

VULCAN PHASE 3.3

535 8th Ave. N. Seattle, WA

Project #3039270-LU

Design Review Board Recommendation Meeting

March 15, 2023



PROJECT SUMMARY

PROJECT ADDRESS:

535 8th Ave North
Seattle, WA 98109

PROJECT #: #3039270-LU

ZONE:

SM-SLU 175/85-280

SITE AREA:

30,166 SF

PROJECT TEAM



505 Fifth Avenue S, Suite 900
Seattle, WA 98104
206-342-2000

Perkins&Will

Architect:
1301 Fifth Avenue, Suite 2300
Seattle, WA 98101
206-381-6000

HEWITT

Landscape Architect:
101 Stewart Street, Suite 200
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PROJECT OVERVIEW



INFORMATION

Address: 535 8th Ave North, Seattle, WA 98109

Parcel Number: 198820-1410

Site Area: 30,166 SF

Zoning: SM-SLU 175/85-280

Max. FAR: 8.0

Max. Height: 175'

Number of Residential Units: 0

Total Commercial SF: 361,797 sf

Total Gross Floor Area: 361,797 sf

Above Grade Floor Area: 237,756 sf

Below Grade Floor Area: 124,041 sf

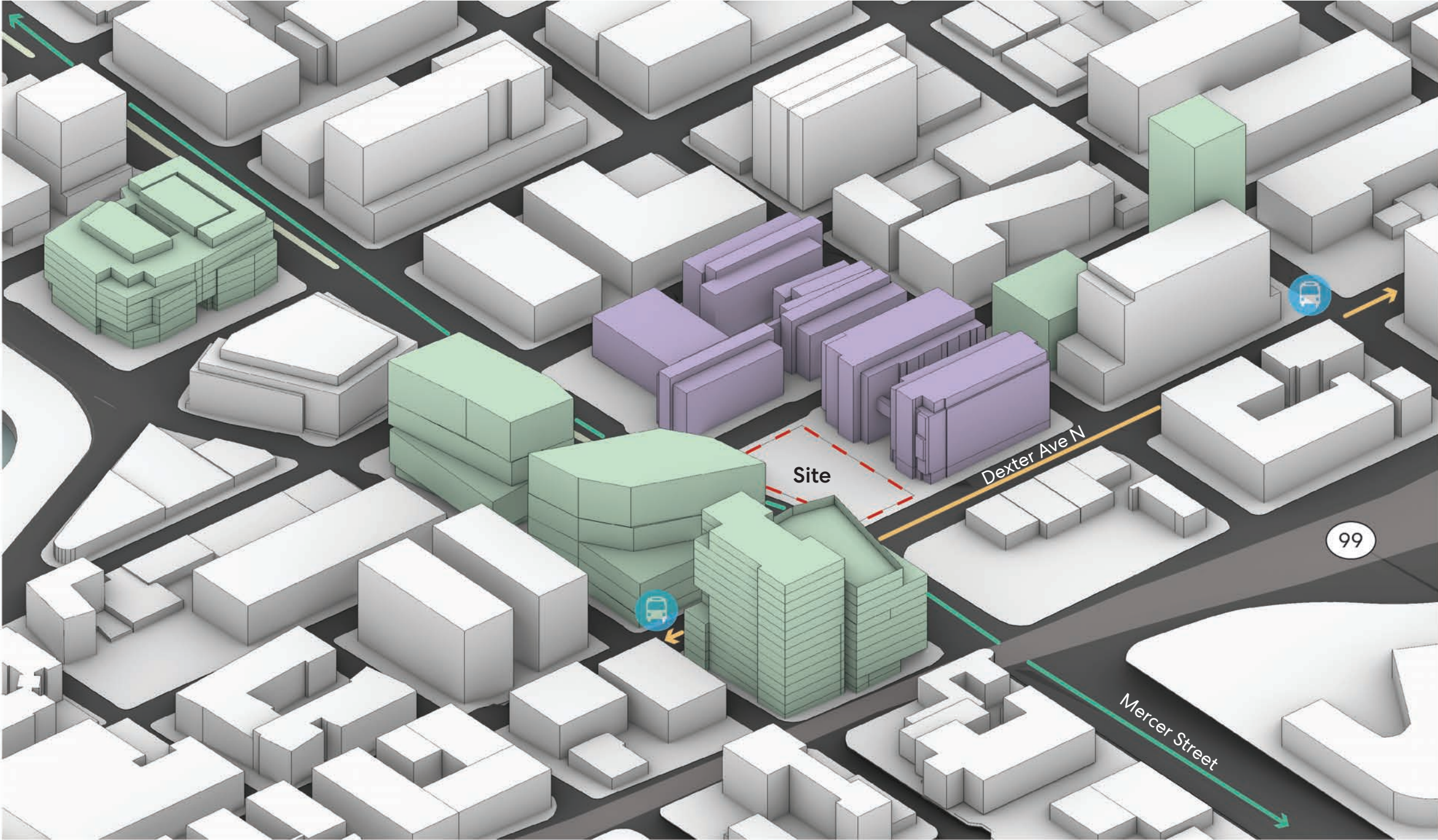
Below Grade Parking: 227 stalls



EXISTING CONDITIONS

- Vehicular access to the site is from 8th Ave. N. on the Southeast portion of the site
- Protected bike lane along Dexter Ave N
- Site sits north of adjacent buildings, terminating pedestrian courtyard, reinforcing the Courtyard Facade
- Eastern edge of site directly adjacent to neighborhood Green Street (8th Ave. N.)
- Intersection of Mercer Street and Dexter Ave N. designated South Lake Union Gateway

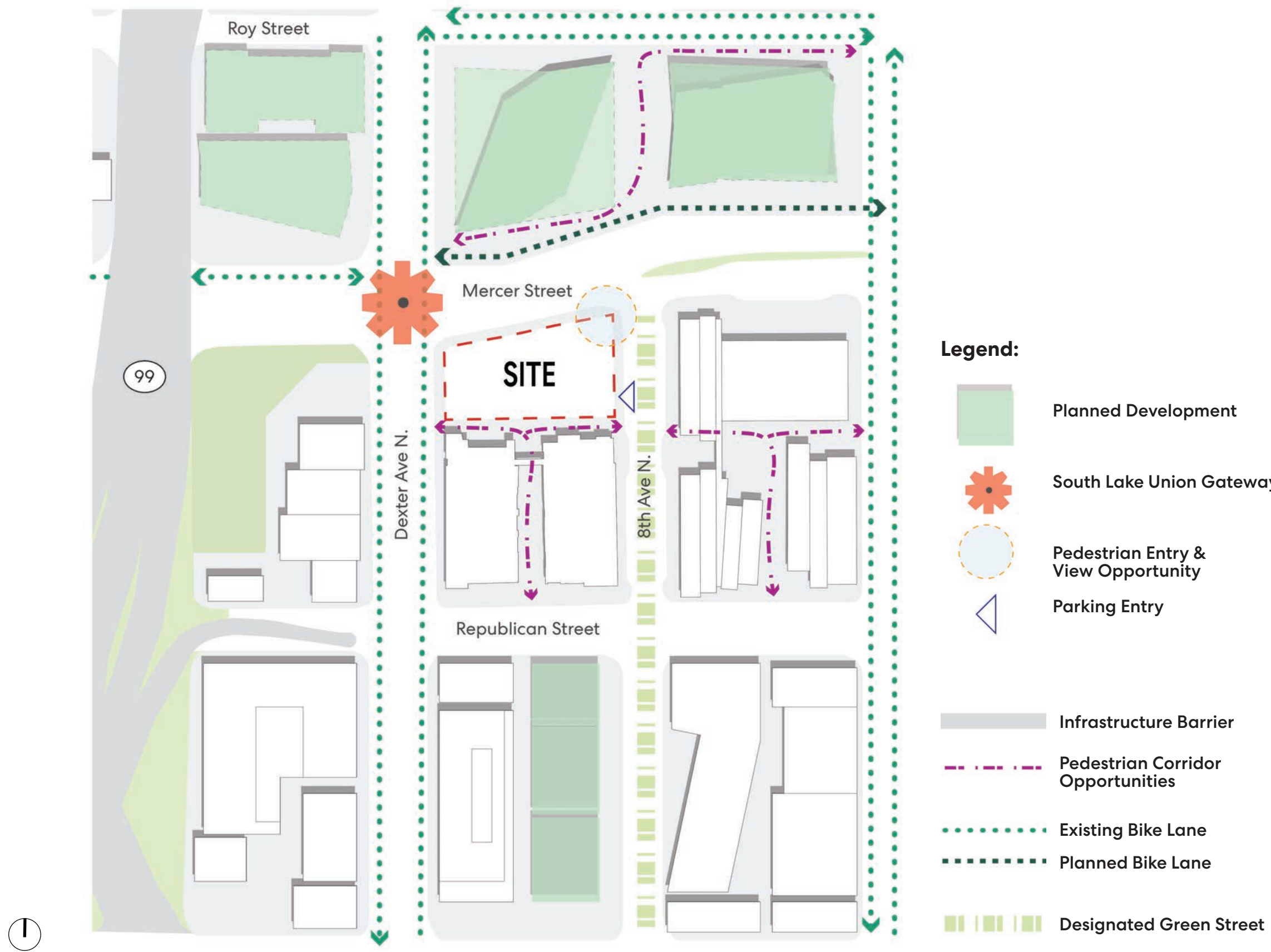
This project proposes a new 11-story above-grade building north of existing Phase 3.1 and Phase 3.2 buildings, with 4 levels of below-grade structure. Approximately 361,797 square feet of above grade shell and core construction for a research lab and around 124,041 square feet of underground parking and services.

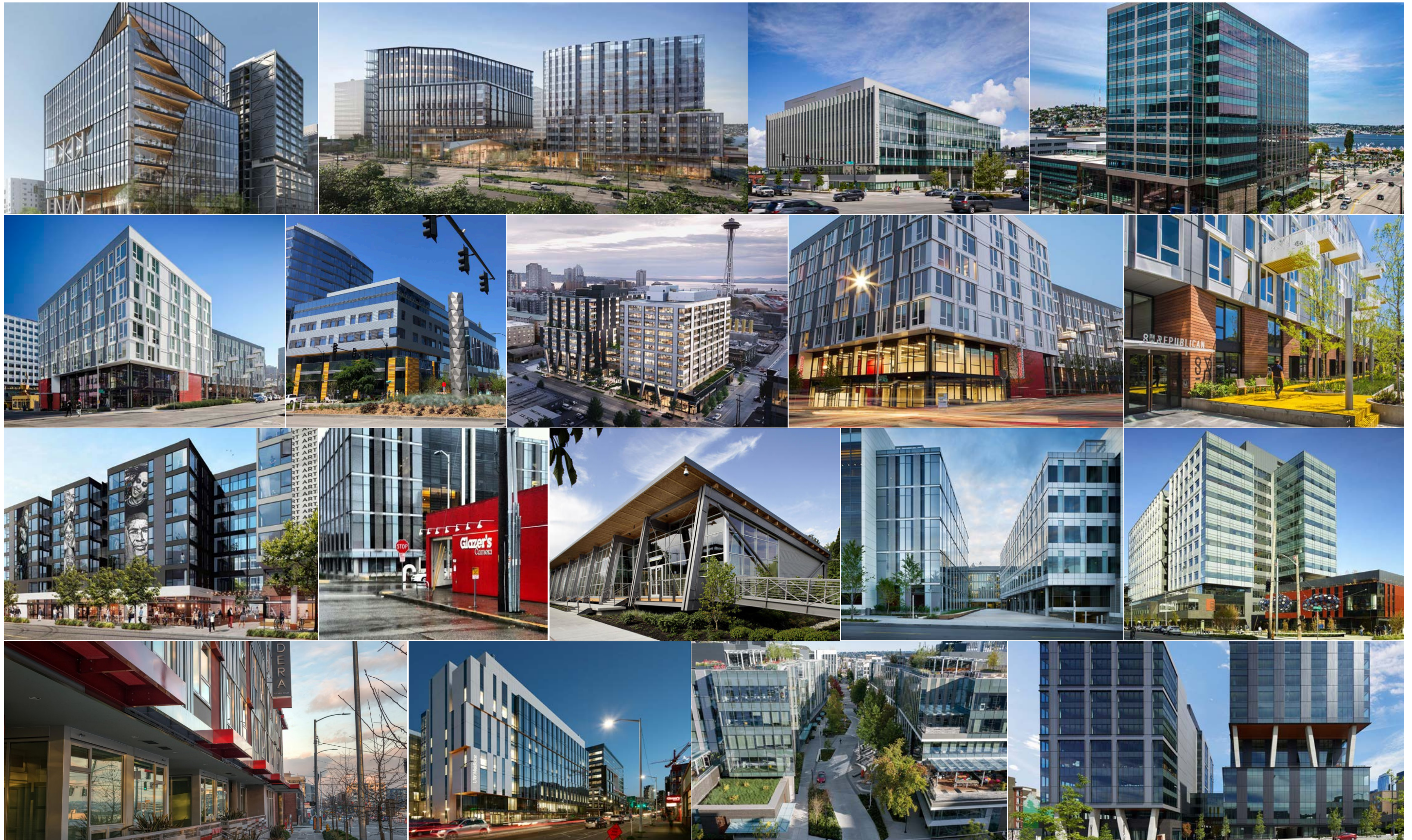


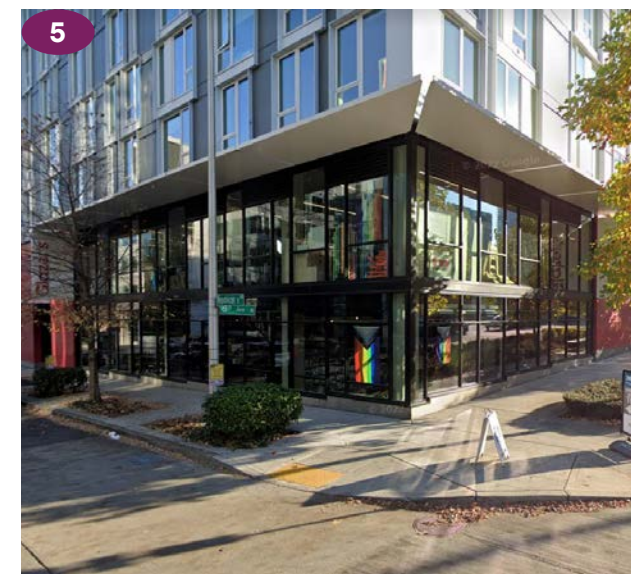
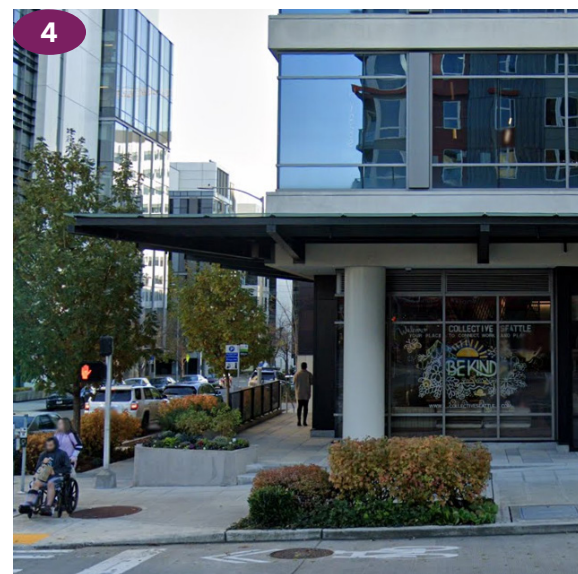
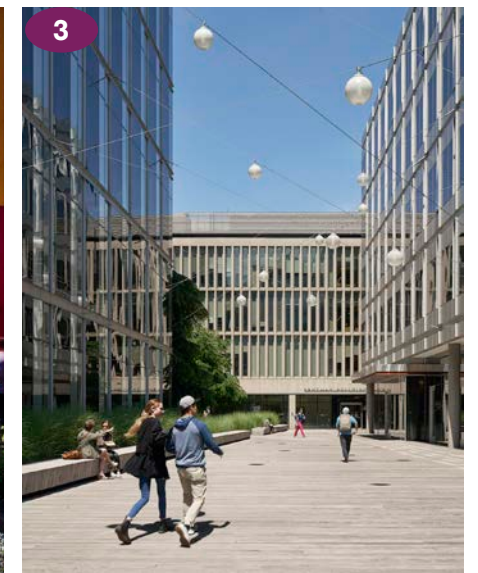
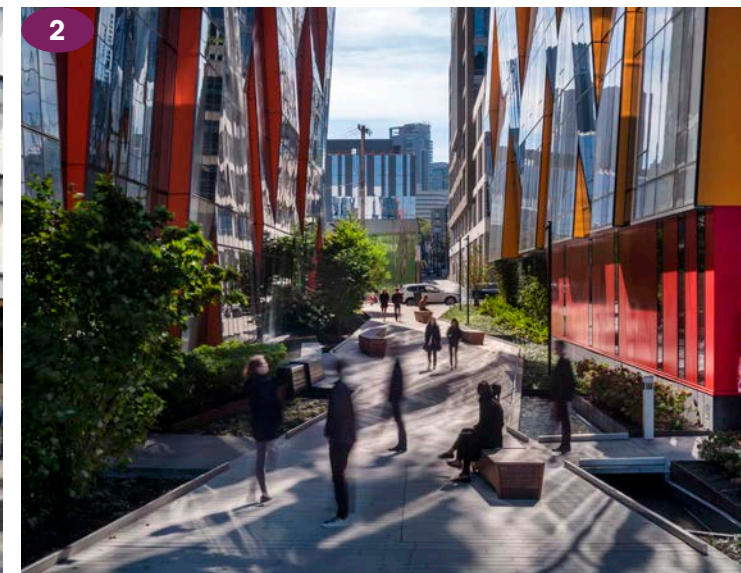
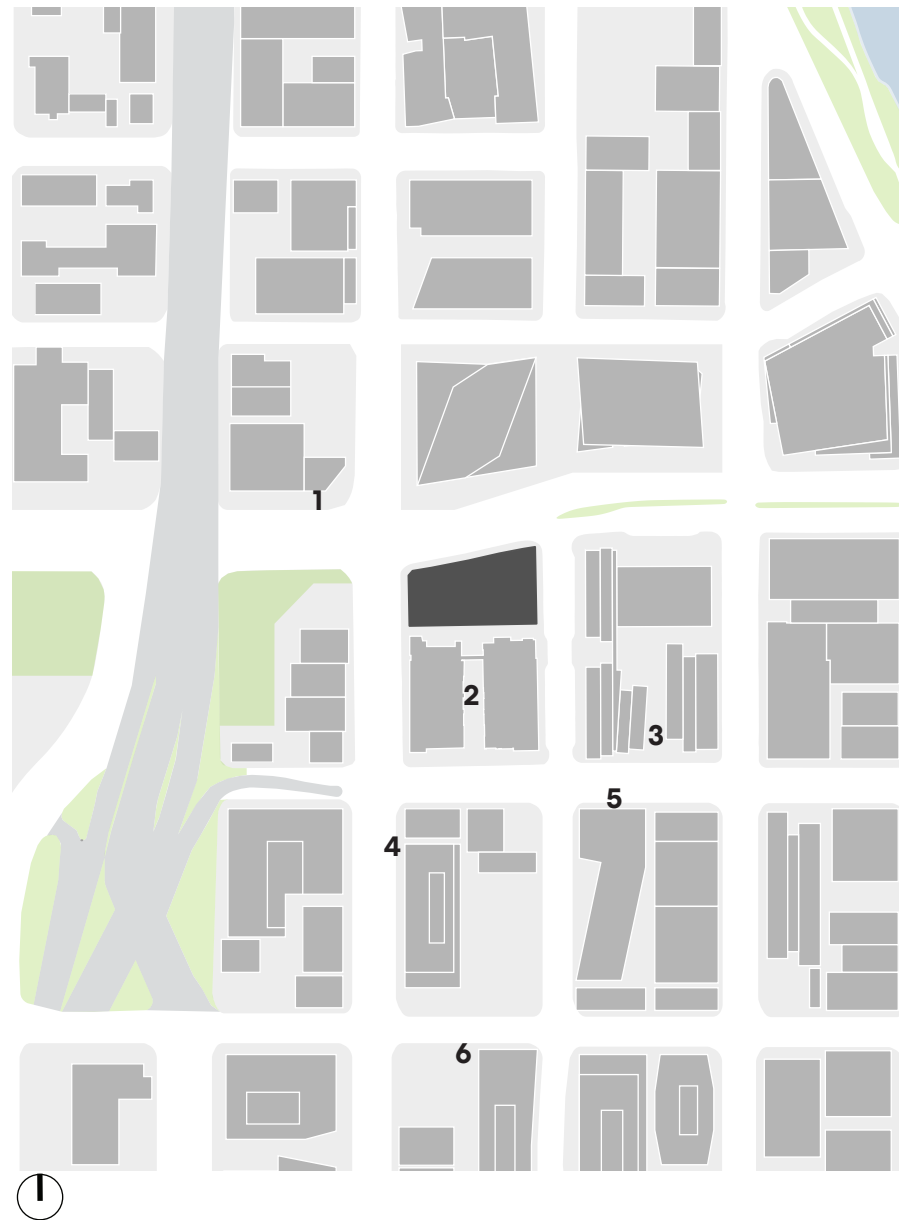


-  Future Development
-  UW Medicine
-  Bus Stop



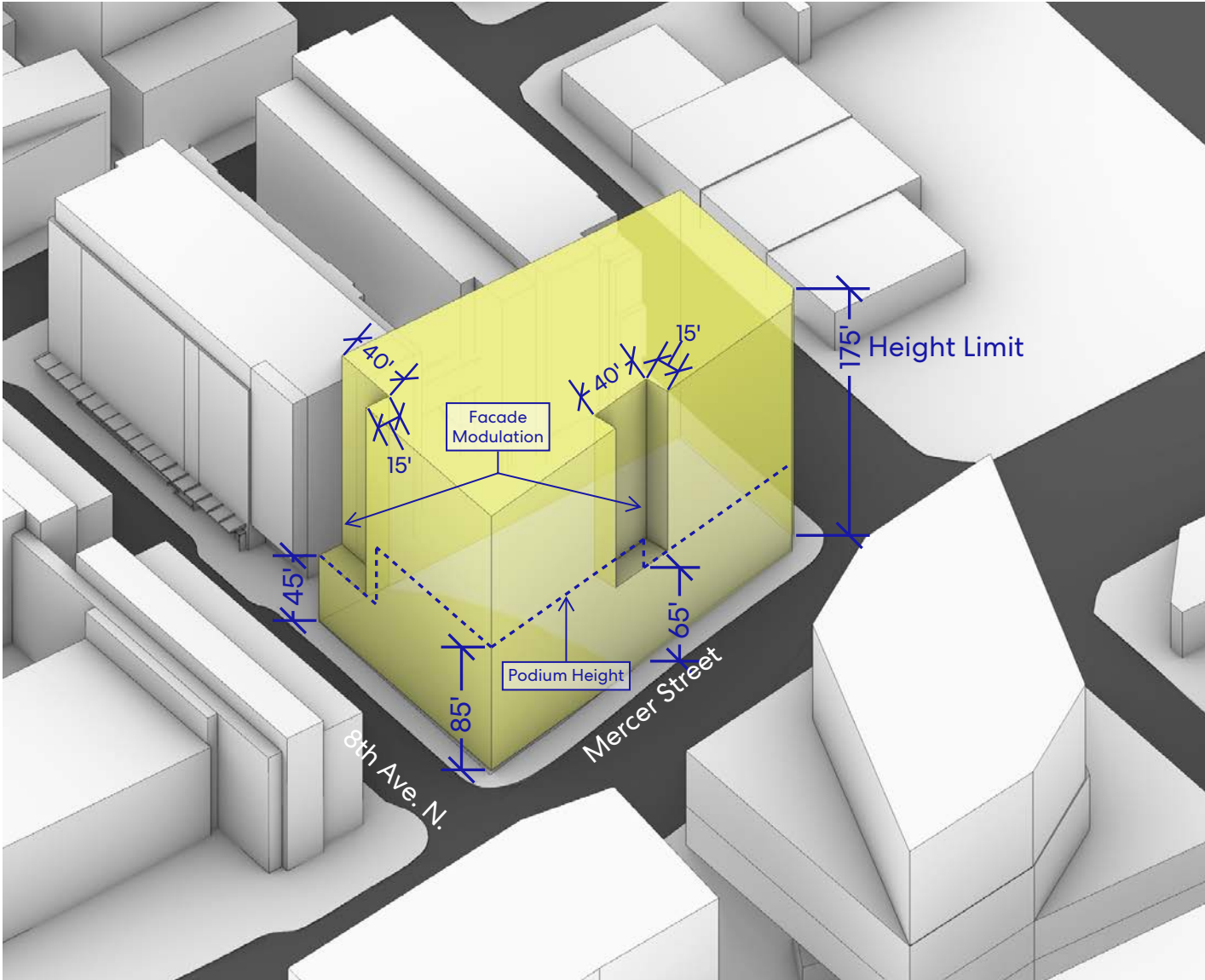
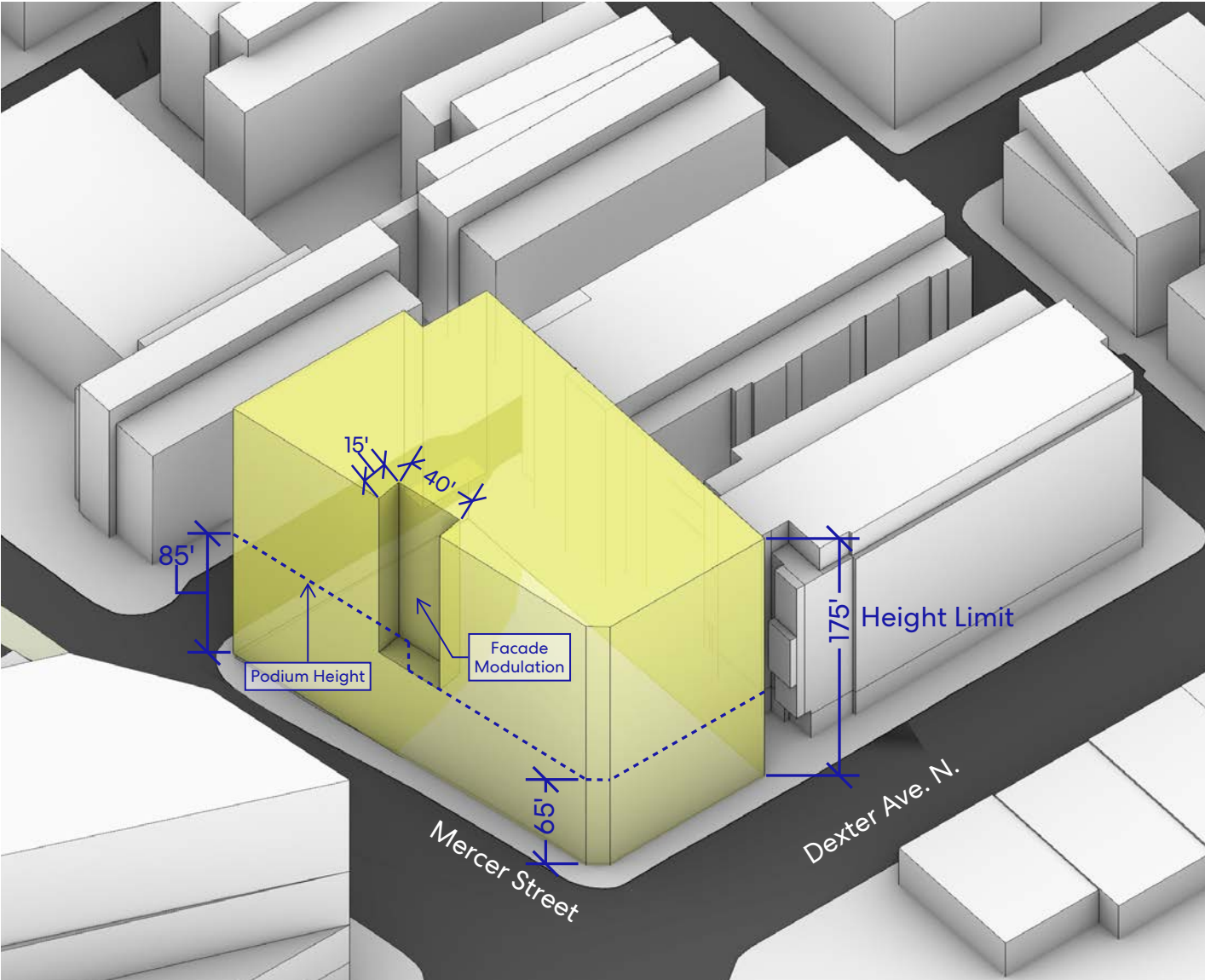






Legend

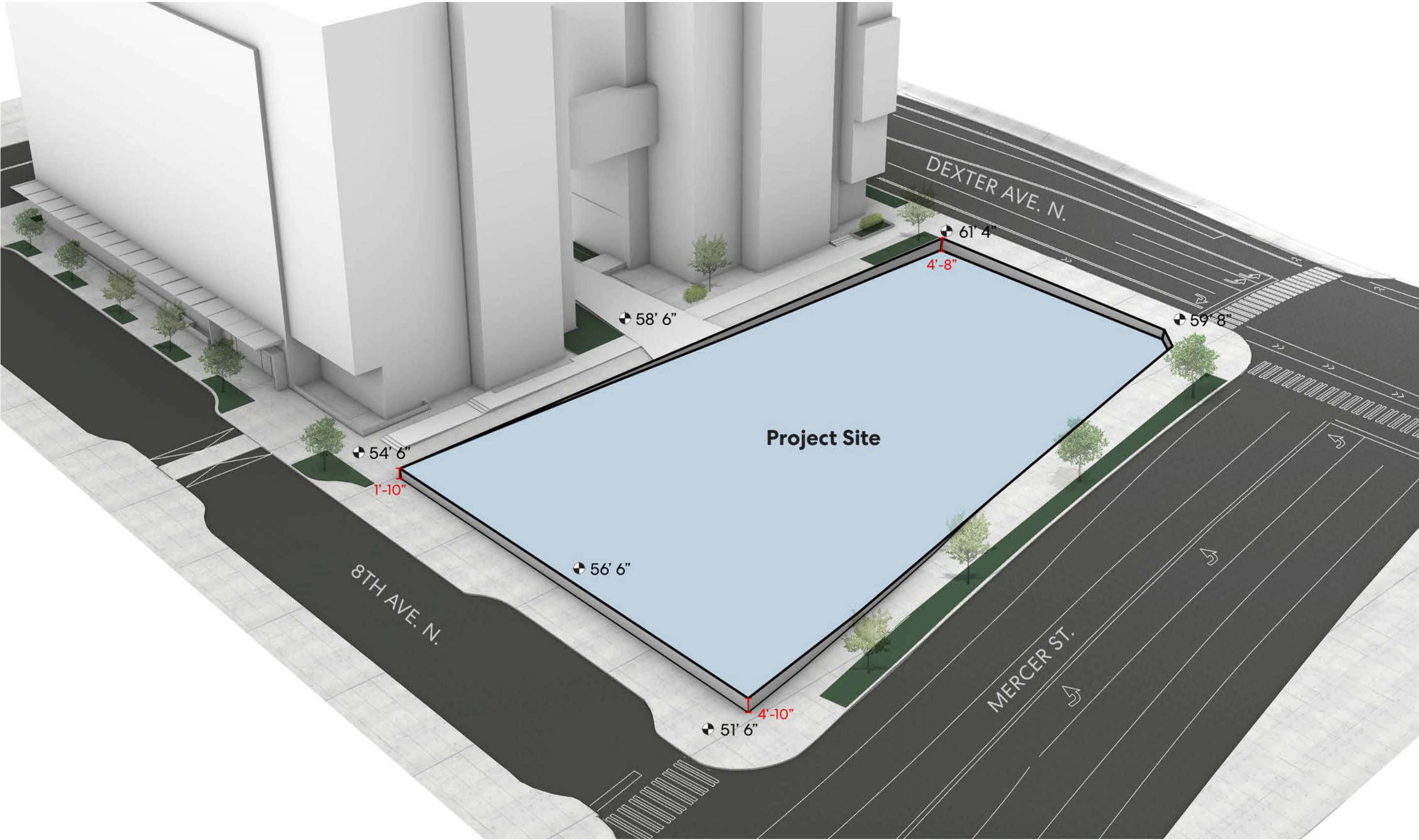
- 1. 601 Dexter Ave. N.
- 2. SOM Phase 3.1 & 3.2 Courtyard
- 3. SOM Phase 3.1 & 3.2 Courtyard
- 4. 400 Dexter Ave. N.
- 5. 811 Republican Street
- 6. 300 8th Ave N



↑
Allowable Zoning Envelope

Zoning: SM-SLU 175/85-280, South Lake Union Urban Center

Street-Level Designations:
 8th Ave N: Neighborhood Green Street
 Republican St: Class II Pedestrian Street
 Dexter Ave N: Class II Pedestrian Street
 Mercer Street: Class II Pedestrian Street



Massing 1: Deflect



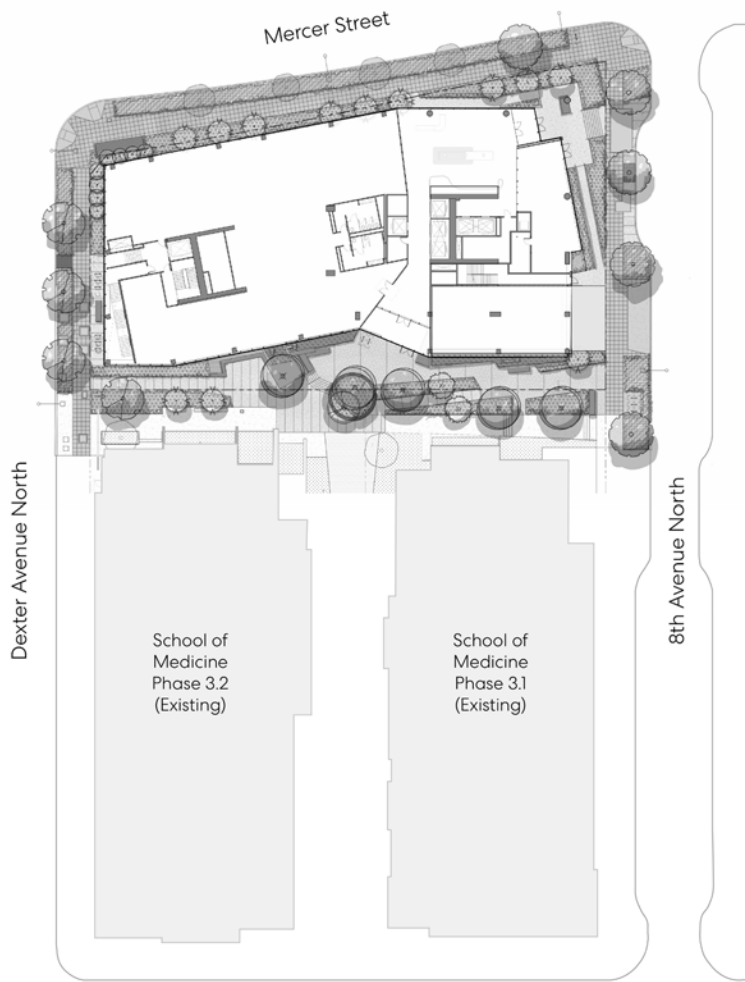
Massing 2: Inflect



Massing 3: Slipped Hinge (EDG Approved)



The Board unanimously supported Massing Concept 3, 'Slipped Hinge,' with its strong relationship to the shifting street grids, the site, its corner prominence at Mercer St and 8th Ave, and the inflection at the northern terminus of the central courtyard to the south.



1. Massing

a.	Preferred concept	Unanimously Supported
	Relationship to site	Supported
	Gateway gesture	Supported
	Slipping and hinging	Supported
	Horizontal datums	Supported
	Northwest corner	Guidance: Board was concerned with rigid orthogonal stacking at this corner. Incorporate additional hinging or dynamic moves.

2. Ground Level Uses and Open Spaces

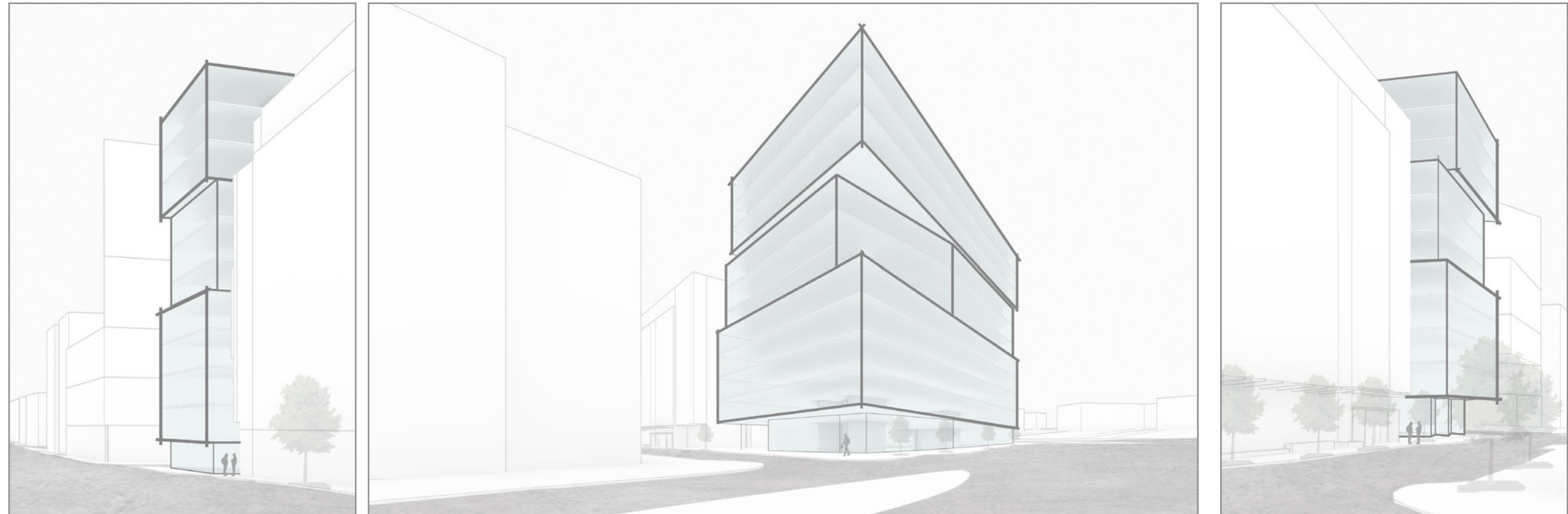
a.	Retail on 8th	Supported, improve connection, accessibility, and landscaping.
b.	Entry on corner	Study location to confirm most appropriate.
c.	Bicycle access	Study circulation patterns, determine a more direct bike access approach.
d.	Courtyard facade	Appreciated inflection and place design intent. Stressed intentional composition to enhance pedestrian environment and experience.
e.	Weather protection	Acknowledged overhangs, directed provision of additional weather protection along streets and mid-block.

3. Massing Articulation, Secondary Architectural Features and Material Application

a.	Legibility of concept	Articulation using secondary architectural features critical to the design concept. Stressed importance of a cohesive facade design and purposeful material transitions to reinforce the overall clarity of the design.
b.	Architectural lighting	Study how lighting could be used to highlight the massing moves, contribute to the dynamic nature of the design and reinforce the clarity of the concept.

SECTION 01.

EDG RESPONSE : MASSING CONCEPT



Board Guidance

- Preferred concept : *Unanimously supported*
- Relationship to site : *Supported*
- Gateway gesture : *Supported*
- Slipping and hinging : *Supported*
- Horizontal datums : *Supported*
- Northwest corner: *Recommended refinement*



Concept evolution

In response to the support and guidance at EDG guidance, the concept was further developed as detailed on the following pages.

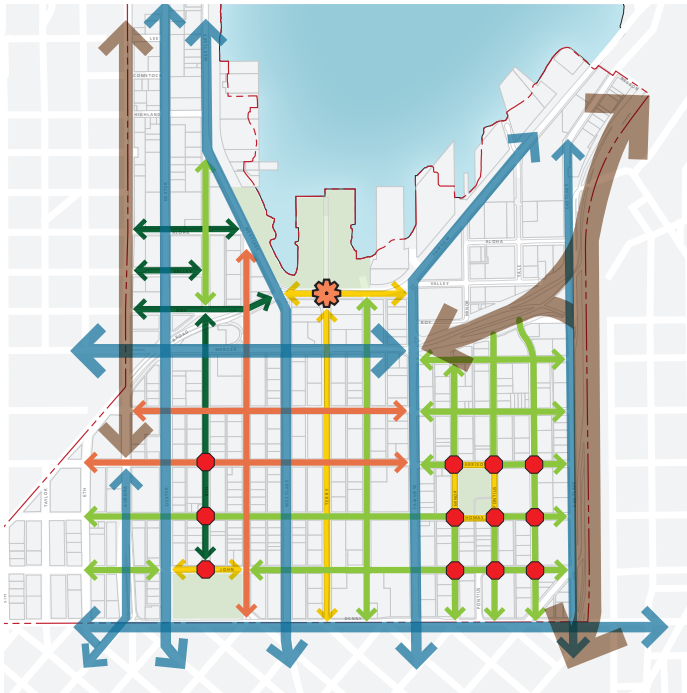
Board Guidance:

Incorporate additional hinging or dynamic moves at the northwest corner to address the Board's concern with the rigid orthogonal stacking at this corner.

(CS2-1, CS2-3, CS2-4, DC1-1, DC2-A, DC2-1)

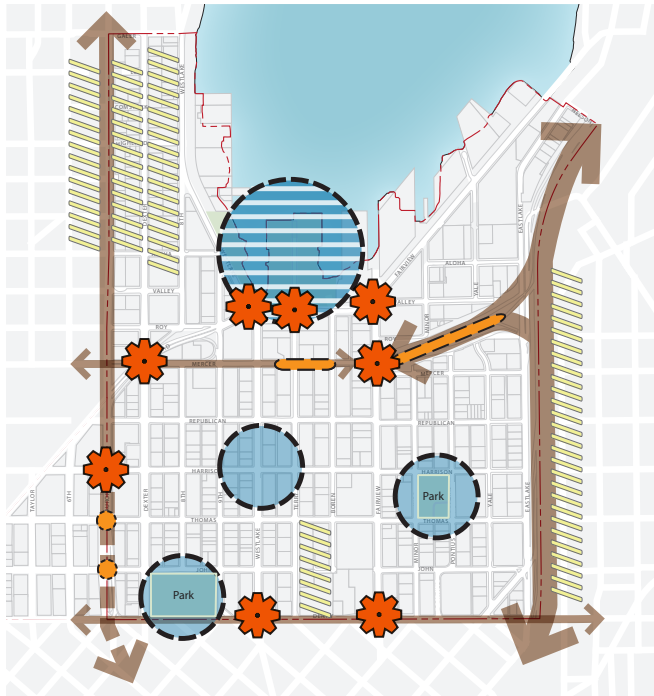


South Lake Union Street Descriptions



- Legend:**
- ↔ Freeway
 - ↔ Neighborhood Street
 - ↔ Boulevard/Great Street
 - ↔ Green Street
 - ↔ Mixed Use Street
 - ↔ Woonerf
 - ↔ Festival Street (Mixed Use)

South Lake Union Urban Design Framework



- Legend:**
- Neighborhood Heart
 - Processional gateway
 - Regional Heart
 - ➔ Infrastructure barrier
 - Gateway
 - /// Challenging topography
(Public & private hillclimbs encouraged)



Legend

1. Mercer Blocks
(Planned Construction)
2. Allen Institute for Brain Science
3. UW Medicine Phase 3
4. UW Medicine Phase 2
5. Modera South Lake Union Apartments
6. 8th and Republican Apartments
7. Amazon Office Campus
8. 333 Dexter
9. Arbor Blocks
(Hewitt Landscape)



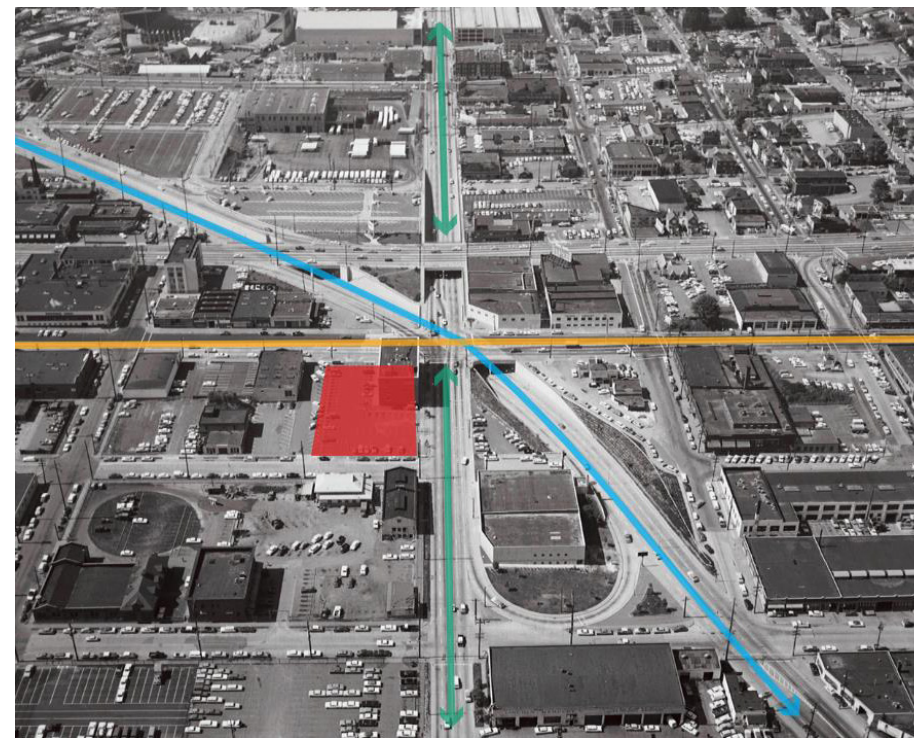
9 Block Area

1924



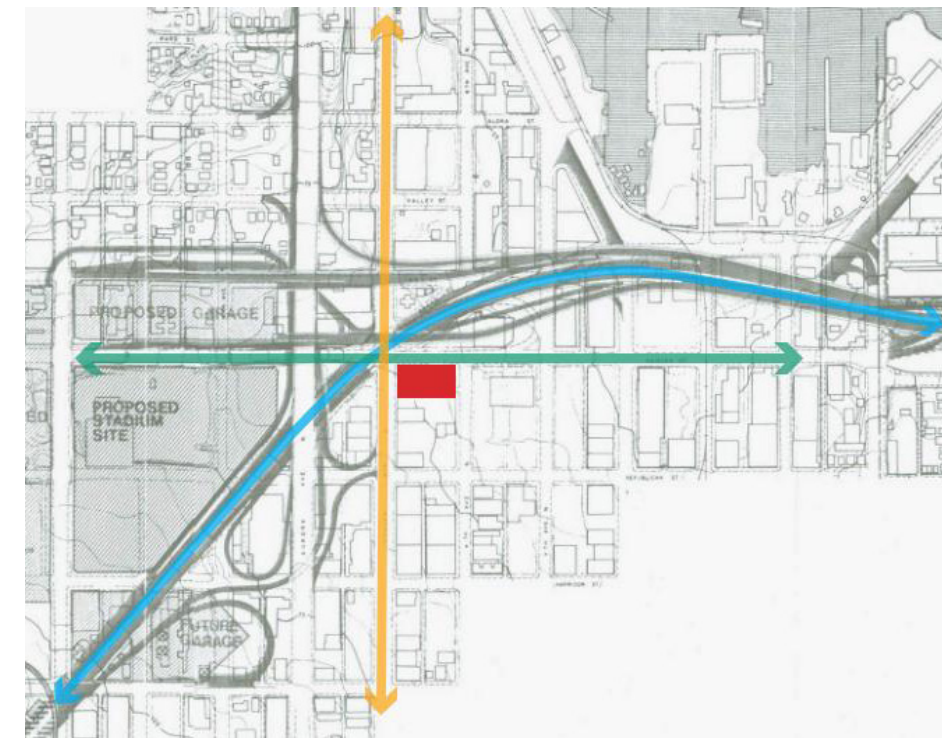
South Lake Union 1924 ⓘ

1962



Aerial from 1962 highlighting Broad Street & Mercer Ave.

1970



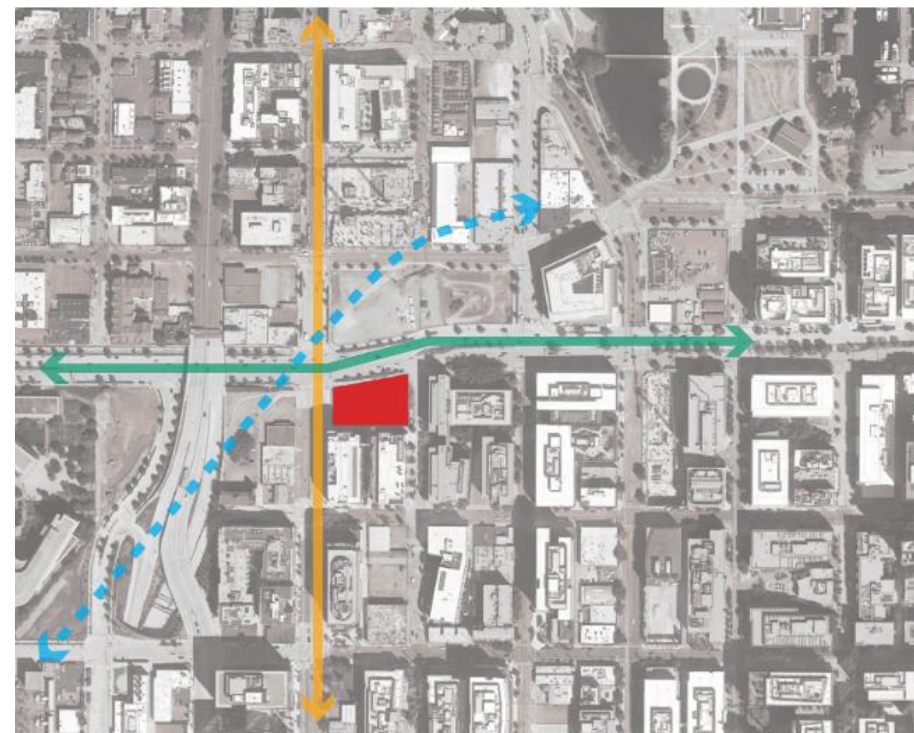
Bay Freeway 1970

1993



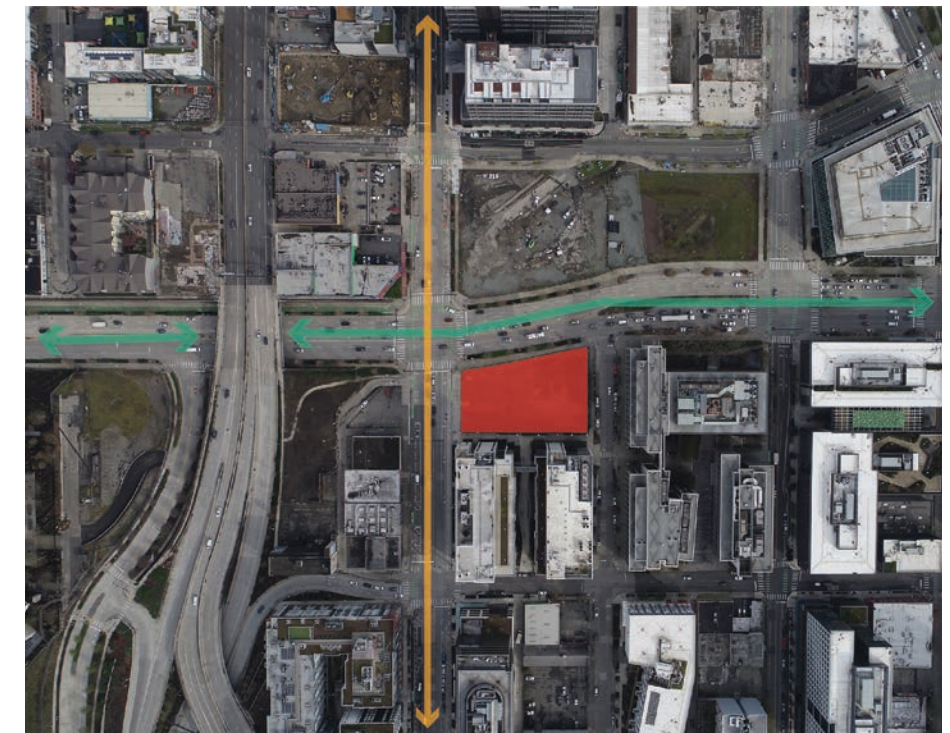
Seattle Commons Proposal 1993

2013



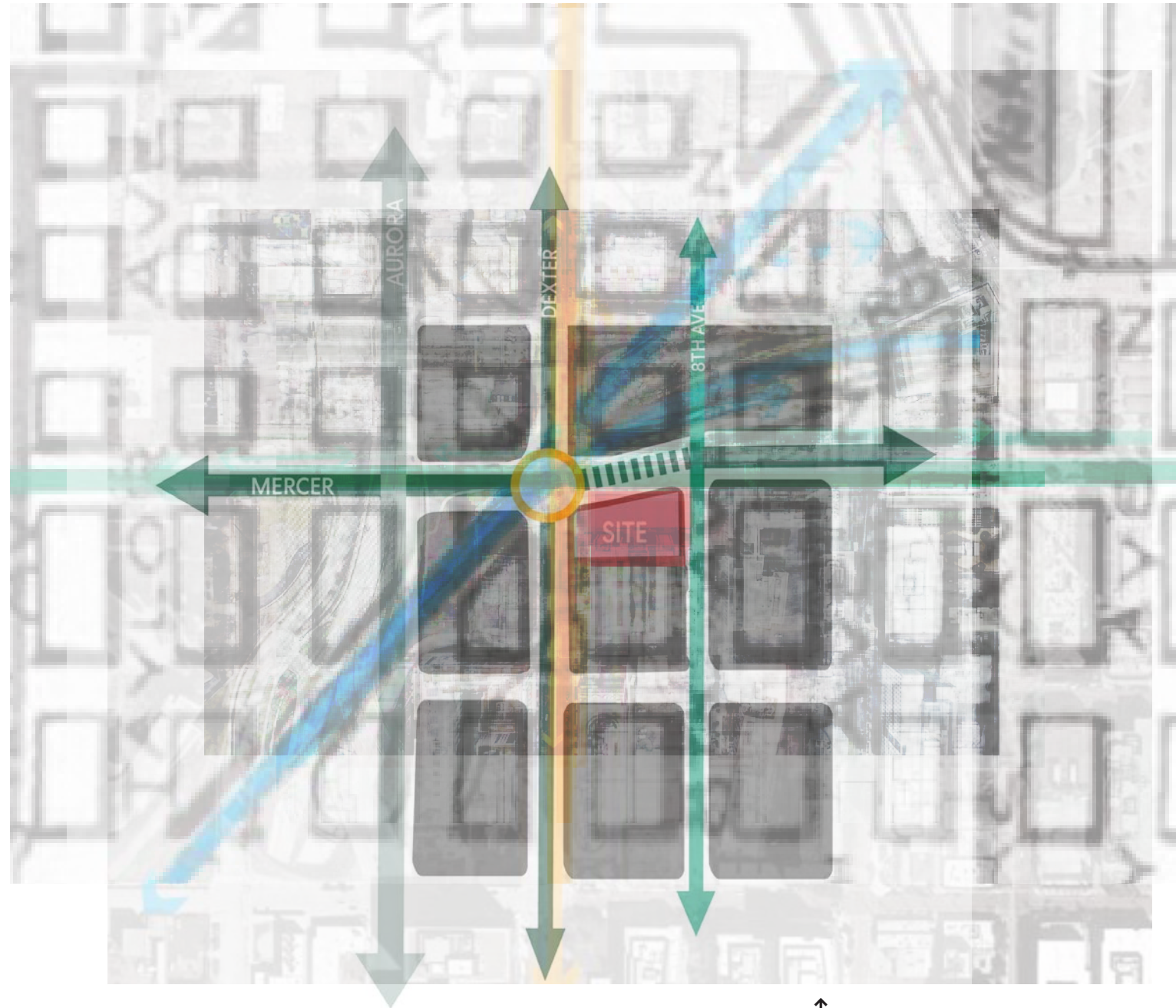
Mercer Corridor Plan 2013

2022

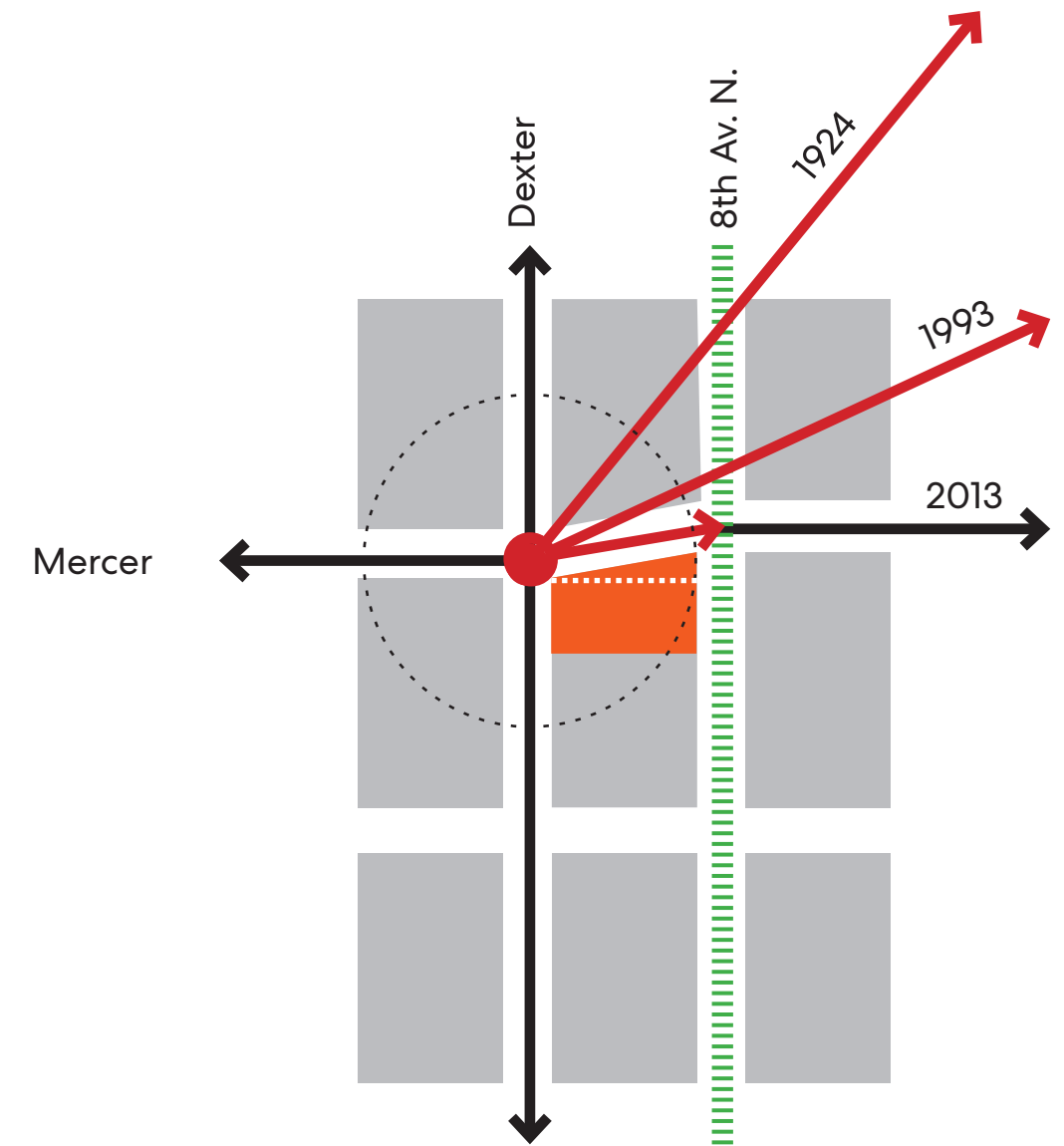


Contemporary aerial: Mercer Street and the updated corridor ⓘ

- Site
- Dexter Ave
- State Rt 99
- Mercer St



↑
Historical maps from previous page overlaid to indicate progressive revisions to City grid and Mercer alignment.

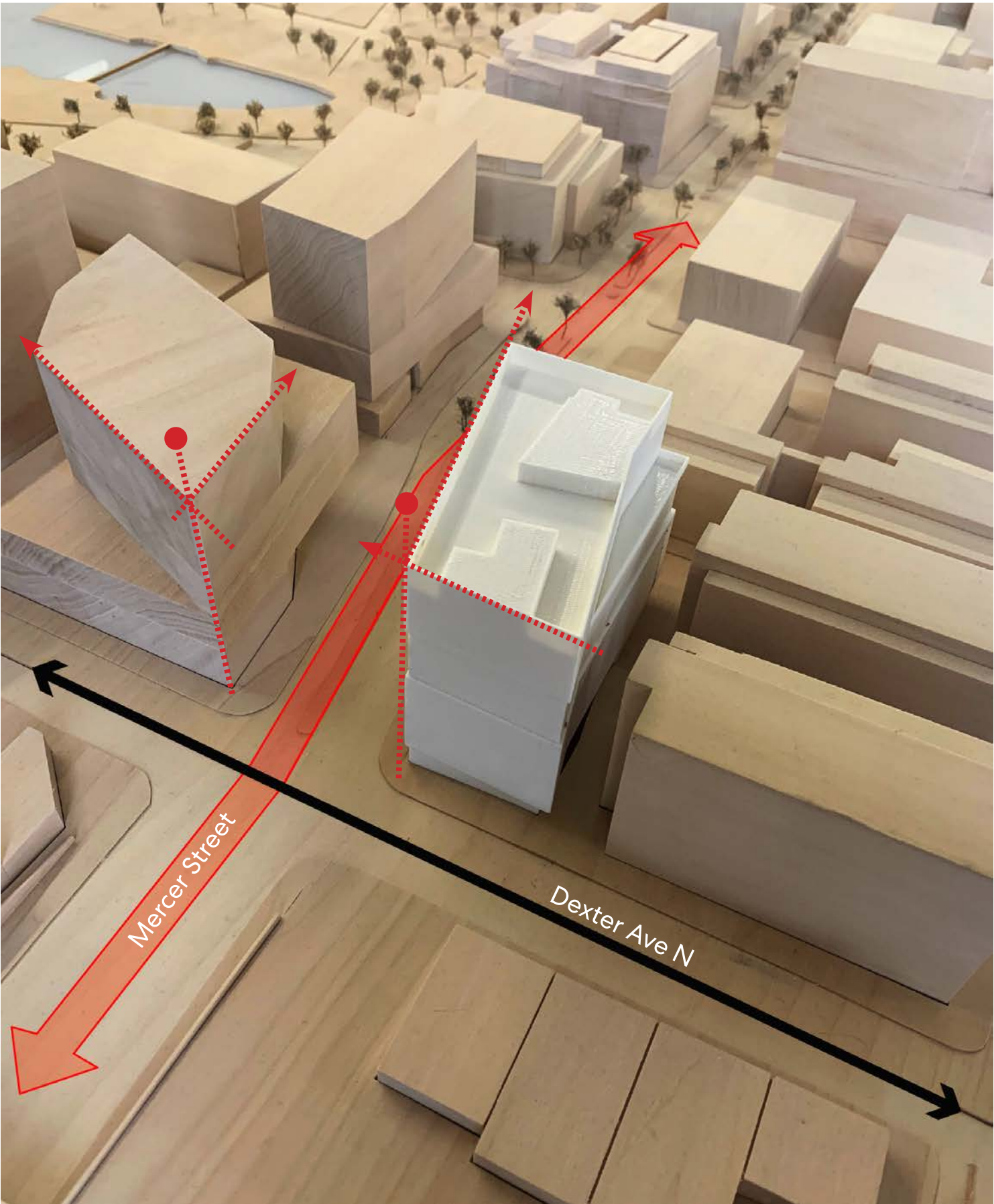


↑
The evolving City grid changed the shape of the site along the entire Mercer edge. The west corner of the site remained fixed, while the east corner pivoted, establishing the Dexter and Mercer corner as the fixed point of a "hinge"

"Strengthen the most desirable forms, characteristics, and **patterns of the streets**, block faces, and open spaces in the surrounding area" - CS2

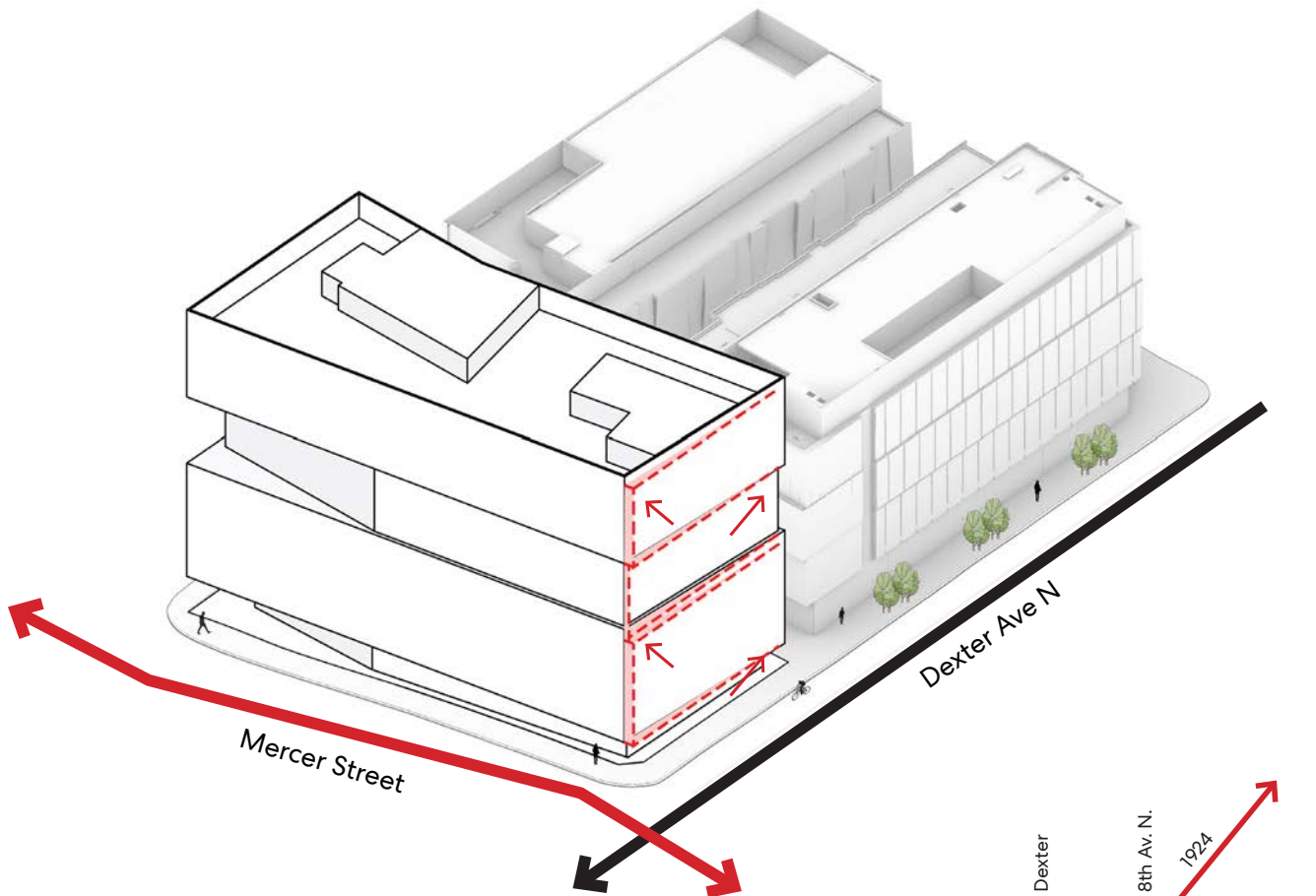
"Methods to establish gateways should consider the site's characteristics such as topography, views, or surrounding building patterns."

The proposed design creates a clear spatial definition of the gateway at the corner by responding to the strong vertical corner of approved future development design and to dynamic alignments of neighboring facades.

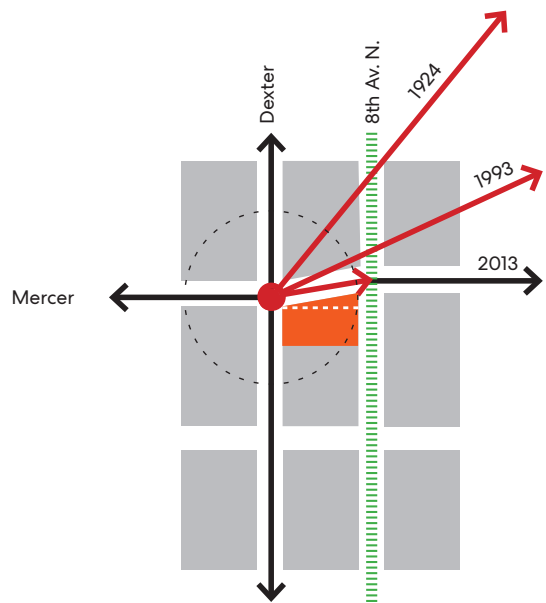


Response

The northwest corner has been revised to incorporate more dynamic moves - the faces highlighted below have been pivoted east, away from the orthogonal, opening up from the intersection towards the neighborhood.



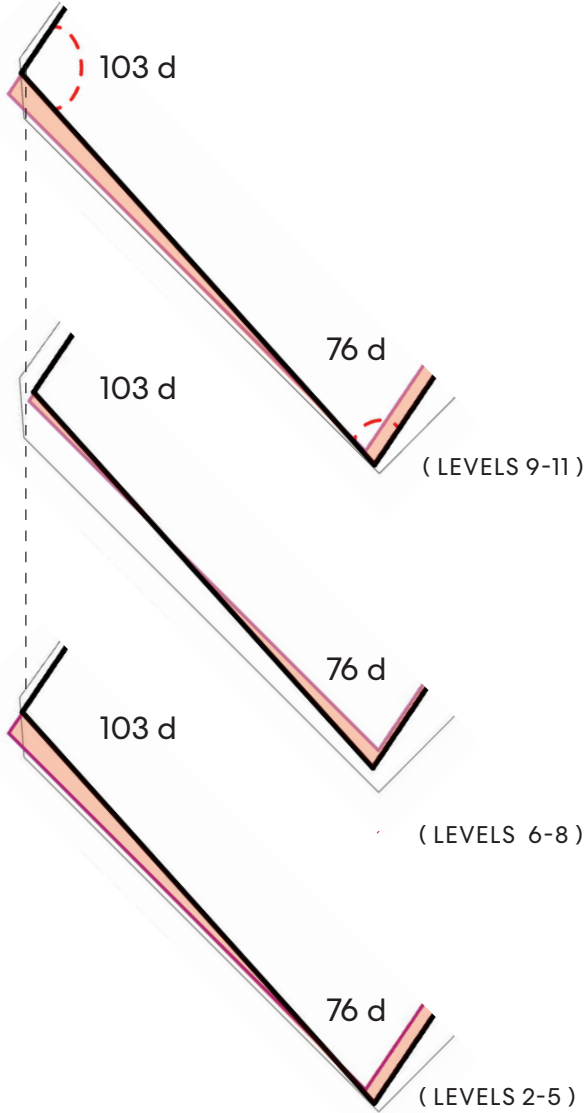
EDG Massing



The Northwest corner intersection establishes a vertical pin at an urban scale. This verticality complements what's happening on the other gateway corners and holds/marks this corner and will be experienced most as a gateway for cars and pedestrians heading east on Mercer. The hinged massing peeling away from this pinned corner draws you down the site visually and experientially at the pedestrian level.

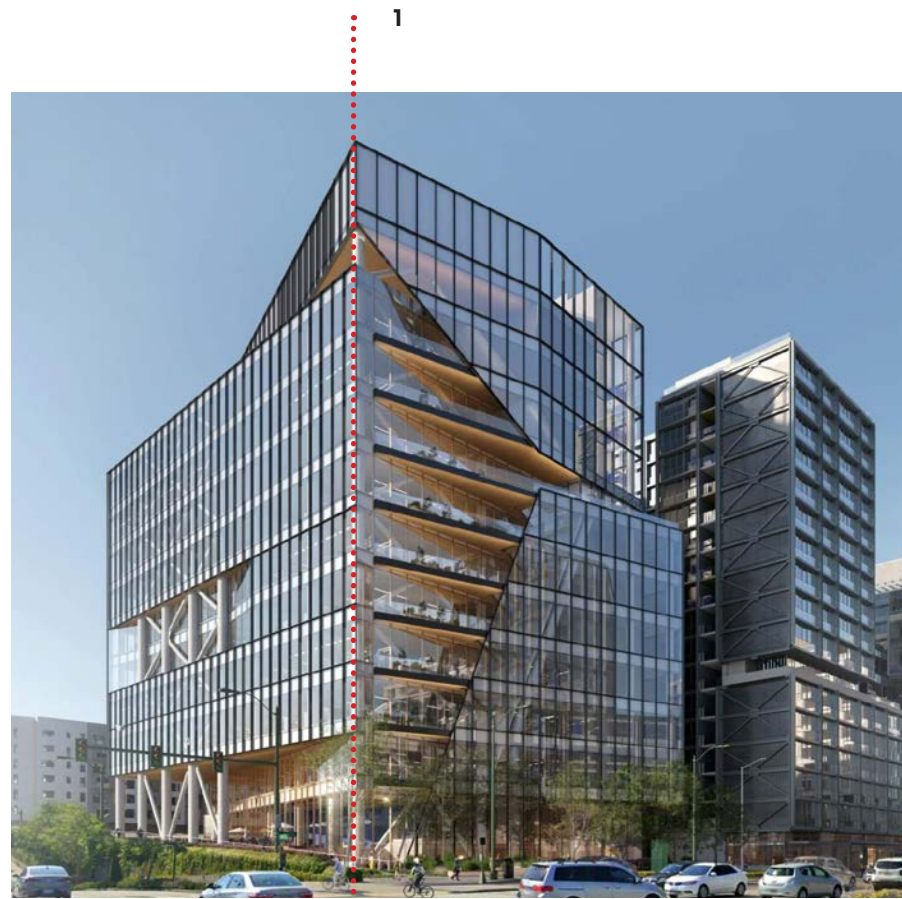
Response

As a result of pivoting away from orthogonal, the massing changes in response to board guidance at the northwest corner resulted in the northwest corner moving 5'-6" to the east of its EDG location, further opening up the gateway and leading the eye around the corner.



View looking north from Dexter Ave. N.

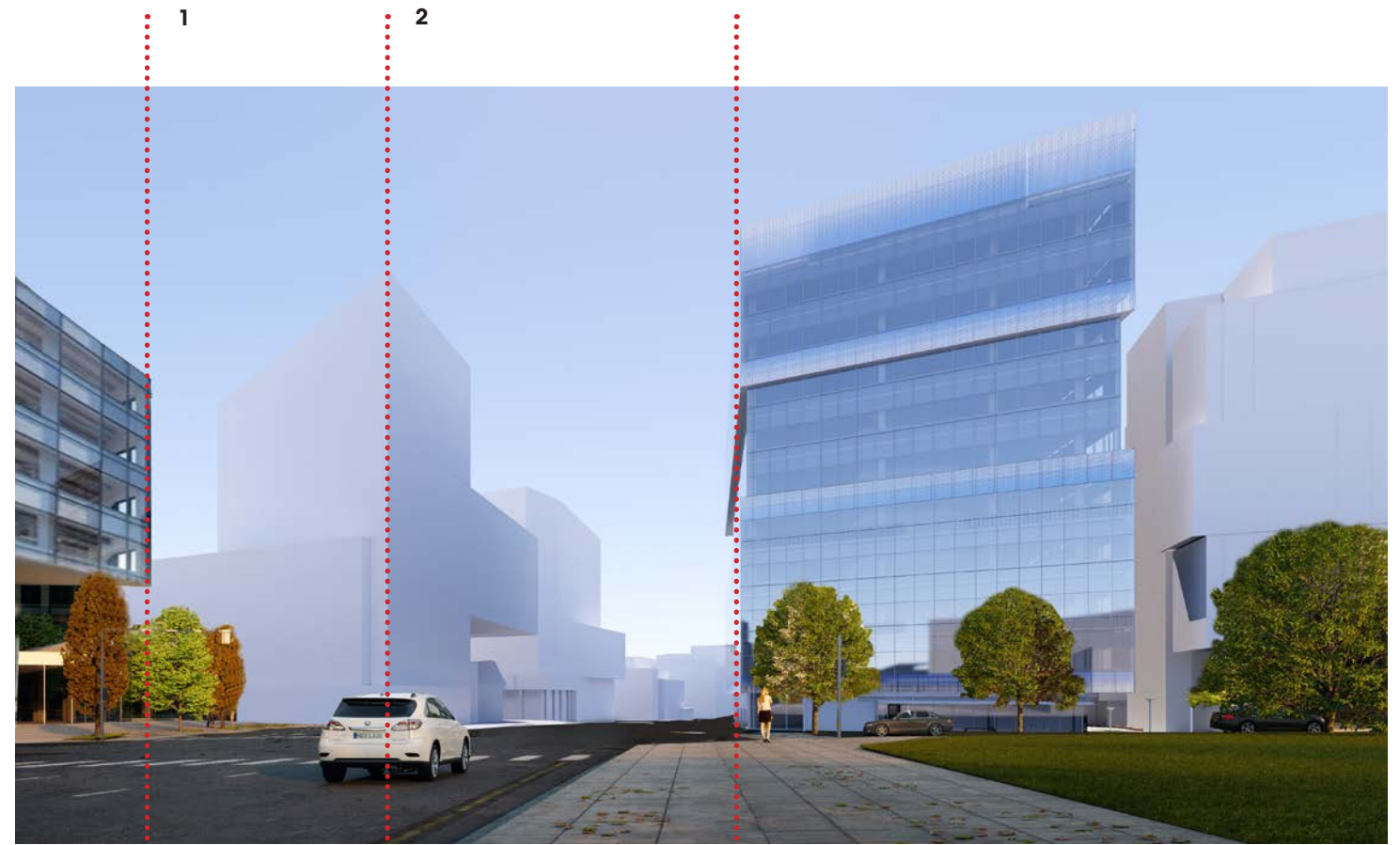
- - - EDG Massing
— Current Massing



601 Dexter

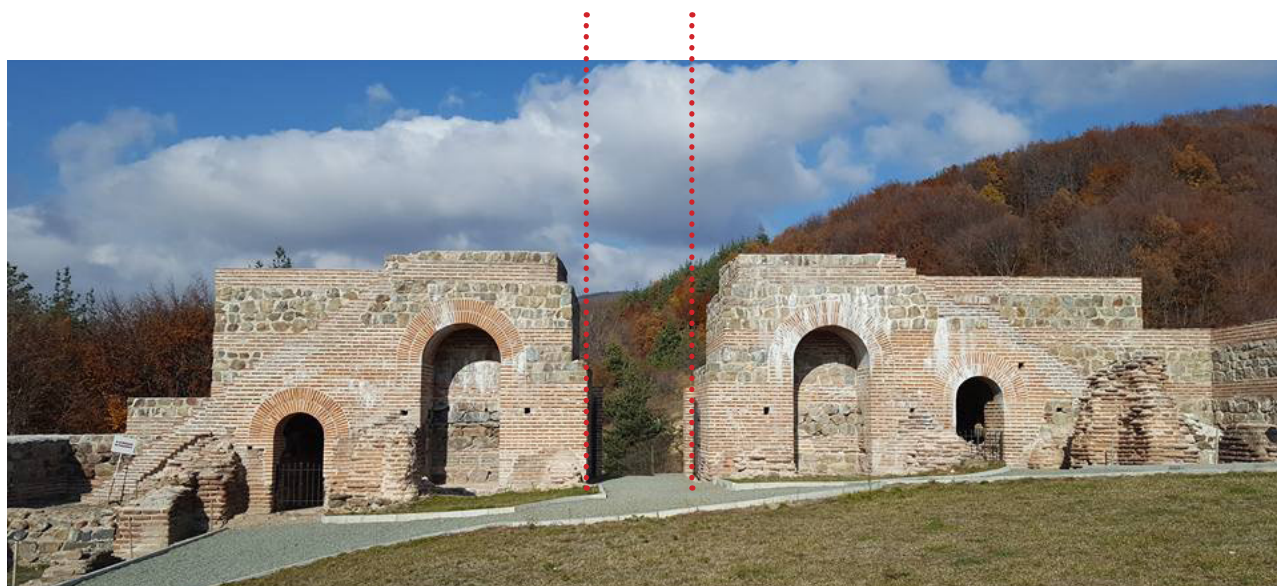


Mercer Blocks

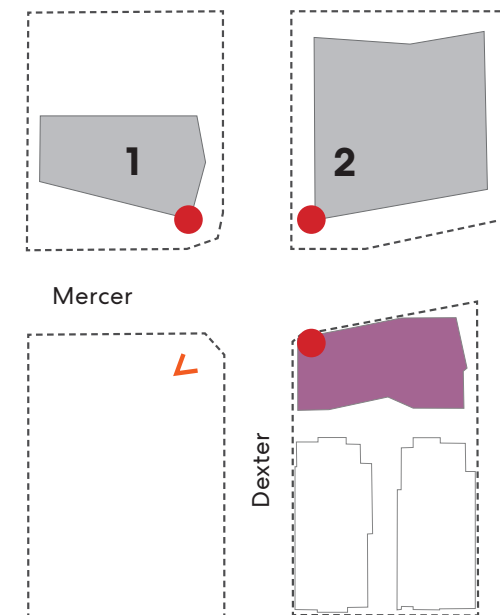


601 Dexter

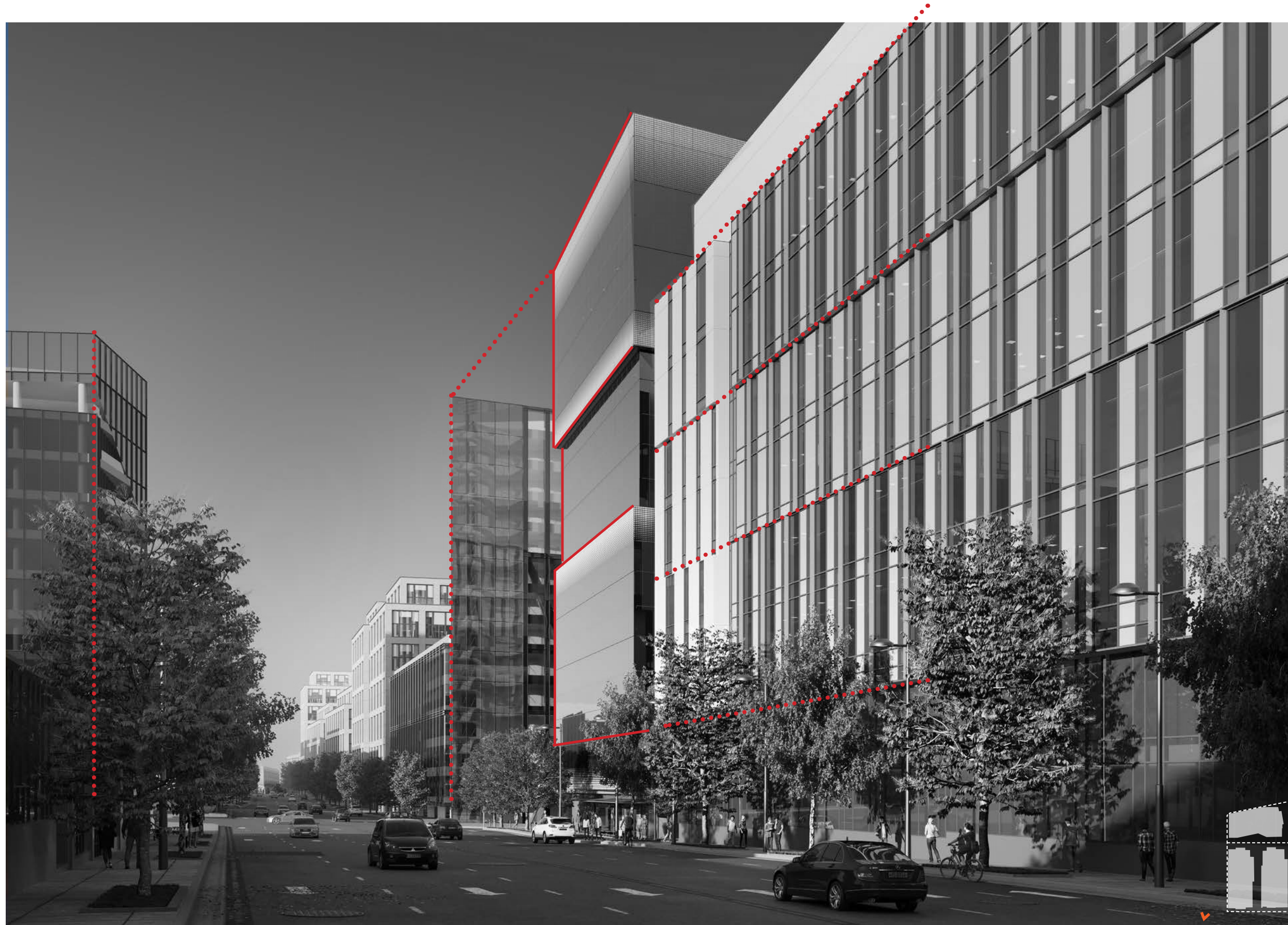
Mercer Blocks



←
 Trajan's gate, Bulgaria.
 The archetypal concept
 of a gateway relies on the
 space created between
 objects. Thus, a built
 object can stand as a
 marker to signify a
 gateway location but
 the strongest gateway
 expression is created
 by objects that make
 a discernible space in
 a coherent manner.



↑
 The gateway design response
 at Dexter and Mercer has been
 considered in the context of
 approved future development
 and design. A strong vertical
 emphasis at the corner of
 the neighboring designs was
 strongly encouraged by the DRB
 and is a foundational aspect
 of the proposed design. These
 future developments will be
 experienced together to create
 a strong spatial marker because
 of these synergistic alignments.



CS2.c.2

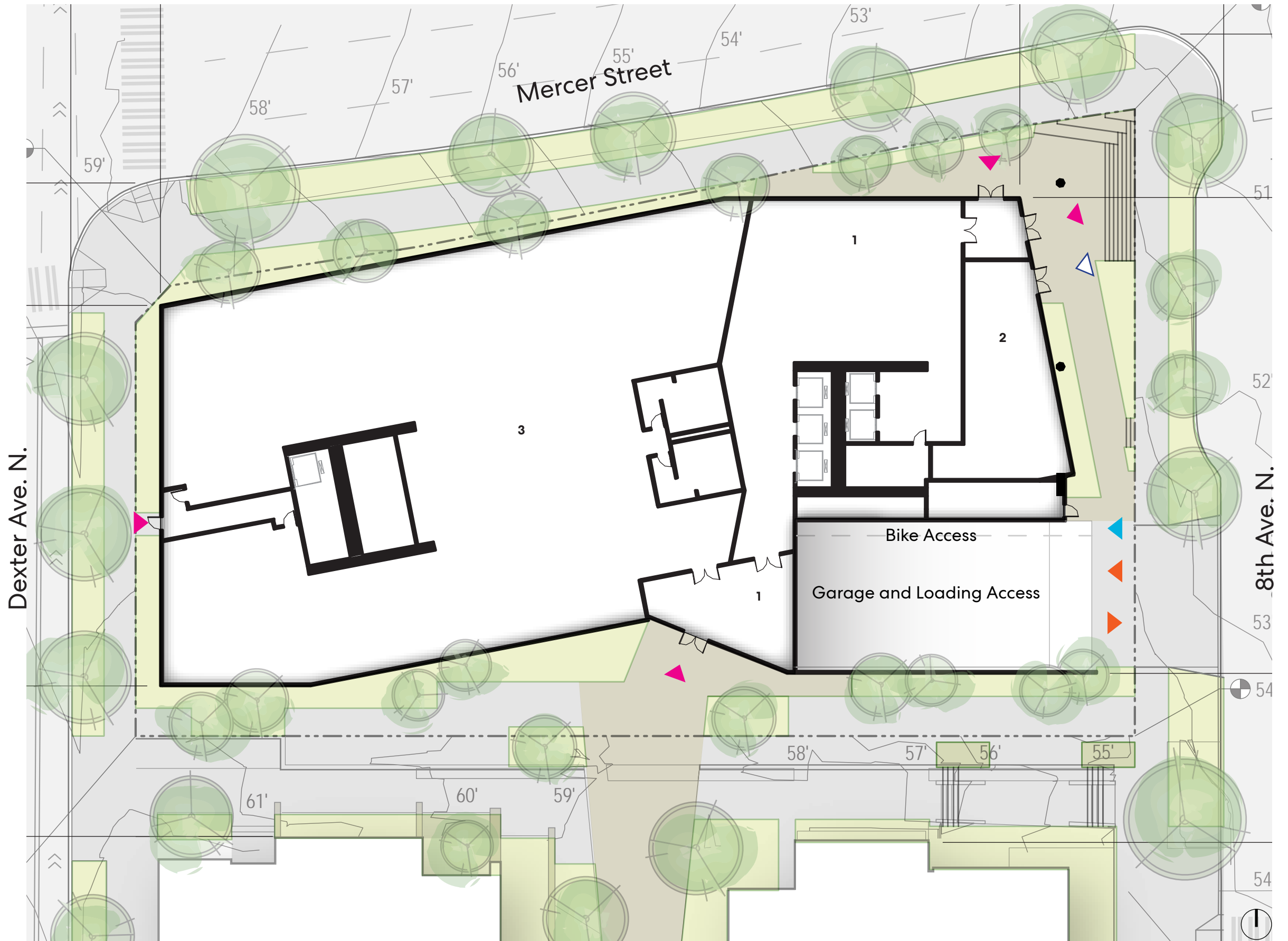
Look to the uses and scales of adjacent buildings. Continue a strong street-edge and respond to **datum lines** of adjacent buildings.

- Contextual Reference
- Current Massing

View looking north from Dexter Ave. N.

SECTION 02.

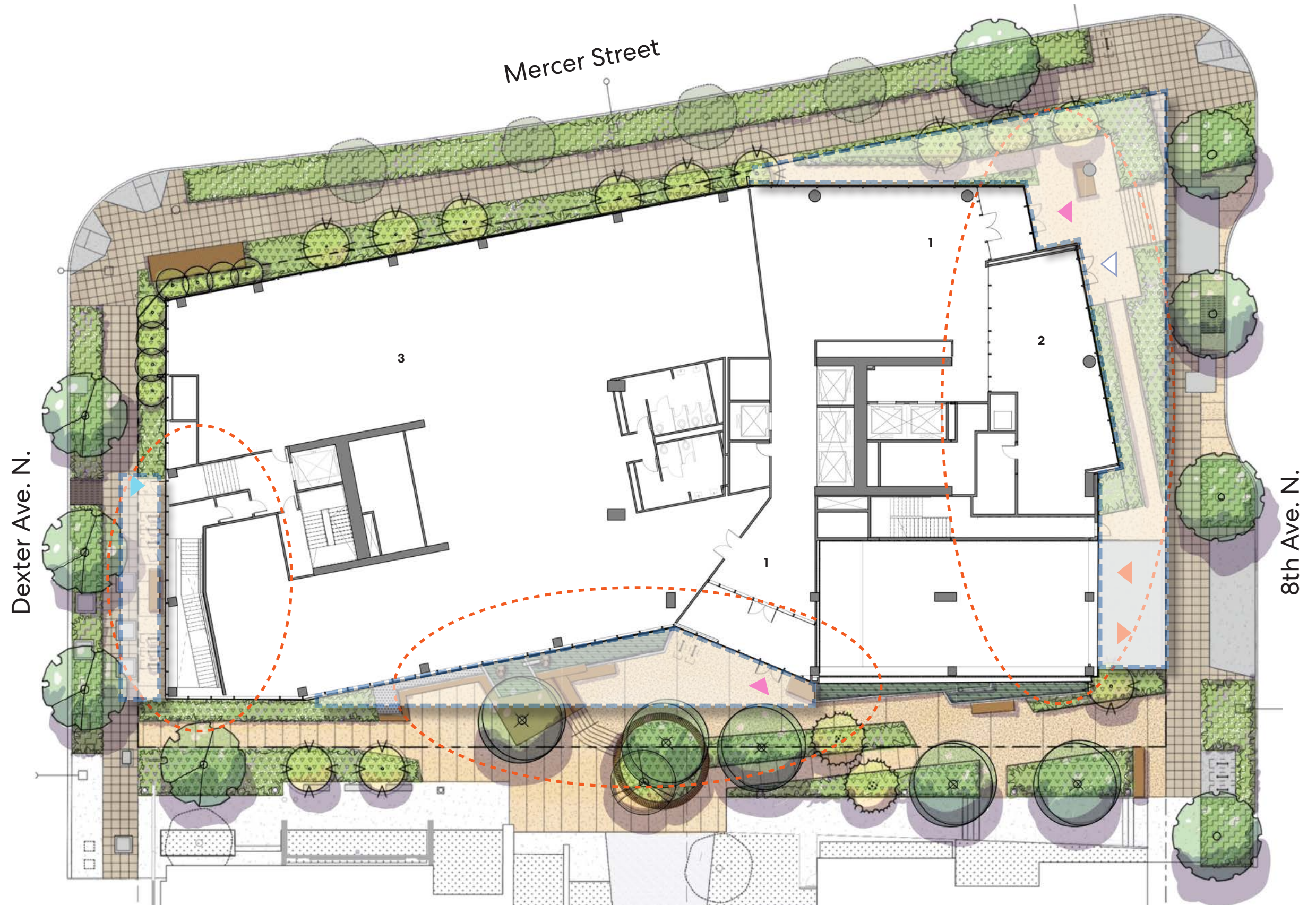
EDG RESPONSE : GROUND LEVEL USES & OPEN SPACES









Ground Floor Plan

- ▶ Pedestrian Entry
- ▶ Cyclist Entry
- ▶ Vehicle Entry/Exit
- ▶ Retail Entry

- 1. Lobby
- 2. Retail
- 3. Tenant



Ground Floor Plan

-  Overhead weather protection
-  Pedestrian Entry
-  Cyclist Entry
-  Vehicle Entry/Exit
-  Retail Entry
-  Design Response

- 1. Lobby
- 2. Retail
- 3. Tenant



Board Guidance:

a. Retail on 8th :

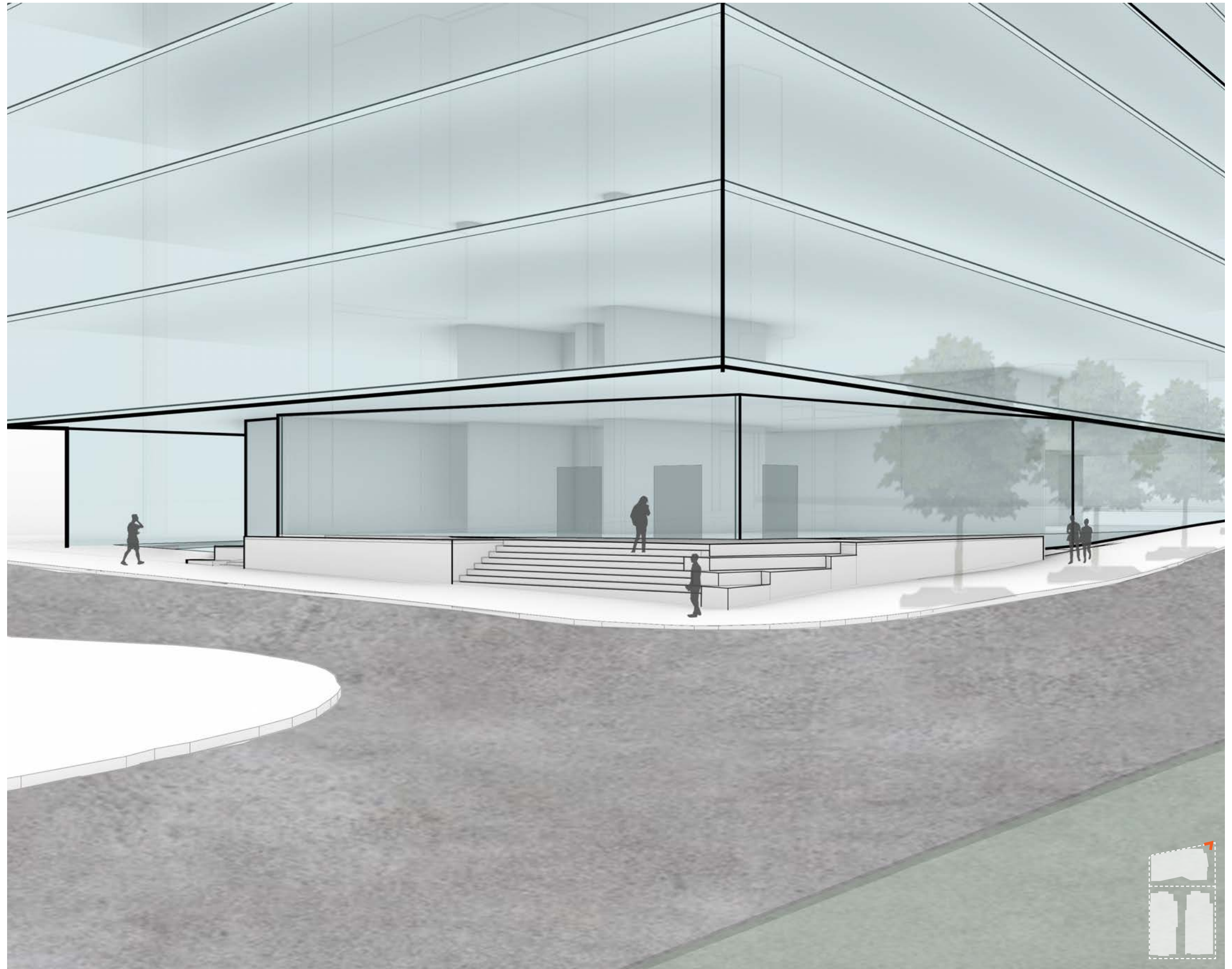
The Board gave guidance to explore whether the retail entry should shift to the south away from the heavily trafficked Mercer Street, to study ways to improve the connection between the sidewalk and the retail space for more successful barrier-free access, and to provide landscaping that visually enhances the pedestrian experience along 8th Ave.

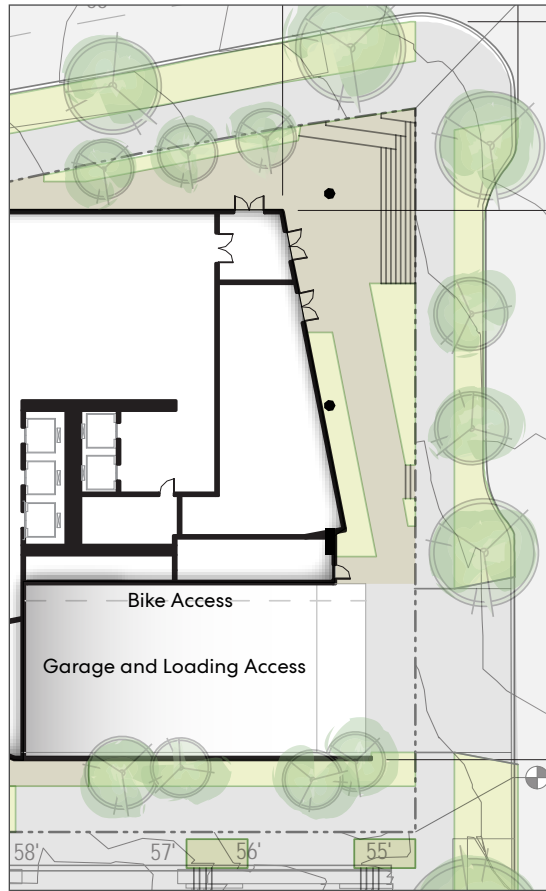
CS1-3-b, CS2-B, PL1-B, PL2-A, PL3-C, PL3-1, DC2-1

b. Entry on Corner :

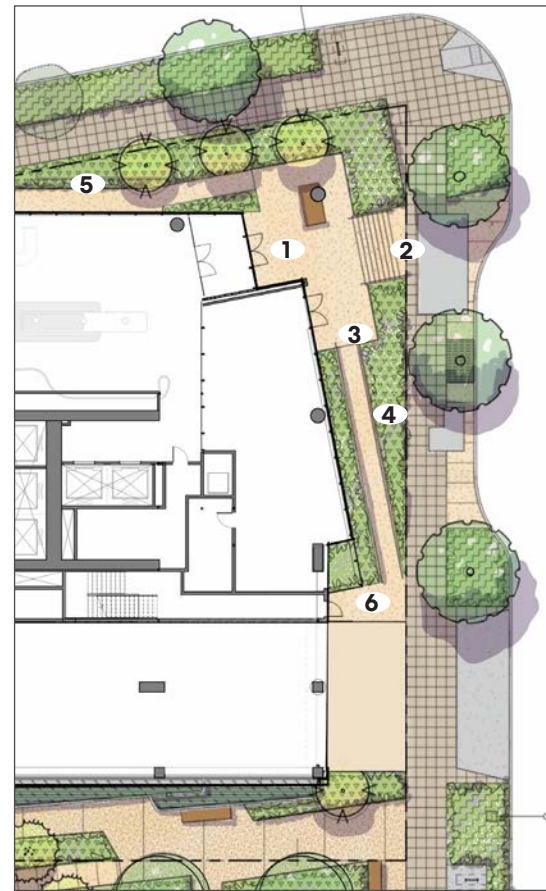
In conjunction with item 2.a., the Board gave guidance to study whether the location of the Lobby and Amenity entry doors located at the corner of Mercer St and 8th Ave are the most appropriate location, considering pedestrian traffic and the vehicular nature of Mercer St.

PL3-A, PL3-1





↑
EDG ground floor retail and entry.



↑
Response at ground floor retail and entry.

1. Pushed/pulled plan geometry at entry/retail to accentuate and differentiate each function and to create distinct pedestrian flows and architectural expressions. Mercer door has been eliminated to focus activity on 8th.
2. Reoriented and located exterior stair to reinforce entry movement, to create hierarchy, and to increase green space.
3. Introduced "floating terrace" designed to provide a sense of place and arrival with "eddy" spaces outside pedestrian flows.
4. Increased green space on the Green Street.
5. Revised grading and approach on Mercer to



↑
View of design response at retail.

6. Revised approach to retail to increase wayfinding clarity and pedestrian safety while adding green space.
7. Introduced "floating box" to accentuate retail destination.
8. Introduced "floating terrace" designed to provide a sense of place and arrival with "eddy" spaces outside pedestrian flows.

View retail entry from 8th Ave. N.

Response:

The design response incorporates the strategies noted here to improve the connection between the sidewalk and the retail space for more successful barrier-free access, and to provide landscaping that visually enhances the pedestrian experience along 8th Ave.

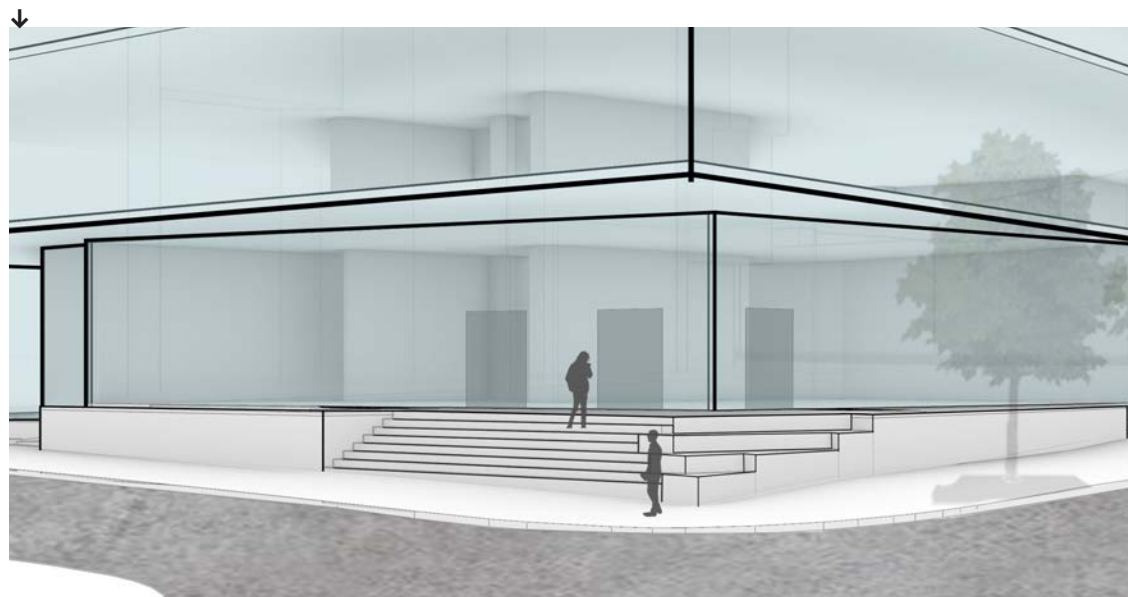
The retail space is extended as far to the south as feasible given the vehicle ingress location which was the (only feasible) option supported by SDOT.



View of northeast corner entry

↑
Response at ground floor retail and entry.

EDG ground floor retail and entry.

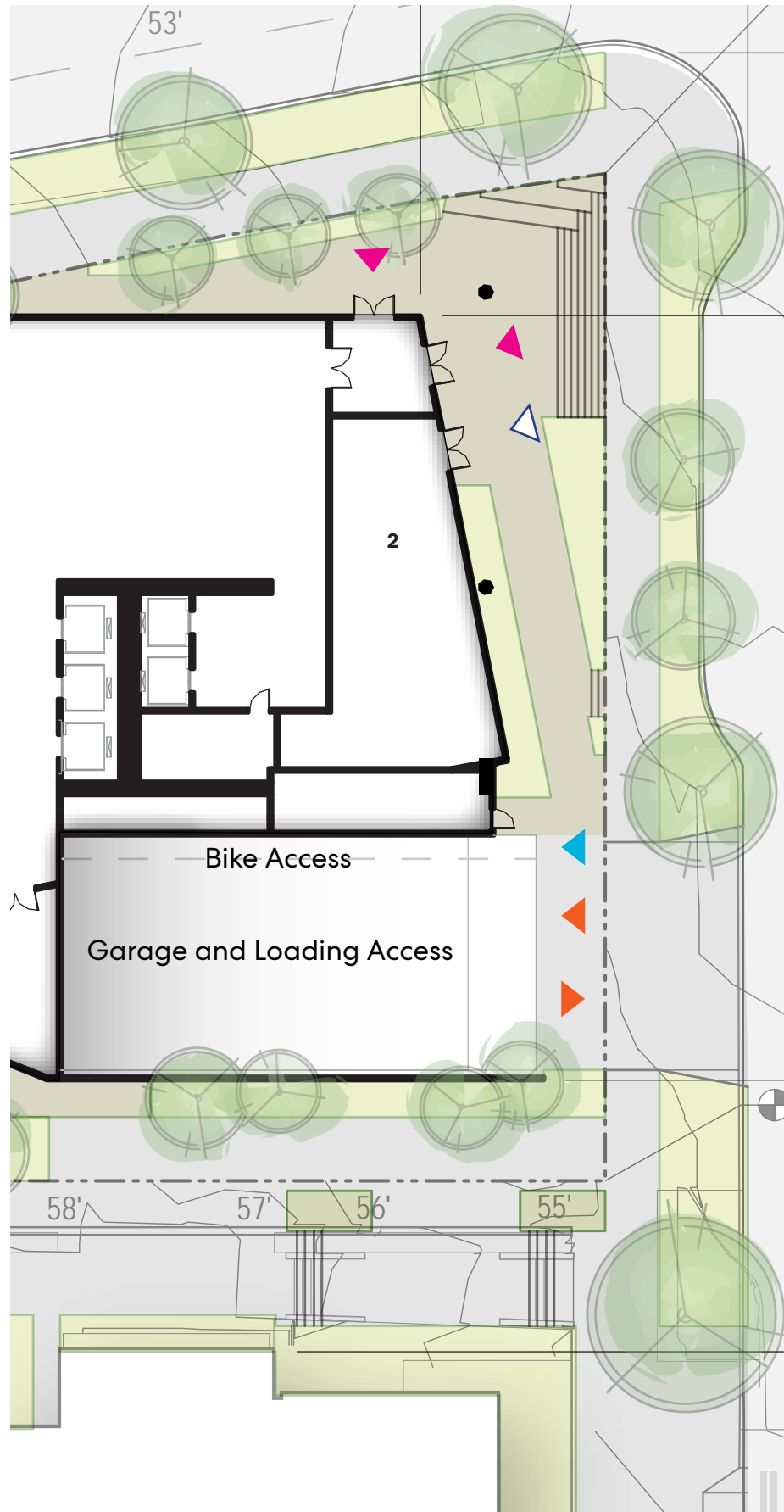


Response:

The design response incorporates the strategies noted here to improve the connection between the sidewalk and the retail space for more successful barrier-free access, and to provide landscaping that visually enhances the pedestrian experience along 8th Ave.

The retail space is extended as far to the south as feasible given the vehicle ingress location which was the (only feasible) option supported by SDOT.

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5. Revised grading and approach on Mercer to eliminate need for handrails.
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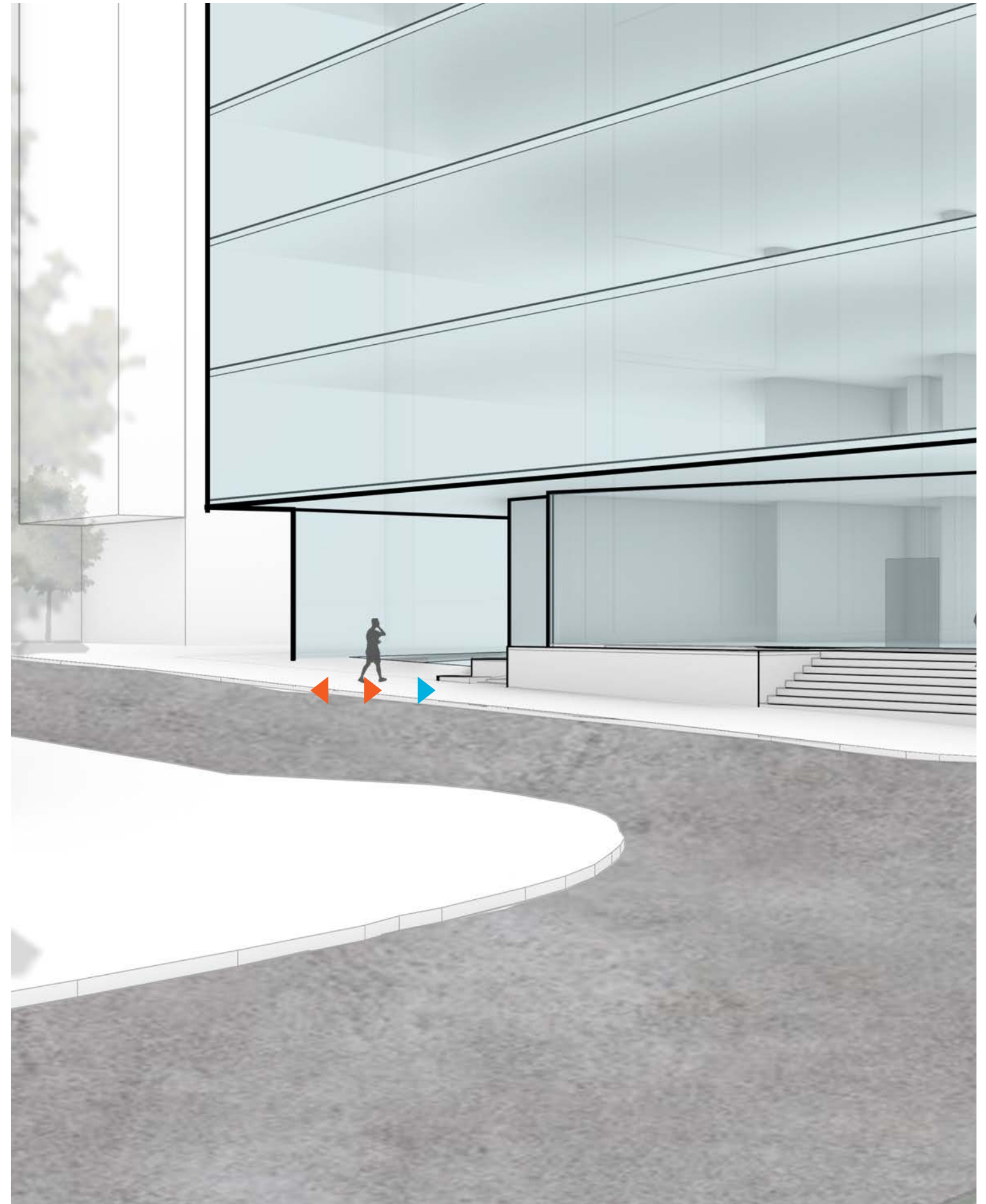
Board Guidance:

c. Bicycle access :

The Board directed the applicant to further study circulation patterns, paying special attention to access from the dedicated bike lanes along Dexter Ave, to determine a more direct bike access approach.

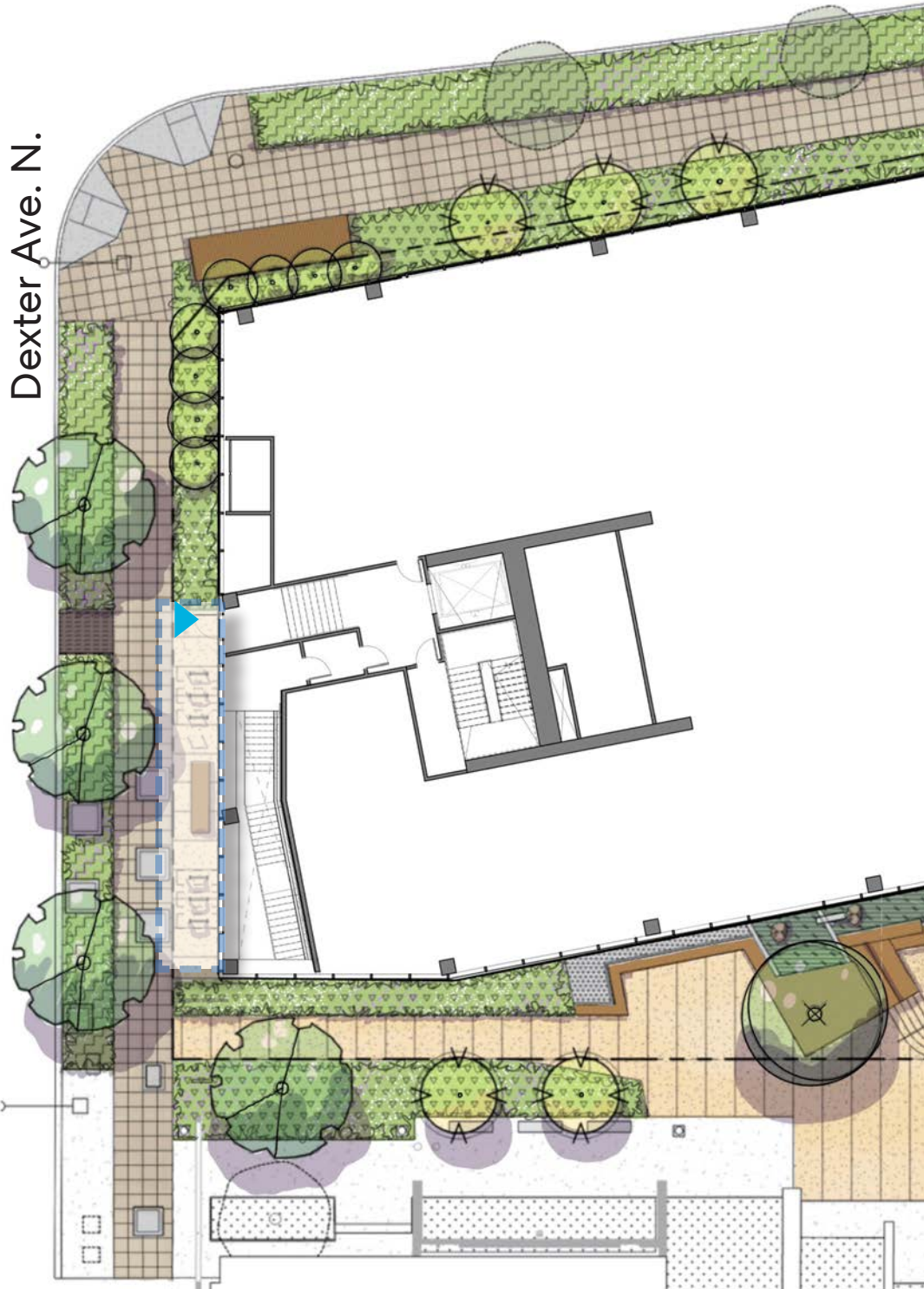
PL4-A, PL4-B, PL4-1

- ▶ Pedestrian Entry
- ▶ Cyclist Entry
- ▶ Vehicle Entry/Exit
- ▶ Retail Entry



Response:

The cyclist entry has been relocated to Dexter Ave. North, adjacent to the cycle path to create the safest, most visible access, and to activate the corner and mid-block pedestrian way with activity and views into and from this multi-story amenity.



▶ Cyclist Entry

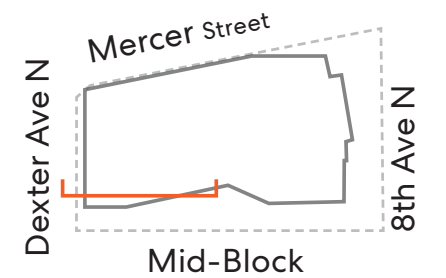


View of bicycle entry on Dexter Ave. N.



Response:

The multistory space and access provides daylight and view connections to Dexter with convenient and direct street access to a specialty stair with wheel trough and elevator. This space and street level glazing will serve as a lantern in evening hours.





- 1. Cyclist entry space and stair hall
- 2. Courtyard entry beyond
- 3. Canopy

View of mid-block courtyard from Dexter Ave. N.

Board Guidance:

d. Courtyard Facade :

The Board stressed that moving forward, the landscape design, lighting, façade articulation, and the purposeful placement of the lobby doors, should all be intentionally composed to enhance the pedestrian environment and experience.

CS2-B, CS2-4-c, PL1-1, DC3-B, DC3-C, DC4-2



Response:

Materials, lighting, landscape, and detailing work together holistically to create an inviting experience that welcomes pedestrians through the east west mid-block passage that connects to the existing courtyard and the south tenant entry of the project.

1. Accessible route meanders through.
2. Feature bench at center relating to confluence of courtyard circulation.
3. South entry with seat steps transition.
4. Screen wall at garage ramp.
5. Soffit detail with integrated lighting.
6. Curtain wall bounces and reflects/refracts light. Geometry speaks to existing buildings in a fresh way.
7. Integrated site furnishings.
8. Pedestrian scale lighting
9. Quality paving and landscape materials.





Response:

Materials, lighting, landscape, and detailing work together holistically to create an inviting experience that welcomes pedestrians through the east west mid-block passage that connects to the existing courtyard and the south tenant entry of the project.

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View of mid-block courtyard southern entry



Response:

Materials, lighting, landscape, and detailing work together holistically to create an inviting experience that welcomes pedestrians through the east west mid-block passage that connects to the existing courtyard and the south tenant entry of the project.

-
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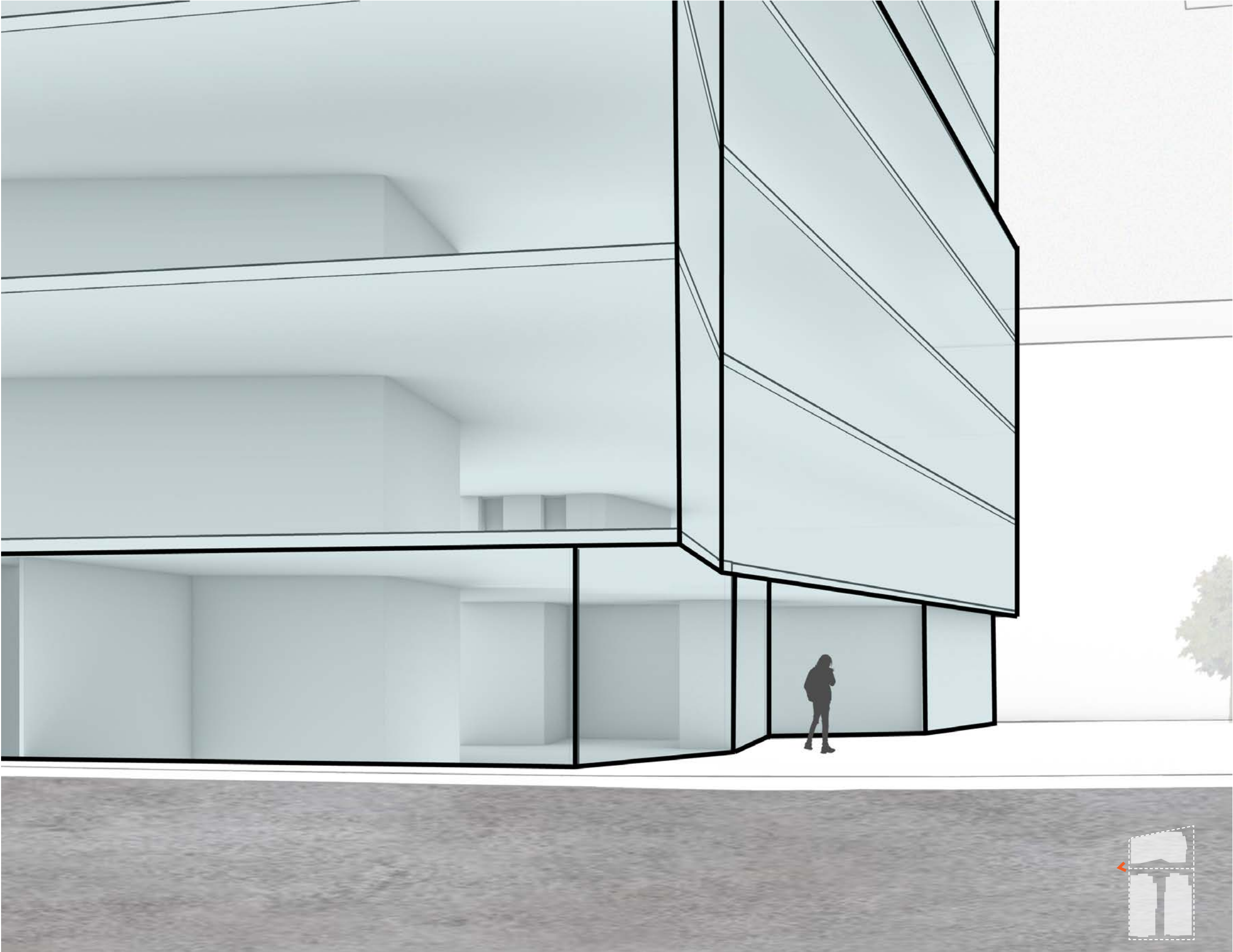
View of mid-block courtyard looking east approaching south entry

Board Guidance:

e. Weather Protection :

The Board acknowledged that the building overhangs at the ground level setbacks provide some protection from the weather, but **directed the applicant to provide appropriate supplemental overhead weather protection along the street frontages and the mid-block connector.**

PL2-C, PL2-1



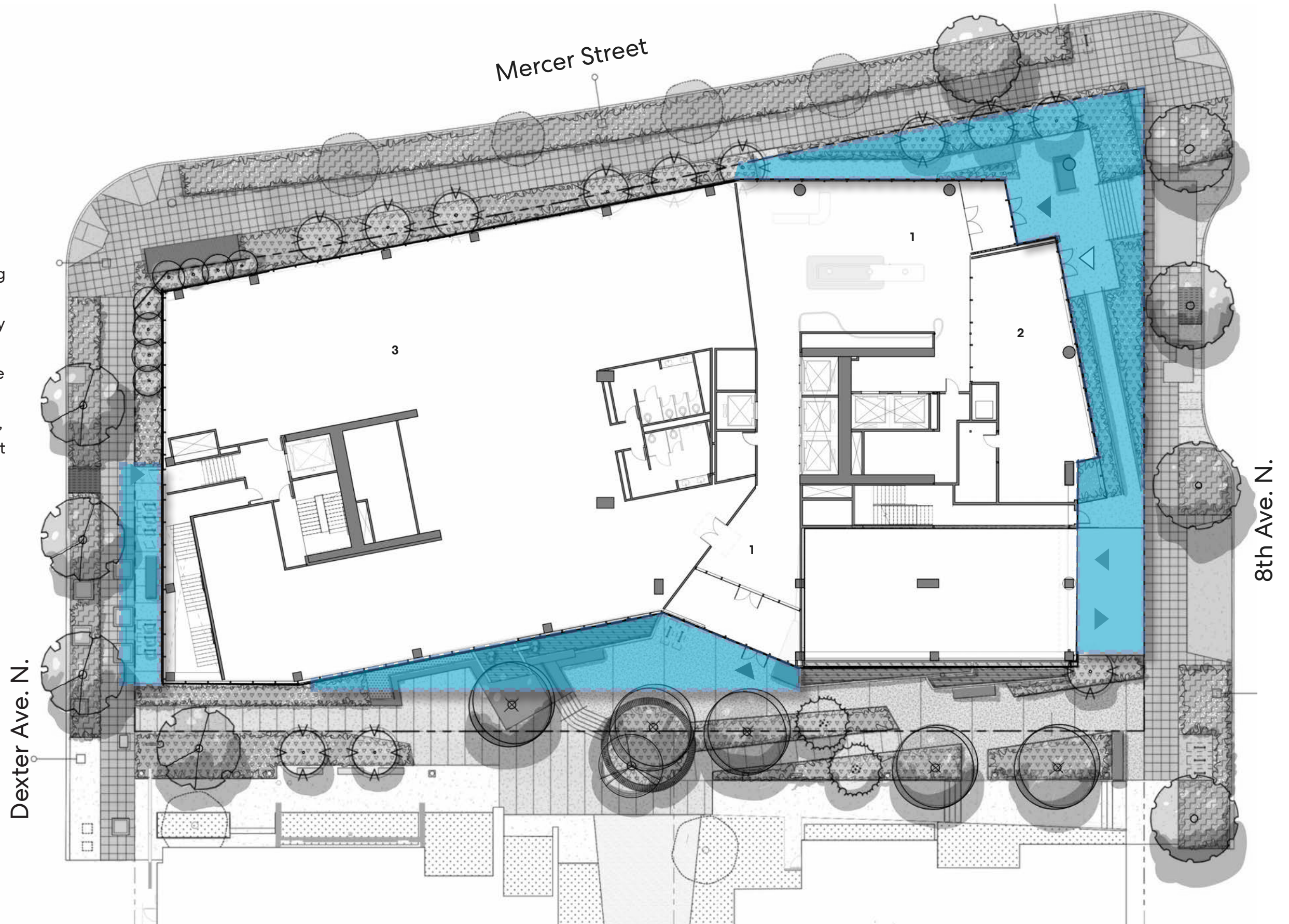
Response:

The "slipped hinge" design concept "floats" the upper levels of the building above a ground floor plan that is highly modulated and inset at primary entries and in response to program and site conditions. As indicated in the diagram, the design provides 4,500 SF of covered areas at these locations, plus an additional 350 SF of canopy at the cyclists entry.

Ground Floor Plan

- Overhead weather protection
- ▶ Pedestrian Entry
- ▶ Cyclist Entry
- ▶ Vehicle Entry/Exit
- ▶ Retail Entry
- - - Design Response

- 1. Lobby
- 2. Retail
- 3. Tenant





View of retail on 8th Ave. N.



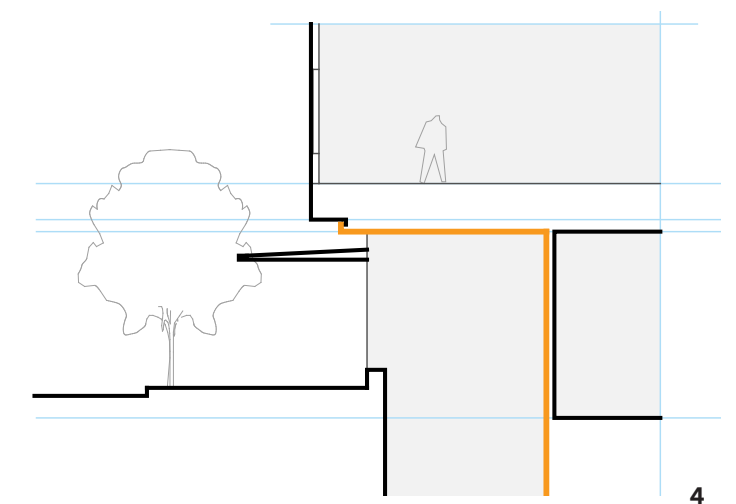
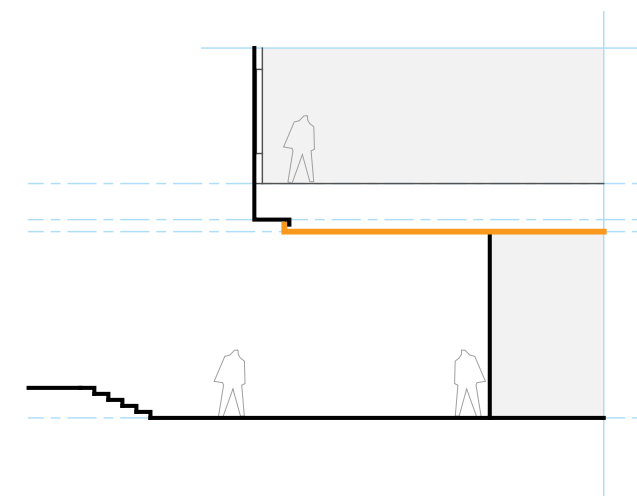
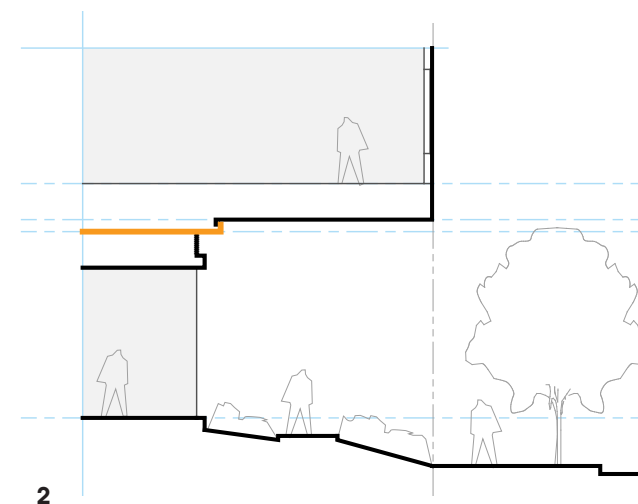
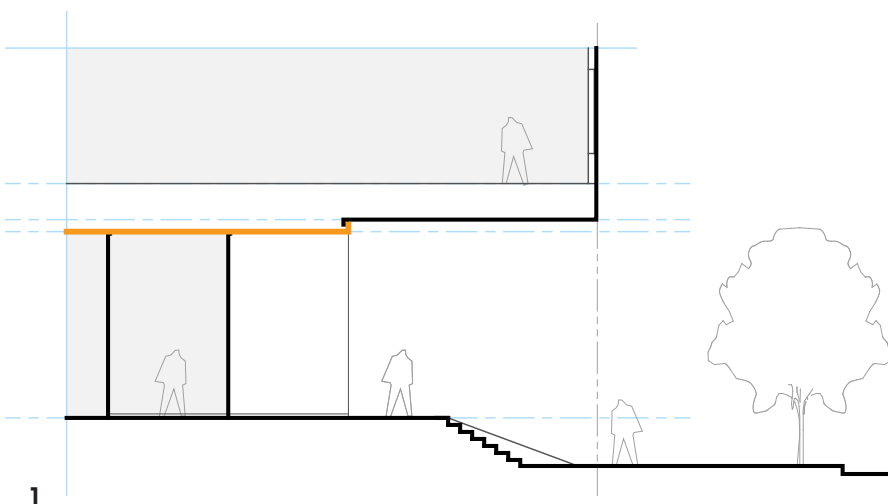
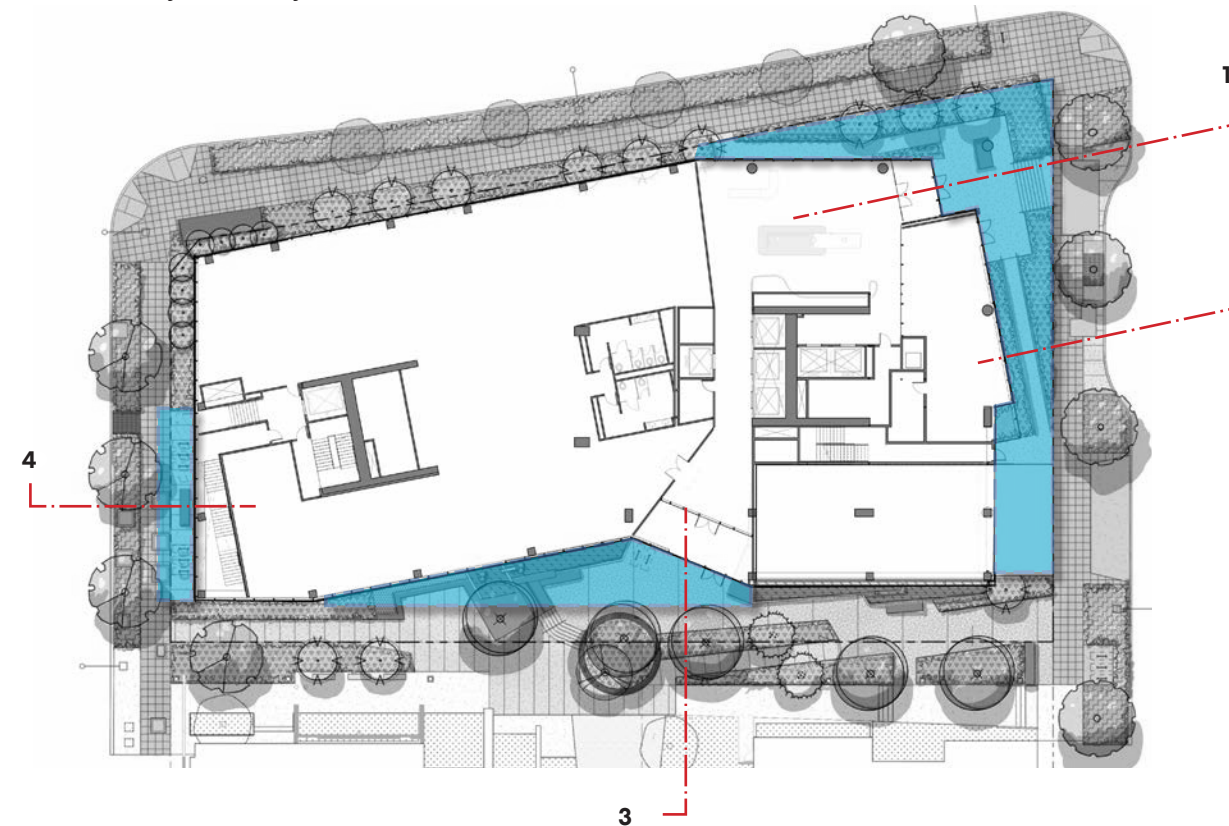
View of bicycle entry on Dexter Ave. N.

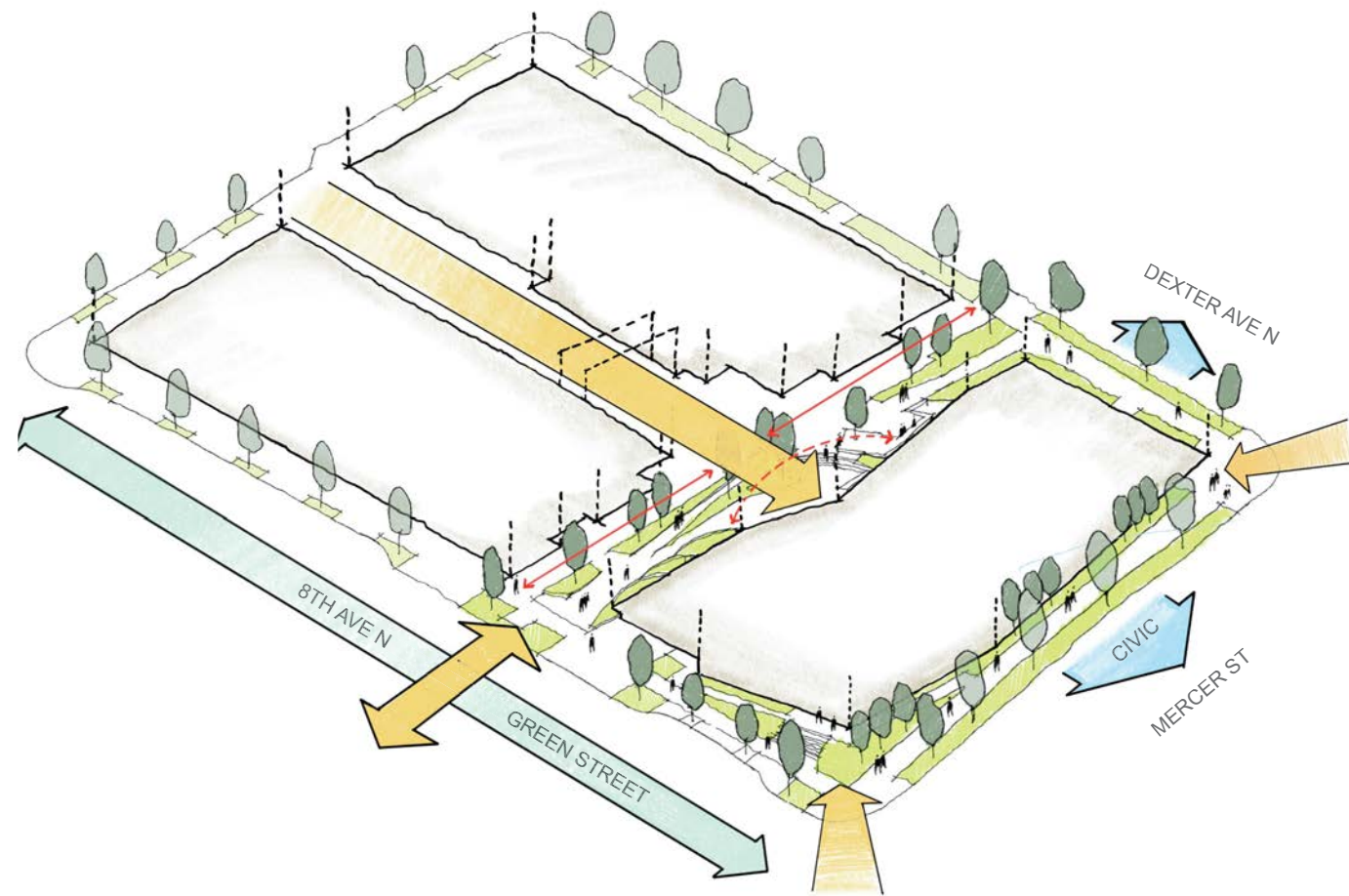


View of ramp to building entry on Mercer St.

Response:

The design provides 4,500 SF of overhead weather protection as an extension of the public realm to create an inviting experience of civic scales "threshold" spaces to activate primary pedestrian entries to the building while and engaging with urban context and landscape.





INTENT:

A COHESIVE AND WELCOMING PLANTING DESIGN COMPLEMENTS THE SURROUNDING AREA AND SERVES AS A GATEWAY BETWEEN THE SITE AND THE GREATER NEIGHBORHOOD. THE SELECTION OF HARDY, DROUGHT-TOLERANT PLANTS PROVIDES HABITAT FOR LOCAL WILDLIFE AND CREATES AN INVITING EXPERIENCE FOR PEDESTRIANS, CYCLISTS, AND TENANTS. CAREFUL PLACEMENT OF THE PLANTING CREATES A SENSE OF MOVEMENT AND FLOW, GUIDING VISITORS THROUGH THE SPACE AND ENHANCING CONNECTIVITY WITH THE SURROUNDING AREA. PLANTS SELECTED PROVIDE YEAR-ROUND INTEREST WITH A MIX OF EVERGREEN AND DECIDUOUS SPECIES THAT OFFER A RANGE OF TEXTURES AND COLORS THROUGHOUT THE YEAR.

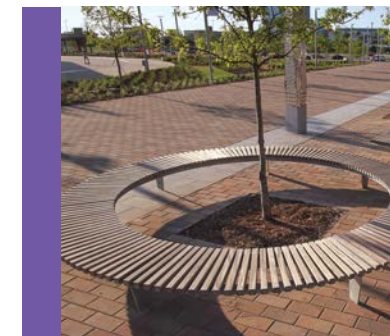
THE NORTH AND WEST FRONTAGES FEATURE A MORE CIVIC CHARACTER, WHILE THE EAST EDGE REINFORCES THE EXISTING GREEN STREET AND COMPLEMENTS THE MIDBLOCK DESIGN. THE MODERN SHADE GARDEN ON THE SOUTHERN EDGE OF THE SITE FEATURES A DIVERSE RANGE OF PLANTS WITH CONTRASTING FOLIAGE TEXTURES AND COLORS THAT THRIVE IN PARTIAL SHADE, PROVIDING A SERENE AND TRANQUIL LANDSCAPE THAT CREATES A COHESIVE CONNECTION WITH THE EXISTING PLANTINGS TO THE SOUTH.







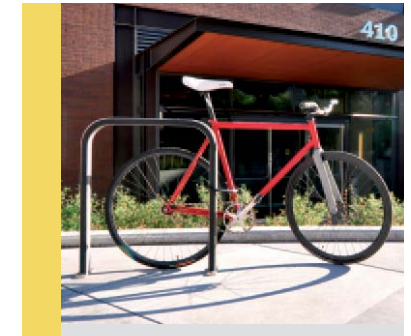
PLATFORM SEAT ELEMENTS



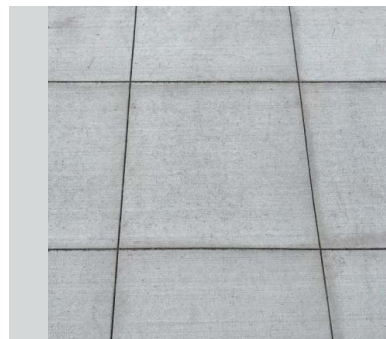
MULTI-LEVEL CIRCULAR BENCH



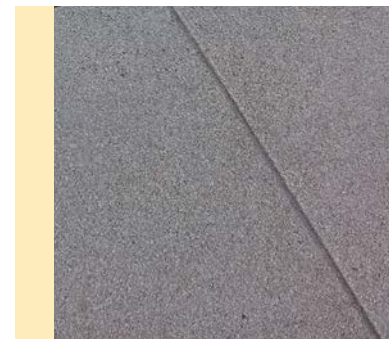
WOOD FEATURE SEAT ELEMENT



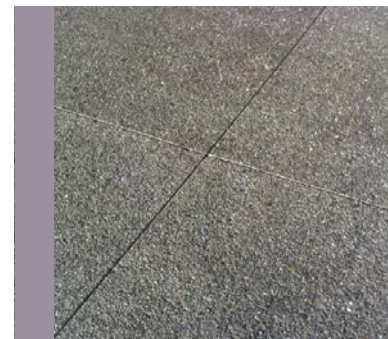
BIKE RACKS



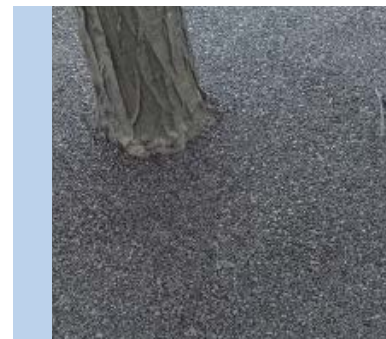
CONCRETE 2' X 2' SIDEWALK, NO SHINERS



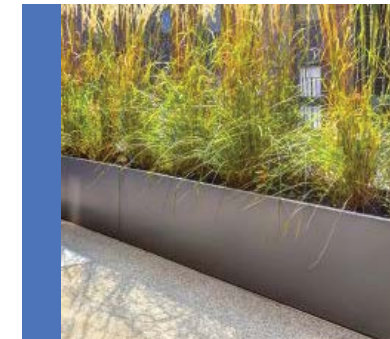
SPECIALTY CONCRETE PAVING - 4' SAW CUT JOINTS



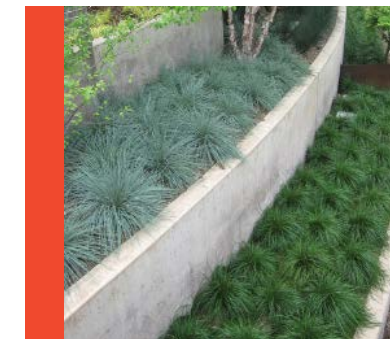
SPECIALTY CONCRETE PAVING - EXPOSED AGGREGATE FINISH 12' SAW CUT JOINTS



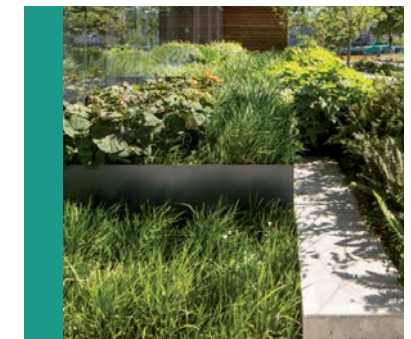
FLEXIBLE POROUS PAVEMENT



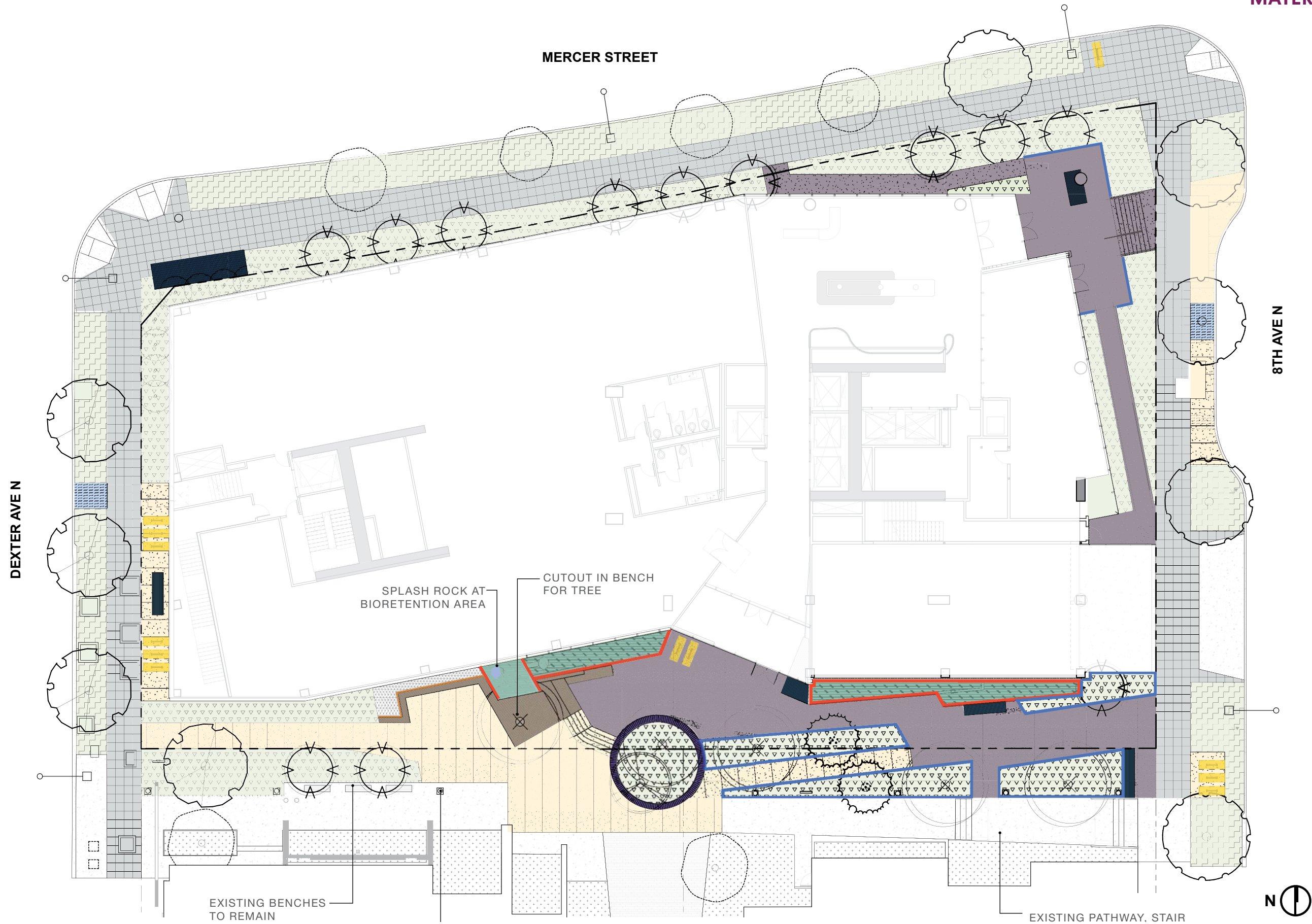
METAL PLANTER WALL

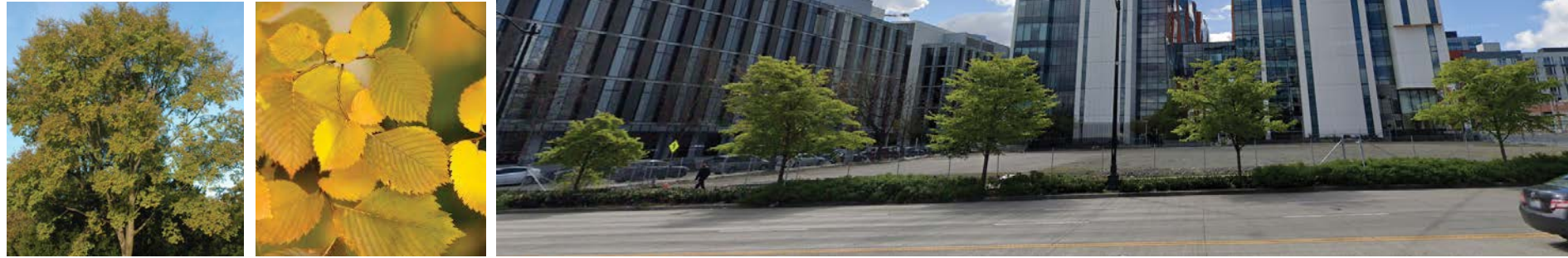


CONCRETE WALL



BIORETENTION PLANTER





● Ulmus 'Morton Glossy' - Triumph elm
[Existing trees to remain]



● Quercus Frainetto 'Schmidt'
Hungarian oak



● Cornus 'Eddie's White Wonder'
Hybrid White Flowering Dogwood



● Liquidambar styraciflua
Sweet gum



● Acer Palmatum 'Sango-kaku'
Coral bark Japanese maple



● Acer circinatum 'Monroe'
Monroe vine maple



● Ginkgo biloba 'Magyar'
Magyar ginkgo



● Fagus sylvatica 'Dawyck Green'
Columnar Green European Beech



ENTRY | WELCOMING PLANTING

TEXTURAL, FERNS AND GRASSES, VARIED, MIXED, SEASONAL / COLORFUL



CIVIC | GATEWAY PLANTING

EVERGREEN WITH PERENNIAL ACCENTS, SEASONAL/COLORFUL, LOW HEIGHT



GREEN STREE | MIDBLOCK PLANTING

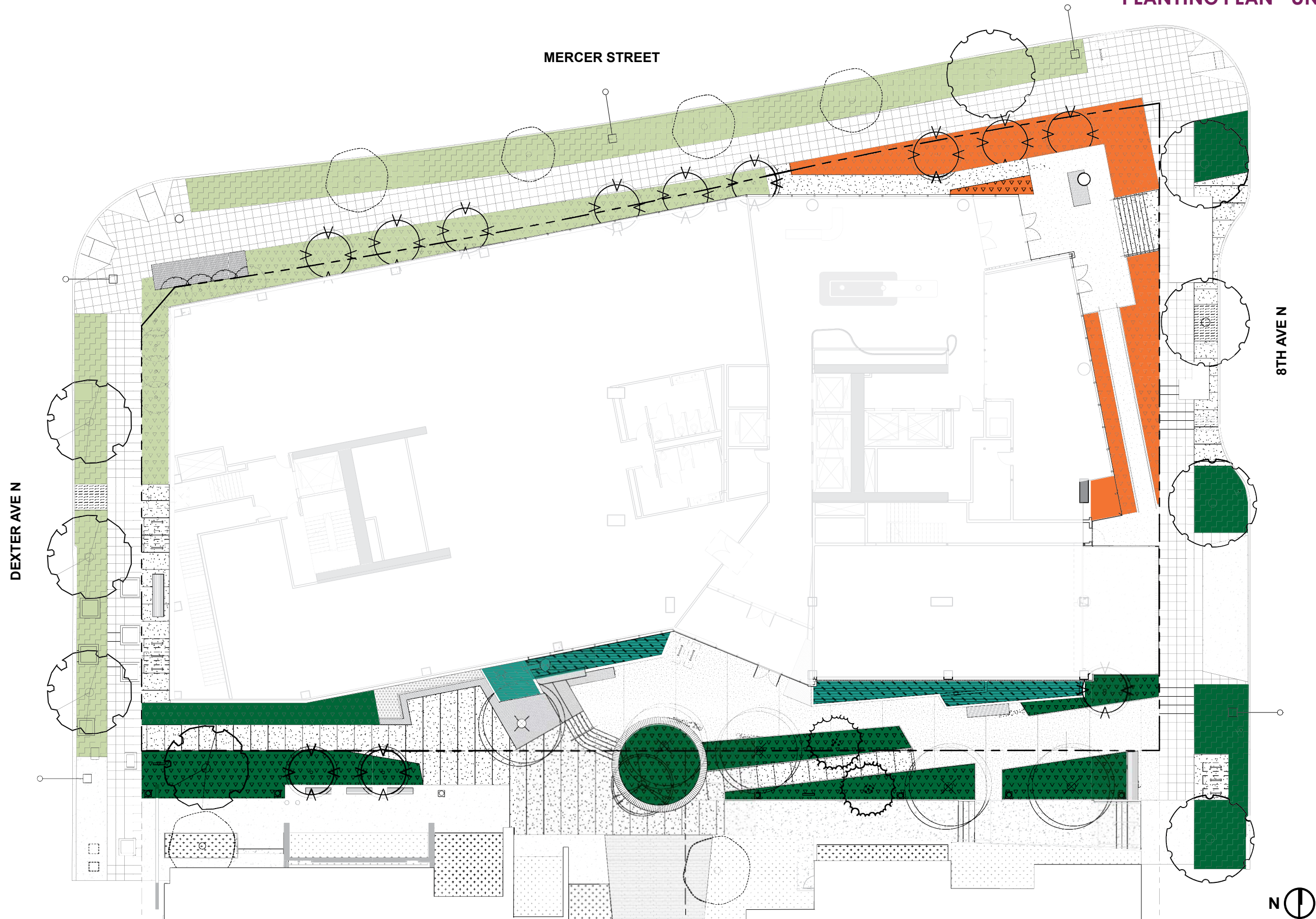
TEXTURAL, FERNS AND GRASSES, GREEN STREET CHARACTER



BIO-RETENTION | HABITAT PLANTING

TEXTURAL, FERNS AND GRASSES, VARIED AND SEASONAL





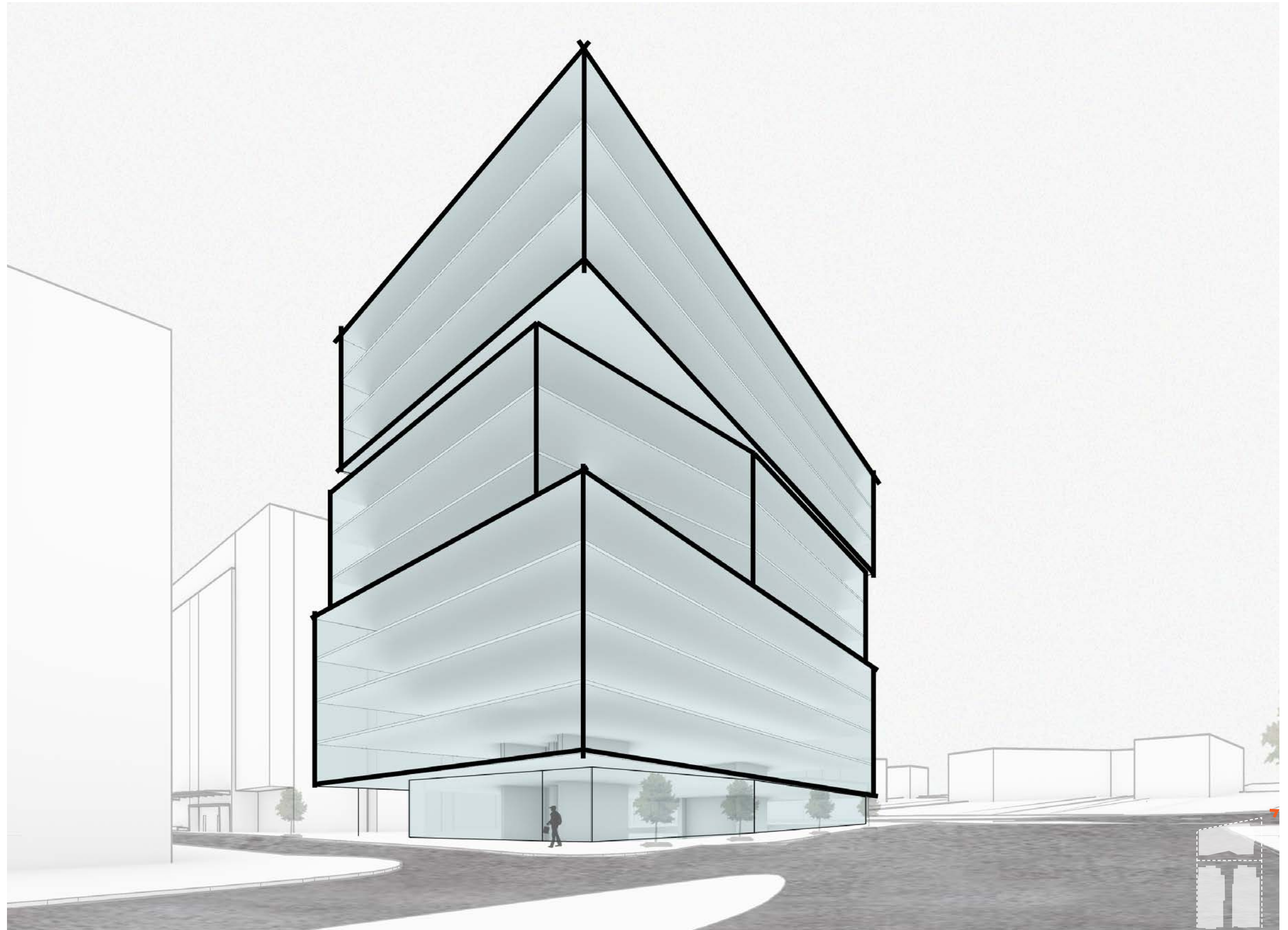
SECTION 03.

EDG RESPONSE: MASSING ARTICULATION & MATERIAL APPLICATION

Board Guidance:

a. The Board noted that the success of the Massing Option 3 relied on the legibility of the Slipped Hinge. The articulation of the massing with secondary architectural features and materials were critical to the design concept.

The Board stressed the importance of a Cohesive facade design and thoughtful material transition all to reinforce the overall clarity of the design.





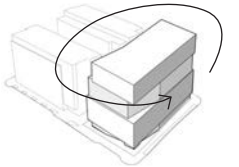
Response:

An all glass facade with well proportioned and discrete curtain wall elements reinforces the clarity of the sculptural "slipped hinge" volumes while adding secondary proportionality and scale to the massing. A white gradient frit transition from soffits to facades accentuates the "floating" nature of the volumes and creates a "compression and release" that adds a further dynamic expression to the form. The gradient frit leads the eye along the form as the building is experienced in the round in response to its gateway frontages. The ever changing play of light and atmospheric conditions reflected in the glass will further animate the building.

Dynamic



Cohesive



Ephemeral



Identifiable



View of northeast corner from Mercer Street

"Gateways are transition locations and places that mark entry or departure points to the neighborhood for automobiles and pedestrians. Private sites at gateways should create opportunities for identification—a physical marker so the community notices they are entering a special place." - **CS2.1**

Dynamic

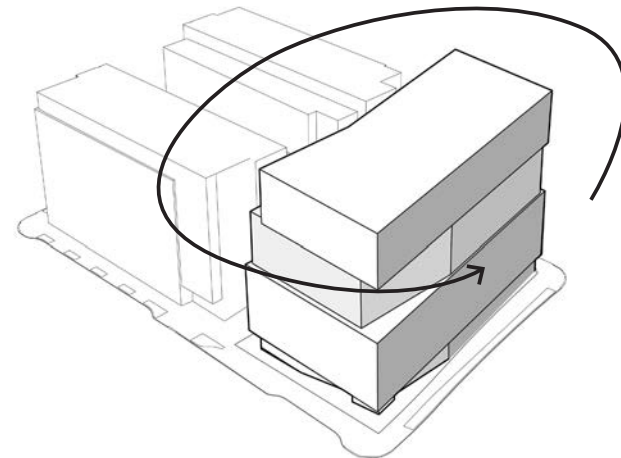


↑
"Slipped hinge" concept of dynamic volumes floating above a dynamic ground plane.

CS2.1.a
Consider site characteristics such as topography, views, or surrounding building patterns, which are important for gateway locations.

CS2.1.b
Design elements that contribute to gateways include building out to meet the corner where appropriate, or tools such as setbacks to allow for pedestrian friendly spaces and expanded sidewalks.

Cohesive



↑
A cohesive approach to material application reinforces the clarity of the concept and enhances the sculptural qualities of the design.

CS2.1
A physical marker so the community notices they are entering a special place.

Ephemeral



↑
A bold fritted glass pattern expression is intended to maximize the building response to light and atmospheric conditions. A linear fade gradient at volumetric edges softens transitions, introduces a secondary scale, emphasizes lightness, and reinforces the clarity of the sculptural massing.

CS2.1.b
Design elements that contribute to gateways include building out to meet the corner where appropriate, or tools such as signature facade treatments.

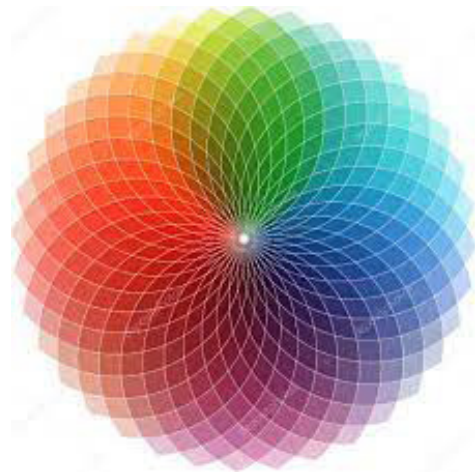
Identifiable



↑
Articulation using secondary architectural features critical to the design concept. Stressed importance of a cohesive facade design and purposeful material transitions to reinforce the overall clarity of the design. - Board Guidance at EDG

CS2.1.b
Design elements that contribute to gateways include building out to meet the corner where appropriate, or tools such as signature facade treatments.

Color



In Psychology:

The color white is associated with light, goodness, and innocence, and is considered to be the color of perfection.

Symbolism in Art:

White is the color of certainty, of illumination, and of insight, and we associate it with knowledge and learning.

Biology and Ecology:

In nature, clouds appear white because they are composed of water droplets or ice crystals mixed with air; when white sunlight enters clouds, almost all of the light is reflected or scattered by the air and water molecules, so the clouds appears to be the color of sunlight.

Clarity



"Less is more"

Ludwig Mies van der Rohe

Concept



"In the realm of the phenomenal, "less is more" only when less is the sum total of more."

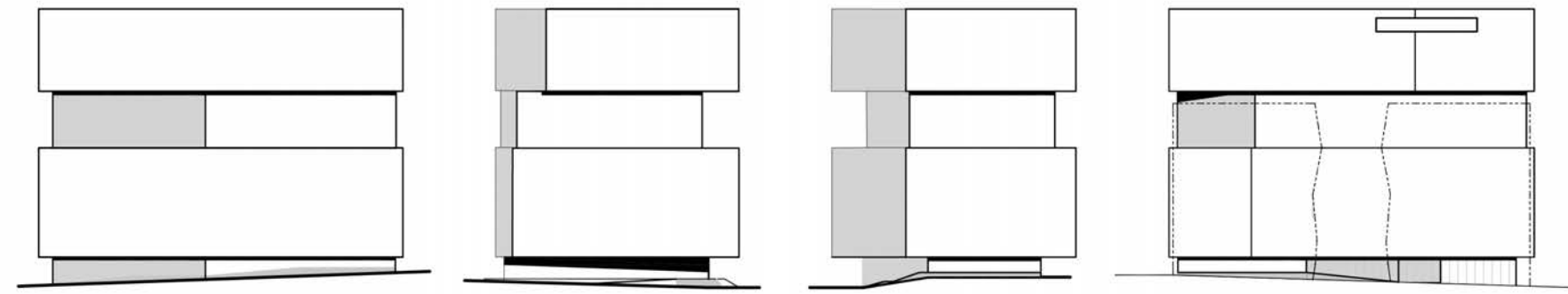
Robert Irwin

Context



"Usually when someone says a thing is too simple, they're saying that certain familiar things aren't there, and they're seeing a couple maybe that are left, which they count as a couple, that's all."

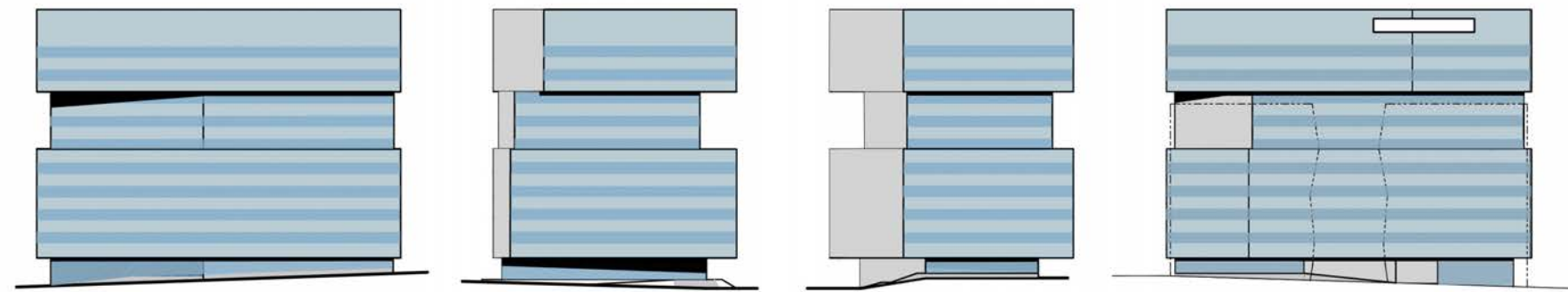
Donald Judd



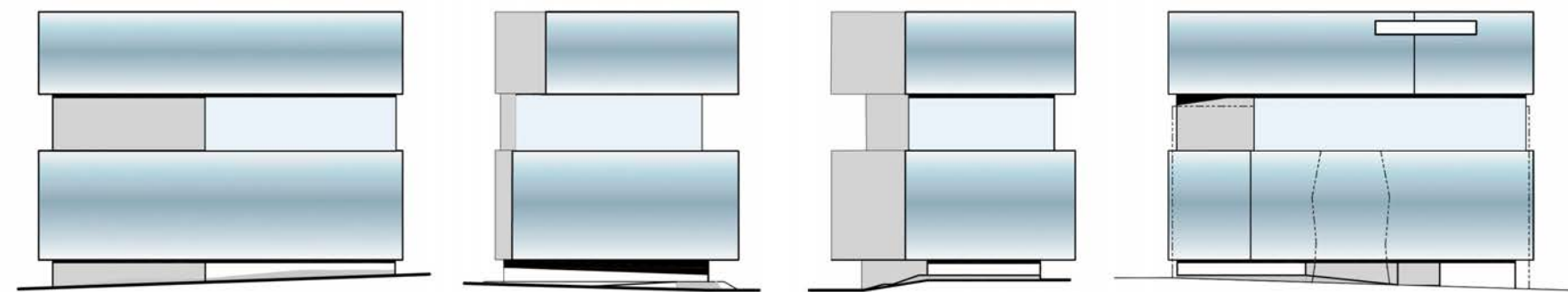
←
Sculptural Approach to gateway location



←
Mullion composition provides proportional variation and rhythm.



←
Human scale at vision glass zone. Dynamic lighting effects throughout different times of day and seasons.



←
A bold fritted expression reinforces forms and maximizes response to light and atmospheric conditions.

Mid-Block (North)

8th Ave N (East)

Dexter Ave N (West)

Mercer Street (South)

EARLY STUDIES



Transitions between volumes and sky most intense.



Transitions between volumes most intense, sky transition faded.

PROPOSED

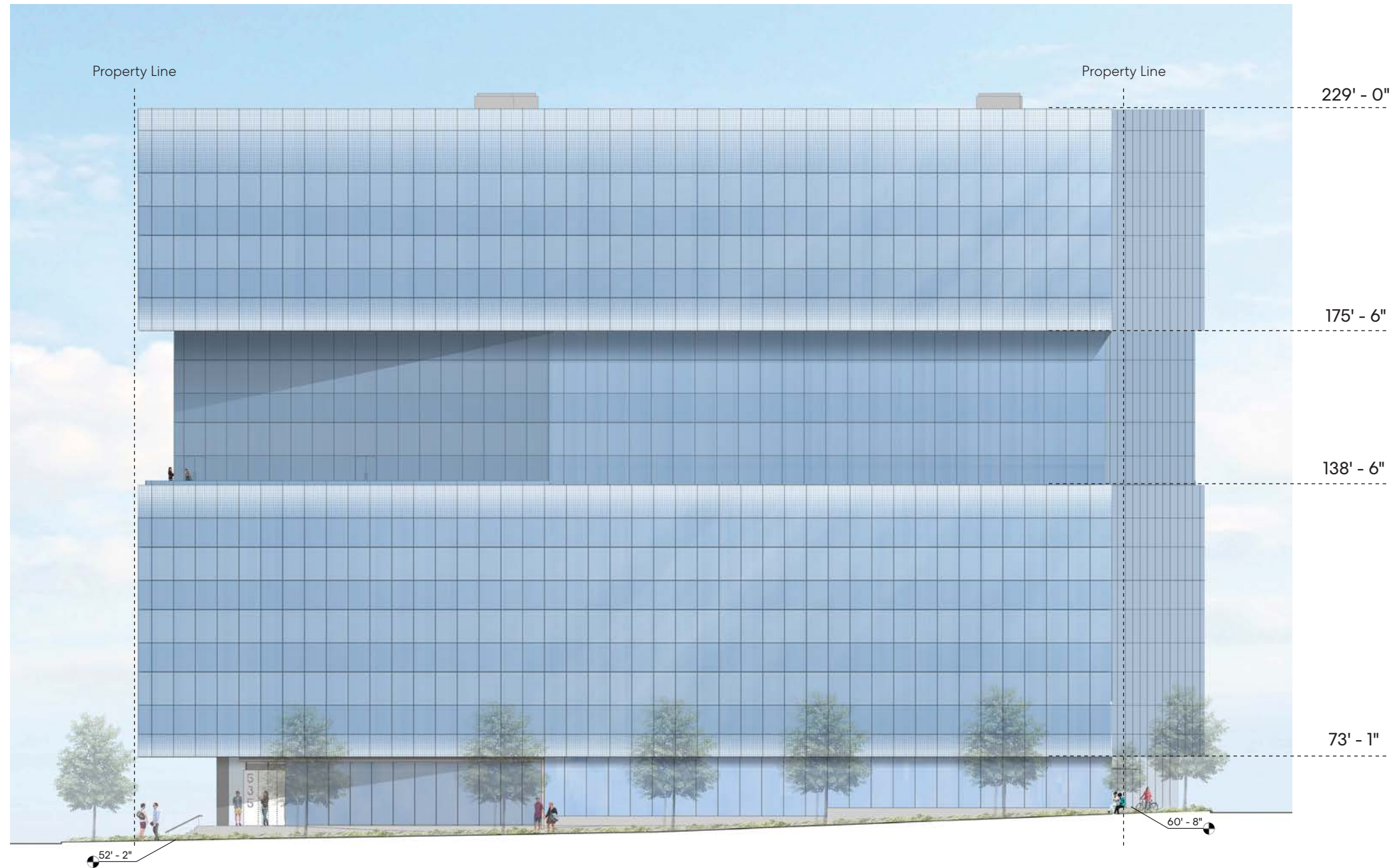


Transitions between volumes most intense, transition to sky softer.

View of northeast corner from Mercer Street



Dexter Ave N (West Elevation)



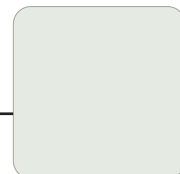
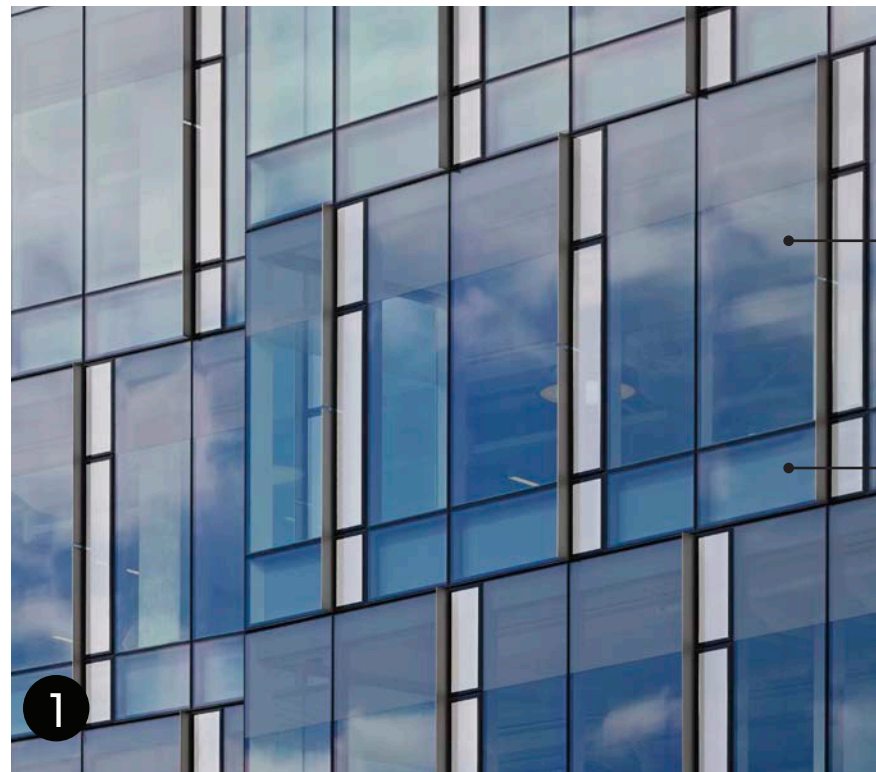
Mercer Street (North Elevation)



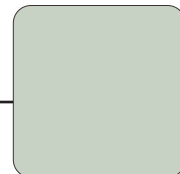
Mid Block Pedestrian Connection (South Elevation)



8th Ave N (East Elevation)



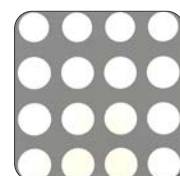
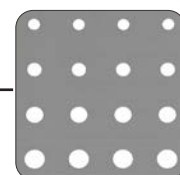
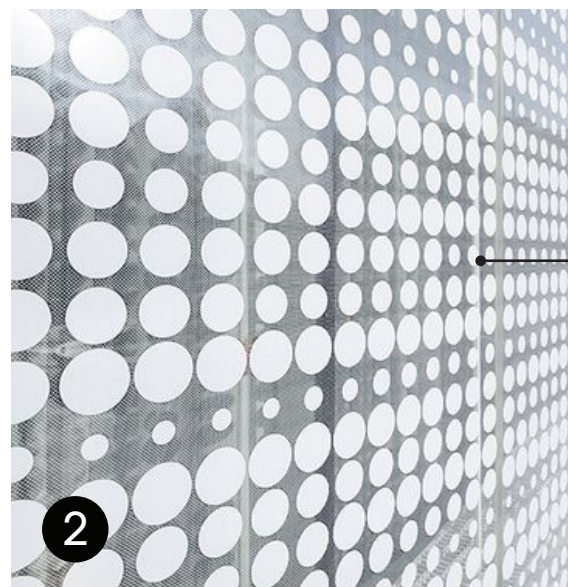
Vision Glass



Shadow Box



Wood Appearance

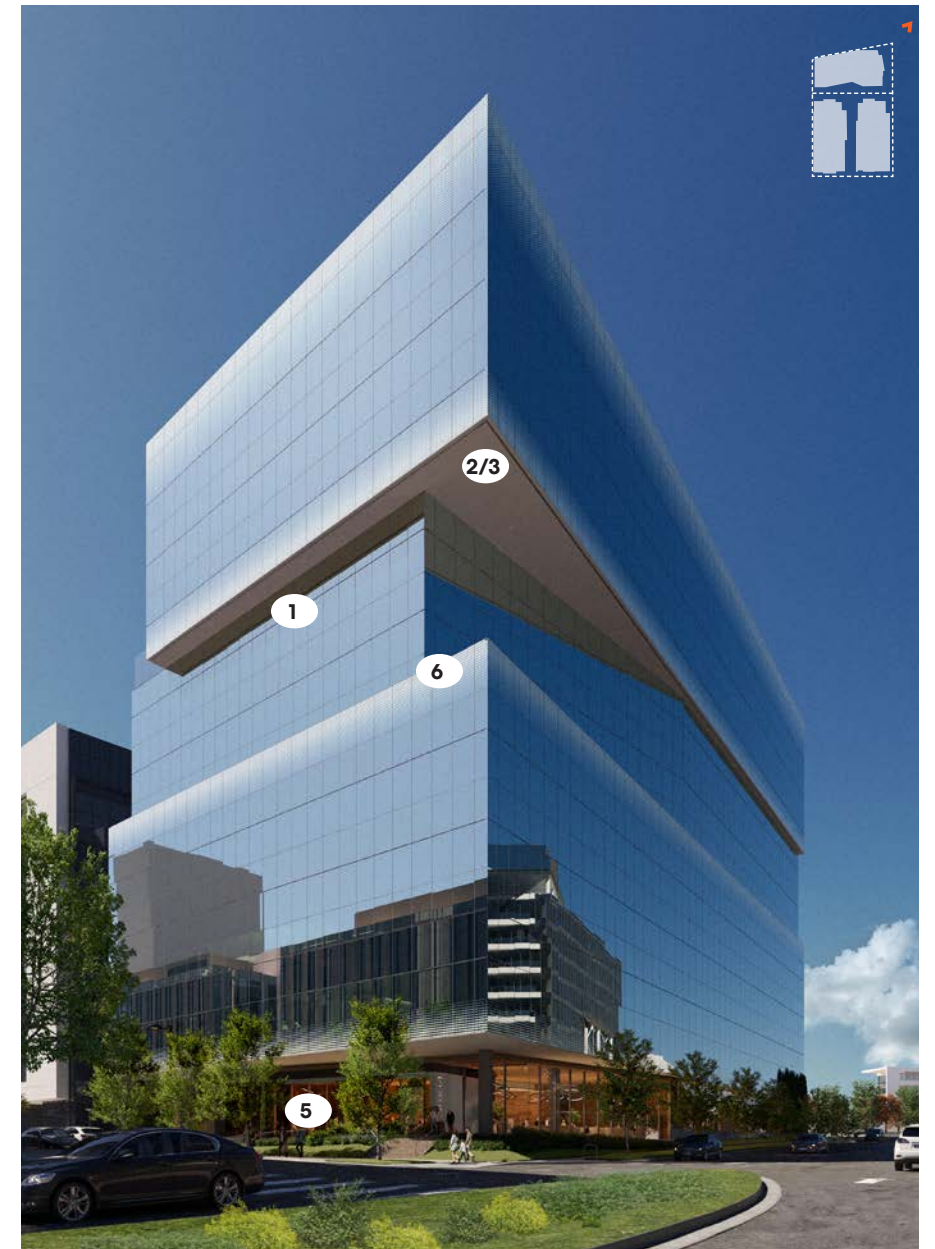
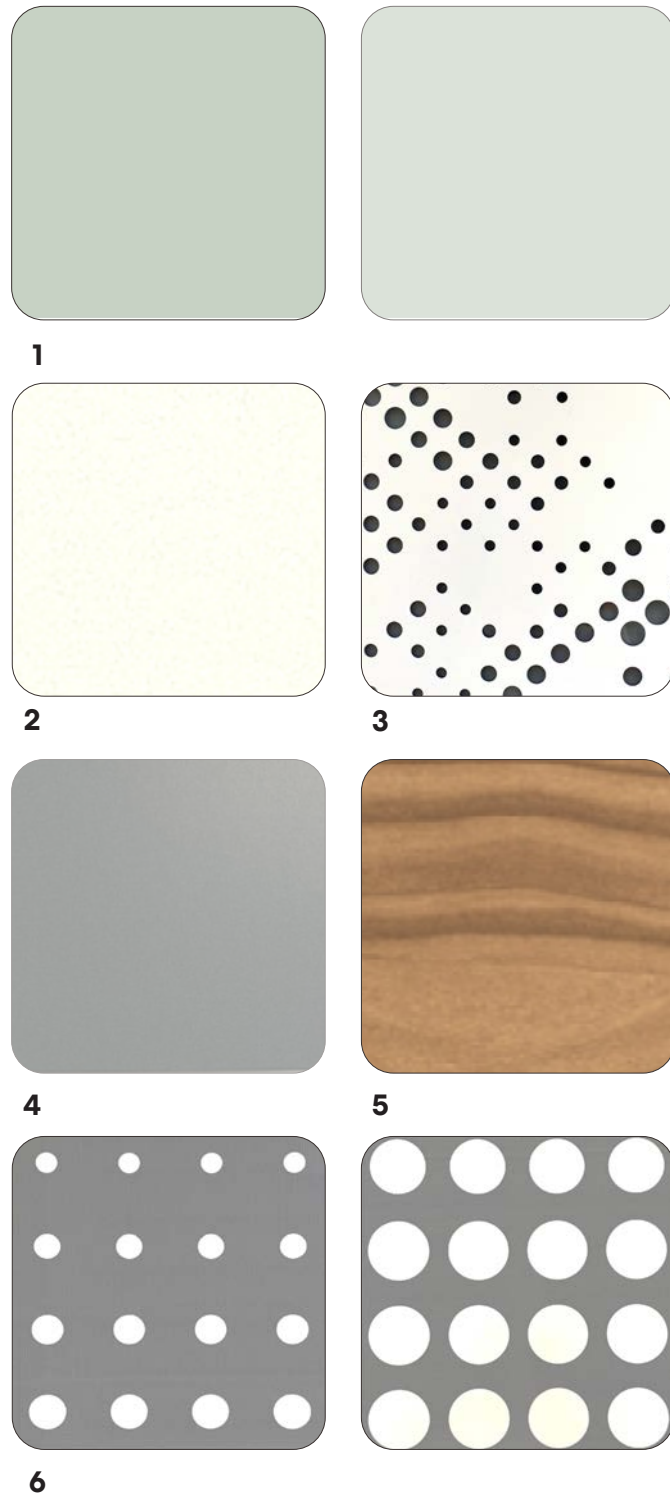


White ceramic frit

LEGEND

- 1. Allen Institute for Brain Science
- 2. Forum Confluentes

Material Palette

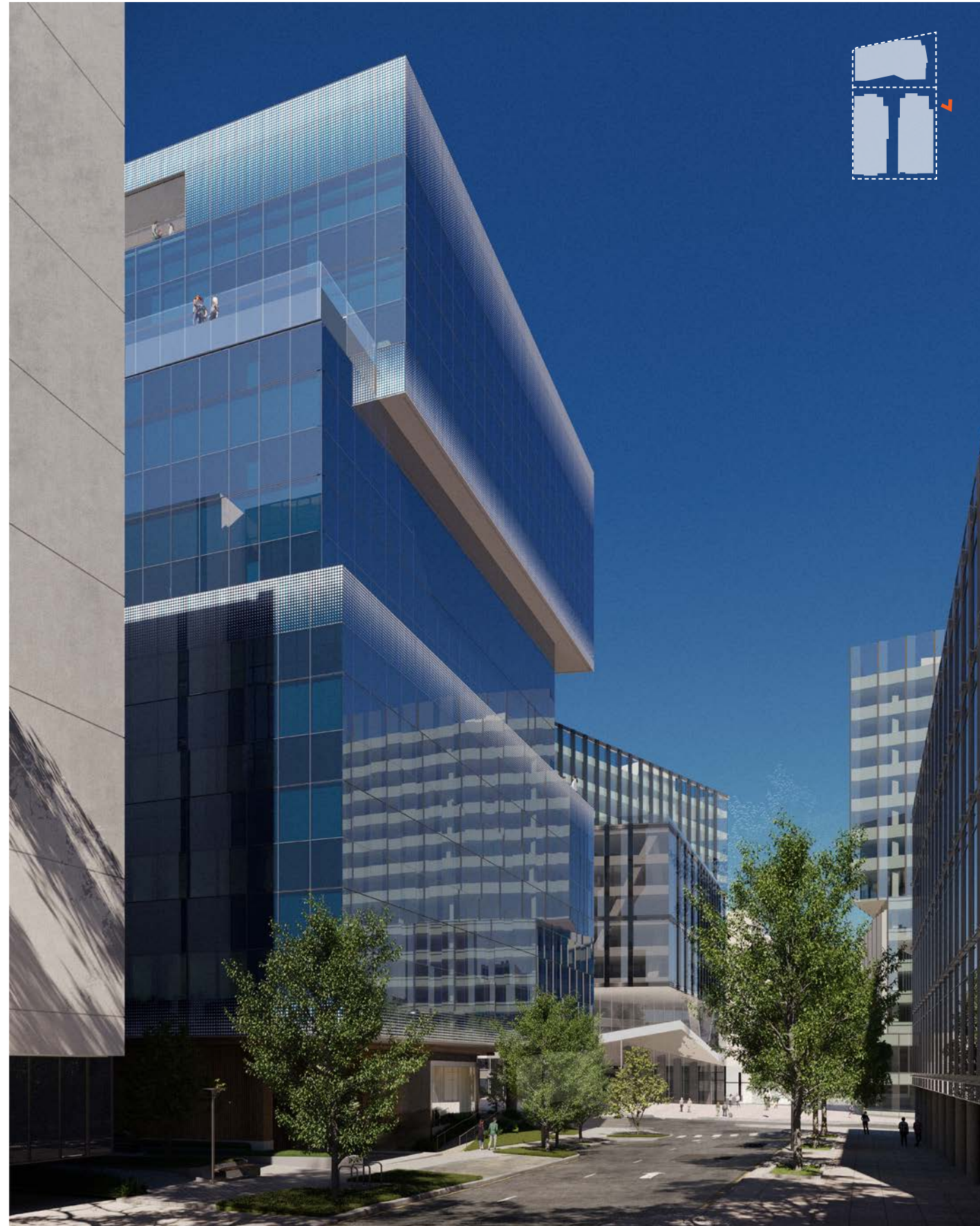


Material treatment is consistent on all sides of the building with a limited palette of high quality materials. Legend is omitted on following pages.

- 1. Vision glass and color matched shadow box
- 2. Metal panel.
- 3. Metal panel with perforation
- 4. Aluminum mullion and shadow box back pan
- 5. Sublimated aluminium with wood photo finish
- 6. Frit on vision glass with shadow box .



View of northeast corner from Mercer Street



View of courtyard and entry from 8th Ave. N.



View of courtyard and entry from 8th Ave. N.



View of southern courtyard connection



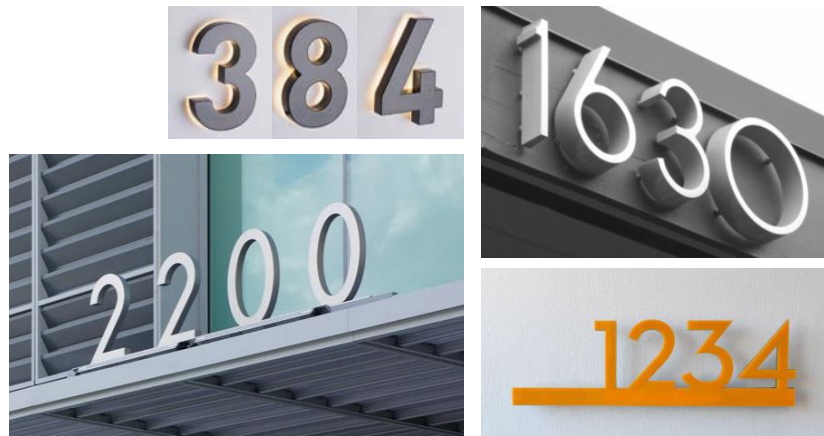
View looking north from Dexter Ave. N.



View of Gateway corner from Dexter Ave. S.



View of gateway corner from Mercer Street



1

House Number Character:



2

Letter Signage Character:



3





Blade Signage Character:

DC4-B-2

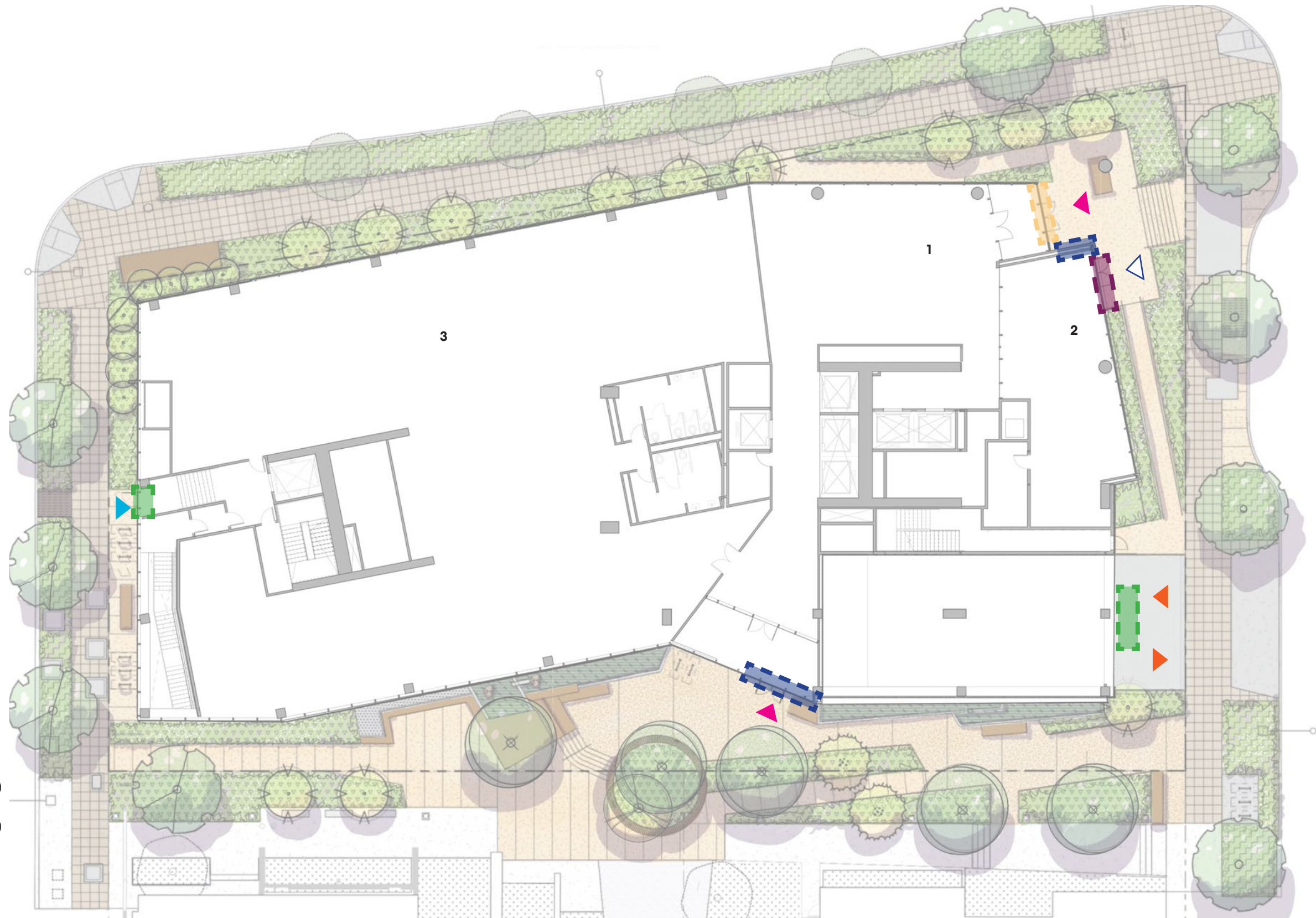
Develop a signage plan within the context of architectural and open space concepts, and coordinate the details with façade design, lighting, and other project features to complement the project as a whole.

Ground Floor Plan

-  Pedestrian Entry
-  Cyclist Entry
-  Vehicle Entry/Exit
-  Retail Entry

-  Building Access / Parking
-  Building Name / Address
-  Retail Signage (Subject to Tenant Requirements)
-  Tenant Identity (Subject to Tenant Requirements)

- 1. Lobby
- 2. Retail
- 3. Tenant





8th Ave N (East Elevation)



Mercer Street (South Elevation)







Dexter Ave N (West Elevation)



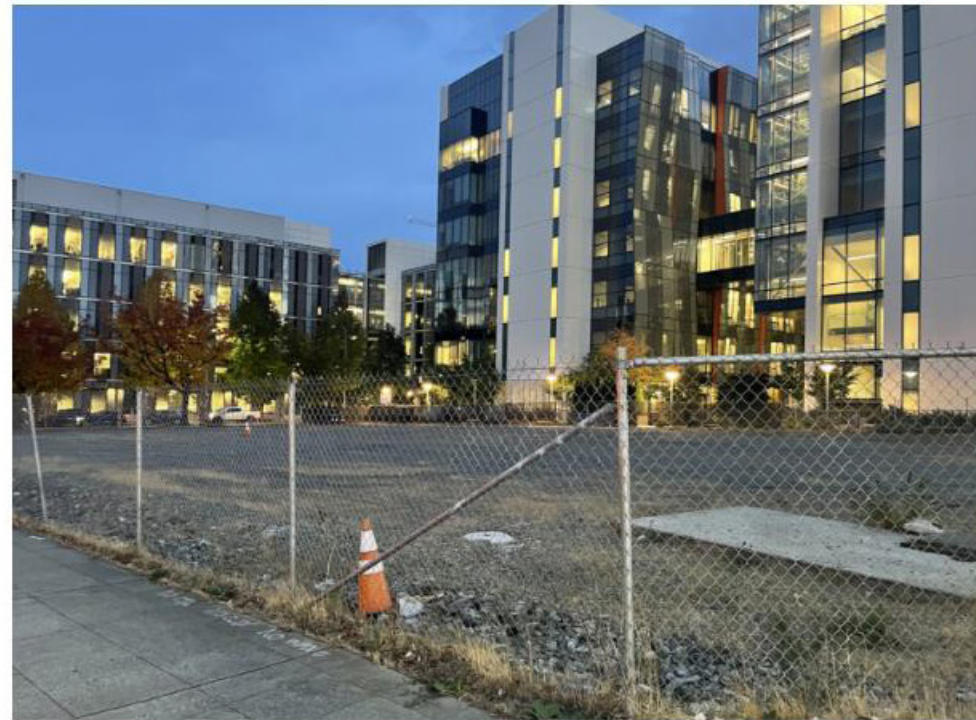
Mid-Block (North Elevation)

Key

-  Building Access / Parking
-  Building Name / Address
-  Retail Signage
(Subject to Tenant Requirements)
-  Tenant Identity
(Subject to Tenant Requirements)



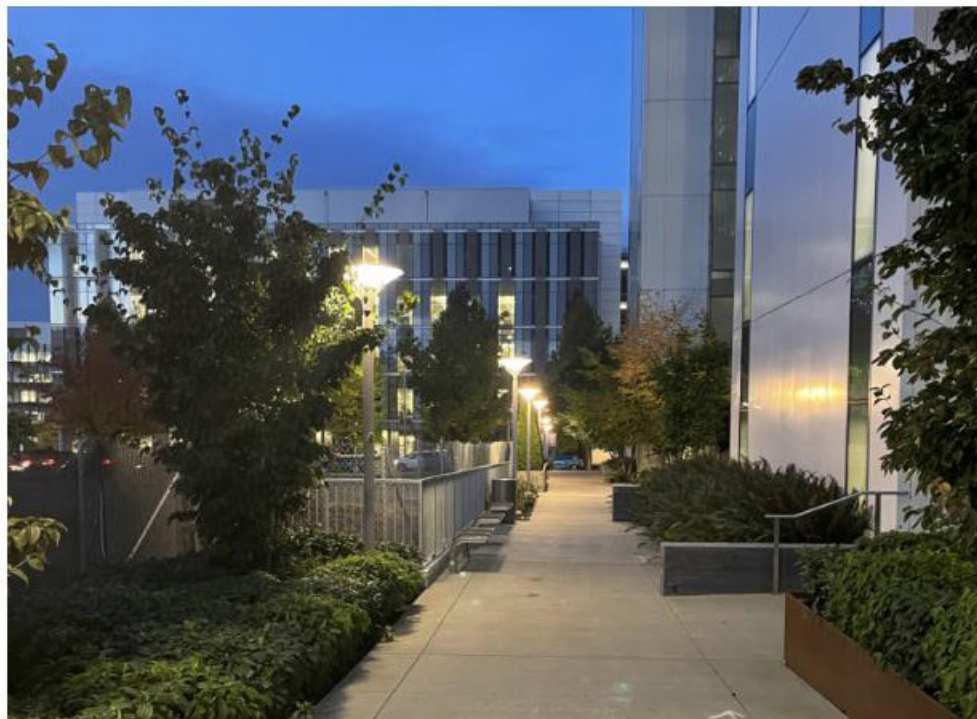
8th Ave N.



Mercer St



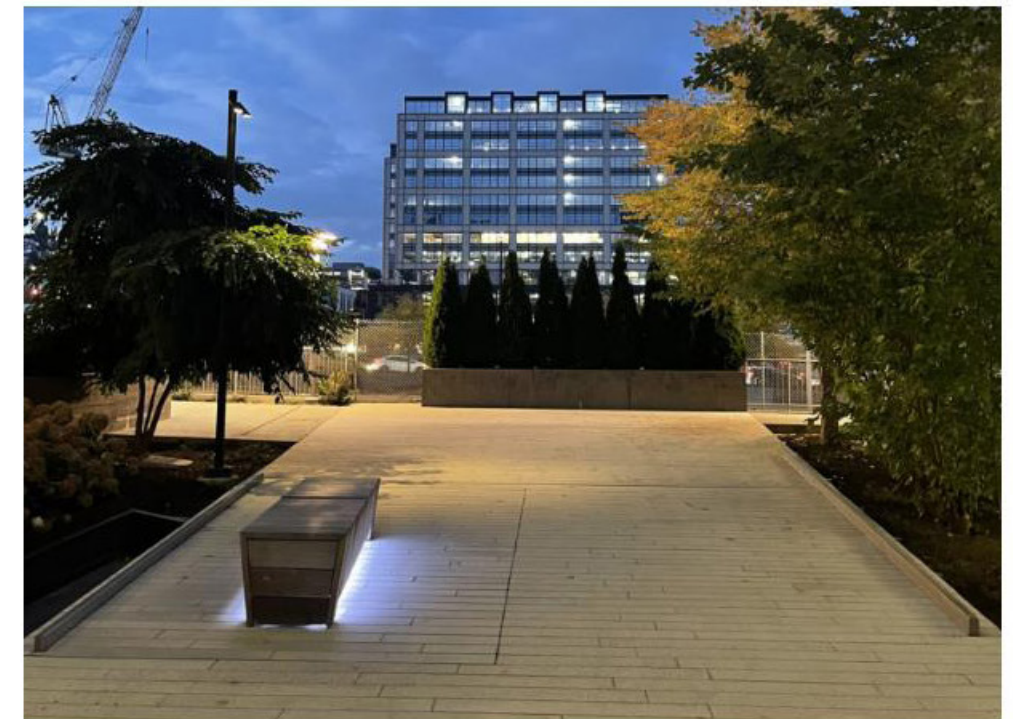
Mercer St



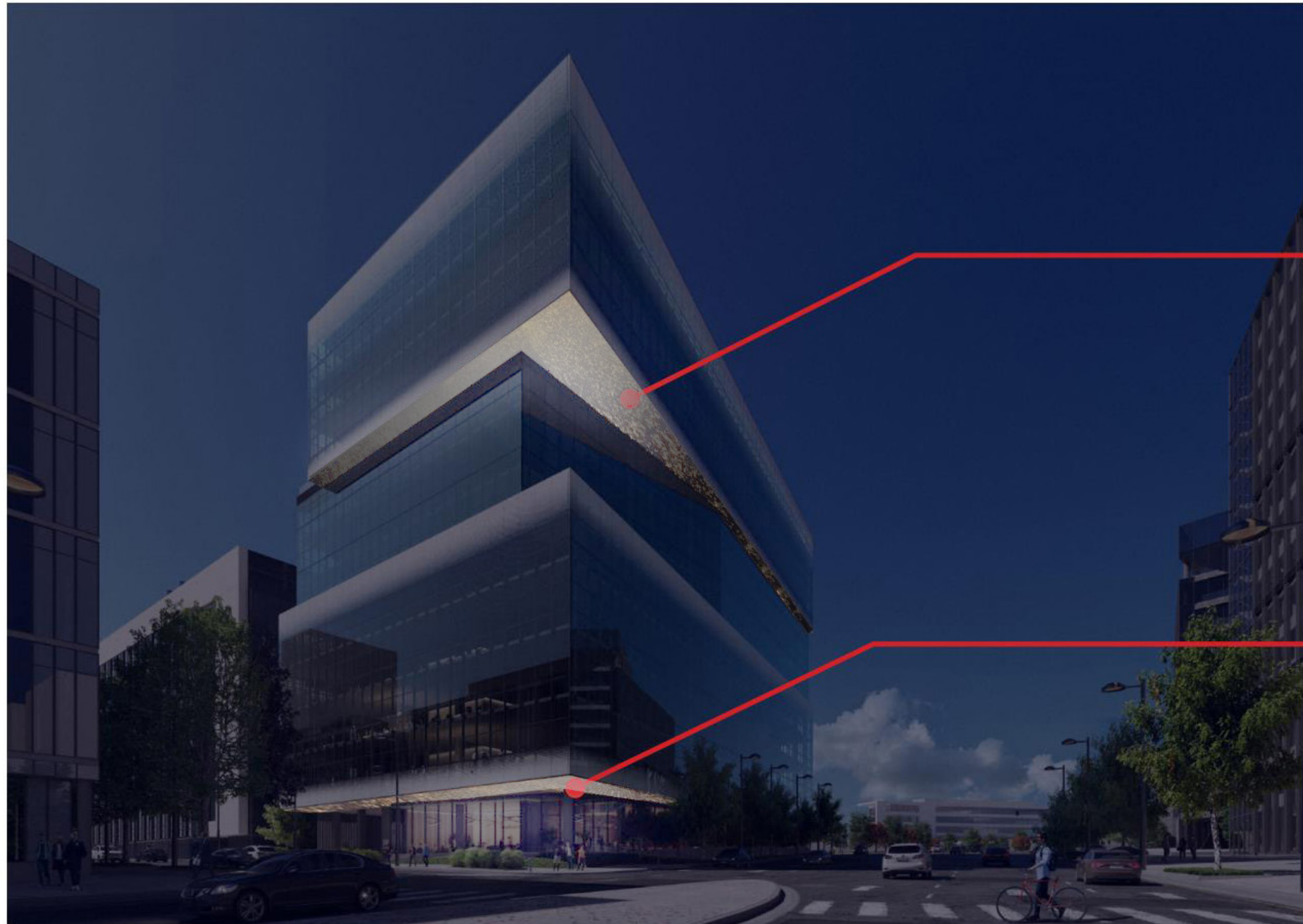
Through-Block Connection



Phase 3.1 and 3.2 Courtyard



Phase 3.1 and 3.2 Courtyard

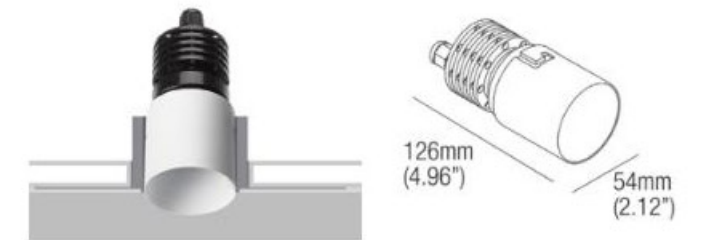
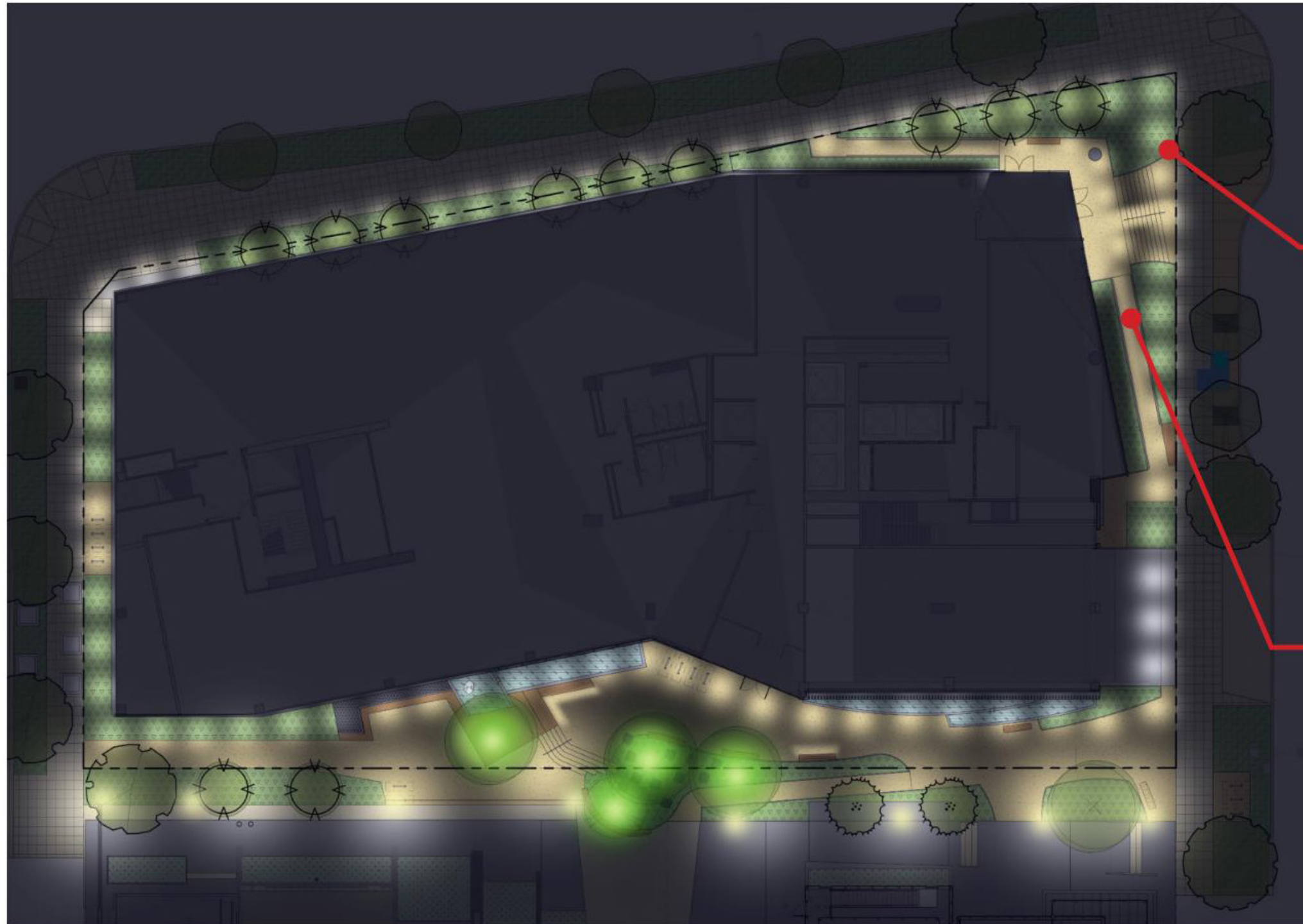


Long Distance Views:

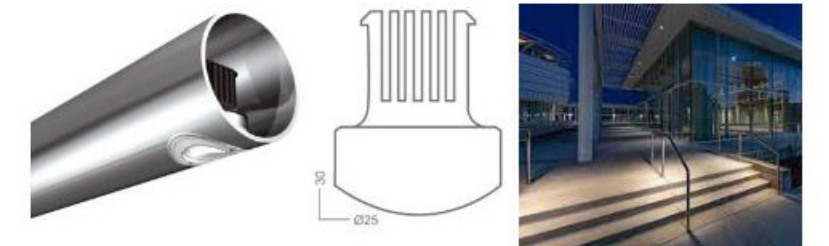
Dimmable LED asymmetrical linear light fixtures concealed above perforated metal panels for backlighting effect to highlight architectural massing and add to character of the building at night, while providing ambient lighting in the exterior terrace below

Pedestrian Views:

Dimmable LED asymmetrical linear light fixtures concealed above perforated metal panels for backlighting effect to provide ambient lighting on the ground level, creating a welcoming approach to the building and anchoring this corner at night as a key components of the pedestrian realm along Mercer St + 8th Ave



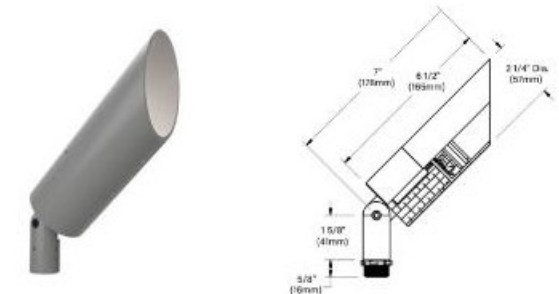
Dimmable LED small aperture recessed downlights around perimeter soffit to light landscaping and building entrances



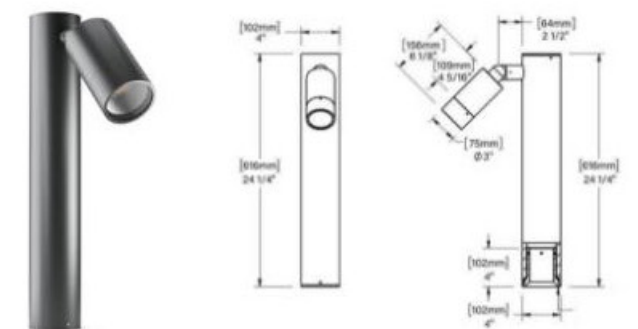
Low level lighting at stairs to provide adequate light for safety while remarkating entrances to key areas of the site



LED striplights mounted to underside of benches to create soft glows at seating areas



Soft illumination of trees and planting via shielded landscape accent lights

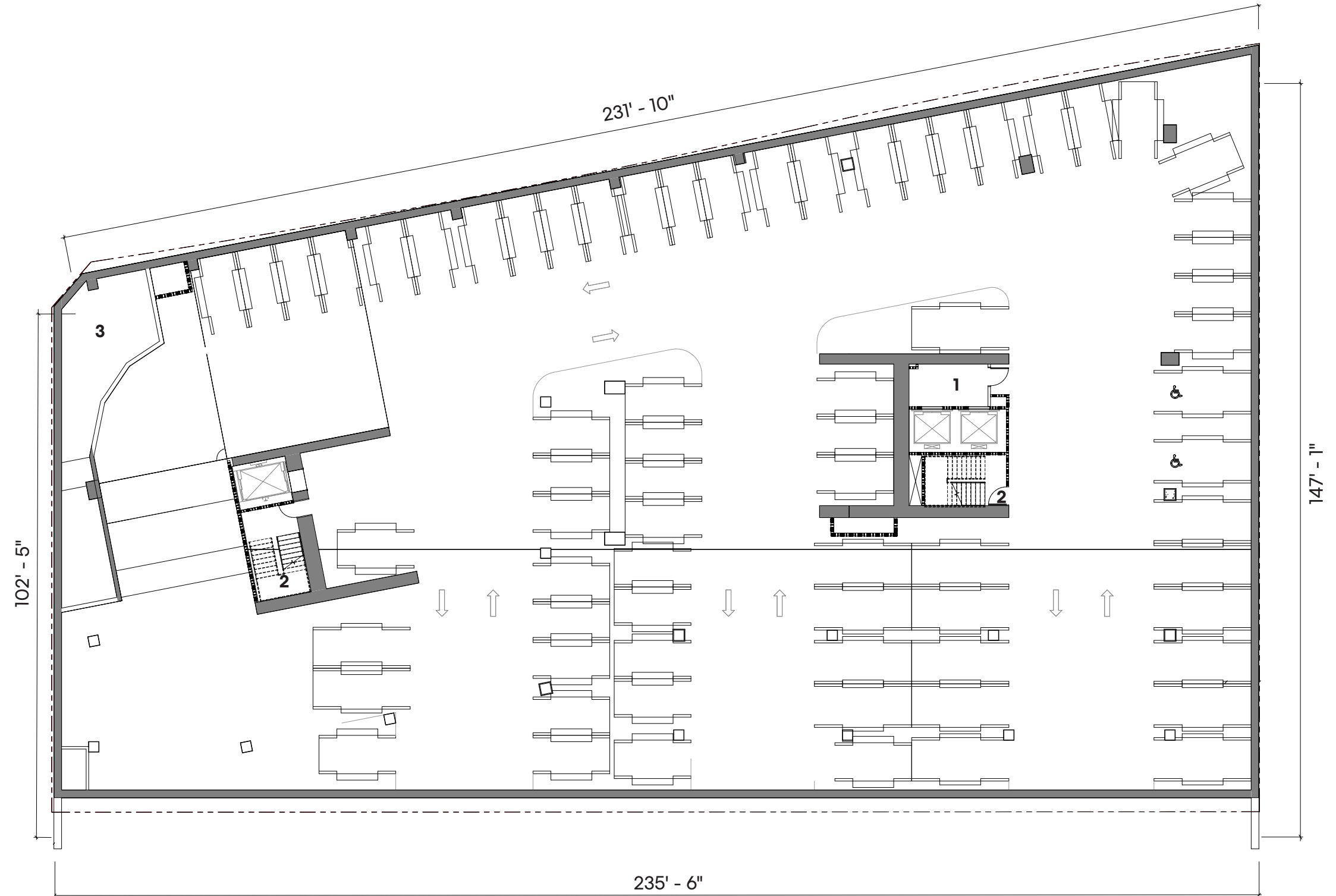


Dimmable LED shielded pole-mounted double headed flood lights for egress lighting as needed

PLANS

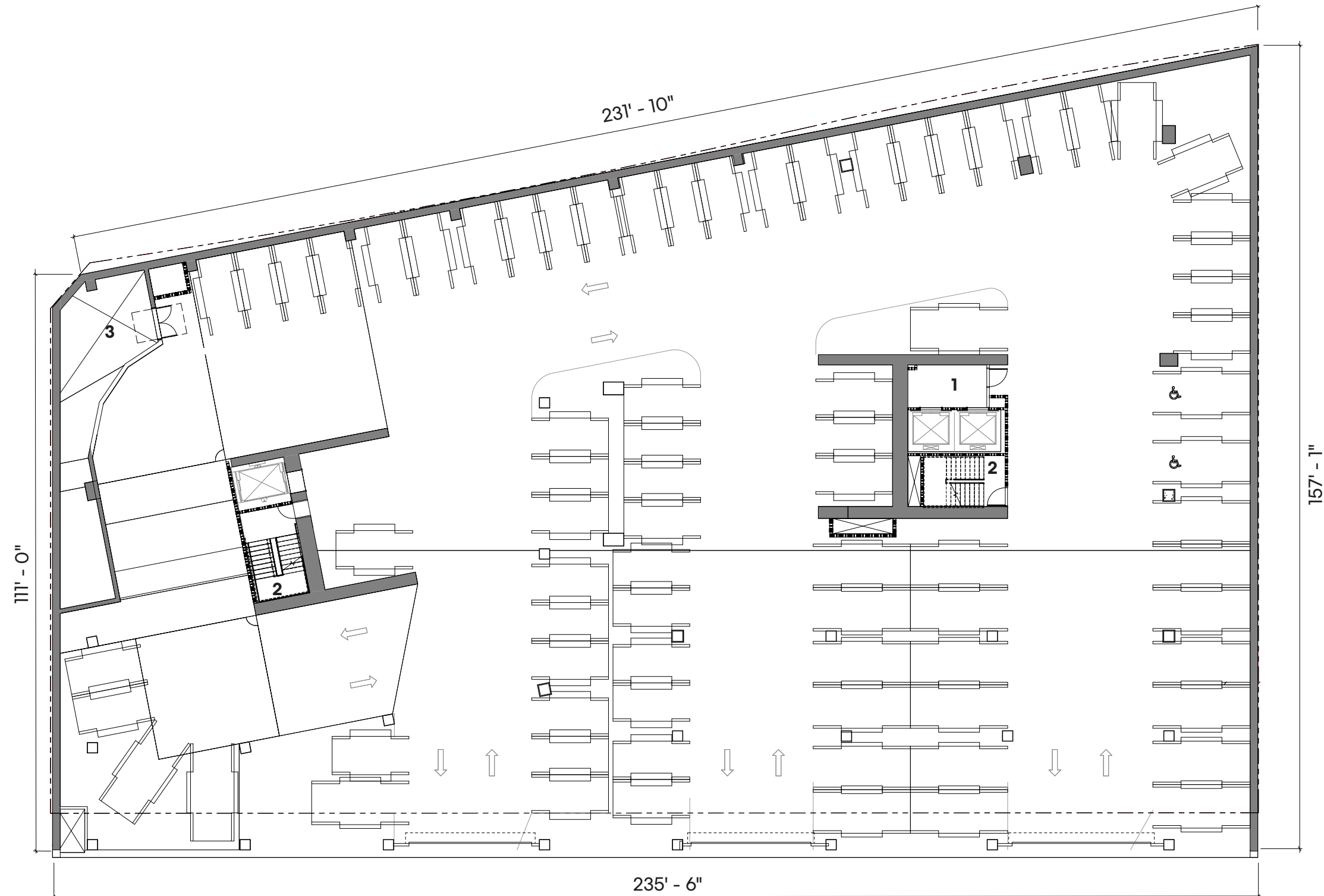
Level P4 Plan

- 1. Elevator Lobby
- 2. Stair Core
- 3. Water Tank



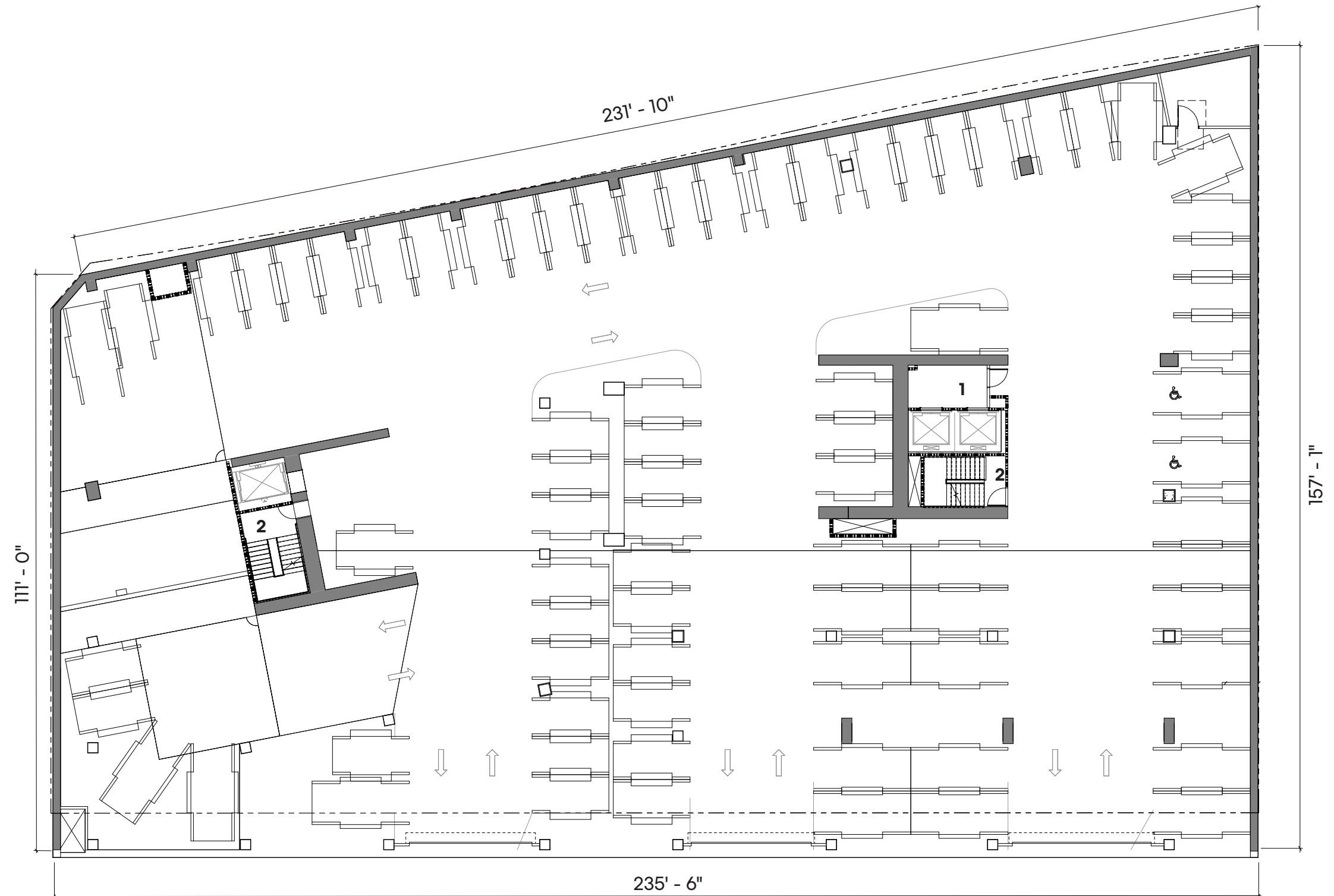
Level P3 Plan

- 1. Elevator Lobby
- 2. Stair Core
- 3. Fire Pump Room



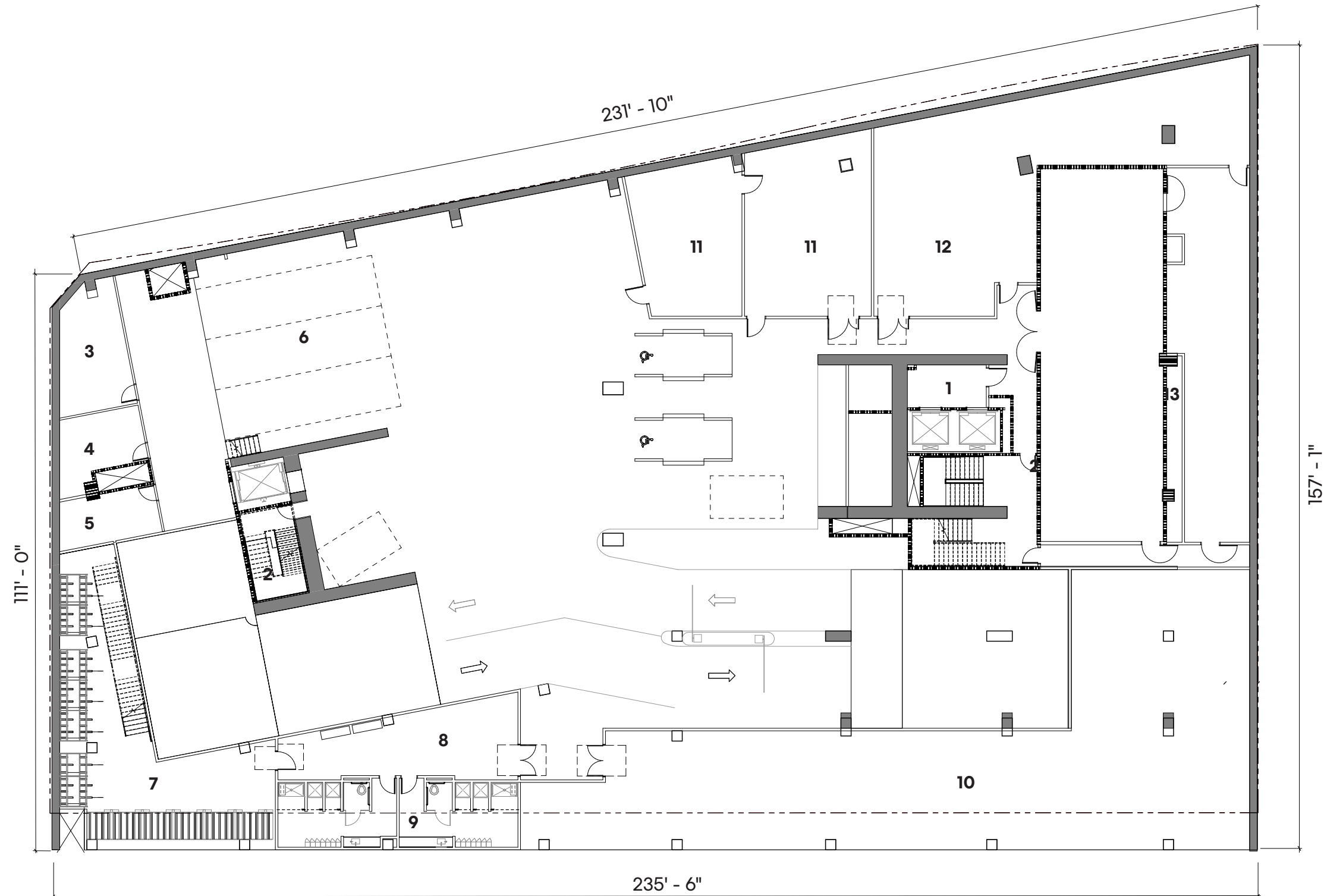
Level P2 Plan

- 1. Elevator Lobby
- 2. Stair Core



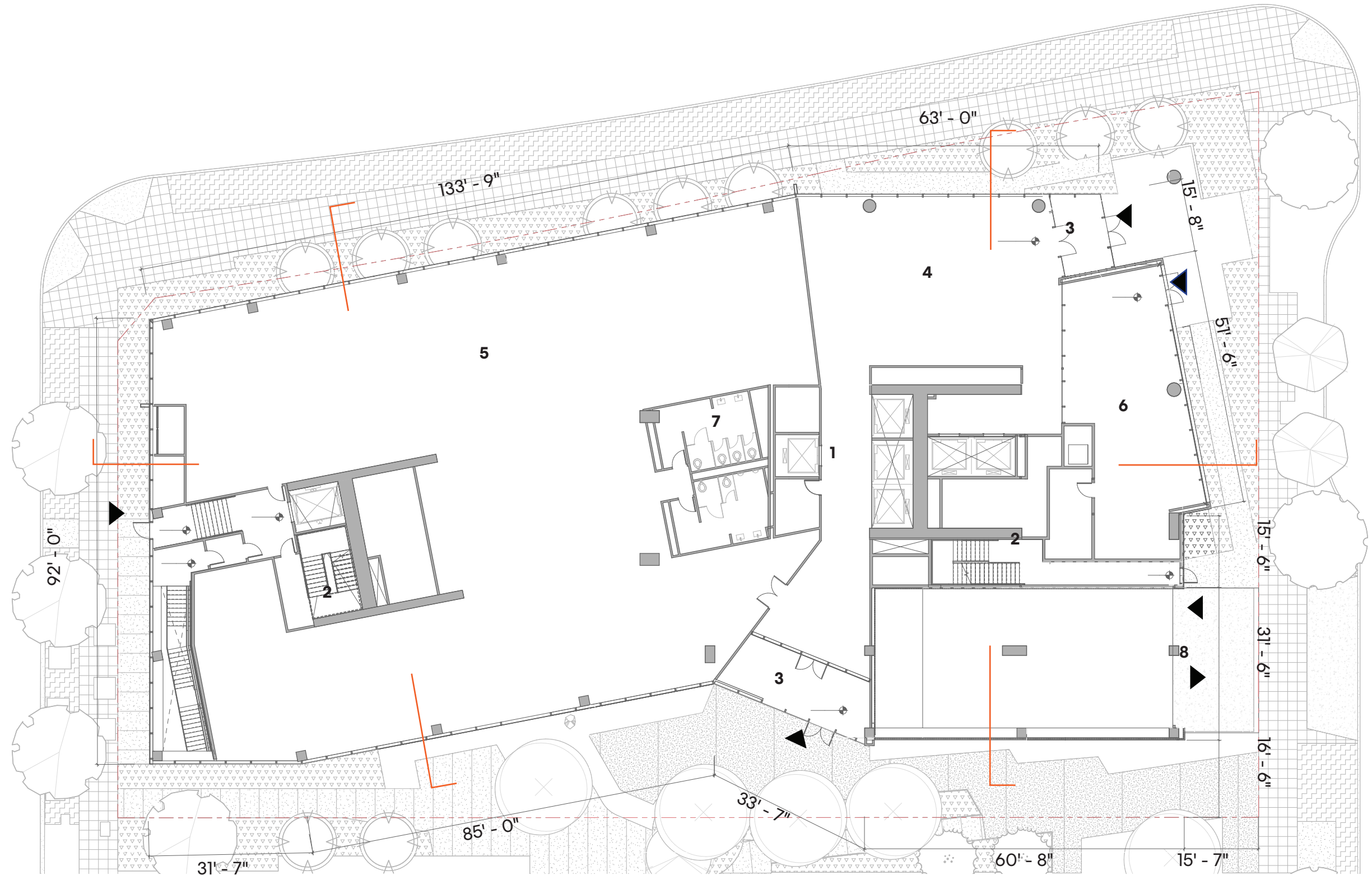
Level P1 Plan

- 1. Elevator Lobby
- 2. Stair Core
- 3. MDF Room
- 4. Management Office
- 5. Storage
- 6. Loading
- 7. Bike Room
- 8. Lounge
- 9. Locker Room
- 10. Leasable Space
- 11. Generators
- 12. Electrical Room
- 13. SCL



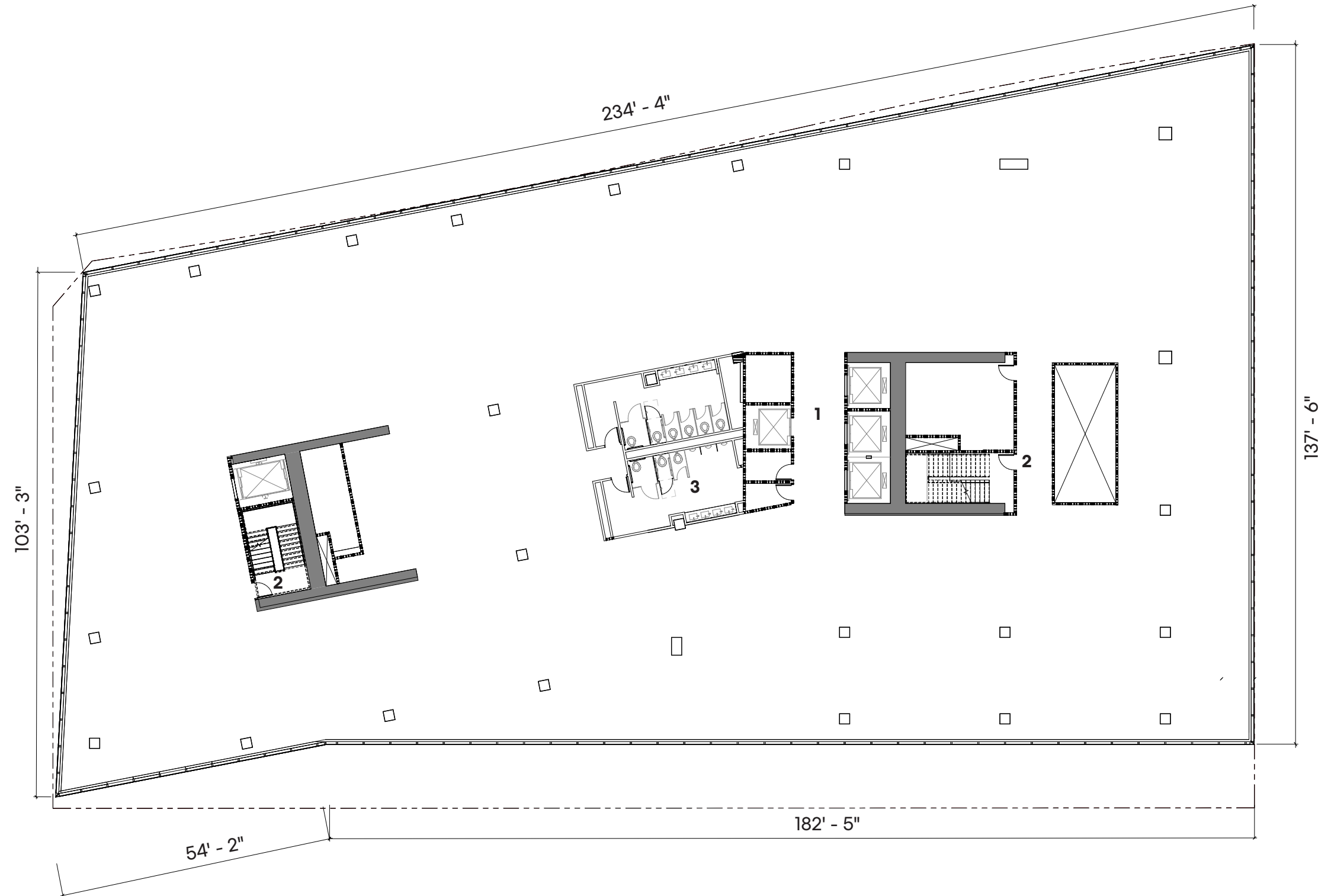
Level 01 Plan

- 1. Elevator Lobby
- 2. Stair Core
- 3. Entry
- 4. Lobby
- 5. Tenant Space
- 6. Retail Space
- 7. Restrooms
- 8. Garage Ramp



Level 02-05 Plan

- 1. Elevator Lobby
- 2. Stair Core
- 3. Restrooms



Level 06 Plan

- 1. Elevator Lobby
- 2. Stair Core
- 3. Restrooms
- 4. Terrace



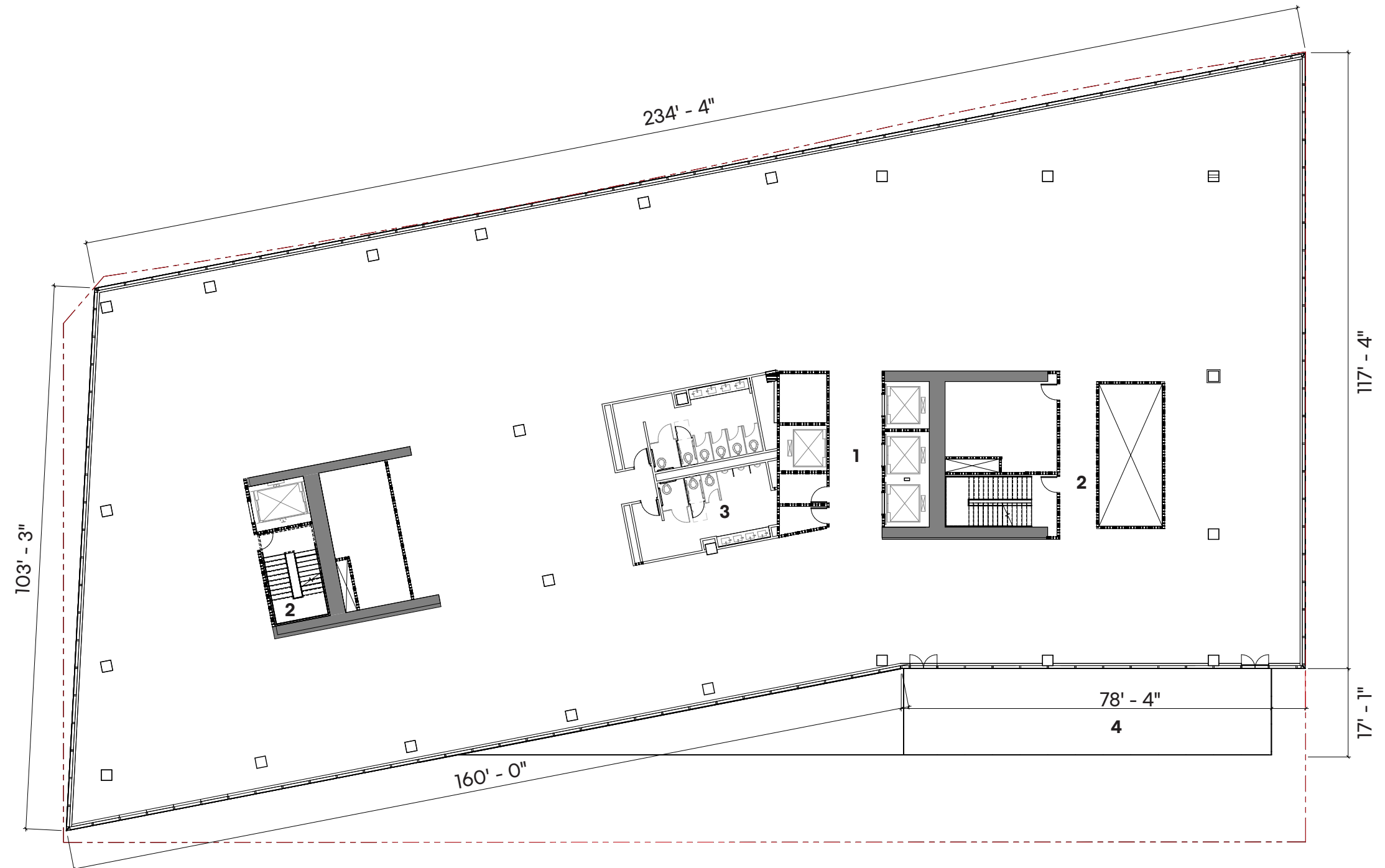
Level 07-08 Plan

- 1. Elevator Lobby
- 2. Stair Core
- 3. Restrooms
- 4. Terrace



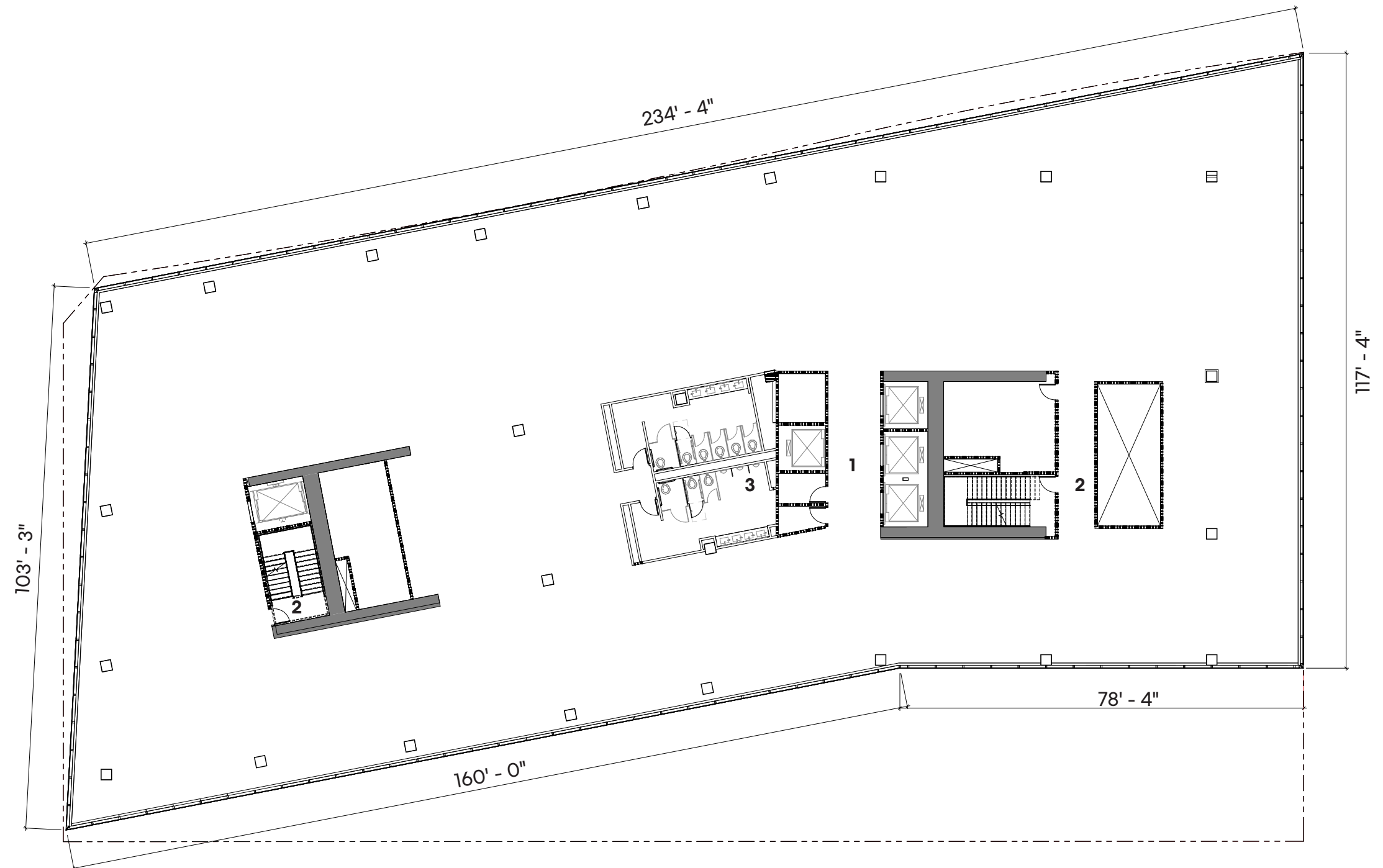
Level 09

- 1. Elevator Lobby
- 2. Stair Core
- 3. Restrooms
- 4. Terrace



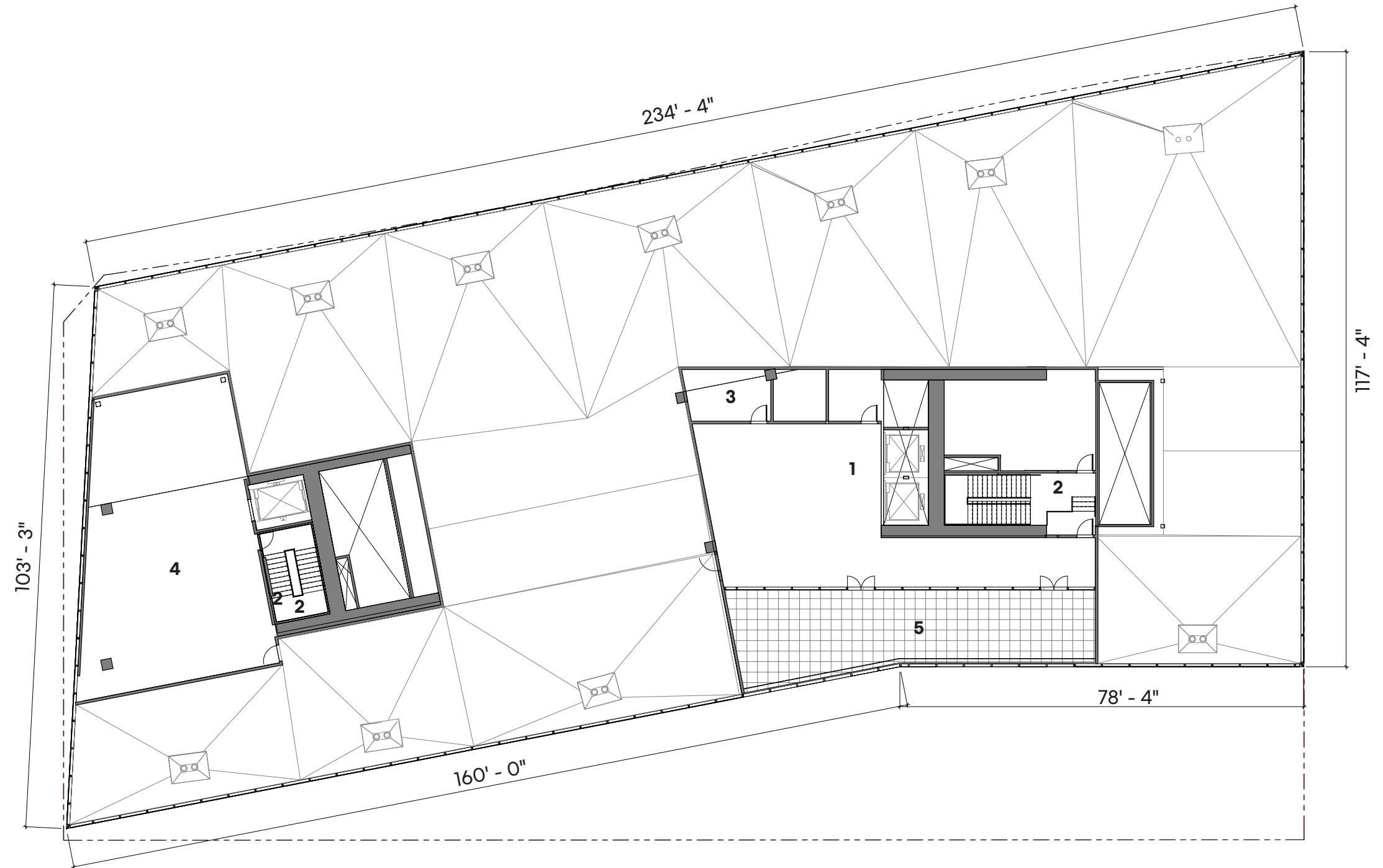
Level 10

- 1. Elevator Lobby
- 2. Stair Core
- 3. Restrooms



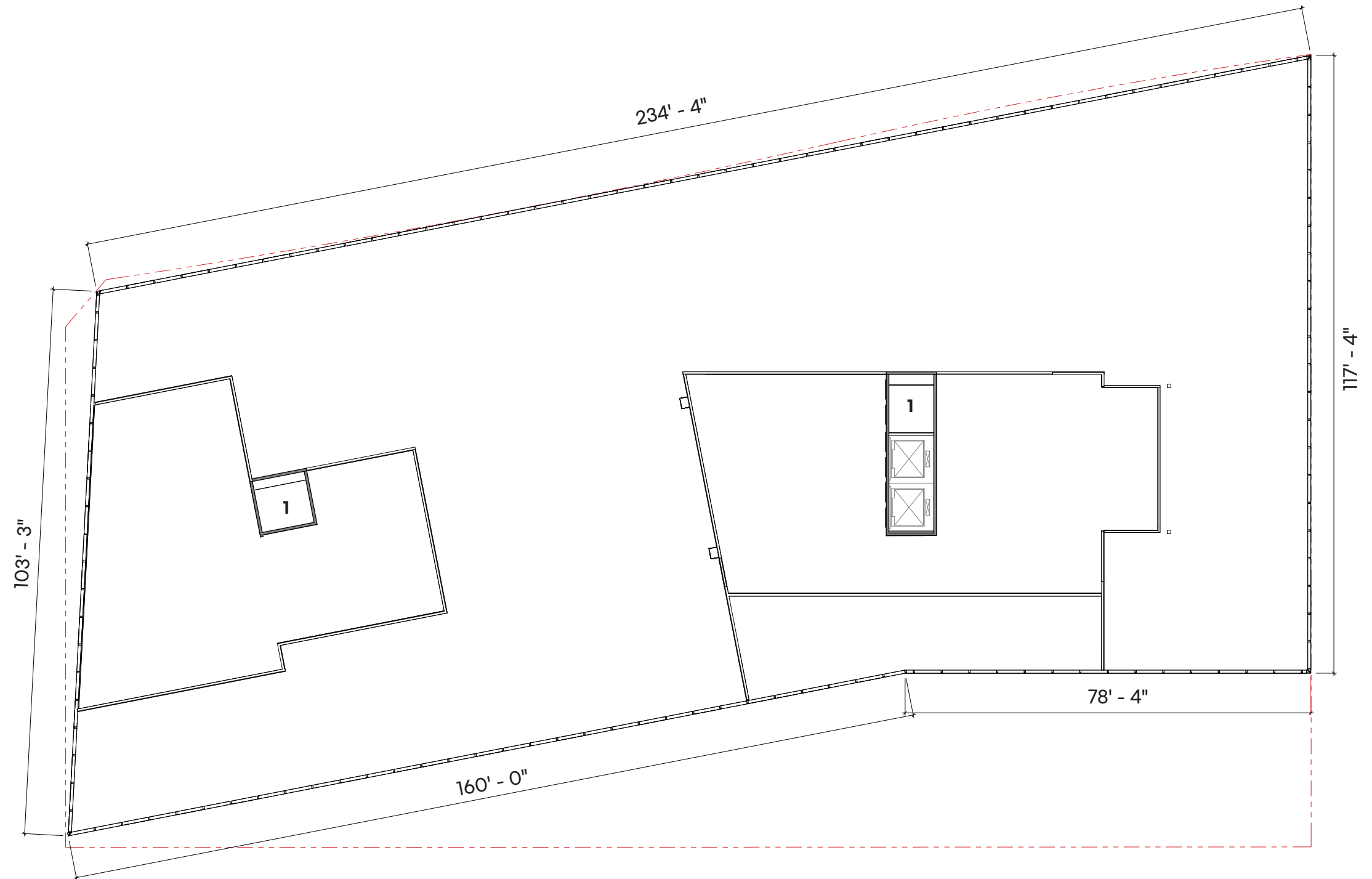
Level Penthouse

- 1. Elevator Lobby
- 2. Stair Core
- 3. Electrical
- 4. Mechanical
- 5. Roof Terrace

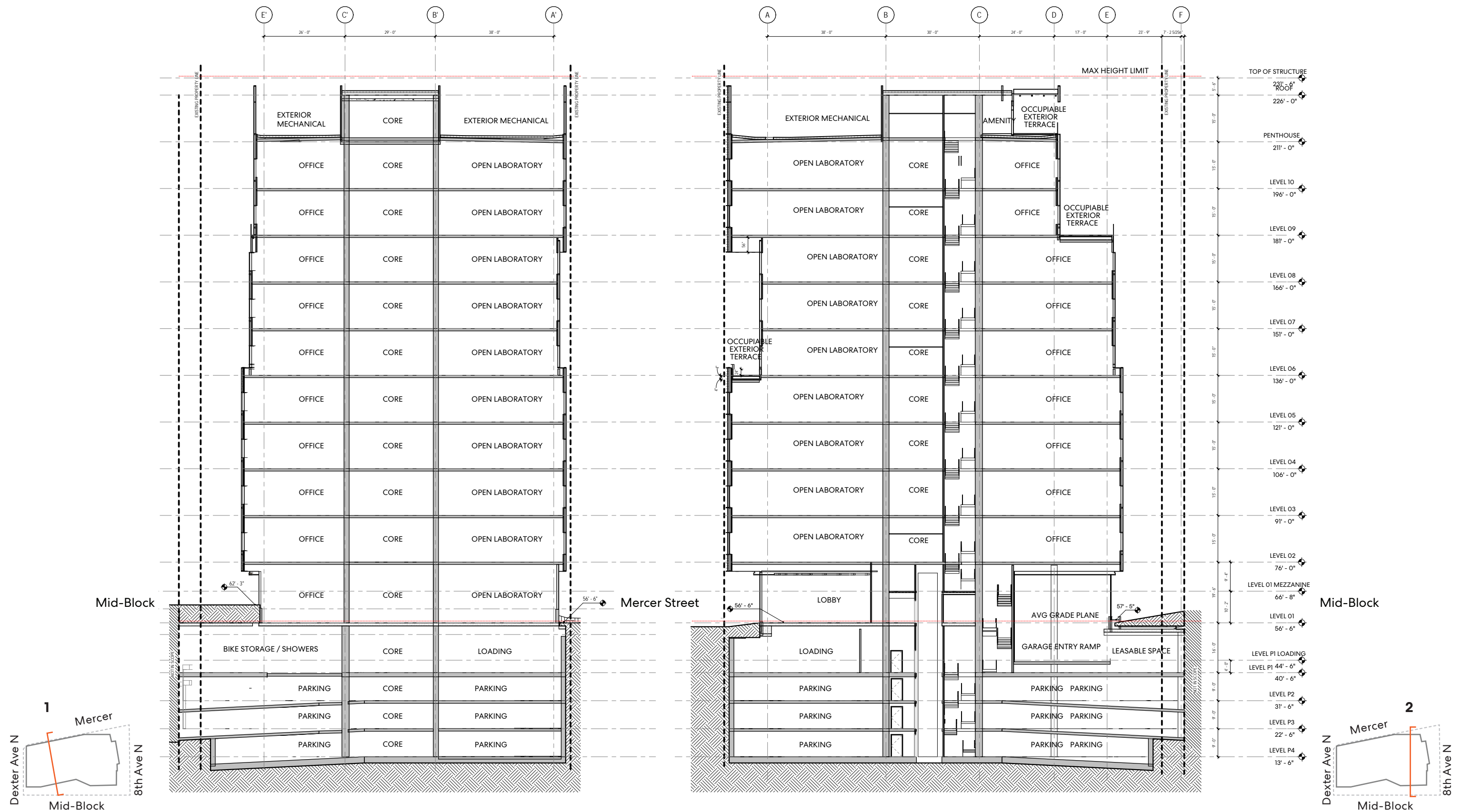


Level Roof

- 1. Elevator Overrun

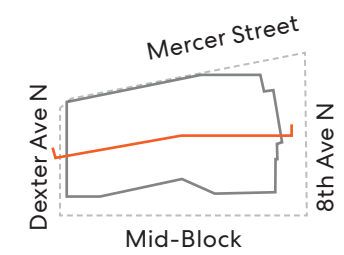


North - South Section



1" = 50' - 0"

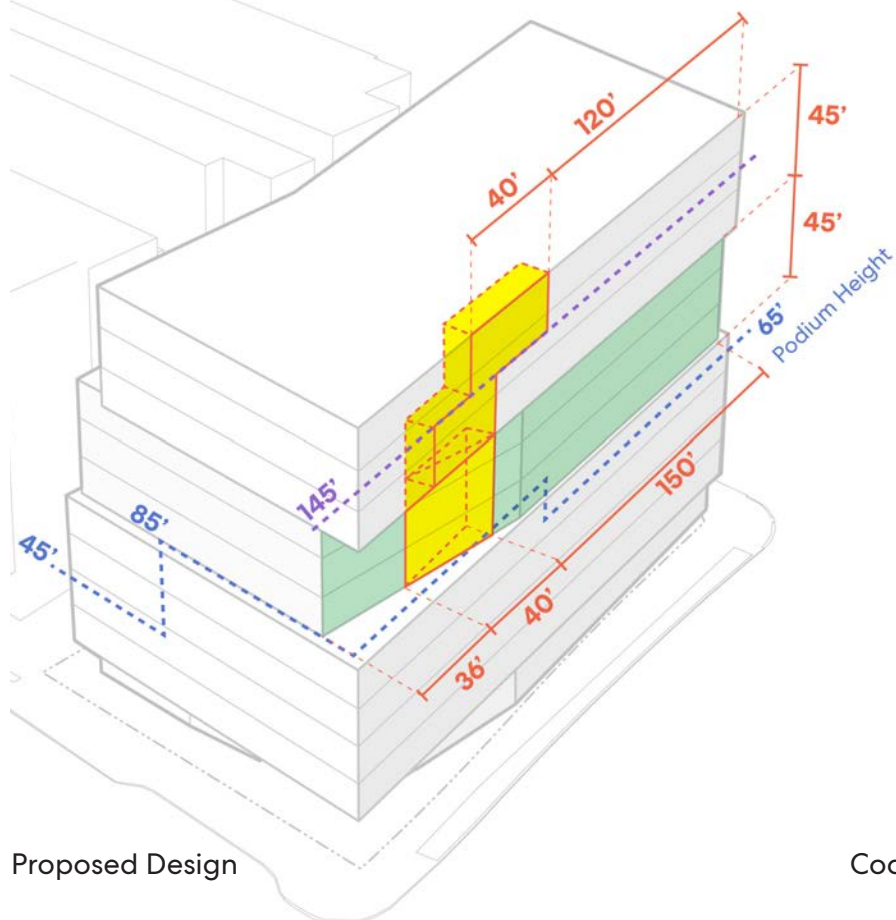
East-West Section



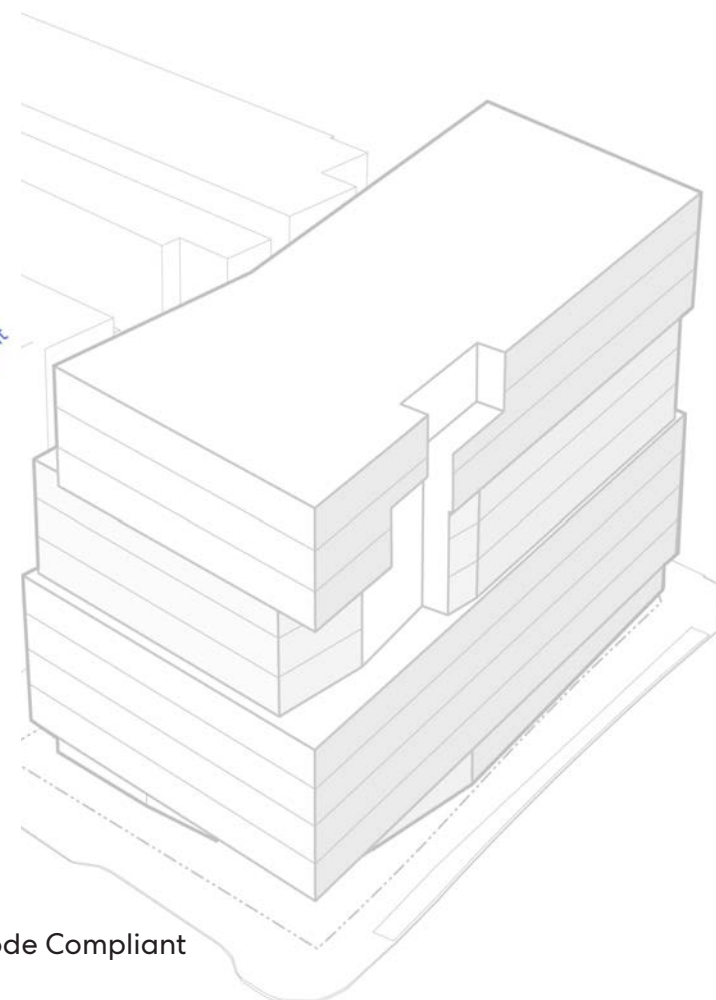
1" = 50' - 0"

DEPARTURES

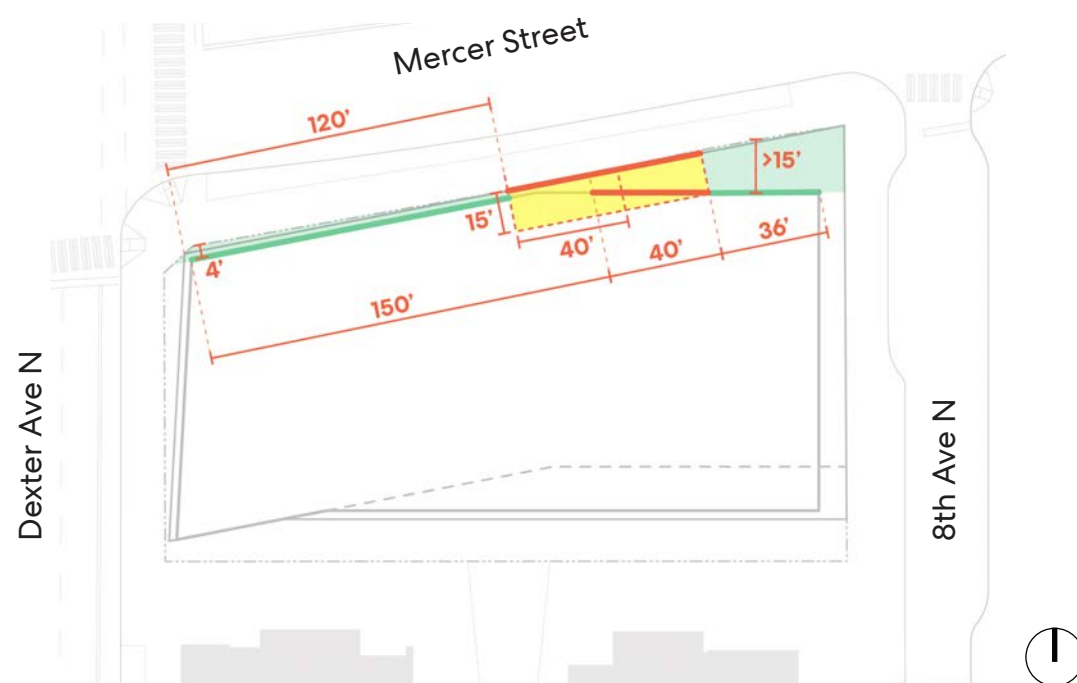
- Setback required; requesting departure.
- Setback not required; additional setback provided beyond the code requirement.



Proposed Design



Code Compliant



Façade Modulation (Supported at EDG)

Code:

SMC 23.48.245.D

For all structures with non-residential uses exceeding 85 feet in height, facade modulation is required for the street-facing portions of a structure located within 15 feet of a street lot line and exceeding the podium height.

Maximum length of unmodulated facade for stories up to 145 feet is 150 feet.

Maximum length of unmodulated facade for above 145 feet is 120 feet.

If a portion of a facade that is within 15 feet of the street lot line is the maximum length permitted for an unmodulated facade, the length of the facade may be increased only if additional portions of the facade are set back a minimum of 15 feet from the street lot line for a minimum distance of 40 feet.

Proposed:

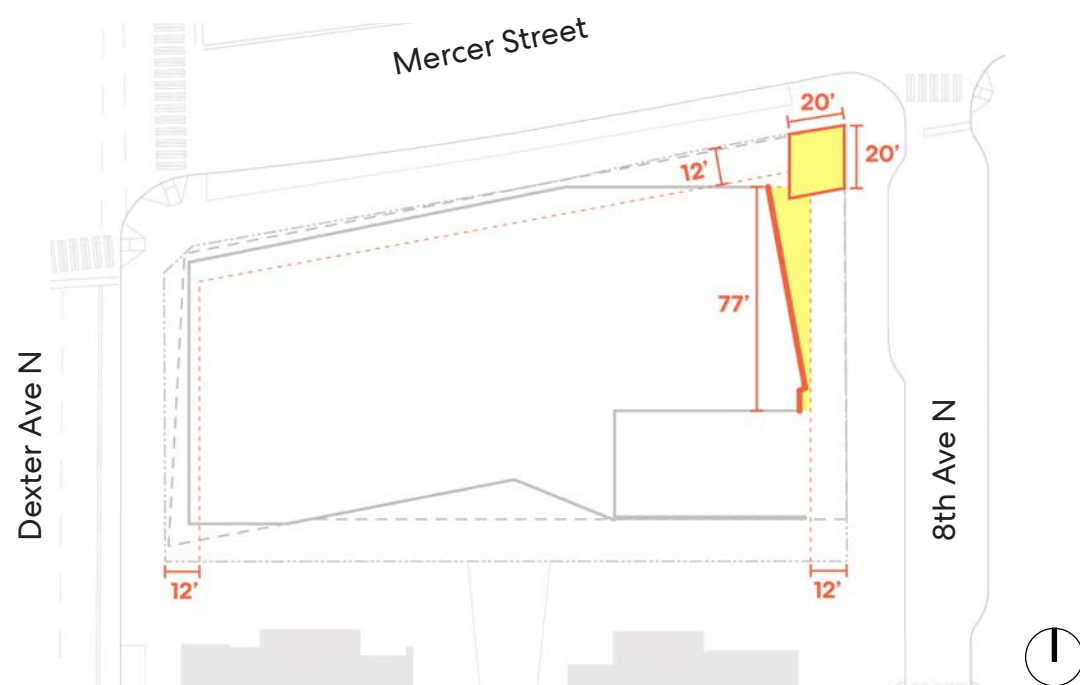
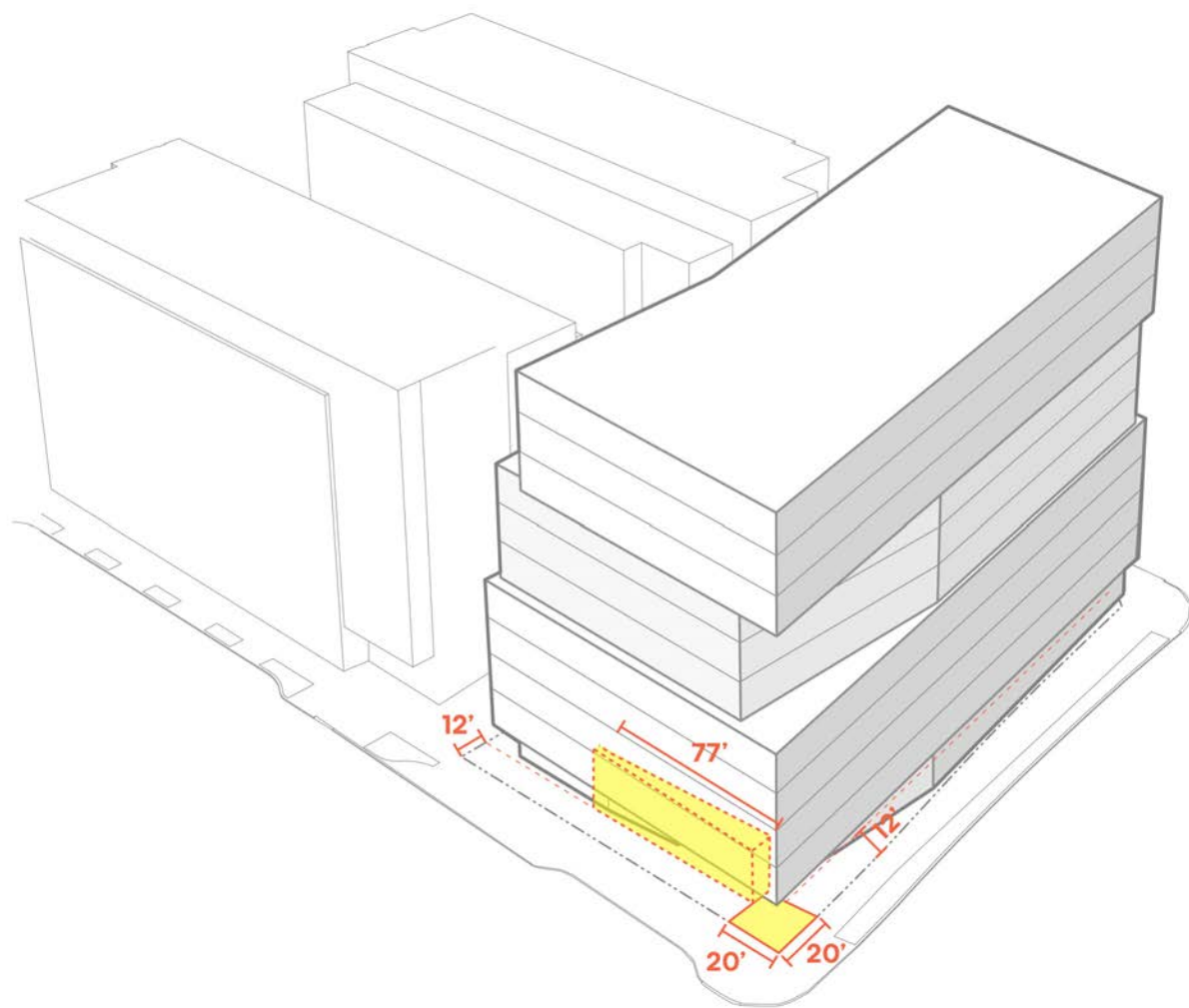
Request to provide two portions of the north façade along Mercer Street that are 40' long beyond the maximum length of 150 feet for below 145 feet, and one portion that is 40 feet long beyond the maximum length of 120 feet for above 145 feet. The east portion of Levels 6-8 to be more than 15' away from property line. The west portion of Levels 6-8 to be 2' to 4' away from property line. Volumetrically, the amount of additional setback provided beyond the code requirement is more than the departure amount.

Rationale:

The horizontal modulation of the “slipped hinge” relies on the interplay between Mercer alignment and the city grid to break down the scale and modulate the building horizontally as a specific contextual response. The framing of the hinged volume in the center of the stack is dependent on the strong articulation of the upper and lower volumes. These design elements achieve the intent of the code to avoid an overly long and undifferentiated façade by breaking the massing into horizontal elements relating to neighboring contextual datums and modulating these elements in a manner that is both stronger and more contextual than the zoning standard verbatim.

Applicable Design Guidelines:

- CS2. Urban Pattern and Form
- CS3. Architectural Context and Character
- PL1. Connectivity
- DC2. Architectural Concept
- DC3. Open space Concept



Street-Level Setbacks (Supported at EDG)

Code:

SMC 23.48.240.B.1.b

The street-facing facade of a structure may be set back up to 12 feet from the street lot line. Additional setbacks are permitted for up to 30 percent of the length of portions of the street-facing facade that are set back from the street lot line, provided that the additional setback is located 20 feet or more from any street corner.

Proposed:

Request to locate the northeast corner of the street-facing facade further than 20 feet from street corner. Request to have the east facade along 8th Ave N further than 12 feet from the street lot line.

Rationale:

The proposed design provides additional open space at the corner of 8th Ave N and Mercer Street. It emphasizes the ground floor and the experience of the pedestrian. The eastern entry and retail amenity engage the public realm and provide a buffer from the busy vehicular frontage on Mercer Street.

Applicable Design Guidelines:

- PL1. Connectivity
- PL3. Street-Level Interaction
- DC3. Open Space Concept

Open Space - Covered Overhead

Code:

SMC 23.48.240.G.d

Up to a maximum of 20 percent of the required usable open space may be covered overhead to provide weather protected space and a widened sidewalk area.

Proposed:

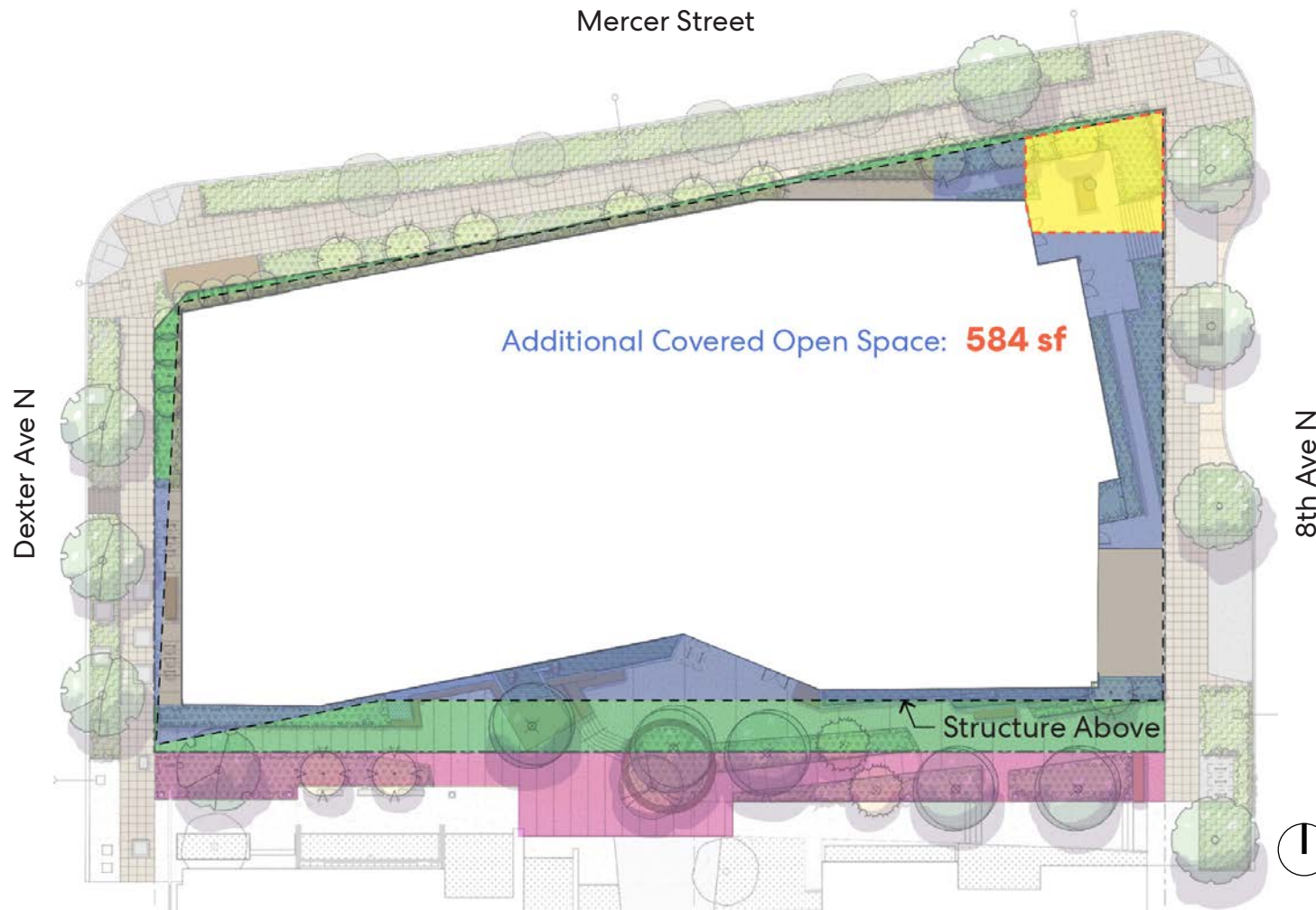
The code limits coverage of 20 percent of the required open space, therefore 3,620 sf of the required open space must be uncovered. The project provides 3,036 sf of uncovered open space. Request to provide 584 sf of additional covered open space. This project also provides 2,876 sf of uncovered open space improvement off-site.

Rationale:

The proposed design provides a total of 6,802 sf of usable open space (2,277 sf more than the required 4,525 sf) within the site. This open space thoughtfully connects the sidewalks to the site and the East-West through-block connection. The slipping of upper level massing and street-level façade setbacks allow for additional landscape and visual interest, creating additional overhead coverage from the structure above. In areas of high pedestrian volumes, this overhead coverage creates beneficial weather protection, following the EDG recommendation for more overhead weather protection. The additional 2,876 sf of off-site uncovered open space improvement completes the pedestrian connection across the block and balance out the additional overhead weather protection.

Applicable Design Guidelines:

- PL1. Connectivity
- PL2-1. Weather Protection
- PL2-2. Walkways and Pedestrian Interest
- PL3. Street-Level Interaction
- DC3. Open Space Concept



Site Area: 30,166 sf

Code Compliant

Required Open Space (15%): 4,525 sf
 Open Space Covered with Overhead (Max 20%): 905 sf
 Required Uncovered Open Space (Min 80%): **3,620 sf**

Proposed Design

Total Open Space Provided Within Site (21%): 6,802 sf
 Open Space Covered with Overhead: 3,766 sf
 Uncovered Open Space Provided: **3,036 sf**
 Additional Covered Open Space: **584 sf**
 Off-Site Open Space Improvement: 2,876 sf
 Area excluded from Open Space Calculation



West Facade: Bike Entry



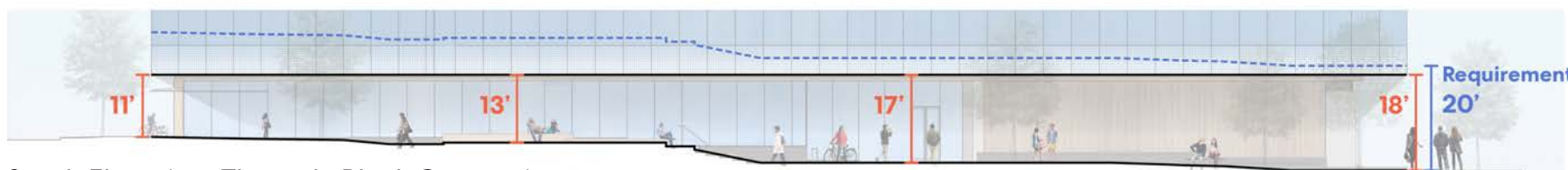
South Facade: Building Entry



East Elevation: 8th Ave N



North Elevation: Mercer Street



South Elevation: Through-Block Connection



East Facade: Retail

Open Space - Vertical Clearance

Code:

SMC 23.48.240.G.d.2

If the space is covered by portions of the structure above, or is provided as an arcade open to the street, the minimum vertical clearance is 20 feet.

Proposed:

Request to provide a range of 11 feet to 20 feet vertical clearance to open space covered by structure above.

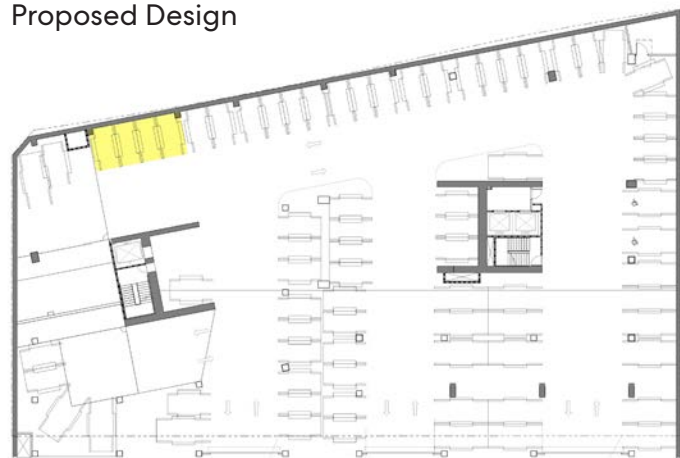
Rationale:

The consistent soffit height above open space interplays with the undulating landscape conditions of the site below. This consistency helps to create a pedestrian scale that modulates and reinforces the articulation of the upper volumes, creating a more contextually driven vertical clearance than the required 20 feet.

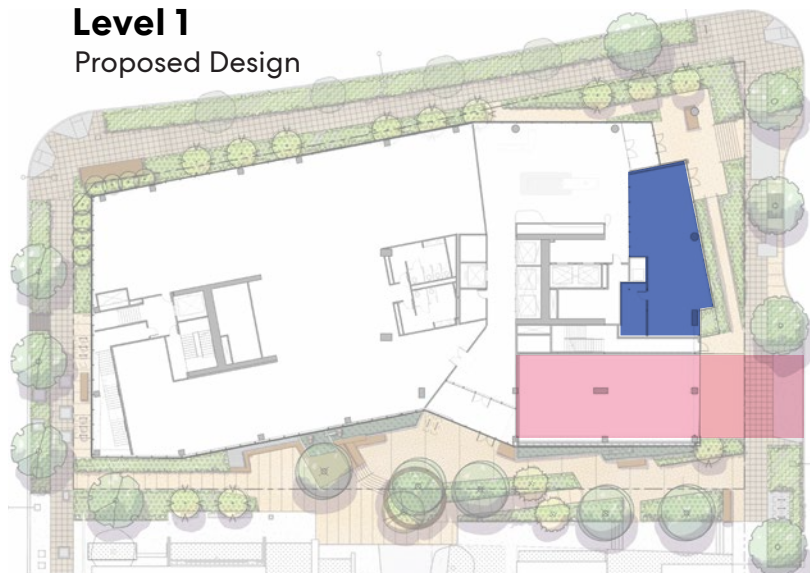
Applicable Design Guidelines:

- PL1. Connectivity
- PL2. Weather Protection
- PL2-1-a. Reinforce Pedestrian Scale
- PL3. Street-Level Interaction
- DC3. Open Space Concept

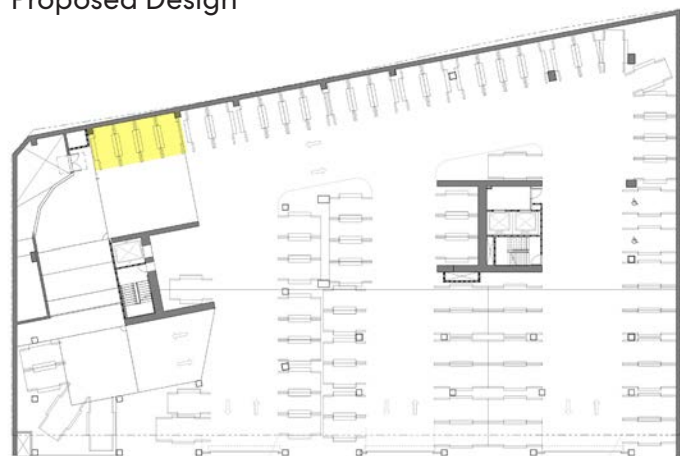
Level P2
Proposed Design



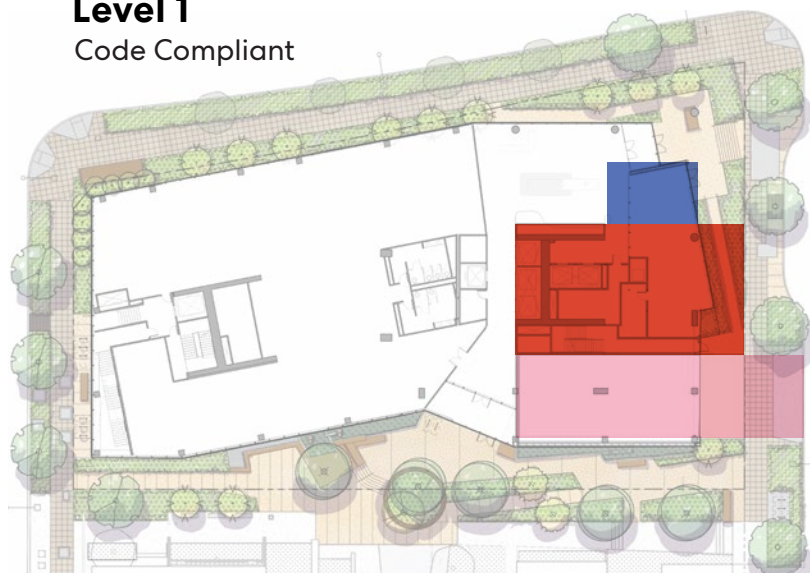
Level 1
Proposed Design



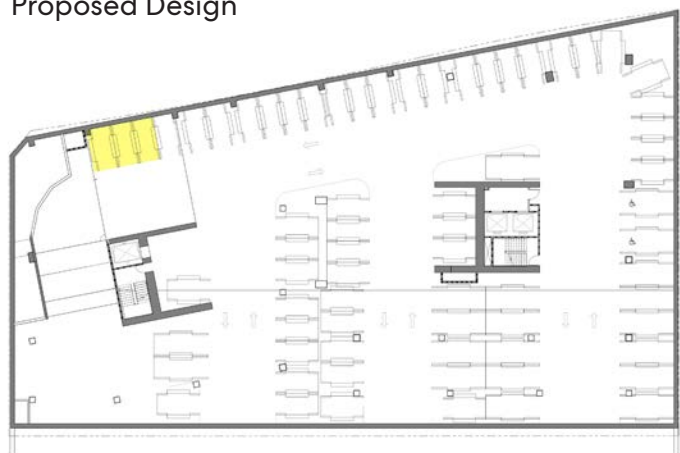
Level P3
Proposed Design



Level 1
Code Compliant



Level P4
Proposed Design



- Stalls provided as small in lieu of large due to aisle width constraint
- Parking area needed on Level 1 to provide additional large stalls to meet 35% requirement
- Street-Level Use Retail Space
- Garage Entry Ramp

Parking Space

Code:

SMC 23.54.030.B.2.c

When 20 or more parking spaces are provided, a minimum of 35 percent of the parking spaces shall be striped for small vehicles.

A maximum of 65 percent of the parking spaces may be striped for small vehicles.

A minimum of 35 percent of the spaces shall be striped for large vehicles.

Proposed:

Request to provide a minimum of 25 percent of parking spaces for large vehicles, and a maximum of 75 percent for small vehicles.

Rationale:

The proposed design creates a pedestrian friendly street-level experience by consolidating all parking in a below-grade garage. If the project were to provide additional large stalls near curb cut at street level to meet the required 35 percent, a large portion of the street-level area facing the 8th Ave N Green Street would be dedicated for parking, and would negatively impact pedestrian experience at the Green Steet and at the street-level use retail space.

Applicable Design Guidelines:

- PL1. Enhancing Open Space
- PL3. Street-Level interaction
- PL3-1. Entries
- PL4. Active Transportation
- DC3. Open Space Concept

Rooftop Features

Code:

SMC 23.48.025.C.7

At the applicant's option, the combined total coverage of all features listed in subsections 23.48.025.C.4 and 23.48.025.C.5 may be increased to 65 percent of the roof area, provided that all of the following are satisfied:

- a. All mechanical equipment is screened or enclosed; and
- b. No rooftop features are located closer than 10 feet to the roof edge.

Proposed:

Request to provide up to 100% rooftop feature coverage and locate rooftop features closer than 10 feet to the roof edge. All mechanical equipment is screened.

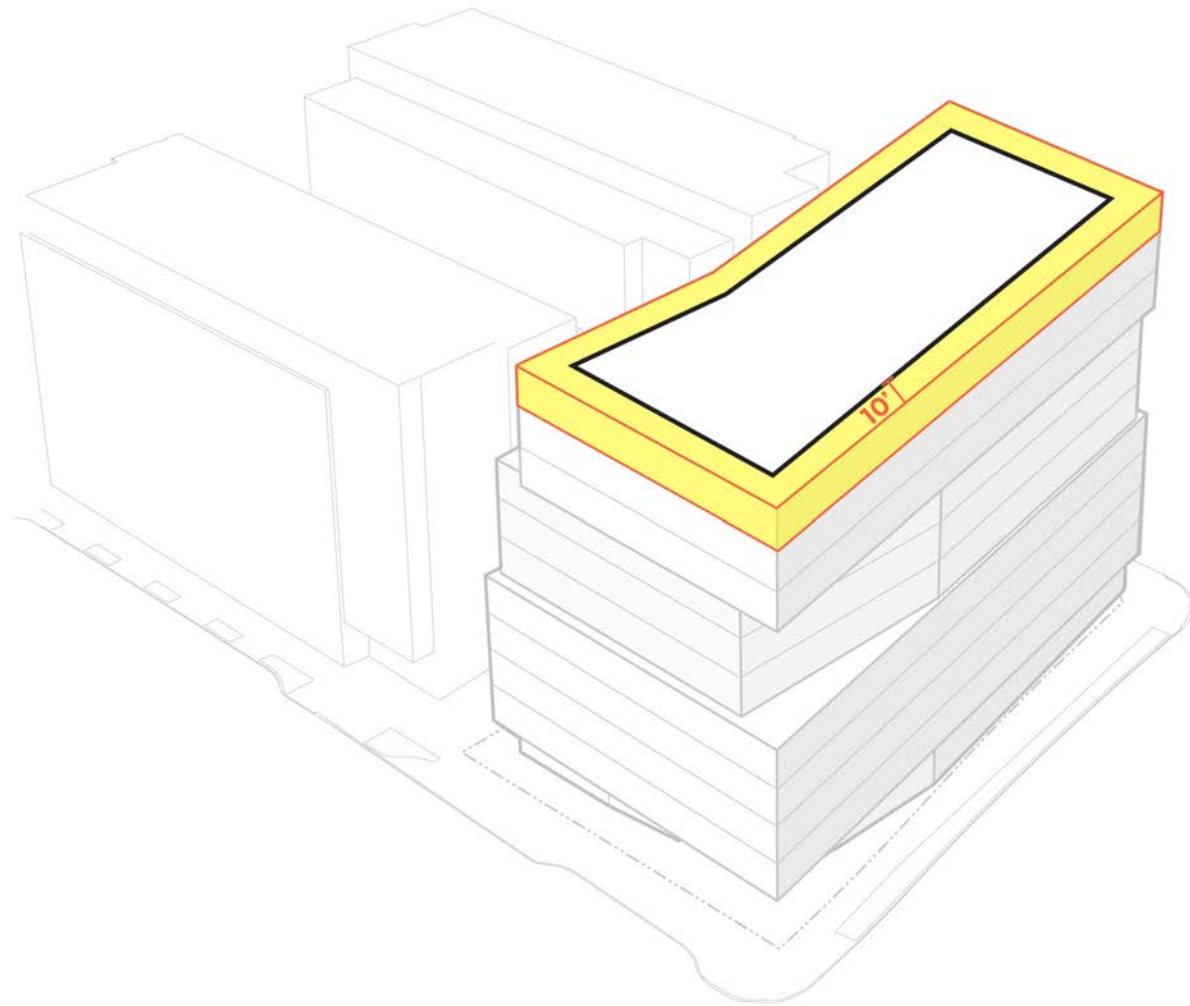
Rationale:

The proposed design integrates the mechanical penthouse, stair and elevator penthouse, and covered common amenity area into the overall building massing, to provide consistency with the adjacent UW School of Medicine buildings in the same block. This response provides a more sculptural clarity to the concept and is more consistent with context.

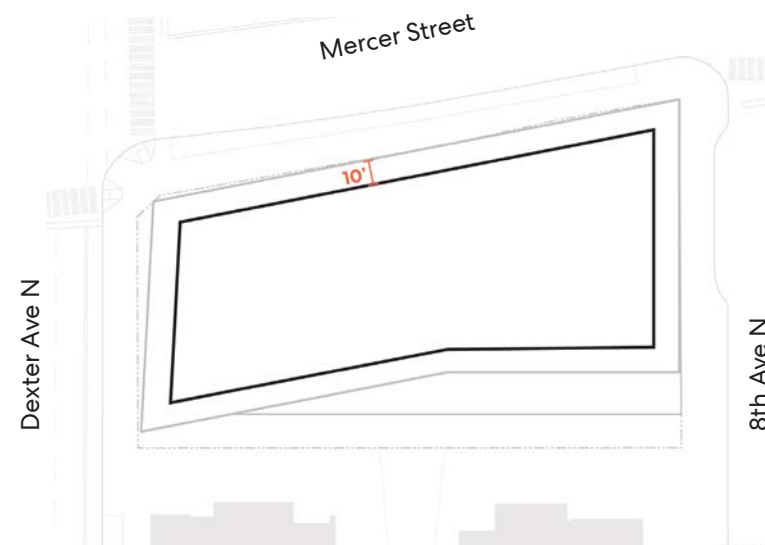
Applicable Design Guidelines:

CS3. Architectural Context and Character

DC2. Architectural Concept



Proposed Design



Code Compliant





Transparency and Blank Facade

Code:

SMC 23.48.040.B.2.a.1

Blank facades are limited to segments 15 feet wide. Blank facade width may be increased to 30 feet if the Director determines as a Type I decision that the facade is enhanced by architectural detailing, artwork, landscaping, or other similar features that have visual interest.

Proposed:

Request to provide a segment of 24' 6" of blank facade along Dexter Ave N (Class II Pedestrian Street).

Rationale:

The proposed blank facade identifies and differentiates the bike storage entry from the rest of the street-level facade. The facade is enhanced with visual interest by a collection of coordinated elements of textured wall, door, and overhead frame. It is scaled and detailed to provide a more intimate type of entry.

Applicable Design Guidelines:

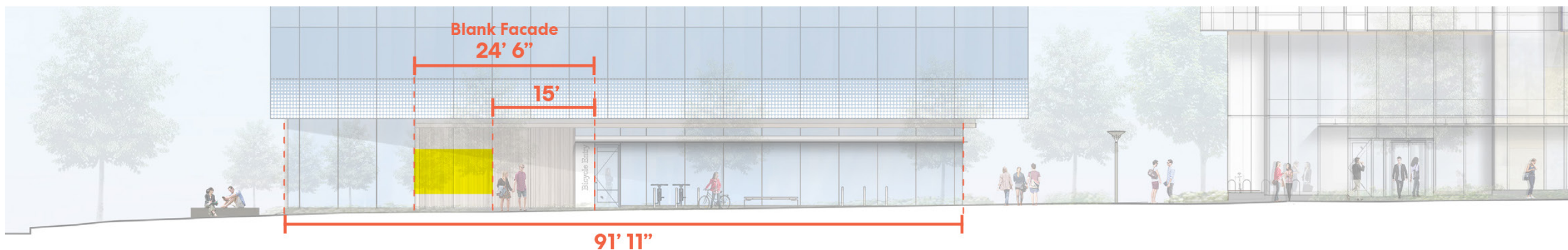
PL3. Street-Level Interaction

PL3-A-4. Ensemble of Elements

PL3-1. Entries

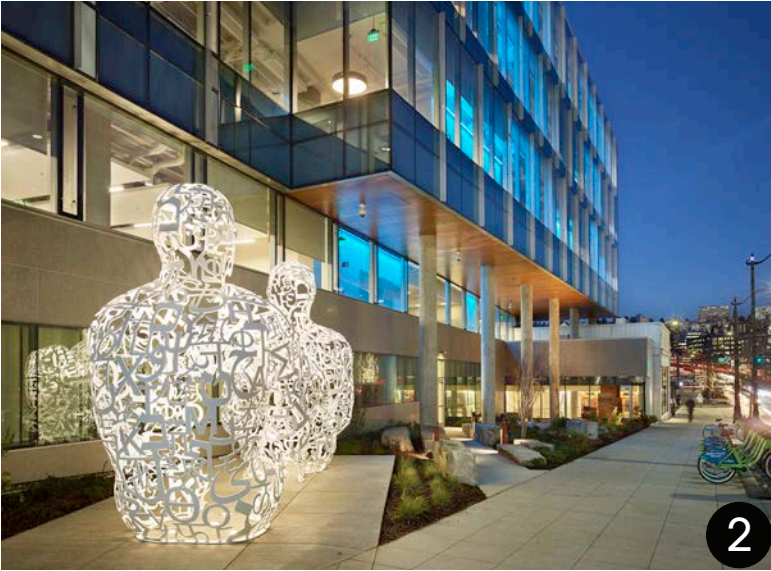
CS3. Architectural Context and Character

DC2. Architectural Concept

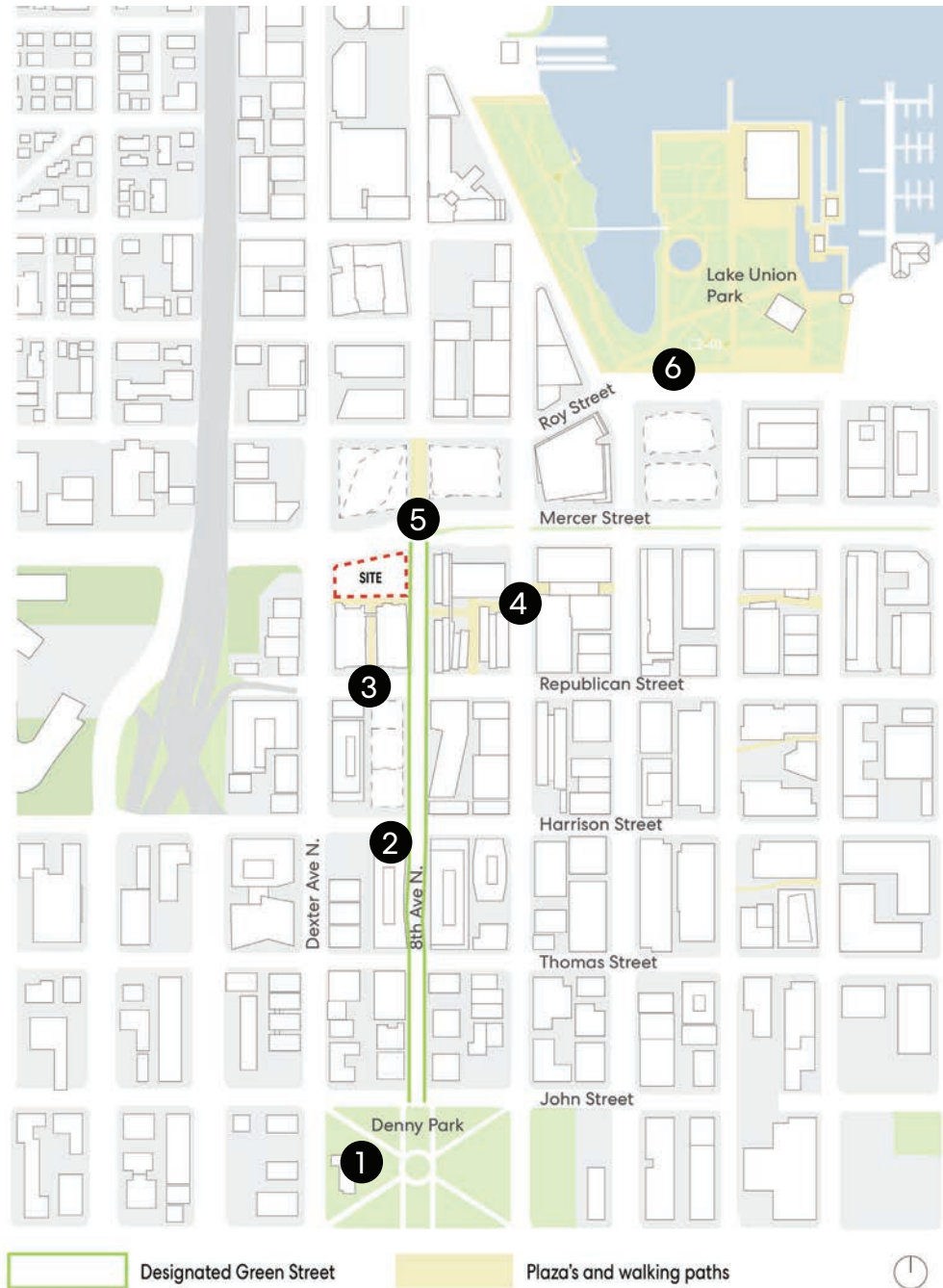


West Elevation - Dexter Ave N (Class II Pedestrian Street)

APPENDIX

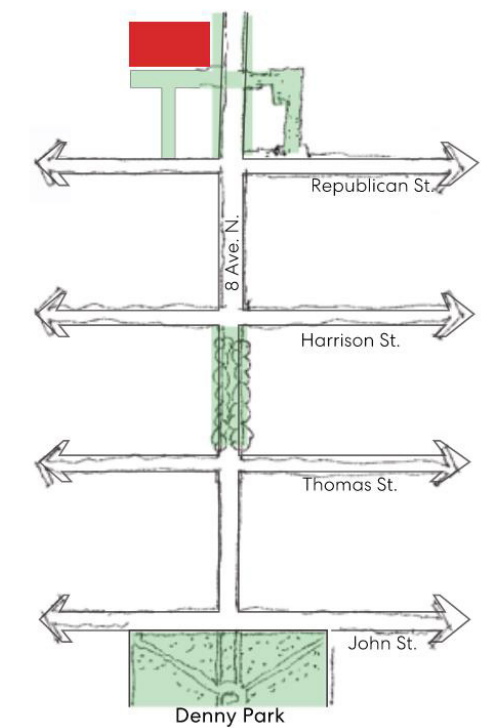
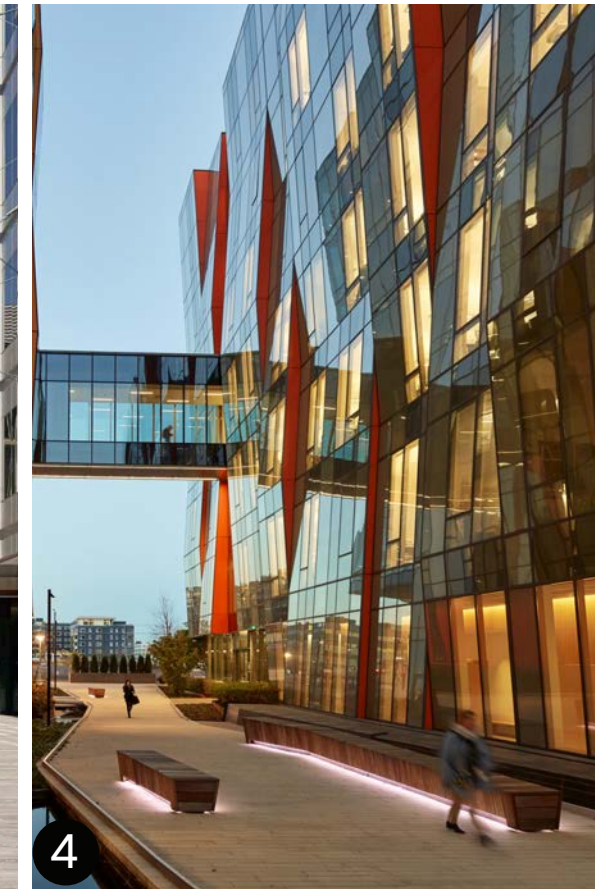
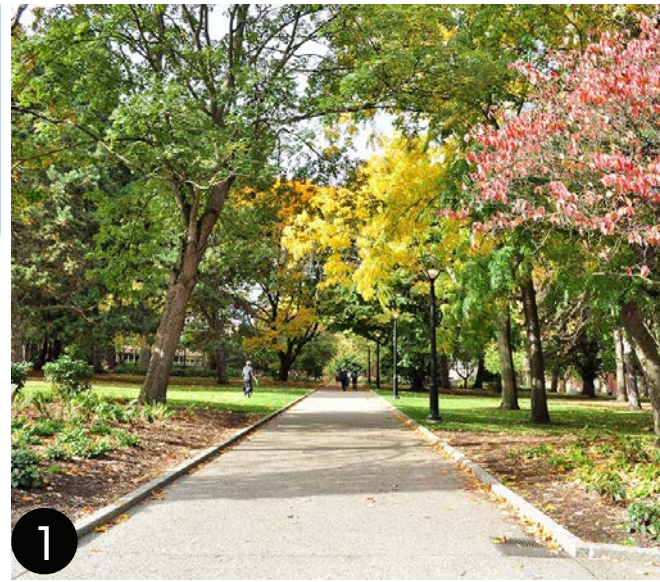


- Legend:**
- 1. Mercer Blocks
(Planned construction)
 - 2. Allen Institute for Brain Science
 - 3 & 4. UW Medicine Campus
 - 5. Modera South Lake Union
Apartments
 - 6. 8th and Republican Apartments
 - 7. Amazon Office Campus
 - 8. 333 Dexter
 - 9. Arbor Blocks (Hewitt Landscape)



Legend:

- 1. Denny Park
- 2. Arbor Blocks (Green Street)
- 3 & 4. UW Medicine Plaza
- 5. Planned Mercer Block pedestrian corridor
- 6. Lake Union Park

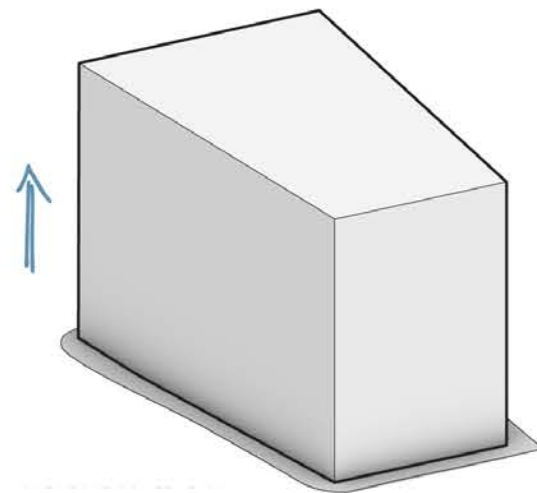


South Lake Union
Green Street Plan 2013

This Slipped Hinge massing presents a clear concept, responding to the surrounding context, enhancing the pedestrian realm. The overall scale relates strongly to the adjacent buildings and future context. Tracing its origins to the historical shift in the street grid, this massing is deeply rooted in its site context. The “hinge” point relates directly to the South Lake Union Gateway intersection, a major connection point for vehicles, pedestrians and bicyclists. This site uniquely offers access and views from all four sides, and the Slipped Hinge massing reinforces this connection on an urban scale and pedestrian scale.

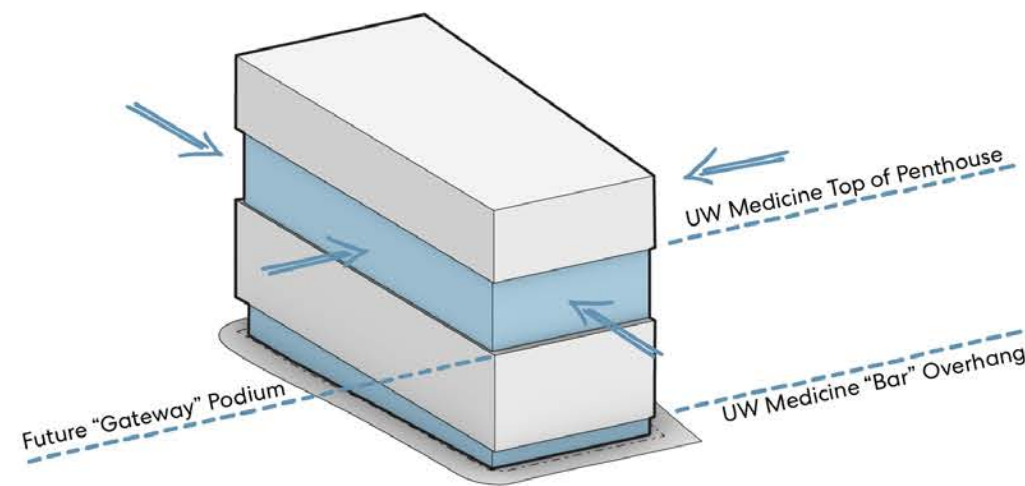
① Sculpt

The site boundaries create an urban object



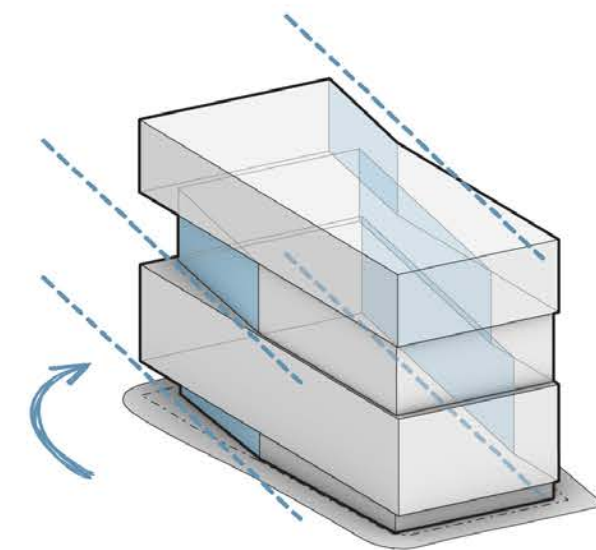
② Slip

The mass is pushed into separate boxes to fit within the context of adjacent buildings



③ Hinge

Selected boxes are rotated to fit within the context of Mercer as it turns to meet the street grid, and to create dynamic space at the existing UW courtyard



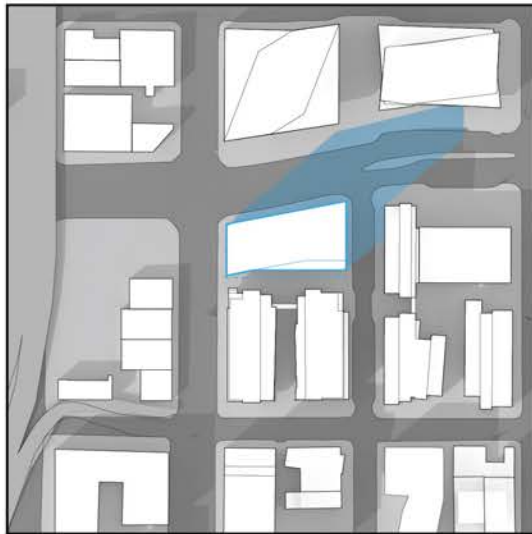
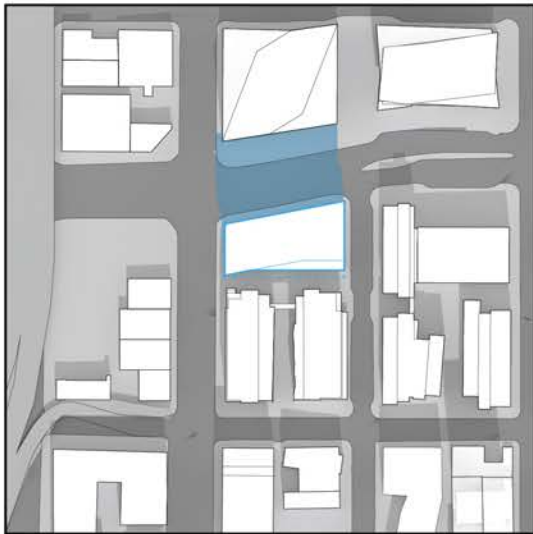
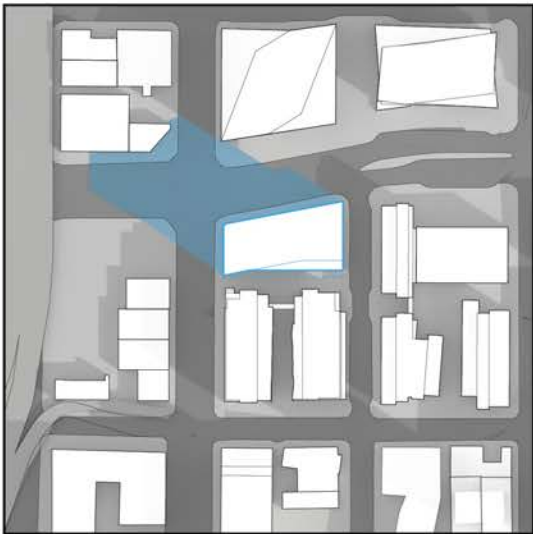
Slipped Hinge

9 AM

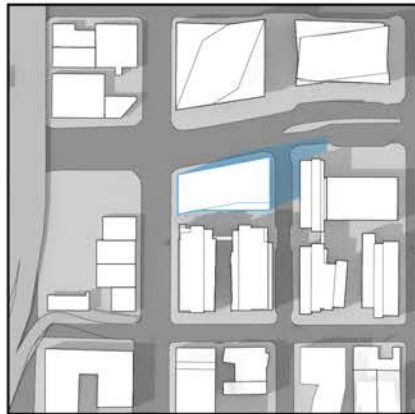
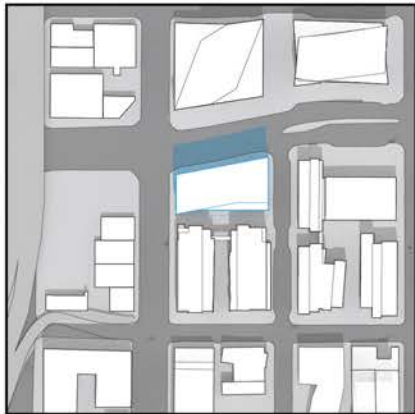
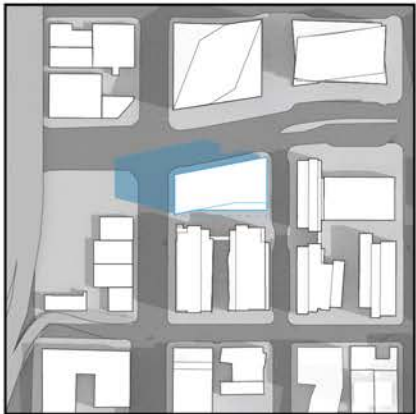
12 PM

3 PM

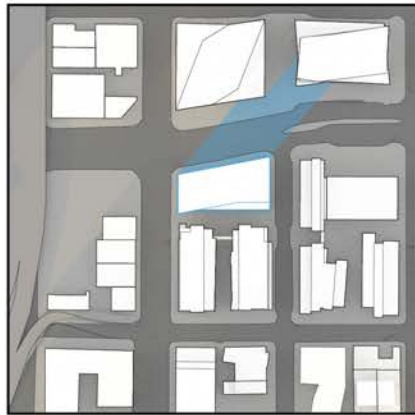
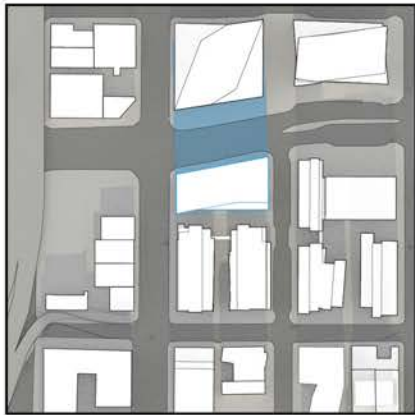
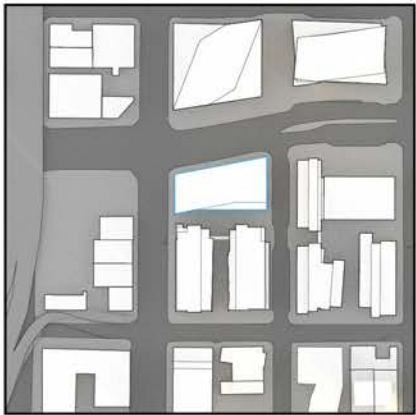
Equinox
March 21st / Sep. 21st



Summer Solstice
June 21st



Winter Solstice
December 21st



*Almost the entirety of ground plane is in shadow at this time

Zoning	SMC Map 101	SM-SLU 175/85-280, in South Lake Union Urban Center.
Street-Level Designations	SMC 23.48.240 Map A	8th Ave N: Neighborhood Green Street Republican St: Class II Pedestrian Street Dexter Ave N: Class II Pedestrian Street Mercer St: Class II Pedestrian Street
FAR	SMC 23.48.220 Table A SMC 23.48.220.B	Base FAR of 4.5; Max FAR of 8. Floor area for street-level uses is exempt from calculations.
Structure Height	SMC 23.48.225 SMC 23.48.025.C	175' height limit for non-residential uses The following rooftop features may extend up to 15' above the maximum height limit so long as combined total coverage does not exceed 25% of total roof area: solar collectors, stair and elevator penthouses, mechanical equipment. Combined total coverage of all features may be increased to 65% of roof area if all mechanical equipment is screened and all rooftop features are at least 10' from roof edge.
Upper-Level Setbacks	SMC 23.48.235 Map A	None
Street-Level Setbacks	SMC 23.48.240.B	May be set back up to 12'. Additional setbacks are permitted for up to 30% of the facade, provided that the additional setback is located 20 feet or more from any street corner.
Street-Level Uses	SMC 23.48.240.E	The minimum street frontage of required street-level uses is 10 percent for 8th Avenue N: General sales and service uses, eating and drinking establishments, or entertainment uses.
Open Space	SMC 23.48.240.G	Minimum amount of required open space must be equal to 15% of lot area and shall be accessible at street level. Average horizontal dimension is 20' and minimum horizontal dimension is 10'. Up to a maximum of 20 percent of the required usable open space may be covered, if the open space abuts a street lot line and is open and accessible to pedestrians along the sidewalk.
Through-Block Pedestrian Connections	SMC 23.48.240.H	Not required. Lot area of development is less than 60,000 sf.
Street Facing Facade	SMC 23.48.040.A	Min 25' in height at all streets
Facade Transparency	SMC 23.48.040.B.1	2 feet and 8 feet above a sidewalk: min 60% at all streets
Blank Facades	SMC 23.48.040.B.2.a	2 feet and 8 feet above a sidewalk: max 15' at all streets, total width shall not exceed 40%.
Floor Plate Limits	SMC 23.48.245.B.1.d	For structures or portions of structures with non-residential uses that exceed a height of 85 feet, each story of the structure above the specified podium height indicated for the lot on Map A for 23.48.245, is limited to a maximum gross floor area of 24,000 square feet per story.
Podium Height	SMC 23.48.245 Map A	Podium height at west portion of lot is 65'; podium height at east portion of lot is 85'; podium height at southeast corner of lot is 45'.
Upper Level Setback	SMC 23.48.245.C	None
Facade Modulation	SMC 23.48.245.D	Facade modulation required for the street-facing portions of a structure located within 15 feet of a street lot line and exceeding the podium height; maximum facade length for stories up to 145' is 150'; maximum facade length for stories above 145' is 120' Facade must be modulated at a minimum depth of 15' and a minimum length of 40'
Tower Limits	SMC 23.48.245.F	One only tower with non-residential uses exceeding 85' is permitted on a block, unless the tower meets the requirements of SMC 23.48.230. Existing Phase 3.1 and Phase 3.2 were permitted under the provisions of 23.48.230 and do not have tower classification.
Open Space Office Uses	SMC 23.48.250	Provide at least 20 sf of open space for each 1,000 sf of gross office floor area. Private open space may satisfy this requirement.
Car Parking	SMC 23.48.280	Max limit for non-residential uses is 1 stall/1,000 GSF.
Bike Parking	SMC 23.54.015 Table D	For offices and laboratories, research and development: 1 long-term per 2,000 sf, 1 short-term per 10,000 sf
Loading	SMC 23.54.035	For both office and research/development laboratory, 3 berths required for buildings between 160,001 sf and 264,000 sf
Driveway	Right of Way Improvement Manual	Clearance between Driveway and Intersection is 40 feet.