

3831 STONE WAY N

Seattle, Washington

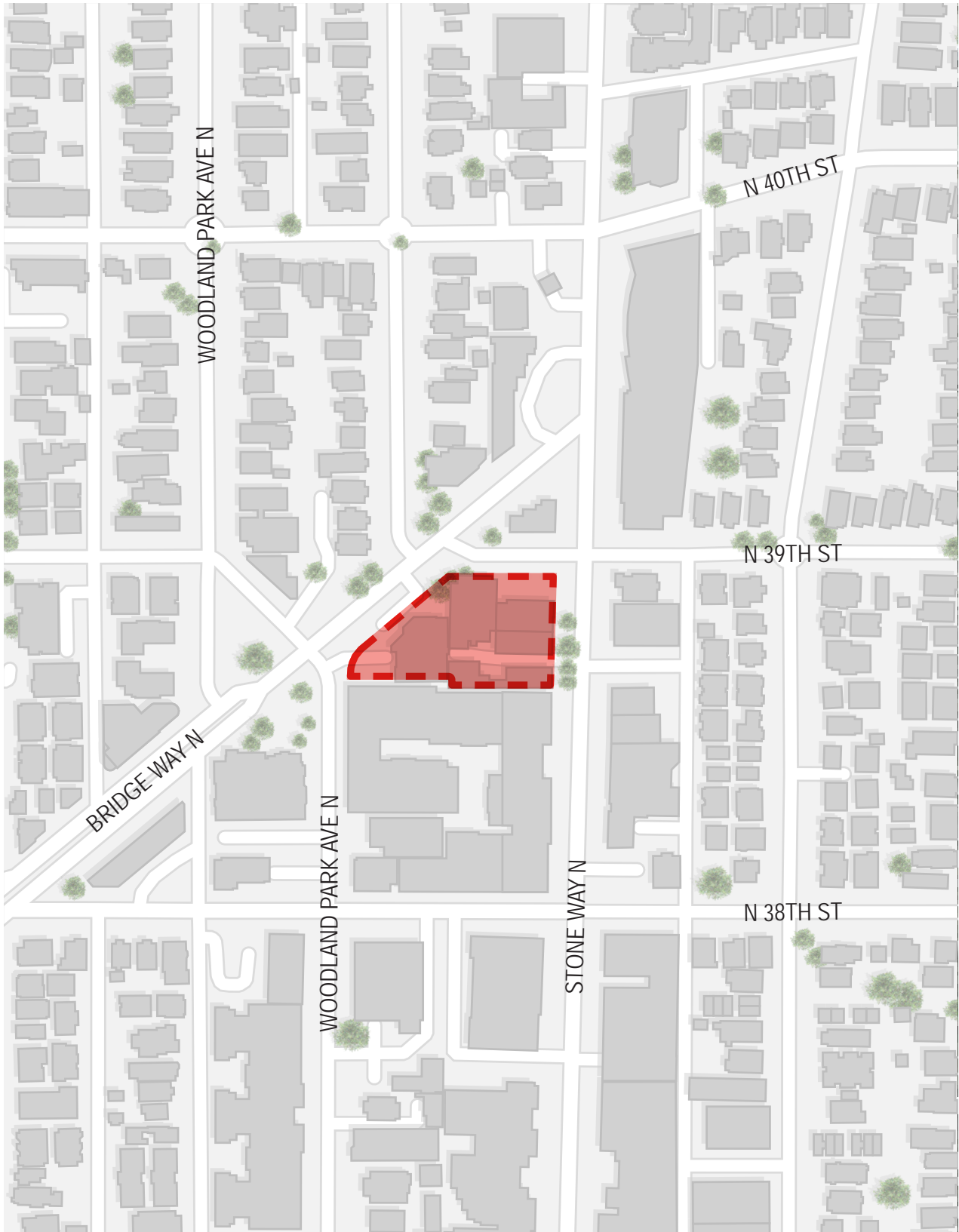
SDCI # 3040198-EG

DESIGN RECOMMENDATION MEETING
SEPTEMBER 18, 2023



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DEVELOPMENT OBJECTIVES

PROPOSAL [3.0]

PROJECT INFORMATION

SITE ADDRESS: 3831 Stone Way N
PARCEL NUMBERS: Parcel 1: 8033700060
Parcel 2: 8033700051
Parcel 3: 8033700050
Parcel 4: 2261500030
SDCI NUMBER: 3040198-EG
APPLICANT: **Permit Consultants NW**
17479 7th Ave SW
Normandy Park, WA 98166
CONTACT: **Jodi Patterson-O'Hare**
Jodi@permitcnw.com
(425) 681-4718
ZONING: NC2-75 (M1)
DESIGNATION: Fremont Hub Urban Village

PROJECT TEAM

DEVELOPER: **3837 Stone Way Apartments, LLC**
1900 South Norfolk St, Suite 150
San Mateo, CA 94403
ARCHITECT: **Jones Architecture**
120 NW 9th Ave , Suite 210
Portland, OR 97209
Meaghan Bullard
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MG2
1101 2nd Avenue #100
Seattle WA, 98101
Eli Hardi
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206-962-6886
LANDSCAPE: **PLACE**
735 NW 18th Ave,
Portland, OR 97209
Tim Clemen
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503-334-1640

PROJECT DATA

SITE AREA: 38,226 SF
GROSS BUILDING AREA: 203,117 SF
COMMERCIAL AREA: 2,819 SF
UNIT COUNT: 231
BELOW GRADE PARKING: 157
FLOORS ABOVE GRADE: 7

PROPOSAL

The project site is centrally located in the Wallingford neighborhood and is uniquely positioned at the convergence of two major commercial and circulation corridors. Stone Way N to the east and Bridge Way N to the northwest intersect north of the site bringing traffic from the southern areas of the Wallingford neighborhood and from across Lake Union. The neighborhood has a rich history with a diverse architectural character. As density increases, commercial cores such as Stone Way are becoming more prominent in the area.

In response to the unique location and triangular shape of the site, along with feedback from the community, the proposed design strives to contribute to and enhance the existing urban context and serve as a gateway to the neighborhood beyond. It seeks to connect the rich detailing of historic Seattle apartment buildings with modern high-quality materials and well-proportioned fenestration interwoven to provide desirable residential units and active pedestrian-oriented streetscapes.



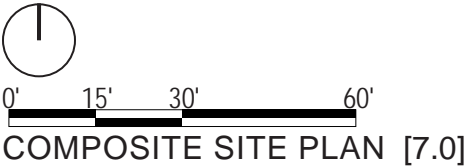
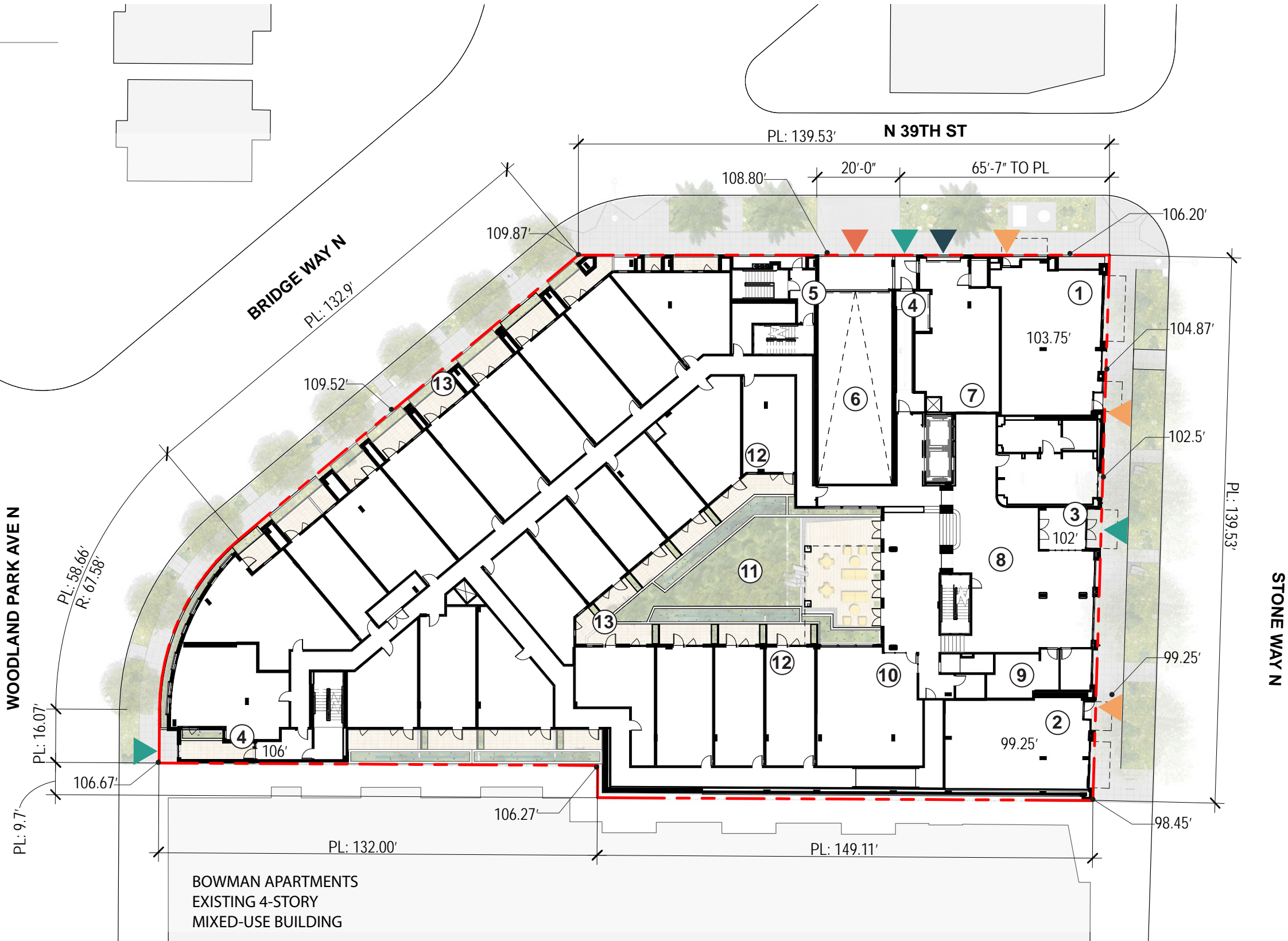
9-BLOCK AXON

EXISTING SITE CONDITIONS [5.0]

KEY

- SERVICE ENTRY
- RESIDENTIAL ENTRY
- RETAIL ENTRY
- PARKING ENTRY

- 1 NORTH RETAIL
- 2 SOUTH RETAIL
- 3 PRIMARY RESIDENTIAL LOBBY ENTRY
- 4 SECONDARY RESIDENTIAL ENTRY
- 5 UPPER LEVEL & PARKING EXIT
- 6 PARKING RAMP
- 7 TRASH ROOM
- 8 LOBBY
- 9 LEASING OFFICE & WORKROOM
- 10 AMENITY SPACE
- 11 COURTYARD
- 12 UNITS
- 13 EXTERIOR TERRACES

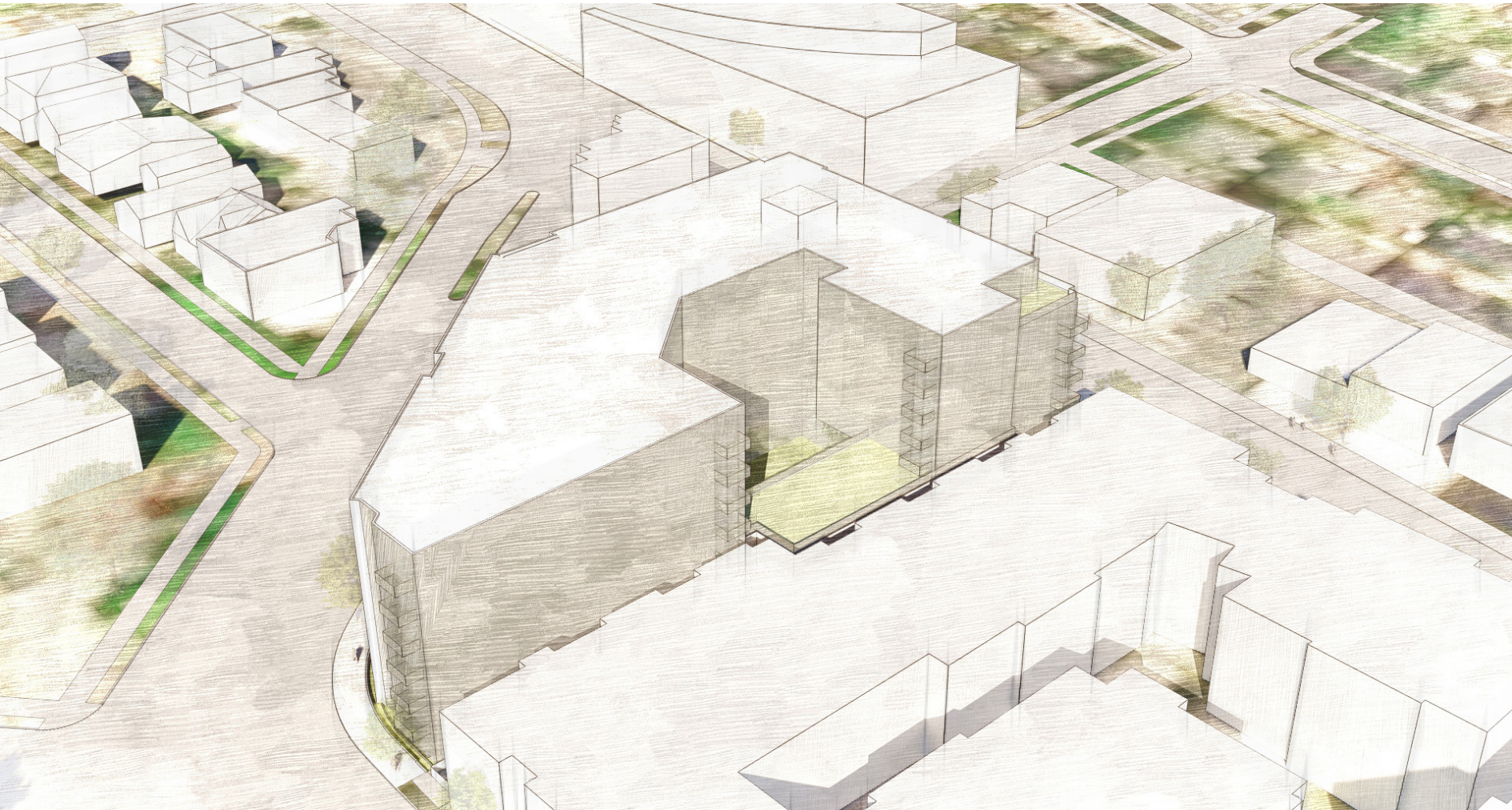


8.0

EDG RESPONSE

SUPPORTED DESIGN:

- The Board discussed the analysis appropriately identified the project site as a **gateway site**
- The Board favored the applicant’s **preferred scheme, Scheme C**
- The Board identified that Scheme C provided a **strong street frontage**
- The Board **supported the A/B architectural language** in Scheme C included in the **massing**
- The Board **supported** the location of the **interior courtyard**
- The Board identified that Scheme C provided an **appropriate open space orientation to the south** which will make the courtyard more successful
- The Board supported the **concentration of driveway access, trash storage, and utility rooms along N 39th St**
- The Board supported the location of the **ground story units on Bridge Way N**



DESIGN OPPORTUNITIES:

- The Board recommended **further site analysis** on the influence of design and how the design fits into the evolving Stone Way N context
- The Board asked to see a **clearer set of massing rules** in relation to the A/B languages
- The Board requested further details on the courtyard, lobby, street connection, and the **sense of arrival**
- The Board requested finish floor elevations of the commercial spaces to show the **connection between retail spaces and the adjacent sidewalk**
- The Board requested the applicant provide buffers in the recommendation packet for the ground level units
- The Board discussed another entry into the building from Bridge Way N. and requested the applicant study incorporating a second entry from Bridge Way N.
- The Board requested the **solid waste** collection be resolved with a plan in place
- The Board recommended the **A/B materials relate to the windows and balcony proportions** as well as the massing changes

EDG RECAP: SCHEME C (PREFERRED)
EDG RESPONSE [8.0]

CONTEXT & SITE



PUBLIC LIFE



DESIGN CONCEPT



PROJECT GUIDING PRINCIPLES

- Establish a **sense of place** along the evolving Stone Way N commercial corridor
- Reinforce **urban frontages with a well-proportioned massing** that engages the pedestrian realm and acts as a **gateway** to the greater Wallingford neighborhood.
- Orient the courtyard to be South-facing in order to **maximize access to daylight while decreasing building mass** at the neighbor's shared property line.
- Establish an **architectural expression that draws from the surrounding historic context** and creates a sense of permanence and timelessness.

- Locate **distributed access points** for building users which engage all public frontages.
- Establish a **mid-block residential entry flanked by commercial spaces** to activate the pedestrian realm along Stone Way N
- **Buffer ground story residential units** from the right-of-way with deep terraces, plantings, and architectural elements for privacy and occupant comfort.
- Define the ground story with **human-scaled architectural elements** to create a pleasing rhythm and proportion for the pedestrian realm.

- Continue **strong urban frontages** to contribute to the overall character of the emerging neighborhood
- Establish a **well-proportioned massing with a strong masonry shell** that wraps the building and is modulated with reveals of a secondary, lighter metal language.
- **Use high-quality, finely detailed materials** that are informed by the historic character of the neighborhood context, detailed in a way to create a sense of timelessness.
- Orient the courtyard to **maximize access to daylight for residential units**.

NARRATIVE: The project is a mid-rise, mixed-use building located along an established but evolving commercial corridor; the architectural language, scale, and proportion draws from the existing and emerging context while activating the public realm.

EDG COMMENTS: *The Board noted the analysis lacked information the architect was drawing inspiration from to create the three massing schemes. Board members discussed how the analysis showed a number of context sites, however, more sites along Stone Way would have been beneficial. Additional analysis was needed to show how the existing buildings influence the design and how the building's design fits with other Stone Way developments given the evolving context of the neighborhood.*

EDG RESPONSE: A mid-rise, mixed-use multi-family building fits within the evolving Stone Way N corridor, weaving together the existing urban fabric and establishing continuity between existing commercial spaces along Stone Way N. The project locates ground story residential units along Bridge Way, reflecting the established pattern across street and strengthening the existing fabric. The architectural language of the proposed building draws from the site's historic context, finding inspiration from the historic masonry buildings that display similar proportions, material language, and scale / orientation of window openings making the proposed building distinctive amongst its immediate context. Please see adjacent images for emerging architectural context along Stone Way N.

CS3-A, CS2-A, CS2-C, CS1-B, CS2-B



Top: Broadstone Vin; The Hayes on Stone Way
Bottom: Prescott Wallingford Apartments; Bowman

SITE ANALYSIS: EVOLVING STONE WAY N
EDG RESPONSE [8.0]



Top: Smith & Burns
Bottom: University House Wallingford

- ARTICULATED UPPER STORY
- VARIETY OF CORNICE LINES
- PUNCHED WINDOWS
- RECESSED VERTICAL MASSING BREAKS
- BALCONY STACKS
- MID-BLOCK RESIDENTIAL ENTRY
- RHYTHM OF PILASTERS & STOREFRONT GLAZING
- ACTIVE PEDESTRIAN REALM



SITE ANALYSIS: EVOLVING STONE WAY N

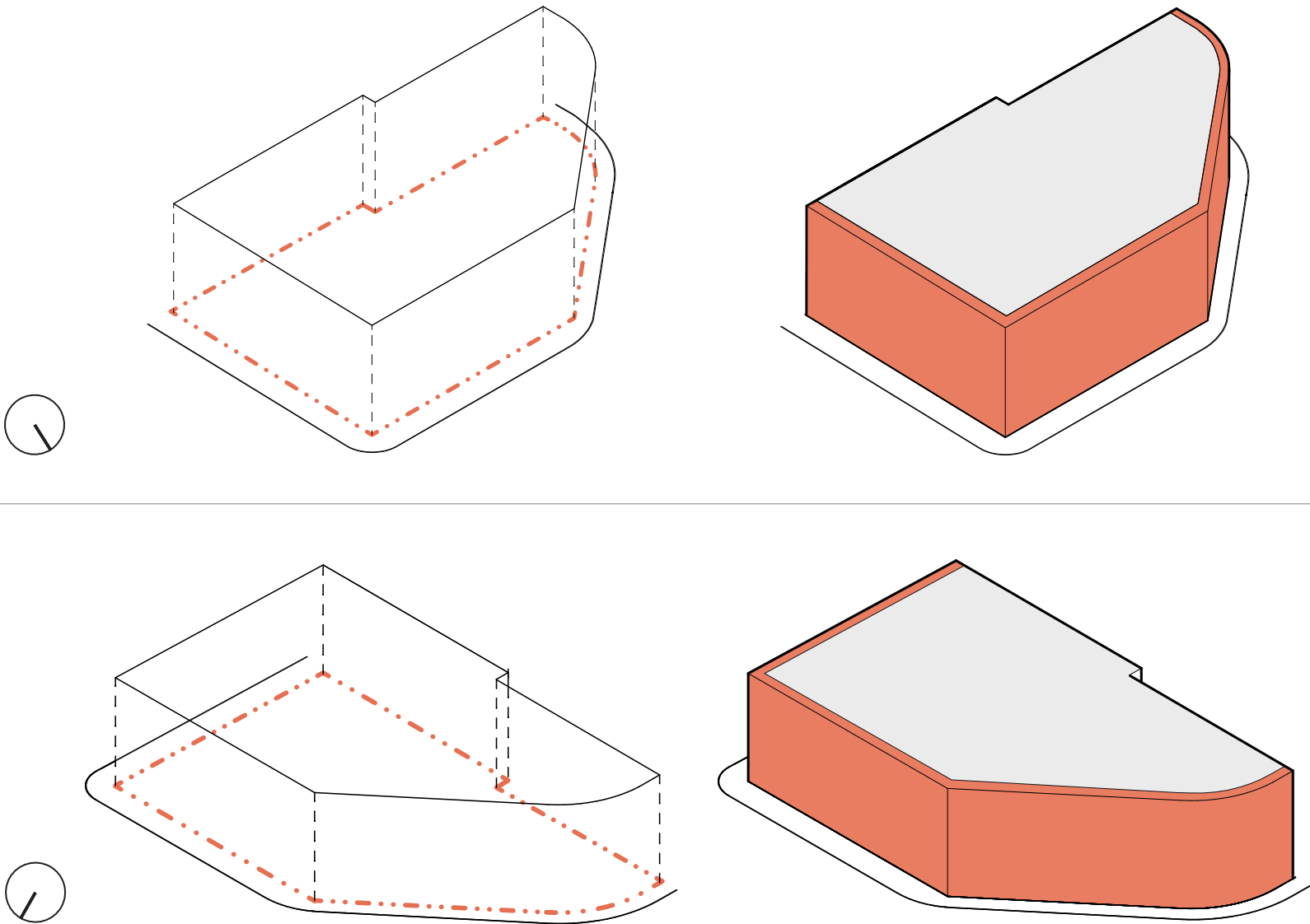
EDG RESPONSE [8.0]

NARRATIVE: The design of the project responds to its unique and irregularly shaped site – a strong masonry urban edge wraps three street frontages, the architectural language of the urban edge is broken down into well-proportioned modules, and a secondary architectural language is introduced between the primary modules and reveals itself at the upper levels to provide a varied cornice line that responds proportionally to the street-level topography. The lighter secondary language opens to the South-facing courtyard.

EDG COMMENTS: *Although the Board supported Scheme C, they thought the A/B architectural language concept needed more rigor with a clearer set of rules on how the architectural language applies to the whole building. The Board commented that with three adjacent streets the expression of the A/B language ought to be more successful. The Board members pointed out how the B architectural language started to reveal itself on the ground level along Stone Way. The Board suggested that language continue to wrap around the building as it fronts 39th Street.*

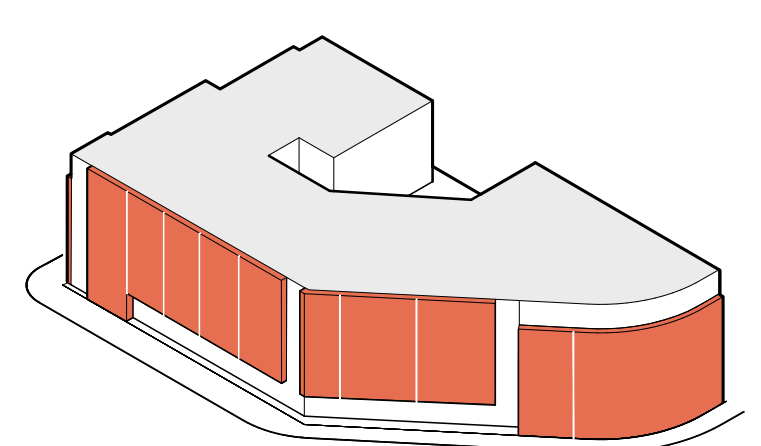
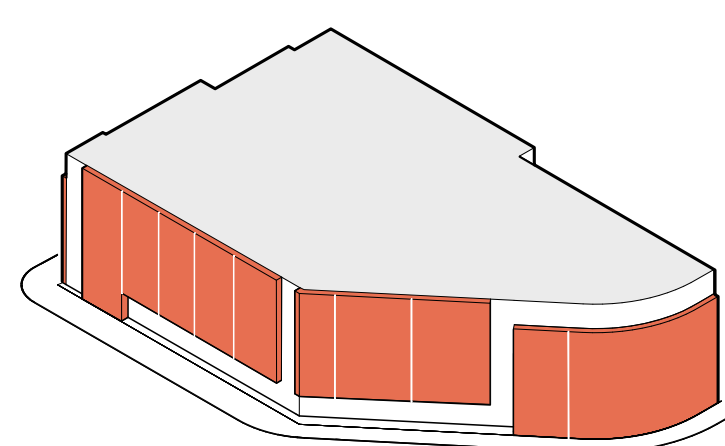
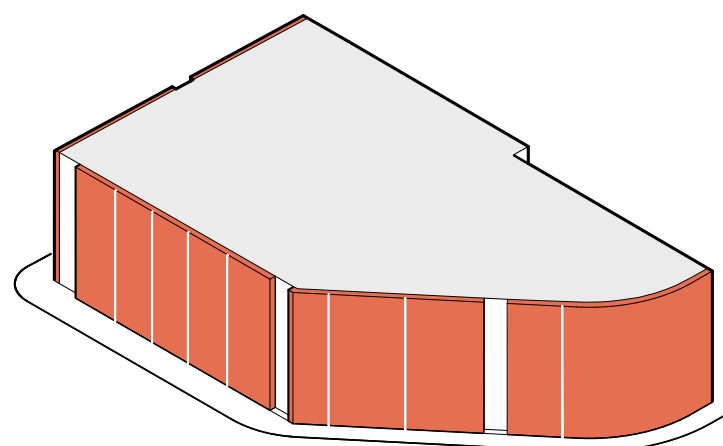
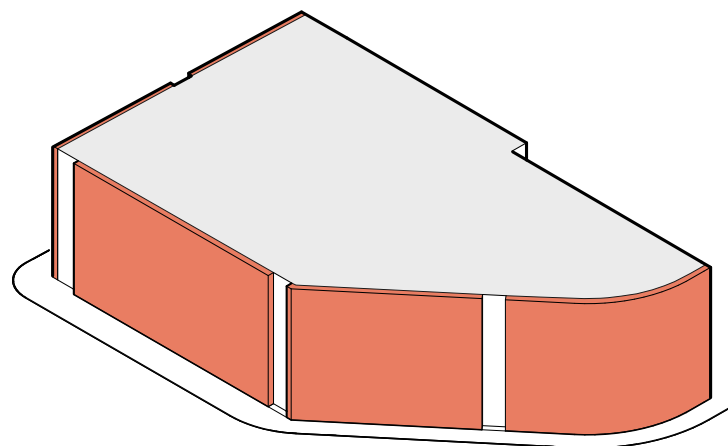
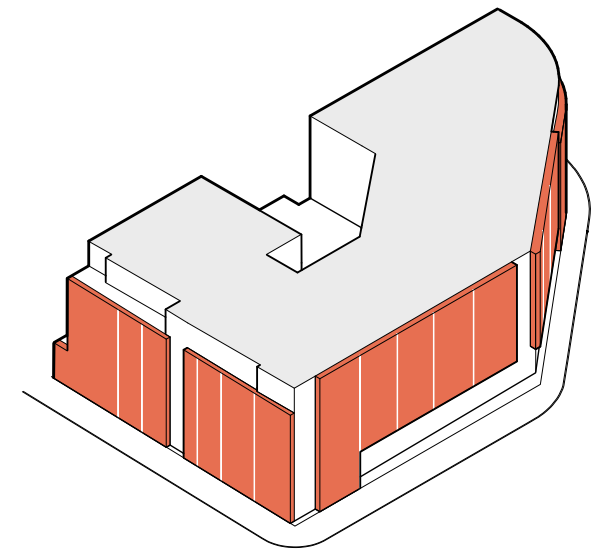
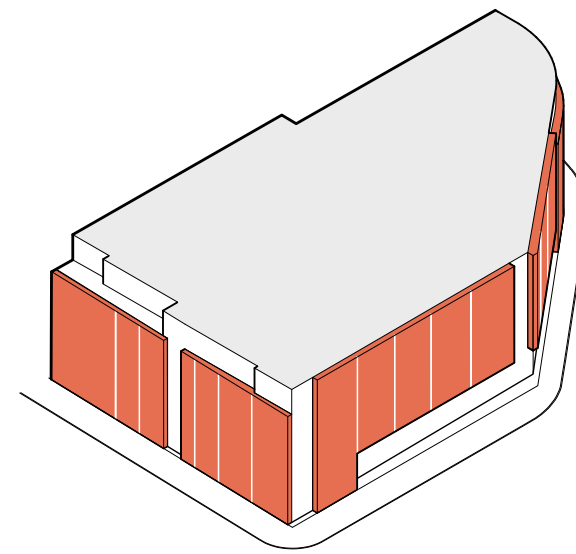
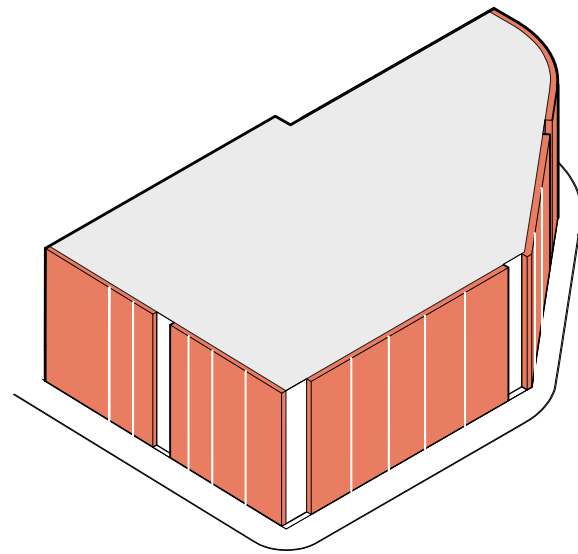
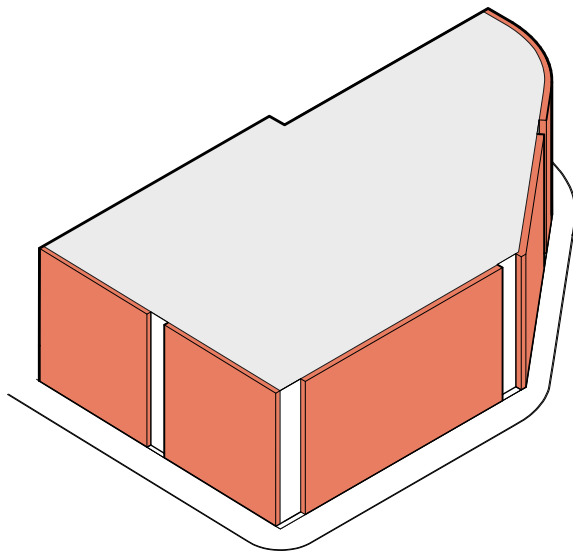
EDG RESPONSE: Refer to adjacent axons and captions for full response.

CS1-C, CS2-A, CS2-B, CS2-C, CS2-D, CS3-A, PL3-A, PL3-B, PL3-C, DC2-A, DC2-B, DC2-C, DC2-D, DC3-B, DC3-C, DC4-A



IRREGULAR SITE: The form and configuration of the building is a direct response to the irregular site - the longest segment is South facing, the three other segments are located along street frontages, the site comes to a point along Bridge Way N, and the building follows the existing curve.

URBAN EDGE: The strong urban edge - a masonry shell with punched openings - faces three street frontages.



MODULATED MASSING & PROPORTIONS: The street facades follow the existing patterning and fabric of the neighborhood and are broken down into well-proportioned modules. The modules are defined by the introduction of a secondary language of vertical recesses.

VERTICALLY ORIENTED BAYS: The well-proportioned modules are further broken down into vertically oriented bays using masonry reveals. The reveal detail creates smaller façade sections that take direct cues from the proportions of both the historic architecture as well as more recent development.

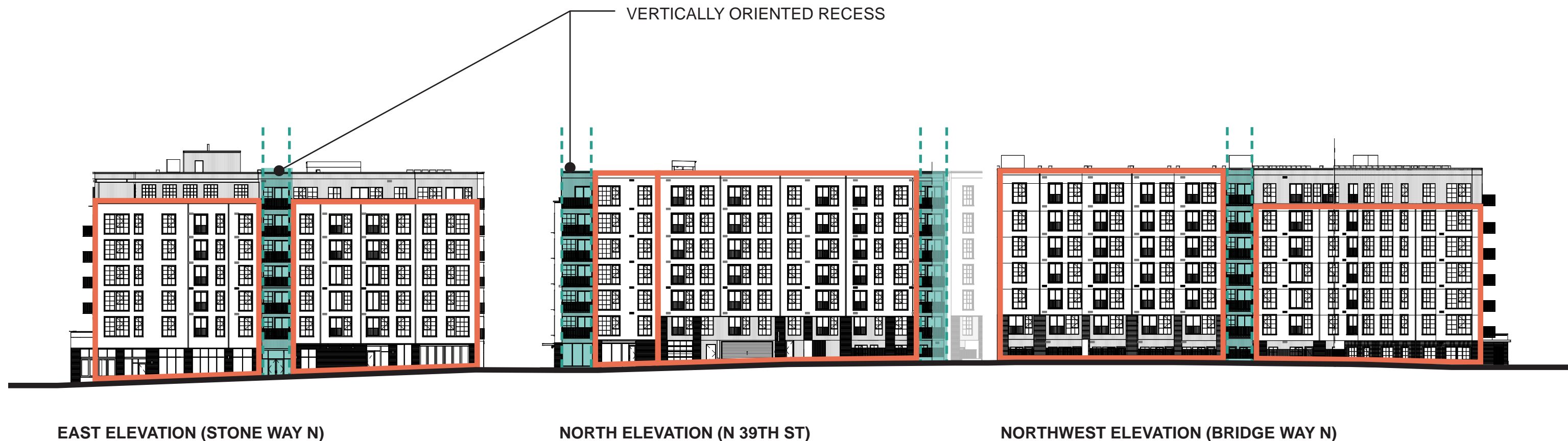
SHIFTING FOR GRADE CHANGE: To maintain a consistent proportion of the masonry modules, the secondary language is introduced at the 7th story in key locations where the masonry extends to grade to provide variety and visual interest at the top of the building. This shift further strengthens and differentiates the modular expression.

SOUTH-FACING COURTYARD: The courtyard opens to the south and the lighter secondary architectural language wraps the southern façade and interior of the courtyard.

Horizontal modulation is introduced at a finer grain with a rusticated masonry treatment at the ground level of the building and distinguishes the base of the building from the middle. The rusticated base shifts from one story to two stories as the topography rises and correlates to the varied datum at the cornice level.

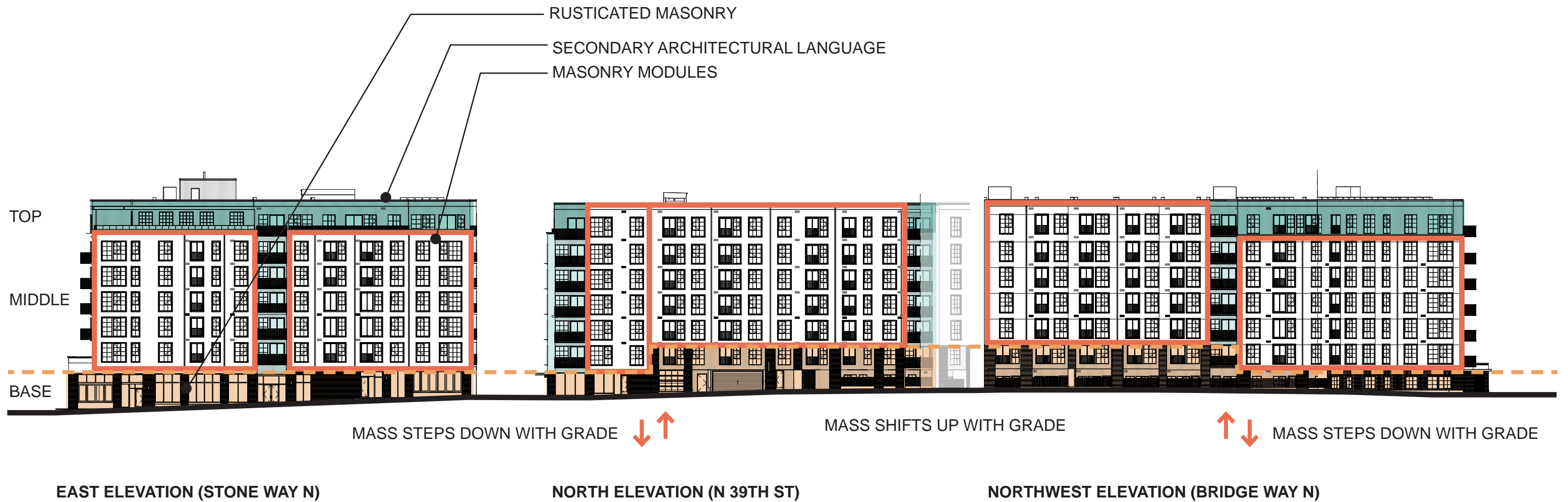
MASSING: CLEAR SET OF RULES

EDG RESPONSE [8.0]



MASSING: CLEAR SET OF RULES: VERTICAL ARTICULATION

EDG RESPONSE [8.0]



MASSING: CLEAR SET OF RULES: HORIZONTAL ARTICULATION

EDG RESPONSE [8.0]

NARRATIVE: The building wraps around a central courtyard that opens to the South on the upper stories. The ground-level courtyard is an extension of the residential lobby which is located mid-block along Stone Way N.

EDG COMMENTS: *In addition, the Board requested further details on the main entry lobby and its connection with the courtyard connection to the sidewalk. The Board requested the recommendation packet include dimensions of the main entry lobby and include details for benches and lighting that would assist in creating a sense of arrival.*

EDG RESPONSE: The residential courtyard and main entrance to the residential lobby, accentuated by plantings inside and out, are arranged on axis, allowing for direct visual connection that extends from the sidewalk through the lobby into the verdant courtyard beyond. Active-use lobby program and adjacent retail spaces to the South and North serve to engage and further activate the street, giving pedestrians the opportunity to interact with interior spaces and commercial program. Lighting is used to accent the architectural rhythm of the pilasters and highlight main points of entry. Please see adjacent plan for dimensional information and lighting plans for fixture types and locations.

(CS2-A, CS2-B, CS2-C, CS3-A, PL3-A)



STONE WAY N LOBBY ENTRANCE

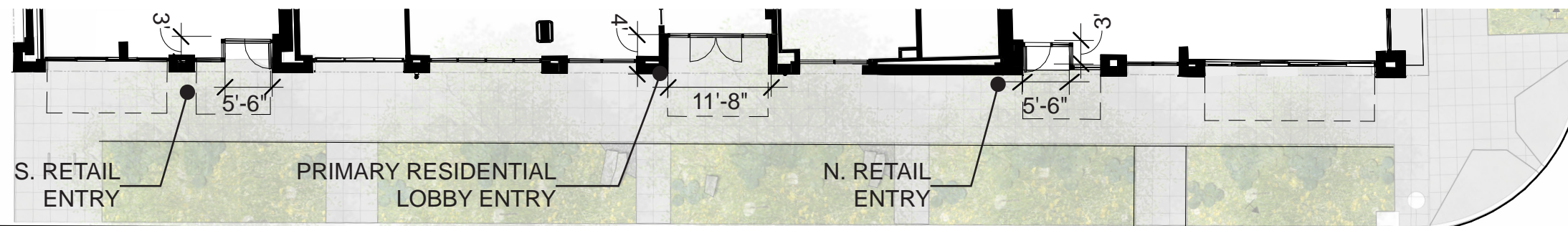
GROUND FLOOR: SENSE OF ARRIVAL
EDG RESPONSE [8.0]



LOBBY & COURTYARD PLAN



Examples of Owner/Developer lobbies with interior greenery & indoor/outdoor connection



ENLARGED LOBBY ENTRY PLAN



GROUND FLOOR: SENSE OF ARRIVAL

EDG RESPONSE [8.0]

NARRATIVE: Two commercial tenant spaces are provided along Stone Way N. The smaller retail space is located south of the residential lobby, the larger space is located at the intersection of Stone Way N and N. 39th Street, benefiting the entire length of Stone Way N with pedestrian activity activated by the building’s commercial uses and residential lobby.

EDG COMMENTS: The Board requested the applicant provide the finish floor elevations of the commercial spaces. In the recommendation packet the design should show the connection between the commercial spaces and the adjacent sidewalk.

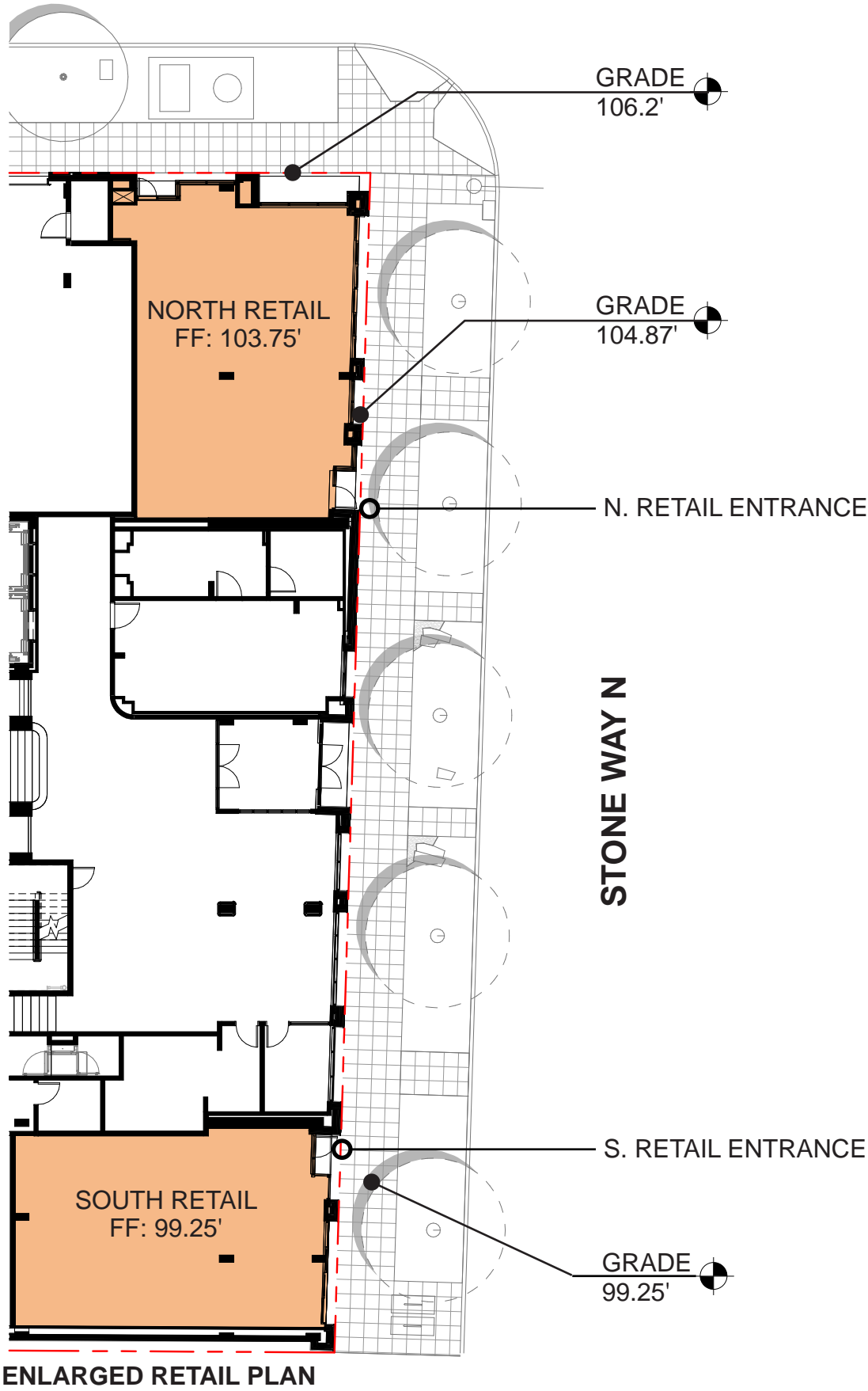
EDG RESPONSE: The finish floor elevations of the commercial spaces correlate to the adjacent grade of the sidewalk, promoting a strong relationship to the pedestrian realm and allowing for accessibility. The retail entrances are situated in generous niches with canopies that provide weather protection for pedestrians. Generous and well-proportioned glazed openings alternate with deep and well-articulated brick pilasters to provide rhythm and variety along the street wall. Please see adjacent plans for ROW and finished floor elevations.

CS2-B, PL3-B



1 SOUTH RETAIL

GROUND FLOOR: COMMERCIAL SPACES
EDG RESPONSE [8.0]





NORTH RETAIL

GROUND FLOOR: COMMERCIAL SPACES

EDG RESPONSE [8.0]



PROMETHEUS



SEALEVEL
PROPERTIES

JONES ARCHITECTURE



MG2 PLACE

NARRATIVE: Units on the ground floor of the building are located along the Bridge Way N frontage.

EDG COMMENTS: *The Board requested the applicant provide buffers in the recommendation packet for the ground level units.*

EDG RESPONSE: Ground story units are buffered from the street and sidewalk with landscape plantings, screens and guardrails, generous exterior terraces, and a change in elevation. Plantings are located in steel planters positioned between deep masonry pilasters along the length of the Bridge Way N frontage. Steel picket screens and guardrails are located at the inner edge of the planters allowing lush landscaping to flank the pedestrian edge while a concrete curb protects plantings from foot traffic and pet waste. Generous and deep exterior terraces separate the residential units from the street and sidewalk. An elevation change between the terraces and the public realm provides additional separation and privacy.

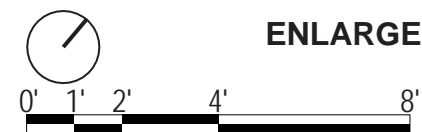
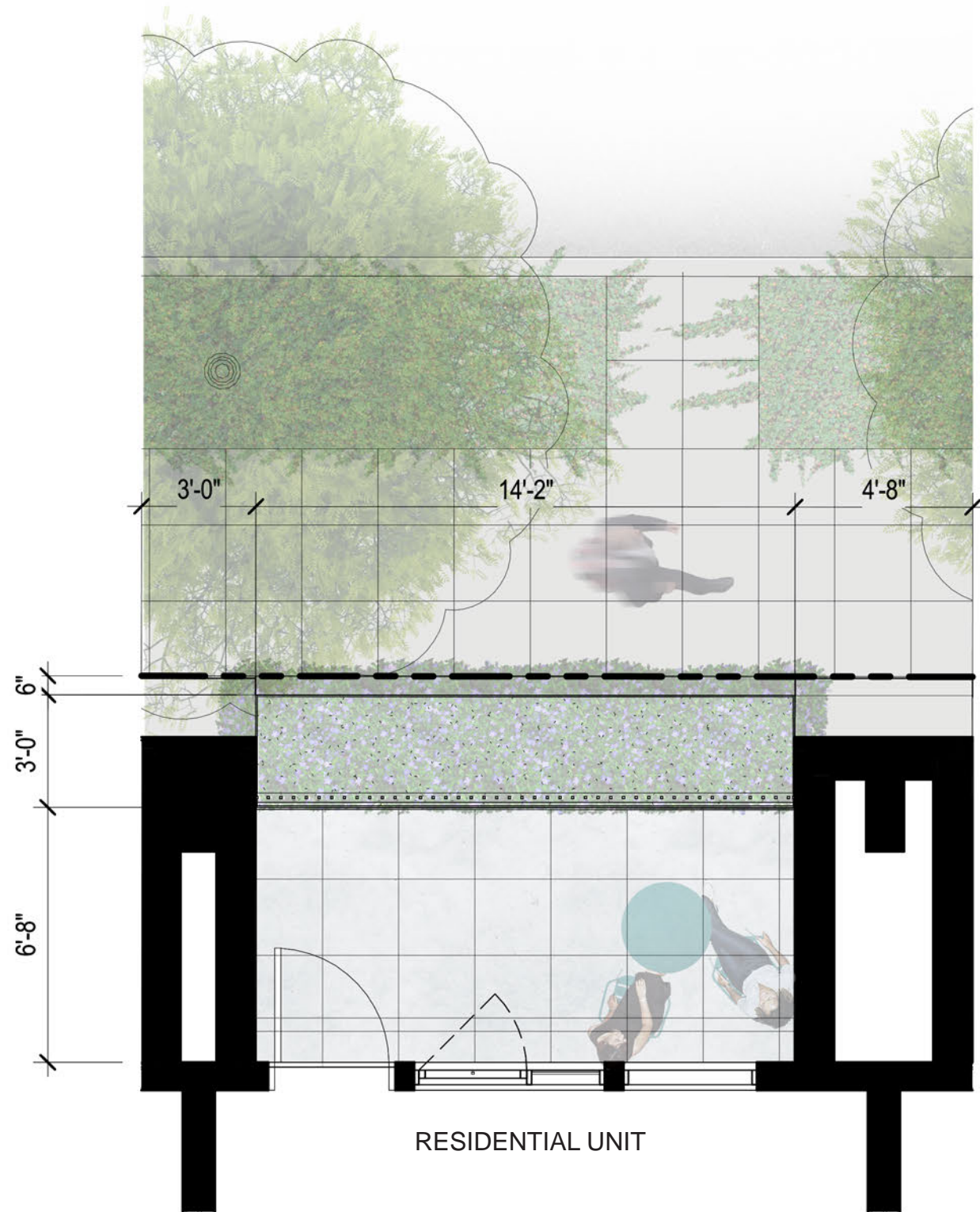
CS1-D, CS2-B.2, CS3-1, PL1-A, PL2-B.1-2, PL2-C, PL3-B, DC2-A, DC2-B, DC2-D, DC3-C



GROUND STORY UNITS

GROUND FLOOR: RESIDENTIAL UNIT BUFFER

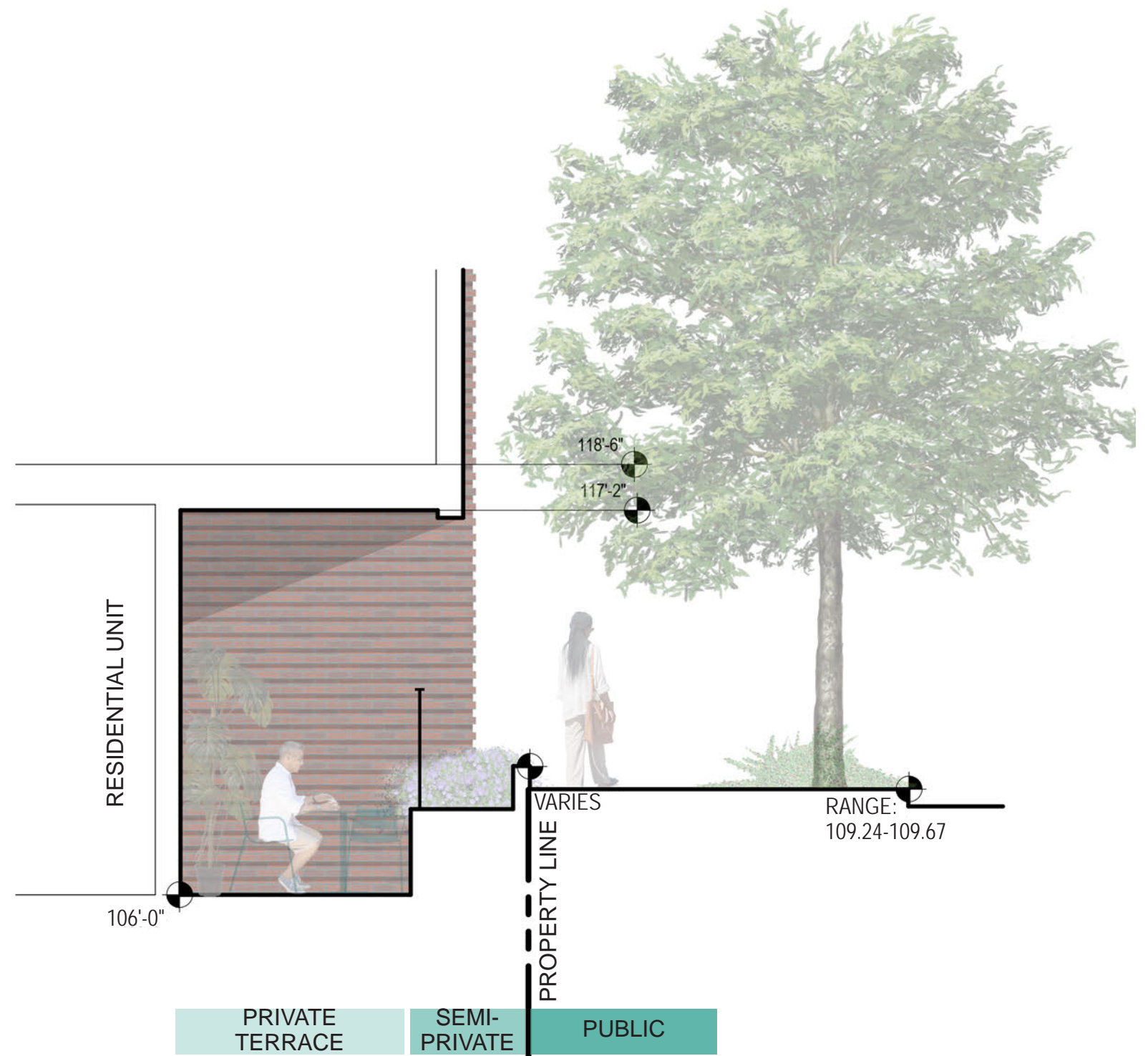
EDG RESPONSE [8.0]



ENLARGED UNIT TERRACE PLAN

GROUND FLOOR: RESIDENTIAL UNIT BUFFER

EDG RESPONSE [8.0]



UNIT TERRACE SECTION

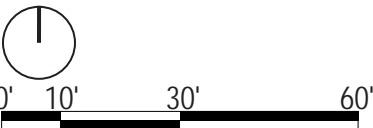
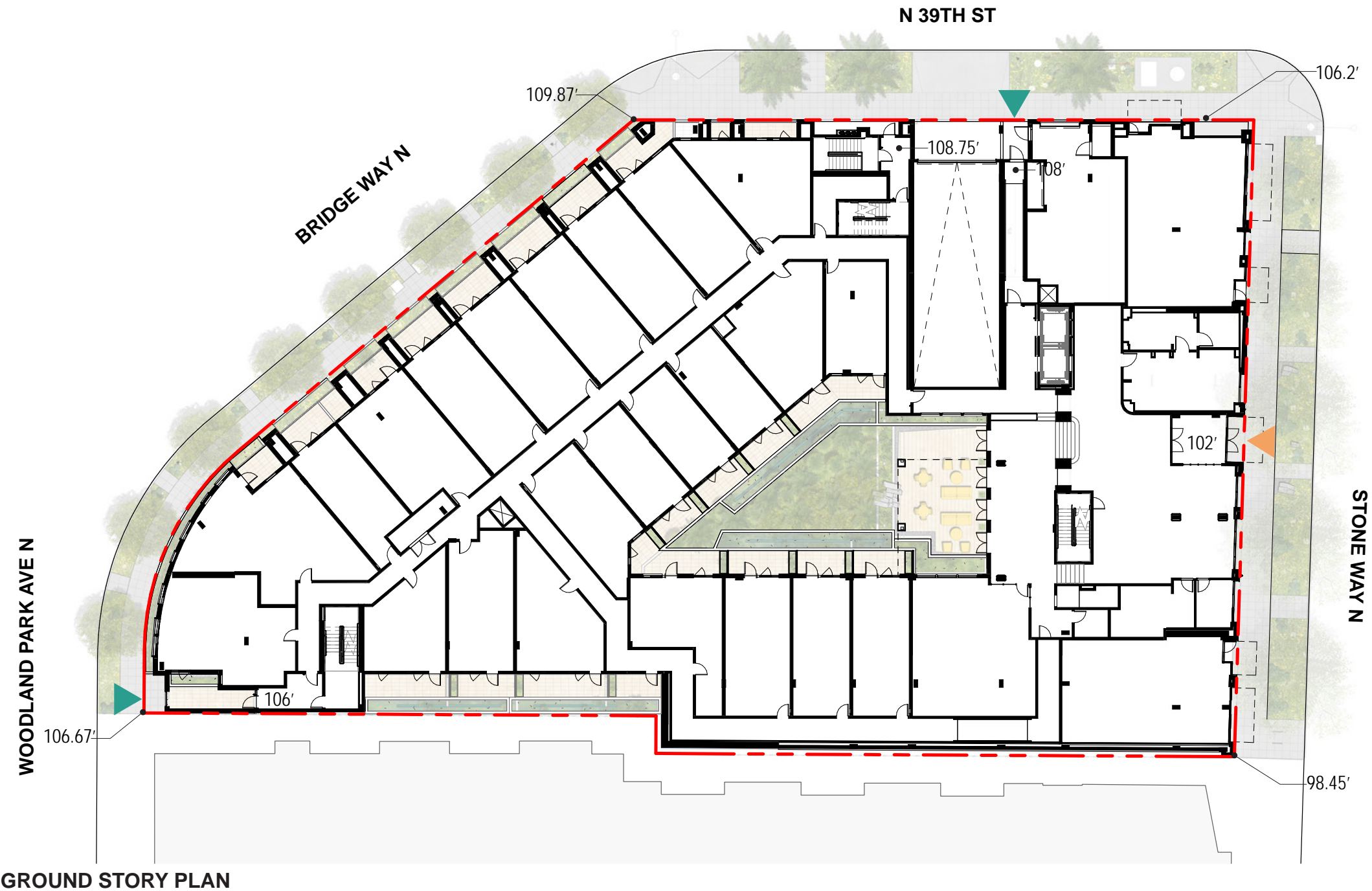
NARRATIVE: The building can be accessed at the pedestrian level through three points of entry, which are distributed around the building and located off all three street frontages.

EDG COMMENTS: The Board had concerns about the overall circulation within the building, specifically the ground level units along Bridge Way N., noting there is a lack of connection from Bridge Way N. to Stone Way N. To address this concern, the Board discussed another entry into the building from Bridge Way N. and requested the applicant study incorporating a second entry from Bridge Way N.

EDG RESPONSE: The primary residential entrance is located mid-block along Stone Way N; a secondary entry is located at the intersection of Woodland Park Avenue and Bridge Way N. One additional entry for residential tenants are located on N 39th Street. In addition to connectivity through the residential entries, three commercial entrances are provided – two along Stone Way and one at the corner of 39th Street.

CS1-C.2, CS2-A, CS2-B, CS2-C, CS2-D, CS3-A, PL2-A, PL2-B, PL3-A, PL3-B

- PRIMARY RESIDENTIAL LOBBY ENTRY
- SECONDARY RESIDENTIAL ENTRY

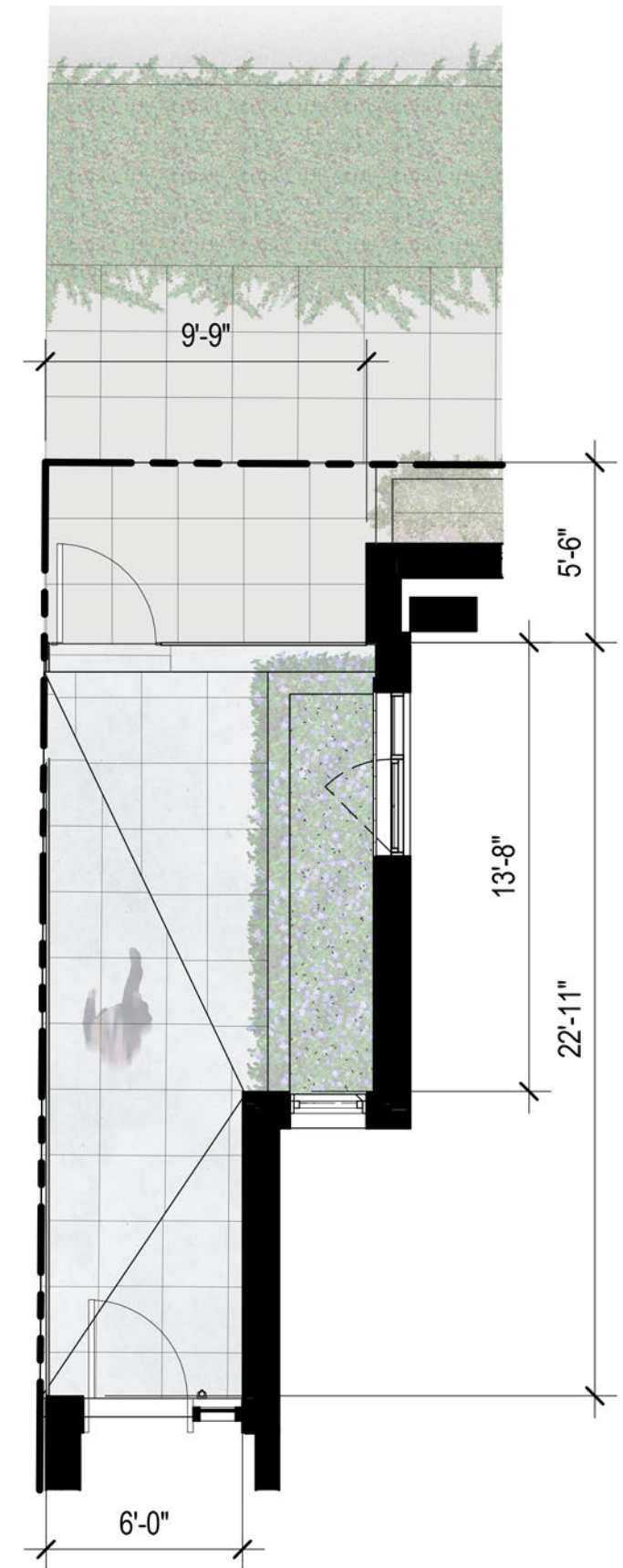


GROUND FLOOR: PEDESTRIAN CONNECTIVITY

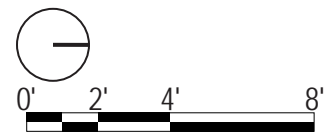
EDG RESPONSE [8.0]



WOODLAND PARK AVE N ENTRY



ENLARGED ENTRY PLAN



GROUND FLOOR: PEDESTRIAN CONNECTIVITY EDG RESPONSE [8.0]

NARRATIVE: Building services and access to the trash storage room are grouped together along N. 39th Street.

EDG COMMENTS: *The Board discussed the proposed service uses along N. 39th Street and supported the concentration of driveway access, trash storage, and utility rooms along the ground level. Board noted that the concentration of these functional uses makes sense along N. 39th Street. The Board requested the solid waste collection be resolved with a plan in place at the recommendation meeting.*

EDG RESPONSE: The design team and owner worked closely with SDOT and SPU and came to an agreement on proposed solid waste plan, and pickup frequency.

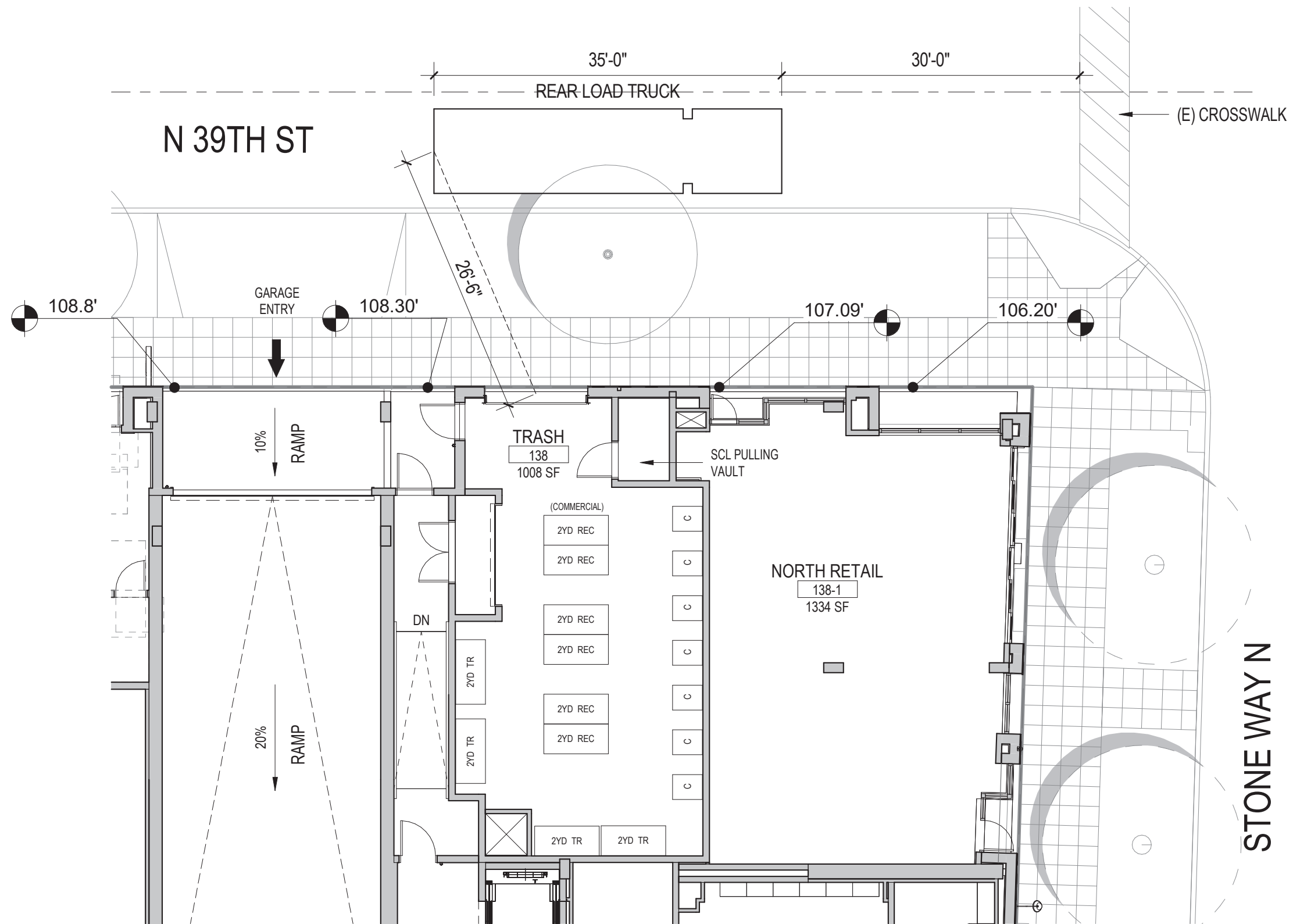
CS2.A.1, CS2.B.2, CS2.C.1, CS3.A.4, PL4.A, DC1.C, DC2.C, DC2.D

	RESIDENTIAL	NON-RESIDENTIAL
GARBAGE	(4) 2 YD CONTAINERS COLLECTED 4-5 DAYS/WEEK	(1) 2 YD CONTAINERS COLLECTED 4-5 DAYS/WEEK
RECYCLING	(4) 2 YD CONTAINERS COLLECTED 4-5 DAYS/WEEK	(2) 2 YD CONTAINERS COLLECTED 1-2 DAYS/WEEK
FOOD WASTE & YARD DEBRIS	(5) 96 GAL CONTAINERS COLLECTED 1 DAY/WEEK	VARIES



N 39TH ST SERVICE ELEVATION

GROUND FLOOR: SOLID WASTE PLAN
EDG RESPONSE [8.0]



ENLARGED TRASH PLAN

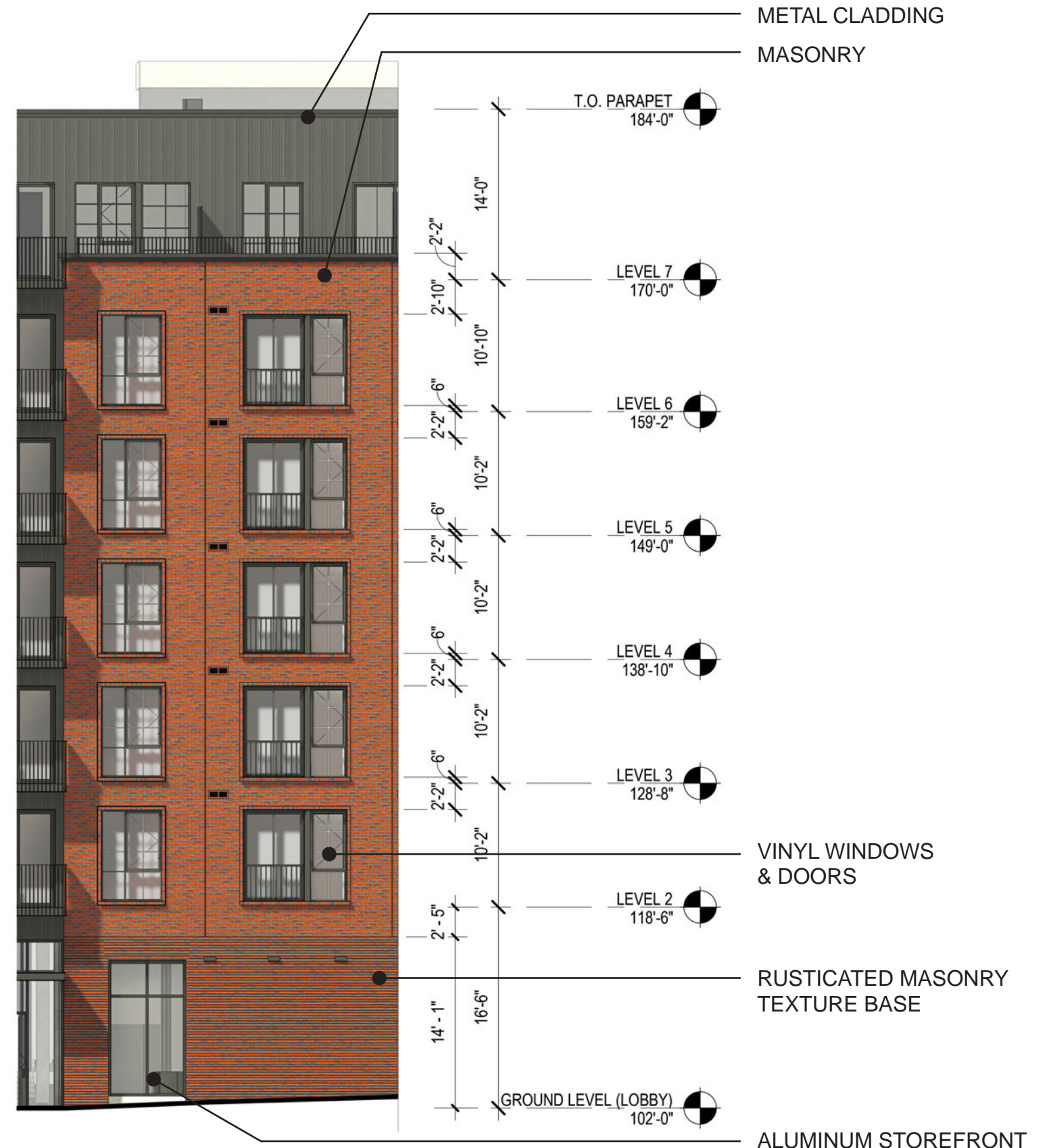


0' 2' 4' 8' 16'

GROUND FLOOR: SOLID WASTE PLAN

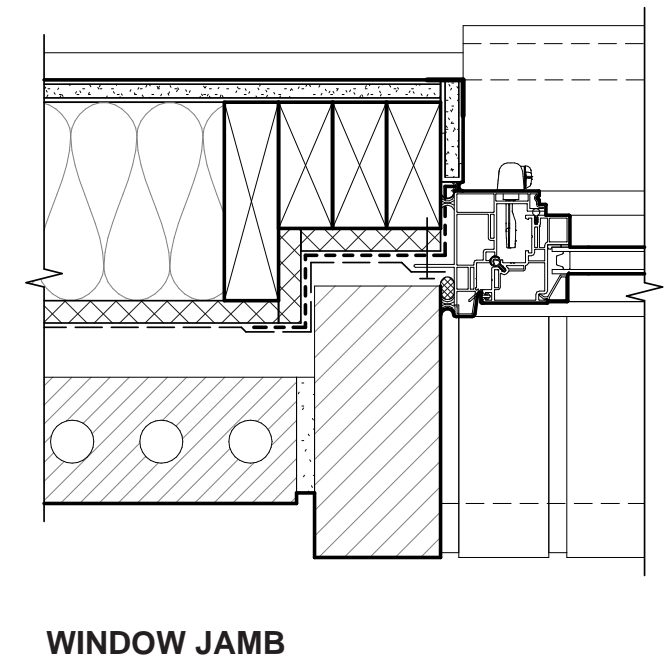
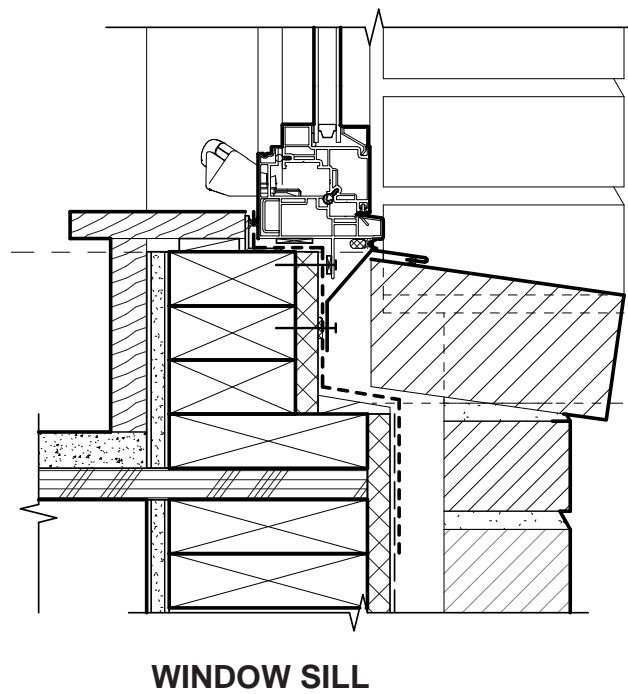
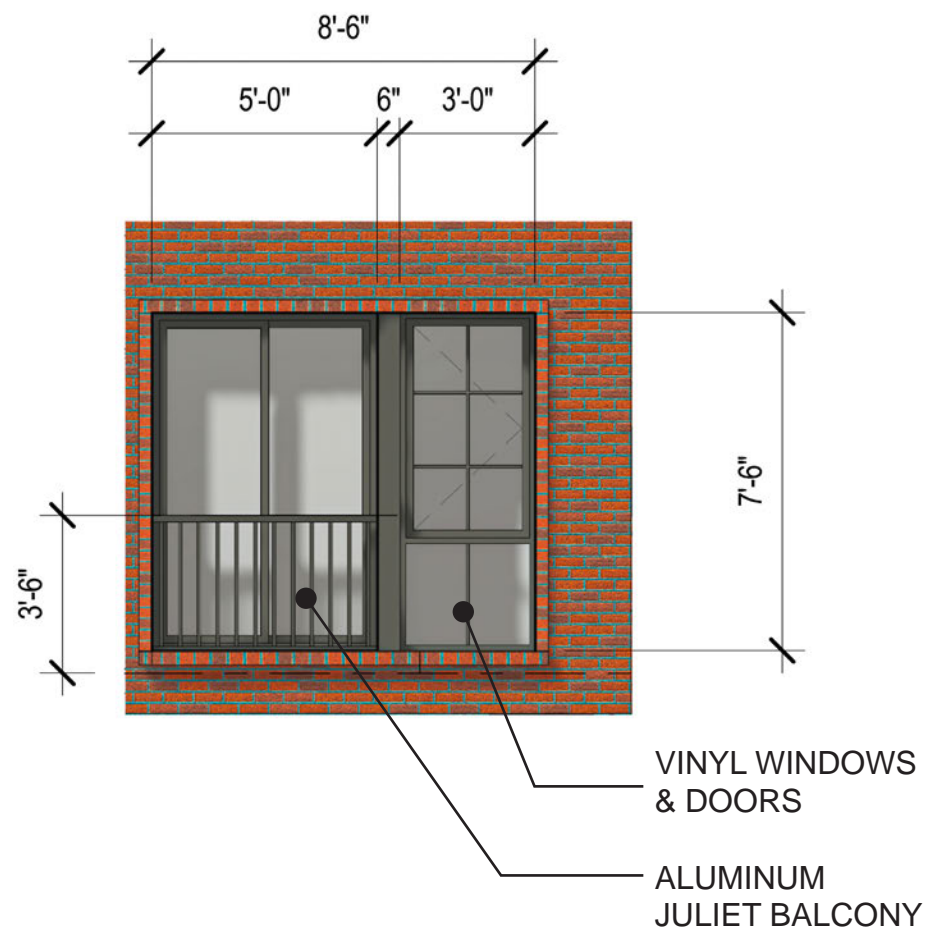
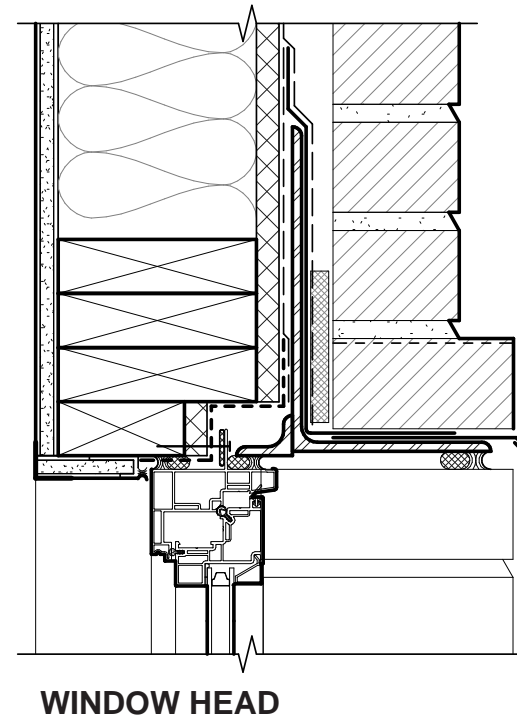
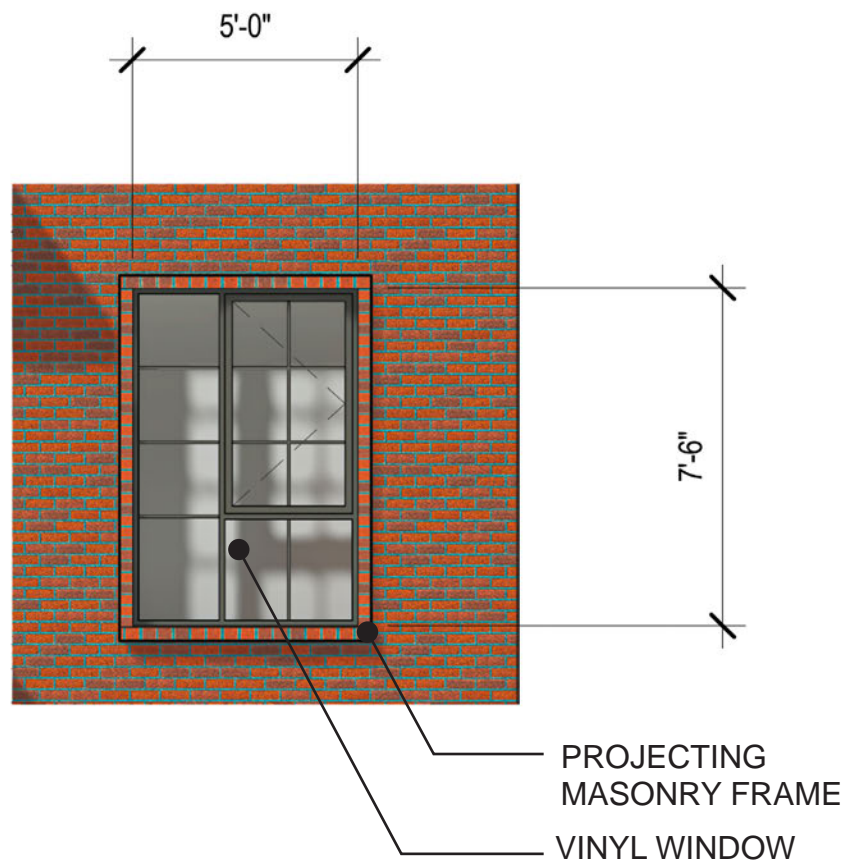
EDG RESPONSE [8.0]

CS2-A, CS2-B, CS2-C, CS2-D, CS3-A, CS3-B,
DC2-A, DC2-B, DC2-C, DC2-D, DC2-E, DC4-A



MATERIALS: A-LANGUAGE PROPORTIONS

EDG RESPONSE [8.0]



MATERIALS: A-LANGUAGE PROPORTIONS

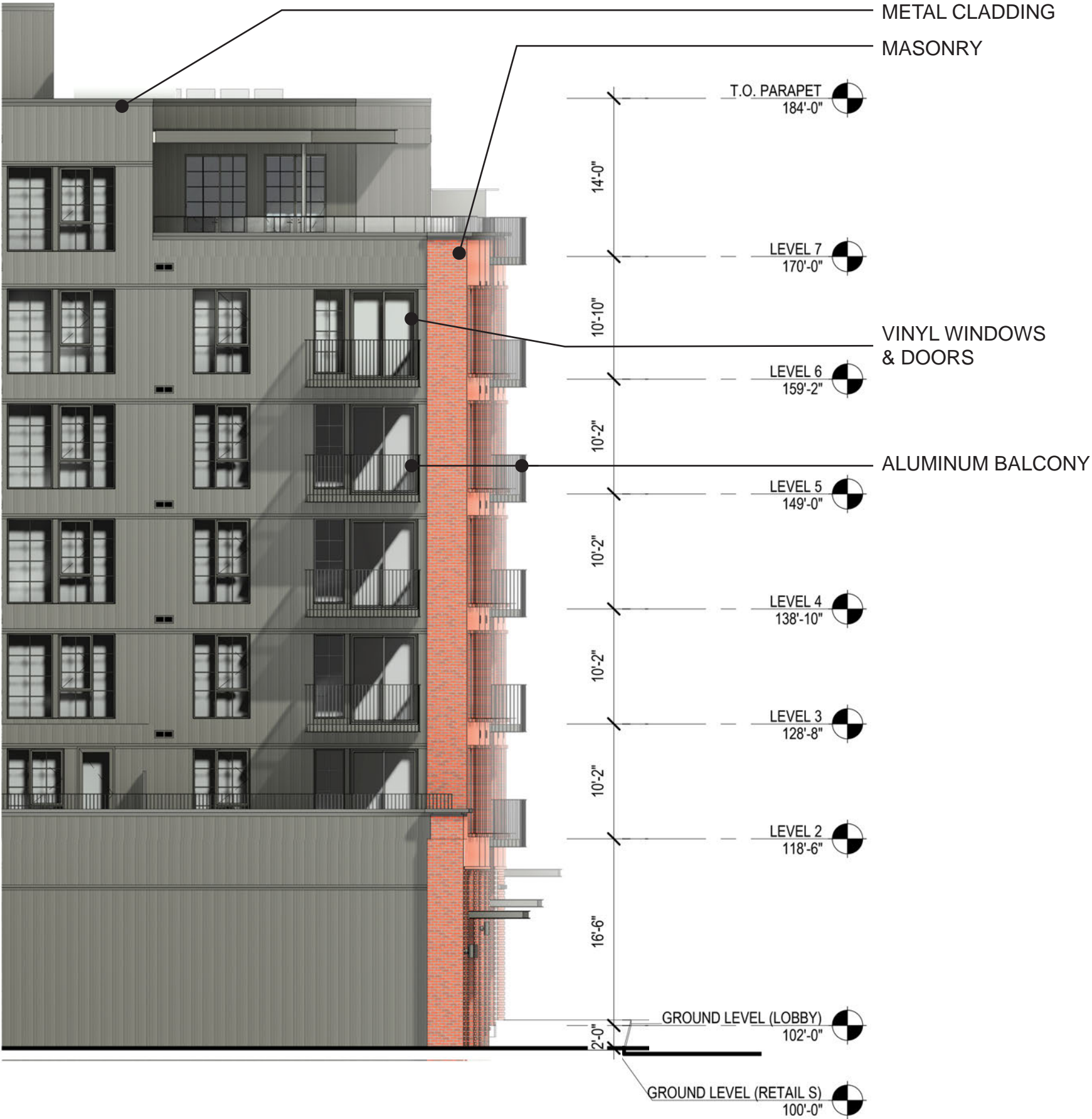
EDG RESPONSE [8.0]

NARRATIVE: The architectural language of the building is based on a refined, restrained, and timeless sensibility. The materials reflect that approach with their limited palette primarily consisting of two contrasting languages. The primary language (A) is traditionally inspired, well-proportioned, and finely detailed masonry with punched openings; the secondary language (B) consists of a contrasting lighter metal panel system that incorporates glazing, balconies, and openings, separating and contrasting with the primary language.

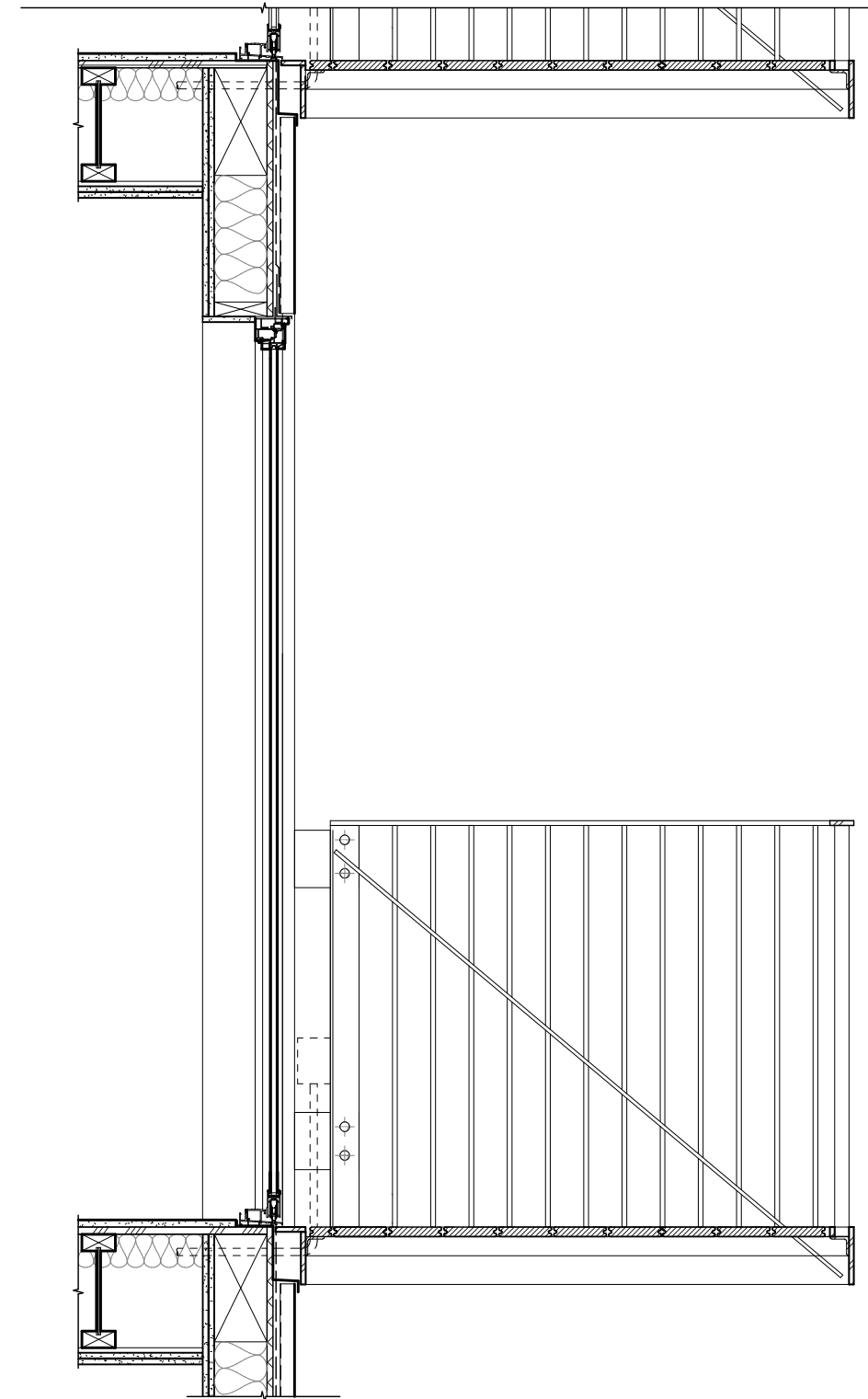
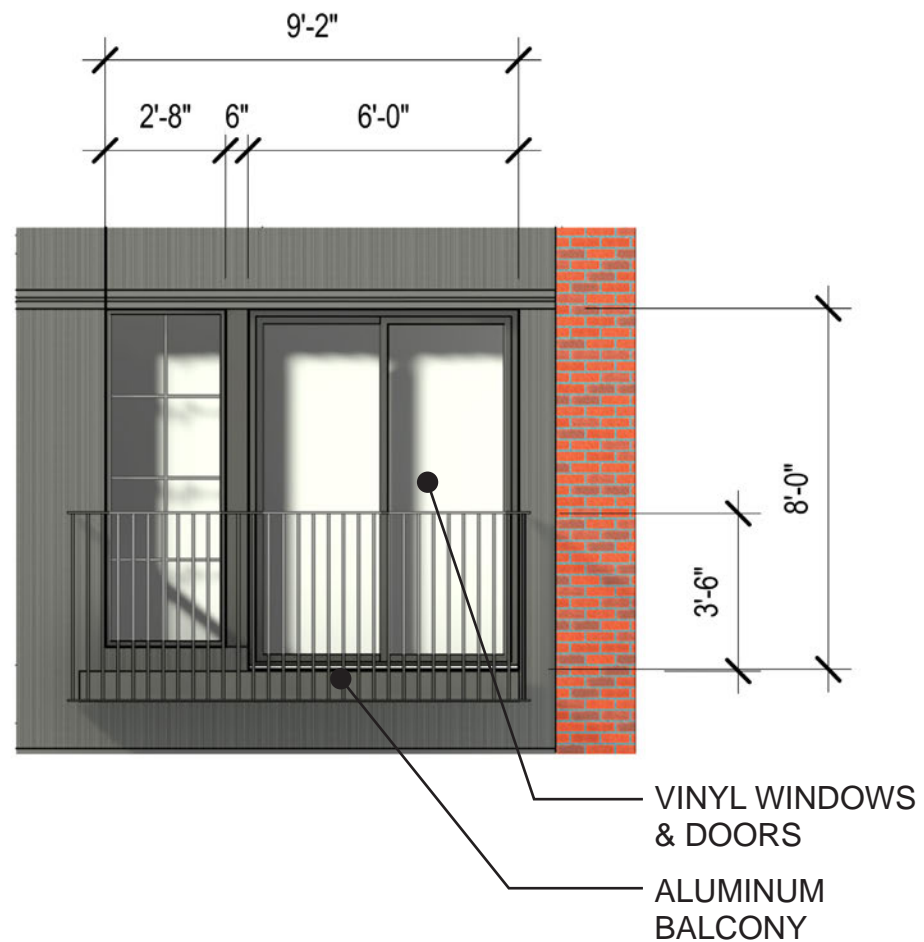
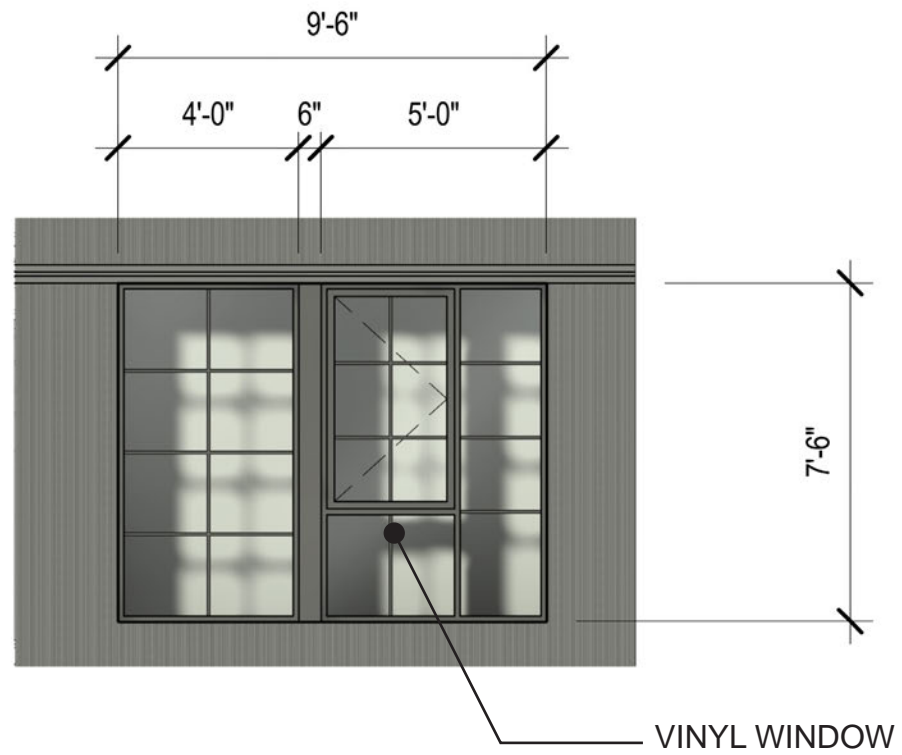
EDG COMMENTS: *The Board discussed the importance of making the A/B architectural language work with the chosen materials across the three street sides of the building. The Board recommended the applicant relate the A/B materials to the resolution of massing changes, noting that the major massing moves of the building need to be executed well. Board members also recommended the A/B architectural language, and associated materials, **relate to window proportions, demonstrate to the reveals and the corner balconies**, and to the entire building.*

EDG RESPONSE: Both the primary and the secondary language are comprised of straight-forward, well-organized stacks of well-proportioned window openings, larger-scale openings with Juliette balconies, and occupied balconies. The masonry window openings are vertically oriented and accentuated with a projecting brick frame for depth and shadow, while the openings in the secondary language are more minimally detailed for a lighter expression.

CS2-A, CS2-B, CS2-C, CS2-D, CS3-A, CS3-B, DC2-A, DC2-B, DC2-C, DC2-D, DC2-E, DC4-A



MATERIALS: B-LANGUAGE PROPORTIONS
EDG RESPONSE [8.0]



SECTION THROUGH BALCONY

MATERIALS: B-LANGUAGE PROPORTIONS

EDG RESPONSE [8.0]

NARRATIVE: Following the clear set of rules previously outlined, the interaction and delineation of the primary and secondary languages is clearly defined.

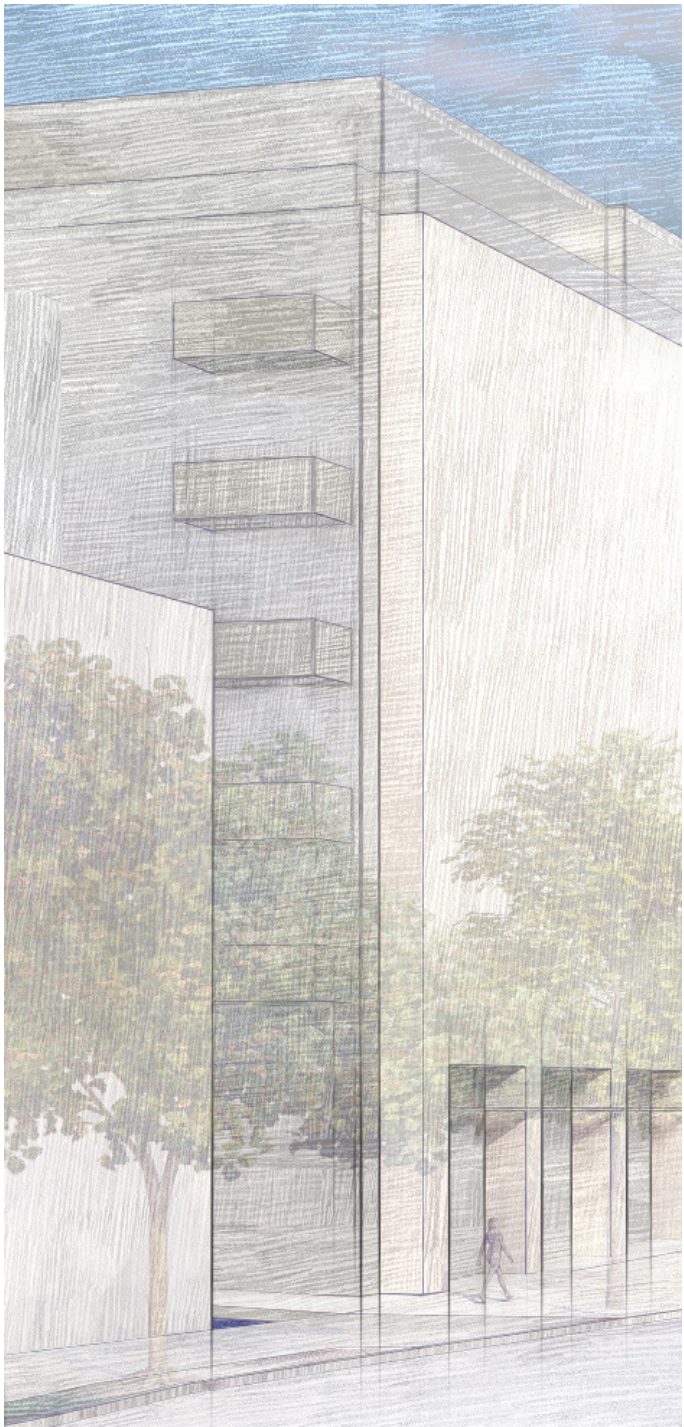
EDG COMMENTS: *The Board discussed the importance of making the A/B architectural language work with the chosen materials across the three street sides of the building. **The Board recommended the applicant relate the A/B materials to the resolution of massing changes, noting that the major massing moves of the building need to be executed well.** Board members also recommended the A/B architectural language, and associated materials, relate to window proportions, demonstrate to the reveals and the corner balconies, and to the entire building.*

EDG RESPONSE: Based on the above observations and feedback, the design team engaged in careful study of corner moments and key material transitions. The design has evolved to include the following responses to specific areas of discussion:

- 1. At the southeast corner the materials come together in a crisp way to reveal a thickened masonry edge that strengthens the overall reading of the masonry.
- 2. The secondary language at the upper story consistently terminates at mid-façade recesses. At these points the secondary language cleanly wraps down the recesses that include occupiable balconies.
- 3. At the northeast corner, the alignment of the upper-story secondary language has been refined as suggested to align crisply with the adjacent masonry edge.
- 4. Additionally, the architectural massing and material articulation has been substantially reconfigured to clarify the concept. For instance, the masonry now follows the curve of the site and terminates at the southwest corner where it reveals a thickened masonry edge before transitioning to the lighter secondary language that clads the south-facing façade.

CS2-A, CS2-B, CS2-C, CS2-D, CS3-A, CS3-B, DC2-A, DC2-B, DC2-C, DC2-D, DC2-E, DC4-A

MATERIALS: A/B LANGUAGE
EDG RESPONSE [8.0]

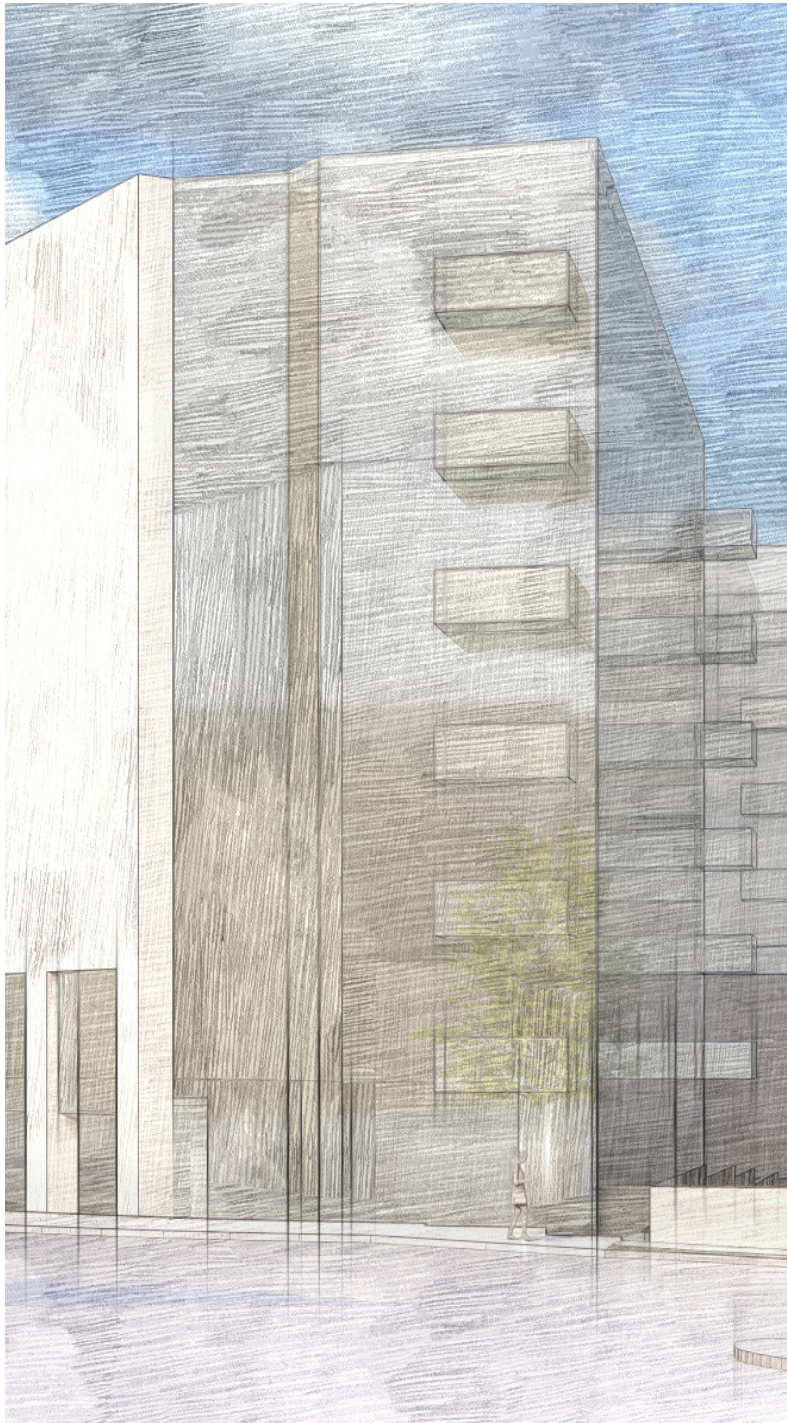


① SOUTHEAST CORNER @ EDG



① SOUTHEAST CORNER

- 1. Clarified material expression at corner

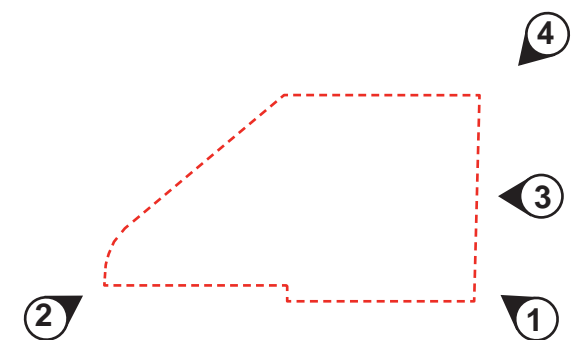


② SOUTHWEST CORNER @ EDG



② SOUTHWEST CORNER

1. Clarified material expression at corner
4. Simplified building geometry to respond to site and clarify concept



MATERIALS: A/B LANGUAGE

EDG RESPONSE [8.0]



NARRATIVE: Following the clear set of rules previously outlined, the interaction and delineation of the primary and secondary languages is clearly defined.

EDG COMMENTS: *The Board discussed the importance of making the A/B architectural language work with the chosen materials across the three street sides of the building. **The Board recommended the applicant relate the A/B materials to the resolution of massing changes, noting that the major massing moves of the building need to be executed well.** Board members also recommended the A/B architectural language, and associated materials, relate to window proportions, demonstrate to the reveals and the corner balconies, and to the entire building.*

EDG RESPONSE: Based on the above observations and feedback, the design team engaged in careful study of corner moments and key material transitions. The design has evolved to include the following responses to specific areas of discussion:

- At the southeast corner the materials come together in a crisp way to reveal a thickened masonry edge that strengthens the overall reading of the masonry.
- The secondary language at the upper story consistently terminates at mid-façade recesses. At these points the secondary language cleanly wraps down the recesses that include occupiable balconies.
- At the northeast corner, the alignment of the upper-story secondary language has been refined as suggested to align crisply with the adjacent masonry edge.
- Additionally, the architectural massing and material articulation has been substantially reconfigured to clarify the concept. For instance, the masonry now follows the curve of the site and terminates at the southwest corner where it reveals a thickened masonry edge before transitioning to the lighter secondary language that clads the south-facing façade.

CS2-A, CS2-B, CS2-C, CS2-D, CS3-A, CS3-B, DC2-A, DC2-B, DC2-C, DC2-D, DC2-E, DC4-A



③ MID-BLOCK REVEAL @ EDG



③ MID-BLOCK REVEAL

2. Material clarity at balcony reveal

MATERIALS: A/B LANGUAGE

EDG RESPONSE [8.0]

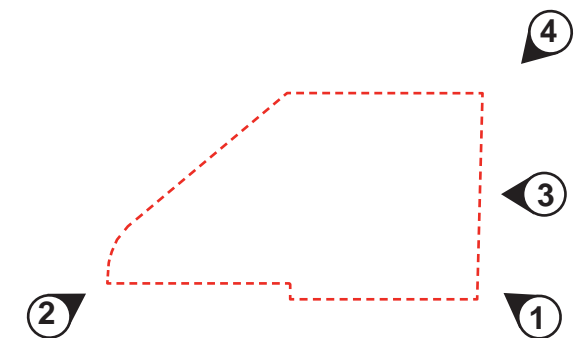


④ NORTHEAST CORNER REVEAL @ EDG



④ NORTHEAST CORNER REVEAL

3 Clarified relationship of primary / secondary materials



MATERIALS: A/B LANGUAGE

EDG RESPONSE [8.0]



NE AERIAL RENDERING
EDG RESPONSE [8.0]



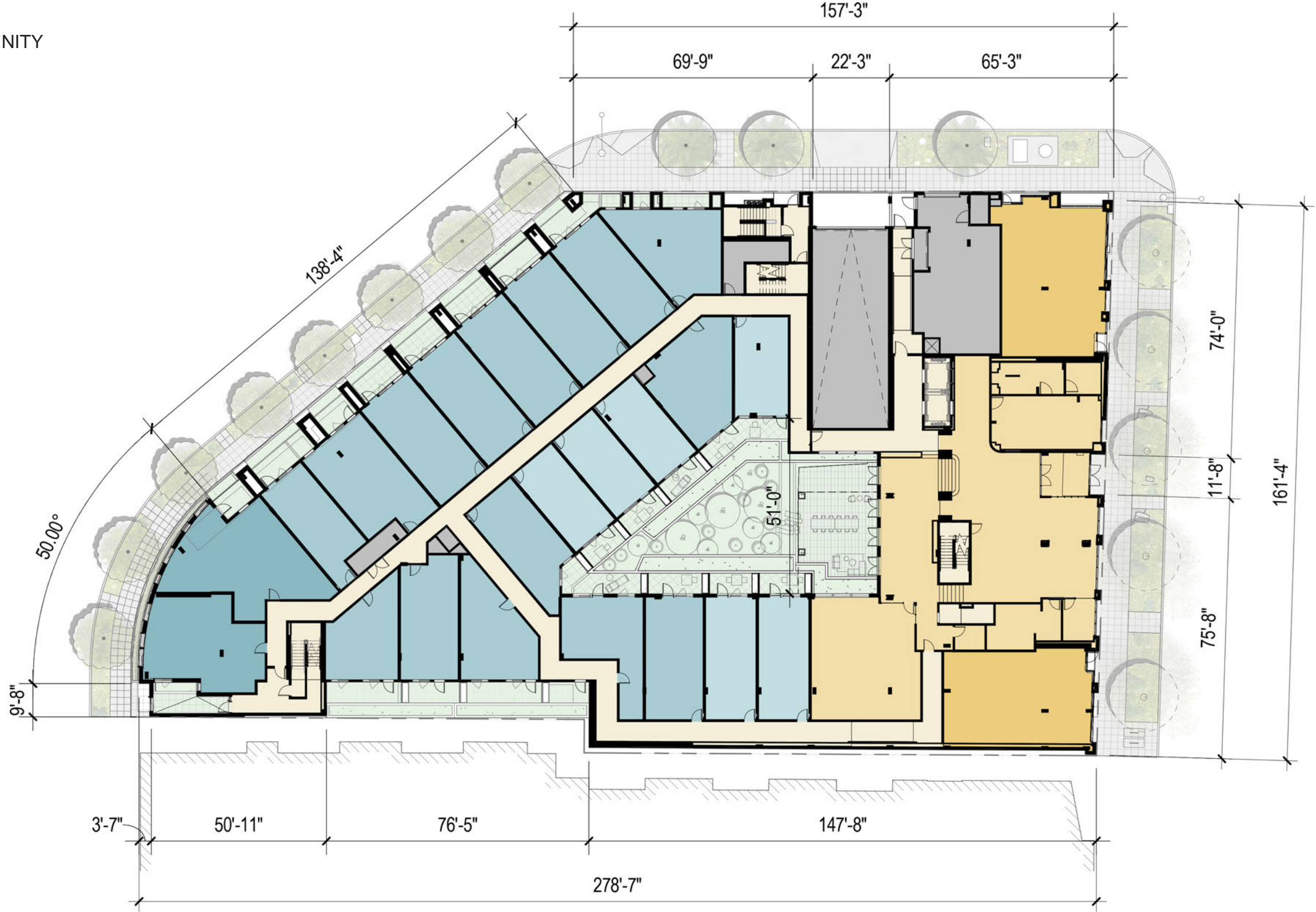
NE AERIAL RENDERING
 EDG RESPONSE [8.0]

9.0

FLOOR PLANS

MAJOR USES

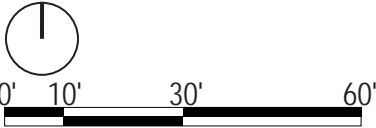
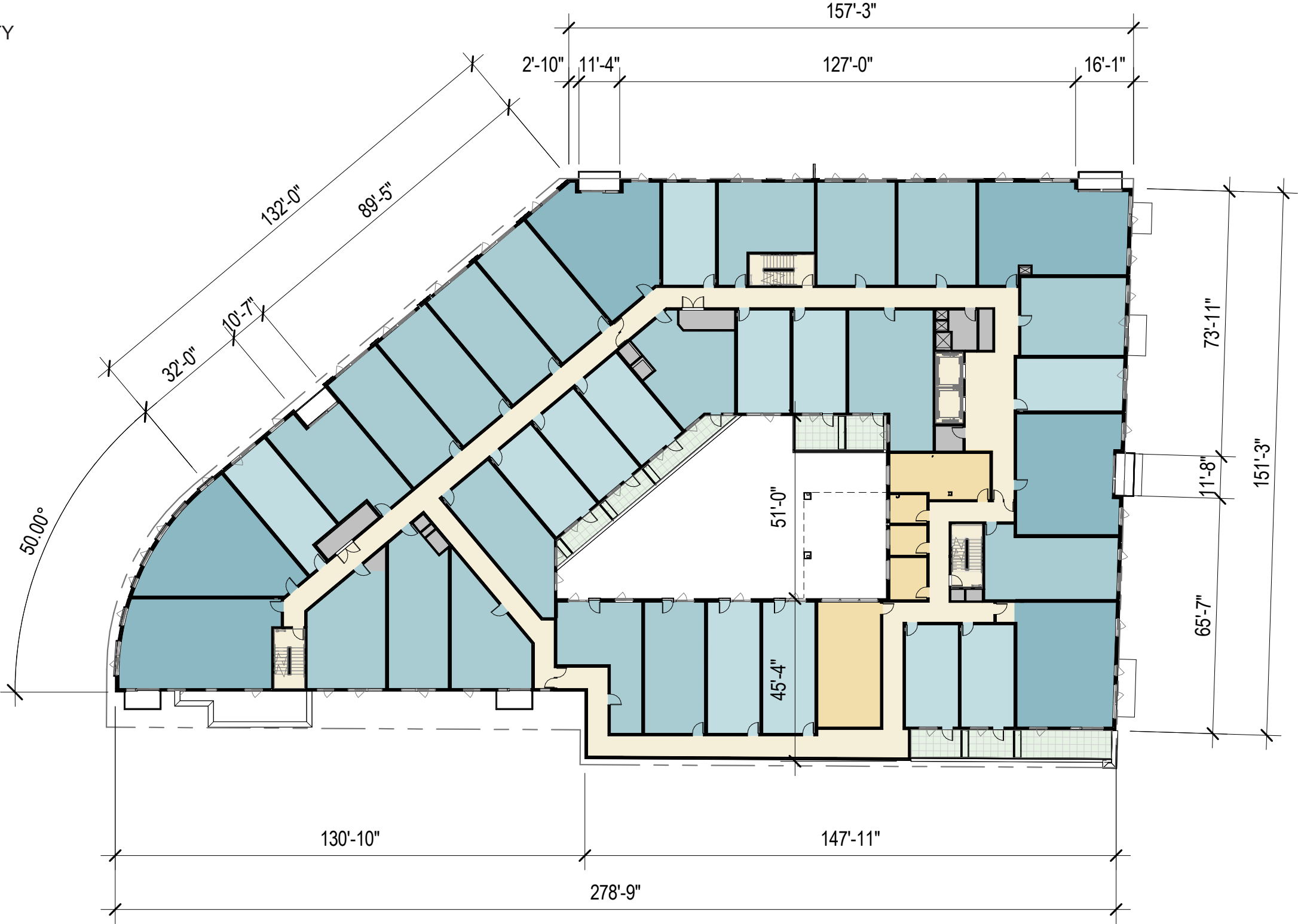
- RESIDENTIAL LOBBY / AMENITY
- COMMERCIAL
- RESIDENTIAL UNITS
- ROOF DECK
- UTILITY



GROUND STORY PLAN
FLOOR PLANS [9.0]

MAJOR USES

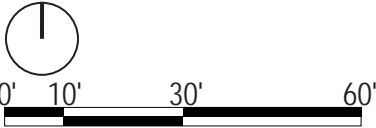
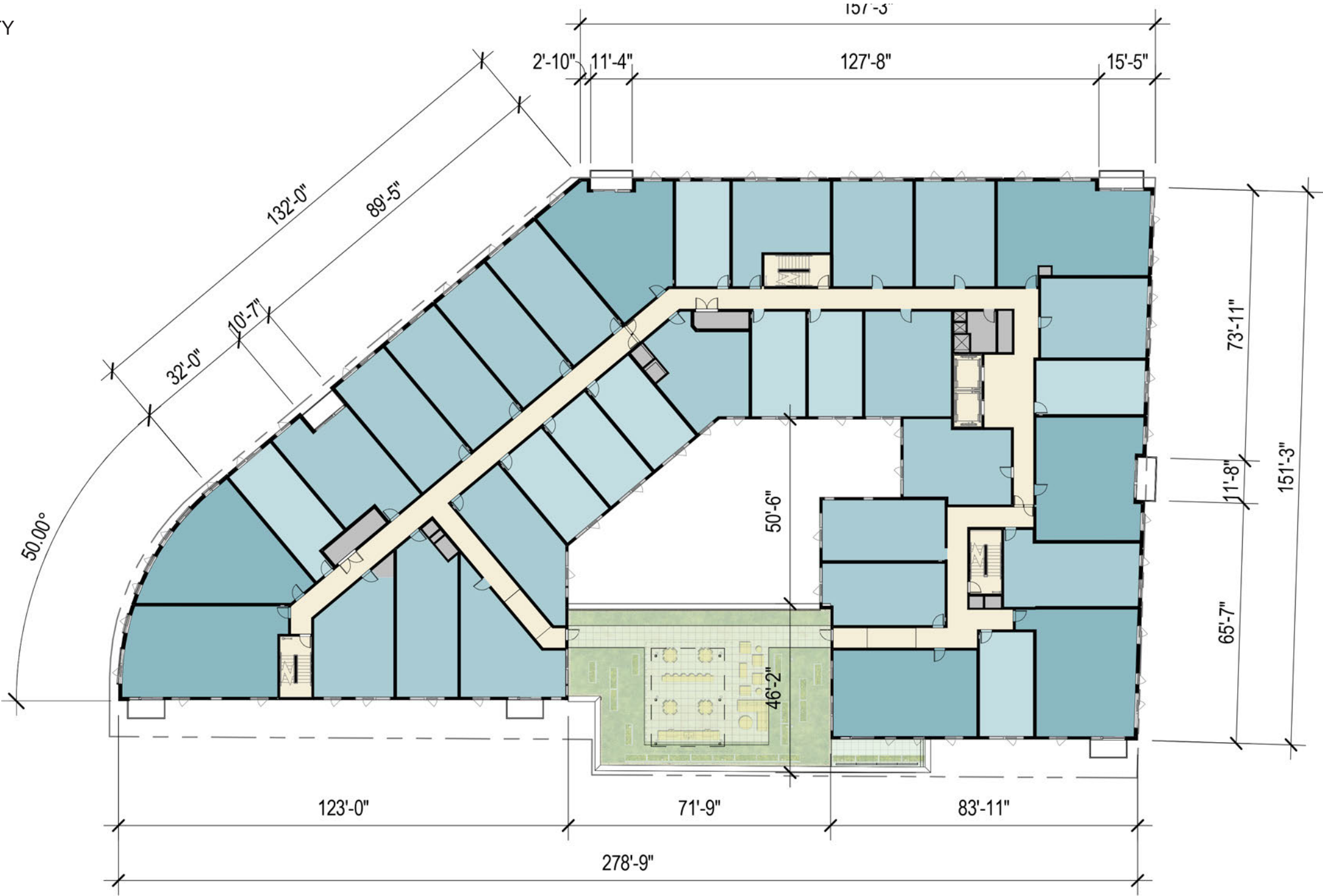
- RESIDENTIAL LOBBY / AMENITY
- COMMERCIAL
- RESIDENTIAL UNITS
- ROOF DECK
- UTILITY



2ND STORY PLAN
FLOOR PLANS [9.0]

MAJOR USES

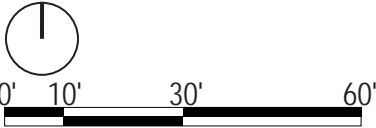
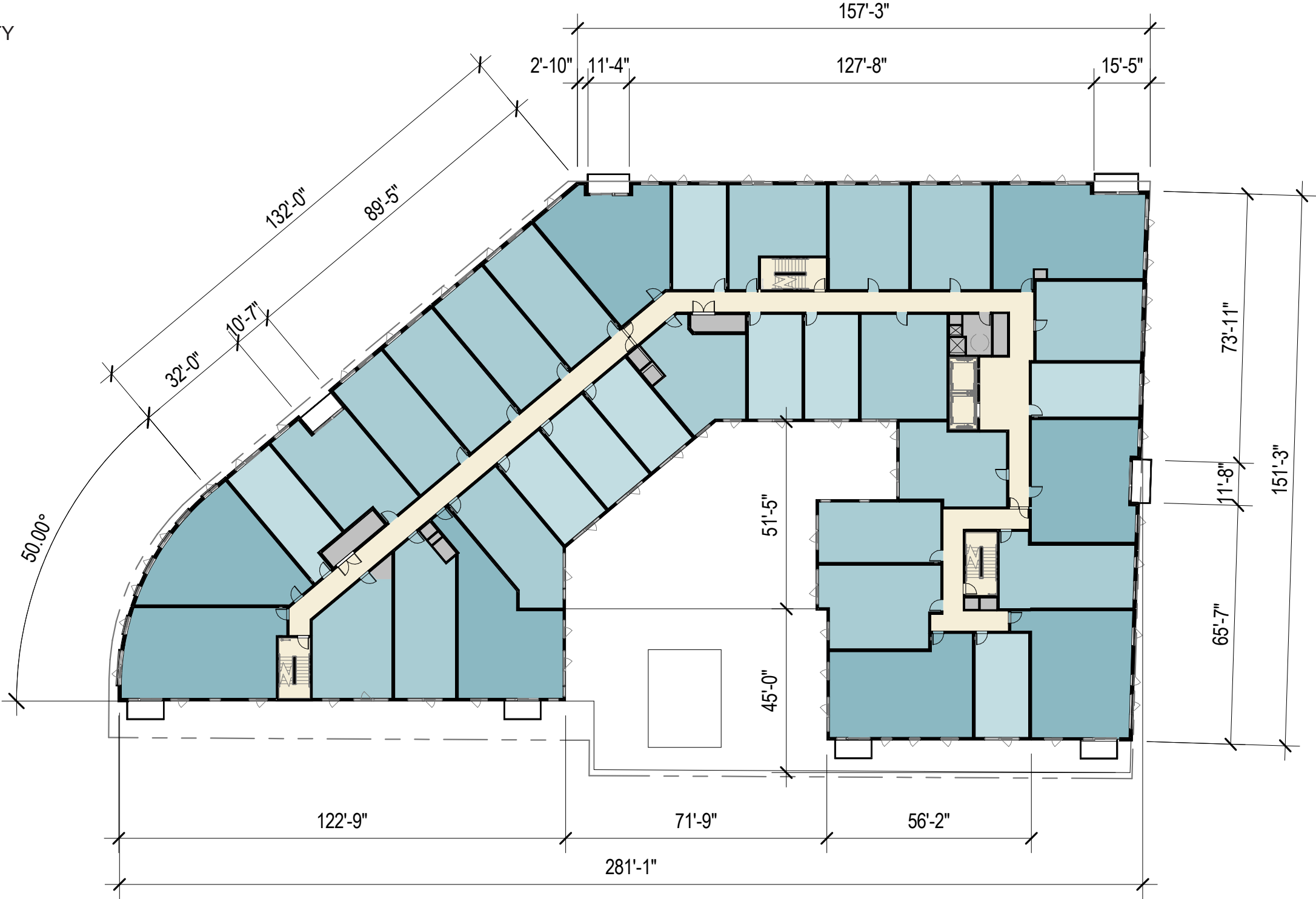
- RESIDENTIAL LOBBY / AMENITY
- COMMERCIAL
- RESIDENTIAL UNITS
- ROOF DECK
- UTILITY



3RD STORY PLAN
FLOOR PLANS [9.0]

MAJOR USES

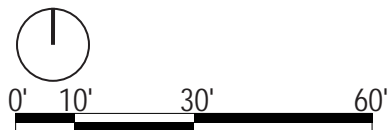
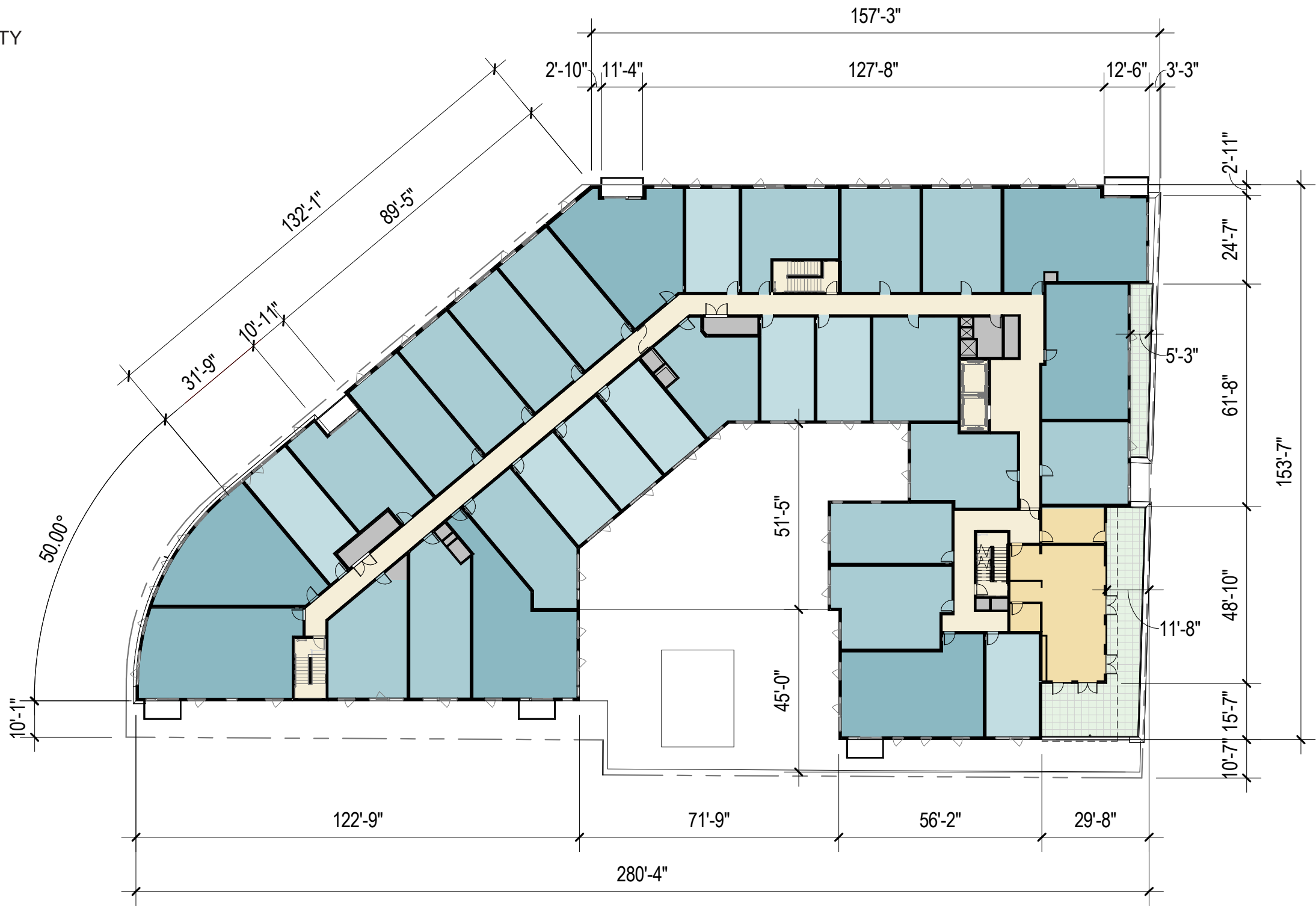
- RESIDENTIAL LOBBY / AMENITY
- COMMERCIAL
- RESIDENTIAL UNITS
- ROOF DECK
- UTILITY



4TH-6TH STORY PLAN
FLOOR PLANS [9.0]

MAJOR USES

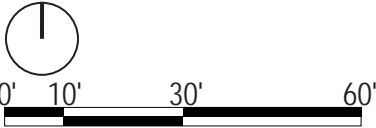
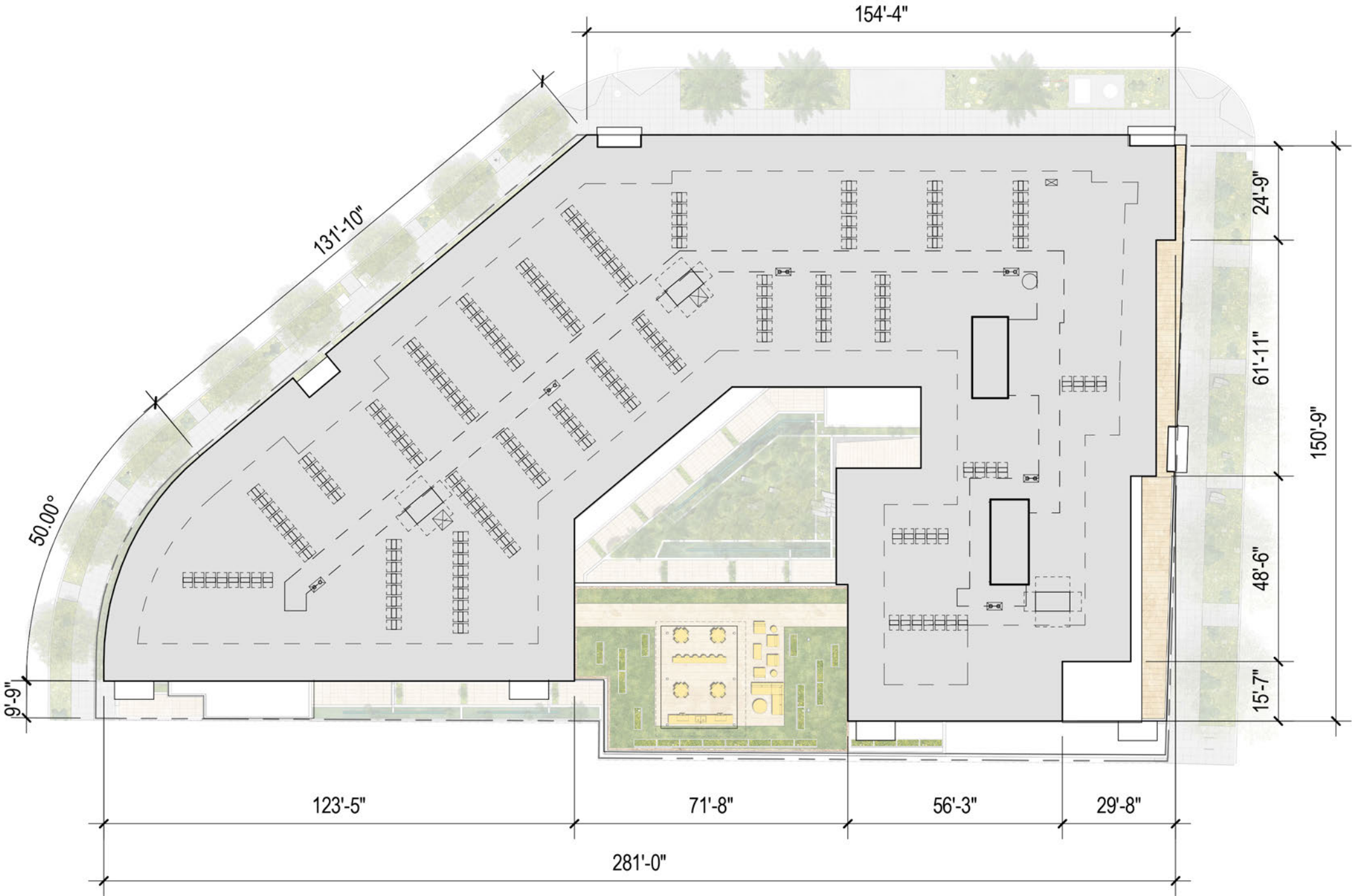
- RESIDENTIAL LOBBY / AMENITY
- COMMERCIAL
- RESIDENTIAL UNITS
- ROOF DECK
- UTILITY



7TH STORY PLAN
FLOOR PLANS [9.0]

MAJOR USES

- RESIDENTIAL LOBBY / AMENITY
- COMMERCIAL
- RESIDENTIAL UNITS
- ROOF DECK
- UTILITY



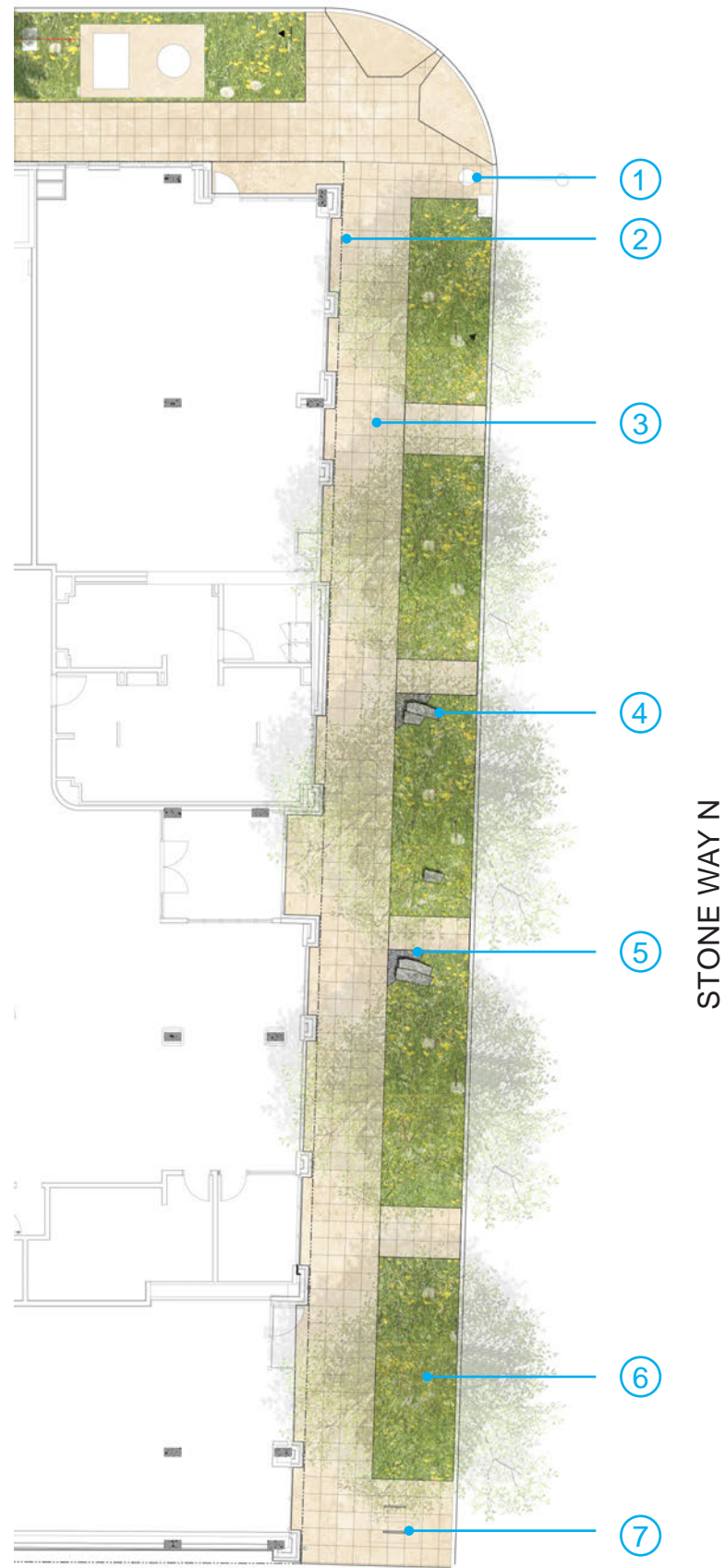
ROOF PLAN
FLOOR PLANS [9.0]

10.0

LANDSCAPE & PLANTING PLAN

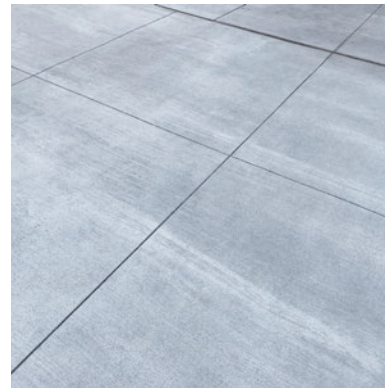


SITE PLAN LANDSCAPE & PLANTING PLAN [10.0]

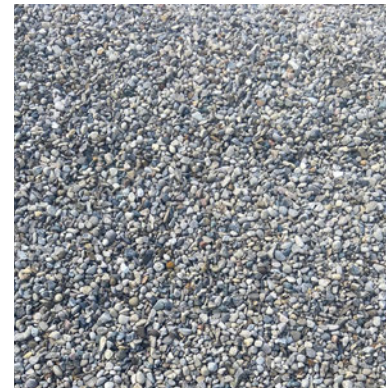


- ① Ex. Light Pole to remain
- ② Property Line
- ③ Concrete Paving
- ④ Blocky Stone
- ⑤ Mineral Mulch
- ⑥ Ex. Norway Maple to remain
- ⑦ Bike Rack

HARDSCAPE MATERIALS



Concrete Paving



Mineral Mulch
2-4" dia. Stone



Blocky Stone
Montana ledge
12" depth x24" min. length



Bike Rack
S.S. Urban staple

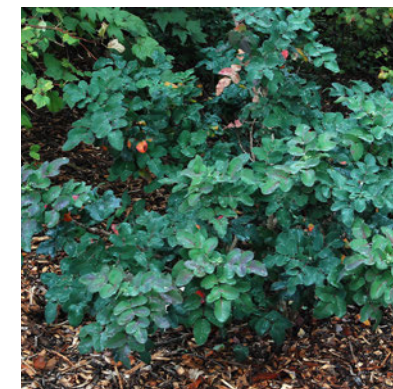
PLANTING PALETTE



Liriope Muscari
'Evergreen Giant'
Evergreen Giant Liriope



Linicera pileata
Boxleaf honeysuckle



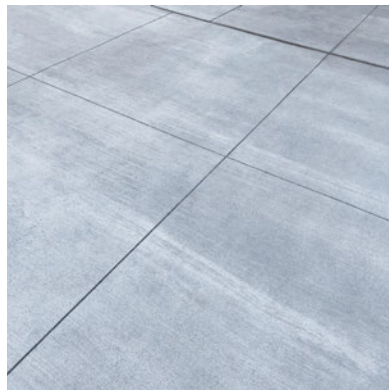
Mahonia repens
Creeping Oregon grape

STONE WAY N FRONTAGE

LANDSCAPE & PLANTING PLAN [10.0]



HARDSCAPE MATERIALS

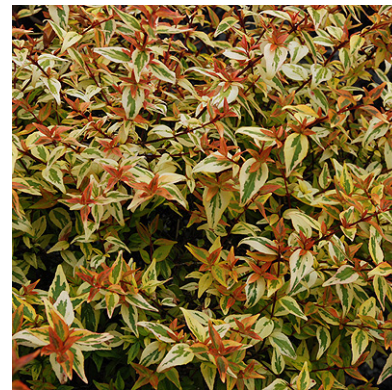


Concrete Paving

PLANTING PALETTE



Street Tree
Cupressus nootkatensis
Alaska Cedar



Abelias x Grandifolia
'Kaleidoscope'
Abelia



Fragaria chiloensis
Beach strawberry



Liriope Muscari
'Evergreen Giant'
Evergreen Giant Liriope



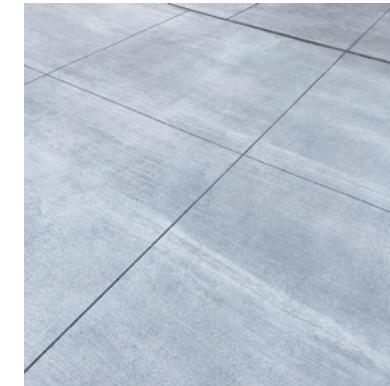
Mahonia aquifolium
'compacta'
Compact Oregon Grape

N 39TH STREET FRONTAGE

LANDSCAPE & PLANTING PLAN [10.0]



HARDSCAPE MATERIALS



Concrete Paving

PLANTING PALETTE



Street Tree
Gledistia tricantho
'Shade master'
Shade Master Honeylocust



Nandina domestica
'Gulf stream'
Compact Heavenly
Bamboo



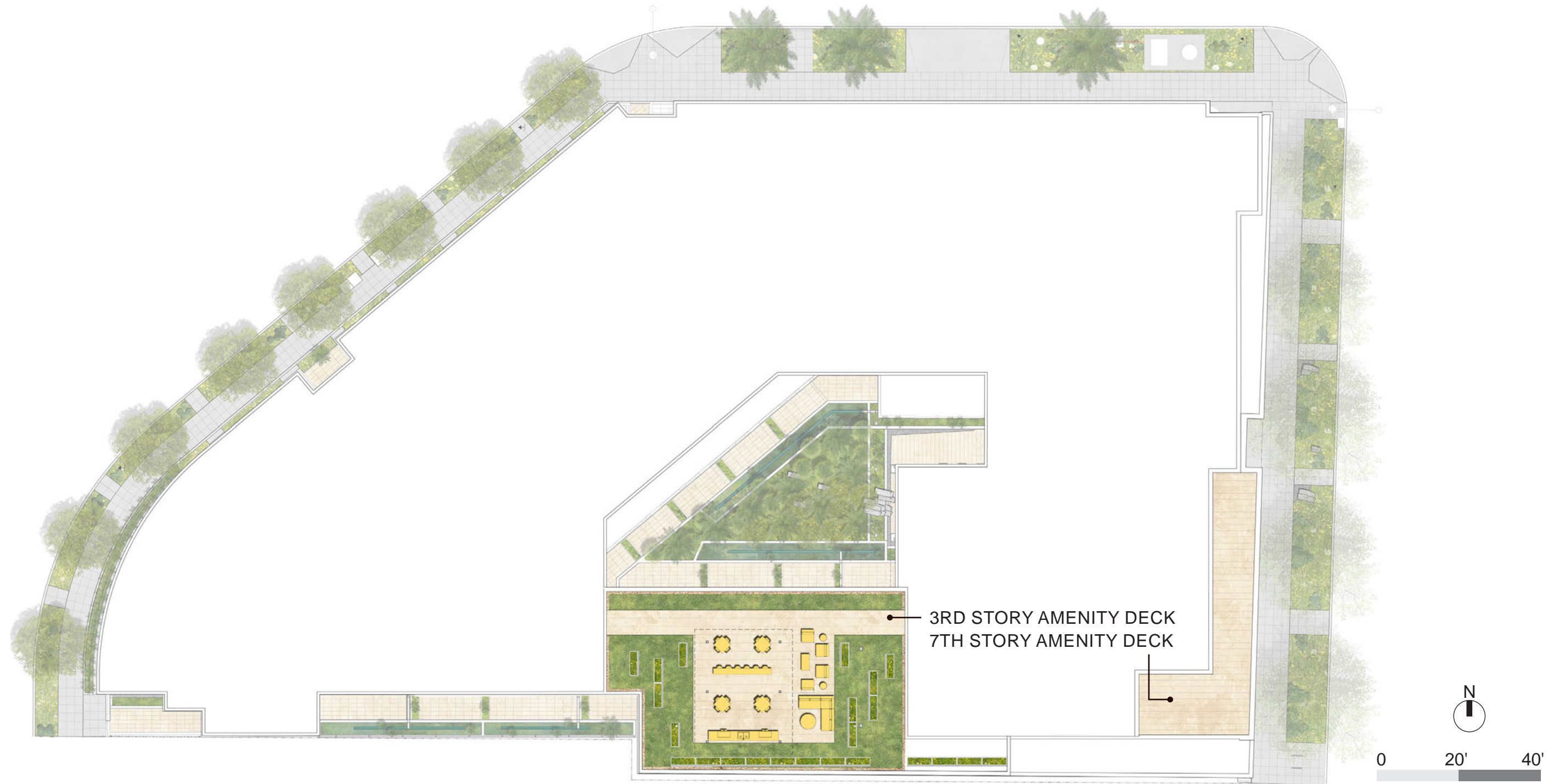
Prunus Laurocerasus
'Mount vernon'
Dwarf English Laurel



Rubus rolfei
Creeping Taiwan Bramble

BRIDGE WAY N FRONTAGE

LANDSCAPE & PLANTING PLAN [10.0]



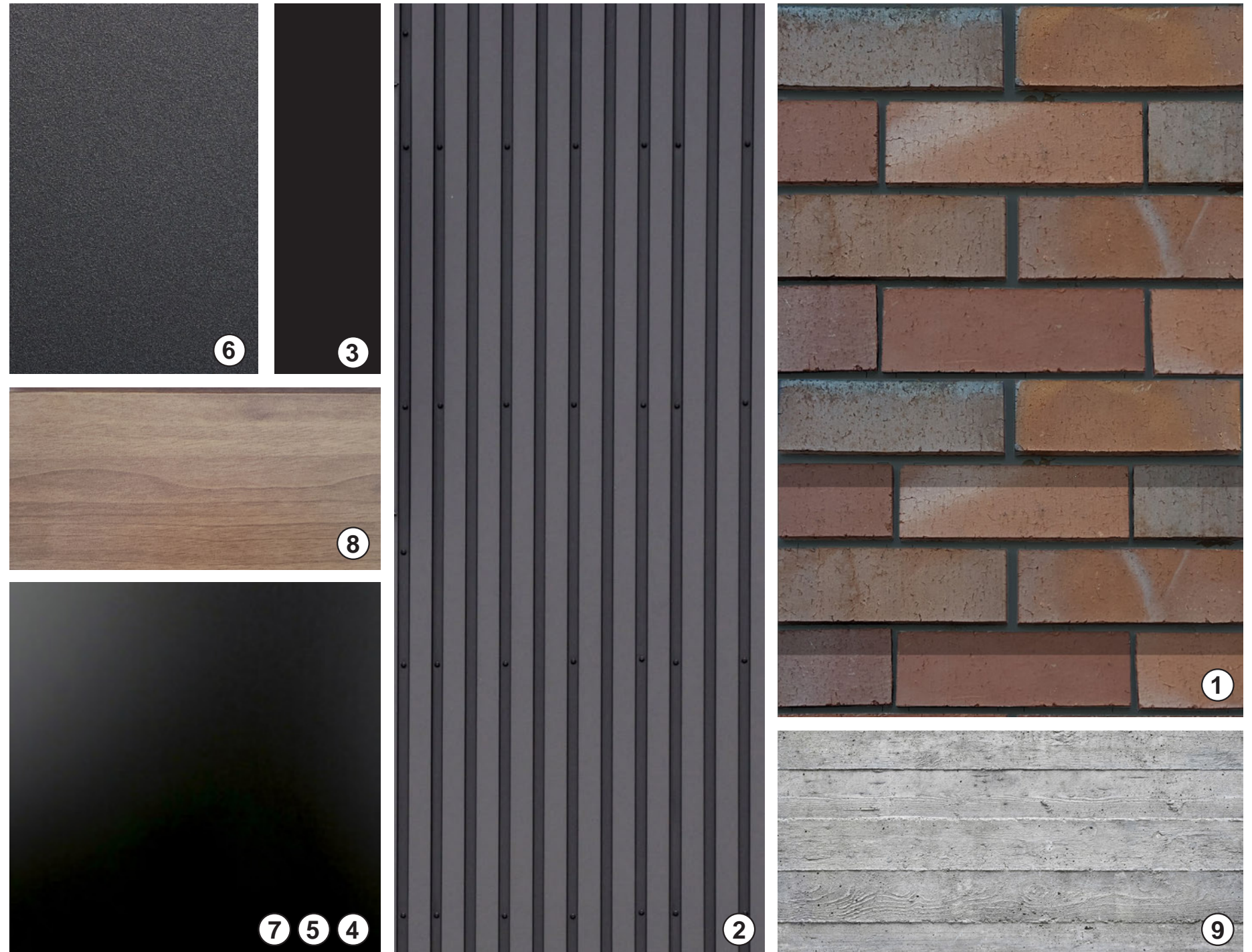
LANDSCAPE COMPOSITE PLAN

LANDSCAPE & PLANTING PLAN [10.0]

11.0 - 12.0

ELEVATIONS, MATERIALS, & PALETTE

- ① BRICK MASONRY
 - Red Blend, Standard Size
- ② BOX RIB METAL PANEL
 - Black
- ③ VINYL WINDOWS & DOORS
 - Black
- ④ ALUMINUM BALCONIES & GUARDRAIL
 - Black
- ⑤ ALUMINUM STOREFRONT & ACM PANEL
 - Black
- ⑥ PAINTED GALVANIZED STEEL
 - Black
- ⑦ BRAKE METAL, COPING, & FLASHING
 - Black
- ⑧ ALUMINUM PLANKS
 - Simulated Wood Finish
- ⑨ BOARD FORM CONCRETE
- ⑩ LAMINATED CLEAR GLASS GUARDRAIL

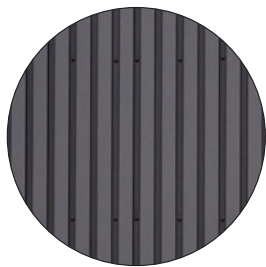


MATERIAL BOARD

MATERIALS & COLOR PALETTE [12.0]



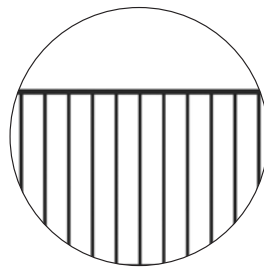
① BRICK



② BOX RIB
METAL PANEL



③ VINYL
WINDOWS & DOORS



④ ALUMINUM
RAILINGS



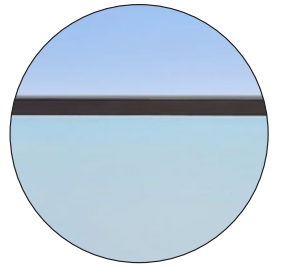
⑤ ALUMINUM
STOREFRONT & ACM



⑥ PAINTED
GALVANIZED STEEL



⑨ BOARD
FORM CONCRETE



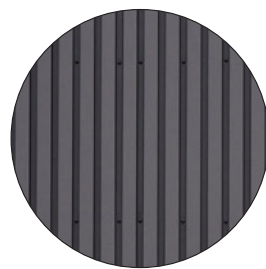
⑩ LAMINATED
GLASS GUARDRAIL

NORTH ELEVATION

ELEVATIONS [11.0]



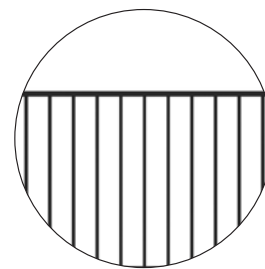
① BRICK



② BOX RIB
METAL PANEL



③ VINYL
WINDOWS & DOORS



④ ALUMINUM
RAILINGS



⑤ ALUMINUM
STOREFRONT & ACM



⑥ PAINTED
GALVANIZED STEEL



⑦ BRASS METAL,
COPING, & FLASHING



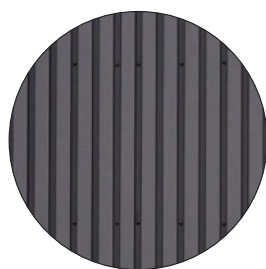
⑨ BOARD
FORM CONCRETE

NORTH ELEVATION

ELEVATIONS [11.0]



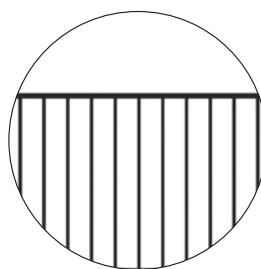
① BRICK



② BOX RIB
METAL PANEL



③ VINYL
WINDOWS & DOORS



④ ALUMINUM
RAILINGS



⑤ ALUMINUM
COMPOSITE METAL



⑦ BRAKE METAL,
COPING, & FLASHING



⑧ WOOD-GRAIN
ALUMINUM SOFFITS



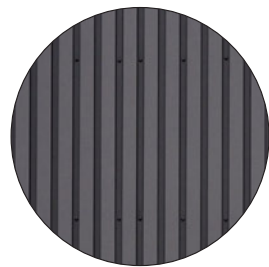
⑨ BOARD
FORM CONCRETE

NORTHWEST & WEST ELEVATION

ELEVATIONS [11.0]



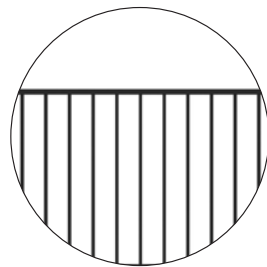
① BRICK



② BOX RIB
METAL PANEL



③ VINYL
WINDOWS & DOORS



④ ALUMINUM
RAILINGS



⑤ ALUMINUM
COMPOSITE MATERIAL



⑥ PAINTED
GALVANIZED STEEL



⑦ BRAKE METAL,
COPING, & FLASHING



⑧ WOOD-GRAIN
ALUMINUM SOFFITS

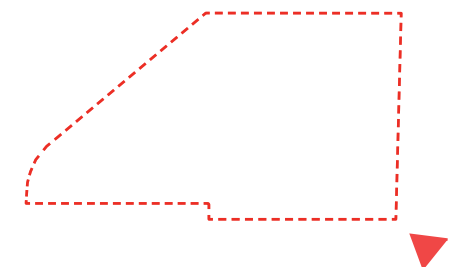
SOUTH ELEVATIONS

ELEVATIONS [11.0]

13.0 RENDERINGS



STONE WAY
 RENDERINGS [13.0]



SOUTHEAST CORNER

RENDERINGS [13.0]



NORTHEAST CORNER RENDERINGS [13.0]



NORTHWEST CORNER
RENDERINGS [13.0]

17.0

DEPARTURES

CODE SECTION
(23.47A.008.D.2)

REQUIREMENT:

The floor of a dwelling unit shall be at least 4' above or below sidewalk grade, or set back at least 10' from the sidewalk. Exception may be granted if an accessible route is not achievable due to site conditions AND the floor is at least 18" above or 4' below average sidewalk grade or set back 10' from the sidewalk AND the visually prominent entry is maintained.

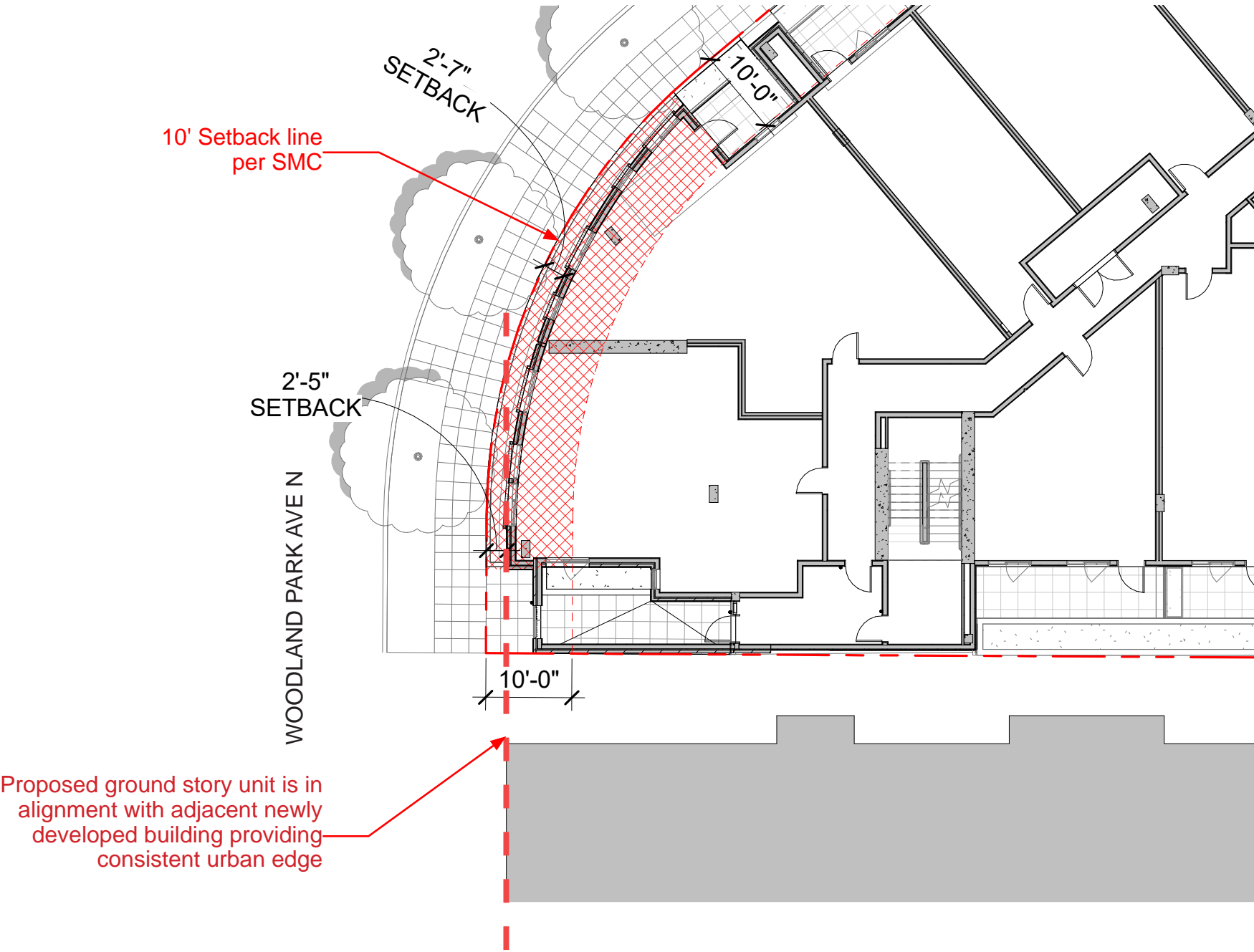
REQUESTED DEPARTURE:

A Departure is requested to reduce the ground story unit setback to 2'-5" rather than the required 10'. The area of the proposal occurs only at the westernmost two units at the intersection of Woodlawn Park Ave N and Bridge Way N. See diagram for highlighted area.

The board was supportive of this departure at EDG

RATIONALE:

The Southwest corner unit of the building encroaches into the required 10' minimum setback to maintain the urban edge that has been established by the neighboring building to the South. The alignment creates a continuous and cohesive public realm by fitting old and new together. Additionally the setback strip will be planted to enhance the pedestrian realm as well as provide a privacy buffer between sidewalk and dwelling unit. (CS3.A.1, PL1-B, PL3-B).



DEPARTURE 01: GROUND STORY UNITS SETBACK
DEPARTURES [17.0]

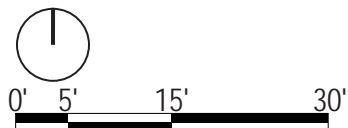
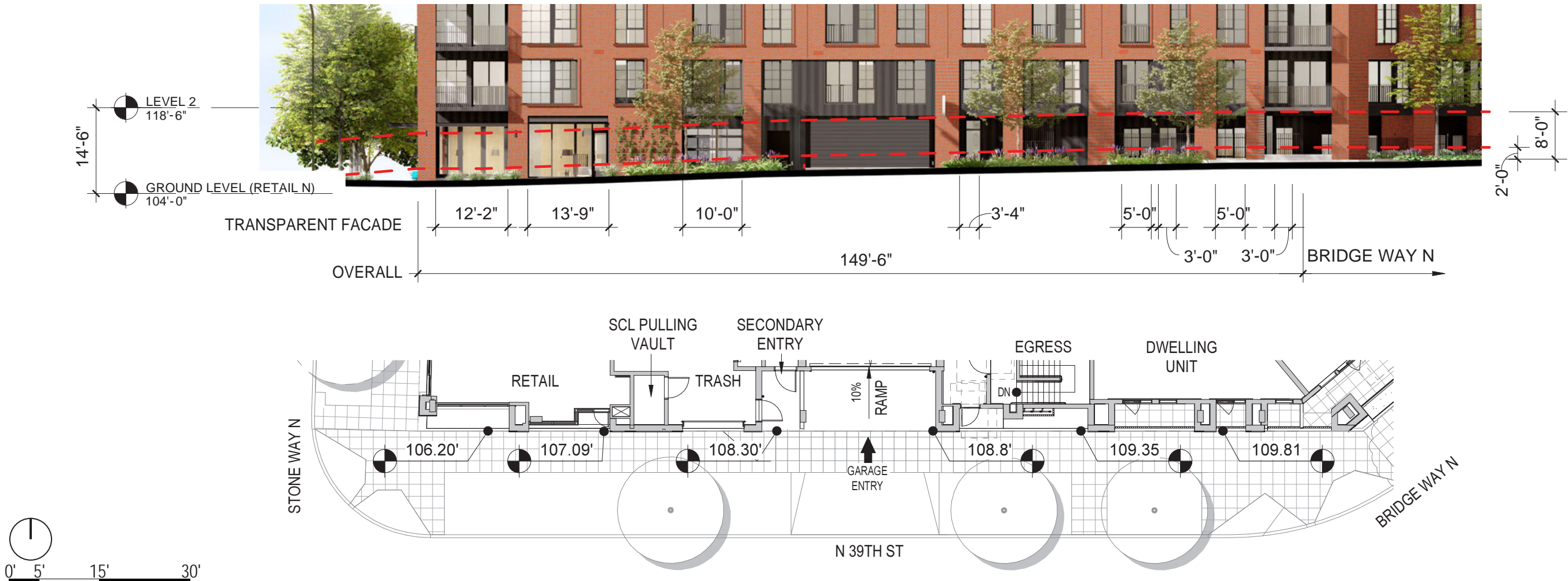
CODE SECTION
(23.47A.008.A.2.C)

REQUIREMENT:
Sixty percent of the street-facing facade between 2 feet and 8 feet above the sidewalk shall be transparent. For purposes of calculating the sixty percent of a structure's street-facing facade, the width of a driveway at street level, not to exceed 22 feet, may be subtracted from the width of the street-facing facade if the access cannot be provided from an alley or from a street that is not a designated principal pedestrian street.

REQUESTED DEPARTURE:
The proposed project requests a departure to reduce the transparent percentage requirement from 60% to 43%.

RATIONALE:
The irregular shape site must deal with several factors which limit locations of retail and service program elements (garage access, trash room, SCL pull vault, gas meter, and corner retail). Due to the nature of 3 street frontages, with the primary being Stone Way N, and no alley from which to service the building, all services must be located on N 39th street which has the shortest frontage of the three streets and allows for little room to locate all essential program. With the support of SDOT and SPU, curb cuts for trash and the garage, as well as the location of the trash room have been carefully considered to safely pick up trash, and provide adequate distance from adjacent intersections for both trash trucks and incoming/exiting vehicles. Glazing at retail and residential units bookend the section of blank facade. Careful attention has also been paid to undulate the face and massing of this frontage so that solid walls are not continuous for long lengths but are broken, stepping in and out with varying materials, giving intrigue and character to the service area (PL4, CS2, DC1, DC2).

CALCULATION SUMMARY	
TOTAL FACADE LENGTH	149'-6"
TOTAL FACADE LENGTH SUBTRACTED GARAGE (22' MAX)	127'-5"
TOTAL TRANSPARENCY PROVIDED	55.25' (43%)
MINIMUM TRANSPARENCY REQ'D	60%



DEPARTURE 02: GROUND STORY TRANSPARENCY
DEPARTURES [17.0]

CODE SECTION
(23.54.030.G.2-3)

REQUIREMENT:

G.2 For two way driveways or easements 22 feet wide or more, a sight triangle on the side of the driveway used as an exit shall be provided, and shall be kept clear of any obstruction for a distance of 10 feet from the intersection of the driveway or easement with a driveway, easement, sidewalk, or cub intersection if there is no sidewalk. The entrance and exit lanes shall be clearly identified.

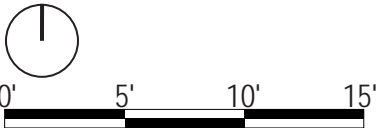
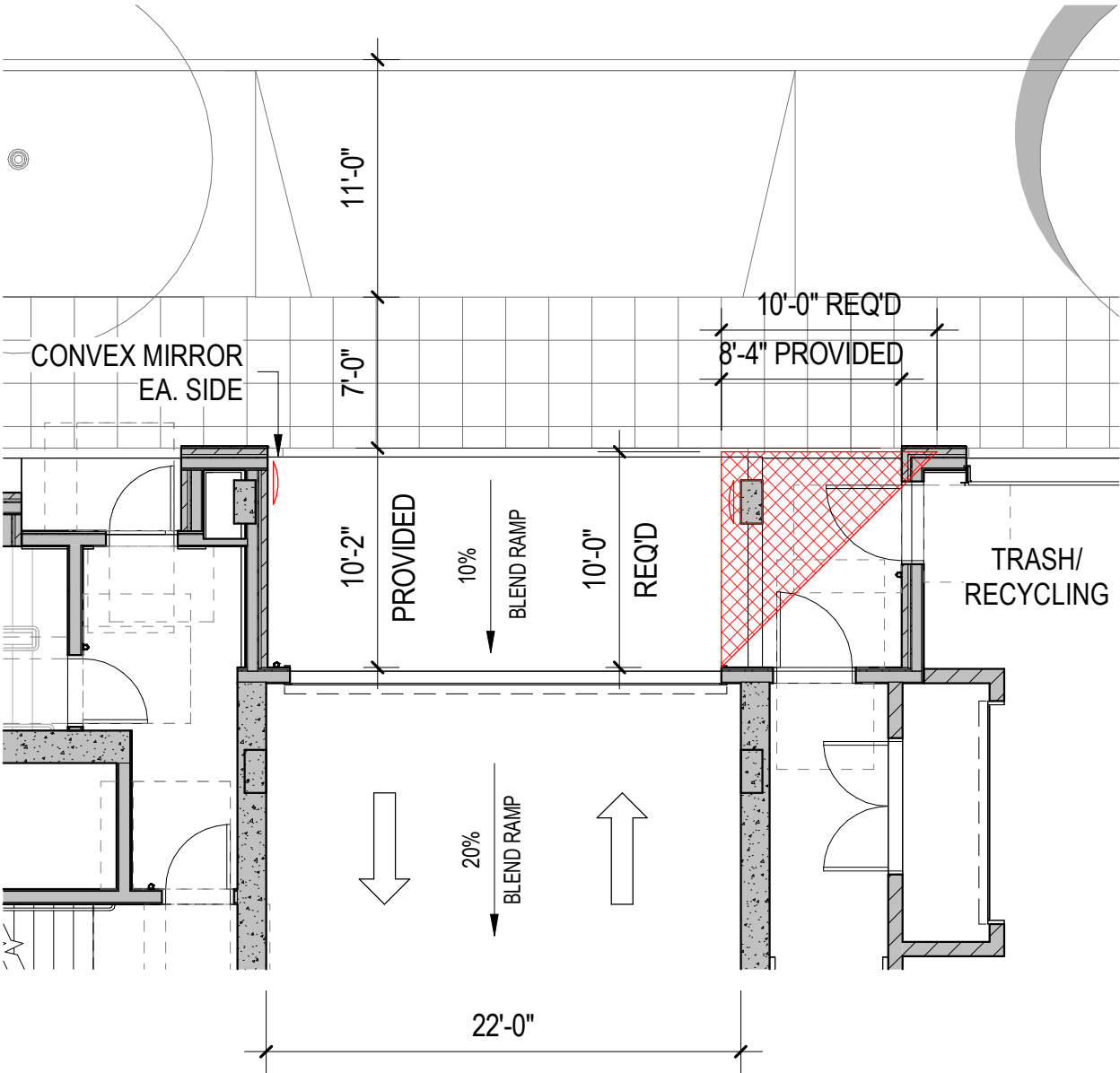
G.3 The sight triangle shall also be kept clear of obstructions in the vertical spaces between 32 inches and 82 inches from the ground.

REQUESTED DEPARTURE:

A Departure is requested at the garage exit lane to reduce the horizontal width of the site triangle from 10' to 8'-4" as well as allow a structural column within the zone between 32 inches and 82 inches from the ground.

RATIONALE:

The irregular site limits the potential locations for service program for the building, including trash and garage entry. Due to its three frontages, with the primary being Stone Way N, and having no alley from which to service the building, all site services must be located on N 39th St which is the shortest of the 3 frontages. In working with SPU and SDOT, the locations of the garage entry as well as the trash were carefully considered so that proper clearances were maintained between curb cuts and intersections. Additional weekly garbage and recycling pickups were also agreed up with SPU to allow a smaller trash room footprint. Additionally, the garage is recessed to provide ample viewing angle for exiting cars, the recessed width is great enough that it requires a structural column to support the cantilever above. In order to mitigate the obstruction the design team is proposing additional safety features to provide a higher level of visibility and safety for cars and pedestrians at this intersection (CS2; PL4).



DEPARTURE 04: VISION TRIANGLE
DEPARTURES [17.0]

THANK YOU



APPENDIX

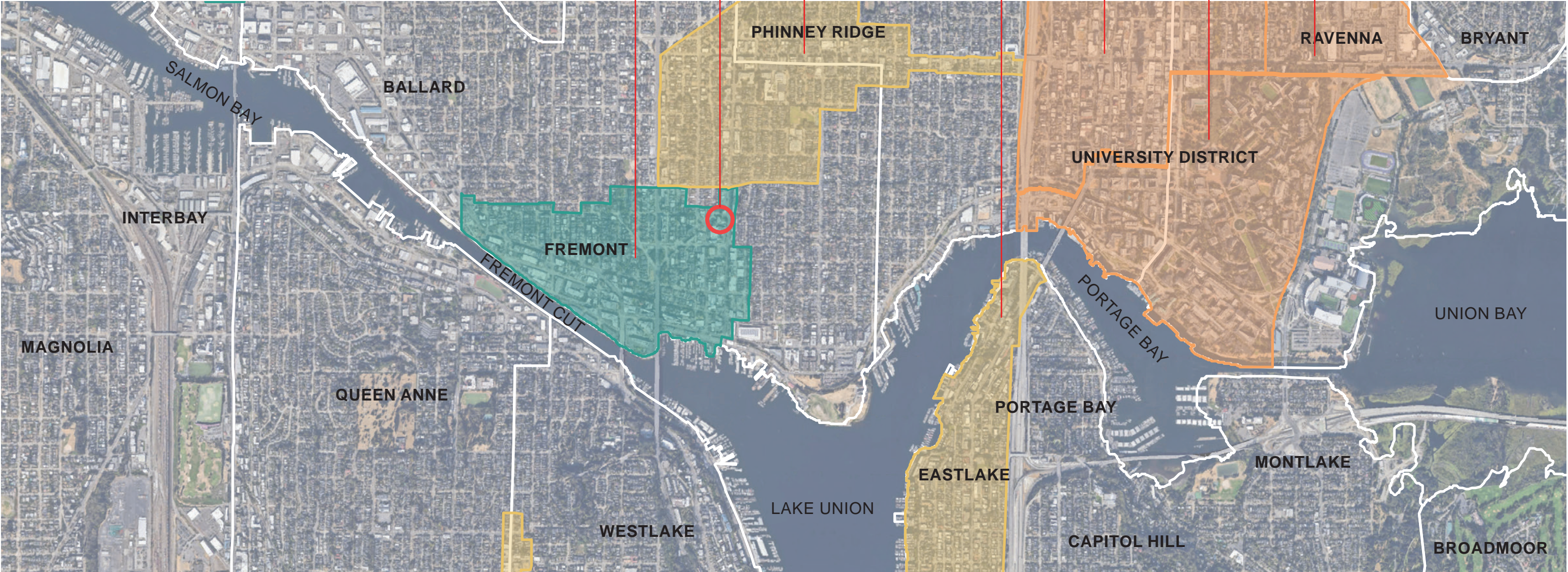
4.0

SUMMARY CONTEXT ANALYSIS

SITE LOCATION WITHIN CITY

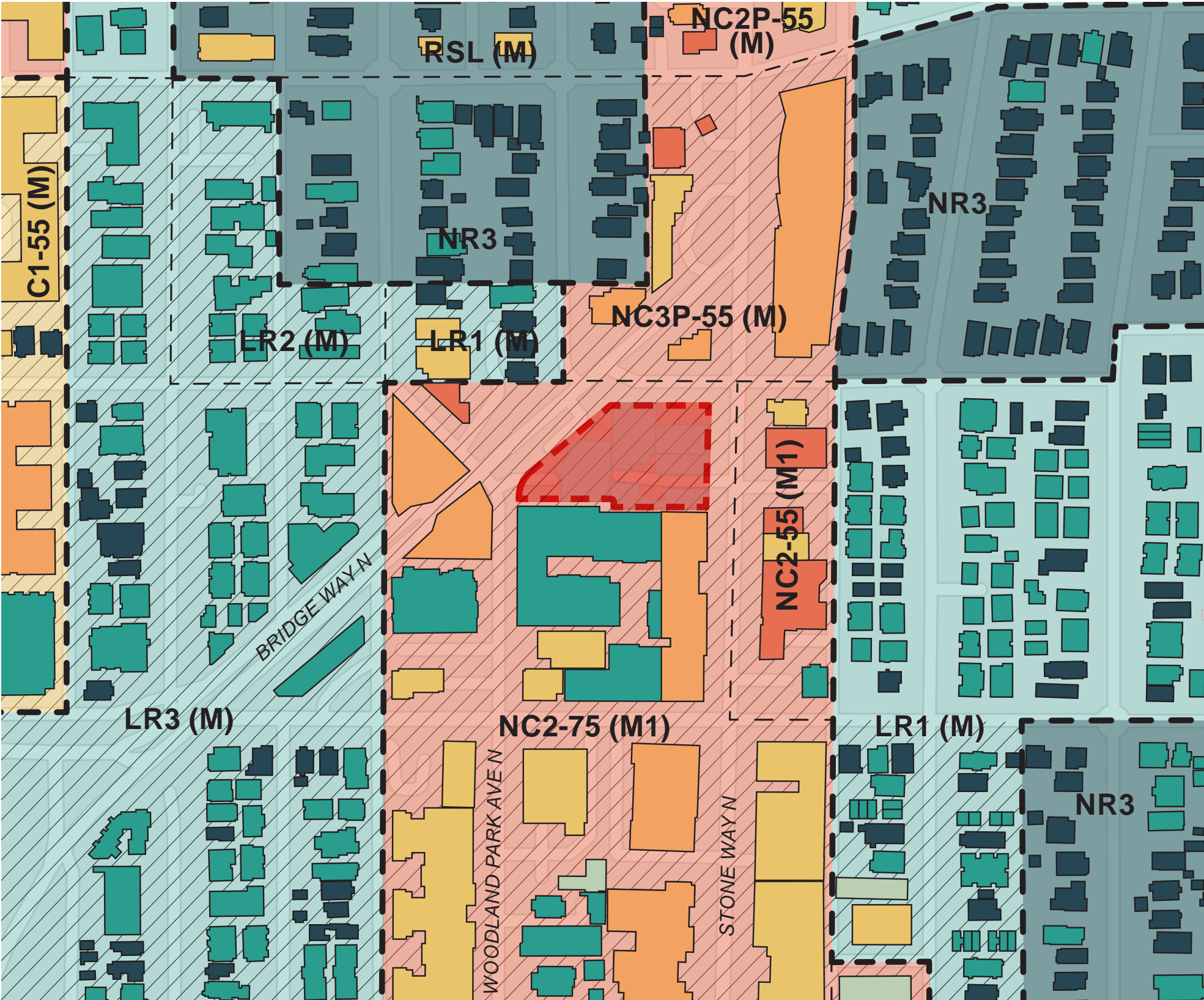
The project site is positioned within the Fremont Hub Urban Village and associated with the Wallingford Neighborhood. The unique overlap results in a gateway site that acts as a connector between these two active neighborhood cores. The proposed design promotes a sense of place along the evolving Stone Way N commercial corridor.

- FREMONT HUB URBAN VILLAGE
- WALLINGFORD RESIDENTIAL URBAN VILLAGE
- EASTLAKE RESIDENTIAL URBAN VILLAGE
- UNIVERSITY DISTRICT NORTHWEST URBAN CENTER VILLAGE
- UNIVERSITY CAMPUS URBAN CENTER VILLAGE
- RAVENNA URBAN CENTER VILLAGE



SURROUNDING USES

- INDUSTRIAL
- COMMERCIAL
- MIXED USE
- RETAIL
- MULTI FAMILY
- SINGLE FAMILY



ZONING MAP
SUMMARY CONTEXT ANALYSIS [4.0]

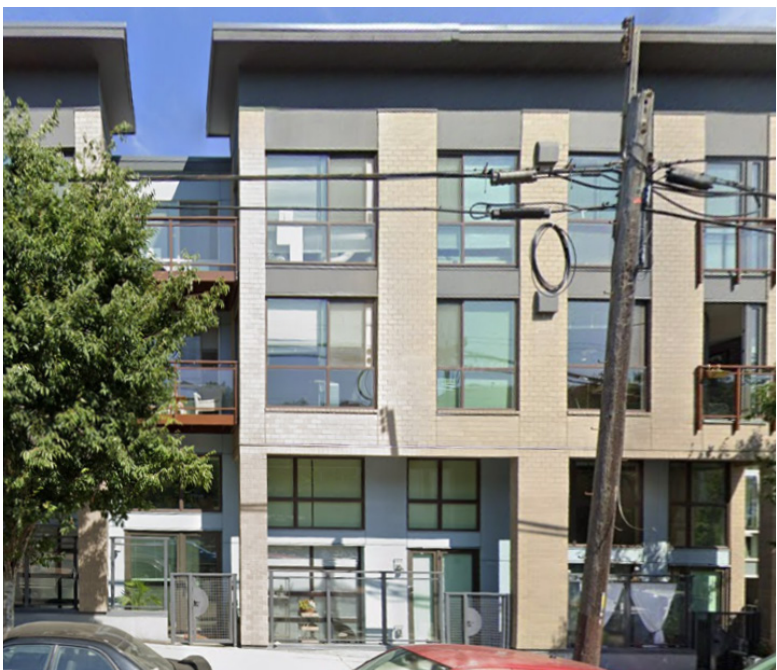
**NEIGHBORHOOD COMMERCIAL
ALONG STONE WAY N**

Stone Way N is comprised of ground story commercial space with active storefronts. Bowman Apartments (right) and The Hayes (bottom) are neighboring projects with active ground story retail.



**MULTI-FAMILY RESIDENTIAL
ALONG BRIDGE WAY N**

Bridge Way N transitions from commercial to multi-family residential. Surrounding development consists largely of ground story units. Bowman Apartments (right) and Inspire Apartments (bottom) have ground story units.



SURROUNDING USES
SUMMARY CONTEXT ANALYSIS [4.0]

MIXED-USE & MULTIFAMILY PROJECTS

- ① Serpentine Apartments (Existing Multi-family Building built in 1928)
- ② 4512 Stone Way N (Existing Mixed-Use Building built in 1900)
- ③ The Hayes on Stone Way (Recently Completed 4-Story Multi-family Building)
- ④ Bowman Apartments (Neighboring Existing 5-Story Mixed-Use Building)
- ⑤ Approved 7-Story Mixed-Use Building SDCI# 3036248-EG
- ⑥ Proposed 8-Story Mixed-Use Building SDCI# 3039632-EG

EXISTING DEVELOPMENT

Much of the existing Stone Way N and surrounding area fabric is comprised of 2-3 story, well detailed brick buildings with punched openings. These buildings are primarily a mix of multifamily housing and street level commercial.



NEW DEVELOPMENT

Stone Way N is an evolving commercial corridor with new multi-family, mixed use development. The Hayes (right) and Bowman Apartments (bottom) are examples of the current scale and typology that define the context.



PROPOSED / APPROVED DEVELOPMENT

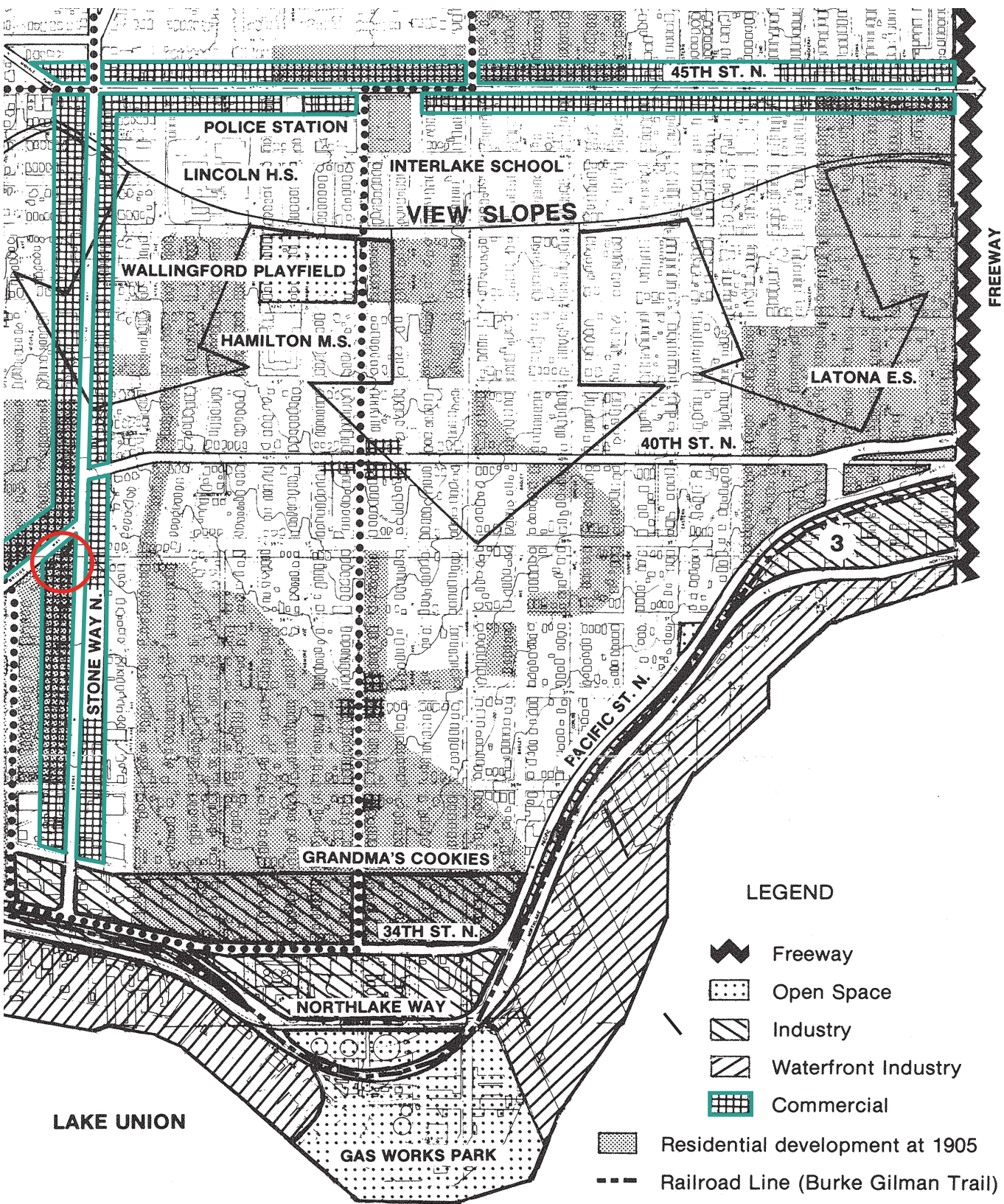
Recently approved projects within the vicinity consist of 7 and 8 story multi-family buildings. The proposed developments will densify and activate the neighborhood.



NEW & PROPOSED DEVELOPMENT
SUMMARY CONTEXT ANALYSIS [4.0]

STONE WAY'S PAST

Stone Way N is a commercial corridor that connects the heart of the Wallingford neighborhood with the historically industrial Lake Union waterfront. The historic fabric consisted of a mixture of industrial buildings and commercial strip storefronts.



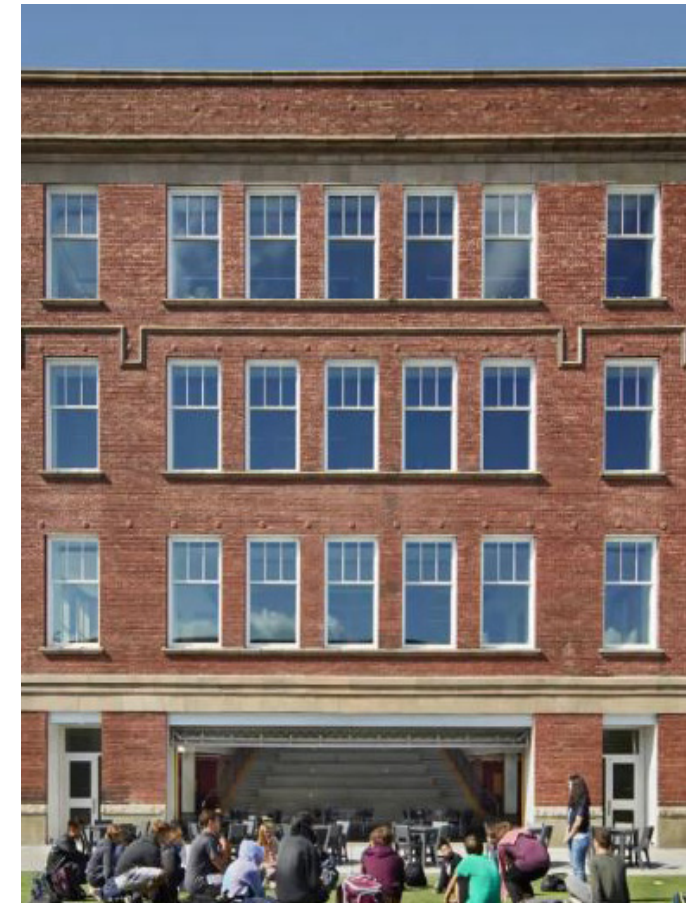
HISTORIC FABRIC: WALLINGFORD NEIGHBORHOOD
SUMMARY CONTEXT ANALYSIS [4.0]



INDUSTRIAL



COMMERCIAL



MASONRY/ SCALE & PROPORTION

SURROUNDING INFLUENCE

SUMMARY CONTEXT ANALYSIS [4.0]

5.0

EXISTING SITE CONDITIONS



9-BLOCK AXON

EXISTING SITE CONDITIONS [5.0]

IRREGULAR SITE, THREE STREET FRONTAGES, & ADJACENT PROPERTY

STONE WAY N

- Urban village arterial street
- Primary pedestrian and commercial frontage
- Current retail & commercial development along opposite side of street
- Gateway between Fremont Urban Hub Village and Wallingford Residential Urban Village

N 39TH ST

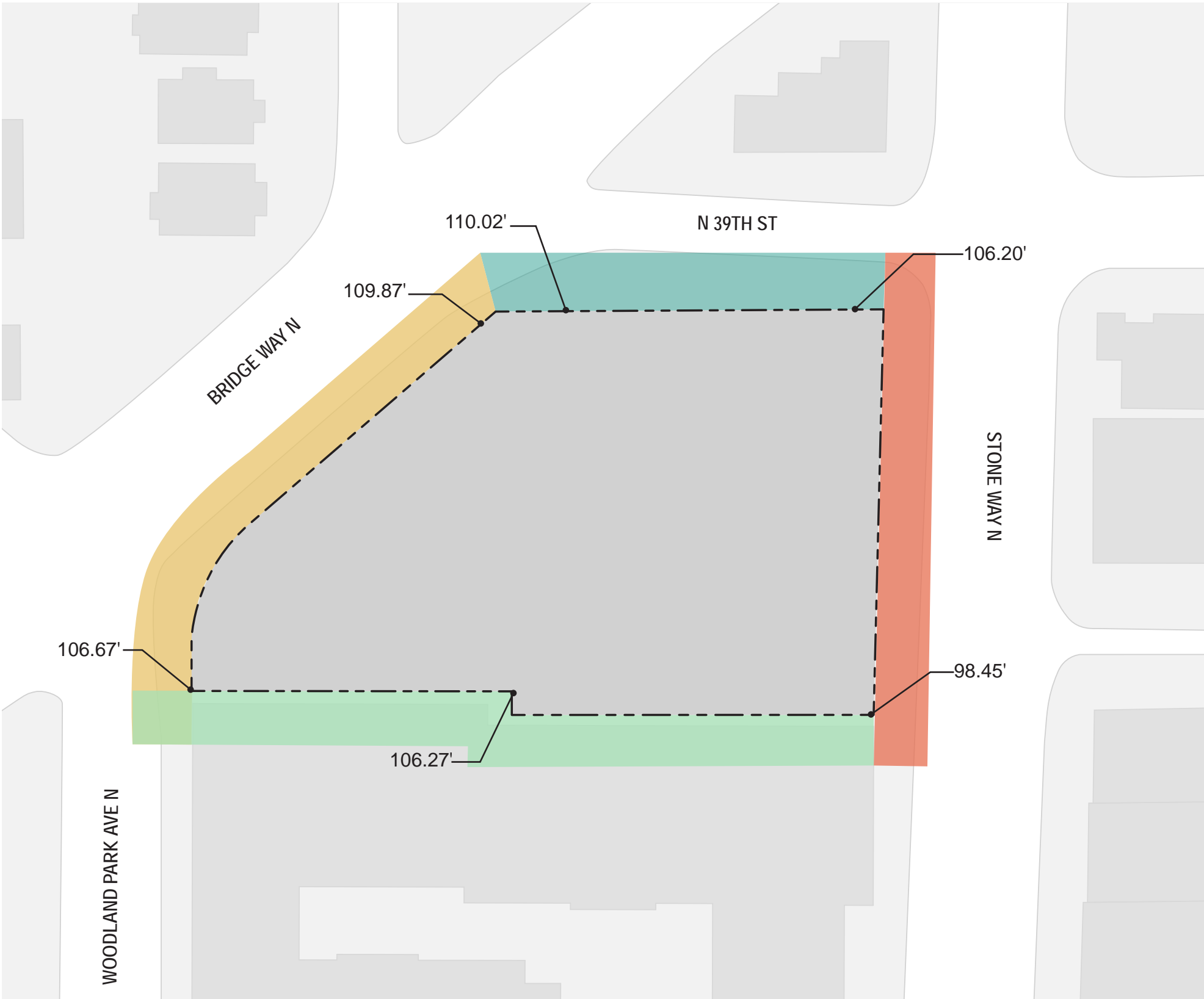
- Neighborhood access street
- Narrowest ROW of the three frontages
- Shortest frontage of the three frontages
- Ideal frontage for service and utility program
- Highest site elevation
- Commercial development on opposite side of the street

BRIDGE WAY N

- Neighborhood access street
- Longest frontage, furthest removed from high traffic of Stone Way N
- Ideal frontage for ground story residential units
- Residential & retail on opposite side of street

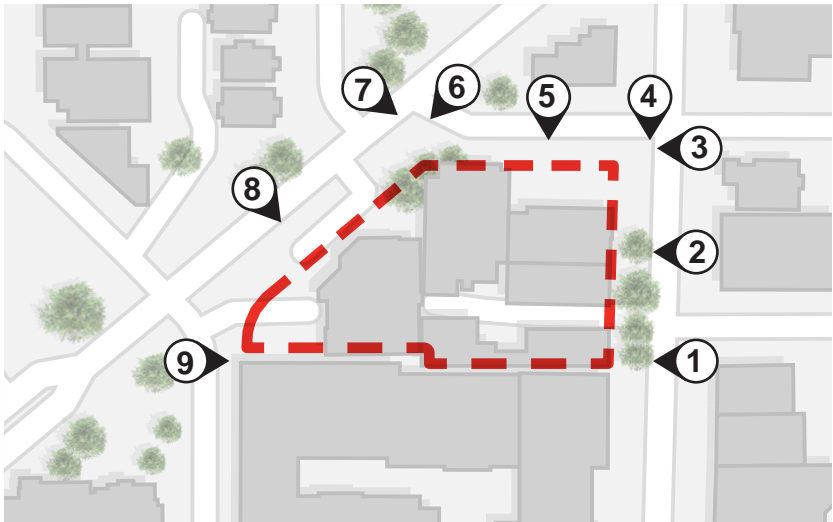
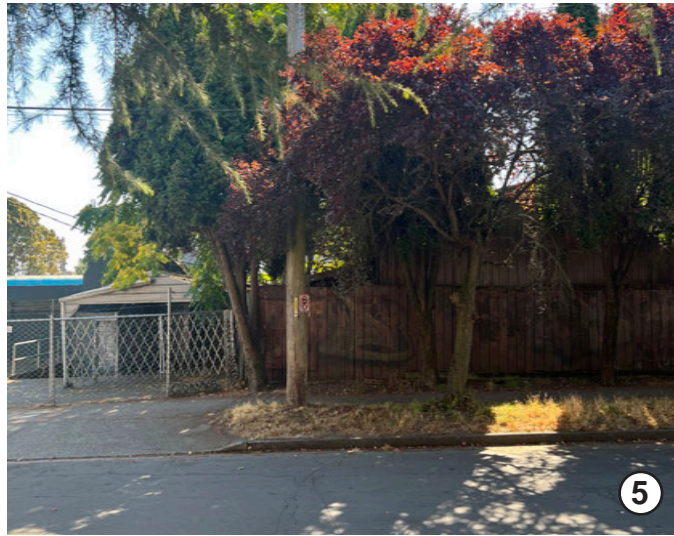
SOUTH PROPERTY LINE

- Grade change along property line, sloping up from east to west
- Mixed-use residential building to the South that varies from 3-5 stories in height



EDGE CONDITIONS

EXISTING SITE CONDITIONS [5.0]



SITE PHOTOS
EXISTING SITE CONDITIONS [5.0]

6.0

ZONING DATA

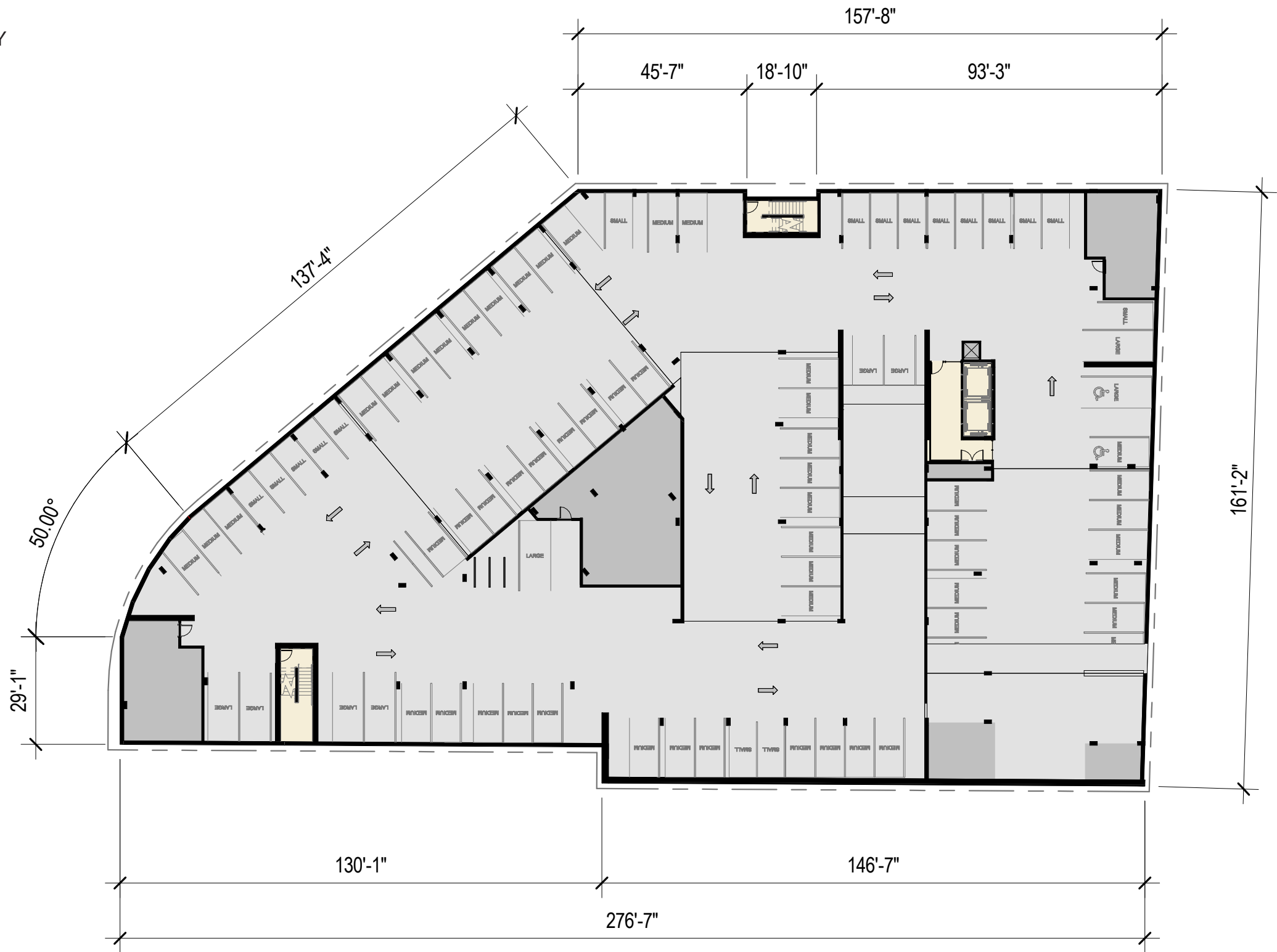
ADDRESS:	3831 Stone Way N Seattle, WA 98103	AMENITY AREA (27.47A.024)	-Amenity areas shall equal 5% of the total gross floor area in residential use. Excludes areas for MEP, accessory parking. Bio-retention areas qualify as amenity areas. -Minimum Amenity Space:
ZONE:	NC2-75(M1)		-Amenities shall meet these standards: all residents must have access to at least 1 common or private amenity, shall not be enclosed, common amenity must have a min. horizontal dimension of 10' and no less than 250sf in size, private balconies/decks/patios must have a min. horizontal dimension of 6' and no less than 60sf in area
OVERLAY:	Fremont Hub Urban Village		
PERMITTED USES (23.47A.004.A)	Residential Retail sales and services, general: Permitted, limited to 25,000 sf Parking	PARKING ACCESS (23.47A.032)	If access is not provided from an alley and the lot abuts two or more streets, access is permitted across one of the side street lot lines pursuant to subsection 23.47A.032.C, and curb cuts are permitted pursuant to subsection 23.54.030.F.2.a.1.
STREET LEVEL DEVELOPMENT STANDARDS (23.47A.008.D.2)	The floor of a dwelling unit shall be at least 4' above or below sidewalk grade, or set back at least 10' from the sidewalk. Exception may be granted if an accessible route is not achievable due to site conditions AND the floor is at least 18" above or 4' below average sidewalk grade or set back 10' from the sidewalk AND the visually prominent entry is maintained.	BICYCLE PARKING (23.54.015.K, TABLE D)	-Long Term: 1 per dwelling unit -Short Term: 1 per 20 dwelling units
STRUCTURE HEIGHT (23.47A.012)	Base Height Limit: 75'-0"	PARKING COUNT (23.54.015)	Table A for parking for Non-res uses: no parking requirement in hub urban village Table B for parking for Res uses: no parking requirement in hub urban village.
FLOOR AREA RATIO (23.47A.012)	5.5		
SETBACK REQUIREMENTS (23.47A.014.C)	-Required Front Setback (Stone Way): 0-ft -Required Side Setback: 0-ft -Required Rear Setback: 0-ft -Required Upper Level Setback: 8-ft (Average) above 65-ft for all street-facing facades.	SOLID WASTE AND RECYCLABLE STORAGE (23.54.040)	-Mixed use development that contains both residential and non-residential uses shall meet the storage space requirements shown in Table A for 23.54.040 for residential development, plus 50 percent of the requirement for non-residential development. In mixed use developments, storage space for garbage may be shared between residential and non-residential uses, but separate spaces for recycling shall be provided. -For development with more than 100 dwelling units, the required minimum area for storage space may be reduced by 15 percent, if the area provided as storage space has a minimum horizontal dimension of 20 feet.
BLANK FACADES (23.47A.008.A)	Blank segments of the street-facing facades between 2'-0" and 8'-0" above the sidewalk may not exceed 20'-0" in width. The total amount of all blank facade segments may not exceed 40% of the width of the facade.		Table A: Residential - 575 square feet plus 4 square feet for each additional unit above 100 Non-Residential - 82sf (0-5,000sf)

9.0

PARKING LEVEL FLOOR PLANS

MAJOR USES

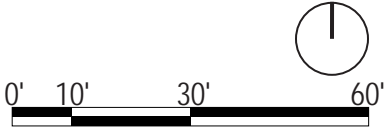
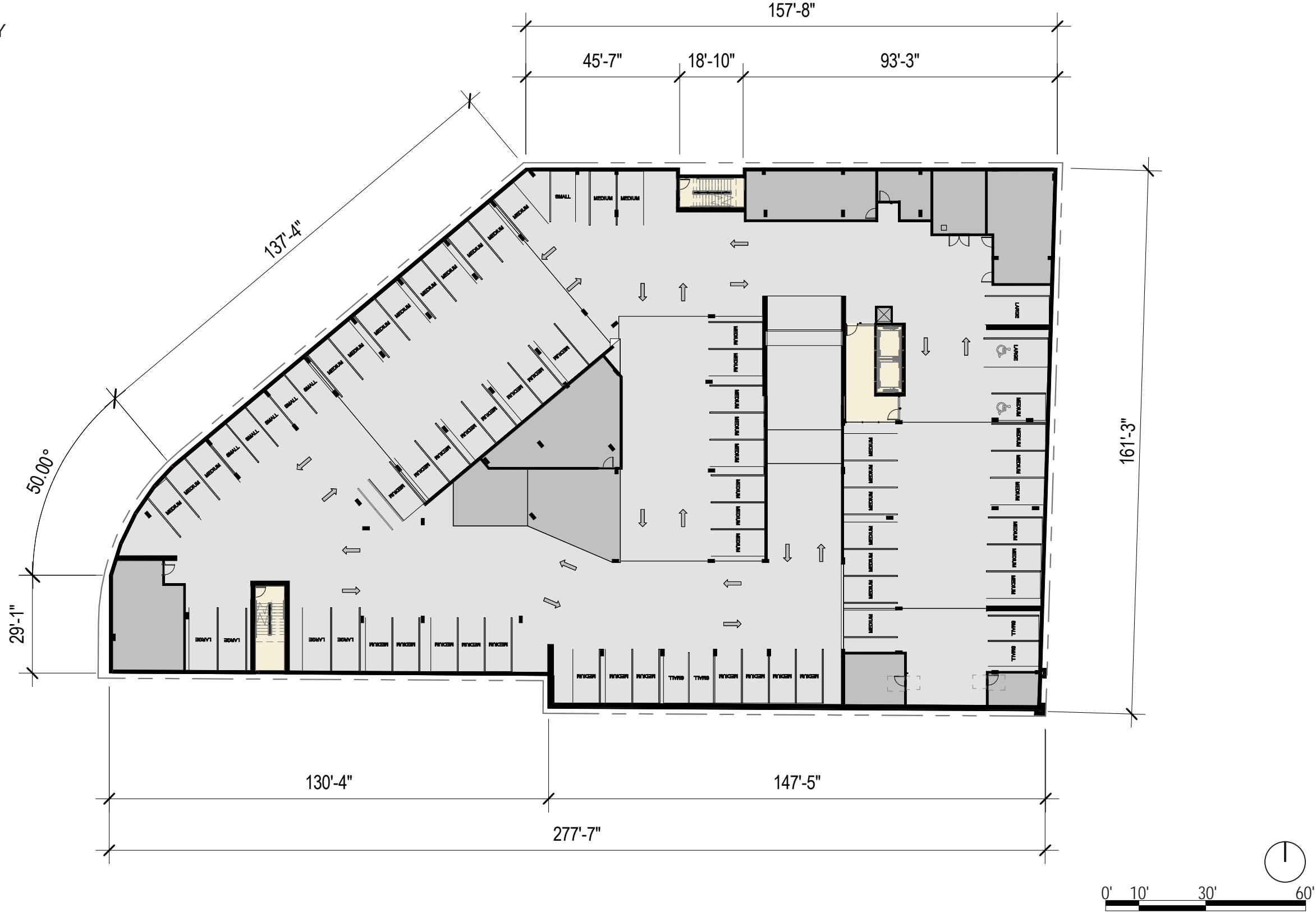
- RESIDENTIAL LOBBY / AMENITY
- COMMERCIAL
- RESIDENTIAL UNITS
- ROOF DECK
- UTILITY



P2 PARKING PLAN
FLOOR PLANS [9.0]

MAJOR USES

- RESIDENTIAL LOBBY / AMENITY
- COMMERCIAL
- RESIDENTIAL UNITS
- ROOF DECK
- UTILITY

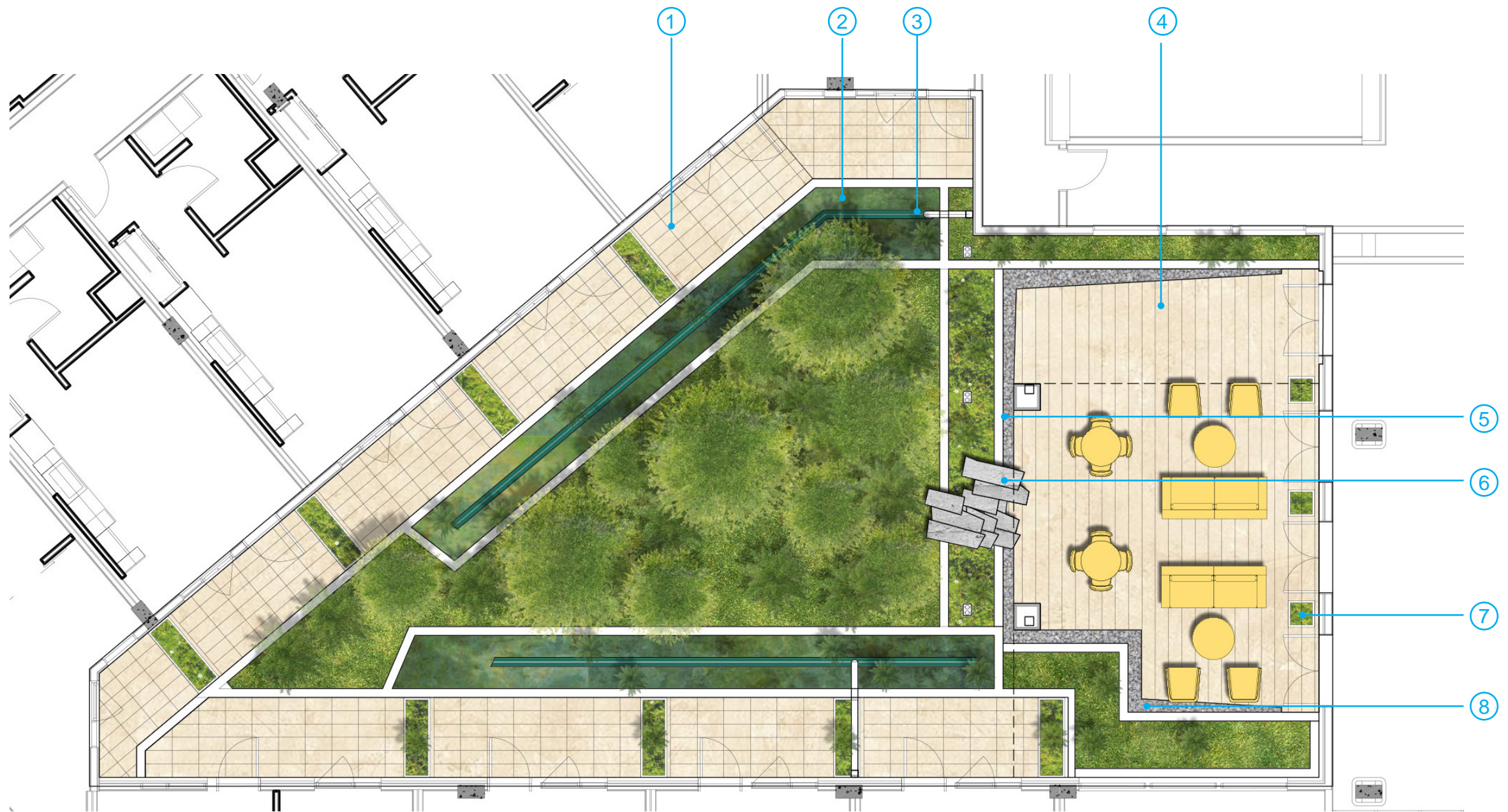


P1 PARKING PLAN
FLOOR PLANS [9.0]

10.0

ADDITIONAL LANDSCAPE & PLANTING PLANS

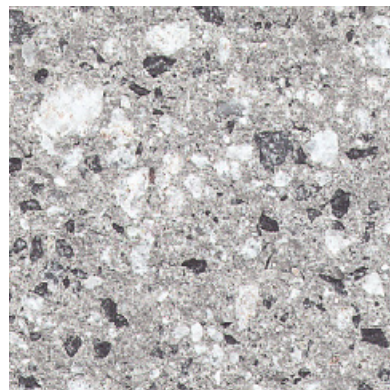
- ① Concrete Paver (Patios)
- ② Bioretention Planter
- ③ Downspout & Runnel
- ④ Porcelain Paver
- ⑤ Concrete Wall
- ⑥ Stone Wall w/ Water Feature
- ⑦ Raised Planter
- ⑧ Mineral Mulch



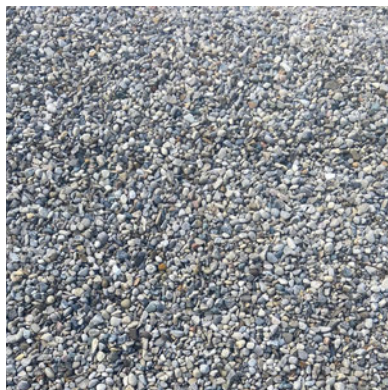
HARDSCAPE MATERIALS



Porcelain Paver
HDG Pietra Stone Finish
Color Blue - 18"x36"



Concrete Paver
Hanover Paver
Color #1025 - 12"x36"



Mineral Mulch
2-4" dia. Stone



Blocky Stone
Montana ledge
12" depth x24" min. length



Downspout & Runnel
S.S. Outlet
S.S. Bent Plate w/ Posts



Raised Planter
Fiberglass
24"x24"x24" HT

COURTYARD

LANDSCAPE & PLANTING PLAN [10.0]

COURTYARD TREE



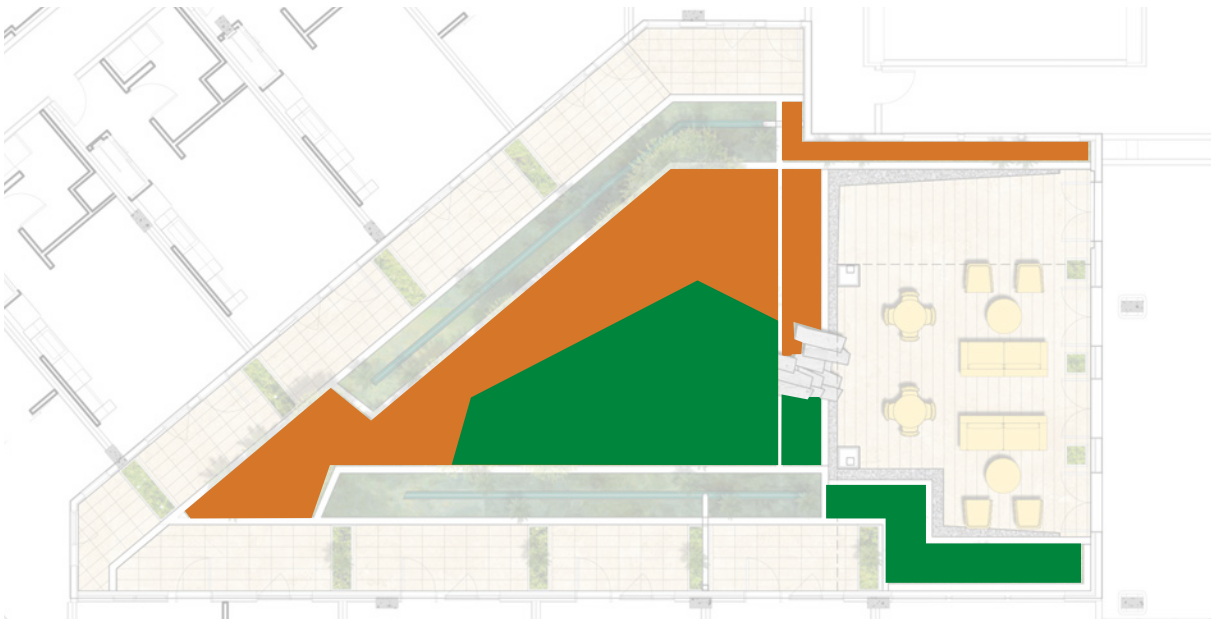
Arctostaphylos x Densiflora
'Howard McMinn'
Manzanita



Pinus nigra
'Oregon green'
Oregon Green Black Pine



Acer circinatum
Vine Maple



KEY PLAN

UNDERSTORY PLANT - SHADE



Asarum caudatum
Wild Ginger



Blechnum spicant
Deer fern



Seselera autumnalis
Autumn Moor Grass



Tellima grandiflora
Fringecup



Vaccinium ovatum
Evergreen Huckleberry

UNDERSTORY PLANT - SUN



Arctostaphylos uva - ursi
Kinnikinnick



Liriope Muscari
'Evergreen Giant'
Evergreen Giant Liriope



Rubus calycinoides
Creeping raspberry



Spiraea betufolia
Birch leaf spirea

COURTYARD PLANTING PALETTE
LANDSCAPE & PLANTING PLAN [10.0]

BIORETENTION PLANTER



Carex obnupta
Slough sedge



Cornus sericea 'isanti'
Redtwig Dogwood



Juncus Tatens
Common Rush

RAISED PLANTER PLANT

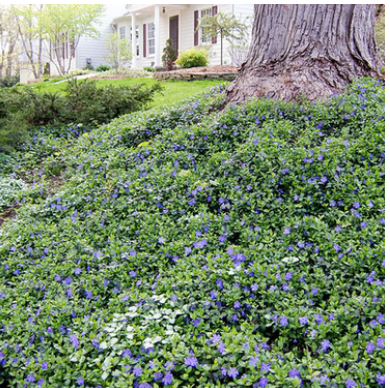


Liriope Muscari
'Evergreen Giant'
Evergreen Giant Liriope

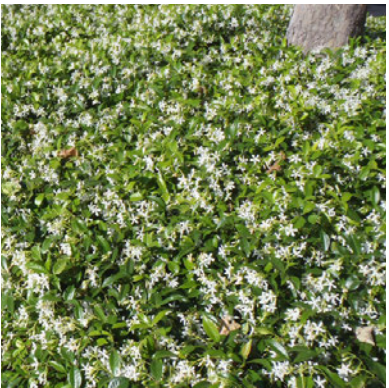


Aspidistra elatior
Cast Iron Plant

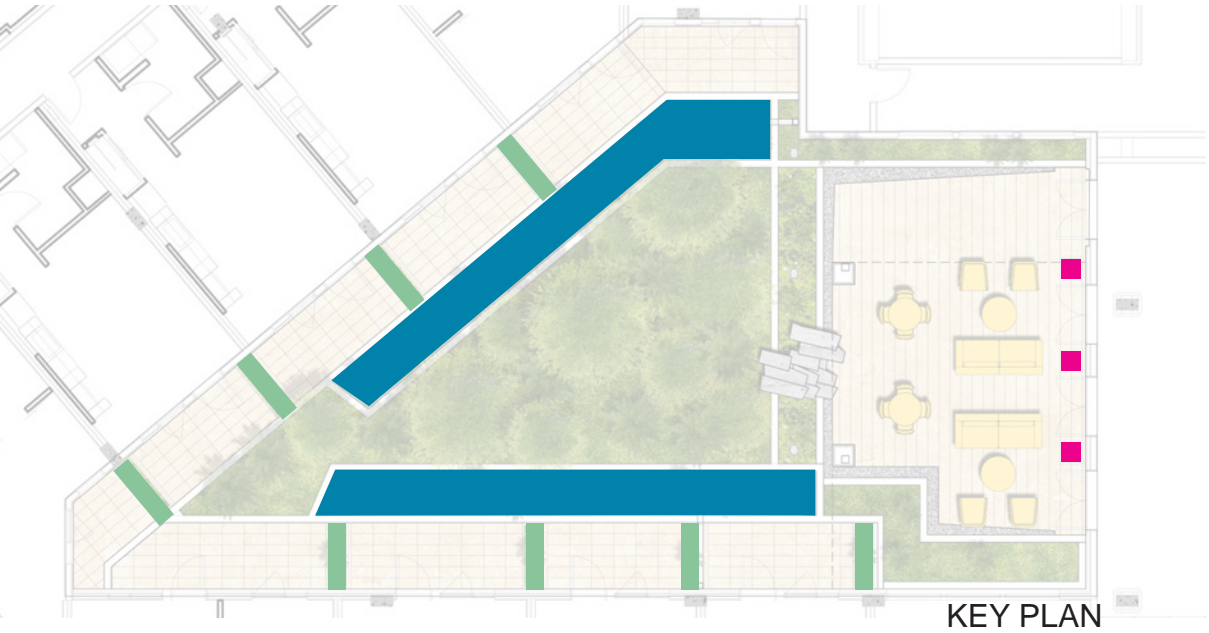
UNIT PATIO PLANT



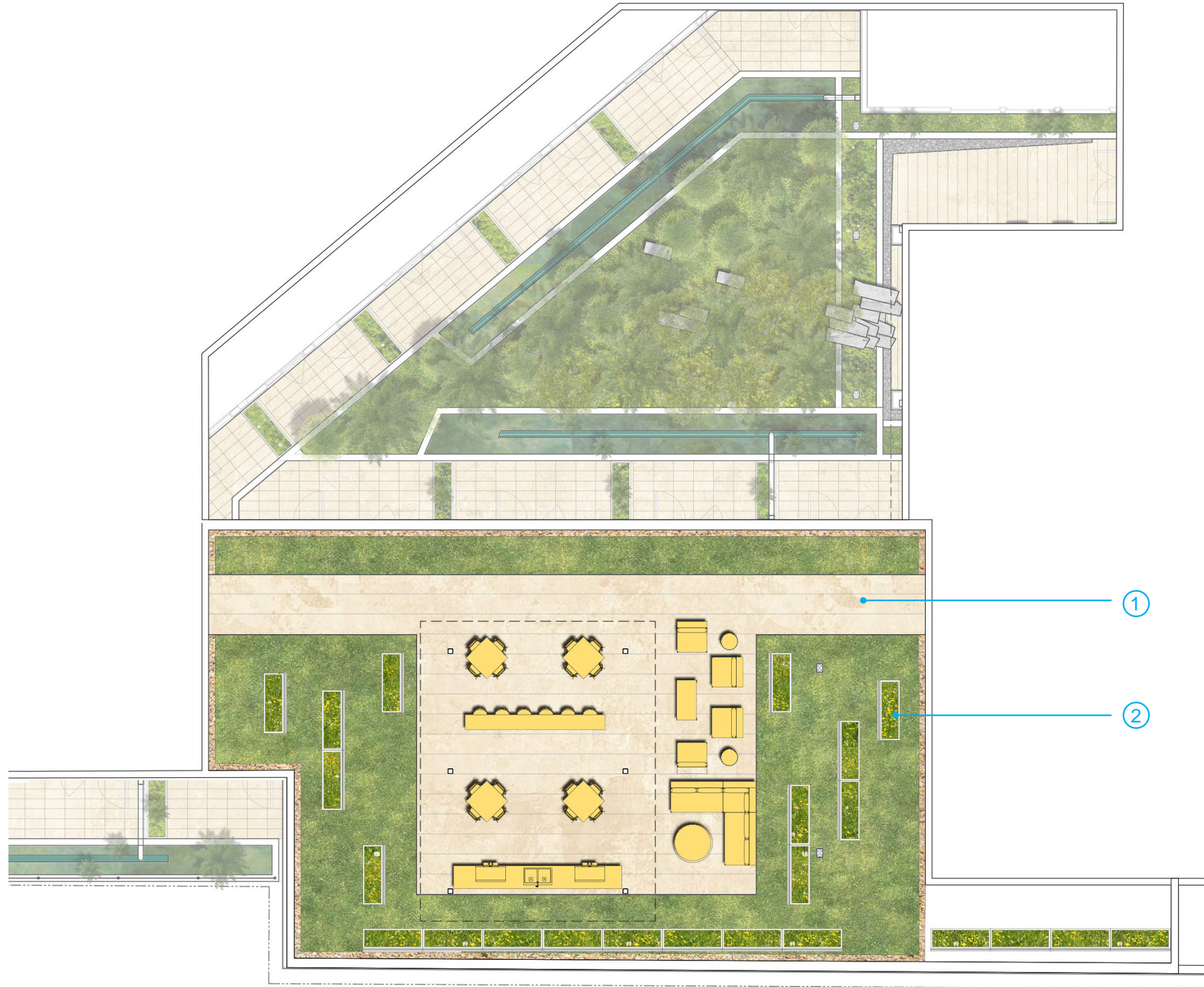
Vinca minor
Periwinkle



Trachelospermum jasminoides
Star Jasmin



COURTYARD PLANTING PALETTE
LANDSCAPE & PLANTING PLAN [10.0]



- ① Porcelain Paver
- ② Raised Planter w/ Screen

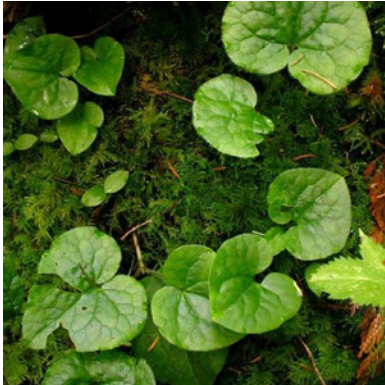
LEVEL 3 & 7

LANDSCAPE & PLANTING PLAN [10.0]

ON STRUCTURE PLANT - SHADE



Arctostaphylos uva - ursi
Kinnikinnick



Asarum caudatum
Wild Ginger



Cyrtomium fortunei
Fortune's Holly Fern

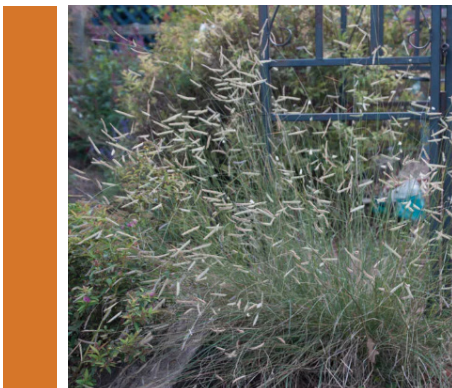


Polytichum acrostichoides
Christmans Fern



Sarcococca hookeriana var. humilis
Creeping Sweet Box

ON STRUCTURE PLANT - SUN



Bouteloua Curtipendula
'blonde ambition'
Blonde Ambition Blue
Grama Grass



Hebe 'hinerua'
Hebe



Pennisetum alopecuroides
'little bunny'
Little Bunny Fountain Grass



Pittosporum tobira
'wheeler's dwarf'
Dwarf Mock Orange



Rubus calycinoides
Creeping raspberry

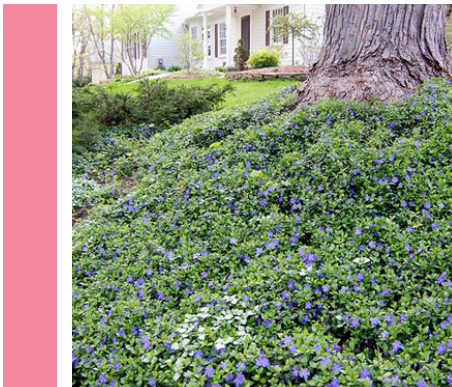


Sedum reflexum Bluespruce
Blue Spruce Sedum



Zauschneria Californica
California Fuschia

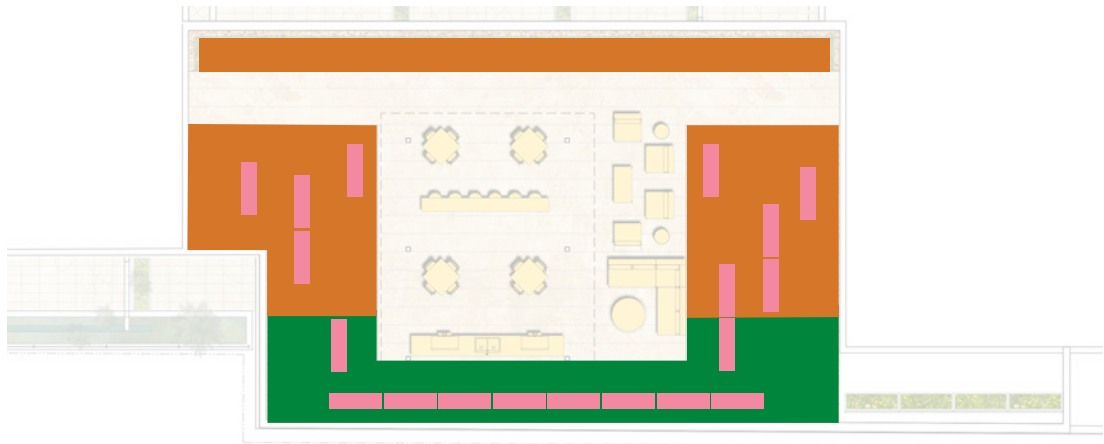
ON STRUCTURE RAISED PLANTER PLANT



Vinca minor
Periwinkle



Trachelospermum jasminoides
Star Jasmin

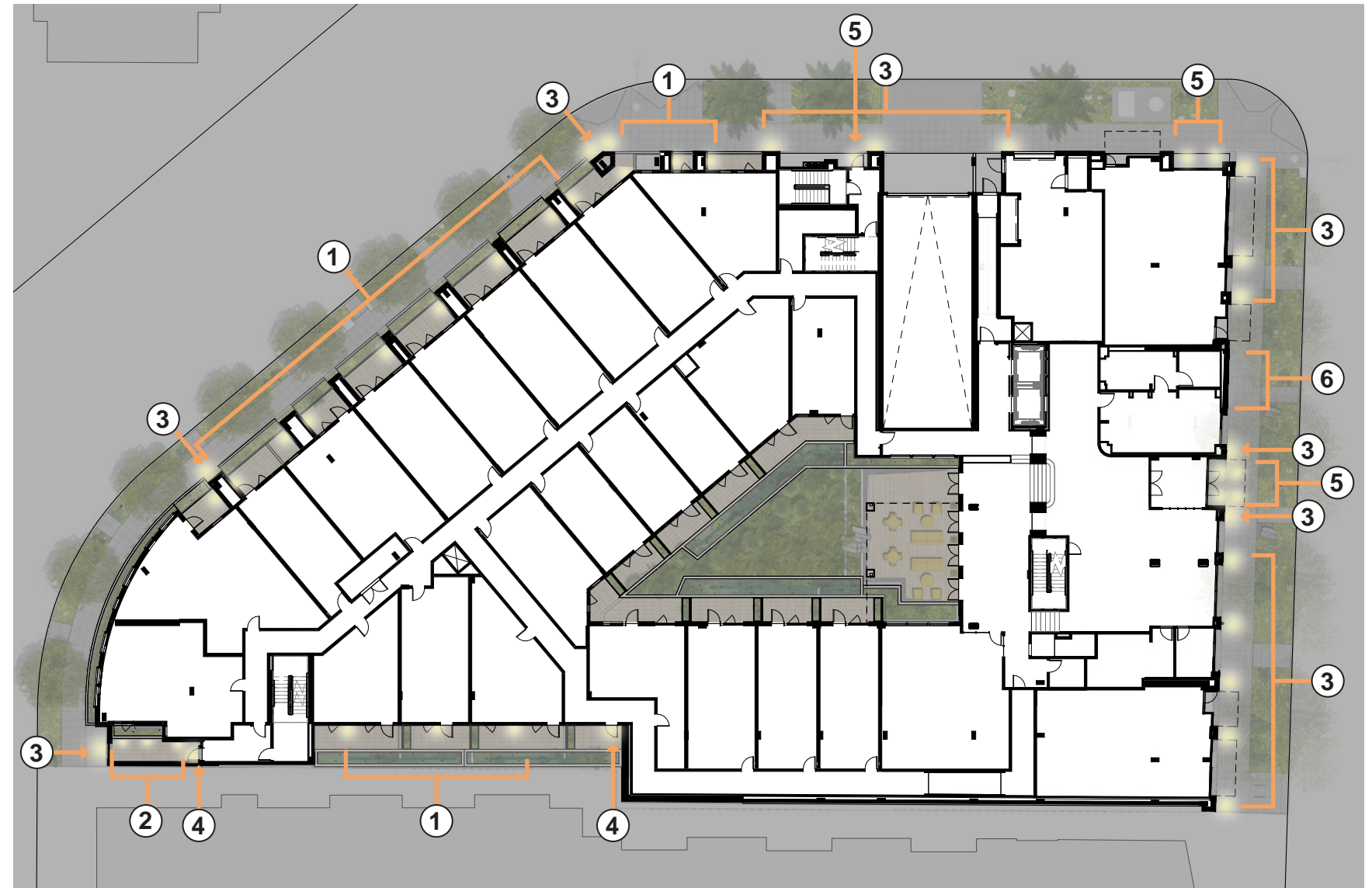


KEY PLAN

LEVEL 3 & 7 PLANTING PALETTE
LANDSCAPE & PLANTING PLAN [10.0]

14.0

EXTERIOR LIGHTING PLAN



① WALL SCONCE



② RECESSED FLOOR
WASHER LIGHT



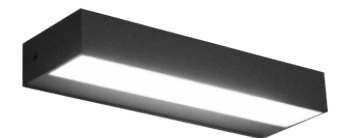
③ WALL SCONCE



④ WALL SCONCE



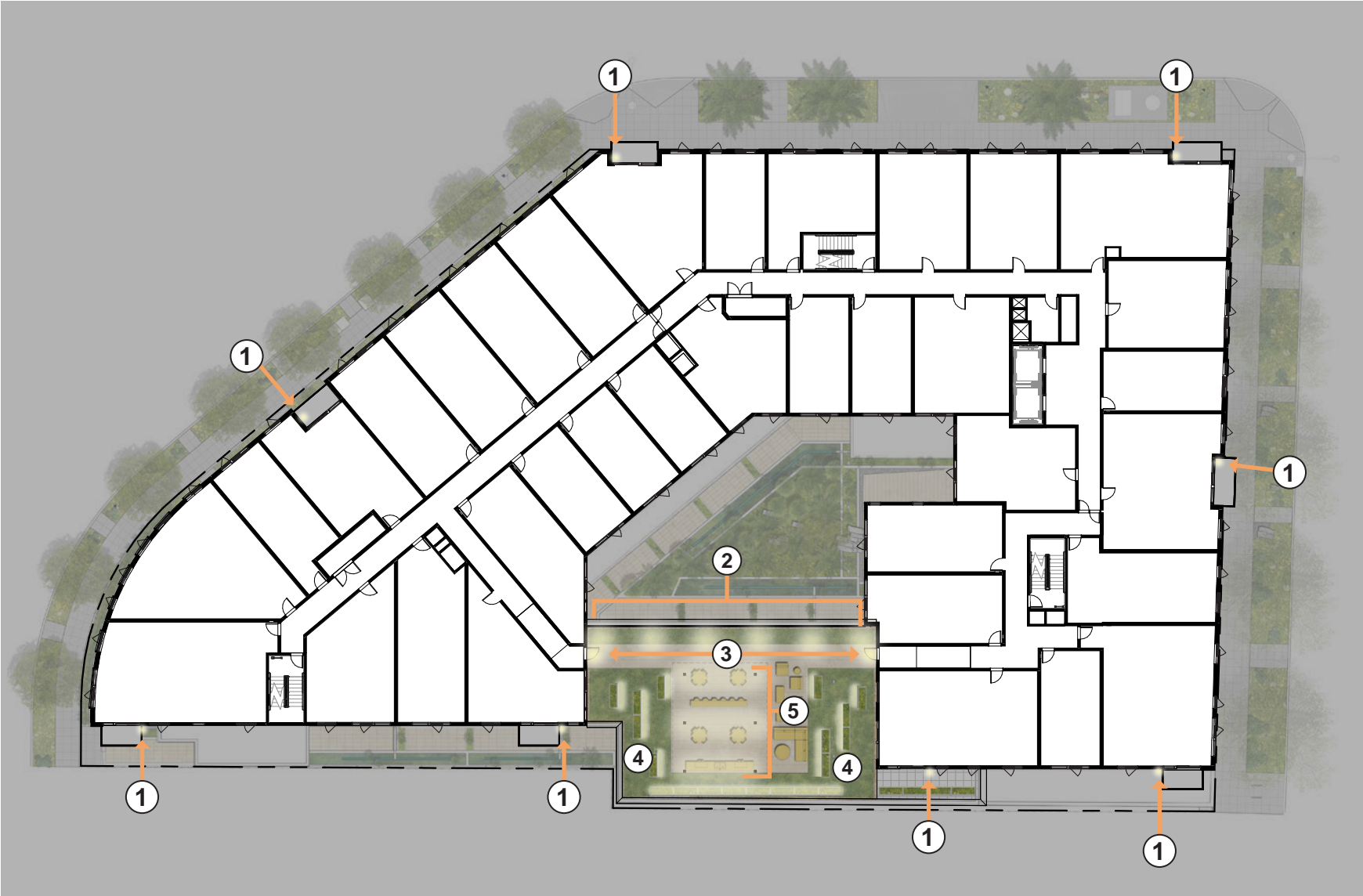
⑤ RECESSED
DOWNLIGHT



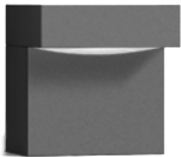
⑥ WALL MOUNTED
ACCENT LIGHT

GROUND STORY PLAN

EXTERIOR LIGHTING PLAN [14.0]



① WALL SCONCE



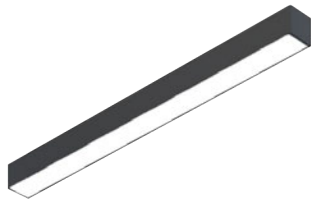
② WALL MOUNTED
GROUND LIGHT



③ WALL SCONCE

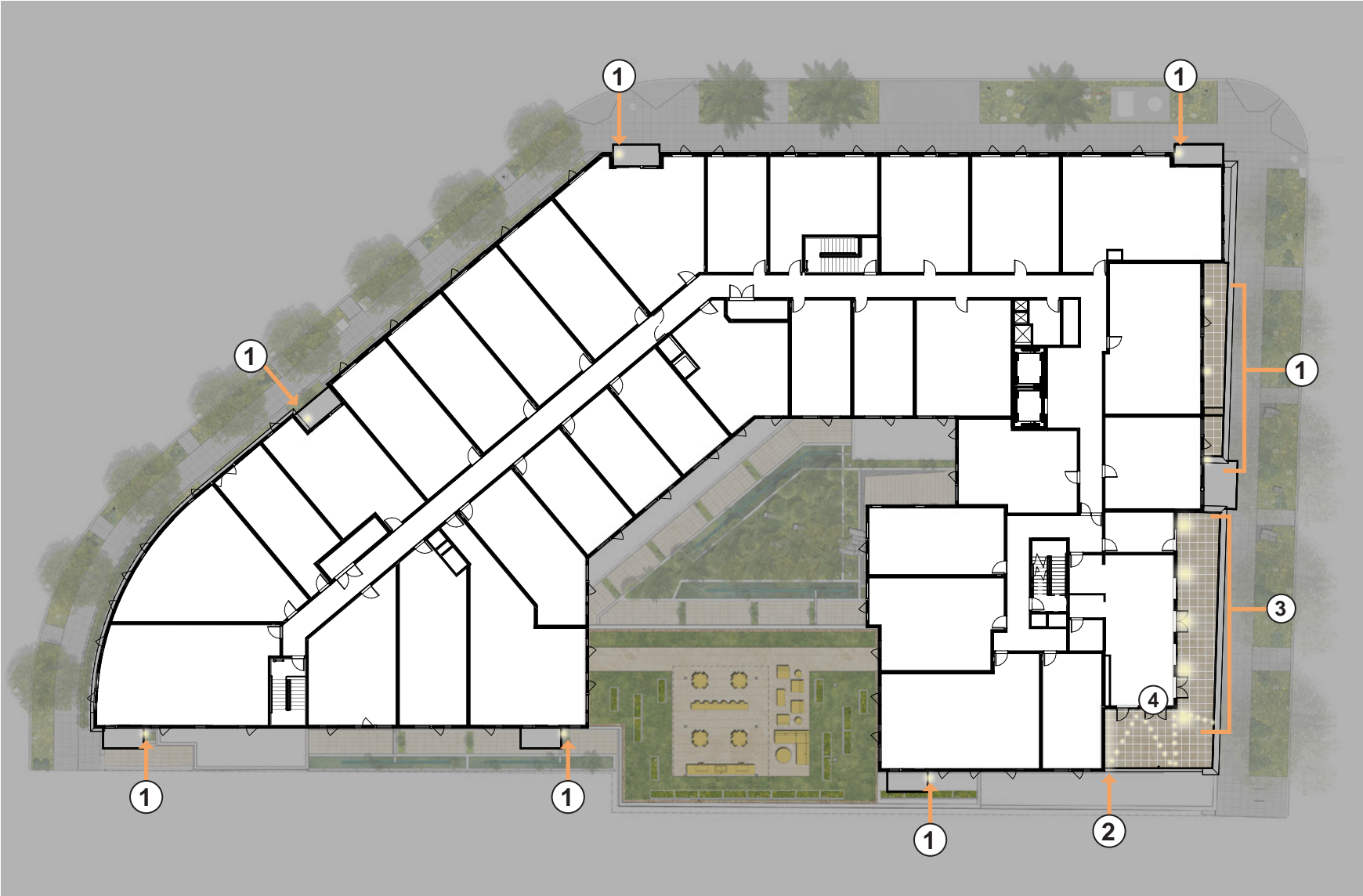


④ LED LINEAR
STRIP



⑤ CEILING MOUNTED
LINEAR LIGHT

3RD STORY PLAN
EXTERIOR LIGHTING PLAN [14.0]



① WALL SCONCE



② RECESSED FLOOR
WASHER LIGHT



③ RECESSED
DOWNLIGHT



④ NARROW BEAM
DOWN LIGHT

7TH STORY PLAN

EXTERIOR LIGHTING PLAN [14.0]

15.0

SIGNAGE CONCEPT PLAN



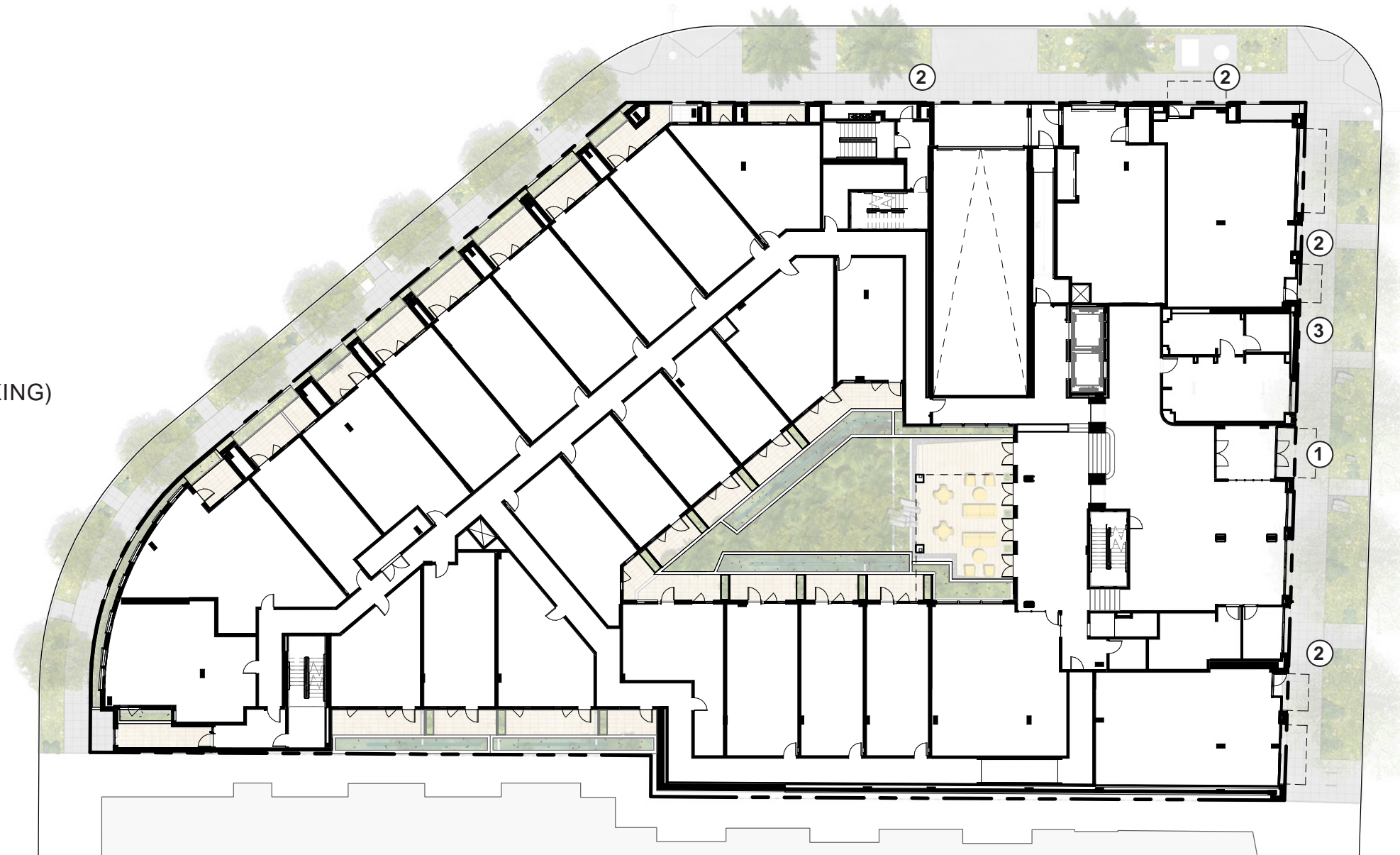
① CANOPY SIGN



② BLADE SIGN
(RETAIL & PARKING)



③ WALL SIGN



GROUND STORY PLAN

SIGNAGE CONCEPT PLAN [15.0]

16.0

BUILDING SECTIONS

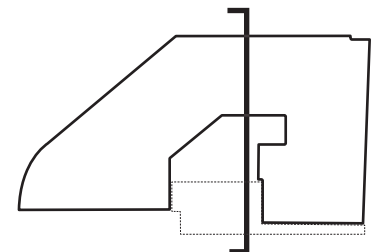
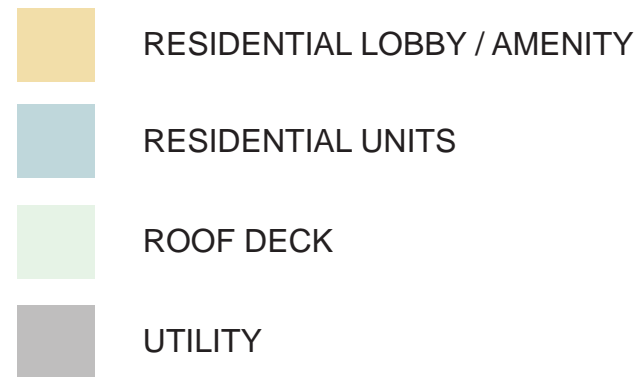
MAJOR USES

- RESIDENTIAL LOBBY / AMENITY
- RESIDENTIAL UNITS
- ROOF DECK
- UTILITY



BUILDING SECTIONS [16.0]

MAJOR USES



BUILDING SECTIONS [16.0]