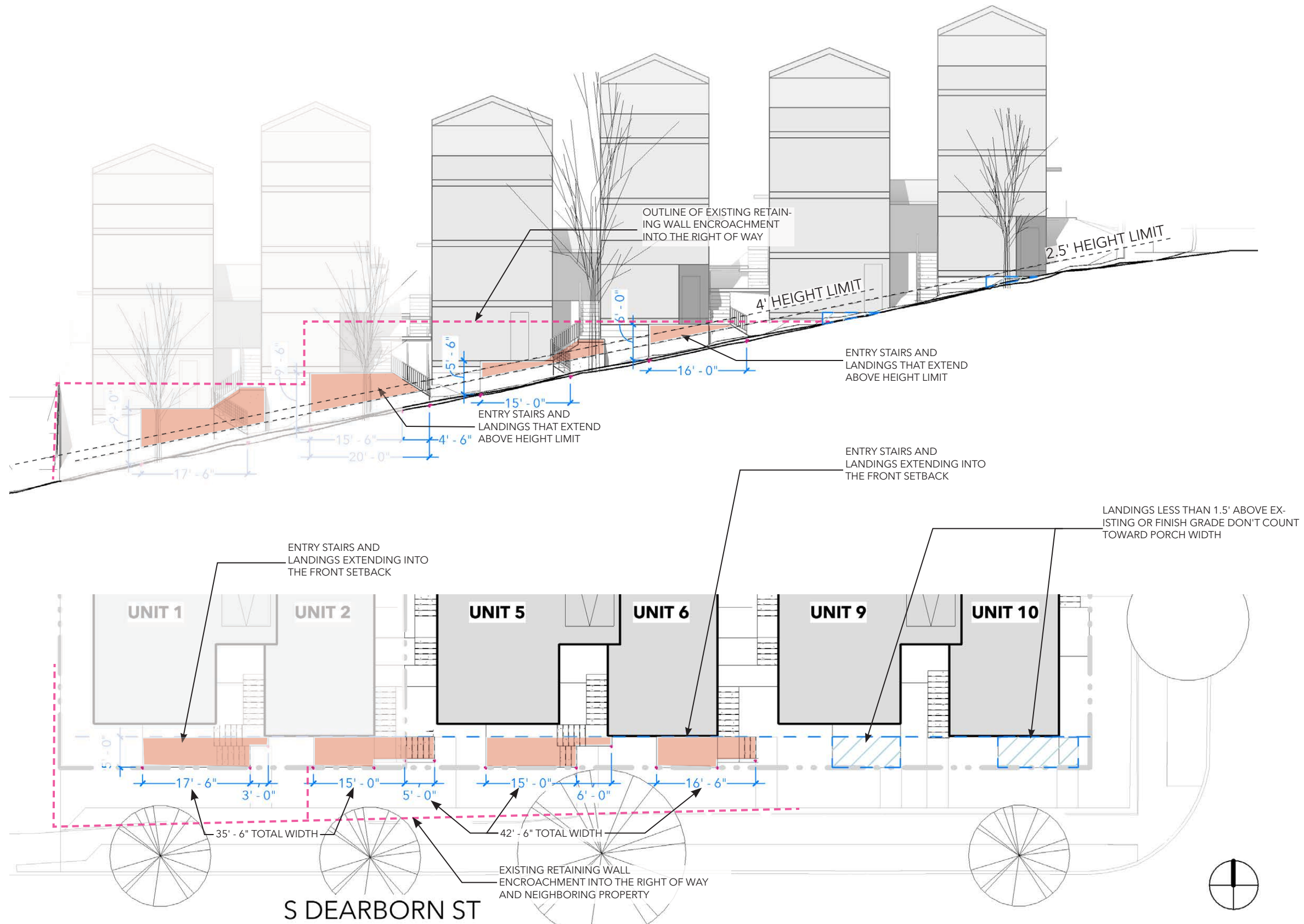


REQUESTED DEPARTURES MATRIX

REQUEST #	APPLICABLE DEVELOPMENT STANDARD	PROPOSED DEPARTURE	RATIONALE FOR DEPARTURE	SUPPORTING GUIDELINES
1	<p>23.45.518.H.4&5 - PORCHES & DECKS IN SETBACKS</p> <p>5.a. Unenclosed porches or steps no higher than 4 ft above existing grade, or the grade at the street lot line closest to the porch, whichever is lower, may extend to within 4 ft of a street lot line, except that portions of entry stairs or stoops not more than 2.5 ft in height, excluding guardrails, may extend to the street lot line.</p> <p>5.c. Unenclosed porches or steps permitted in the required setbacks shall be limited to a combined maximum width of 20 feet.</p>	<p>Maximum stairs & entry landings within 4' of the front lot line: 2.5'</p> <p>Increase allowable height to 9.5' maximum.</p> <p>Maximum combined width of stair and entry landings in the front setback: 20'</p> <p>Increase allowable width to 36' maximum</p>	<p>The existing site has a 50 ft grade change from the northeast corner to the southwest corner. The site massing strategy for massing concept 3 is to step the units down the site in both N-S and E-W directions to deal with this extreme grade change. The SW & S duplexes (units 1, 2, 5 & 6) have structural limitations on how low they can step down in elevation because of maximum retained soil height. Due to these limitations, the units are a few feet above the finished ROW grade.</p> <p>As the design is developed further, we intend to provide large entry landings for all street-facing units within the front setback. Due to the elevation of the units above the ROW grade and the average 20% slope along S Dearborn St, the entry landings will extend beyond the maximum height limits - see diagrams on following page.</p> <p>The finished grade in front of the buildings will be mounded up along the landings to reduce their perceived height - see character rendering on previous page.</p> <p>Providing deeper entry landings along the street-facing facades allows space for personalization such as furniture and potted plants which encourages residents to comfortably occupy their porches. The variation of unit floor plans and height in relation to the sidewalk provides opportunities for each entry sequence to feel unique, contributing to a more dynamic and active streetscape.</p>	<p>CS1.I Local Topography</p> <p>PL3.I Frontages</p> <p>PL3.II Streetscape Treatment</p>



REQUESTED DEPARTURES DIAGRAMS



COMPLETED WORK FROM GREEN CANOPY NODE



3251 W Commodore Way



4418 Dayton Ave N



5200 Renton



4332 SE Madison St (Portland OR)



COMPLETED WORK FROM GREEN CANOPY NODE



126 W Florentia



5123 N Michigan (Portland, OR)



2116 13th Ave S



1004 26th Ave E

