

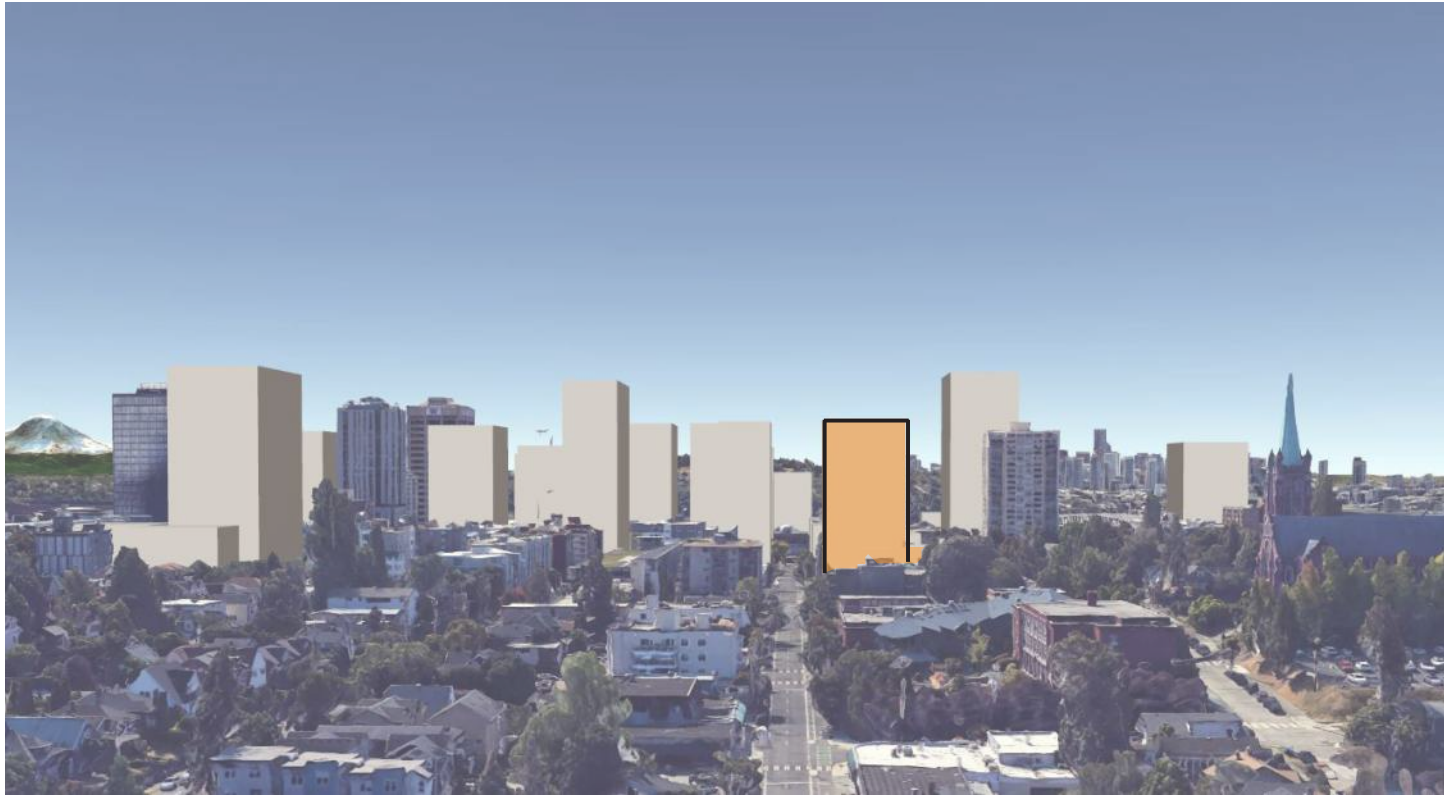


CLARK
BARNES

AUGUST 28, 2023

EARLY DESIGN GUIDANCE

911 NE 50th Street
3040165-EG



APPLICANT TEAM

OWNER	911 NE 50TH LLC
ARCHITECT	CLARK / BARNES PLLC 1401 WEST GARFIELD STREET SEATTLE WA 98119

PROJECT DESCRIPTION

The project site 21,497 SF, is a split zone NC3-65 and LR2, located at the corner of NE 50th street and Roosevelt Way NE in the University District Urban Center.

The proposed 180' residential development will request a contract rezone with split zoning; the parcels along Roosevelt Way NE, will match adjacent SM-U 75-240(M1) zoning to the east, across the street on Roosevelt Way NE. The parcels along 9th Avenue NE will request LR2(M) zoning consistent with adjacent LR2 to the west.

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SUMMARY OF PUBLIC OUTREACH (3.6)

DEVELOPMENT OBJECTIVES

- Relationship to neighborhood character.
- Environmentally friendly design.
- Provide additional much needed housing units.

SUMMARY OF PROJECT
OUTREACH

DESIGN RELATED

Exterior

- Landscaping.
- Lighting / safety features.
- Seating & places to congregate.

Height & Scale

- Relationship to Neighborhood Character.
- 25 percent of respondents said interesting and unique design is the most important design element.
- Several respondents encouraged the building limit its height that it would block natural light and views for surrounding buildings.

Sustainability

- 50 percent of respondents said environmentally friendly features are the most important design element.
- One respondent encouraged Eco-friendliness.

NON DESIGN RELATED

Traffic & Parking

- Respondents requested parking to be provided while another suggested that less parking is better to actively build a climate-considered future.
- One respondent encouraged expanding the safety of the crossing on the corner.
- One respondent encouraged not giving out RPZ passes.

Affordability & Units

- One respondent expressed support for increased housing units.

Neighborhood Contributions & Livability

- Encouraged contributing to the neighborhood, i.e. community, calm and safety.
- Several encouraged respect for the existing neighborhood.

Impacts

- Several encouraged safe and quick construction to minimize neighborhood disturbances.
- Concern about parking during construction and staring into their neighbor’s windows.

Retail

- One respondent encouraged mixed-use retail on the bottom floor if possible.
- Another respondent inquired whether it’s possible to bring back the theater.

MISCELLANEOUS

Oppose

- Several respondents noted they do not want the project to happen.

Support

- One respondent said that it sounds wonderful as they were hoping to see a new development on the plot.
- Several respondents encouraged building to be done quickly and simply due to massive housing deficit.

Outreach

- Suggested community decision-making and dialogues to make this building successful.



Project Vision

项目展望

프로젝트 비전

Visión del Proyecto

The proposed residential development will be a 170-unit mass timber multi-family residential building with below-grade parking. The project's height is proposed for up to 240 feet, which is consistent with U-District zoning across the street.

ZONING

分区图용도별 지역 지정 지도Mapa de la zonificación

EXISTING SITE SURVEY - PRELIMINARY PLAN (4.0)

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ADDRESS: 911 NE 50TH ST SEATTLE, WA 98115

OWNER: 911 NE 50TH, LLC.

TOTAL LOT AREA: 21,497 SF

LEGAL DESCRIPTIONS

PARCEL: 533520-0005

MCGUIRE & HOLDENS TO LATONA SUPL

PLAT BLOCK: 1, PLAT LOT: 1-3

PARCEL: 533520-0265

MC GUIRE & HOLDENS TO LATONA SUPL

PLAT BLOCK: 1, PLAT LOT: 46-48

PARCEL: 533520-0255

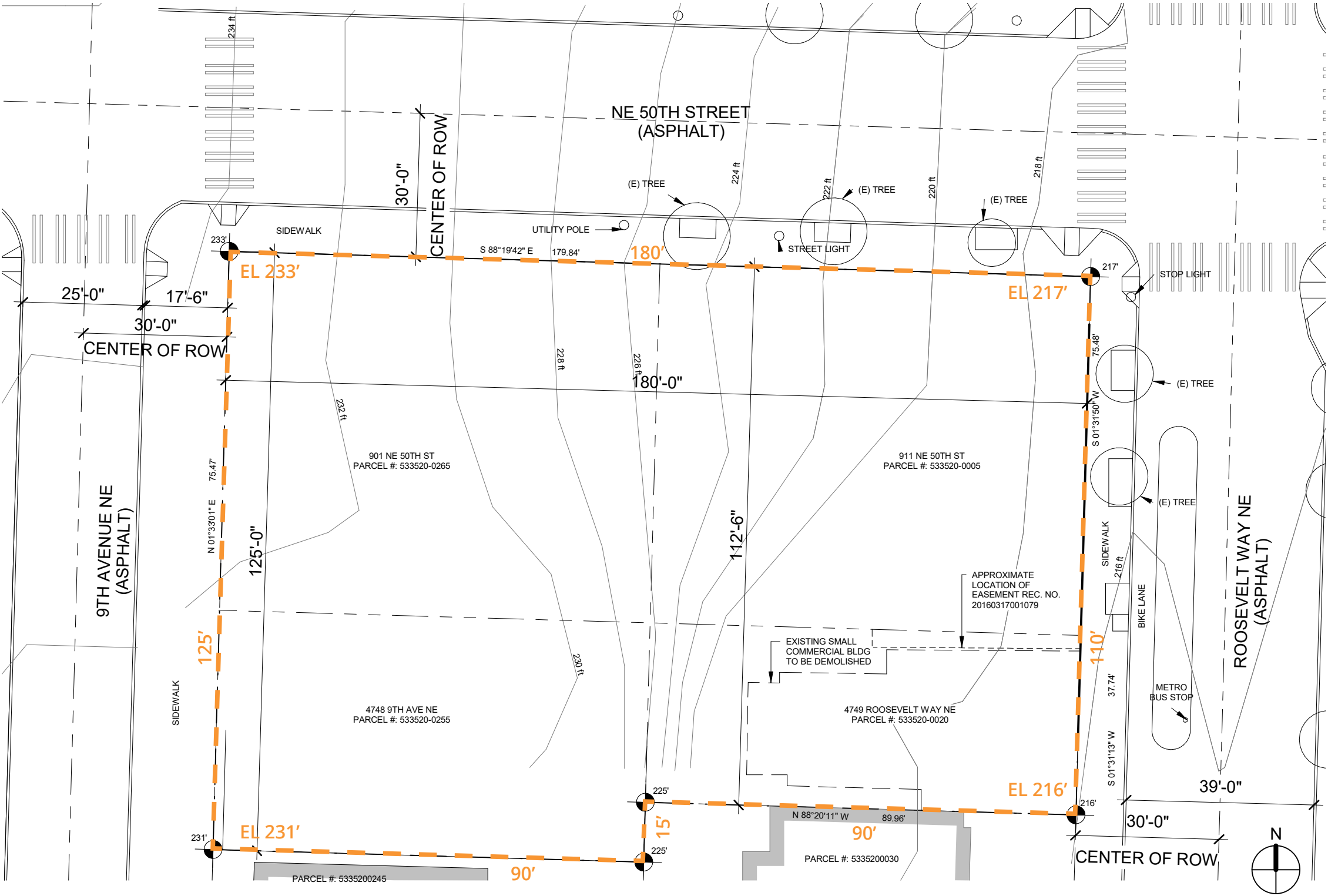
MC GUIRE & HOLDENS TO LATONA SUPL

PLAT BLOCK: 1, PLAT LOT: 44-45

PARCEL: 533520-0020

MC GUIRE & HOLDENS TO LATONA SUPL 4 & N 1/2 OF 5

PLAT BLOCK: 1, PLAT LOT: 4-5



URBAN DESIGN ANALYSIS - EMERGING HIGH RISE DISTRICT (5.1)



URBAN DESIGN ANALYSIS - VICINITY MAP (5.2)

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URBAN DESIGN ANALYSIS - ZONING MAP (5.1)

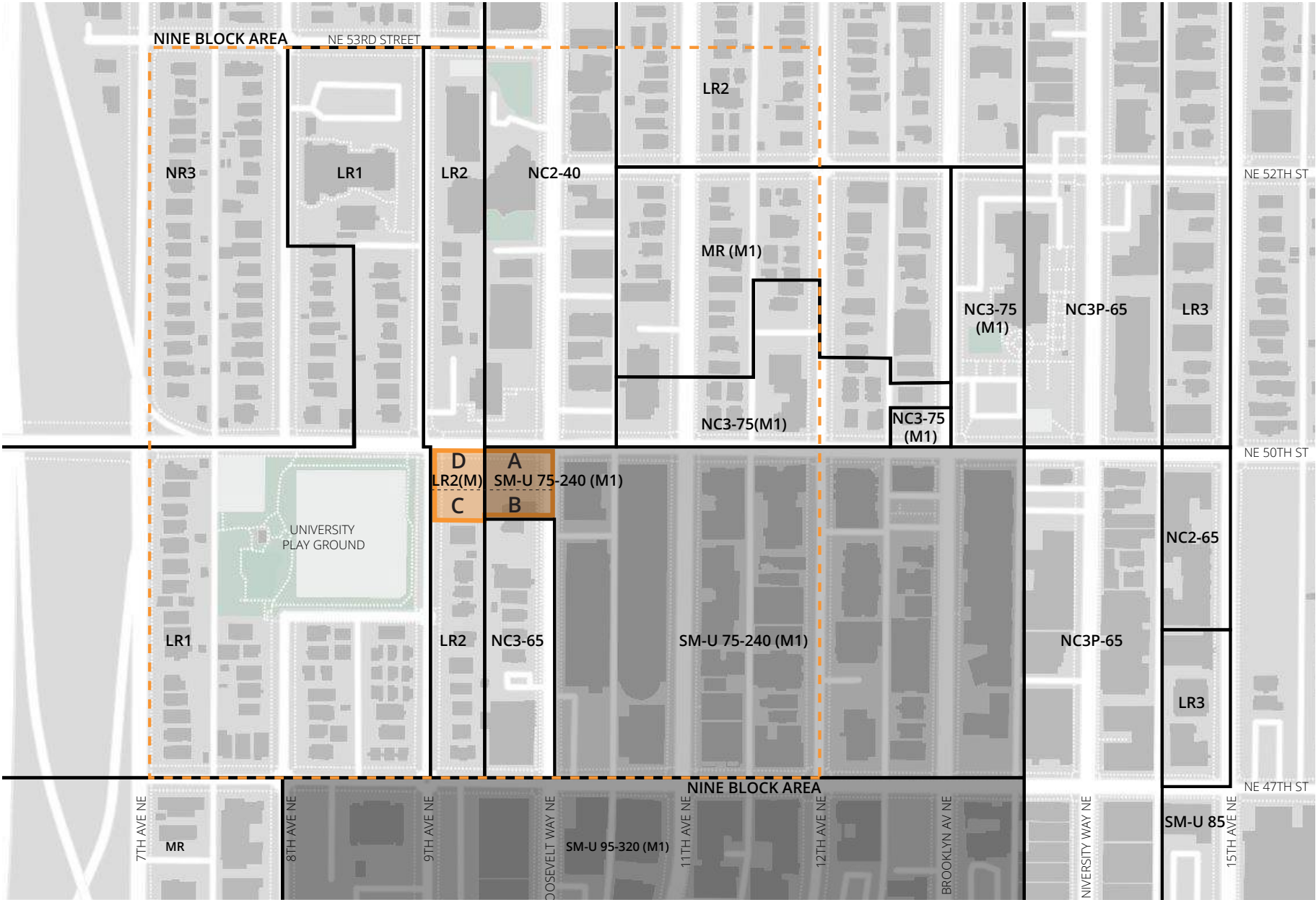
EMERGING HIGH-RISE DISTRICT

The site is located within 1/2 mile of the University light rail station and contributes to transit-oriented development (TOD).



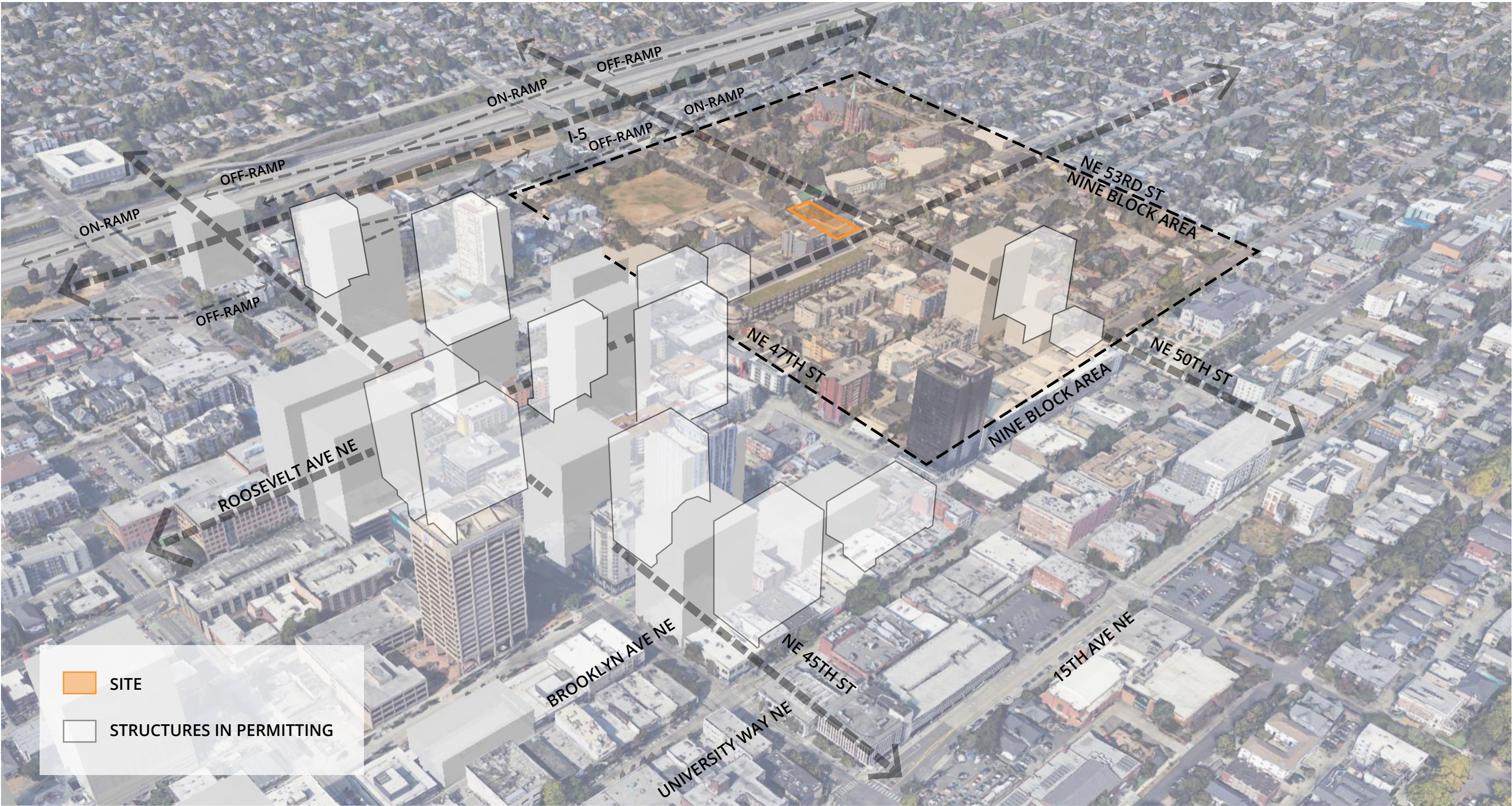
COMBINED SITE AREA 21,497 SF

LOT	A	B	C	D
ADDRESS	911 NE 50TH ST	4749 ROOSEVELT WAY NE	4748 9TH AVE NE	901 NE 50TH ST
PARCEL #	53352-0005	533520-0020	533520-0255	533520-0265
ZONE	SM-U 75-240 (M1)	SM-U 75-240 (M1)	LR2 (M)	LR2 (M)
AREA	6,789 SF	3,394 SF	4,526 SF	6,788 SF



URBAN DESIGN ANALYSIS - AERIAL PHOTOGRAPH NINE BLOCK AREA (5.3)

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URBAN DESIGN ANALYSIS - WAY FINDING MARKER



EMERGING UNIVERSITY HIGH RISE DISTRICT WITH DOWNTOWN SKYLINE IN BACKGROUND



VIEW FROM CAMPUS NW TO SITE



VIEW FROM UNIVERSITY BRIDGE NORTH TO SITE



VIEW ON 50TH LOOKING WEST TO SITE

NE 50TH STREET - NORTH STREETSCAPE



NE 50TH STREET - SOUTH STREETSCAPE



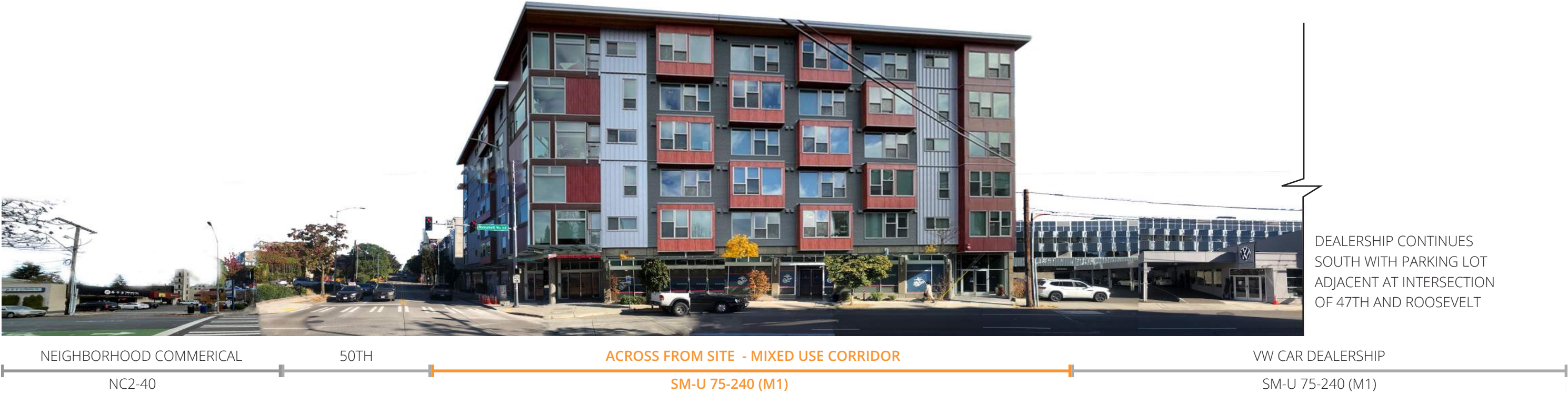
NINTH AVE NE - EAST STREETScape



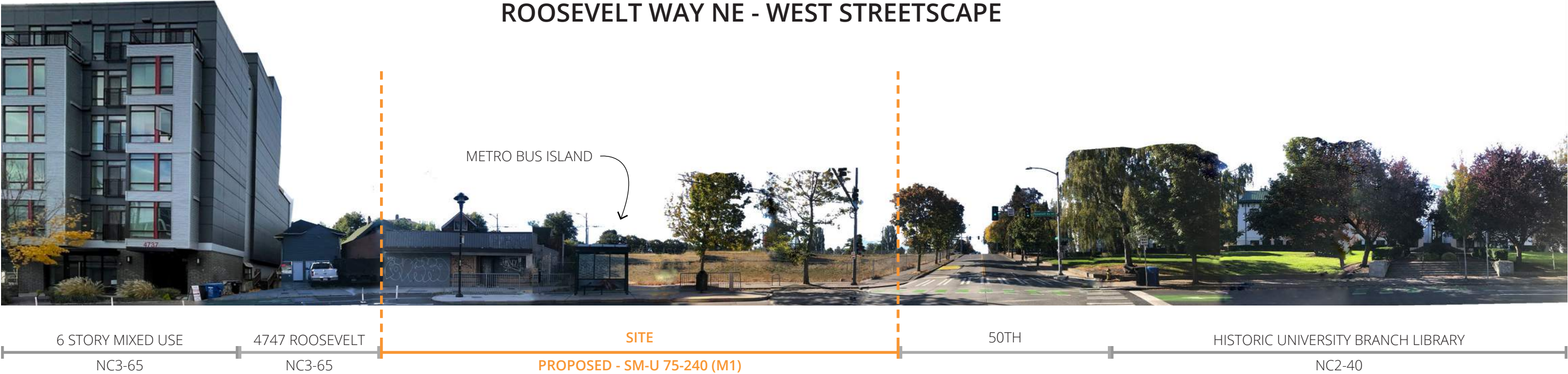
NINTH AVE NE - WEST STREETScape



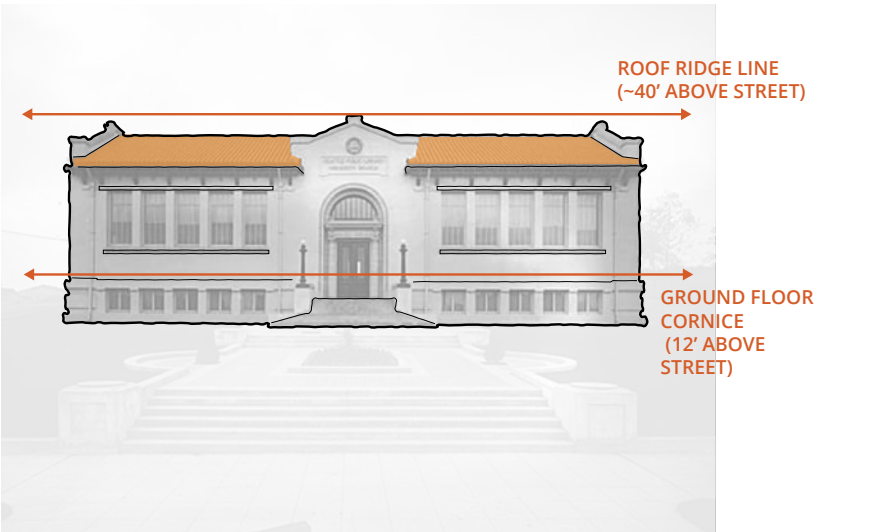
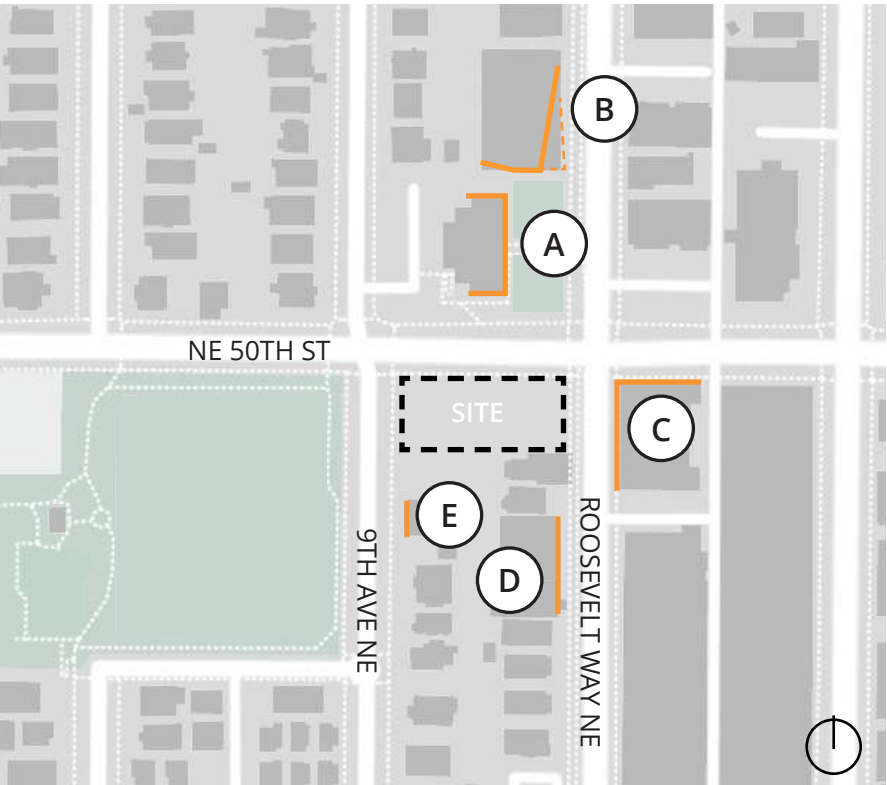
ROOSEVELT WAY NE - EAST STREETSCAPE



ROOSEVELT WAY NE - WEST STREETSCAPE



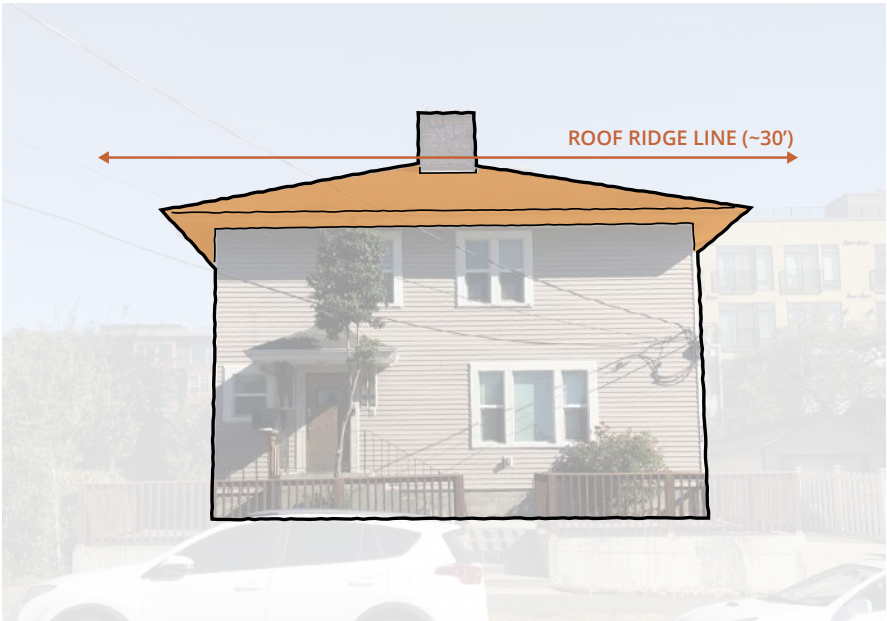
URBAN DESIGN CONTEXT ANALYSIS (5.5)



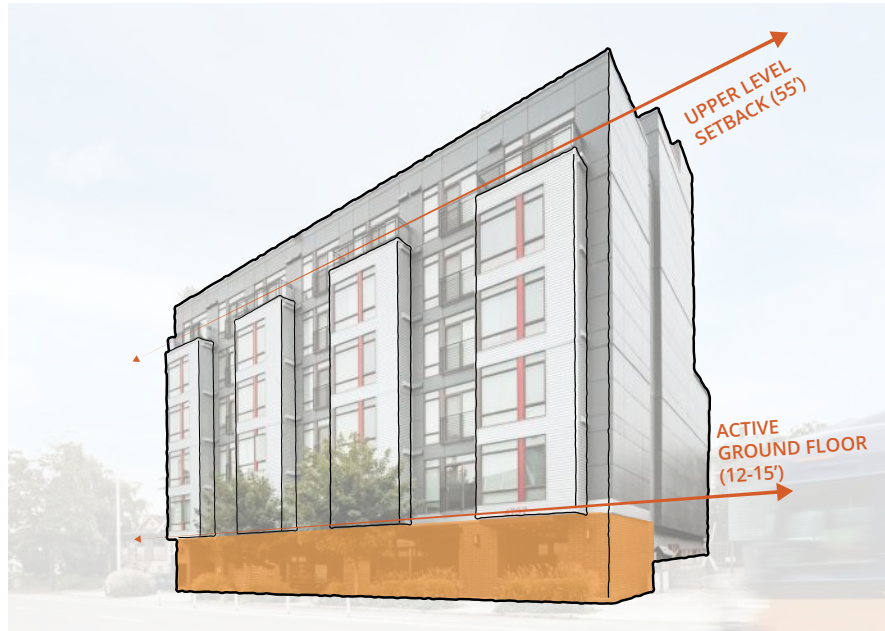
(A) UNIVERSITY BRANCH - SEATTLE PUBLIC LIBRARY (CARNEGIE)
ELEVATED ENTRY & TOPO CREATE FIRST STORY DATUM.
GABLE ROOF LINE ESTABLISHES UPPER FLOOR DATUM



(B) MARION WEST AFFORDABLE HOUSING
BUILDING MASS PULLS OFF THE STREET TO EMPHASIZE COMMUNITY
RESOURCES (FOOD BANK, LIBRARY)
COLOR RESPONSE TO LIBRARY
15' GROUND FLOOR, 40' ROOF



(E) LR-2 ZONE
ELEVATED GROUND FLOOR,
ROOF DATUM 22-30'

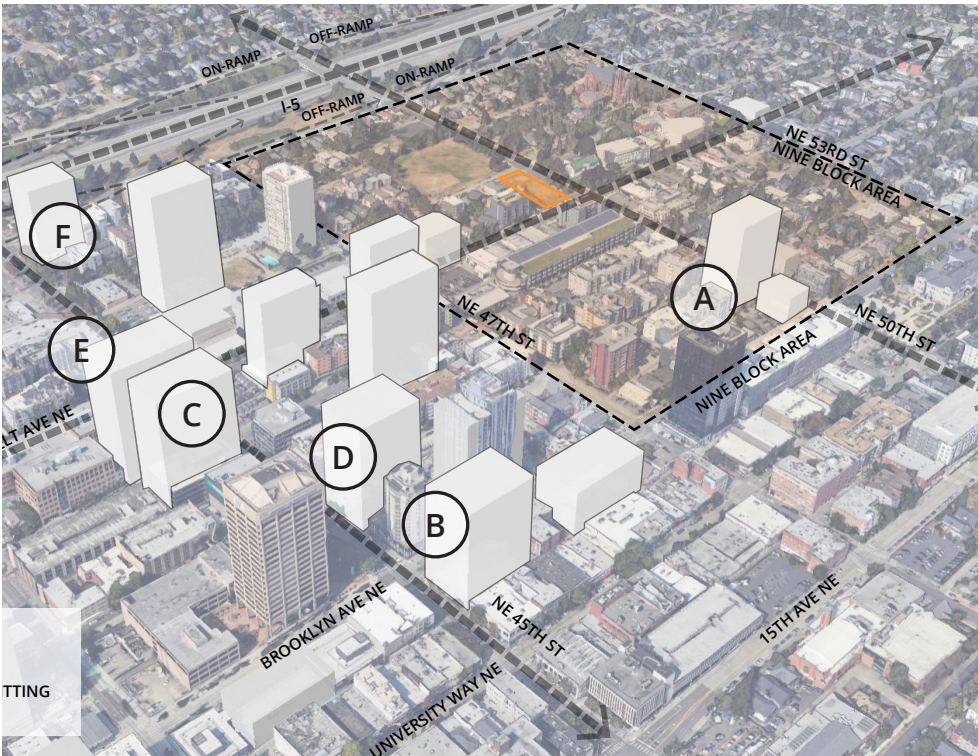


(D) THE PREXY
VERTICAL STACKING.
GROUND LEVEL ACTIVITY (12-15') SETBACK AT 55'



(C) 50TH & ROOSEVELT
STRONG URBAN CORNER, VERTICAL MODULATION.
GROUND FLOOR ACTIVITY (12-15') ROOF 65'

URBAN DESIGN CONTEXT ANALYSIS (5.5)



GASKET RESPONDING TO CONTEXT DATUMS



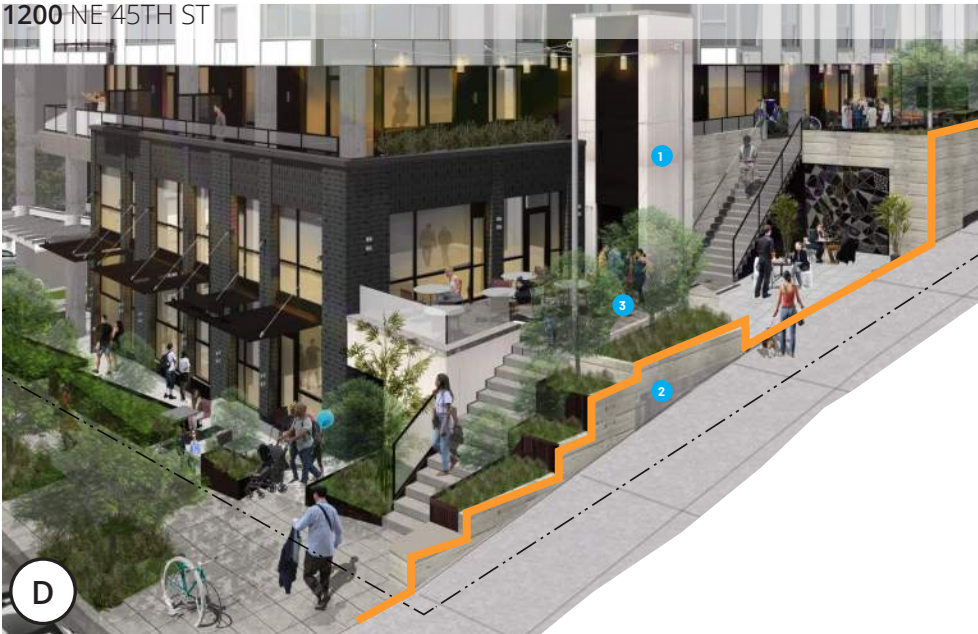
EXPRESSED STRUCTURAL SYSTEM CREATING **INTERMEDIATE SCALE**



DISTINCT FORM URBAN WAY FINDING MARKER



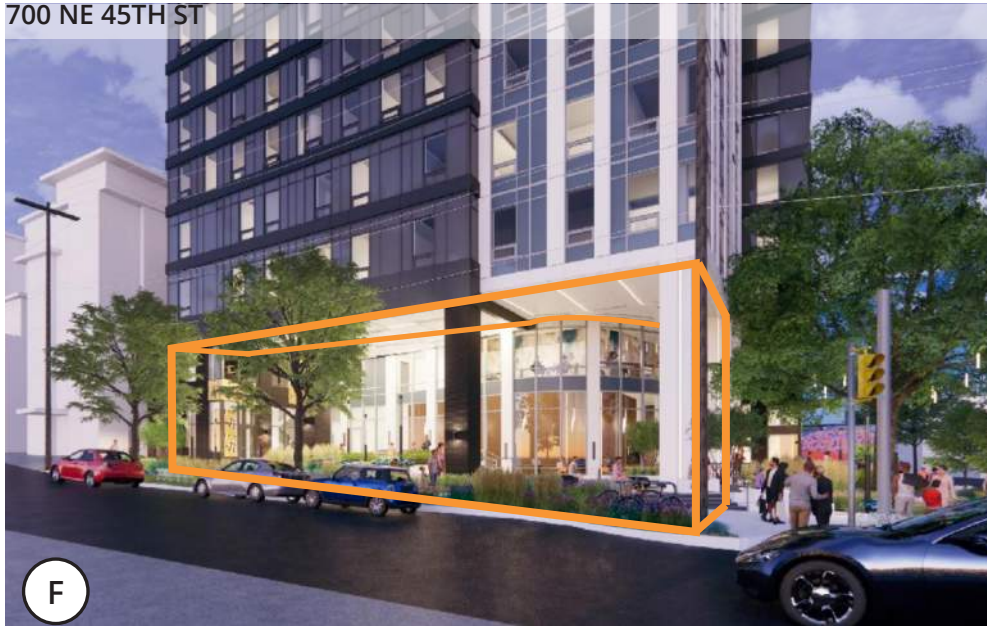
INTENTIONAL TERMINUS THAT ENHANCES THE U DISTRICT SKYLINE



HUMAN SCALE STREETSCAPE THAT CONTRIBUTES TO THE NETWORK OF OPEN SPACES AROUND THE SITE AND THE SURROUNDING CONTEXT

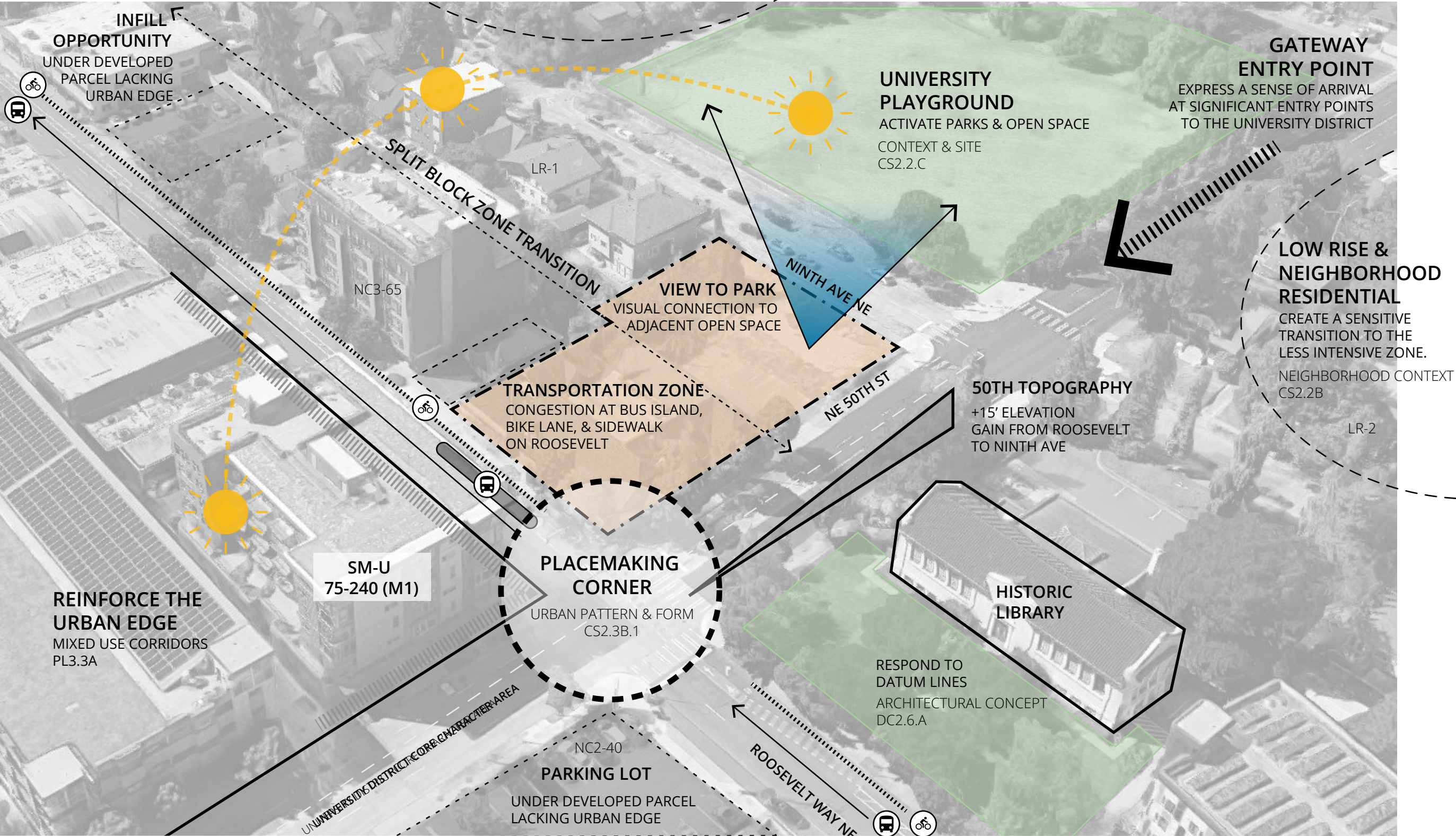


TRANSPARENT BASE THAT MEDIATES TALL BUILDING HEIGHT AND TRANSPARENT BASE AT PEDESTRIAN SCALE

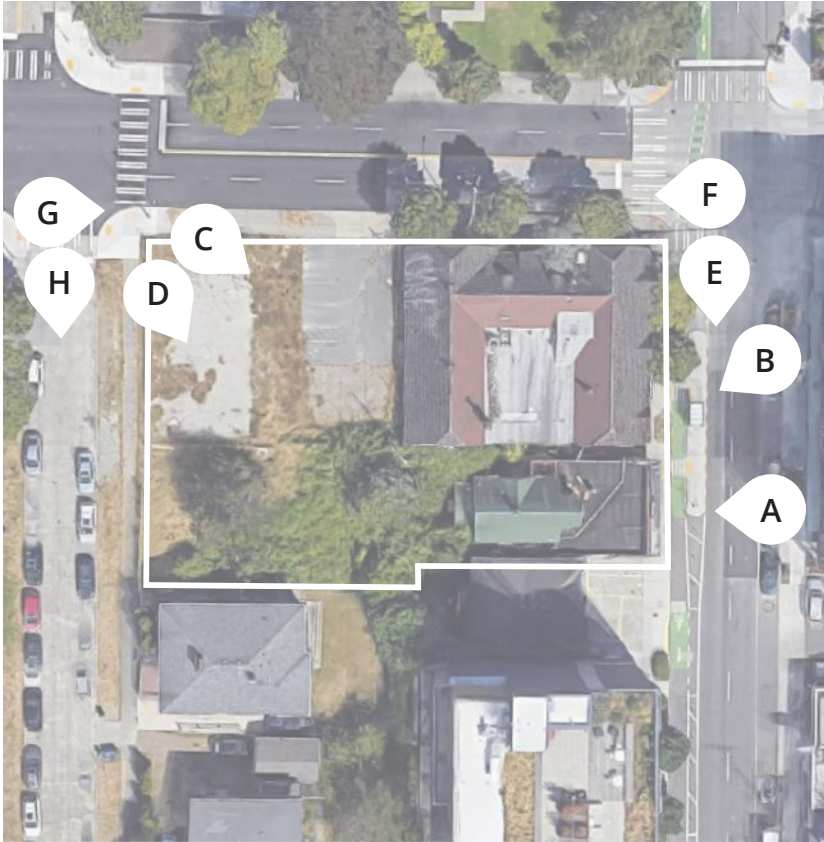


ADJUSTED BASE SCALE THAT MEDIATES TALL BUILDING HEIGHT AND TRANSITIONS TO HUMAN SCALE AT THE GROUND LEVEL

URBAN DESIGN ANALYSIS - SITE ANALYSIS & URBAN CONDITIONS (5.6)



URBAN DESIGN ANALYSIS - SITE PHOTOS (5.7)



ZONING DATA (6.0)

SITE INFORMATION

LOT	A	B	C	D
ADDRESS	911 NE 50TH ST	4749 ROOSEVELT WAY NE	4748 9TH AVE NE	901 NE 50TH ST
PARCEL #	53352-0005	533520-0020	533520-0255	533520-0265
AREA	6,789 SF	3,394 SF	4,526 SF	6,788 SF
ZONE	SM-U 75-240 (M1)	SM-U 75-240 (M1)	LR2 (M)	LR2 (M)
TOTAL SITE AREA	21,497 SF			

CODE REQUIREMENTS THAT APPLY TO SM-U 75-240 (M1) ZONE (LOT A, B)

USES SMC 23.48.005	Residential, Office, Sales & Services, Eating & Drinking Establishments Proposal complies with the allowable uses.
FAR SMC 23.48.620	Highrise FAR: 10 10,183 sf (lot A, B) x10 = 101,830 sf Proposal complies with 10 maximum FAR calculations.
EXTRA FAR SMC 23.48.622	a. Achieve 65 percent of the extra floor area on the lot by using bonus residential floor area for affordable housing pursuant to Section 23.58A.014. b. Achieve 35 percent of the extra floor area by providing open space amenities according to Sections 23.48.624 and 23.58A.040. Proposal complies with extra FAR by providing: 65% of the extra FAR through the Payment method for affordable housing and 35% of the extra FAR through publicly accessible neighborhood open space that is minimum of 3,000 SF and minimum horizontal dimension that is 10'.
STRUCTURE HT SMC 23.48.615	Highrise: 240' Proposal complies with the height limit of 240'
REQUIRED STREET LEVEL SETBACK SMC 23.48.640.A	NE 50th St 5' min. required setback from street lot line 7' average for street-level, street-facing residential or live-work units Proposal complies with the required street level setback
SIDE SETBACKS 23.48.645.B	Setback from side lot line that is not a street or alley lot line Structure exceeding 75' 0-45' = 7' Avg / 5' Min > 45' = 15' Setback Proposal complies with side lot line setbacks requirement.
AMENITY AREA 23.48.045	Amenity area equivalent to 5% of the total GFA in residential use shall be provided as amenity area. A maximum of 50 percent of the required amenity area may be enclosed. Proposal complies with amenity area requirements.

CODE REQUIREMENTS THAT APPLY TO ALL ZONES

PARKING SMC 23.54.015	No minimum parking requirement for residential and non-residential uses within urban centers. The site is located in University District Urban Center, therefore parking is not required.		
BICYCLE PARKING SMC 23.54.015	Multi-family: Long term 1 per dwelling unit		Short term 1 per 20 dwelling unit Proposal complies with bicycle parking requirements.
MANDATORY HOUSING AFFORDABILITY SMC 23.58C.040	MHA designation 'Medium'	Zone SM-U 75-240 (M1) LR2 (M)	Payment Method per current fee schedule per current fee schedule Proposal will comply with MHA requirements through Payment method.
SOLID WASTE SMC 23.54.040	Residential:	575 SF + 4SF for each unit above 100	(may be reduced by 15%) Commercial: 82 square feet for 0-5,000 SF commercial (may be reduced by 15%) Proposal complies with 895 SF solid waste requirement.

CODE REQUIREMENTS THAT APPLY TO LR2(M) ZONE (LOTS C & D)

PERMITTED USES	Residential
FLOOR AREA RATIO (23.45.510)	(LR2(M1)): 1.6 (max) 1.6 x 11,314 SF (lot area) = 18,102 SF Proposal complies with 1.6 maximum FAR calculations for the rezone, which requires 35% of lot area for amenity (see below for additional requirements).
STRUCTURE HT (23.45.514)	Height limit LR2(M): 40' Proposal complies with rezone height limit of 40'
SETBACKS (23.45.518) (23.45.518.A.2.a) per the PAR	Front: 5' min Rear: 10' min with alley, 15' min w/ no alley Side: 5' for façade <40' length, 7' average (5' minimum) for façade >40' length Street: 4' Setback on NE 50th Street + 3' Setback at LR portion. Proposal complies with setback restrictions.
AMENITY AREA (23.45.522 & 23.45.510)	Outdoor amenity area must equal 35% of lot area. Width and depth not less than 20' and be located at ground level, within 4' of finished grade or provided on the roof of a structure. Proposal complies with outdoor amenity area requirements.
STRUCTURE WIDTH (23.45.527)	Maximum structure width = 90'; Maximum combined width of all portions of the facades within 15' of a lot line (excluding rear and street) shall not exceed 65% of the length of that lot line. Proposal complies with structure width requirements.

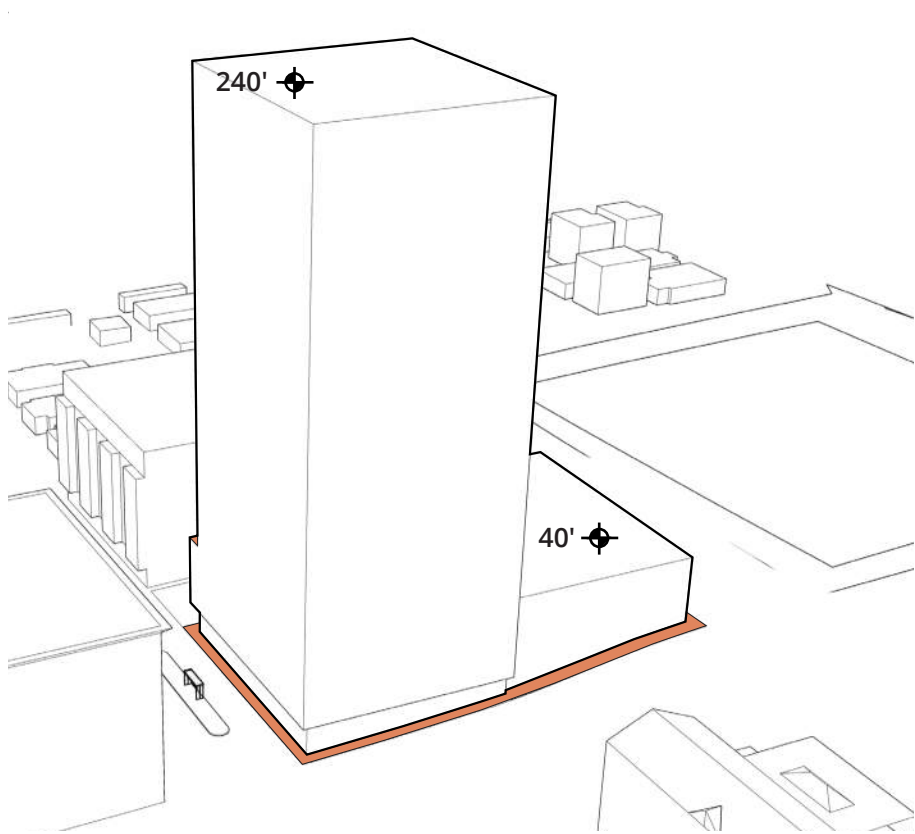
ALLOWABLE MASSING ENVELOPE (6.0)

SM-U 75-240 (M1) ZONE | LOT A & B

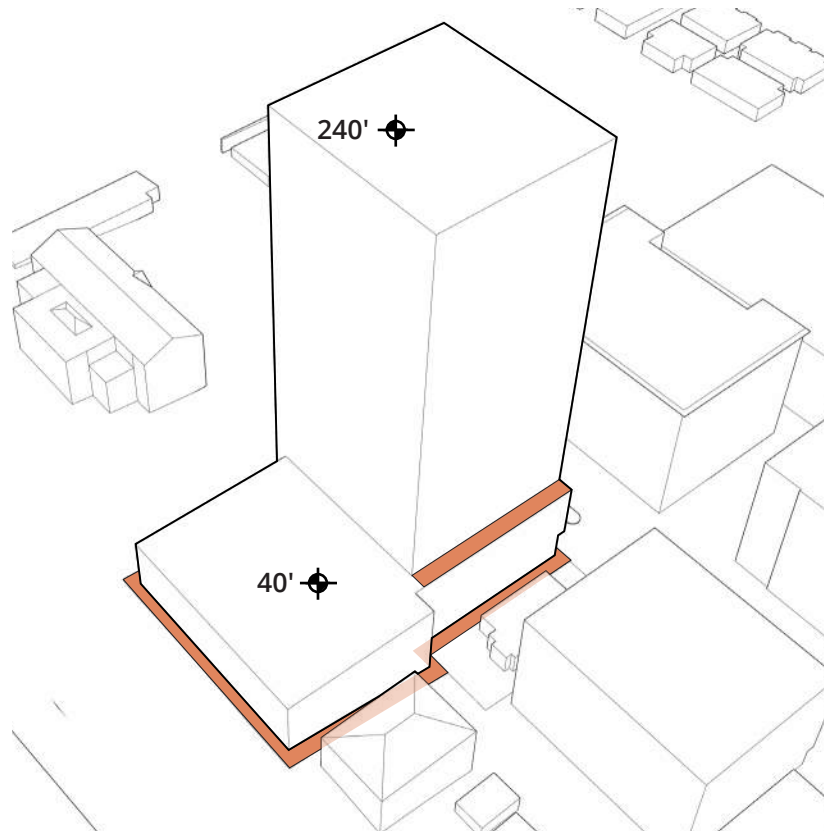
STRUCTURE HT SMC 23.48.615	Highrise: 240'
REQUIRED STREET LEVEL SETBACK SMC 23.48.640.A	NE 50th St 5' min.required setback from street lot line 7' average for street-level, street-facing residential or live-work units
SIDE SETBACKS 23.48.645.B	Setback from side lot line that is not a street or alley lot line Structure exceeding 75' 0-45' + 7' Avg / 5' Min > 45' = 15' Setback

LR (M) ZONE | LOT C & D

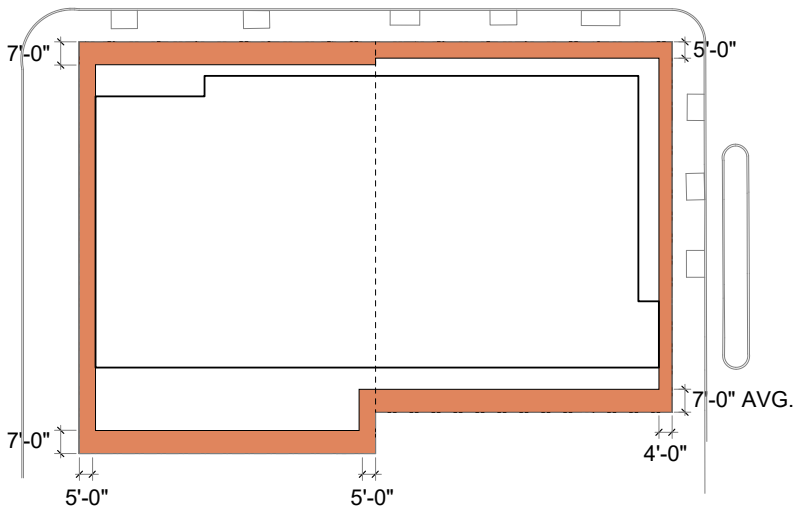
STRUCTURE HT (23.45.514)	LR2(M): 40'
SETBACKS (23.45.518) (23.45.518.A.2.a) per the PAR	Front: 5' min Rear: 10' min with alley, 15' min w/ no alley Side: 5' for façade < 40' length, 7' average (5' minimum) for façade > 40' length Street: 4' Setback on NE 50th Street + 3' Setback at LR portion.



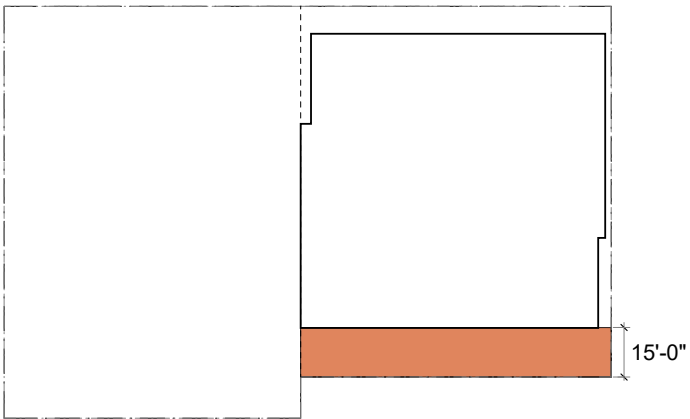
ZONING ENVELOPE - NE CORNER



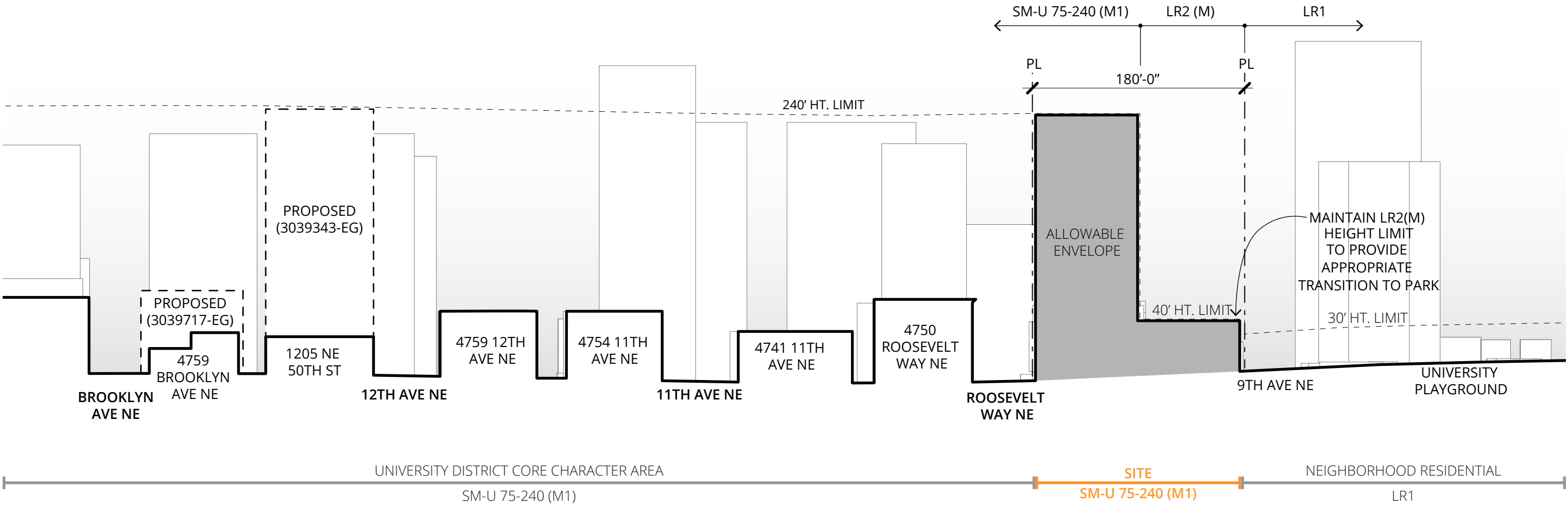
ZONING ENVELOPE - SW CORNER



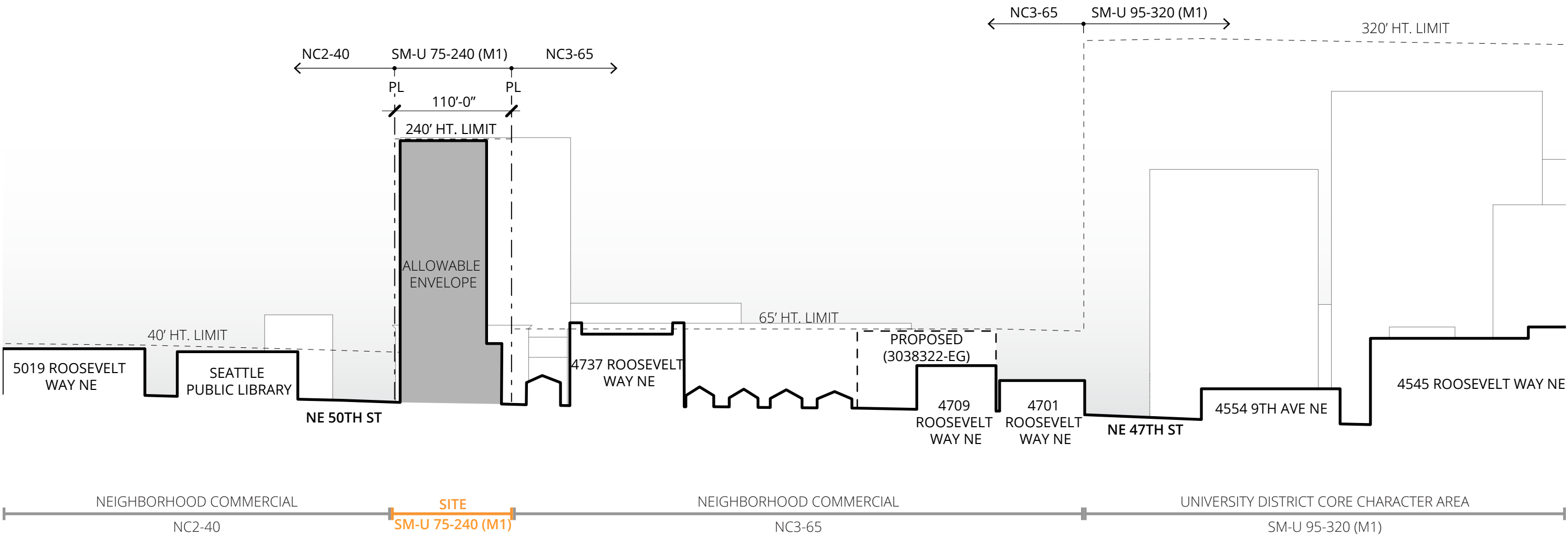
SETBACKS BELOW 45'



SETBACKS ABOVE 45'



NE 50TH STREET | EAST-WEST SITE SECTION



DESIGN GUIDELINES (7.0)

URBAN PATTERN & FORM
CS2.3A.1-2 & CS2.3B.1

GATEWAYS & PLACE MAKING CORNERS
a. Gateways are significant “entry” points in the U District Neighborhood.
1. Express a sense of arrival to a distinct area with distinctive forms, prominent massing, unique design concepts, and the highest attention to design quality.
2. Create pedestrian accommodating entries with wider sidewalks, significant landscaping features, public plazas, active uses, and art.
b. Place making Corners are key nodes and pedestrian activity areas within the U District Neighborhood
The site is located at a visually prominent 'entry' to the U District. The corner of Roosevelt Way NE and NE 50th Street has been designed as a place making corner. In the preferred scheme, the base turns into a colonnade and defines the primary entry is off the neighborhood open space/plaza.

CONTEXT AND SITE
URBAN PATTERN & FORM
CS2.1.E.1&2

1. CHARACTER AREAS & CORRIDOR CHARACTER AREAS
1. Reflect historic platting patterns by articulating and/or modulating buildings and design styles at 20-40 foot intervals.
2. Use upper-level step-backs that respond to predominant and historic datums in context.
The preferred scheme responds to historic platting and neighborhood datums at the base and horizontal gasket.

DESIGN CONCEPT
ARCHITECTURAL CONCEPT
DC2.6.D,J,

6. TALL BUILDINGS
d. Intermediate Scales: To mediate the extra height/scale, add legible, multi-story intermediate scale elements: floor groupings, gaskets, off sets, projections, sky terraces, layering, or other legible modulations to the middle of tall forms. Avoid a single repeated extrusion from building base to top.
The preferred scheme provides a base, middle(gasket) that responds to the LR datum, off set modulation at the tower.
j. Transition to the Sky & Skyline Composition: Create an intentional, designed terminus to the tall form and enhance the skyline (not a simple flat ‘cut-off’). Integrate all rooftop elements and uses into the overall design, including mechanical screens, maintenance equipment, amenity spaces and lighting.
All massing options provide floor groupings, gaskets and/or modulation at the middle of the tall form. Each option provides an unique terminus at the skyline.

GATEWAY & PLACEMAKING

CHARACTER CORE

TALL BUILDINGS



FLOOR GROUPING/STRUCTURAL
ARTICULATION



GASKET



PLACE MAKING CORNER TRANSPARENCY



GROUND FORM/HISTORIC PLATTING/GASKET



STREET ROOM/EXPOSED STRUCTURE

DESIGN GUIDELINES (7.0)

DESIGN CONCEPT
ARCHITECTURAL CONCEPT
DC2.1.C

DESIGN CONCEPT
ARCHITECTURAL CONCEPT
DC2.6.F

CONTEXT AND SITE
URBAN PATTERN & FORM
CS2.2.B

CONTEXT AND SITE
URBAN PATTERN & FORM
CS2.2.C

DESIGN CONCEPT
OPEN SPACE CONCEPT
DC3.1.A

STREET LEVEL OPEN SPACE
DC3.3.A

PUBLIC LIFE
ACTIVE TRANSPORTATION
PL4.2.B

1. Massing & Reducing Bulk and Scale
c. Design the building base to create a **solid and “grounded” form that transitions to a human-scale at the street.** The height of the base/podium should be substantial enough to “anchor” the upper massing.
f. Adjusted Base Scale: To mediate the form’s added height, design a 1-3 story base scale, and/or **highly legible base demarcation** to transition to the ground and mark the ‘street room’ proportion.
The preferred scheme has a defined base with a colonnade at the placemaking corner that provides a porous edge. The horizontal gasket provides relief between the base and tower.

b. Provide zone transitions: When a site abuts a zone with height limit two stories shorter than the project site, provide upper-level setbacks that **create a sensitive transition to the less intensive zone.**
The site is located in a split zone and incorporates stepped massing to transition to the adjacent less intensive zones. The preferred scheme shifts the highest portion of the tower to the NE corner away from the LR.

c. Activate parks & open space: Development adjacent to open space and parks, activate the building edges. Design adjacent projects to act as a deferential backdrop, that help frame the open space, **complement the function of the open space, and create an “outdoor room.”**
1. Open Space Organization & Site Layout
a. Design open space to be an organizing element and foster permeability. Arrange buildings on site to consolidate open space areas into designed.
3.3.a. Design open spaces at street-level to be welcoming, “front porch”.
The schemes provide Neighborhood Open Space as a connector between University Park down to Roosevelt. The preferred scheme provides relief at the NW corner, similar to the park's corner/entry plaza. In addition, the ground floor residential entries oriented toward University Playground are setback with a ‘front porch’.

b. Integrate waiting areas for transit and vehicle pick-up into the building design, rather than adjacent to the street, where possible and with approval of agencies. Include shelters, large canopies, lean bars, and benches.
Neighborhood Open Space and porous building edge are provided relief at the congested transit stop and bike lanes adjacent to Roosevelt.

BASE & STREETSCAPE

TRANSITION

ZONE

CONNECTIVITY & OPEN SPACE

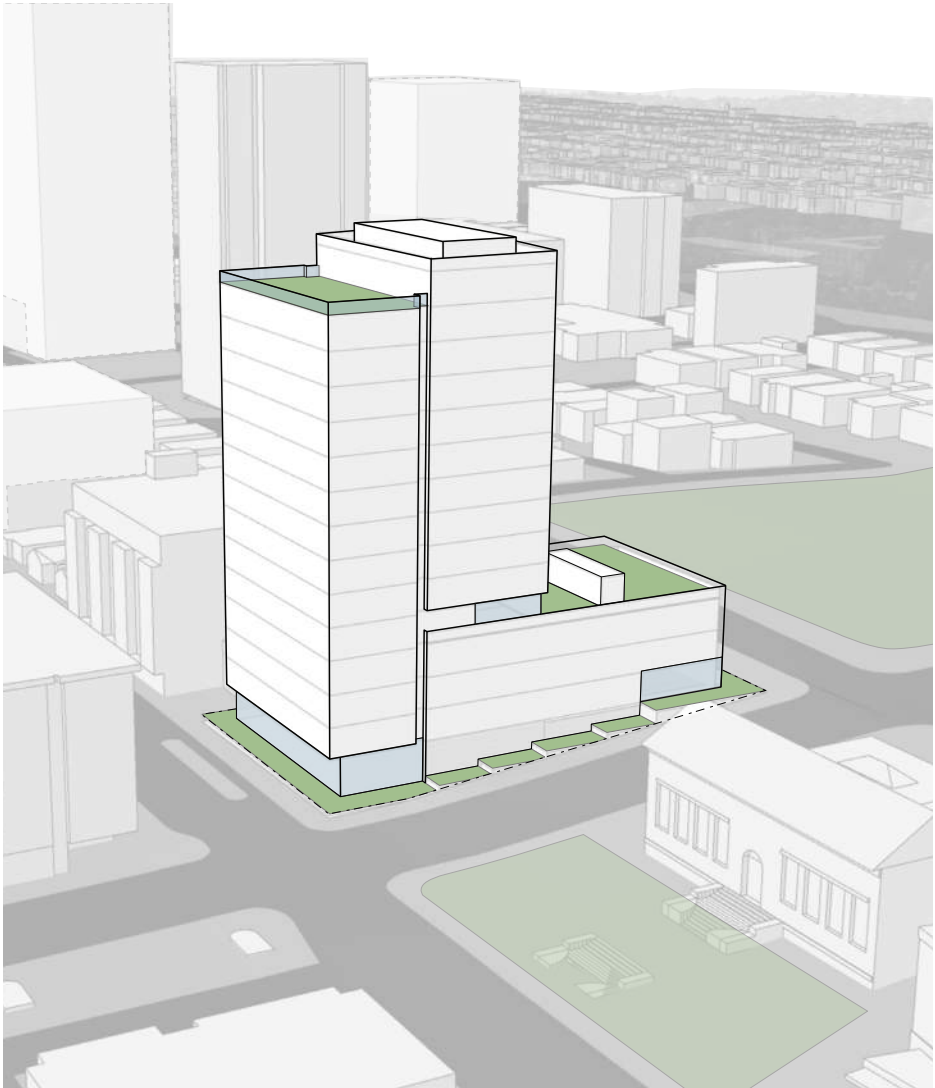


ARCHITECTURAL MASSING CONCEPTS (8.3)



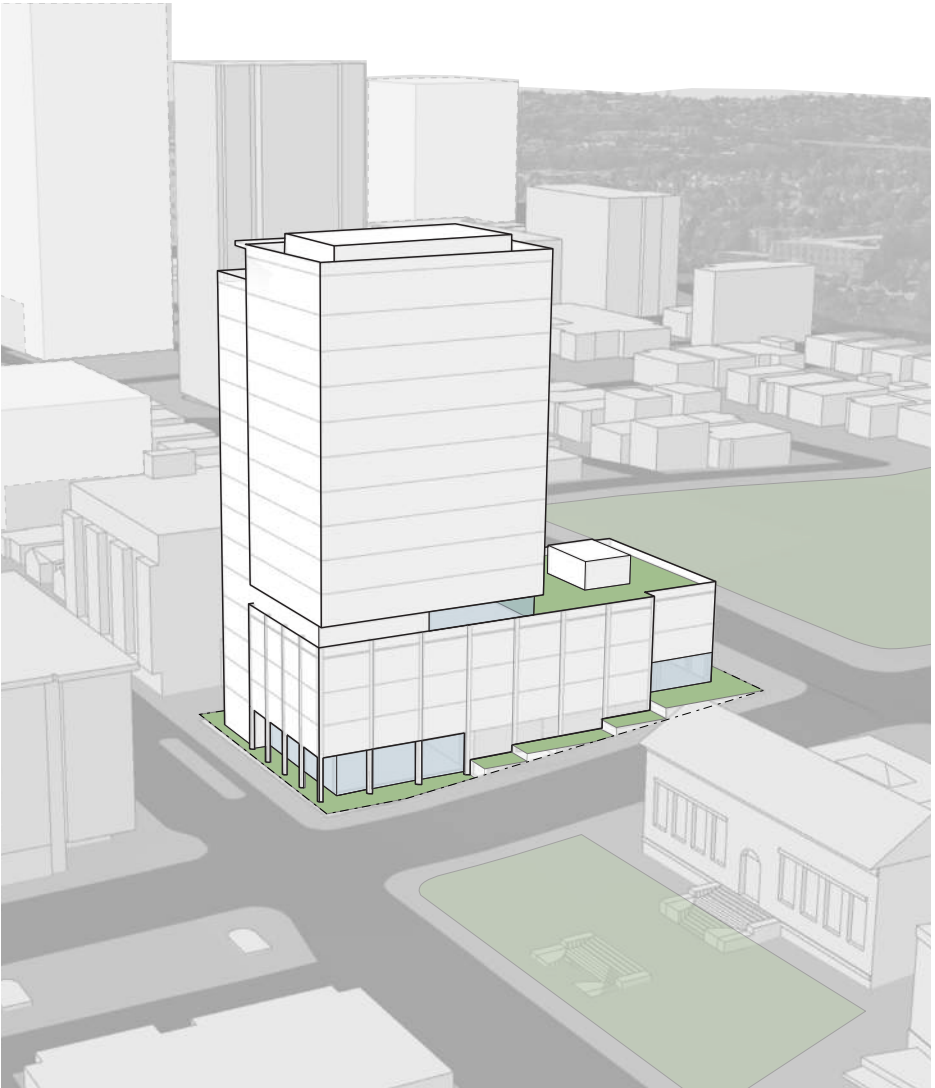
ALTERNATIVE A 'GRID'

BUILDING AREA:	GROSS BUILDING AREA: 127,425 SF
STORIES:	15
UNITS:	180 UNITS
PARKING STALLS:	90 STALLS
DEPARTURES:	NONE



ALTERNATIVE B 'SHEAR'

BUILDING AREA:	GROSS BUILDING AREA: 127,148 SF
STORIES:	15
UNITS:	180 UNITS
PARKING STALLS:	90 STALLS
DEPARTURES:	NONE



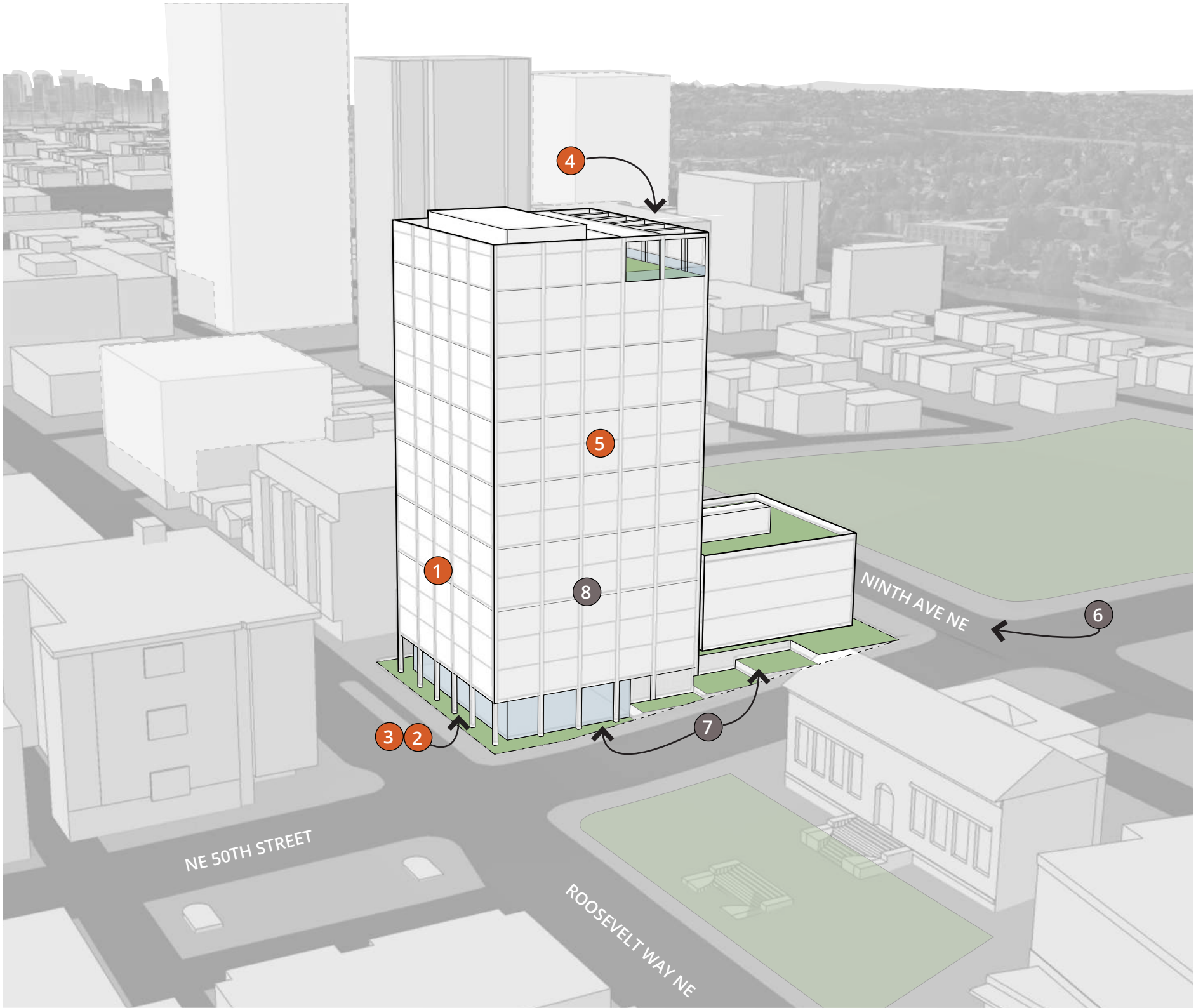
ALTERNATIVE C 'INTERLOCK' (PREFERRED)

BUILDING AREA:	GROSS BUILDING AREA: 128,421 SF
STORIES:	15
UNITS:	179 UNITS
PARKING STALLS:	90 STALLS
DEPARTURES:	NONE

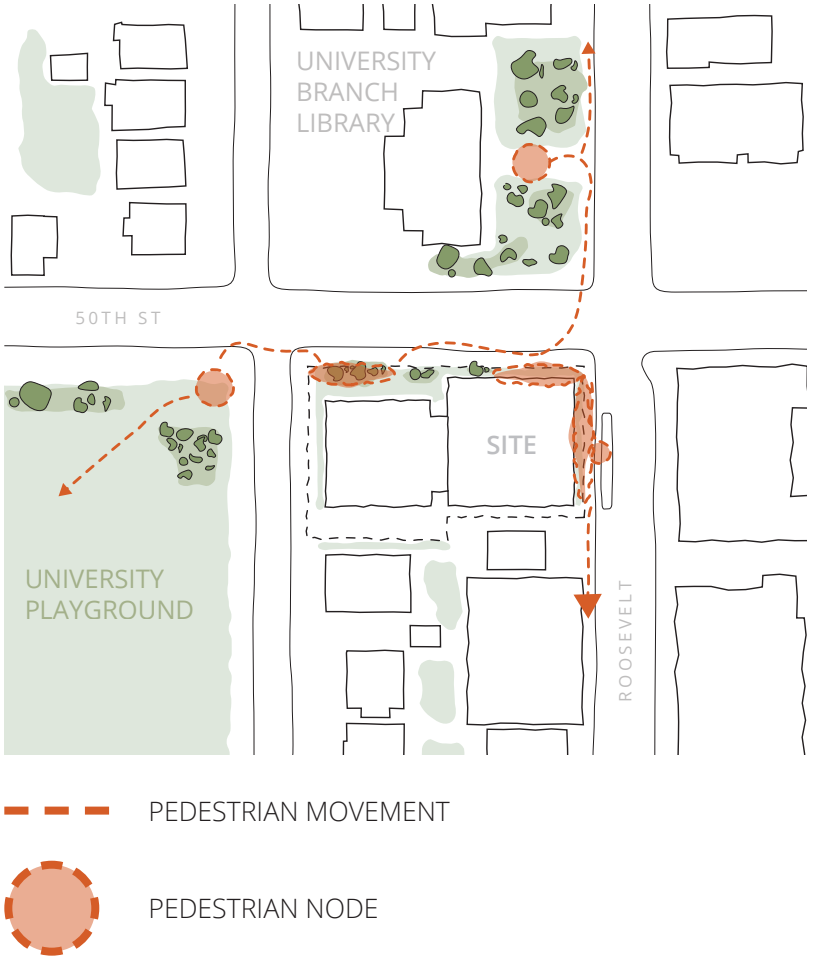
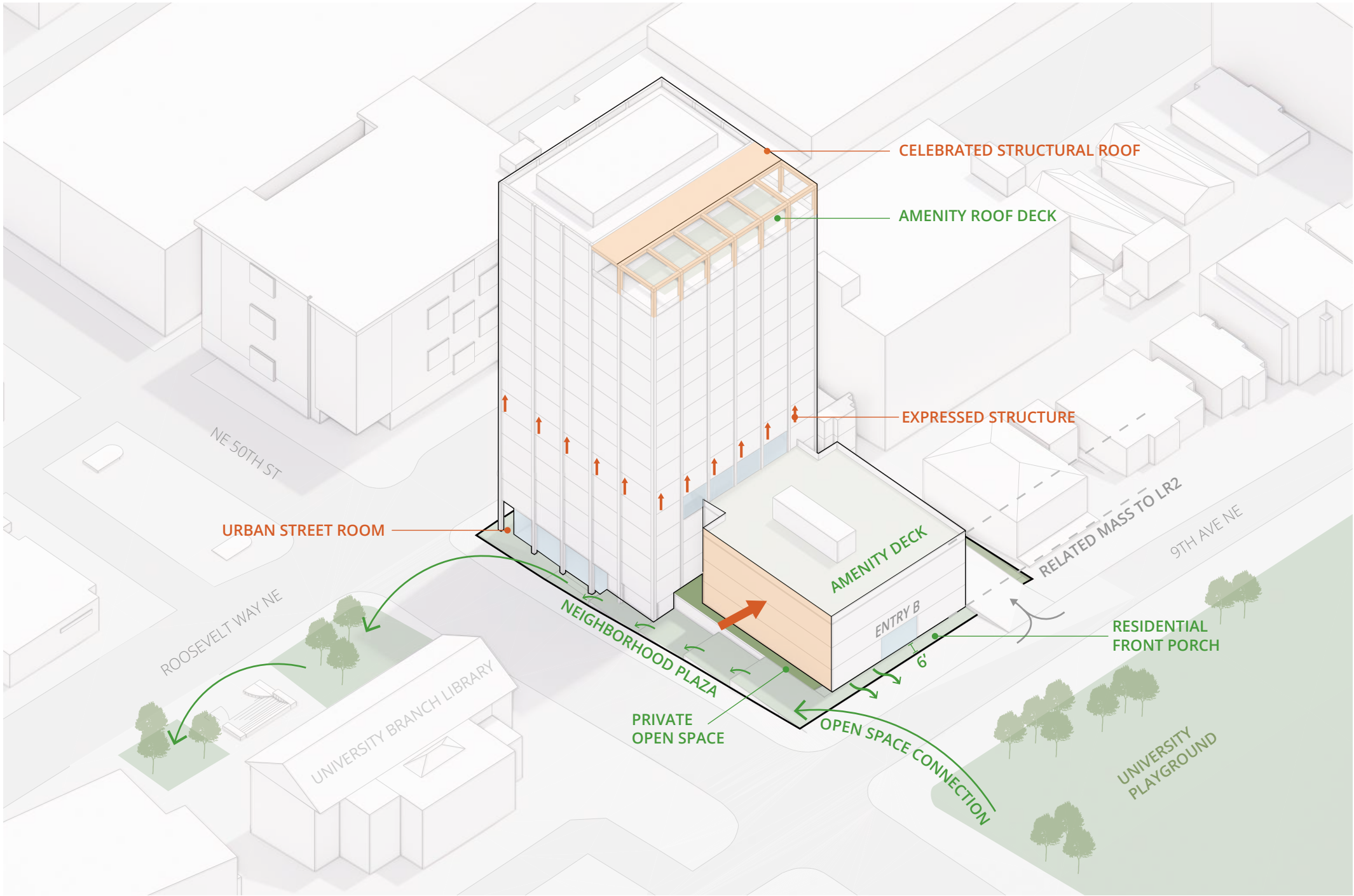
ALTERNATIVE A: MASSING

BUILDING AREA:	LR2(M) CHARGEABLE FAR: 18,092 SF SM-U 75-240 (M1) CHARGEABLE FAR: 101,070 SF
UNITS:	180 UNITS
PARKING STALLS:	90 STALLS
DEPARTURES:	NONE

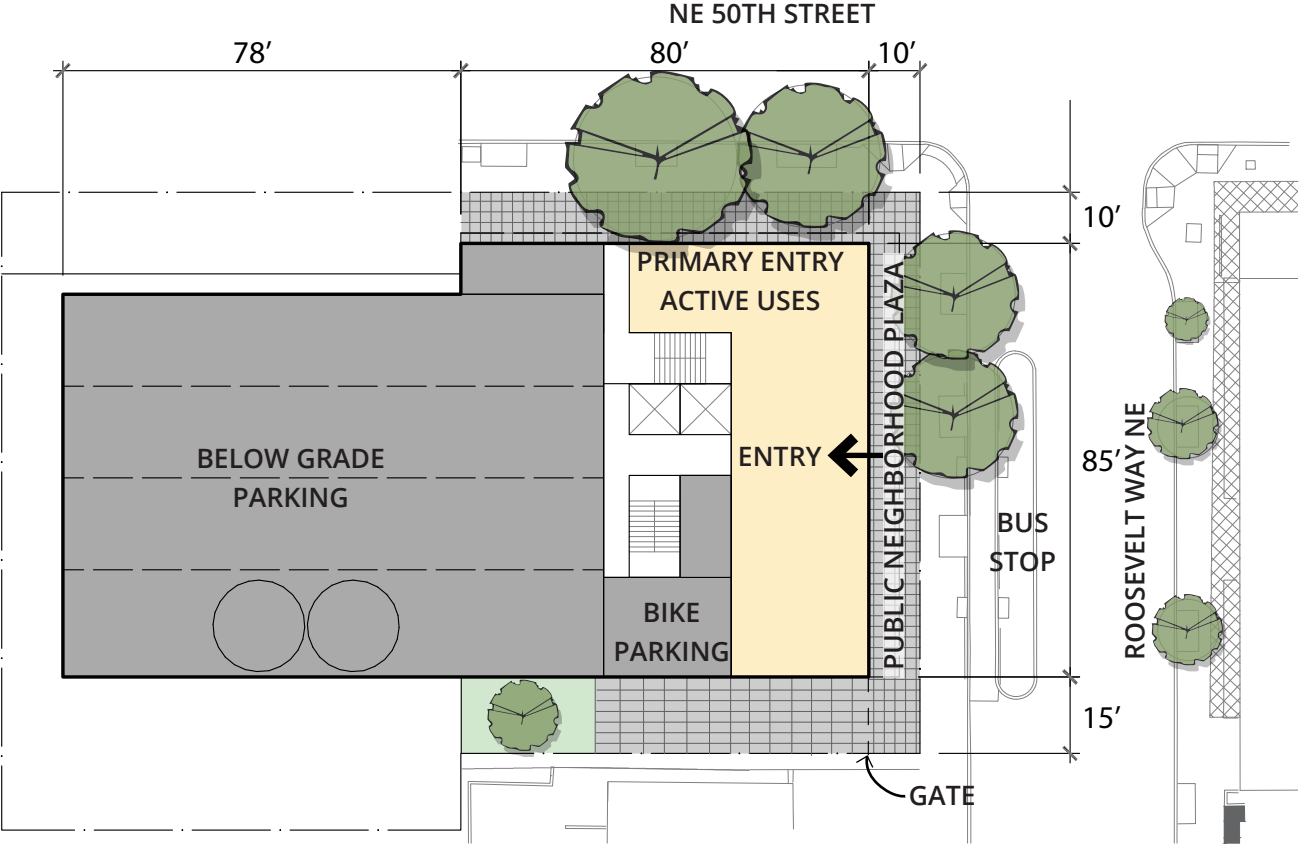
PROS	<div>1 CS2.1.E.1 Structural grid expression and historic platting patterns by articulating building design.</div> <div>2 DC2.1.C A “grounded” tower transitions to a human-scale at the street through a colonnade.</div> <div>3 DC2.6.F Tall ground floor with highly legible base demarcation transitions to the ground and marks the ‘street room’ proportion.</div> <div>4 DC2.6.J A continuation of the structural grid frames the terminus tat the tower to enhance the skyline.</div> <div>5 DC2.6.D Create multi-story intermediate scale elements through floor groupings.</div>
CONS	<div>6 CS2.3A.1 Least articulated modulation creates less significant “entry” point in the U District Neighborhood.</div> <div>7 CS2.2.C Linear public open space does not create heirarchy of open space.</div> <div>8 CS2.1E.2 Scheme does not provide upper-level step-backs to respond to predominant and historic datums in context.</div>



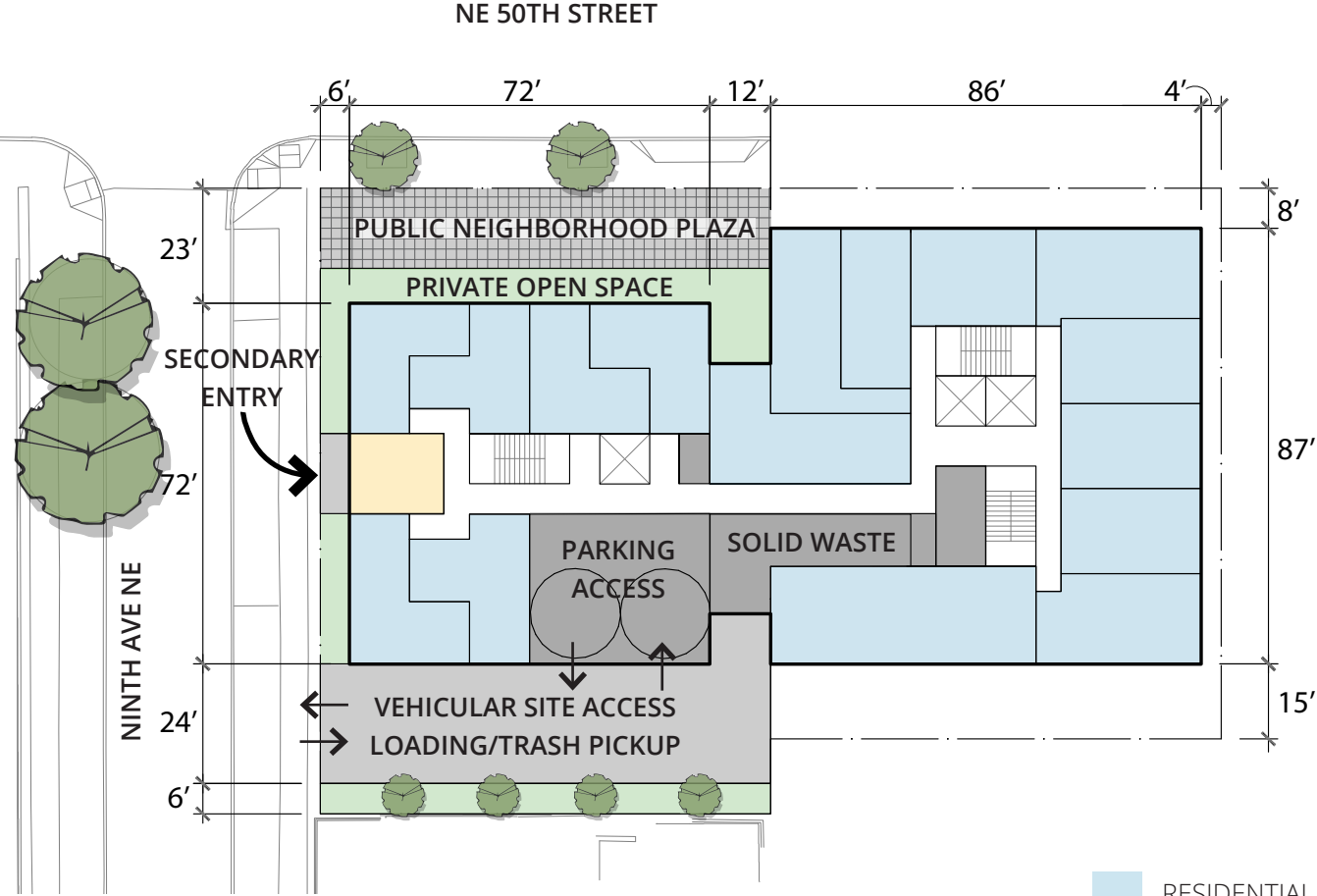
ALTERNATIVE A: MASSING ANALYSIS



ALTERNATIVE A: CONCEPTUAL PLANS (8.4)

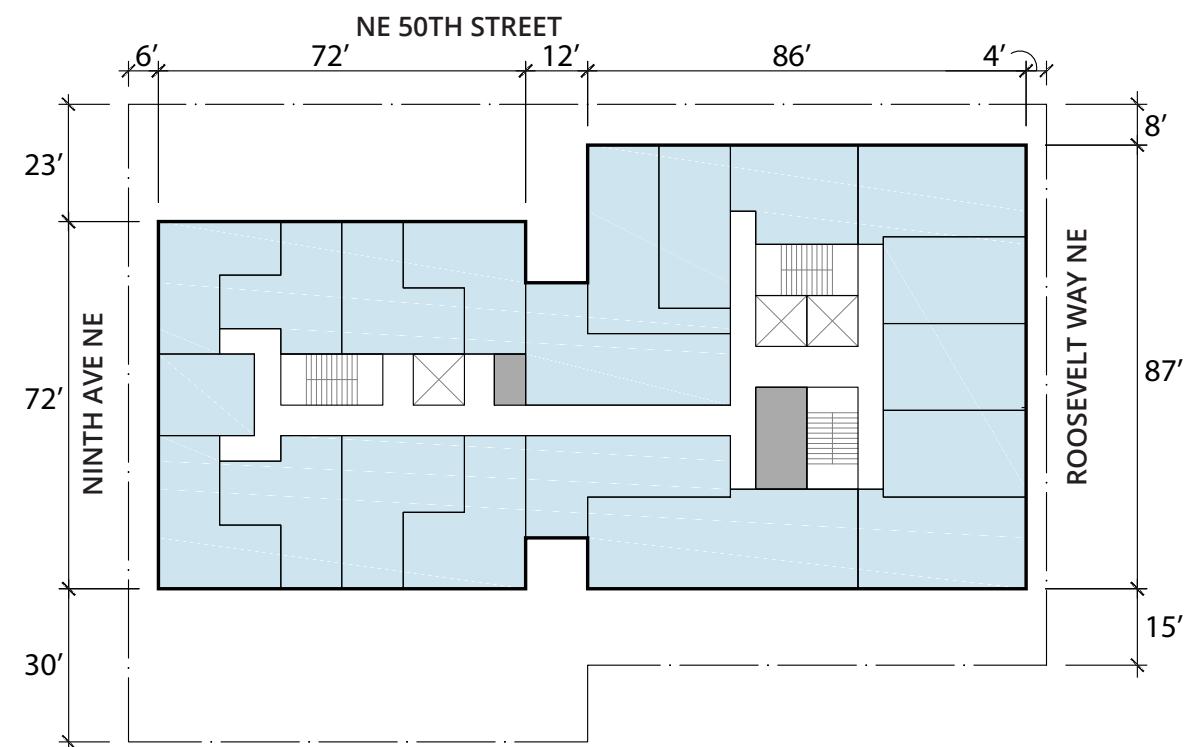


LEVEL 01 - ROOSEVELT WAY NE

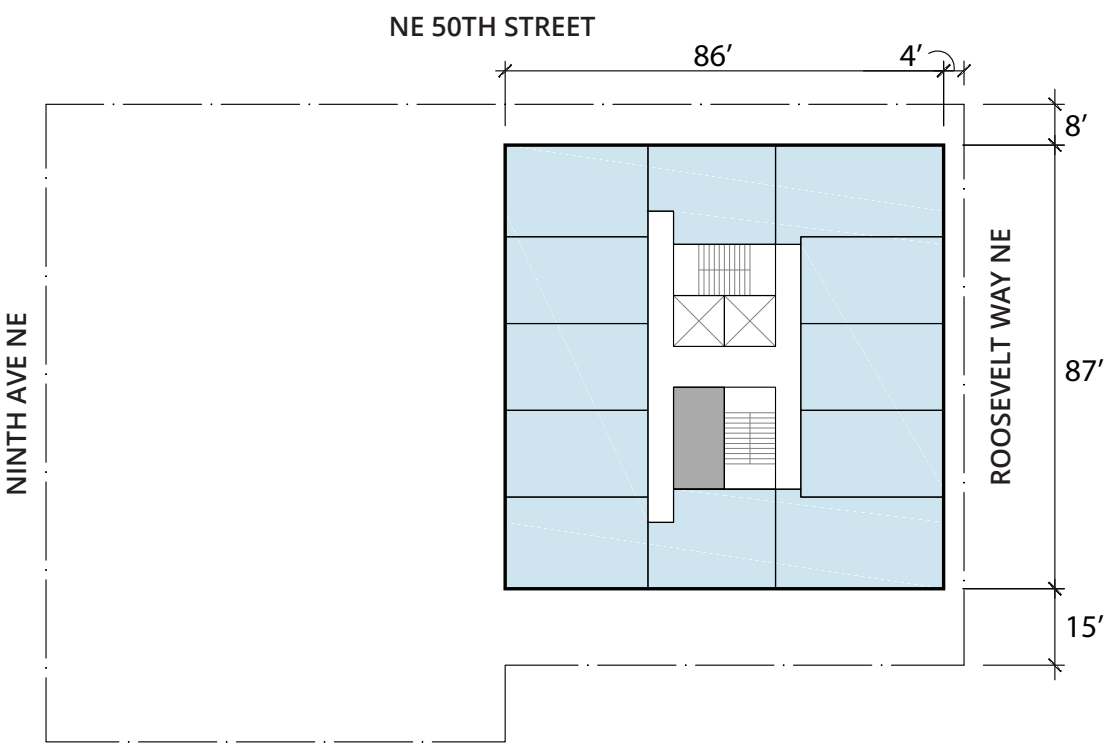


LEVEL 02 - NINTH AVE NE

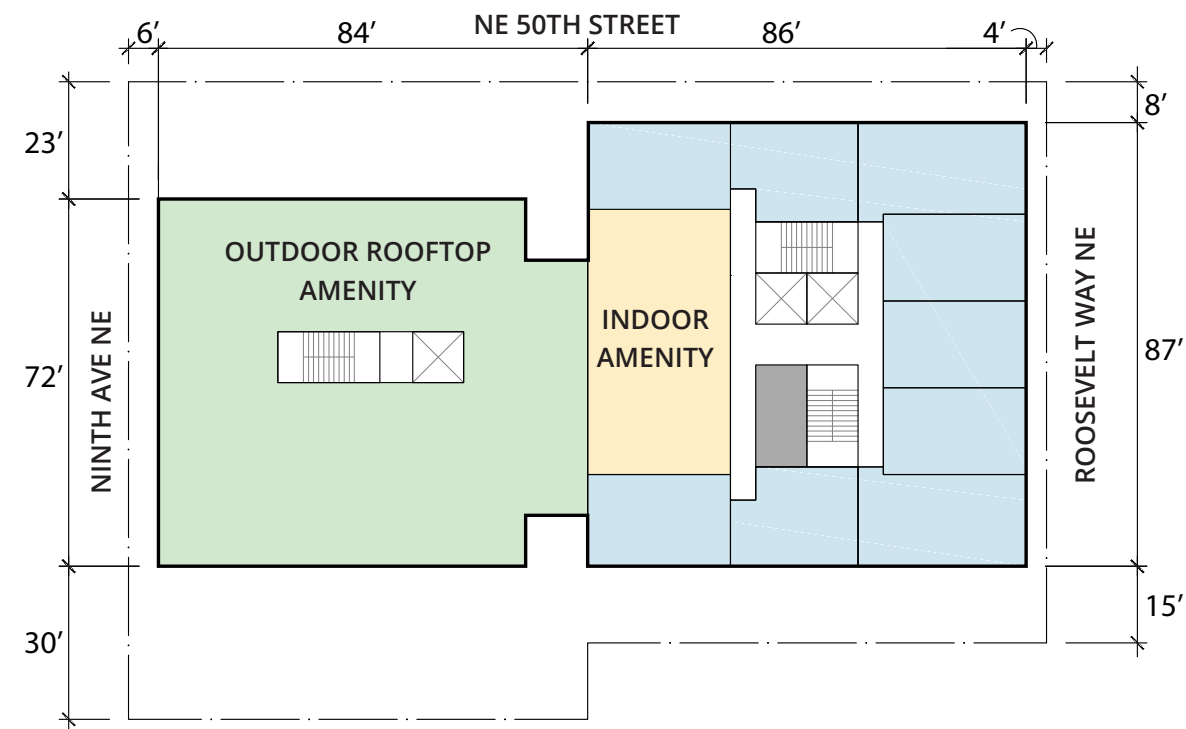
ALTERNATIVE A: CONCEPTUAL PLANS (8.4)



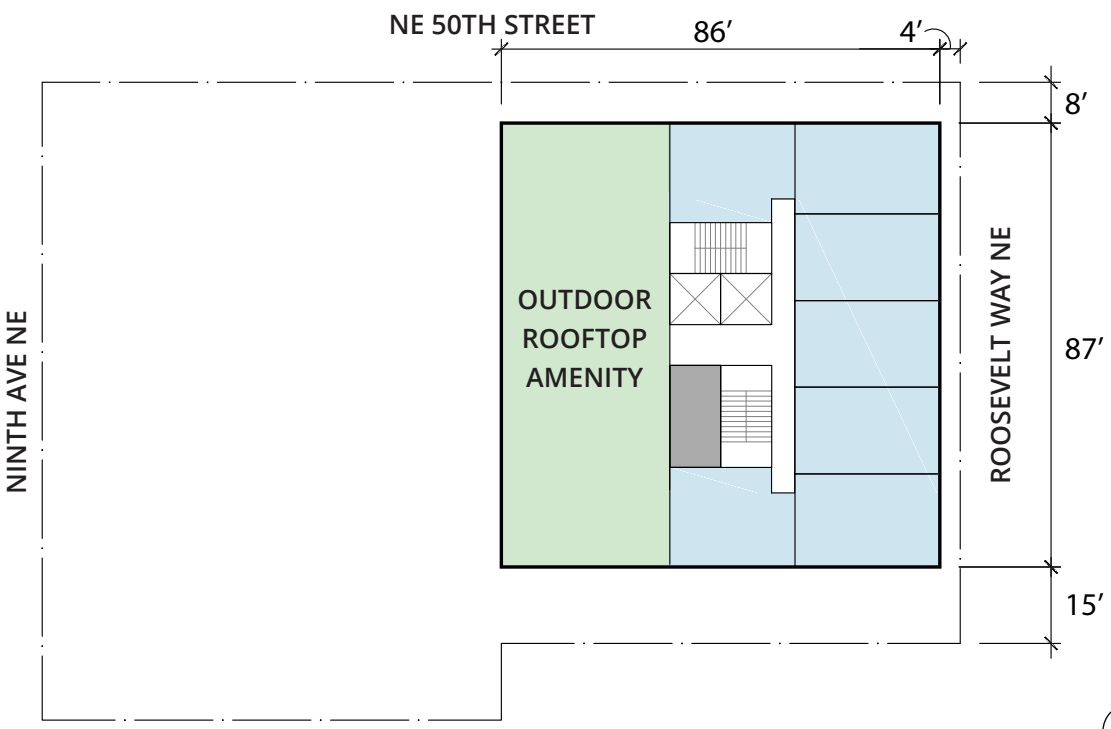
LEVEL 03 - LEVEL 04



LEVEL 06 - 14 TYPICAL



LEVEL 05

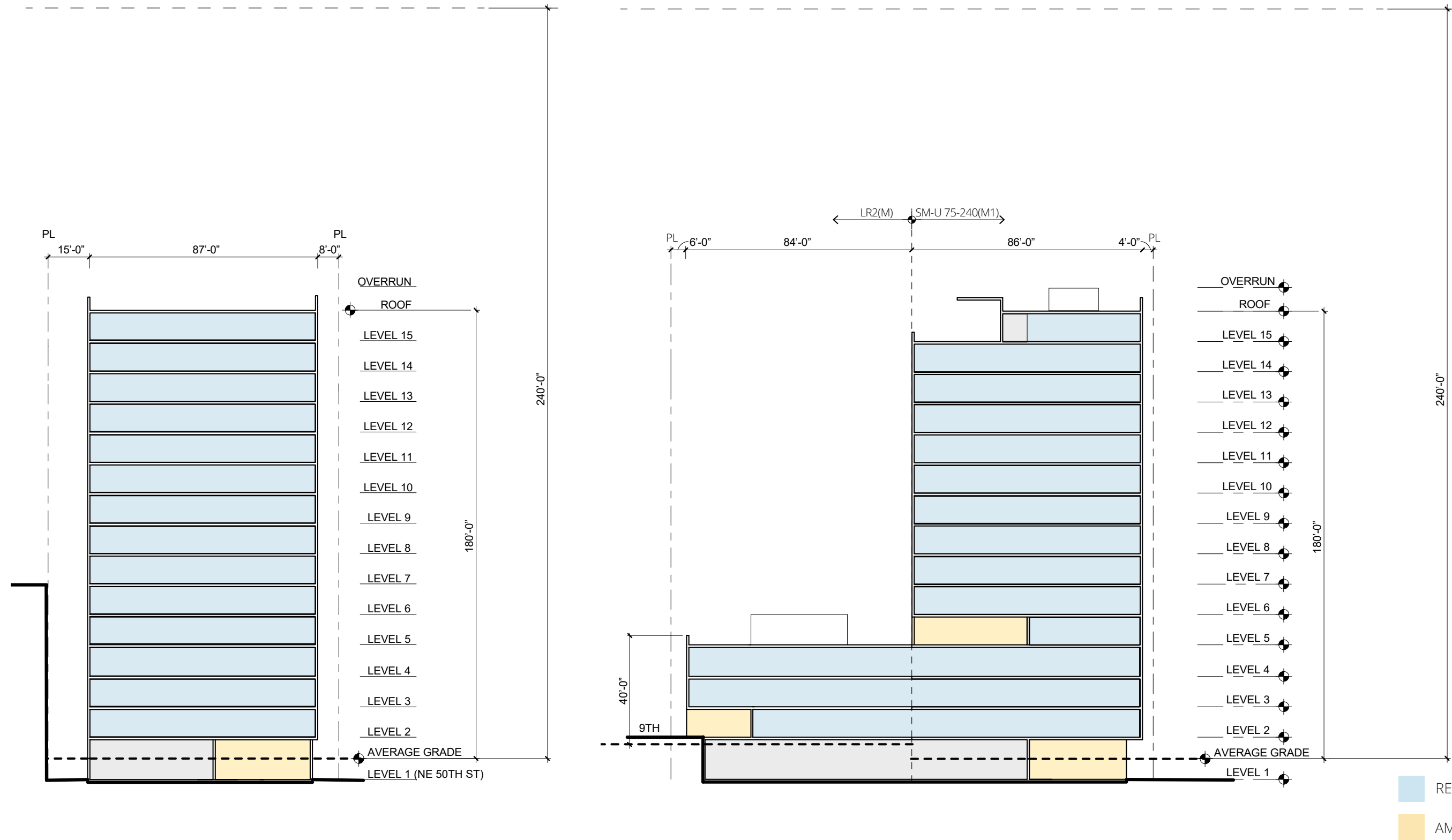


LEVEL 15

- RESIDENTIAL
- AMENITY
- OUTDOOR AMENITY
- OPEN SPACE
- PARKING



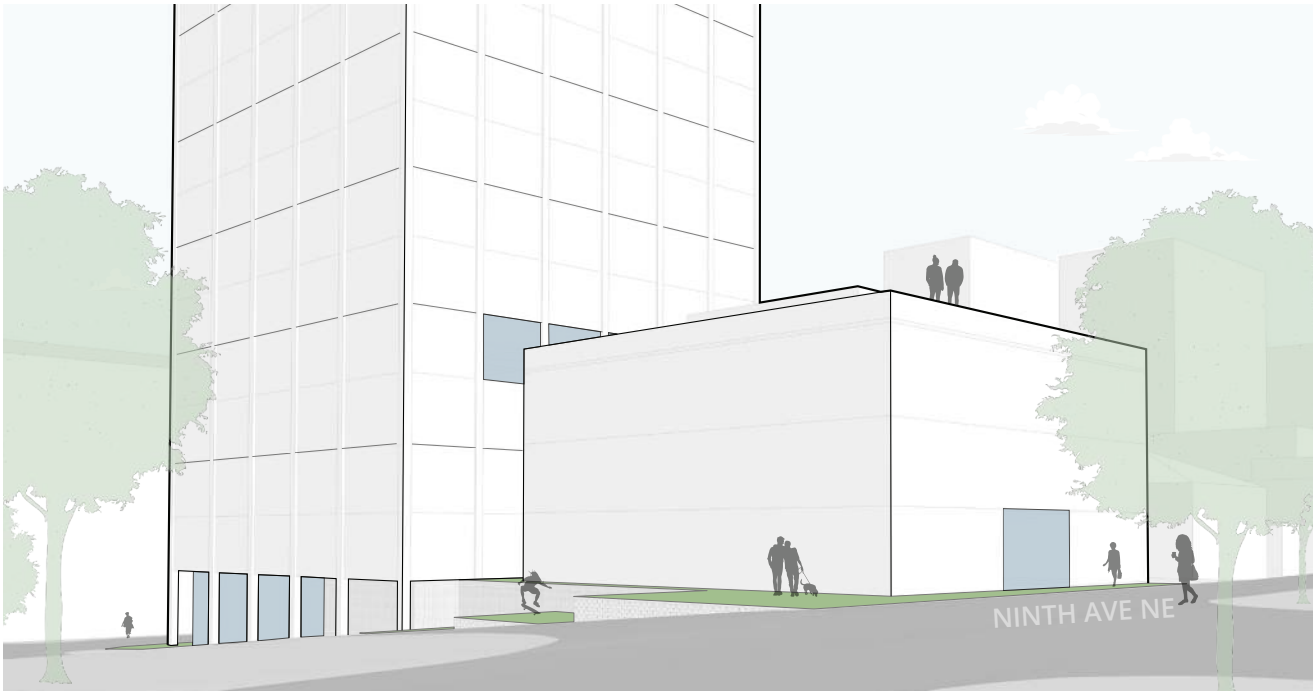
ALTERNATIVE A: SECTION (8.5)



ALTERNATIVE A: VIGNETTES - STREET LEVEL (8.6)



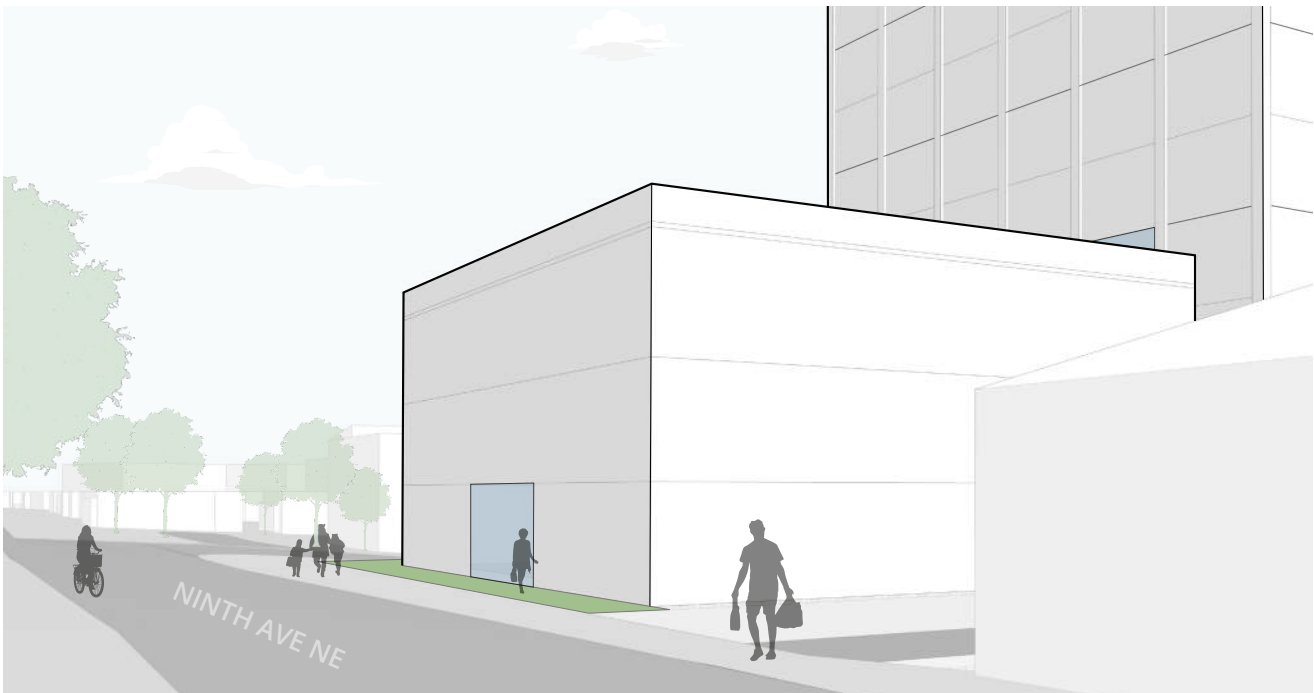
NORTHEAST CORNER



NORTHWEST CORNER



SOUTHEAST CORNER



SOUTHWEST CORNER

ALTERNATIVE A: VIGNETTES - IN NEIGHBORHOOD (8.6)



NE 50TH ST - LOOKING WEST



ROOSEVELT WAY NE - LOOKING NORTH



NE 50TH ST - LOOKING EAST

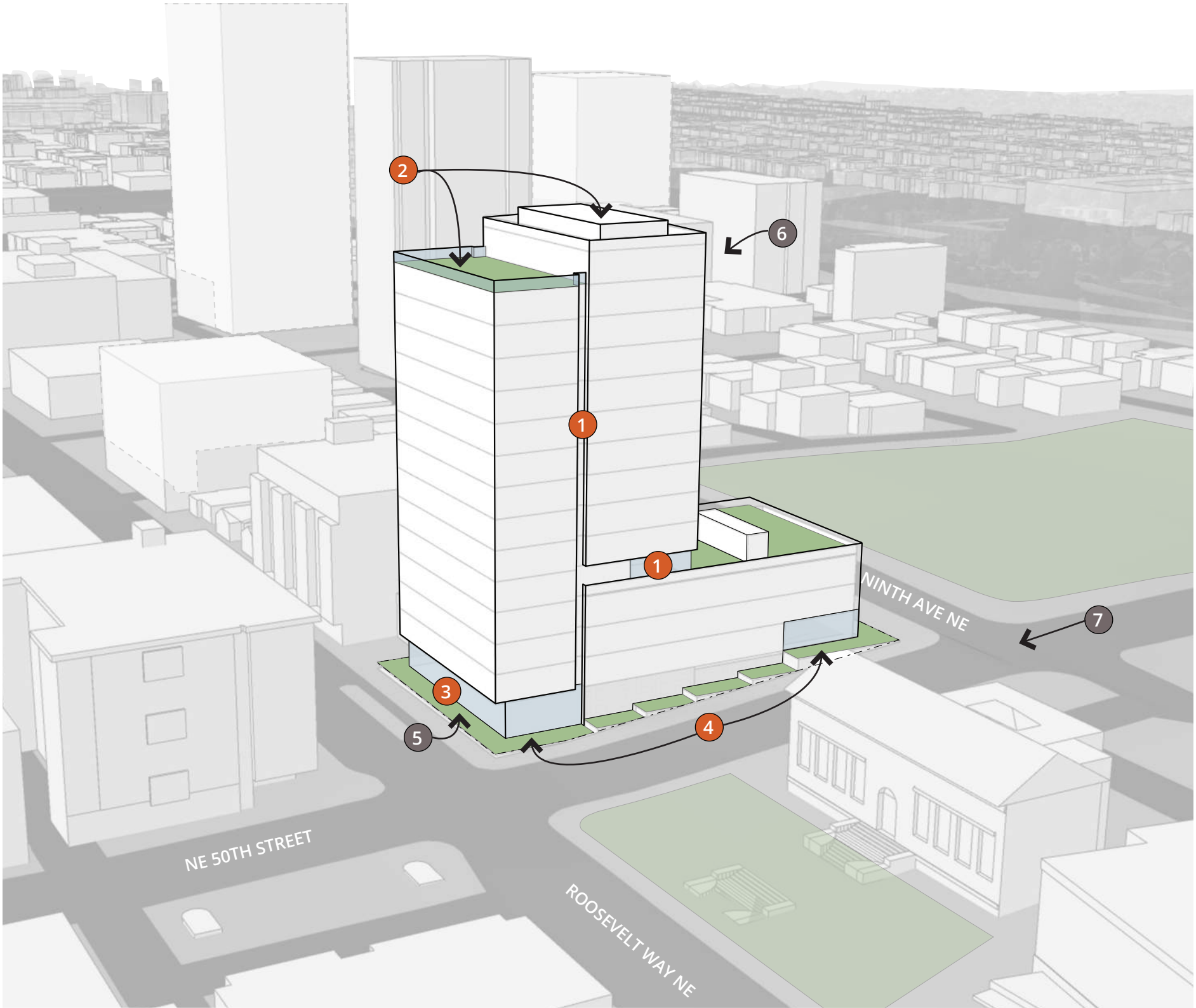


ROOSEVELT WAY NE - LOOKING SOUTH

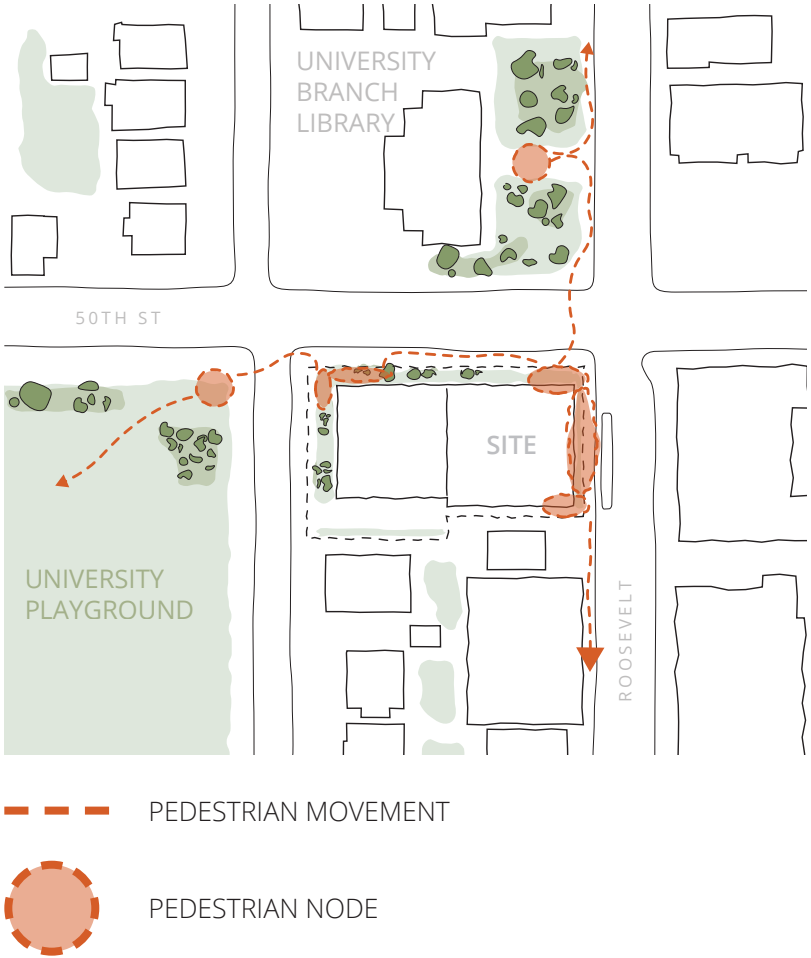
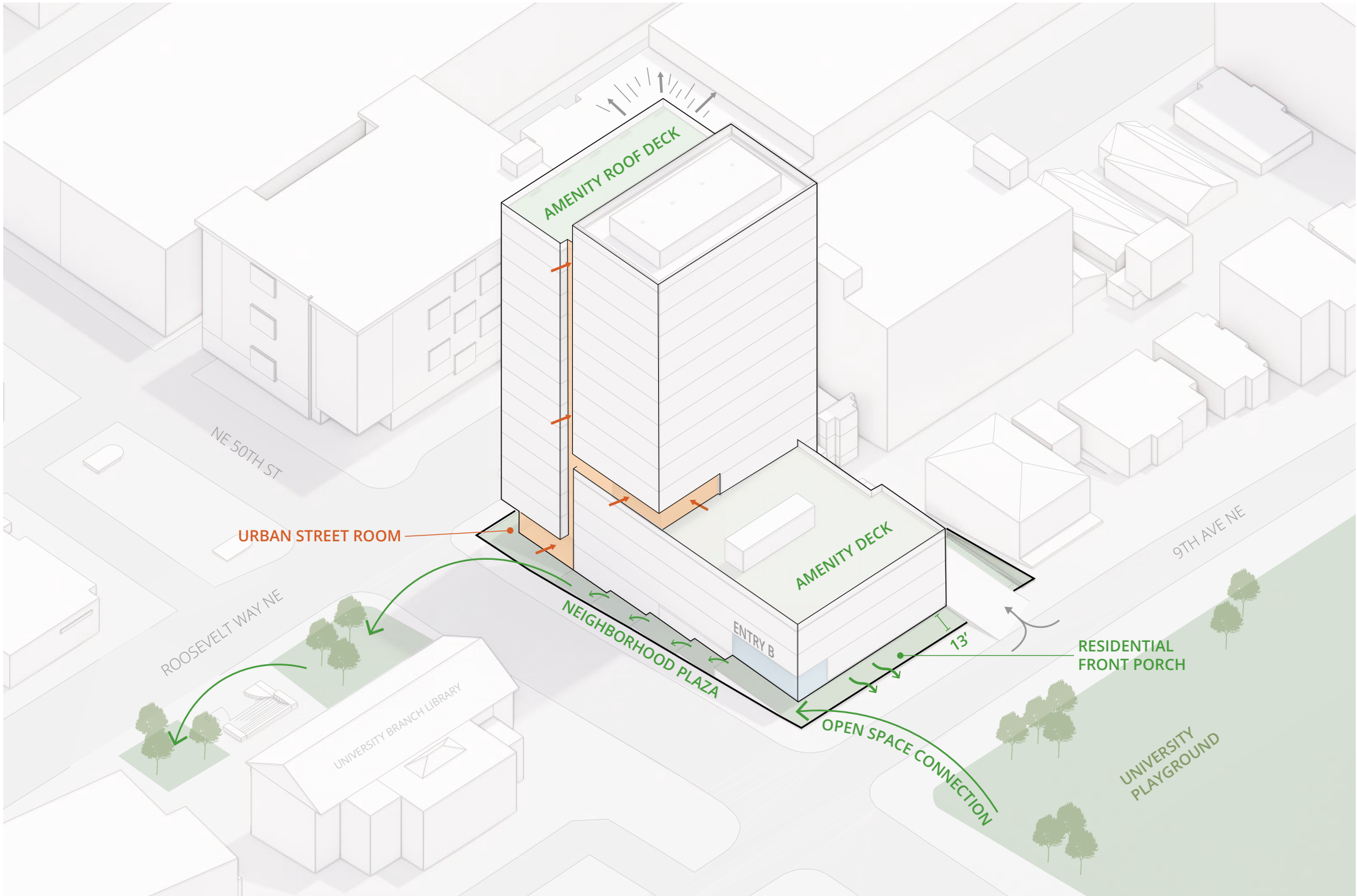
ALTERNATIVE B: MASSING

BUILDING AREA:	LR2(M) CHARGEABLE FAR: 18,512 SF SM-U 75-240 (M1) CHARGEABLE FAR: 100,407 SF
UNITS:	180 UNITS
PARKING STALLS:	90 STALLS
DEPARTURES:	NONE

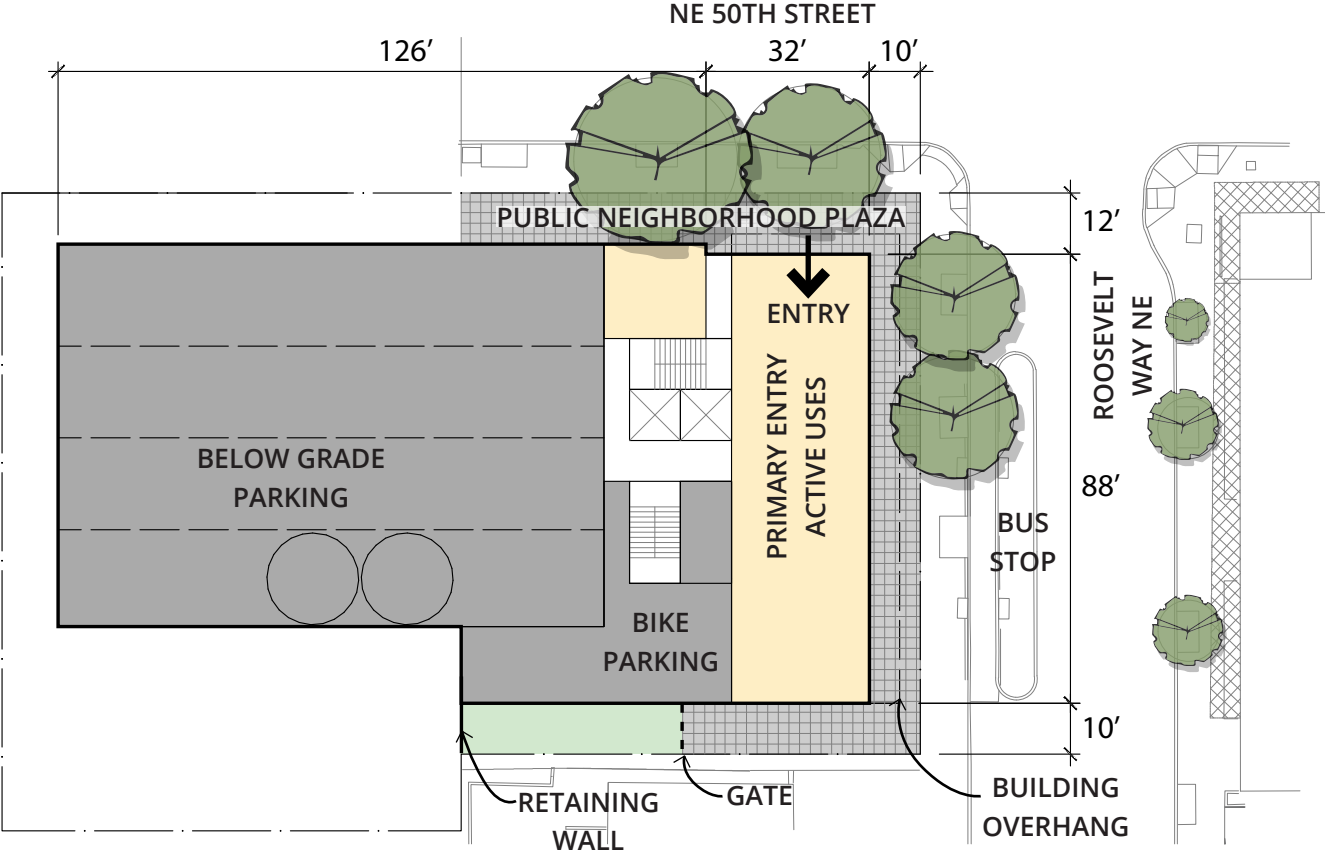
PROS	<div><div>1</div><div>DC2.6.D</div><div>Gaskets provides intermediate scale element.</div></div> <div><div>2</div><div>DC2.6.J</div><div>Major offsetting modulation creates a terminus to the tower. The taller portion of the tower integrates rooftop elements.</div></div> <div><div>3</div><div>DC2.6.F</div><div>Tall, transparent ground floor provides a base demarcation to transition to the ground and mark the 'street room' proportion.</div></div> <div><div>4</div><div>DC3.1.A</div><div>Heirarchy of open space responds to the massing and links adjacent open spaces.</div></div>
CONS	<div><div>5</div><div>DC2.1.C</div><div>Transparent base creates least solid and "grounded" form.</div></div> <div><div>6</div><div>CS2.2.B b.</div><div>Scheme provide most significant massing/bulk adjacent to the zone transitions.</div></div> <div><div>7</div><div>CS2.3A.1</div><div>Most monolithic/least iconic massing at the west facade that is most significant "entry" point in the U District Neighborhood.</div></div>



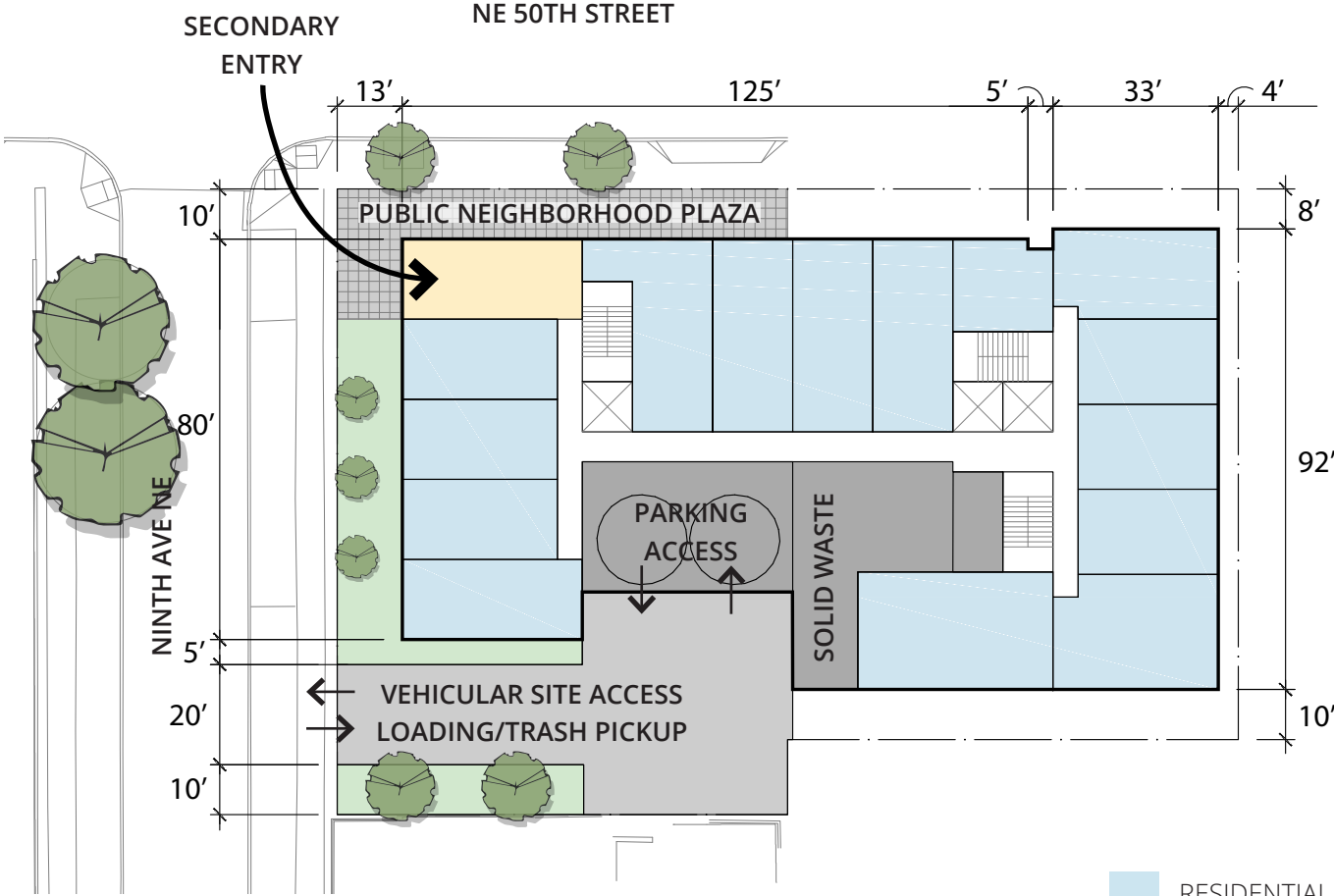
ALTERNATIVE B: MASSING ANALYSIS



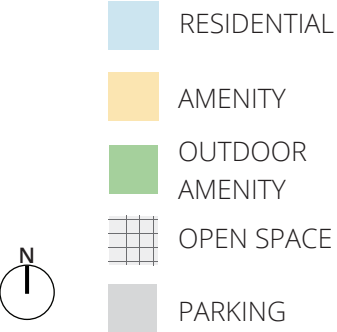
ALTERNATIVE B: CONCEPTUAL PLANS (8.4)



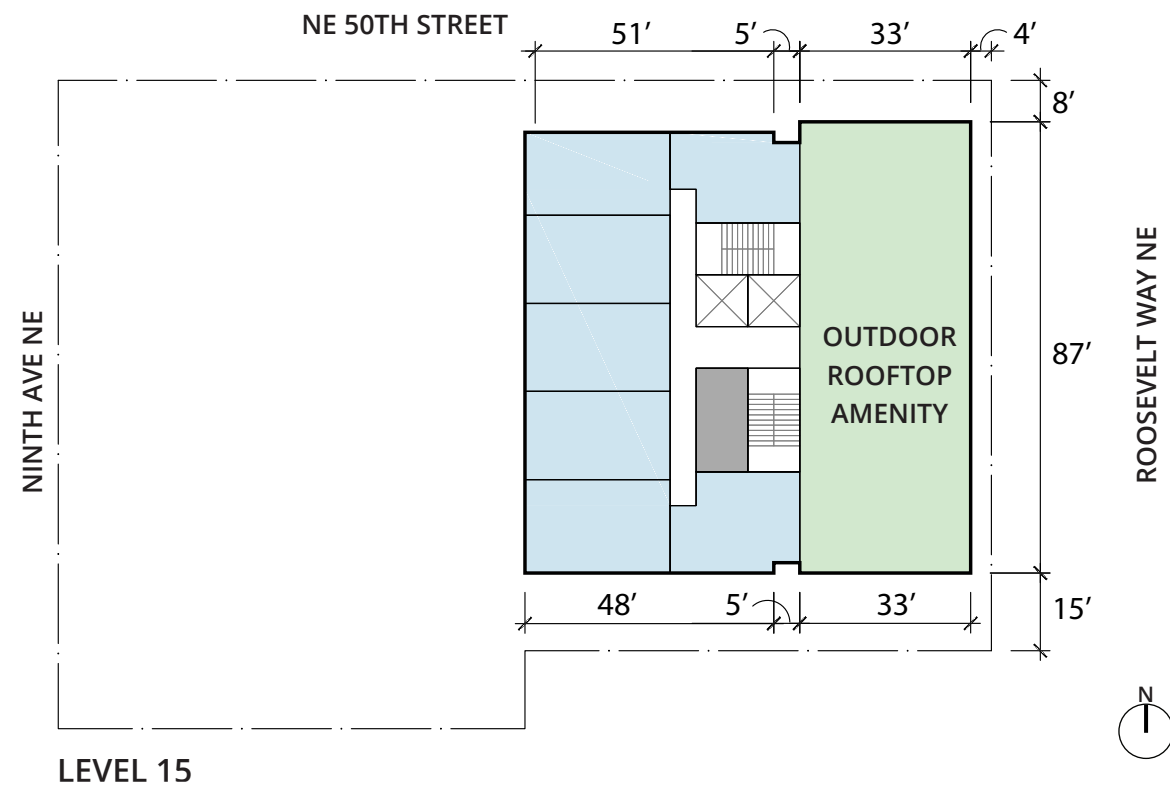
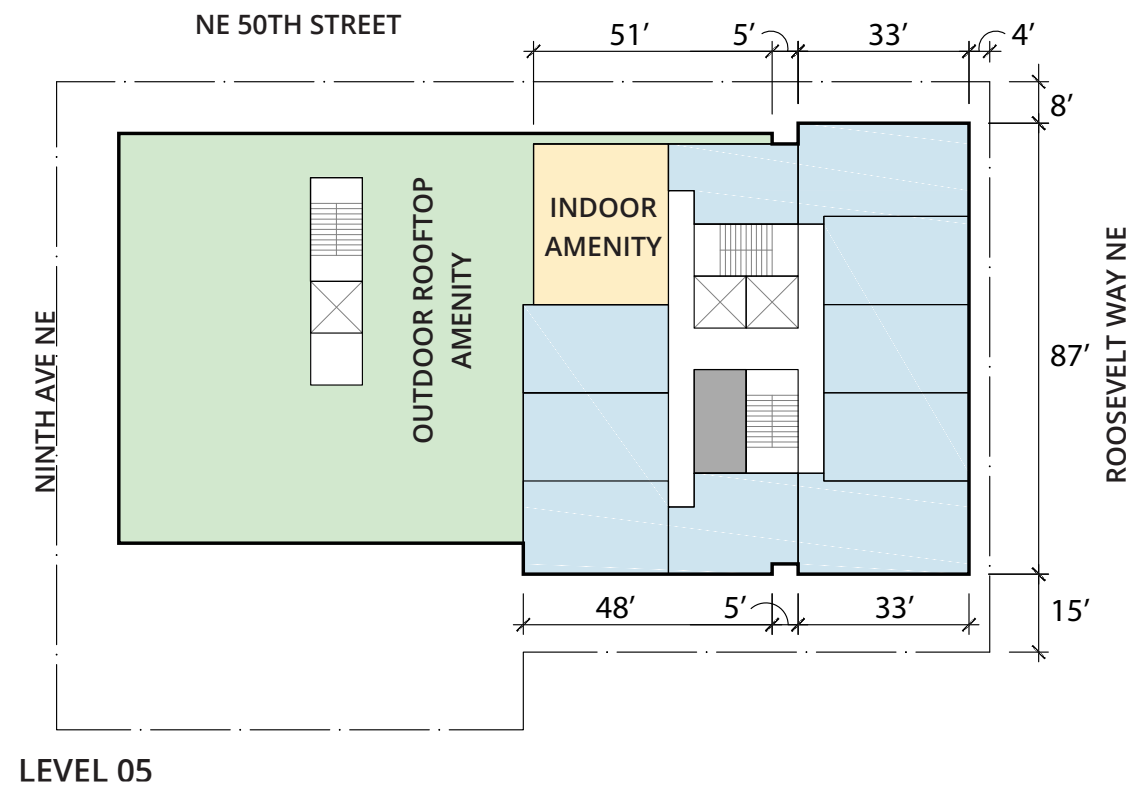
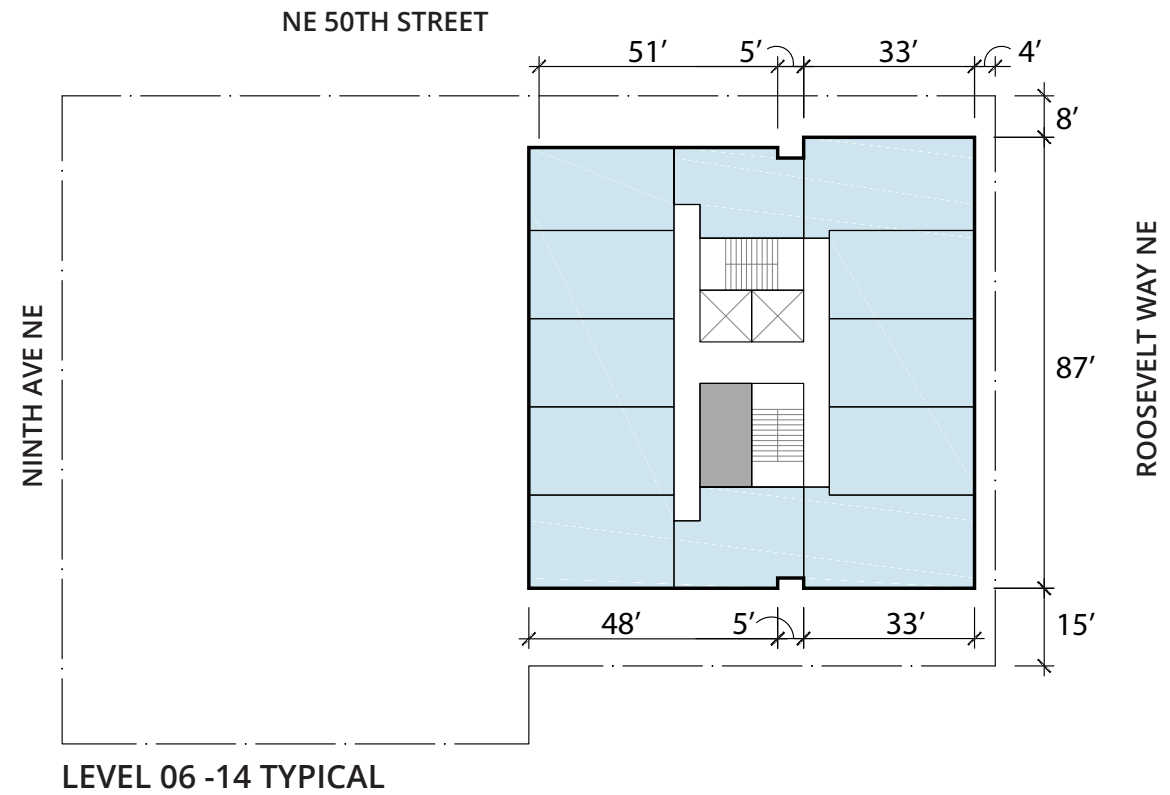
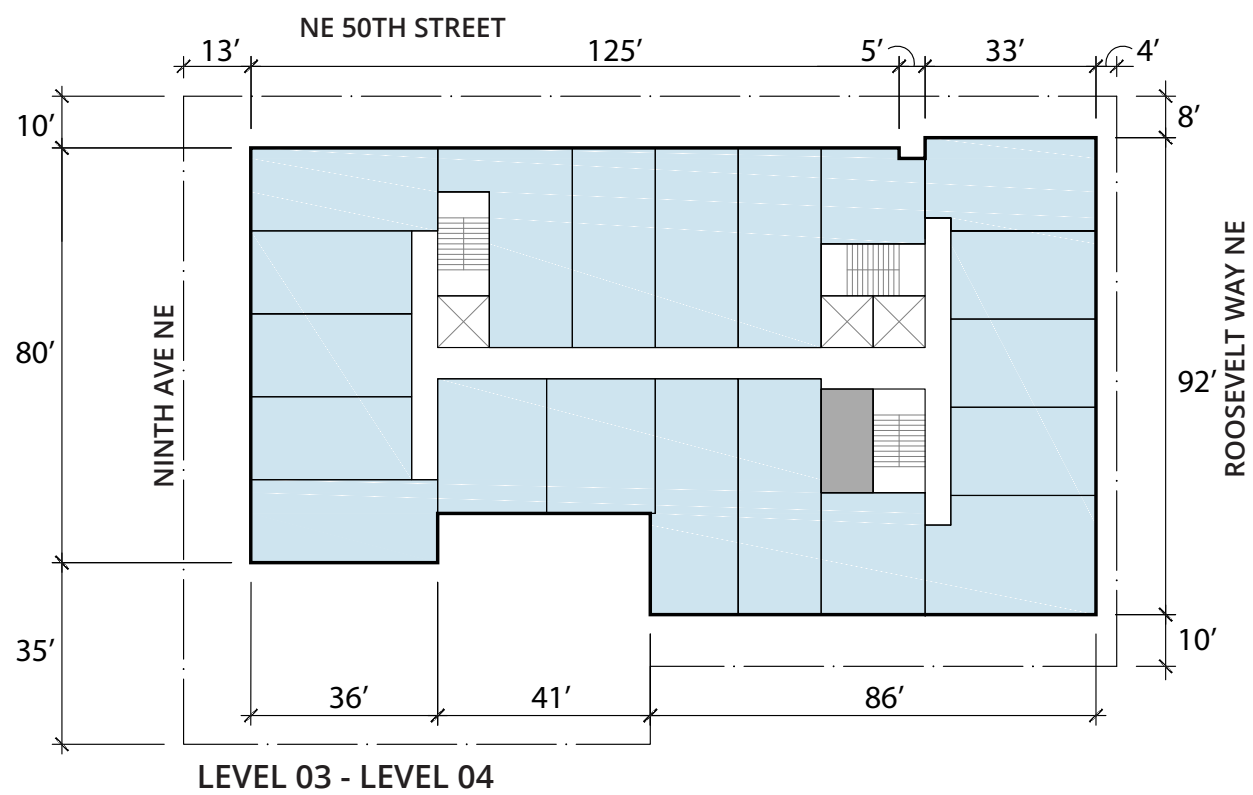
LEVEL 01 - ROOSEVELT WAY NE



LEVEL 02 - NINTH AVE NE



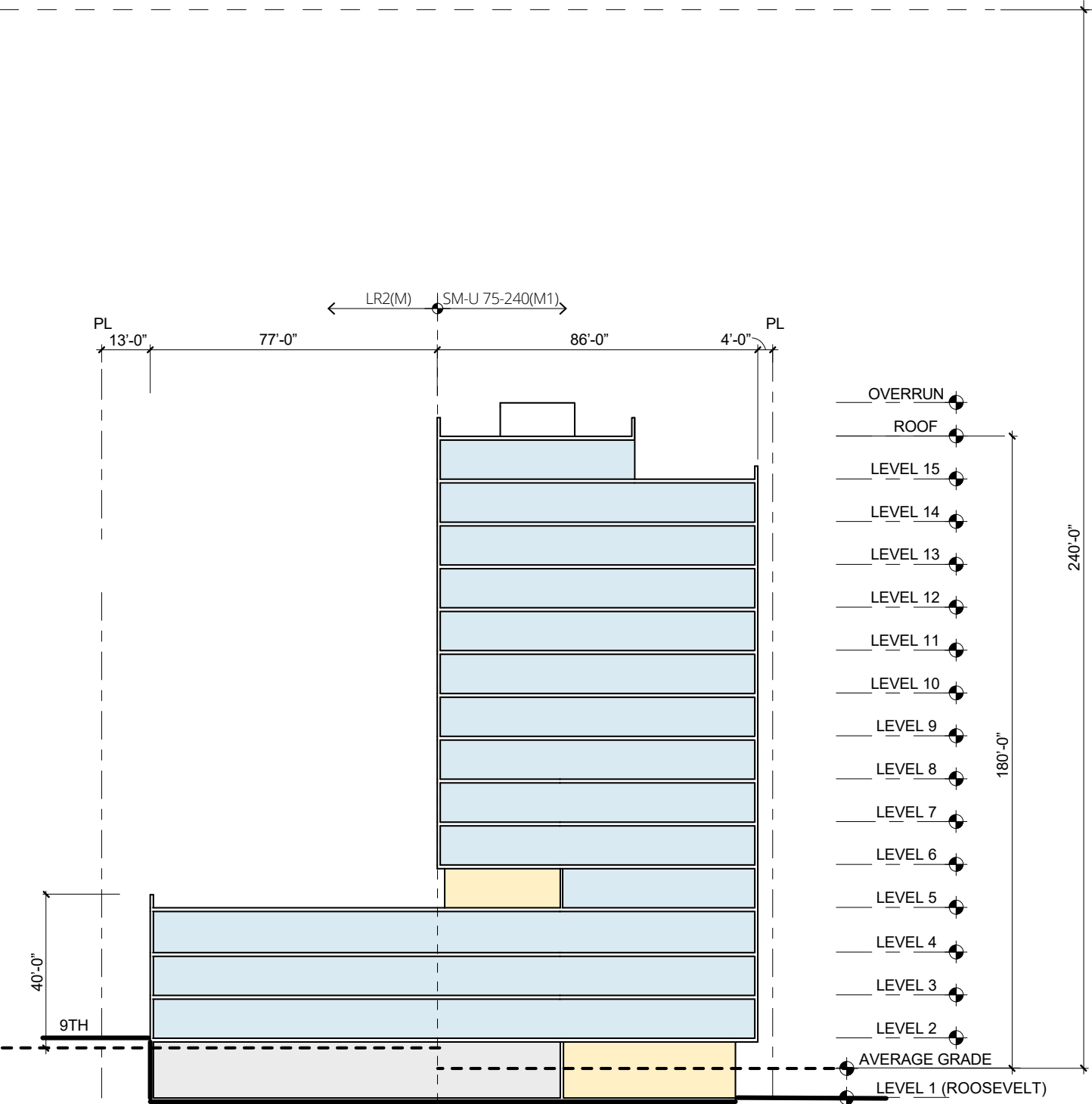
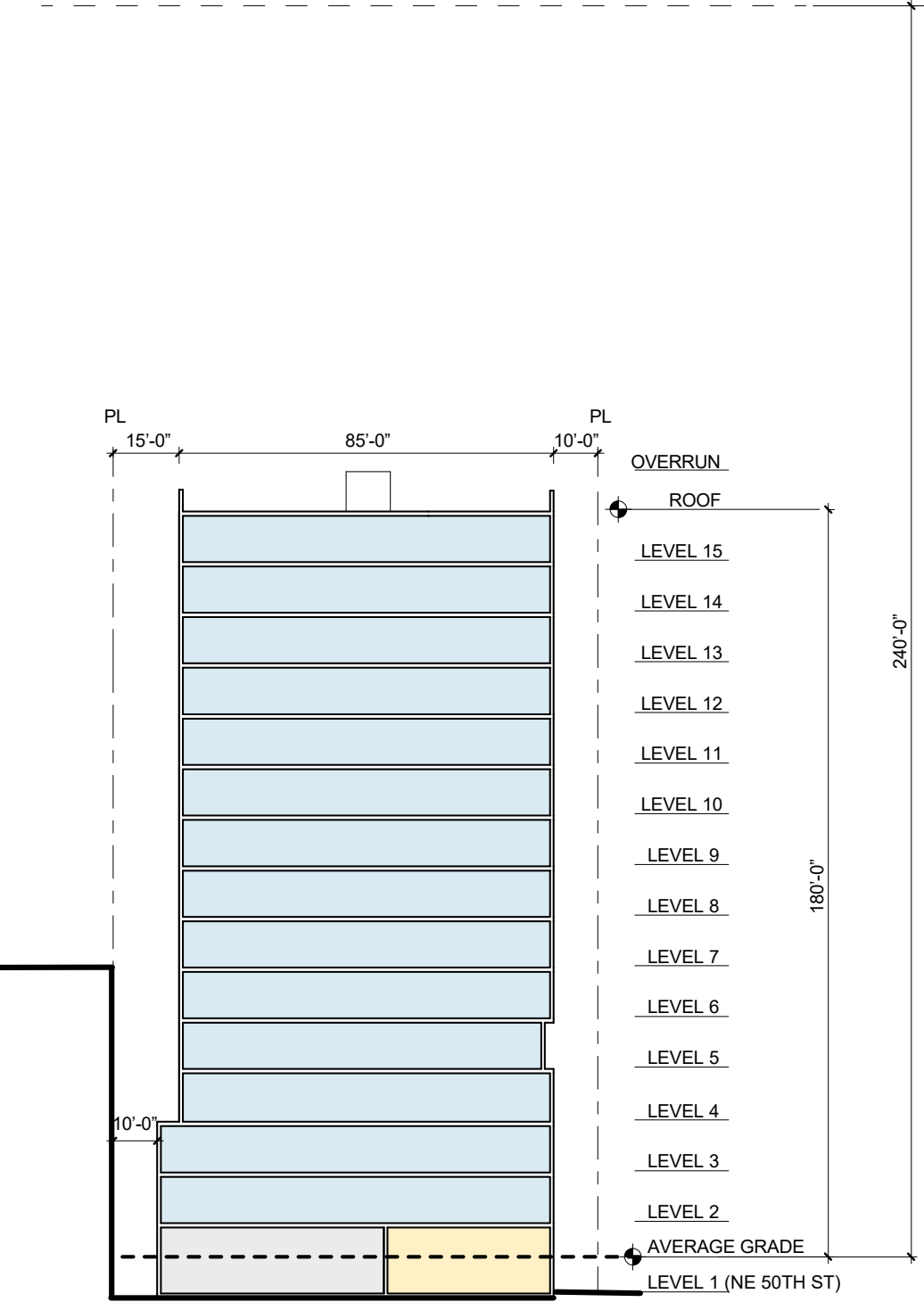
ALTERNATIVE B: CONCEPTUAL PLANS (8.4)



- RESIDENTIAL
- AMENITY
- OUTDOOR AMENITY
- OPEN SPACE
- PARKING

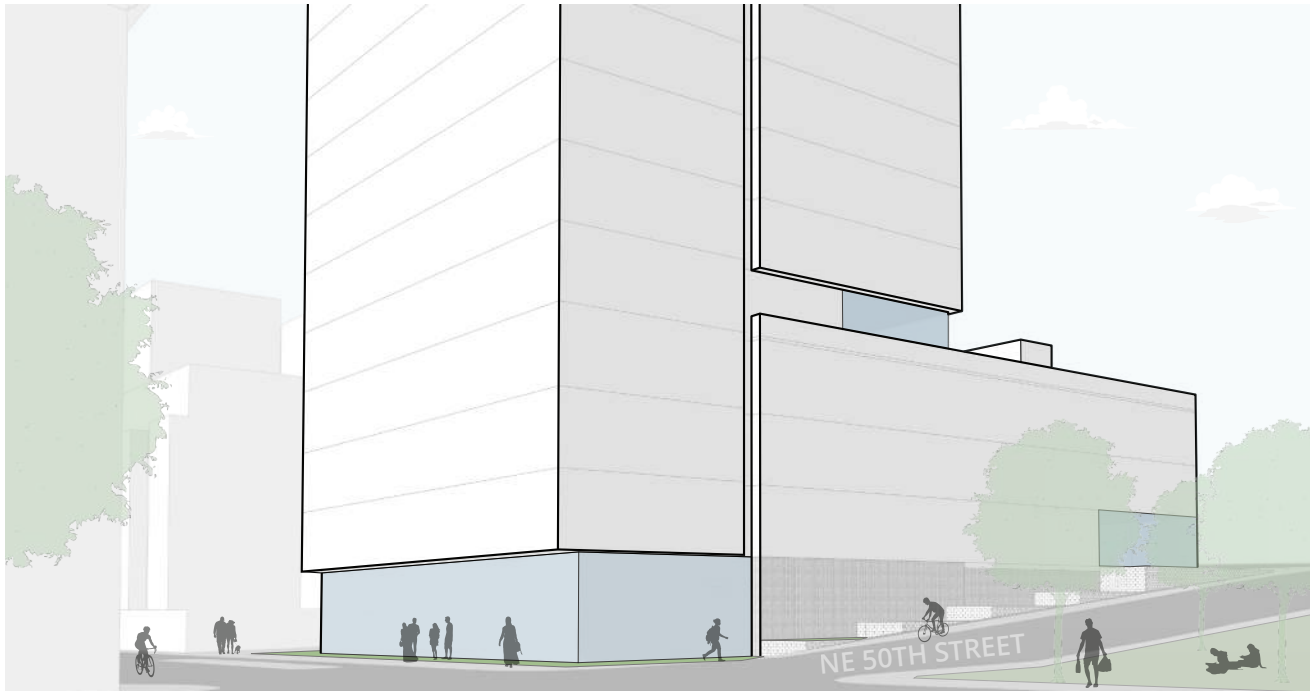


ALTERNATIVE B: SECTION (8.5)

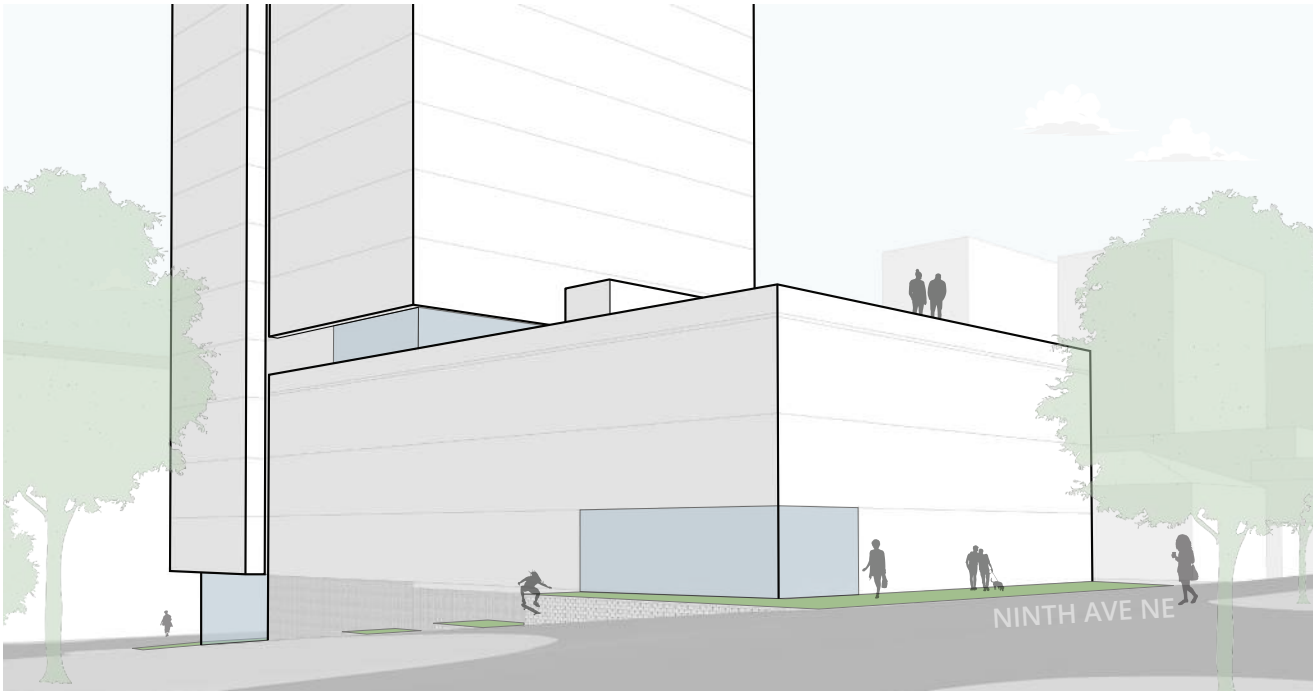


RESIDENTIAL
AMENITY

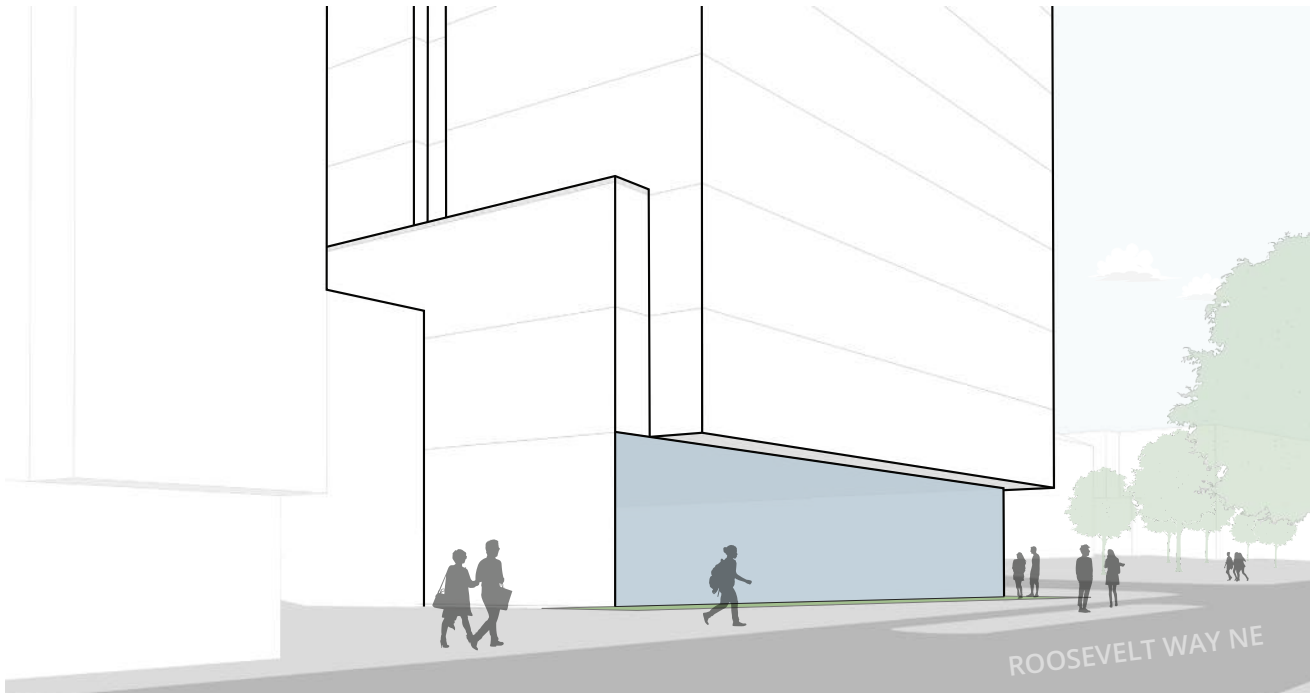
ALTERNATIVE B: VIGNETTES - STREET LEVEL (8.6)



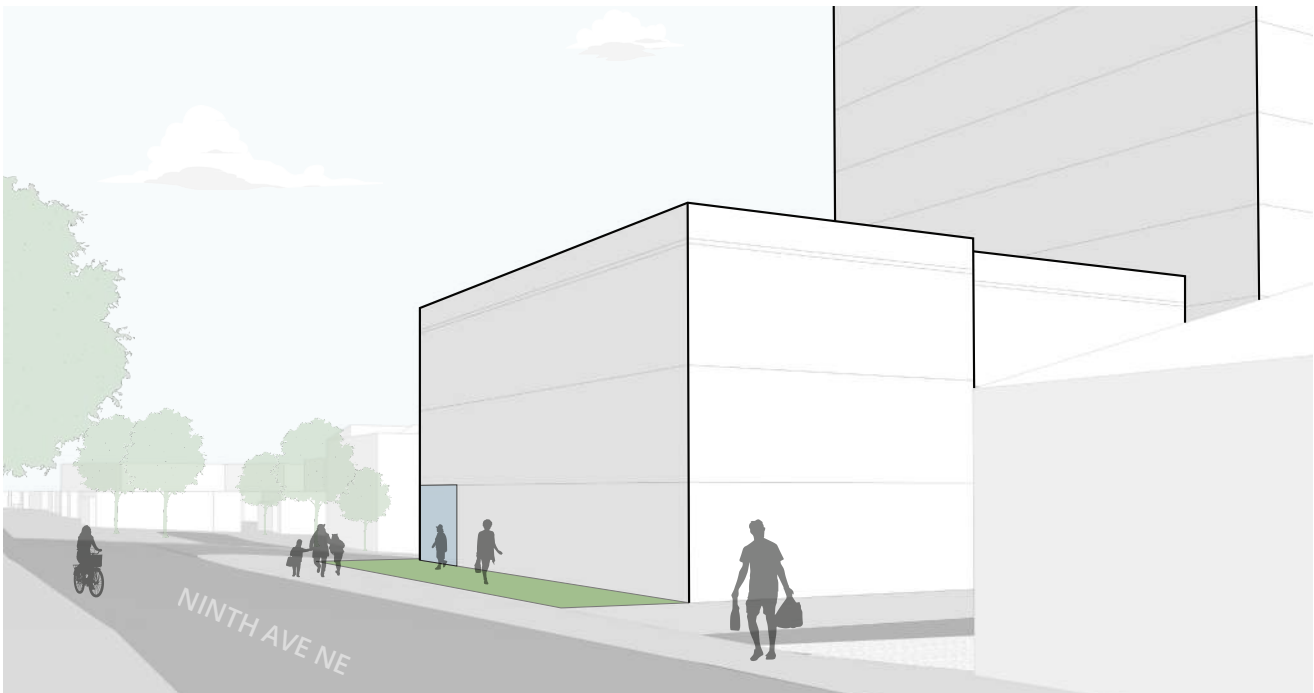
NORTHEAST CORNER



NORTHWEST CORNER



SOUTHEAST CORNER



SOUTHWEST CORNER

ALTERNATIVE B: VIGNETTES - IN NEIGHBORHOOD (8.6)



NE 50TH ST - LOOKING WEST



ROOSEVELT WAY NE - LOOKING NORTH



NE 50TH ST - LOOKING EAST

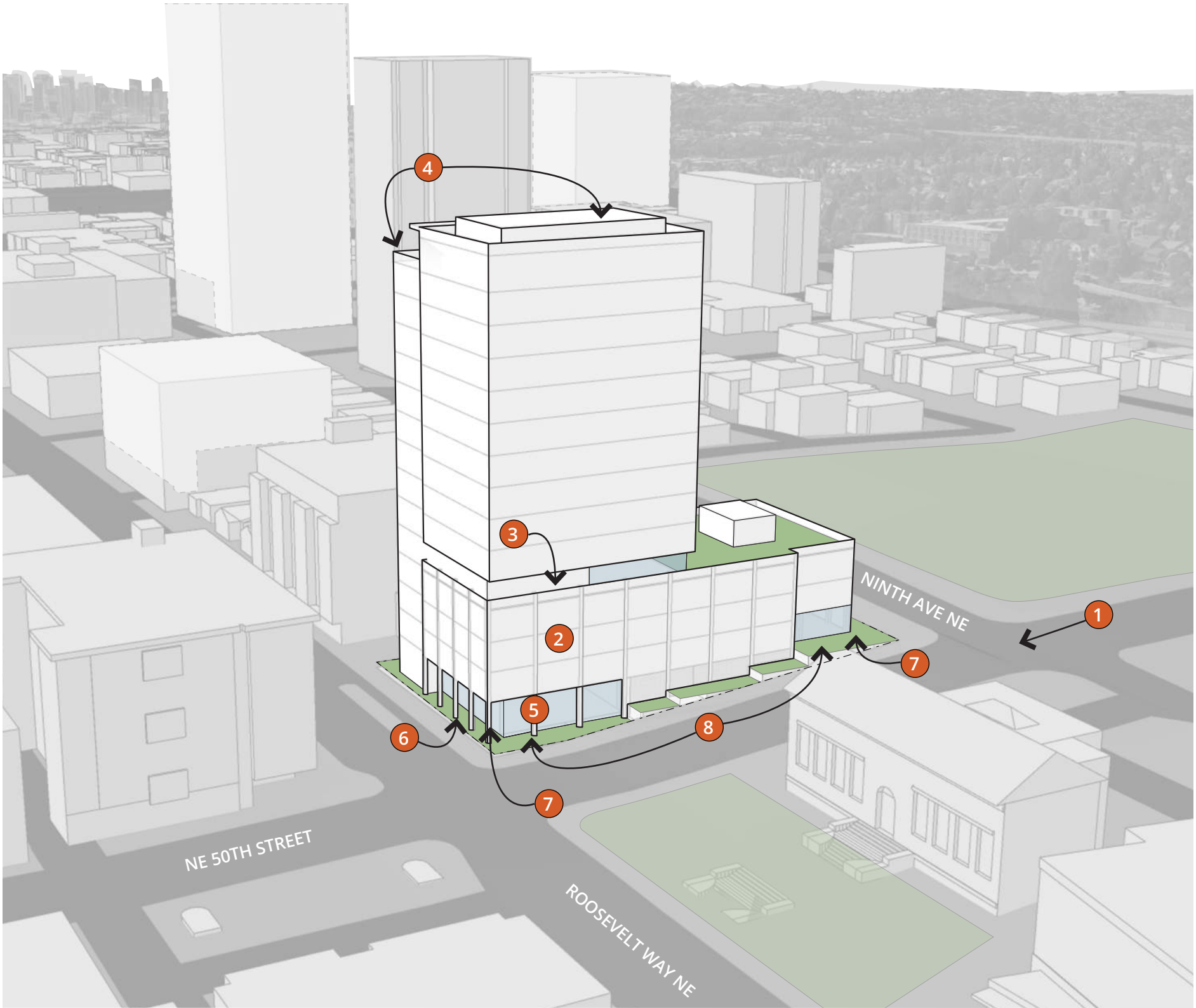


ROOSEVELT WAY NE - LOOKING SOUTH

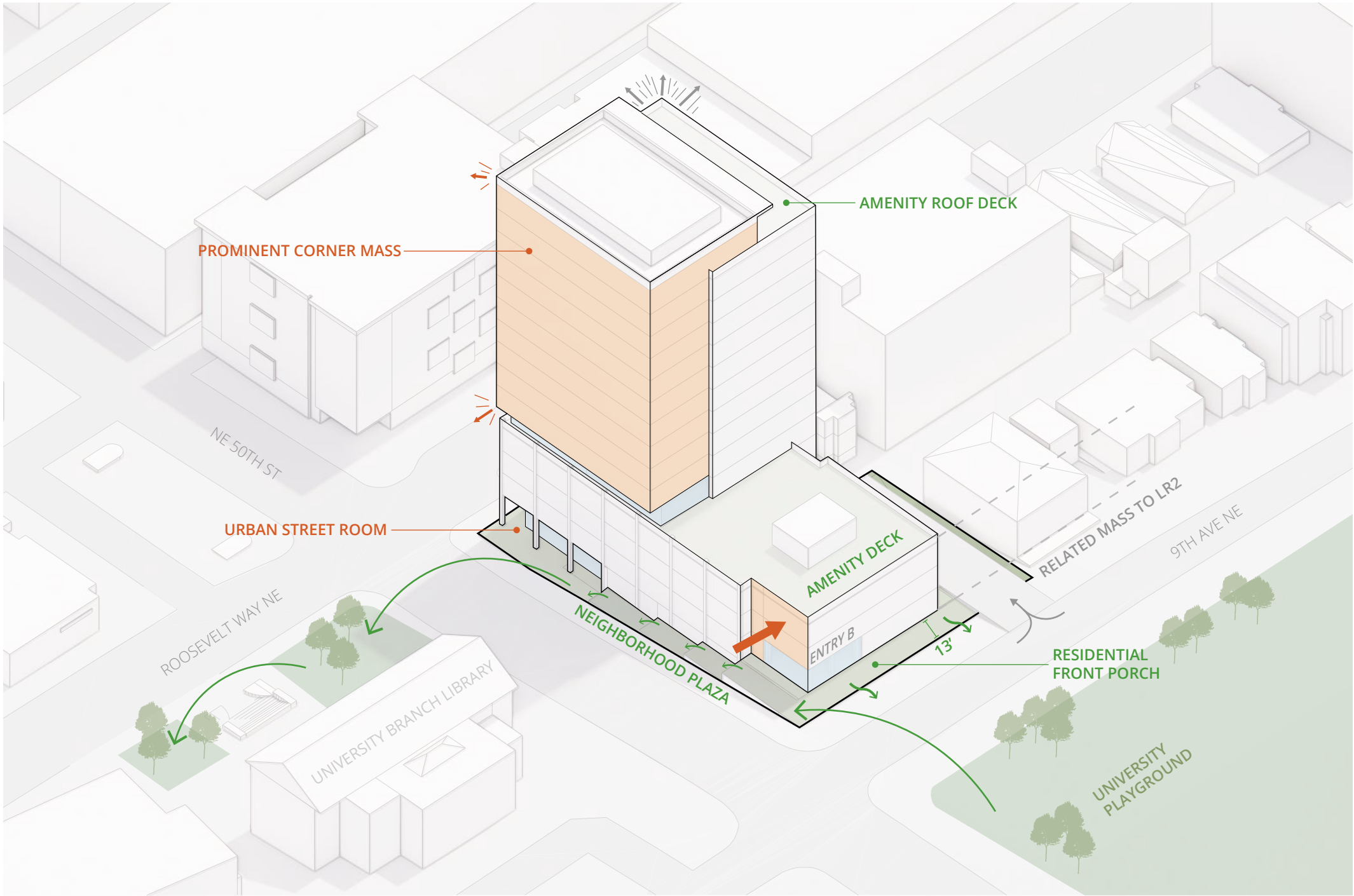
ALTERNATIVE C: MASSING (PREFERRED)

BUILDING AREA:	LR2(M) CHARGEABLE FAR: 18,155 SF SM-U 75-240 (M1) CHARGEABLE FAR: 101,935 SF
STORIES:	15
UNITS:	179 UNITS
PARKING STALLS:	90 STALLS
DEPARTURES:	NONE

- PROS
- 1 **CS2.3A.1** Most prominent massing at significant “entry” point in the U District Neighborhood.
 - 2 **CS2.1.E.1** Historic platting patterns articulated at base building design.
 - 3 **DC2.6.D** Gasket provided between base and tower ties datum lines from development to the south.
 - 4 **DC2.6.J** Heirarchy of interlocking modulation and parapet extension oriented south at rooftop open space provies an intentional, designed terminus to the tall form.
 - 5 **DC2.1.C** Structural colonnade at the base creates a “grounded” yet porous form that transitions to a human-scale at the street and open space.
 - 6 **DC2.6.F** Tall ground floor with highly legible base demarcation transitions to the ground and marks the ‘street room’ proportion.
 - 7 **CS2.2.C** Open space creates an “outdoor room” at the colonnade and the NW entry plaza.
 - 8 **CS2.3A.1-2** Terraced open space incorporates the topography and provides pedestrian accommodating entries with wider sidewalks, significant landscaping features, public plazas.



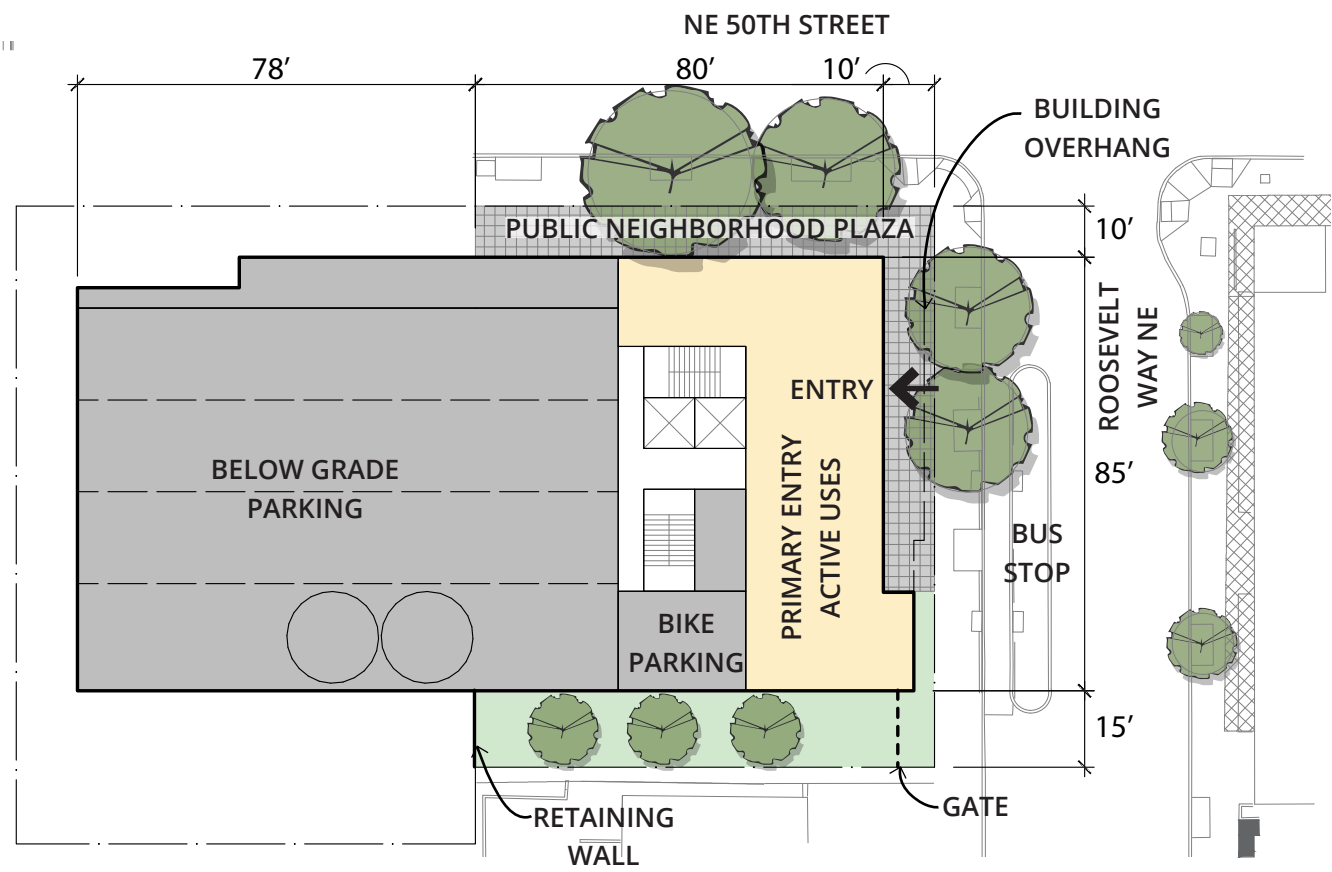
ALTERNATIVE C: MASSING ANALYSIS



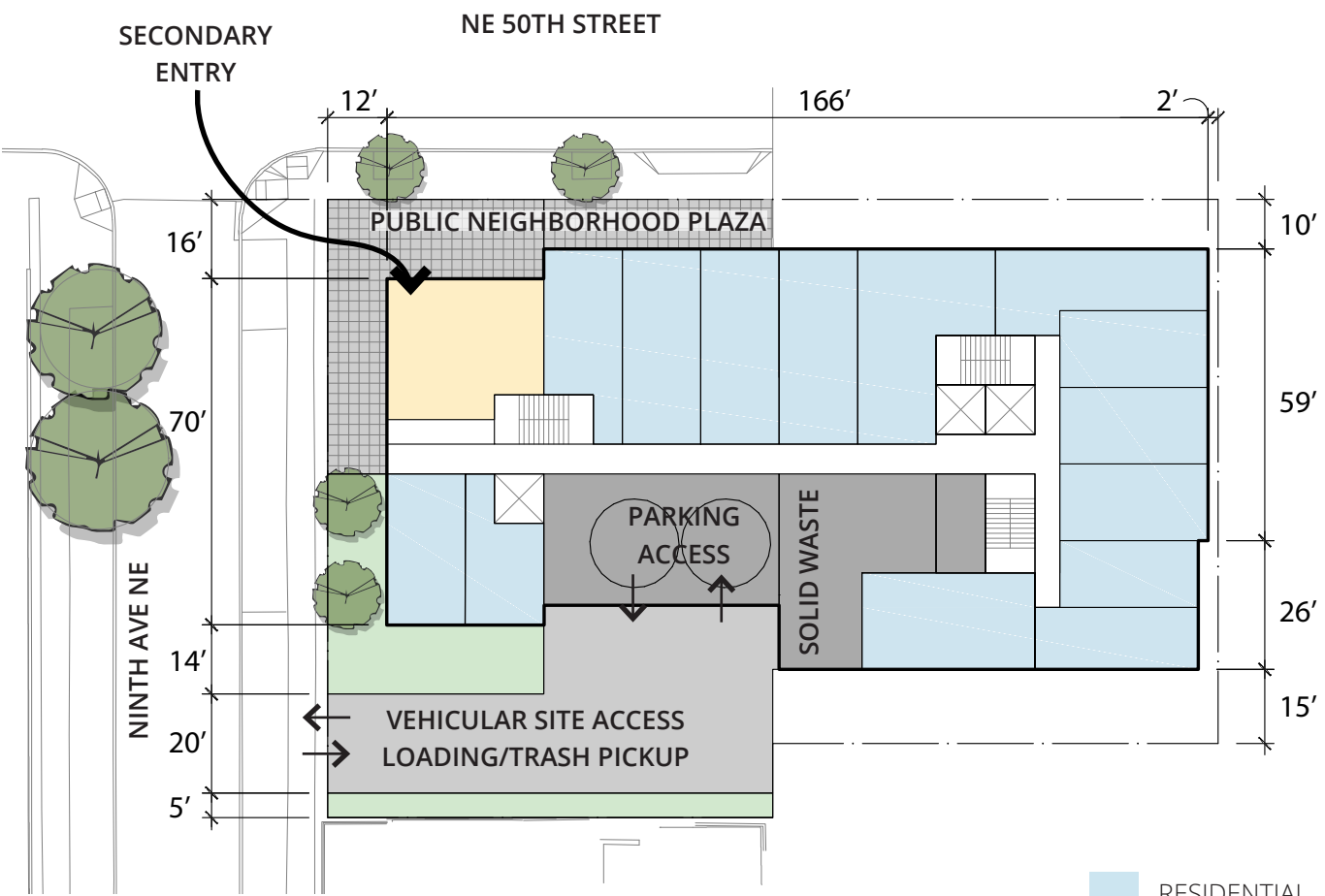
PEDESTRIAN MOVEMENT

PEDESTRIAN NODE

ALTERNATIVE C: CONCEPTUAL PLANS (8.4)



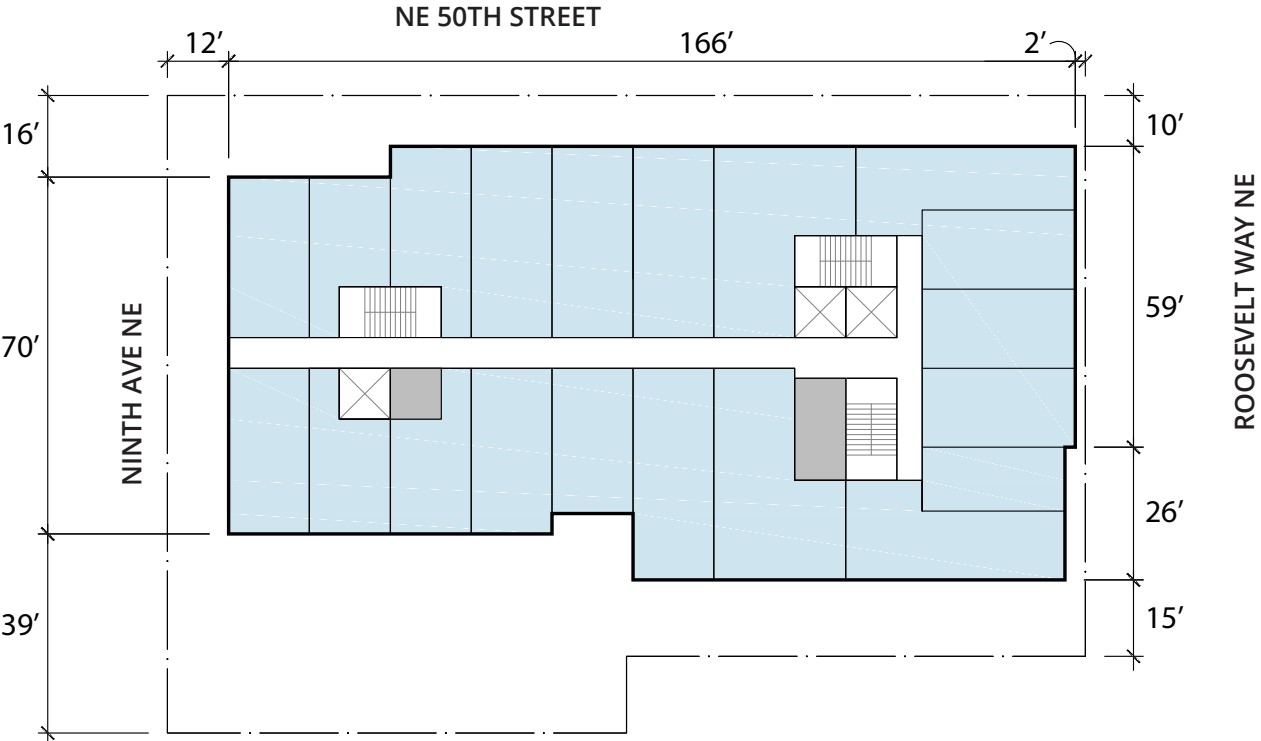
LEVEL 01 - ROOSEVELT WAY NE



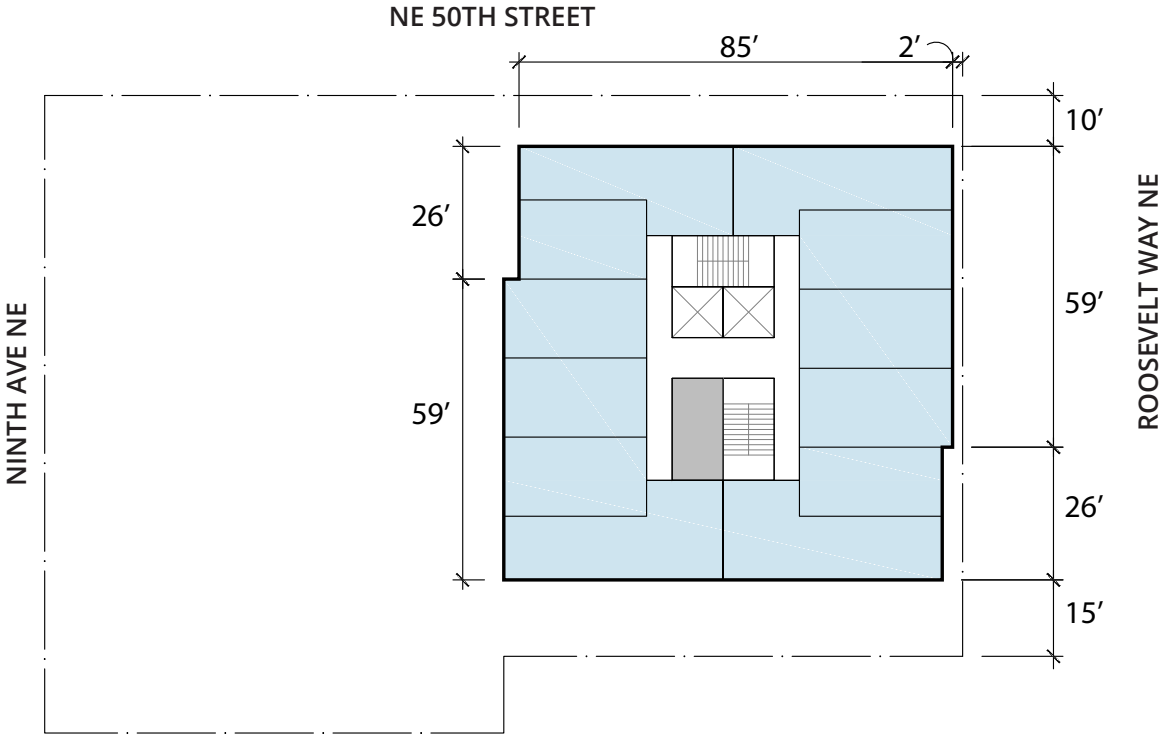
LEVEL 02 - NINTH AVE NE



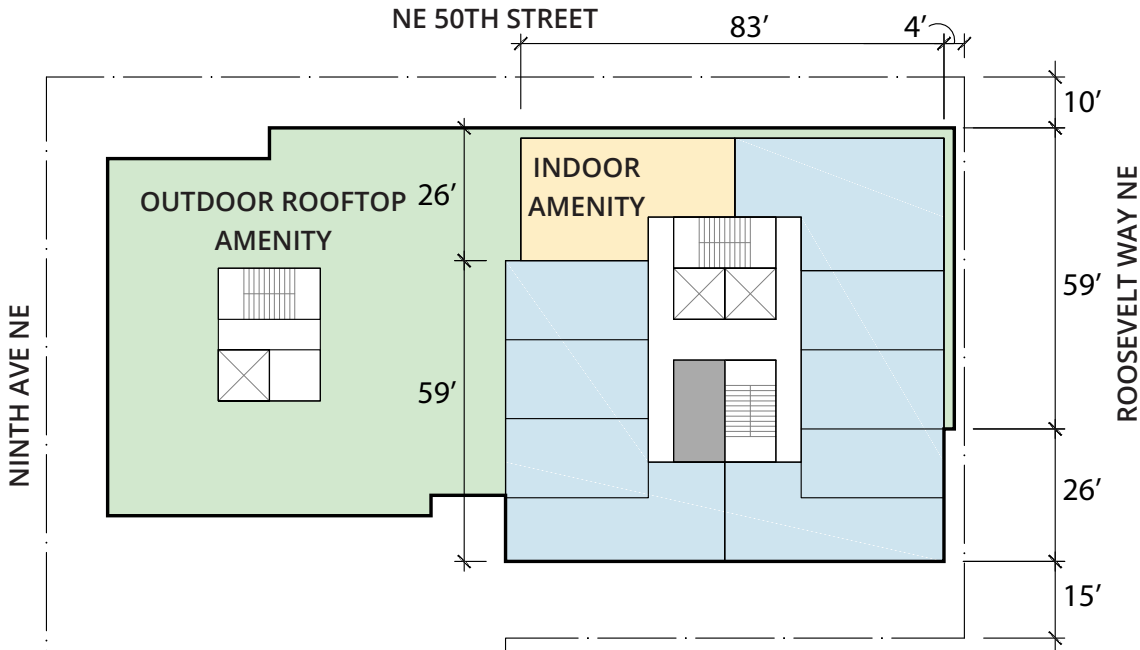
ALTERNATIVE C: CONCEPTUAL PLANS (8.4)



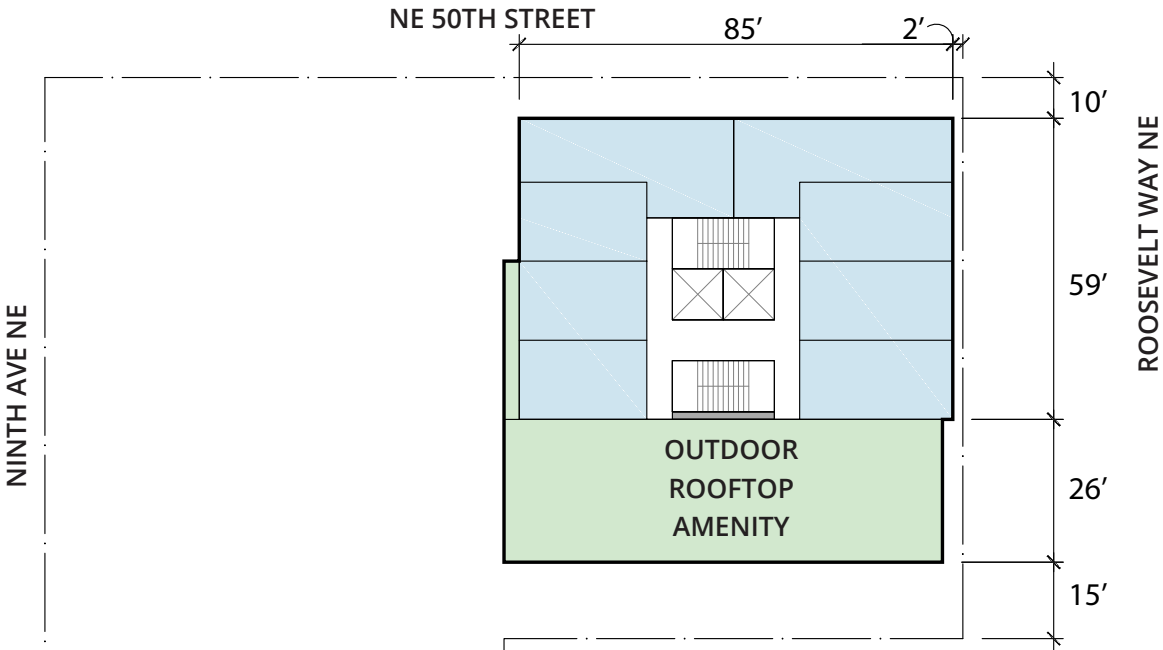
LEVEL 03 - LEVEL 04



LEVEL 06 - 14 TYPICAL



LEVEL 05

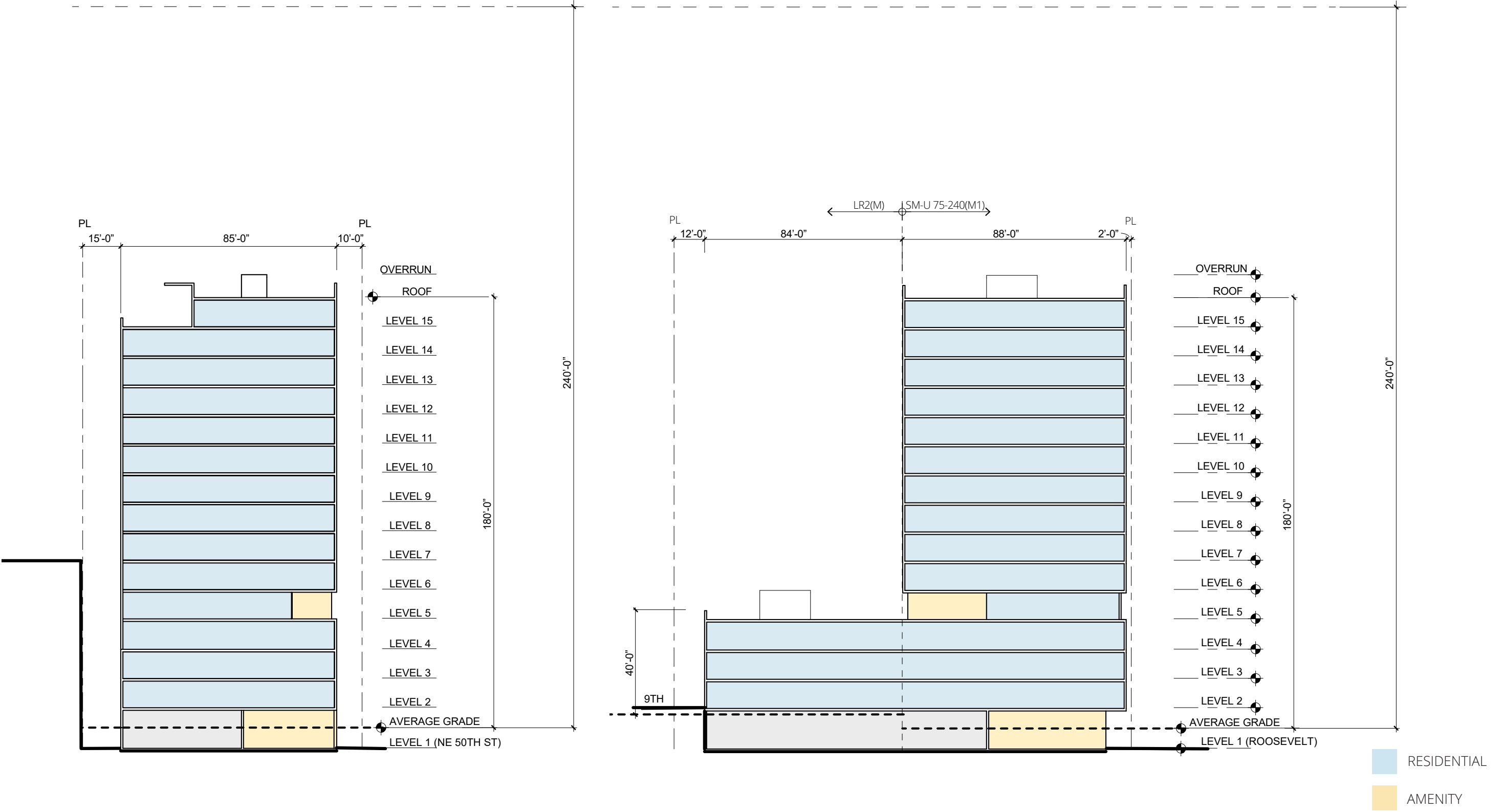


LEVEL 15

- RESIDENTIAL
- AMENITY
- OUTDOOR AMENITY
- OPEN SPACE
- PARKING



ALTERNATIVE C: SECTION (8.5)

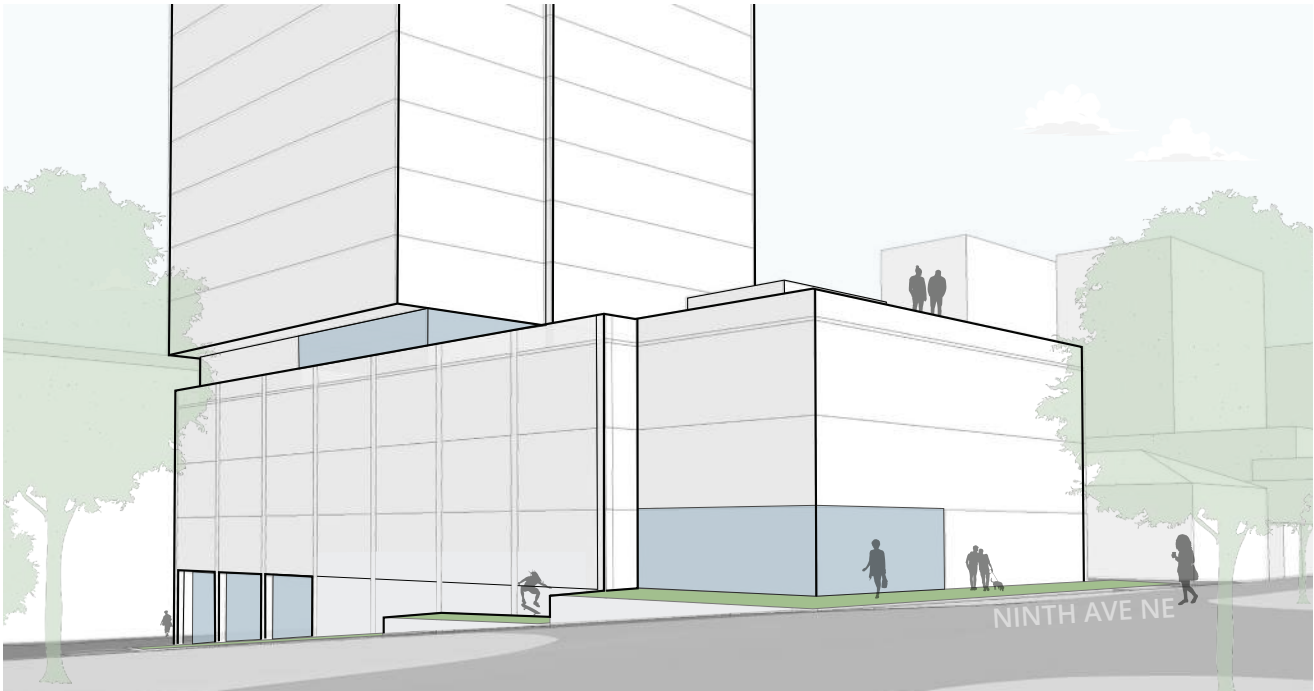


ALTERNATIVE C: VIGNETTES - STREET LEVEL (8.6)

CLARK /
BARNES



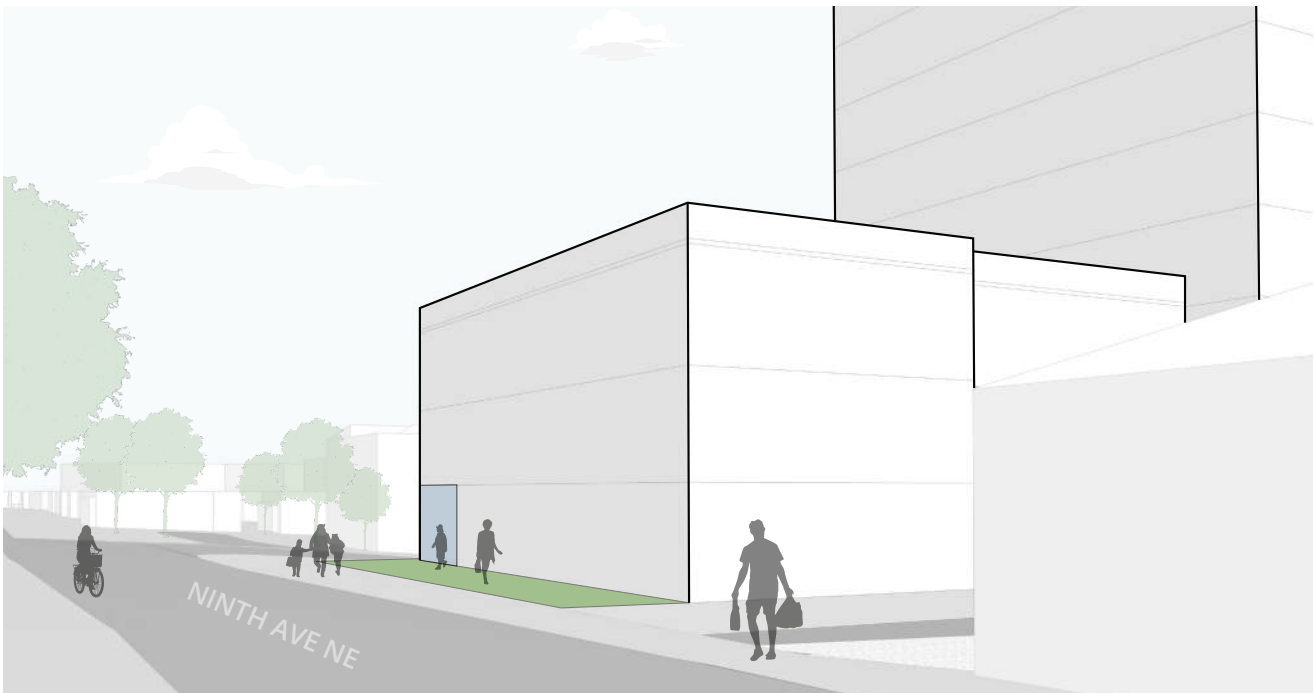
NORTHEAST CORNER



NORTHWEST CORNER



SOUTHEAST CORNER



SOUTHWEST CORNER

ALTERNATIVE C: VIGNETTES - IN NEIGHBORHOOD (8.6)



NE 50TH ST - LOOKING WEST



ROOSEVELT WAY NE - LOOKING NORTH

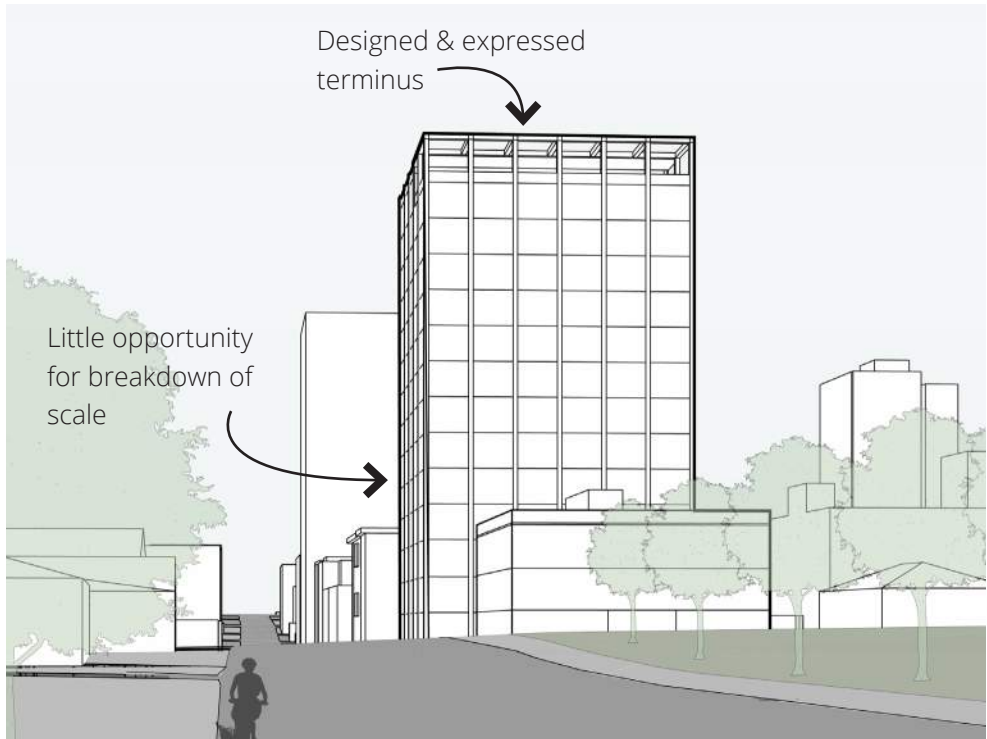


NE 50TH ST - LOOKING EAST

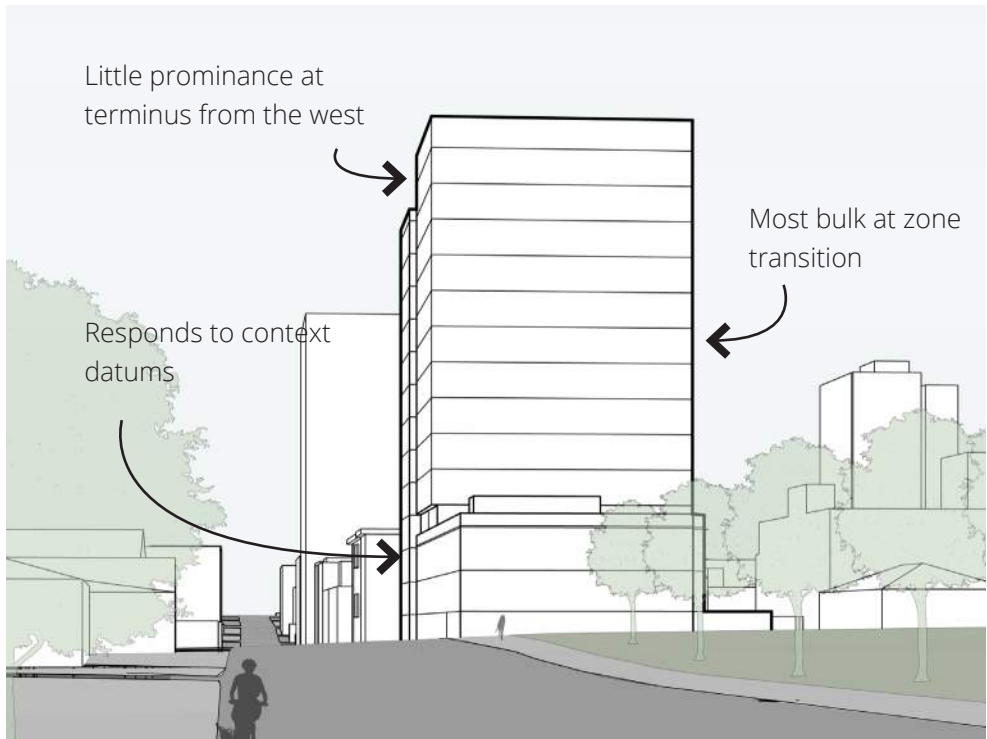


ROOSEVELT WAY NE - LOOKING SOUTH

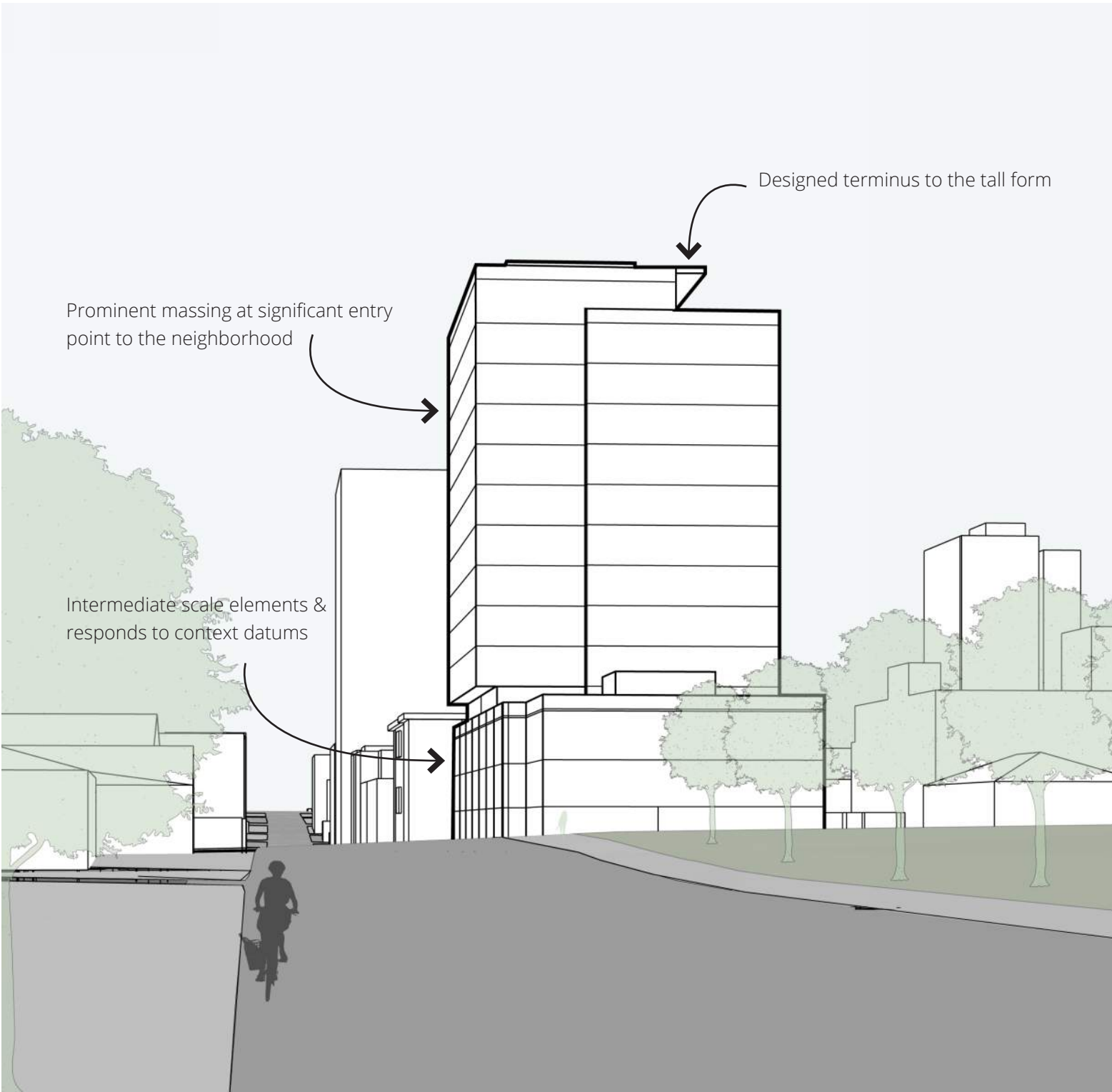
GATEWAY CORNER COMPARISON



ALTERNATIVE A 'GRID'

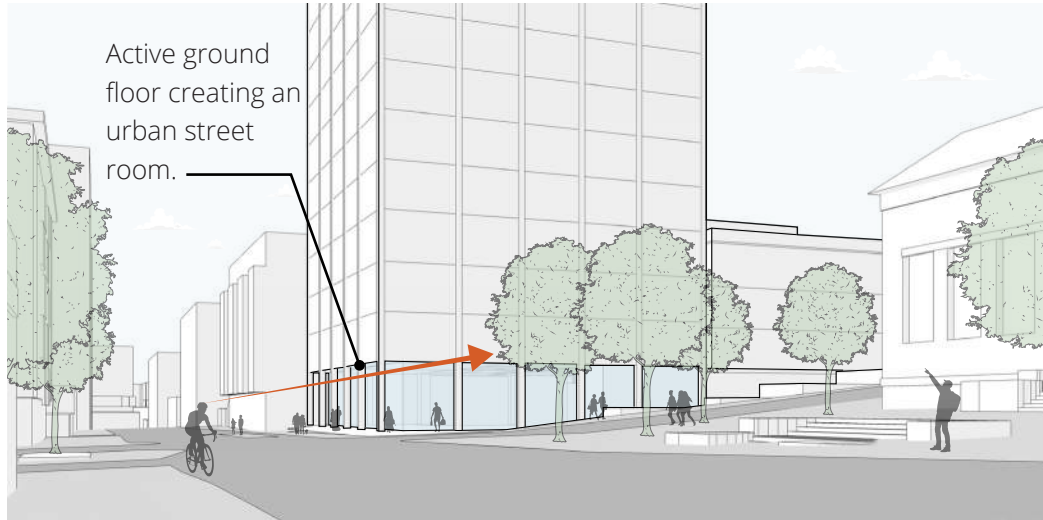


ALTERNATIVE B 'SHEAR'

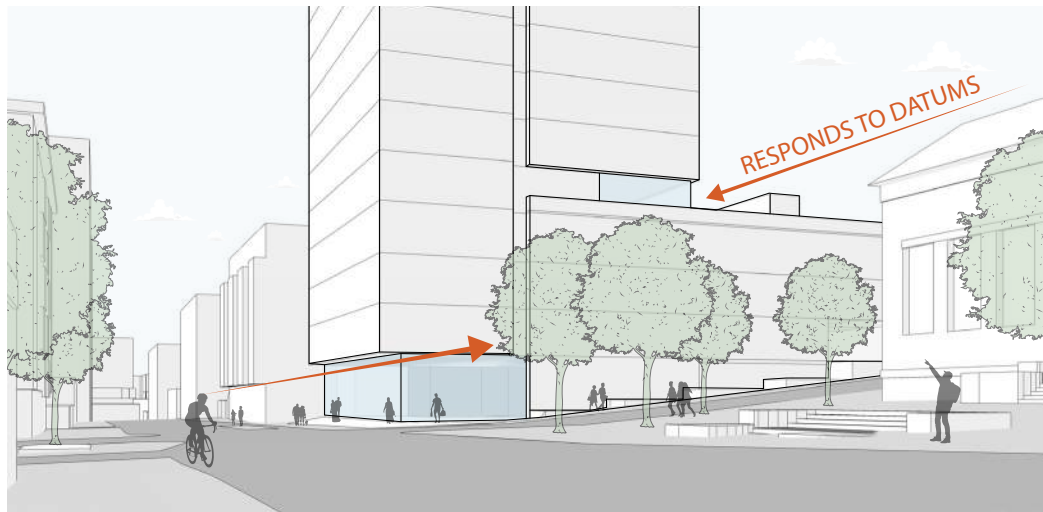


ALTERNATIVE C 'INTERLOCK' (PREFERRED)

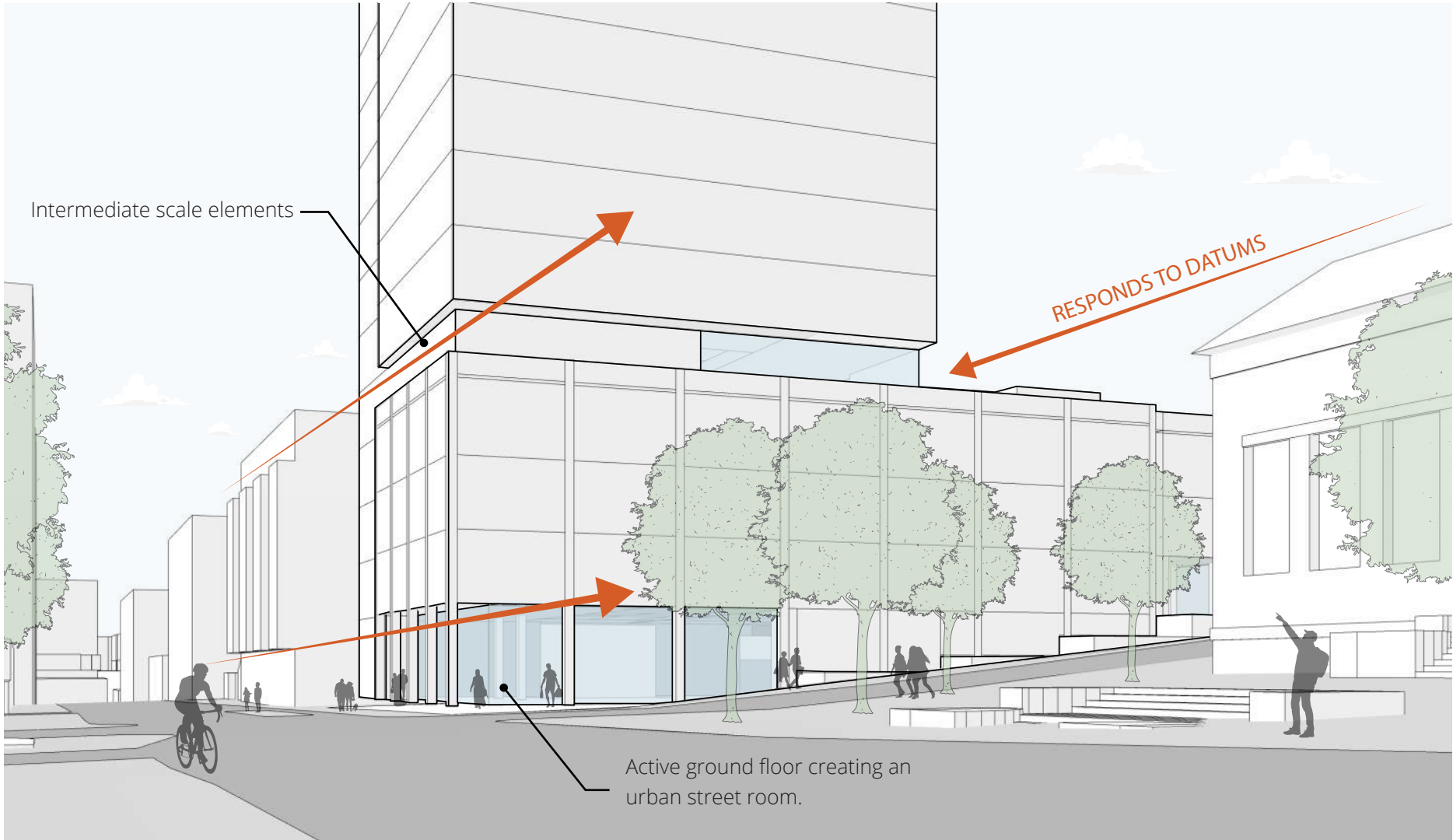
PLACEMAKING CORNER COMPARISON



ALTERNATIVE A 'GRID'

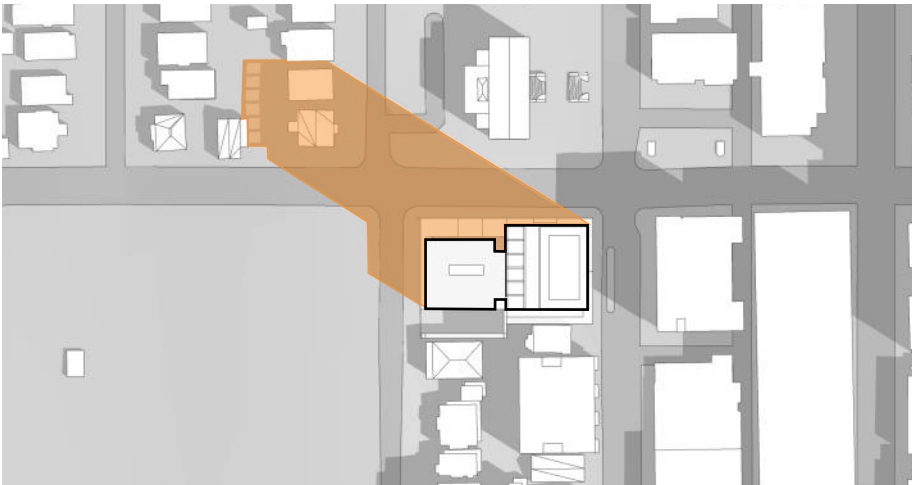


ALTERNATIVE B 'SHEAR'

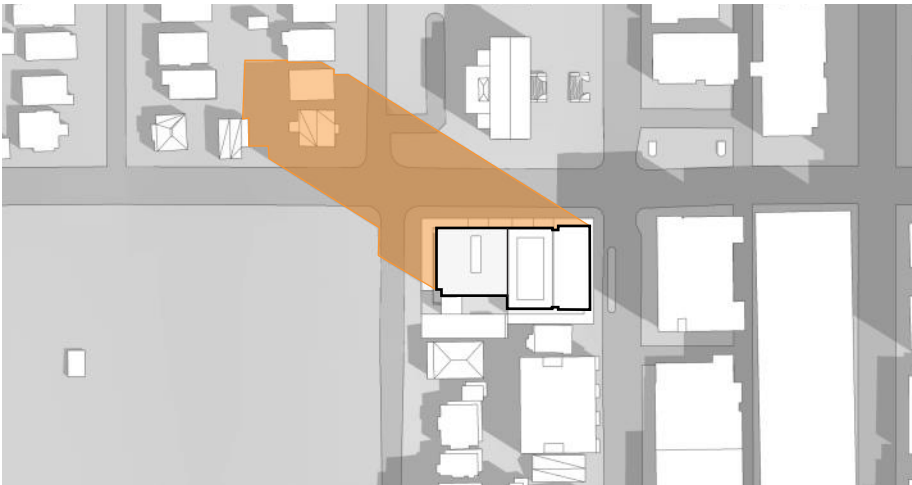


ALTERNATIVE C 'INTERLOCK' (PREFERRED)

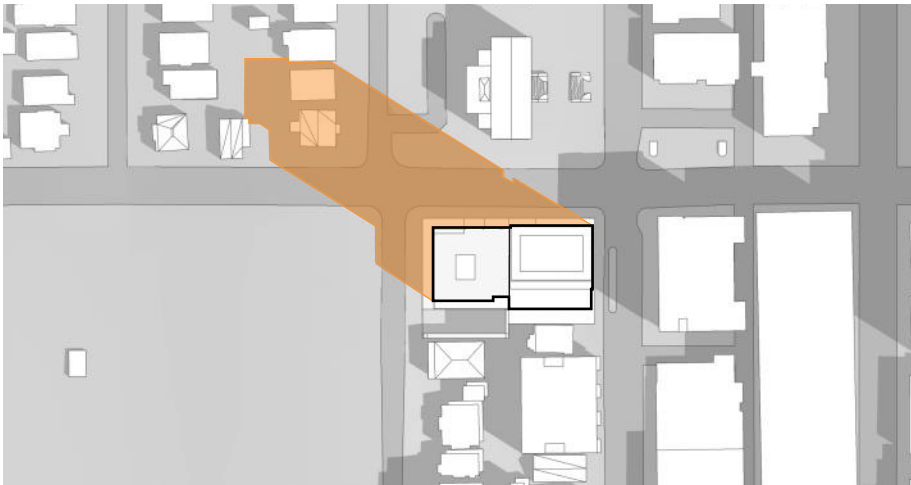
MASSING CONCEPTS - SHADOW ANALYSIS - SPRING EQUINOX (8.9)



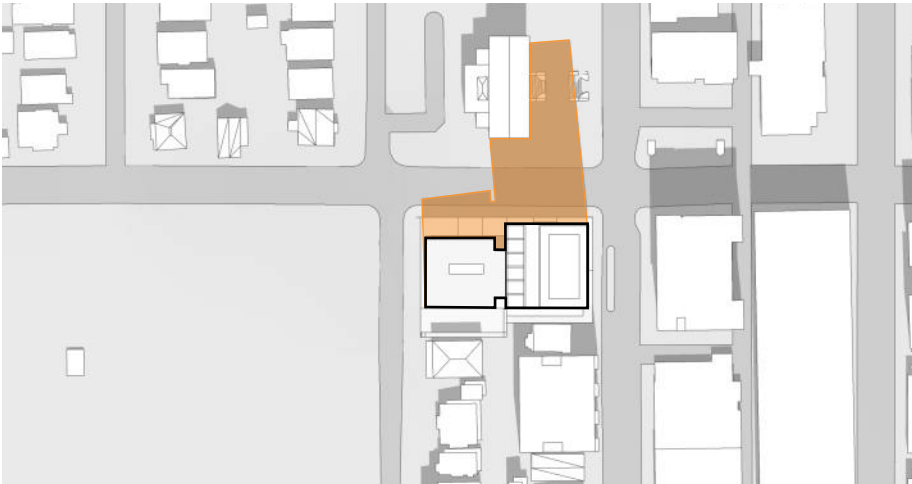
OPTION A: 9AM



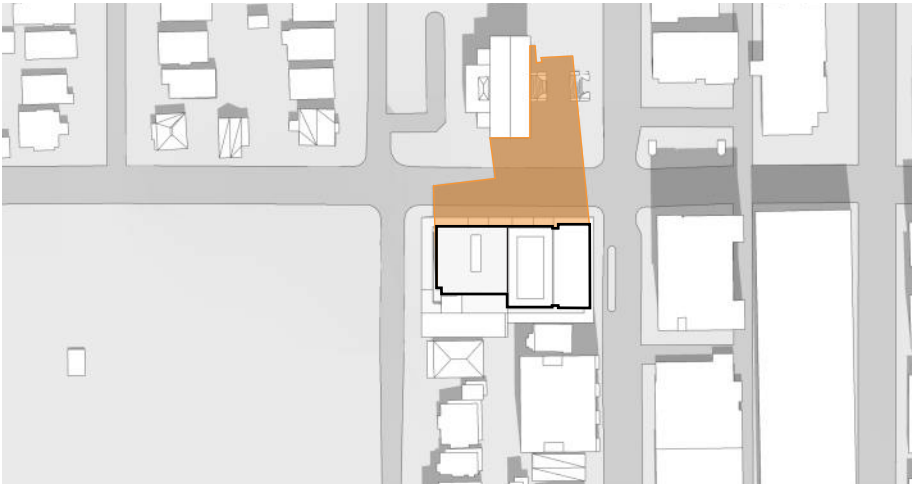
OPTION B: 9AM



OPTION C: 9AM



OPTION A: 12PM



OPTION B: 12PM



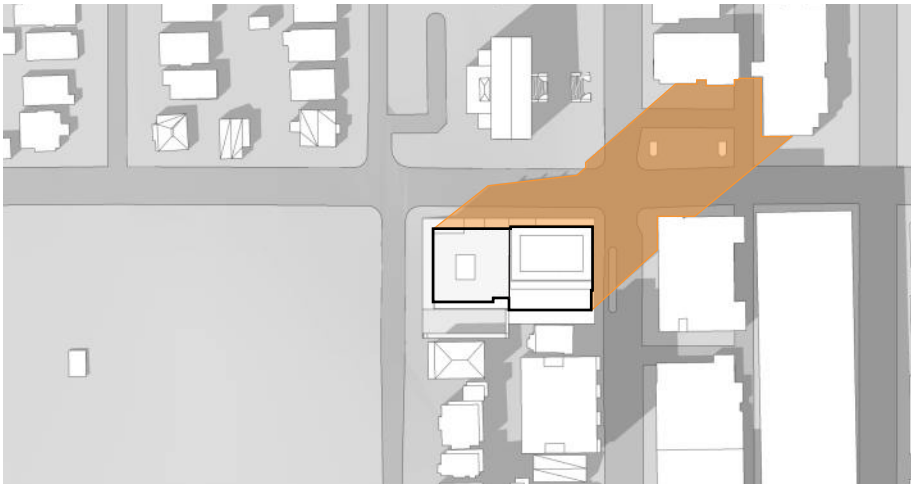
OPTION C: 12PM



OPTION A: 3PM



OPTION B: 3PM



OPTION C: 3PM

MASSING CONCEPTS - SHADOW ANALYSIS - WINTER SOLSTICE (8.9)



OPTION A: 9AM



OPTION B: 9AM



OPTION C: 9AM



OPTION A: 12PM



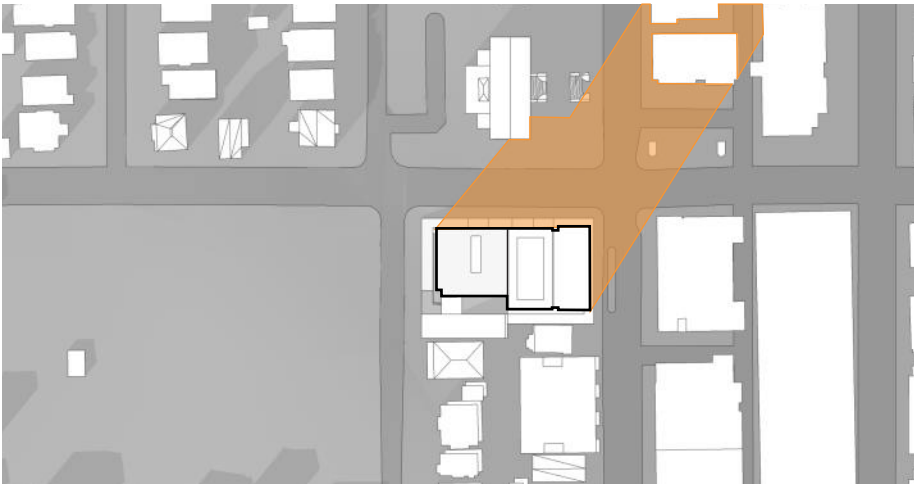
OPTION B: 12PM



OPTION C: 12PM



OPTION A: 3PM



OPTION B: 3PM



OPTION C: 3PM

MASSING CONCEPTS - SHADOW ANALYSIS - SUMMER SOLSTICE (8.9)



OPTION A: 9AM



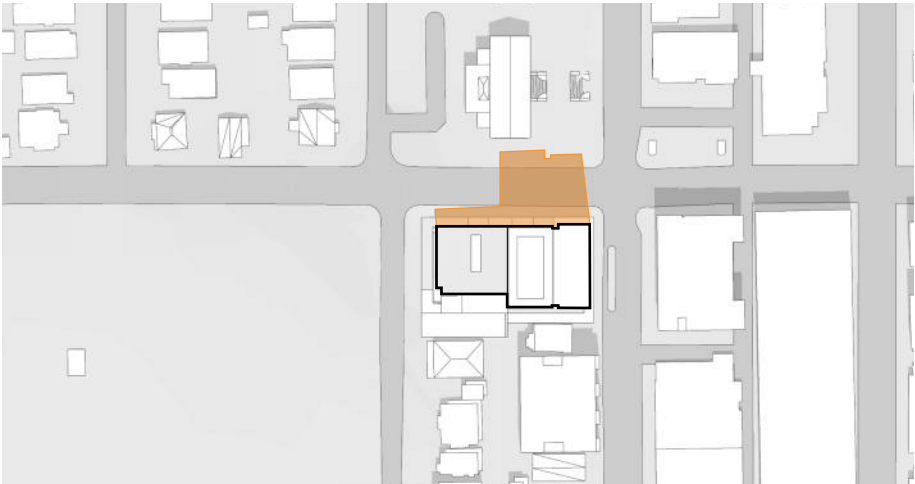
OPTION B: 9AM



OPTION C: 9AM



OPTION A: 12PM



OPTION B: 12PM



OPTION C: 12PM



OPTION A: 3PM



OPTION B: 3PM



OPTION C: 3PM

ARCHITECTURAL MASSING CONCEPTS - PRECEDENT IMAGES (8.8)

